

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	8 Meringo Place LUCKNOW 3875 Lot: 6 PS: 603392
The application is for a permit to:	Use and Development of Two Industrial Buildings
The applicant for the permit is:	Crowther & Sadler Pty Ltd
The application reference number is:	5.2023.426.1
You may look at the application and any documents that support the application on the website of the responsible authority.	COVID-19 Omnibus (Emergency Measures) Bill 2020 now modifies the requirement of Form 2 so that <i>Planning documents previously required to be physically available to view at local government offices are now only required to be available for online inspection.</i>

This can be done anytime by visiting the following website:

<https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ♦ be made to the Responsible Authority in writing,
- ♦ include the reasons for the objection, and
- ♦ state how the objector would be affected.

The Responsible Authority will not decide on the application before:	Subject to applicant giving notice
--	------------------------------------

If you object, the Responsible Authority will tell you its decision.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 3

VOLUME 11012 FOLIO 052

Security no : 124109314288A
Produced 25/09/2023 10:54 AM

LAND DESCRIPTION

Lot 6 on Plan of Subdivision 603392T.

PARENT TITLES :

Volume 08392 Folio 601 Volume 09432 Folio 861 Volume 10985 Folio 262

Created by instrument PS603392T 05/06/2007

REGISTERED PROPRIETOR

Estate Fee Simple

TENANTS IN COMMON

As to 1 of a total of 2 equal undivided shares

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS603392T FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 8 MERINGO PLACE LUCKNOW VIC 3875

DOCUMENT END

PLAN OF SUBDIVISION

STAGE No.

LTO USE ONLY

PLAN NUMBER

EDITION 2

PS 603392T

LOCATION OF LAND

PARISH: WY YUNG
 TOWNSHIP: LUCKNOW
 SECTION: A
 CROWN ALLOTMENT: CROWN PRE-EMPTIVE RIGHT (PART)
 CROWN PORTION: —
 TITLE REFERENCES: VOL 8392 FOL 601
 VOL 9432 FOL 861
 VOL 10785 FOL 262

LAST PLAN REFERENCE: LOT 5 ON LP55504
 LOT 1 ON LP135331
 LOT 2 ON PS545162

POSTAL ADDRESS: McMILLAN STREET,
 (At time of subdivision) LUCKNOW, 3875

MGA 84 CO-ORDINATES: E 557 350
 (Of approx. centre of land in plan) N 5812 560

ZONE: 55

COUNCIL NAME: EAST GIPPSLAND SHIRE COUNCIL REF: 150/2006/CRT

1. This plan is certified under Section 6 of the Subdivision Act 1988.

2. ~~This plan is certified under Section 11(7) of the Subdivision Act 1988.~~~~Date of original certification under Section 6 / /~~

3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.

OPEN SPACE

(i) A requirement for public open space under Section 18 Subdivision Act 1988 ~~has / has not been made.~~(ii) ~~The requirement has been satisfied.~~(iii) ~~The requirement is to be satisfied in stage~~

Council Delegate

~~Council seal~~

Date 22 / 5 / 07

~~Re-certified under Section 11(7) of the Subdivision Act 1988~~~~Council Delegate~~~~Council seal~~~~Date / /~~

VESTING OF ROADS AND/OR RESERVES

IDENTIFIER

COUNCIL/BODY/PERSON

RI ROAD
RESERVE No. 1EAST GIPPSLAND SHIRE COUNCIL
ROADS CORPORATION

NOTATIONS

STAGING This is / is not a staged subdivision
Planning Permit No 822/2004/P

DEPTH LIMITATION DOES NOT APPLY

LOT 2 CONSISTS OF 2 PIECES

THE DRAINAGE EASEMENT SHOWN IN C/T VOL 8392 FOL 601
 WILL BE REMOVED UPON REGISTRATION OF THIS PLAN
 BY DIRECTION OF EAST GIPPSLAND SHIRE COUNCIL PERMIT No. 667/2006

SURVEY: THIS PLAN IS / ~~IS NOT~~ BASED ON SURVEY

THIS SURVEY IS CONNECTED TO PERMANENT MARK No(s) 24 & 66

EASEMENT INFORMATION

LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

LTO USE ONLY

STATEMENT OF COMPLIANCE
/ EXEMPTION STATEMENT

RECEIVED



DATE 24 / 5 / 07

LTO USE ONLY

PLAN REGISTERED

TIME 11:56 AM

DATE 5 / 6 / 07

Assistant Registrar of Titles

SHEET 1 OF 2 SHEETS

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	DRAINAGE & SEWERAGE	3	LP135943	LAND IN LP135943
E-2, E-4	DRAINAGE & SEWERAGE	3	LP213093	LAND IN LP213093
E-1, E-2, E-4	DRAINAGE & SEWERAGE	3	PS545162	EAST GIPPSLAND REGION WATER AUTHORITY
E-3, E-4	CARRIAGEWAY	SEE DIAG	PS545162	LOT 3 ON PS545162
E-5	DRAINAGE	2	THIS PLAN	EAST GIPPSLAND SHIRE COUNCIL

Crowthier & Sadler Pty. Ltd.
 LICENSED SURVEYORS & TOWN PLANNERS
 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875
 TELEPHONE (03) 5182 5011

LICENSED SURVEYOR

MICHAEL JOSEPH SADLER

SIGNATURE

DATE 21 / 5 / 07

REF 11267

VERSION 3

DATE 22 / 5 / 07

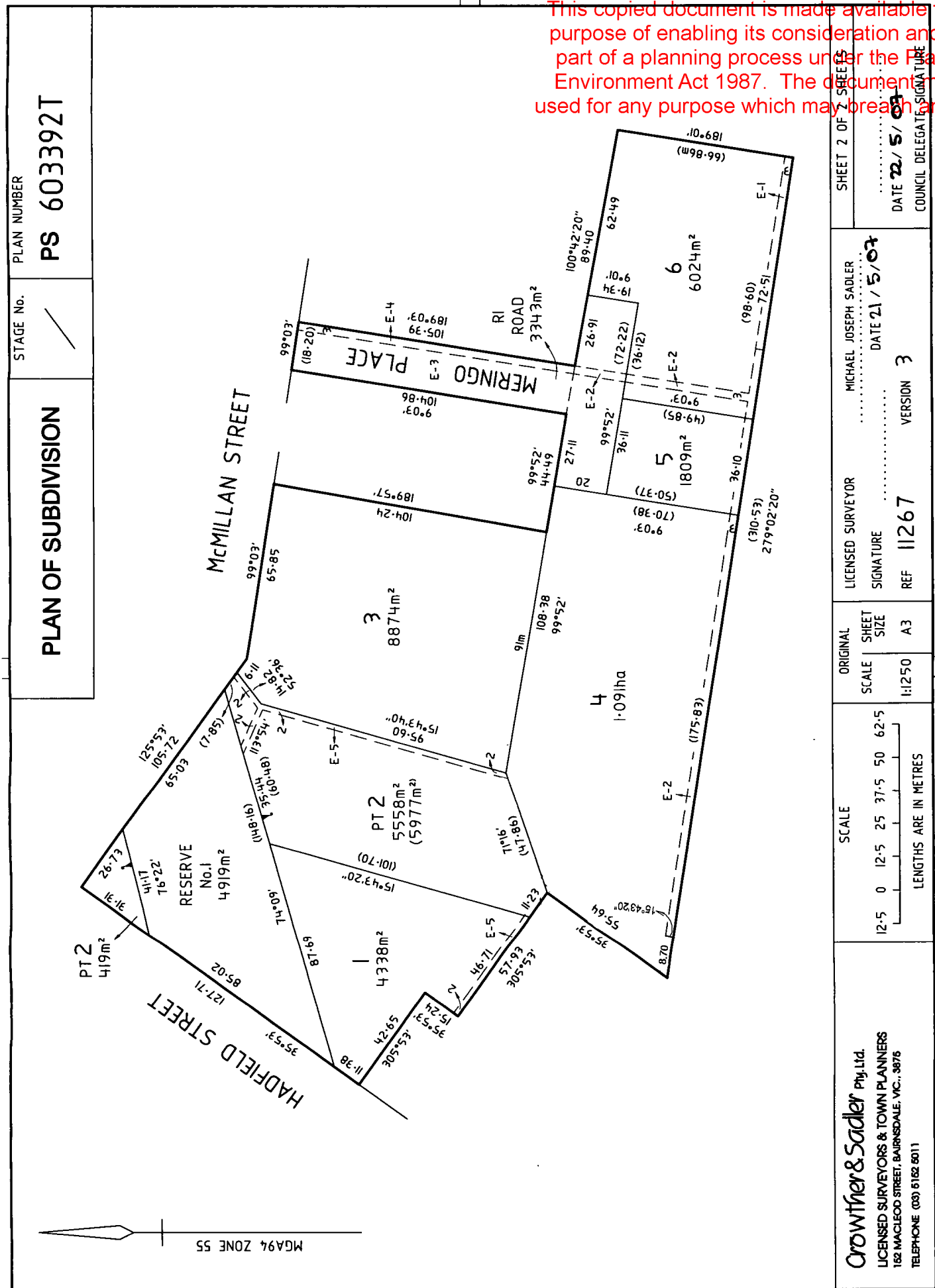
COUNCIL DELEGATE SIGNATURE

ORIGINAL SHEET SIZE A3

Printed 22/11/2023

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MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

PS603392T

**WARNING: THE IMAGE OF THIS DOCUMENT OF THE REGISTER HAS BEEN DIGITALLY AMENDED.
NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL DOCUMENT OF THE REGISTER.**

[illegible]

Printed 22/11/2023

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Planning Report

Use and Development of Two Industrial Buildings 8 Meringo Place, Lucknow

Our reference – 20638

23 October 2023



FS 520900



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	Application Form	
	Proposed Site, Floor and Elevations (<i>Mark Simnett Building Design</i>)	
	STORM Rating Report	
	Copy of Title (Lot 6 on PS603392)	

Note: Applicable Planning Application fee is \$2,278.20

1. Introduction

This Planning Report is prepared in support of the proposed use and development of two industrial buildings at 8 Meringo Place, Lucknow. The Report addresses the provisions of the Industrial 1 Zone as contained within the East Gippsland Planning Scheme.



Aerial image of the subject land and immediate surrounds (Source: Google Earth)

2. Subject Land & Surrounding Context

Formally known as Lot 6 on PS603392 or more commonly known as 8 Meringo Place, Lucknow, the subject land is flat, irregular in shape, contains an existing industrial building and associated car parking within the western part of the land and the eastern part of the land is vacant.

The existing shed is currently used to service caravans.



Image of the existing shed to the west of the subject land

Meringo Place is a “tee head” sealed road developed with kerb and channel street drainage. The existing industrial building and car park to the west of the land is serviced by two vehicle crossings and the eastern part of the land is serviced by a vehicle crossing to the north-west of the subject land.

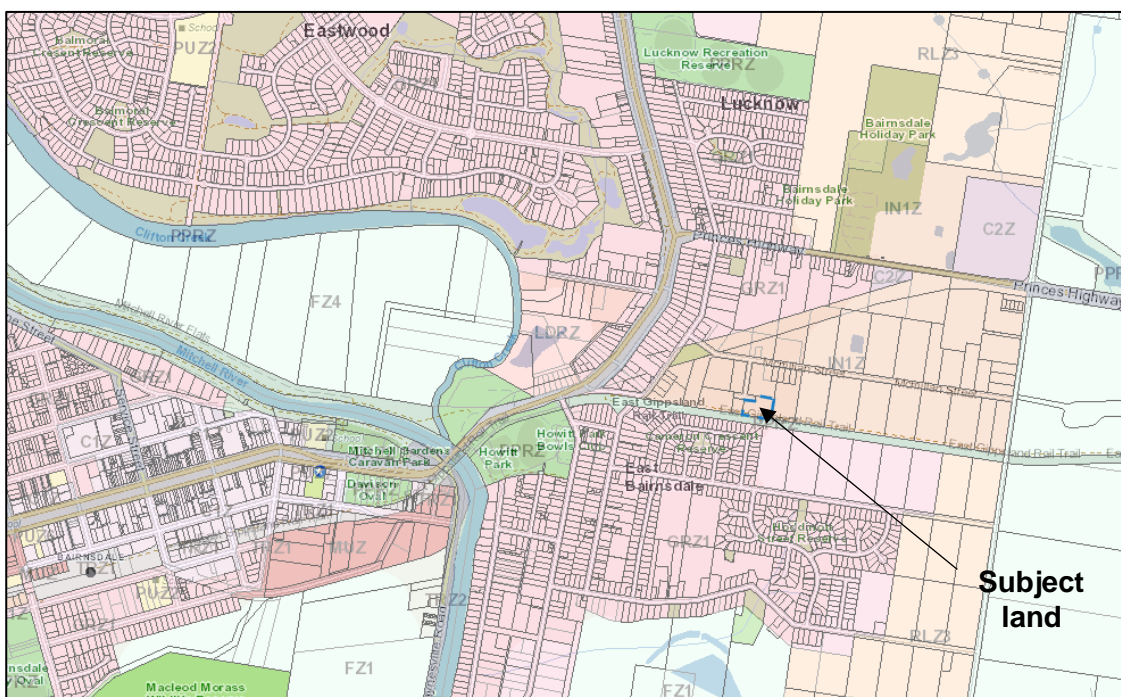


Subject land viewed from Meringo Place, noting the three existing vehicle crossings



Aerial plan identifying vehicle crossovers to the subject land (Source: Google Earth)

The subject land is located within the existing East Bairnsdale/Lucknow industrial area. Industrial buildings and uses surround the property to the west, north and east. To the south is the East Gippsland Rail Trail and further south is a residential precinct within East Bairnsdale.



Locality Plan and planning scheme zone mapping (Source: VicPlan)

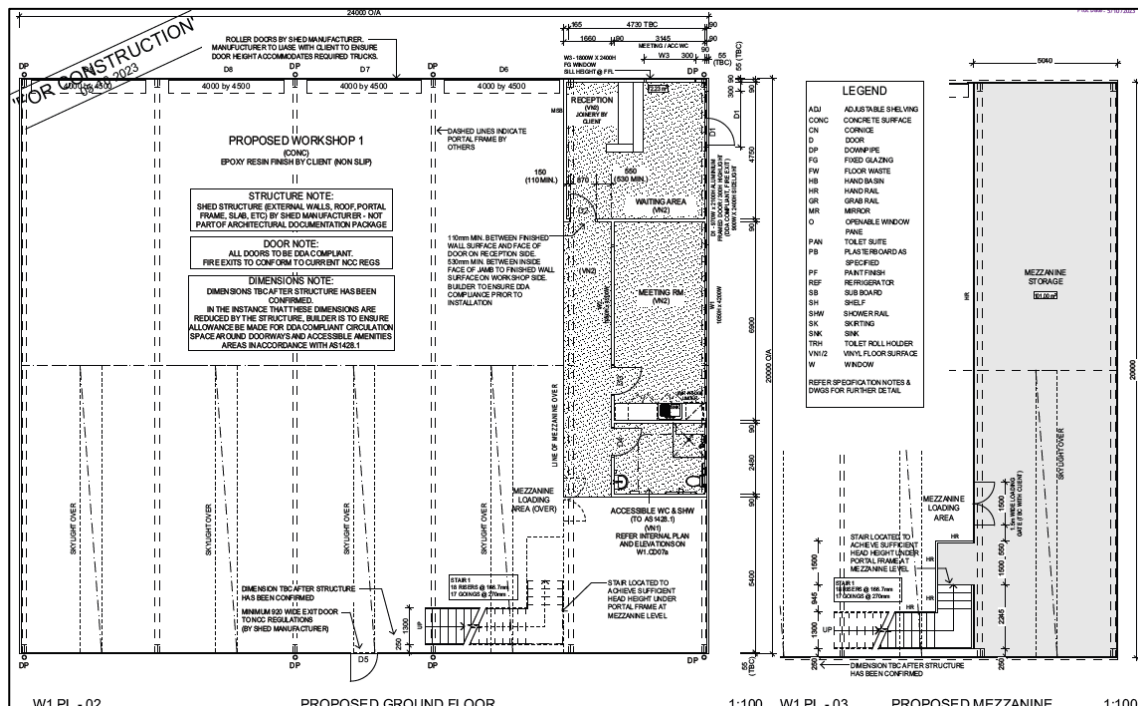
3. The Application & Proposal

It is proposed to use the land for industrial purposes and develop two industrial buildings, within the eastern part of the land.

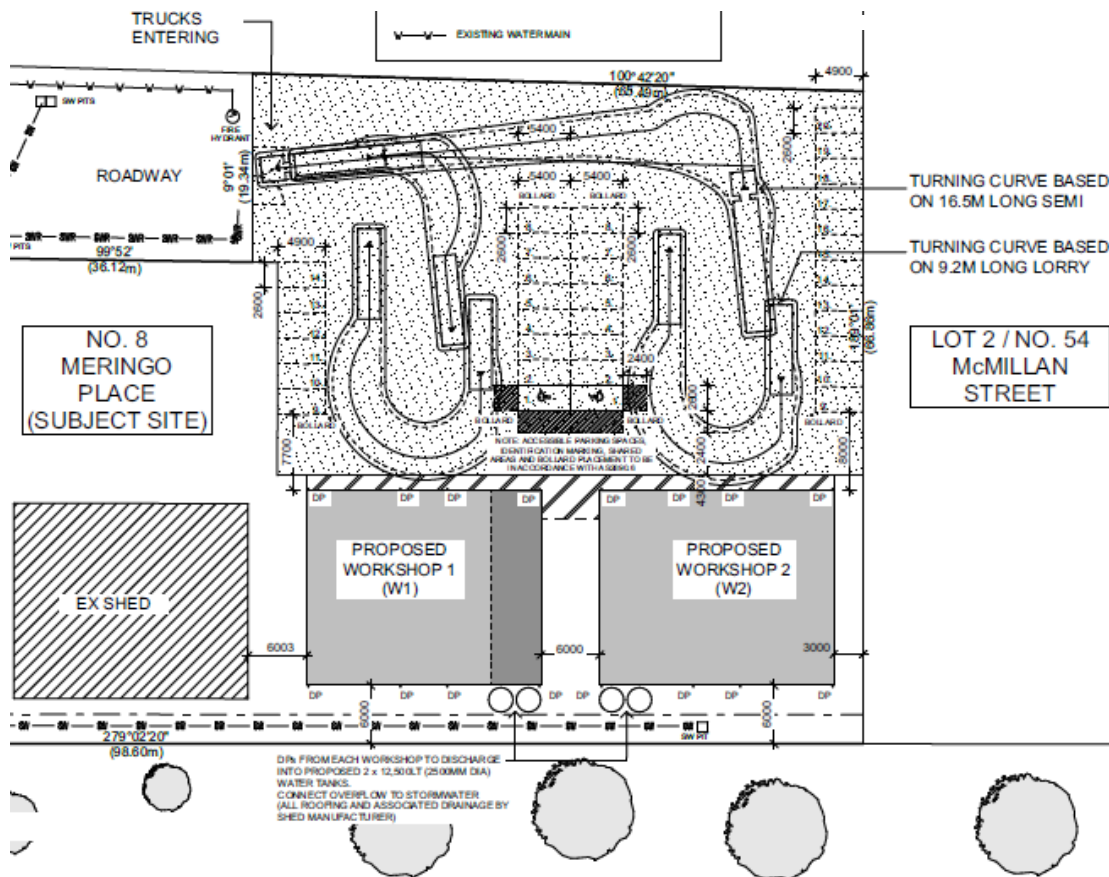
Workshop 1 is proposed to be setback 6.003 metres from the existing western building, a six metre setback for both buildings from the southern boundary, an eastern setback from the boundary of three metres and a combined 6.0 metre setback between the two buildings.

Workshop 1 will incorporate four large roller doors within the northern elevation, a reception area, meeting room, utilities room and workshop on the ground floor with storage area proposed within a mezzanine level. Workshop 2 will have a simple workshop area.

Each building will have a length of 24 metres and a width of 20 metres equating a ground floor area 480 square metres. Workshop 1 is to be developed with a mezzanine which will have a width of 5.04 metres and a length of 20 metres having an area of 100.8 square metres. The overall floor area of Workshop 1 will be 580.8 square metres and Workshop 2 of 480 square metres.



Workshop 1 Proposed floor and mezzanine plan
(Source: Mark Simnett Building Design)



Extract of the proposed site plan (Source: Mark Simnett Building Design)

Planning approval is required pursuant to the following Clauses of the East Gippsland Planning Scheme:

Planning Scheme Clause No.	Description of what is Proposed
33.01-1	Use of land for industry
33.01-4	Buildings and works

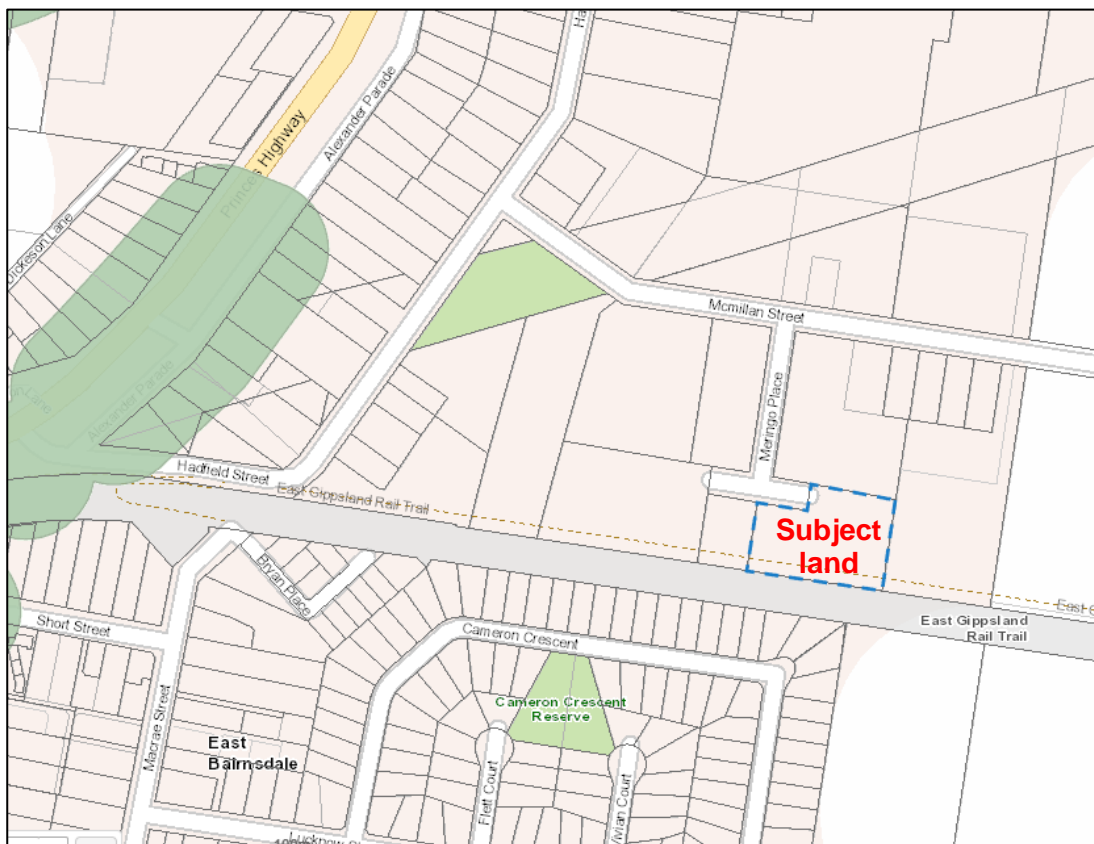
There are no referrals required to be undertaken as part of the application assessment.

4. Cultural Heritage

The proposal does not trigger any mandatory requirements to provide a Cultural Heritage Management Plan (CHMP) under the *Aboriginal Heritage Act 2006*.

Pursuant to Regulation 7 of the *Aboriginal Heritage Regulations 2018*, a CHMP is required for an activity if:

- (a) *all or part of the activity area for the activity is in an area of cultural heritage sensitivity; and*
- (b) *all or part of the activity is a high impact activity*



*Extract from Cultural Heritage Sensitivity mapping,
with sensitive areas shown in green (Source: VicPlan)*

The subject land is not mapped as an area of cultural heritage sensitivity therefore, there is no mandatory requirement to provide a CHMP in support of the application.

5. Planning Policy

5.1 Planning Policy Framework

Policy support for the proposed development is found within Clause 11.01-1S Settlement. The development is located within a serviced, zoned property within the settlement boundary of Bairnsdale, it will provide for the development of services within the East Gippsland regional centre, promotes sustainable development of Bairnsdale, the land is positioned to take advantage of planned transport infrastructure close to the site and promotes infill development of an underutilised land parcel.

Council has determined that Bairnsdale is a growth area town at Clause 11.01-1L-02 and achieves the relevant strategy for Bairnsdale being encouraging infill industrial activity on serviced industrial land and promotes the relevant strategy for East Bairnsdale being to facilitate the East Bairnsdale – Lucknow precinct for urban growth with a mix of activities including industrial.

The proposal will provide for a six metre setback to the southern boundary and when combined with the East Gippsland Rail Trail provides an appropriate buffer from residential zoned areas further south. Openings that can allow for noise discharge have been located within the buildings northern facades to minimise noise intrusion as sought within Clause 13.07-1S Land use compatibility.

The East Bairnsdale industrial area sees a range of built forms, although a consistent element of the built form is generally simple structures reflecting the industrial uses undertaken within the buildings. The proposed industrial buildings adopt this simple building form/character of the area and are consistent with other buildings heights, materials and colours as sought by Clause 15.01-2S Building design.

Improved access to jobs closer to where people live will be achieved from the infill development and it will support rural economies to grow as per Clause 17.01-1S Diversified economy. To facilitate the sustainable operation of industry is the objective of Clause 17.03-2S Sustainable industry. The proposal will achieve the strategies that support this objective:

- Approval is sought for standard industry uses, located on the perimeter of the industrial area.
- Inter-industry conflict is minimised as the use anticipated will be standard industrial uses, as opposed to heavier industry requiring threshold distances.
- The location of the land would be unattractive to heavier industry that requires threshold distances due to the location of sensitive uses to the south.
- The area of the buildings would prevent large scale manufacturing and storage industries from using the buildings.

5.2 Municipal Planning Strategy

In accordance with Clause 02.03-1 Settlement and housing, Bairnsdale has been identified by Council as a growth area town. The provision of two additional industrial buildings on this zoned and underutilised site will assist to reinforce Bairnsdale as the main service centre for East Gippsland.

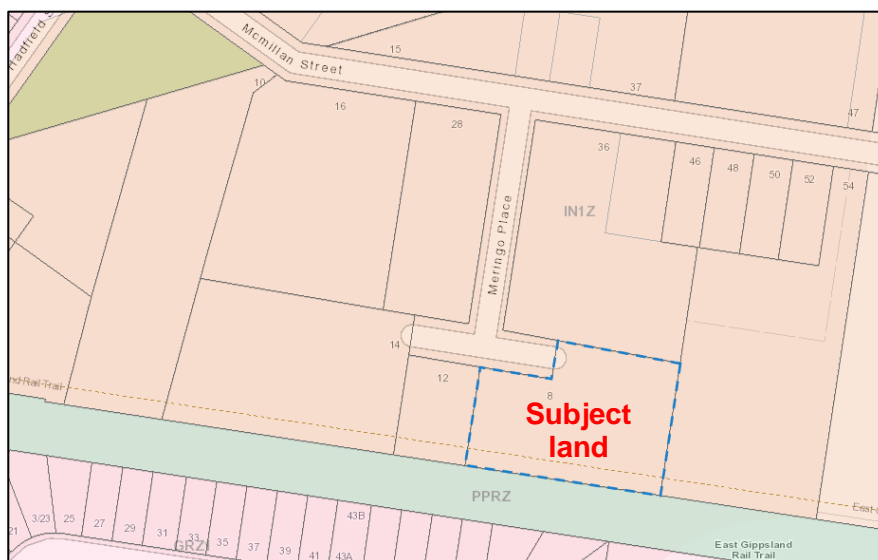
Within rural settlements East Bairnsdale-Lucknow is acknowledged as a significant employment and industry area. The proposal will achieve Council's strategic direction of consolidating development within existing town boundaries through infill development.

The proposed development will provide for economic development within the regional centre of Bairnsdale as identified in the East Gippsland Economic Strategy Plan.

6. Planning Elements

6.1 Industrial 1 Zone

The subject land is zoned Industrial 1 Zone in accordance with the East Gippsland Planning Scheme.



Planning scheme zone mapping (Source: VicPlan)

The subject land is located within 30 metres of a residential zone requiring a permit to use land for the purposes of industry.

The following information is provided in accordance with Clause 33.01-2 Use of land, for an application to use land:

- At this time the end user is unknown, however due to the close location to residential zoned properties, the land would be unattractive to heavier industrial uses that require significant setbacks.

- There will be no land within the subject site that will not be required for immediate use.
- Likely detrimental effects from end users has been minimised by the proposed development:
 - The building has been designed to locate openings, where noise escape can take place, towards the north away from the southern sensitive interface.
 - Emissions to air, land or water are unlikely given industrial activities will occur within the building and EPA requirements must be adhered to.
 - Traffic impacts are estimated to be low given the area of the proposed buildings.
 - Light spill and glare can be controlled by a condition of a permit.

Use Decision Guidelines

The proposed use of the land for industry addresses the decision guidelines:

- Strong support for the proposed use and development is provided within the Planning Policy Framework and Municipal Planning Strategy.
- The proposed building design, layout and construction standards have been developed to minimise the potential for adverse amenity impacts on the southern existing residential area.
- Nearby industries are relatively benign uses, meaning the proposal will have minimal effects on the industrial uses.
- The land is connected to stormwater drainage and the buildings can be tapped into this system.
- The land is connected to reticulated sewerage, water, electricity and telecommunications.
- It is not expected that the end users will create significant volumes of traffic and freight, given the scale and location of the buildings.
- All the land on the property will be utilised for the proposed use, with no surplus or undeveloped areas.

In accordance with Clause 33.01-4 Buildings and works, a permit is required to carry out buildings and works.

Buildings and Works Decision Guidelines

The proposed buildings and works positively address the decision guidelines:

- Good policy support is provided within the Planning Policy Framework and Municipal Planning Strategy.
- There are no natural or cultural values on the land and the built form is setback six metres from the southern East Gippsland Rail Trail.

- The streetscape character and built form character of the area is industrial larger built form, within simple structures, that is replicated by the proposed development.
- The landscaping of the area is a minor feature, and the land form and proposed development leave little opportunity for landscaping.
- To the south of property is the East Gippsland Rail Trail and further south a residential precinct within East Bairnsdale. The buildings have been setback from the rail trail to provide built form relief and are orientated to the north to reduce potential noise impacts from building openings and traffic.
- Generous parking provision on the land is proposed and access to the land will be via an existing vehicle crossing.
- Loading areas will be provided directly into the proposed buildings, and material storage areas are provided for within the mezzanine level for workshop 1.
- External lighting of the property will be provided and to ensure light glare is minimised Council can place a condition on the permit requiring lighting to be suitably baffled.
- Stormwater discharge can be connected into the existing Municipal stormwater system. The buildings will each be serviced with two 12,500 rainwater tanks for stormwater detention.

6.2 Car Parking

In accordance with Clause 52.06-2 Provision of car parking spaces, before a new use commences the number of car parking spaces required under Clause 52.06-5 must be provided on the land.

Use of the land for industry requires 2.9 car spaces to each 100 square metres of net floor area. The overall net floor area for both buildings is 1,060.8 square metres.

The car parking requirement on the land is 30 car spaces, the car spaces to be provided is 34 car spaces meeting the number of spaces required to be provided on the land as per Clause 52.06-5.

Requirements for a car parking plan is stipulated within Clause 52.06-8. The plans show as appropriate:

- All car parking spaces that are proposed to be provided.
- Access lanes and driveways.
- At this stage it is not clear if car parking spaces will need to be allocated to different tenancies.
- The land is flat and there is no need for significant site works.

Plans prepared under Clause 52.06-8 must meet the design standards of Clause 52.06-9, unless the responsible authority agrees otherwise. The plans demonstrate the following:

- Accessways are 3 meters wide and at a change of direction are 4.2 metres wide.
- Two spaces are disabled car spaces and vehicles can leave in a forwards direction.
- No overhead obstructions impact car spaces.
- The exit lane will be clear of visual obstructions.
- Car spaces will be 2.6m by 4.9m with the accessway width substantially exceeding 6.4m.
- There is no significant change of gradient and no mechanical parking will be provided.
- Car parking and garage doors will not dominate the public realm given the subject land configuration.
- Car parking areas will be provided with lighting.

6.3 Stormwater Management

Clause 53.18 Stormwater Management in Urban Development, seeks to ensure stormwater in urban development is managed.

In accordance with Clause 53.18-3 buildings and works, the objectives of Clauses 53.18-5 and 53.18-6 must be met and the standards of the clauses should be met.

Each building will be connected to two 12,500 litre rainwater tanks to detain stormwater from the buildings and a 1square metre raingarden for the footpath zone. In accordance with a STORM Rating Report 100% required water quality objectives are met, based on 15 occupants on the site. It should be noted that the site area of the property used for the STORM Rating Report is the vacant part of the land.

In our view the proposed buildings and works construction, should be relatively straight forward given the site is flat and has been previously prepared for development. Standard construction management requirements such as the use of perimeter silt fencing, provision of construction litter bins and bunding of temporary chemical storage (if required) can be conditioned by Council.

7. Conclusion

The proposed use and development of two industrial buildings at 8 Meringo Place, Lucknow is considered to accord with all relevant provisions of the Industrial 1 Zone of the East Gippsland Planning Scheme. The proposal is consistent with Planning Policy Framework and Municipal Planning Strategy and has been designed to complement the adjoining properties.

For these reasons we respectfully request that Council consider the merits of the application favourably and resolve to issue a Planning Permit.



STORM Rating Report

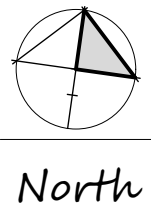
TransactionID: 1652373
Municipality: EAST GIPPSLAND
Rainfall Station: BAIRNSDALE
Address: 8
Meringo Place
Bairnsdale
VIC
Assessor: Aaron Hollow
Development Type: Industrial
Allotment Site (m2): 4,224.00
STORM Rating %: 103

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Buildings	1,161.00	Rainwater Tank	50,000.00	15	103.00	100.00
Footpath Zone	111.00	Raingarden 100mm	1.00	0	105.50	0.00

'FOR CONSTRUCTION'
05-10-2023

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DRAWING LIST	
PAGE No.	TITLE
1308 CD-00e	COVER SHEET
1308 CD-01e	NOTES & SPECIFICATIONS
1308 CD-02e	PROPOSED SITE PLAN
1308 W1.CD-03e	WORKSHOP 1 PROPOSED GROUND FLOOR & MEZZANINE PLAN
1308 W1.CD-04e	WORKSHOP 1 ELECTRICAL LAYOUT - GROUND FLOOR
1308 W1.CD-05e	WORKSHOP 1 ELECTRICAL LAYOUT - MEZZANINE
1308 W1.CD-06e	WORKSHOP 1 ELEVATIONS 1/2
1308 W1.CD-07e	WORKSHOP 1 ELEVATIONS 2/2
1308 W1.CD-08e	WORKSHOP 1 SECTIONS
1308 W1.CD-09e	WORKSHOP 1 INTERNAL PLANS AND ELEVATIONS
1308 W2.CD-10e	WORKSHOP 2 GROUND FLOOR PLAN
1308 W2.CD-11e	WORKSHOP 2 ELECTRICAL LAYOUT
1308 W2.CD-12e	WORKSHOP 2 ELEVATIONS 1/2
1308 W2.CD-13e	WORKSHOP 2 ELEVATIONS 2/2



'FOR CONSTRUCTION'
05-10-2023

SPECIFICATION SCHEDULE:

STRUCTURE NOTE: SHED STRUCTURE (EXTERNAL WALLS, ROOF, PORTAL FRAME, SLAB, MEZZANINE, ETC) BY SHED MANUFACTURER - NOT PART OF ARCHITECTURAL DOCUMENTATION PACKAGE	
FLOORING : SLAB ON GROUND (BY OTHERS): AS REQUIRED BY ENGINEERS SPECIFICATIONS. FLOORING: EPOXY RESIN BY CLIENT CONCRETE FLOOR SLABS TO BE STEEL TROWEL FINISH. MEZZANINE STRUCTURE BY OTHERS TIMBER FLOORING (STRUCTURAL): AS SPECIFIED BY INTERCLAMP OR SELECTED 22mm WATER RESISTANT TONGUE AND GROOVE FLOORING INSTALL TO MANUFACTURERS SPECIFICATIONS. VINYL FLOOR FINISHES VN1 - ACC WC: ARMSTRONG ACCOLADE FOOHOLD FINISH: 'MALLEE WHEAT' INSTALLED TO MANUF. SPECS VN2 - MEETING / RECEPTION ARMSTRONG ACCOLADE SAFE FINISH: MALLEE WHEAT INSTALLED TO MANUF. SPECS.	WALLS (INTERNAL): WORKSHOP FACING: JAMES HARDIE FLEX SHEET 6mm (TYP.) INSTALLED TO MANUFACTURERS SPECIFICATIONS. EXPRESSED JOINTS SPACED EVENLY PAINT FINISH RECEPTION / MEETING GYPROCK 10mm PLASTERBOARD (TYP.) PAINT FINISH 10mm WATER RESISTANT PLASTERBOARD TO END WALL AT KITCHENETTE AND RETURN 800mm AT SIDES. PAINT FINISH VN3 (SPLASHBACK): ARMSTRONG WALLFLEX WALL VINYL TO 150 ABOVE BENCH. COLOUR: ALABASTER ACC. WC & SHOWER JAMES HARDIE VILLABOARD 6mm (TYP.) INSTALLED TO MANUFACTURERS SPECIFICATIONS. PAINT FINISH. VN3: ARMSTRONG WALLFLEX WALL VINYL UP TO 1800mm AFFL COLOUR: ALABASTER. ARCHITRAVES: PORTA 66 x 18mm PRIMED HALF SPLAYED PINE MOULDING SKIRTING: ACC WC: 150mm COVED VINYL TO MATCH FLOORING RECEPTION / MEETING: 150mm x 25mm PRE PRIMED MDF, PAINT FINISH CEILINGS: RECEPTION / MEETING: GYPROCK PLUS 10mm PLASTERBOARD (TYP.) PAINT FINISH. ACC. WC & SHOWER JAMES HARDIE VILLABOARD 6mm (TYP.) INSTALLED TO MANUFACTURERS SPECIFICATIONS. PAINT FINISH. CORNICE: GYPROCK Cove 90mm Cornice PAINT FINISH JOINERY: NOT PART OF DOCUMENTATION PACKAGE. BUILDER TO LIASE WITH CLIENT. IF REQUIRED PLEASE CONTACT ME AT YOUR CONVENIENCE.
ROOFING: BY SHED MANUFACTURER FASCIAS : BY SHED MANUFACTURER	
ROOF DRAINAGE: BY SHED MANUFACTURER	
SITE SETOUT & ESTABLISHMENT: ENSURE ACCURATE SITE BOUNDARIES ARE ESTABLISHED PRIOR TO COMMENCEMENT ON SITE. BUILDER TO ALLOW SUITABLE TOLERANCE WHERE BUILDING LINE ABUTS BOUNDARY.	
BOLLARDS: 114mm BASE X 1200 PLATE BOLLARD (YELLOW) AS REQUIRED	

PAINT: PREPARE CLEAN AND PAINT ALL NEW SURFACES AS REQUIRED. COLOURS TO BE SELECTED. PLEASE ALLOW IN QUOTE THE FOLLOWING: INTERNAL WALLS AND CEILINGS, DOORS AND FRAMES BOTH INTERNAL & EXTERNAL, SKIRTS, CORNICING, STAIRS. PLEASE NOTE, THAT THE ABOVE ITEMS ARE ALL INCLUSIVE BUT NOT LIMITED TO. SHOULD YOU THE CONTRACTOR BE UNSURE OF THE REQUIRED SCOPE PLEASE CONTACT THE BUILDING DESIGNER / CLIENT PRIOR TO SUBMISSION OF YOUR QUOTE. PAINT ALL NEW SURFACES AS REQUIRED. PROVIDE ONE COAT OF APPROVED PRIMER WITH A MINIMUM OF TWO THICK COATS OF APPROVED PAINT TO FINISH. REFER TO PAINT MANUFACTURERS SPECIFICATIONS FOR DETAILS. NATURAL OIL FINISH TO ALL EXPOSED TIMBER SURFACES. (NO WATER BASED PRODUCTS)

STAIRS: STEEL FRAMED STAIR TO MEZZANINE, TO ENG DESIGN AND IN ACCORDANCE WITH NCC REGULATIONS (BY SHED MANUFACTURER) HR - MEZZANINE HANDRAILS: INTERCLAMP HANDRAILING STANDARD SAFETY POST, TWO RAIL WITH KICKPLATE, WITH LOADING GATE TO MEZZANINE (REFER PLAN) PRODUCT CODE: 4030 (OR SIMILAR APPROVED) PLEASE ENSURE AUST. STANDARDS ARE ADHERED TO. CONTACT INTERCLAMP FOR A QUOTE: INTERCLAMP PTY LTD PH: 03 9357 5000 E: SALES@INTERCLAMP.COM
--

KITCHEN: ALL WATER PROOFING & TANKING TO SELECTED MANUFACUTERS REQUIREMENTS & SPECIFICATIONS & NCC REGS SINK: Base MK3 STAINLESS STEEL 1200mm LONG 1 & 3/4 SINK. 1 TAPHOLE. Reece Product Code: 9502732 SNK-TS: Posh Bristol MK2 CHROME SINK MIXER Reece Product Code: 9505249

SIGNAGE: ACCESSIBLE WC & SHOWER DOOR SIGNAGE TO BE RBA4330-018 UNISEX (LH)

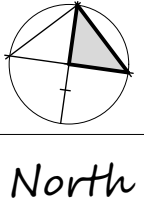
REFER ELECTRICAL LAYOUTS FOR EXIT / EMERGENCY LIGHTING AND EXTINGUISHERS
--

FIXTURES & FITTINGS:

ACCESSIBLE WC & SHOWER: ALL WATER PROOFING & TANKING TO SELECTED MANUFACUTERS REQUIREMENTS & SPECIFICATIONS & NCC REGS REFER WALL SPEC. FOR WALL FINISHES ALL FIXTURES AND FITTINGS TO AS1428.1-2009. REFER INTERNAL ELEVATIONS FOR FIXING HEIGHTS	
CRTN:	Metlam SC-SERIES SHOWER CURTAIN. WHITE BOX STRIPE POLYESTER (MILDEW RESISTANT) 2000MM DROP, 2600mm LONG Metlam Product Code: SC_WBS2620
DHT:	Wolfen STAINLESS STEEL HAND TOWEL DISPENSER Reece Product Code: 2263886
HB:	Roca Debba 500mm WALL BASIN WITH FIXING KIT, 1 TAPHOLE WHITE. Reece Product Code: 9506368
HB-TS:	Posh Bristol MK2 CHROME BASIN MIXER TAP WITH EXTENDED LEVER (4 STAR) Reece Product Code: 9505250
GR1:	Mobi 32mm X 300mm POLISHED STAINLESS STEEL GRAB RAIL Reece Product Code: 9502621
GR2:	Mobi 840mm X 700mm X 140 DEGREE LEFT HAND GRAB RAIL. POLISHED STAINLESS STEEL Reece Product Code: 9502627
MIX:	Caroma Care Plus CHROME SHOWER MIXER, STANDARD HANDLE H/C Caroma Product Code: 91107C
MR:	Metlam 600mmW X 1000mmH STAINLESS STEEL FRAMED MIRROR
PAN:	Caroma Care 400, S TRAP 50mm BACK INLET TOILET SUITE, METAL RAISED HEIGHT BUTTONS, Caravelle Care SINGLE FLAP STANDARD SEAT WHITE (4 STAR) Caroma Product Code: 987900B
SD:	Wolfen STAINLESS STEEL SOAP DISPENSER Reece Product Code: 2263888
SEAT:	Wolfen FOLDING SHOWER SEAT 960mm STAINLESS STEEL AND WHITE Reece Product Code: 2260049
SHW:	Metlam 1100mmx700mm STAINLESS STEEL UNIVERSAL SLIDING SHOWER RAIL Metlam Product Code: MLR1078 WITH Posh Solus MK3 GRAB SINGLE RAIL SHOWER CONVERSION KIT WITH WALL WATER INLET CHROME Reece Product Code: 2213369
SHWTRK:	Metlam 1200X1200mm L BEND SHOWER CURTAIN TRACK SYSTEM Metlam Product Code: SCT_1200x1200MM
SH:	Metlam 300mmW x 105mmH x 127mmD STAINLESS STEEL UTILITY SHELF (Metlam Product Code: ML950_12)
SOAP:	Metlam SOAP DISH WITH DRAIN HOLE IN BRIGHT CHROME Metlam Product Code: ML3359B_XH
TRH:	Mizu Soothe CURVED TOILET ROLL HOLDER, CHROME Reece Product Code: 9503860

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ALL ARCHITECTURAL DOCUMENTATION TO BE READ IN CONJUNCTION WITH ALL ASSOCIATED BUILDING SERVICES & CONSULTANTS DOCUMENTATION. INCLUDING BUT NOT LIMITED TO CIVIL, STRUCTURAL ENGINEERS, ENERGY RATING, ETC.
IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THAT ALL HIS OR HER BUILDING SUB-CONTRACTORS ARE KEPT UP TO DATE WITH CURRENT DOCUMENTATION AT ALL TIMES.
ANY CONCERNS OR DISCREPANCIES SHALL BE REFERRED BACK TO THE PROJECT ARCHITECT / BUILDING DESIGNER IMMEDIATELY.
LAND NOT 'LIABLE' TO FLOODING.
STRUCTURAL ENGINEERS DOCUMENTATION TAKES PRECEDENCE OVER ARCHITECTURALLY DOCUMENTED STRUCTURAL MEMBER SIZES WHERE CONFLICTING. THE BUILDER MUST CONTACT THE BUILDING DESIGNER SHOULD ANY SUCH DISCREPANCY ARISE IMMEDIATELY.
BUILDER TO CONFIRM ALL DIMENSIONS ON SITE.
BUILDER TO CONFIRM LOCATIONS AND DIMENSIONS OF ALL 'INCLUDING BUT NOT LIMITED TO': SITE LEVELS, WINDOW SIZES, LOCATIONS OF ALL SEWER DRAINS, SEPTIC TANKS, AG LINES, POWER, STRUCTURE EXISTING AND NEW, UNDERGROUND SERVICES etc. PRIOR TO COMMENCEMENT OF WORKS.
REFER TO CIVIL ENGINEERS DOCUMENTATION FOR WASTE WATER AND SEPTIC TANK WORKS & REQUIREMENTS.
LCA PROVIDED YES/ NO).
BUILDER TO ALLOW FOR BASIC LEVELLING OF THE ENTIRE SITE, ALLOWING FALL AWAY FROM THE BUILDING BACK TO NOMINATED DRAINAGE POINTS OR IN ACCORDANCE WITH THE NATURAL CONTOURS OF THE LAND.
ENSURE WHEELCHAIR ACCESS IS PROVIDED IN ACCORDANCE WITH AS 1428.1 MAXIMUM STEP 5mm TO FINISHED GROUND LEVEL (FGL). LAND TO FALL AWAY FROM BUILDING.
BUILDER TO CUT, SEAL & MAKE SAFE ALL EXISTING BUILDING SERVICES AS REQUIRED THROUGHOUT DURATION OF WORKS. INCLUDING BUT NOT LIMITED TO: ELECTRICAL, FIRE & HYDRAULIC SERVICES.
This Building is: CLASS 8
ALL <u>TIMBER MATERIALS AND INSTALLATIONS</u> TO BE IN ACCORDANCE WITH AS 1648 (THE NATIONAL TIMBER FRAMING CODE) AS 1720 THE NCC AND LOCAL COUNCIL REGULATIONS.
ALL <u>STEEL MATERIALS AND INSTALLATIONS</u> INCLUDING STEEL LINTELS TO BE PROVIDED IN ACCORDANCE WITH AUSTRALIAN STANDARDS, INCL. BUT NOT LIMITED TO AS 4100 , STEEL STRUCTURES CODE, THE NCC AND LOCAL COUNCIL REGULATIONS.
<u>BRICK AND BLOCKWORK</u> CONSTRUCTION TO BE IN ACCORDANCE WITH AS 4773 'MASONARY STRUCTURES'.
ALL <u>CONCRETE STRUCTURES</u> TO BE INSTALLED IN ACCORDANCE WITH AS 3600 'CONCRETE STRUCTURES' ALSO REFER TO STRUCTURAL ENGINEERS DOCUMENTATION AS REQUIRED.
WET AREAS TO COMPLY WITH AS3740 AND NCC
STAIR TREADS TO HAVE A SURFACE WITH A SLIP RESISTANCE CLASSIFICATION NOT LESS THAN P3 OR R10 (INTERNAL) OR P4 OR R11 (EXTERNAL) OR NOSING STRIP WITH A RESISTANCE CLASSIFICATION OF NOT LESS THAN P3 (INTERNAL) OR P4 (EXTERNAL) AS PER NCC REGS
ALL NEW <u>GLAZING</u> TO BE IN ACCORDANCE WITH: AS.1288
<u>STORM WATER DRAINS</u> SHALL COMPLY WITH: AS.3500.5
PROVIDE <u>SMOKE DETECTION</u> IN ACCORDANCE WITH: AS.3786
<u>FOOTINGS & CONCRETE SLABS</u> SHALL COMPLY WITH RESIDENTIAL SLABS AND FOOTING CODE: AS.2870
<u>BUSHFIRE CONSTRUCTION</u> SHALL COMPLY WITH: AS.3959 Construction of Buildings In Bushfire Prone Areas
<u>TERMITE TREATMENT</u> TO CONFORM TO: AS.3660 (for chemical treatment of.) AS.1694 (for physical treatment of.)
BUILDER TO ENSURE THAT ALL OPEN <u>TIMBER STAIRS</u> DO NOT EXCEED 125 OPENING BETWEEN TREADS TO COMPLY WITH NCC - 3.9.1.2
PROVIDE <u>INSULATION</u> IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA.
ALL AUSTRALIAN STANDARDS REFERRED TO HEREIN MUST BE CURRENT.



PROJECT:

Jarvis Storgage Shed - Fitout

NOTES & SPECIFICATIONS

Designed & Documented by: Mark Simnett

SCALE: As Noted on A3

PLOT DATE: 5/10/2023

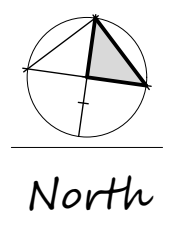
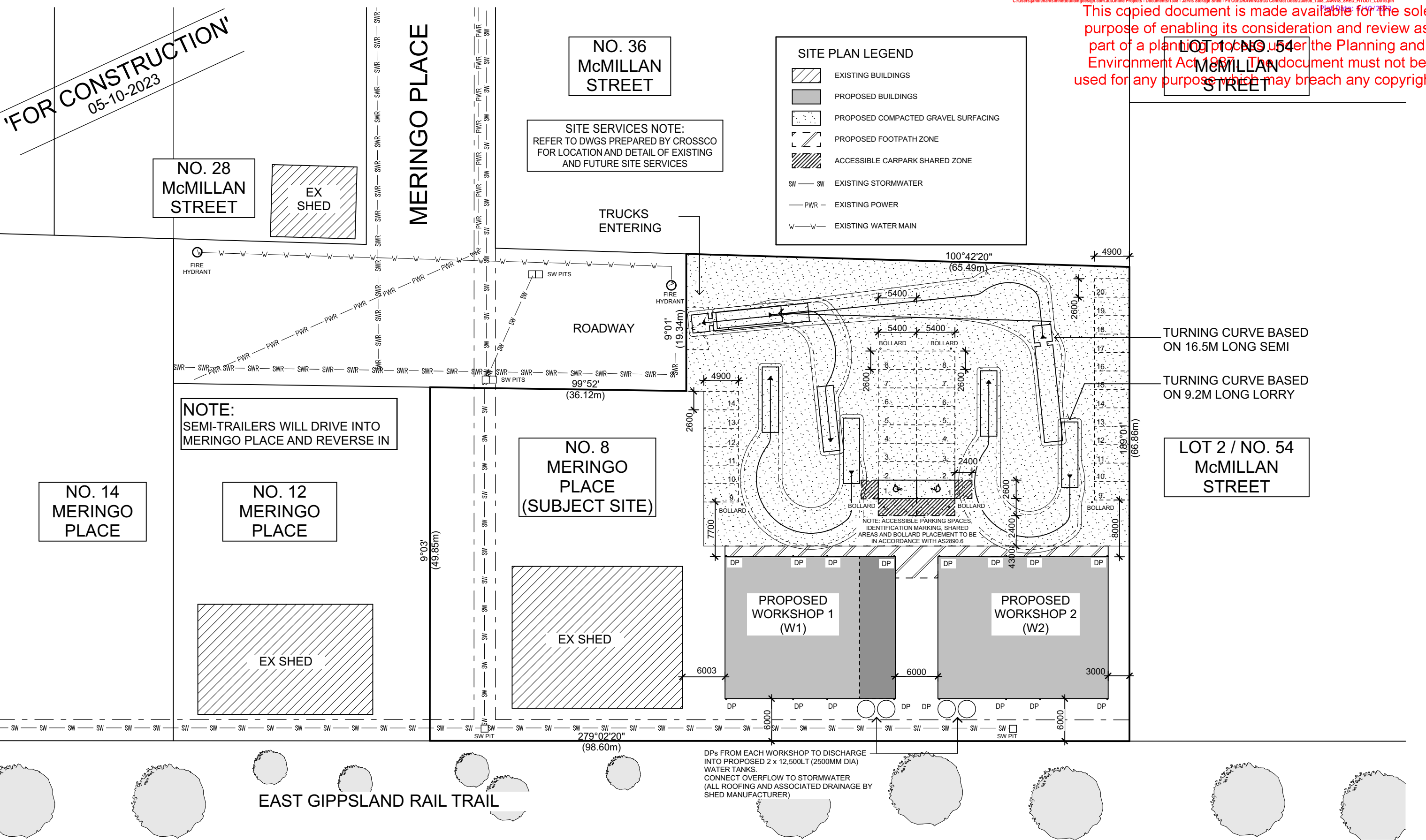
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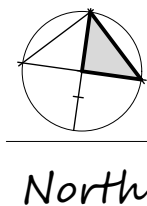
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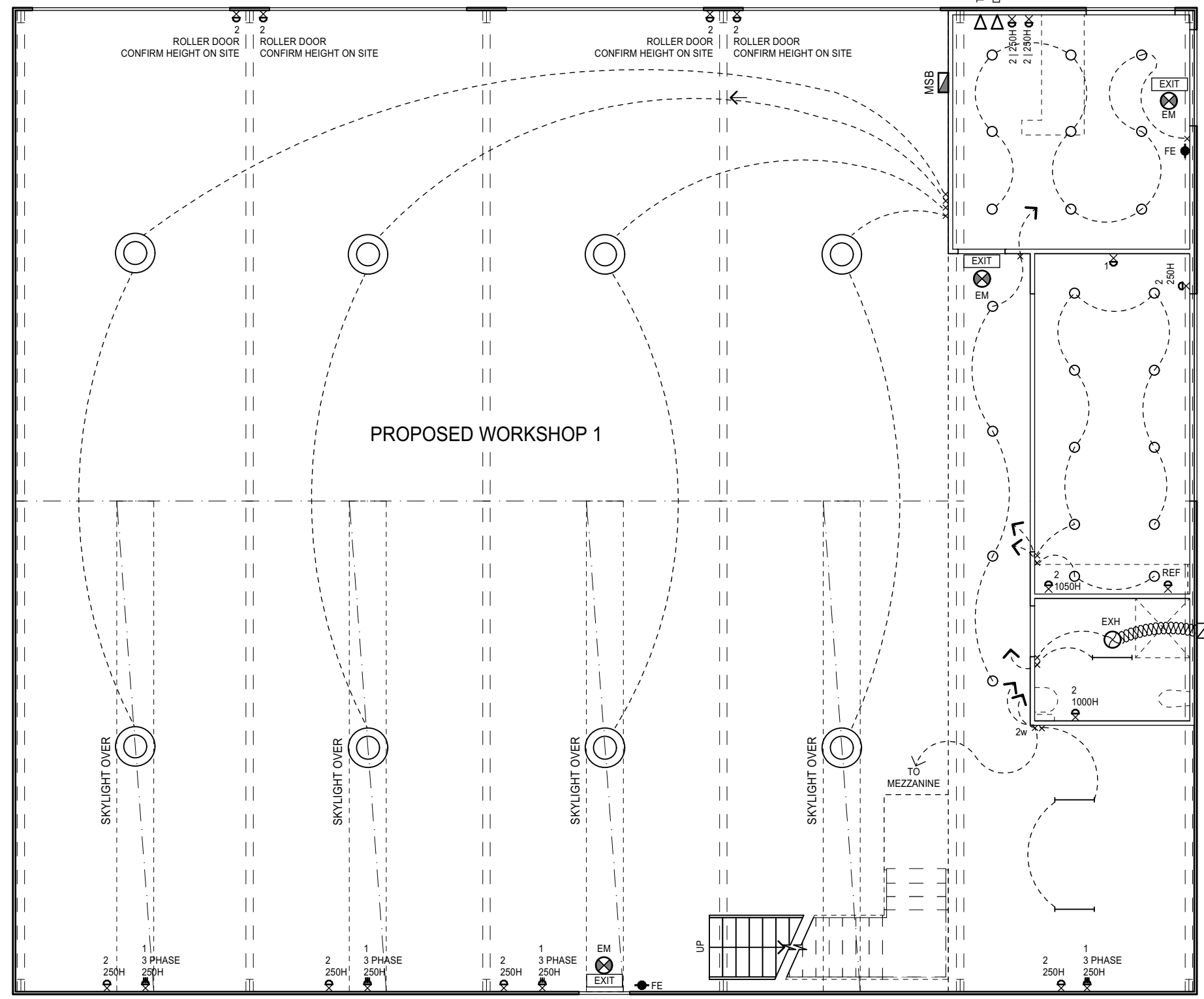
'FOR GOVERNMENT ACTION'

REFLECTED CEILING / BUILDING SERVICES KEY:

- MSB MAINS SWITCHBOARD. LOCATION TO BE CONFIRMED
- X SWITCH (SINGLE).
- X^{2w} SWITCH (2 - 3 WAY etc. 'AS NOTED') BACK TO CSP.
- POWER SUPPLY CABLE (LIGHTING).
- O DOWN LIGHT RECESSED L.E.D. (FIXED).
FITTING: TBC BY CLI. & LIGHTING SUPPLIER
COLOUR: TBC
- ◯ HIGH BAY L.E.D. LIGHTING
FITTING: RYTEC LIGHTING AUST.
BPLT LED HIGH BAY LUMINAIRE
120 DEGREE REFLECTOR
MODEL: BPLT 15/90
COLOUR: BLACK
- LED DIFFUSED BATTEN LUMINAIRE.
FITTING: 'RYTEC LIGHTING' SURFACE MOUNTED LED
DIFFUSED BATTEN LUMINAIRE - 1200mm
COLOUR: WHITE
- WIRE BACK TO CENTRAL SWITCH PANEL (CSP). SWITCH PANEL LOCATION TO BE CONFIRMED BY CLIENT. (REFER PLAN).
- 1 DOUBLE GPO - STANDARD
- 1 SINGLE GPO - 3 PHASE
(ELECTRICIAN TO LIASE WITH CLIENT FOR GPO LOCATIONS, MOUNTING HEIGHTS AND QUANTITY).
- Δ DATA DATAPOINT
- Δ TELEPHONE TELEPHONE POINT
- EXH CEILING EXHAUST FAN
- DUCTING AND WALL MOUNTED EGGCRATE EXHAUST GRILLE
- EM 3W LED NON-MAINTAINED EMERGENCY CT CLEVER TRONICS LIFE LITE PRO C0D50/C90D50 WP=IP66
- EXIT 3W LED, MAINTAINED EXIT LIGHT by CLEVERTRONICS ULTRABLADE C0D5/C90B10 OR SIMILAR APPROVED.
- FE FIRE EXTINGUISHER WALL MOUNT - DRY POWDER TYPE: 4A 80B(E) DP - 9KG

ALL POWER POINTS TO BE QUANTIFIED AND LOCATED BY CLIENT ON SITE.

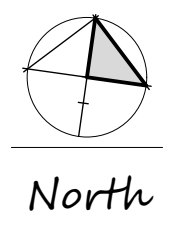
ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH NCC CLASS 8 BUILDING REGULATIONS & AUSTRALIAN STANDARDS.



W1.PL - 04

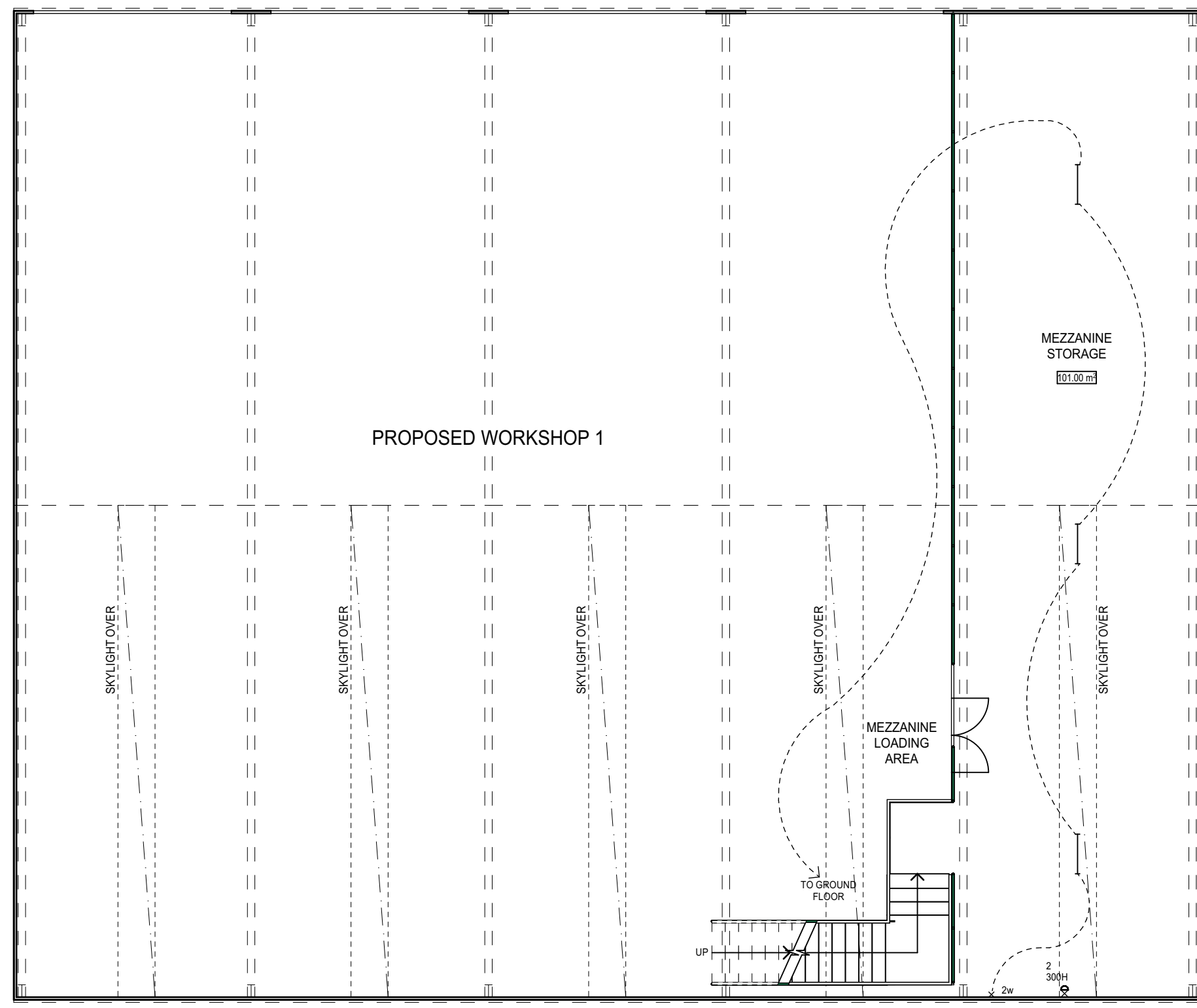
REFLECTED CEILING PLAN - GROUND FLOOR

1:100

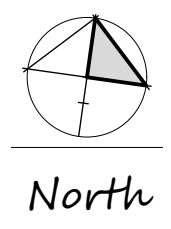


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05-10-2023

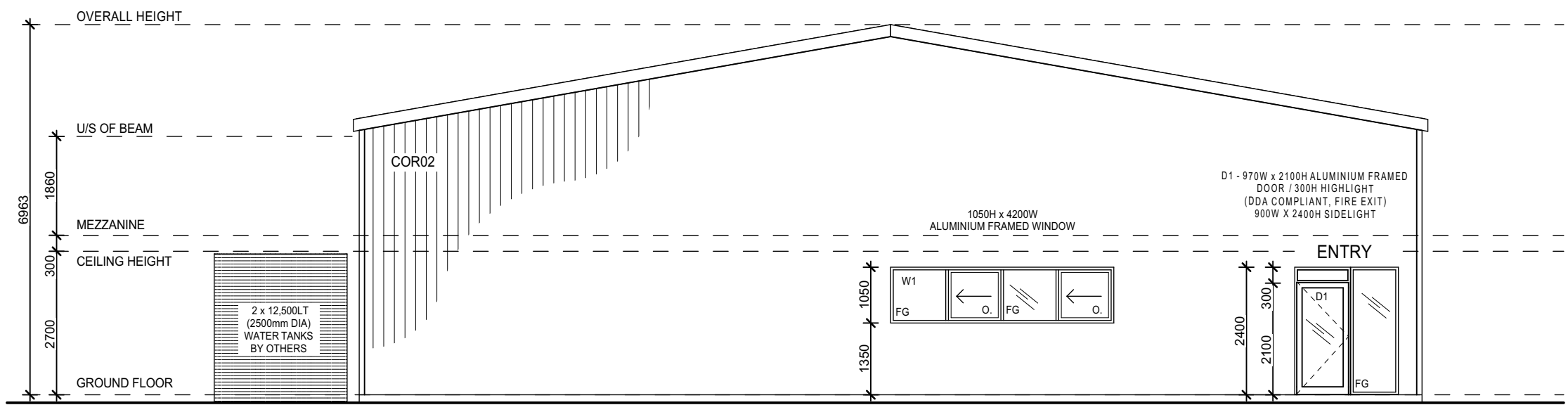


W1.PL - 05 REFLECTED CEILING PLAN - MEZZANINE 1:100



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W1.E01 EAST ELEVATION (WORKSHOP 1) 1:100

STRUCTURE NOTE:
SHED STRUCTURE (EXTERNAL WALLS, ROOF, PORTAL FRAME, SLAB, MEZZANINE, ETC) BY SHED MANUF. - NOT PART OF ARCHITECTURAL DOCUMENTATION PACKAGE

SCHEDULE OF MATERIALS AND FINISHES

COR1:
SHEET METAL ROOFING TO SHED MANUF. SPECS.
FINISH: ZINCALUME

COR2:
SHEET METAL CLADDING TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

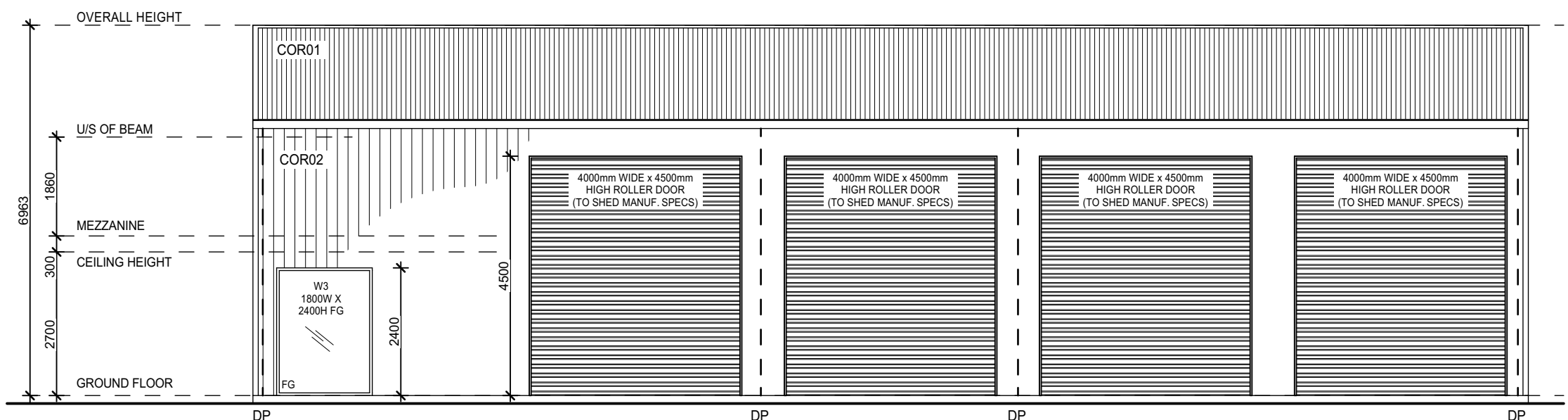
PC:
POLYCARB ROOF SHEETING TO SHED MANUF. SPECS.
FINISH: TRANSLUCENT

FASCIAS AND CAPPING:
METAL FASCIA TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

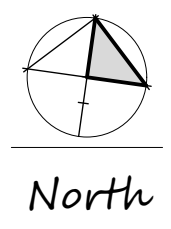
GUTTERS:
METAL GUTTERS TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

ROLLER DOORS:
METAL PROFILE TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

WINDOW FRAMES:
ALUMINIUM FRAMED
FINISH: POWDERCOAT, COLORBOND WALLABY COLOUR MATCH

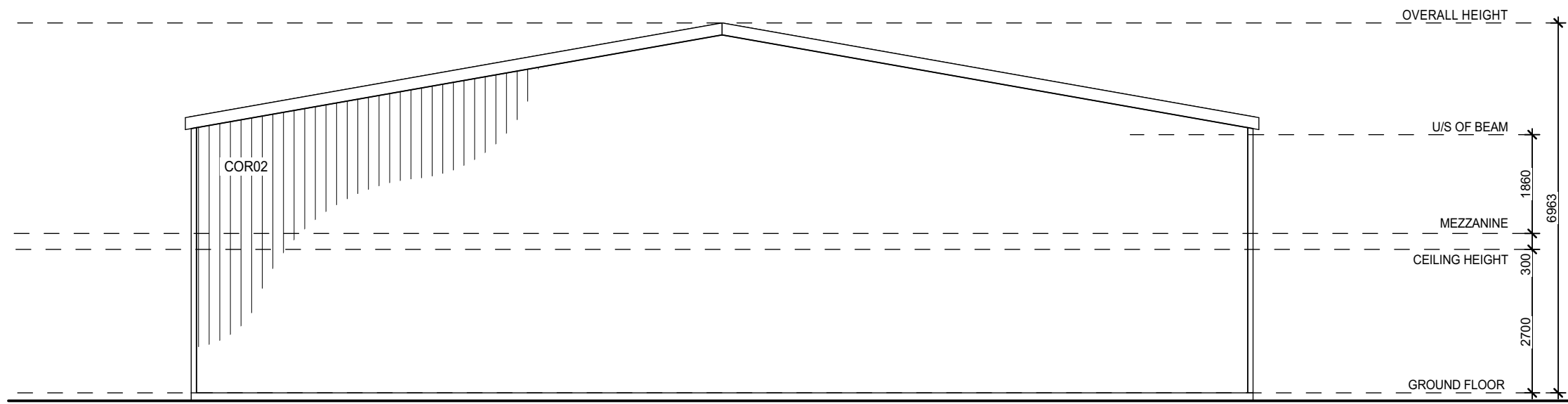


W1.E02 NORTH ELEVATION (WORKSHOP 1) 1:100



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STRUCTURE NOTE:
SHED STRUCTURE (EXTERNAL WALLS, ROOF, PORTAL FRAME, SLAB, MEZZANINE, ETC) BY SHED MANUF. - NOT PART OF ARCHITECTURAL DOCUMENTATION PACKAGE

SCHEDULE OF MATERIALS AND FINISHES

COR1:
SHEET METAL ROOFING TO SHED MANUF. SPECS.
FINISH: ZINCALUME

COR2:
SHEET METAL CLADDING TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

PC:
POLYCARB ROOF SHEETING TO SHED MANUF. SPECS.
FINISH: TRANSLUCENT

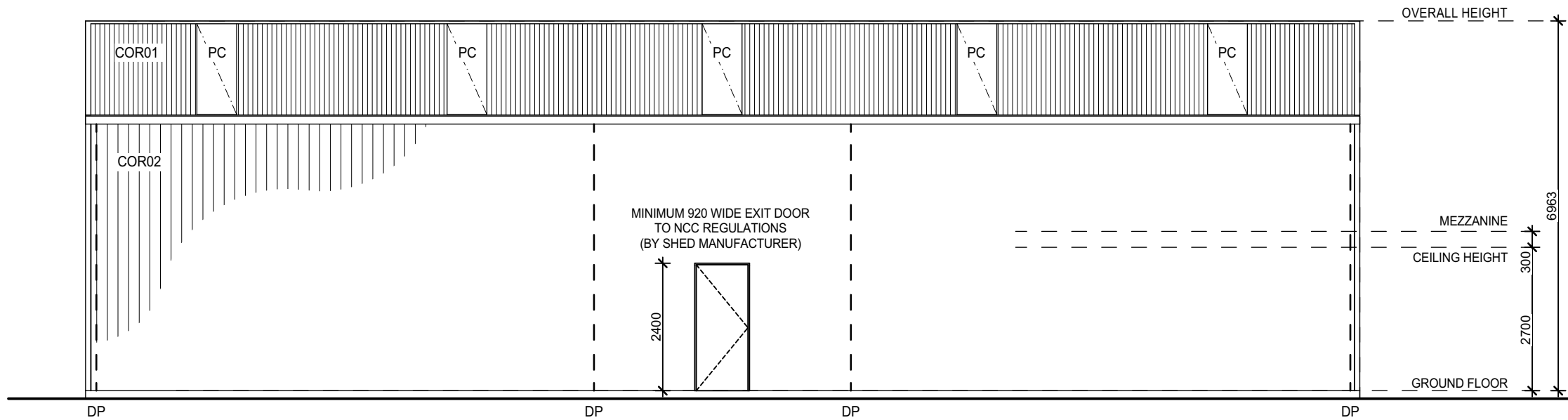
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METAL FASCIA TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

GUTTERS:
METAL GUTTERS TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

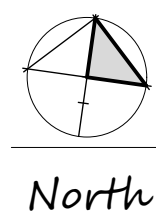
ROLLER DOORS:
METAL PROFILE TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

WINDOW FRAMES:
ALUMINIUM FRAMED
FINISH: POWDERCOAT, COLORBOND WALLABY COLOUR MATCH

W1.E03 WEST ELEVATION (WORKSHOP 1) 1:100

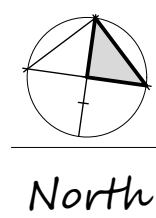
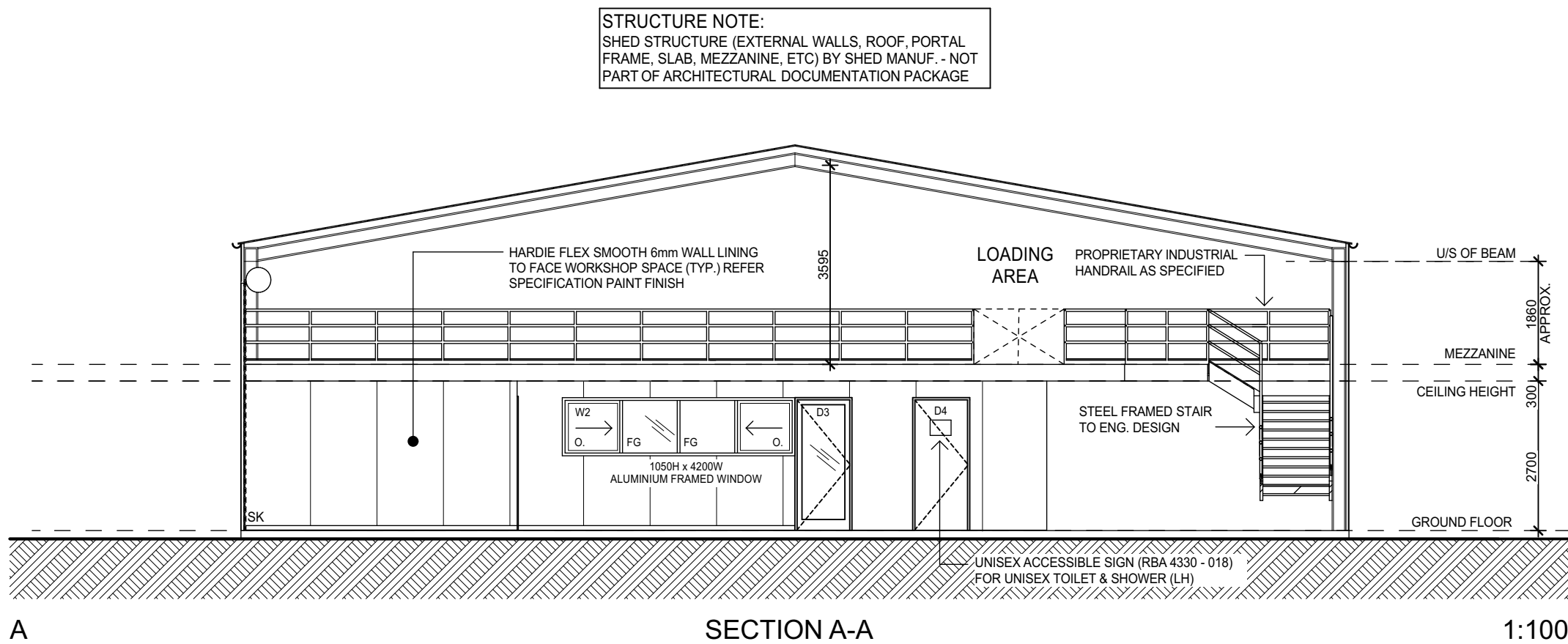


W1.E04 SOUTH ELEVATION (WORKSHOP 1) 1:100



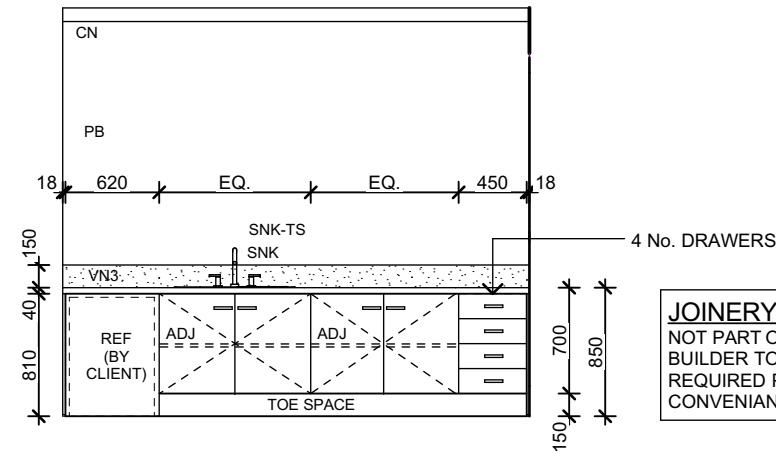
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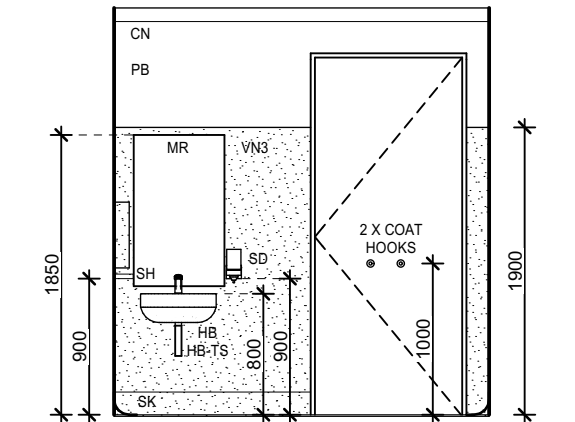
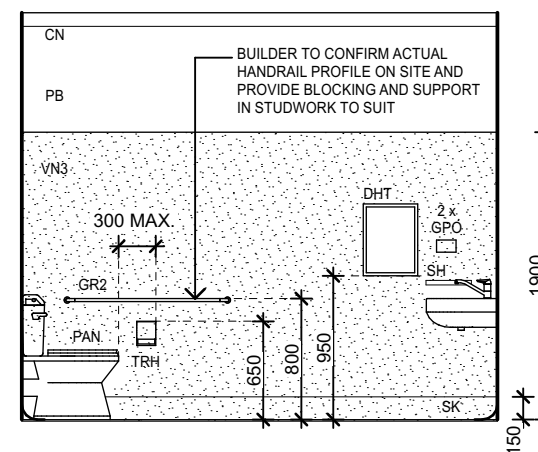
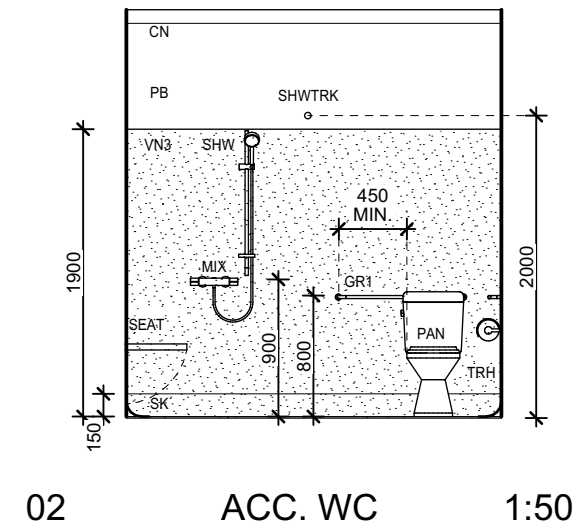
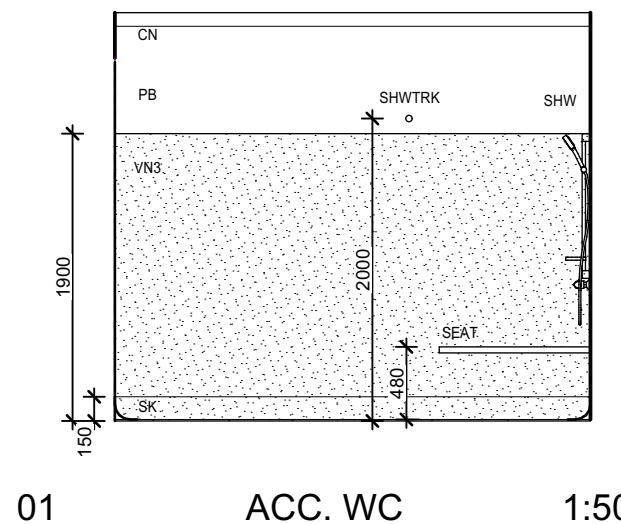
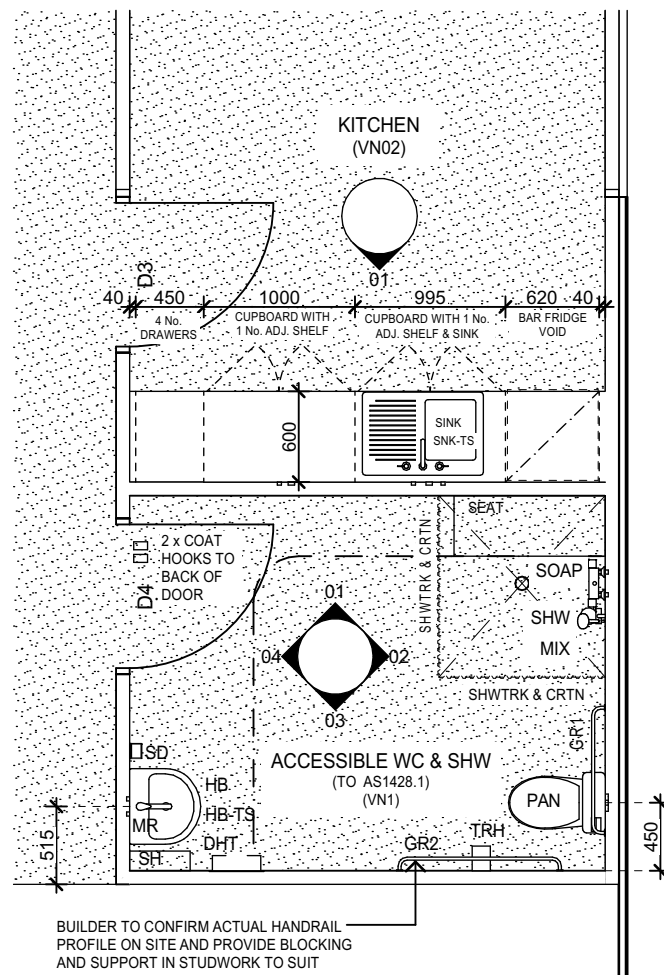


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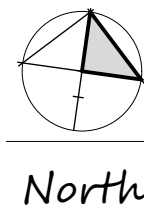
JOINERY.
NOT PART OF DOCUMENTATION PACKAGE.
BUILDER TO LIASE WITH CLIENT, IF
REQUIRED PLEASE CONTACT ME AT YOUR
CONVENIENCE.



W1.PL - 06 KITCHENETTE / ACC. WC PLAN 1:50

03 ACC. WC 1:50

04 ACC. WC 1:50



North

PROJECT:

Jarvis Storage Shed - Fitout

WORKSHOP 1 INTERNAL PLANS AND ELEVATIONS

Designed & Documented by: Mark Simnett

SCALE: As Noted on A3

PLOT DATE: 5/10/2023

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Printed 22/11/2023

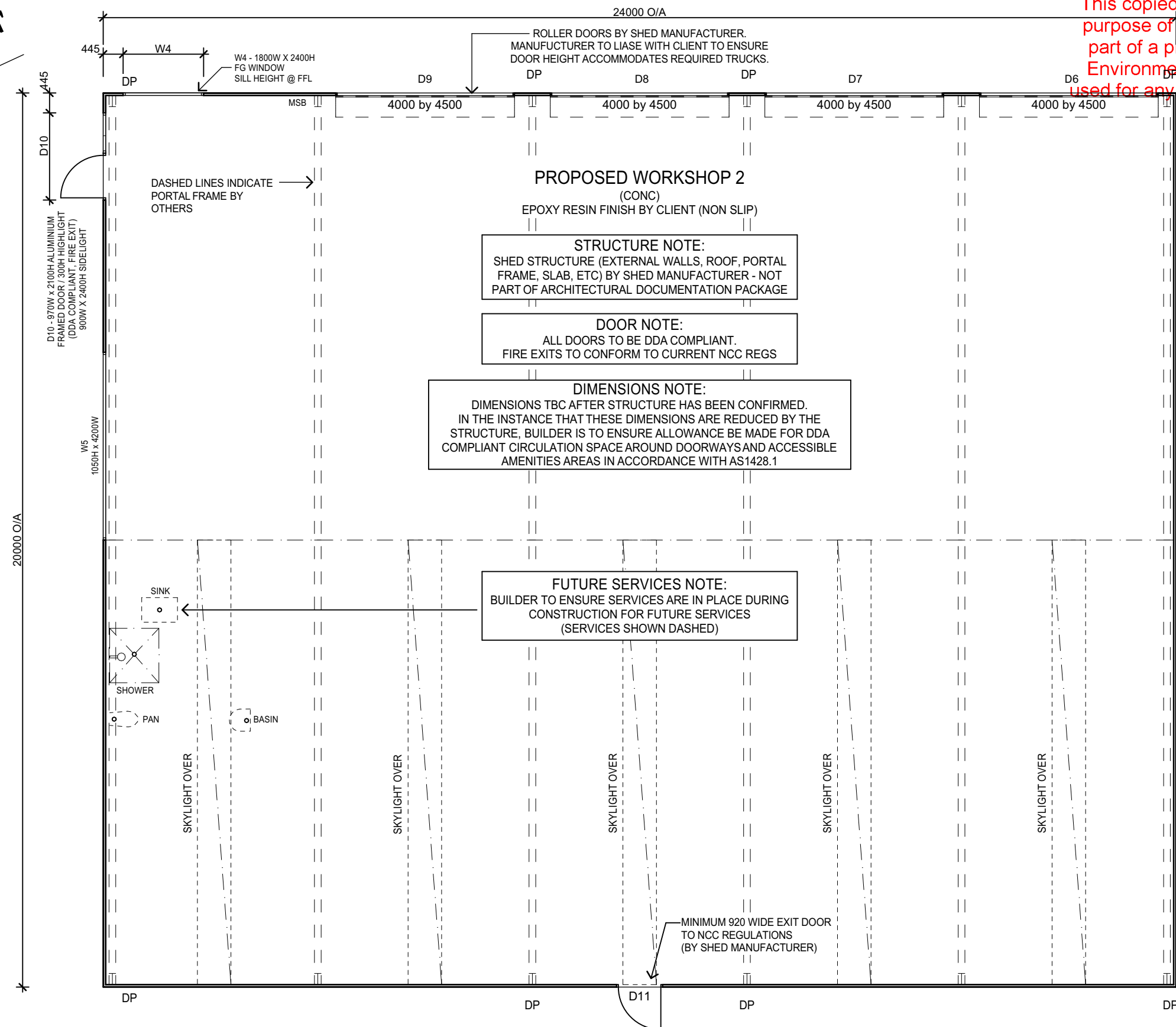
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W2.PL - 07

PROPOSED GROUND FLOOR

1:100

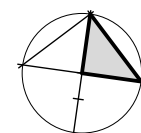


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MARK SIMNETT
BUILDING DESIGN

E marksimnettbuildingdesign@gmail.com • M 0429 042 940 • W www.marksimnettbuildingdesign.com.au

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North

PROJECT:

Jarvis Storgage Shed - Fitout

WORKSHOP 2 GROUND FLOOR PLAN

Designed & Documented by: Mark Simnett

SCALE: As Noted on A3

PLOT DATE: 5/10/2023

ADDRESS:
8 Meringo Place - Lucknow

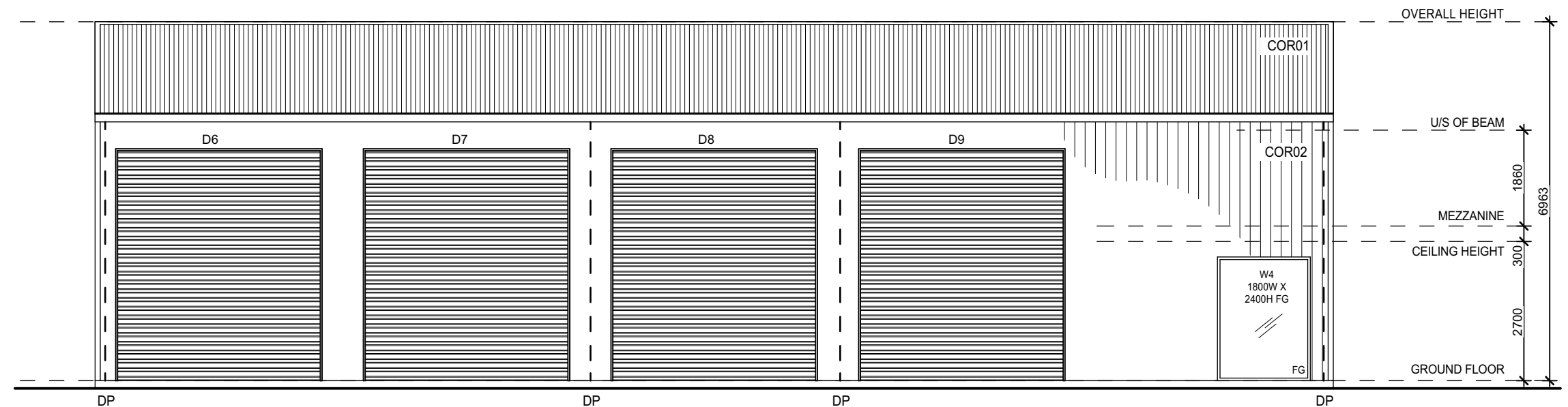
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W2.E05

NORTH ELEVATION (WORKSHOP 2)

1:100

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SCHEDULE OF MATERIALS AND FINISHES

COR1:
SHEET METAL ROOFING TO SHED MANUF. SPECS.
FINISH: ZINCALUME

COR2:
SHEET METAL CLADDING TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

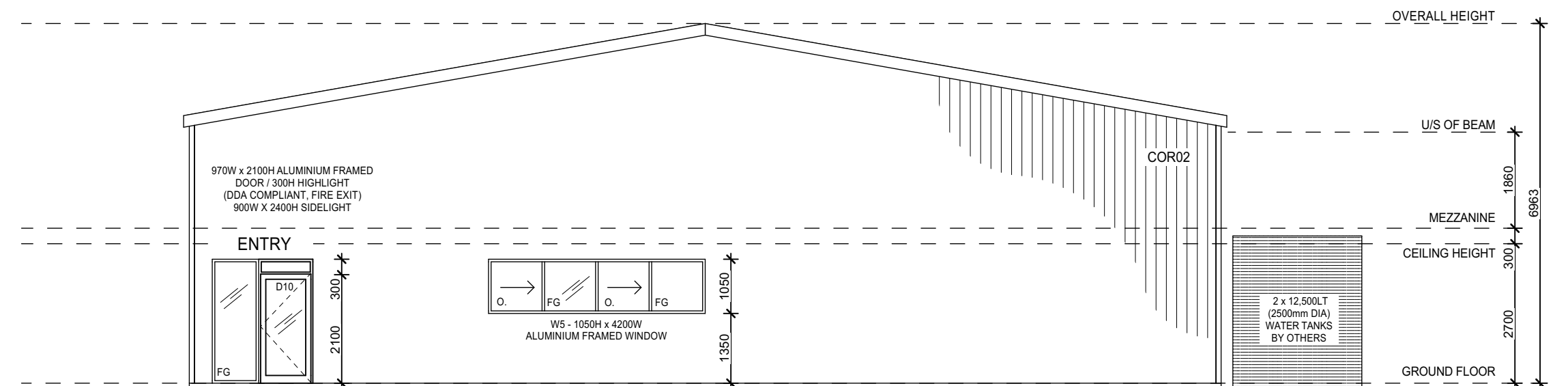
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FINISH: TRANSLUCENT

FASCIAS AND CAPPING:
METAL FASCIA TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

GUTTERS:
METAL GUTTERS TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

ROLLER DOORS:
METAL PROFILE TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

WINDOW FRAMES:
ALUMINIUM FRAMED
FINISH: POWDERCOAT, COLORBOND WALLABY COLOUR MATCH



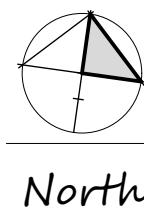
W2.E06

WEST ELEVATION (WORKSHOP 2)

1:100



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PROJECT:

Jarvis Storage Shed - Fitout

WORKSHOP 2 ELEVATIONS 1/2

Designed & Documented by: Mark Simnett

SCALE: As Noted on A3

PLOT DATE: 5/10/2023

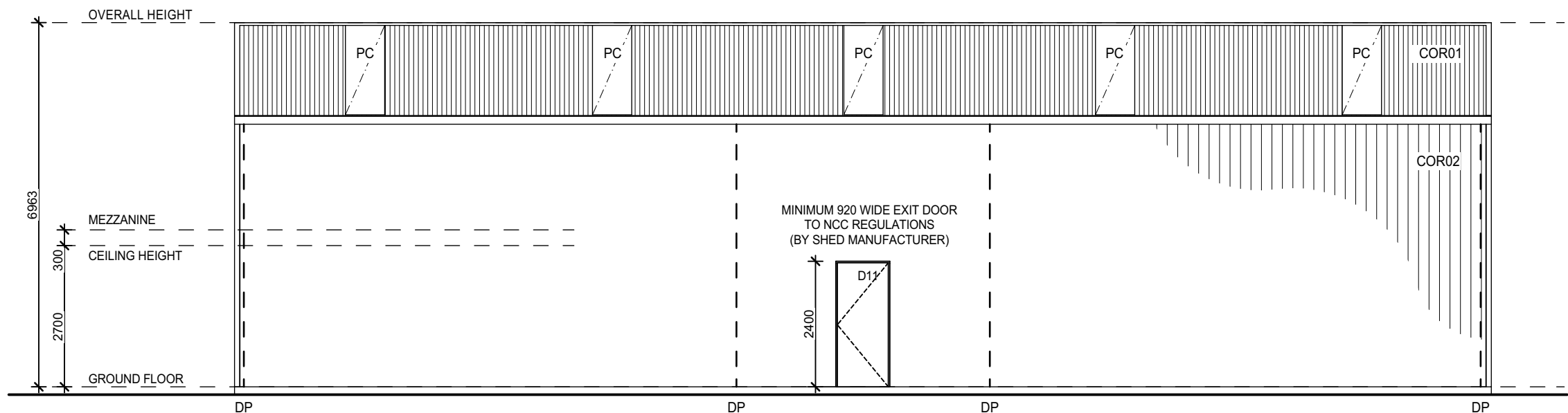
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1308 W2.CD-12e

'FOR CONSTRUCTION'
05-10-2023



W2.E07 SOUTH ELEVATION (WORKSHOP 2) 1:100

STRUCTURE NOTE:
SHED STRUCTURE (EXTERNAL WALLS, ROOF, PORTAL FRAME, SLAB, MEZZANINE, ETC) BY SHED MANUF. - NOT PART OF ARCHITECTURAL DOCUMENTATION PACKAGE

SCHEDULE OF MATERIALS AND FINISHES

COR1:
SHEET METAL ROOFING TO SHED MANUF. SPECS.
FINISH: ZINCALUME

COR2:
SHEET METAL CLADDING TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

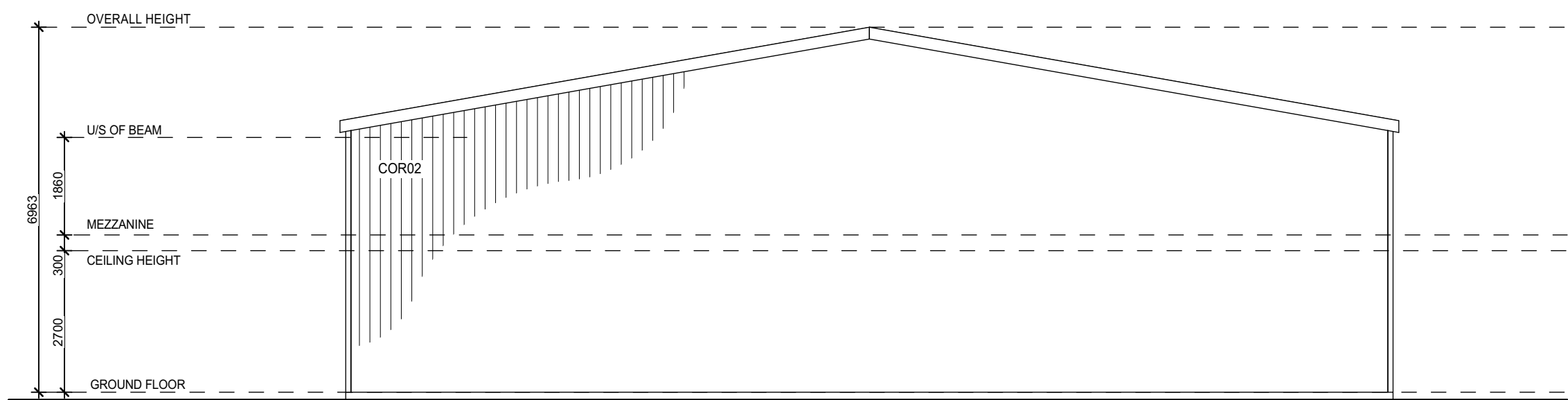
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FINISH: TRANSLUCENT

FASCIAS AND CAPPING:
METAL FASCIA TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

GUTTERS:
METAL GUTTERS TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

ROLLER DOORS:
METAL PROFILE TO SHED MANUF. SPECS.
FINISH: COLORBOND WALLABY

WINDOW FRAMES:
ALUMINIUM FRAMED
FINISH: POWDERCOAT, COLORBOND WALLABY COLOUR MATCH



W2.E08 EAST ELEVATION (WORKSHOP 2) 1:100

