Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	11 Devitt Street LAKES ENTRANCE 3909 Lot: 1 TP: 961277
The application is for a permit to:	Alterations and Additions to an existing dwelling
The applicant for the permit is:	B S Campisi
The application reference number is:	5.2023.442.1

You may look at the application and any documents that support the application free of charge at: https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must •

- be made to the Responsible Authority in writing,
- include the reasons for the objection, and
- state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to applicant giving notice
--	------------------------------------

If you object, the Responsible Authority will tell you its decision.

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 11825 FOLIO 993 Security no : 124109977438K

Produced 23/10/2023 03:19 PM

LAND DESCRIPTION

Lot 1 on Title Plan 961277E.

PARENT TITLE Volume 07479 Folio 115

Created by Application No. 135293B 30/05/2016

REGISTERED PROPRIETOR

Estate Fee Simple Joint Proprietors

MEGAN JANE CAMPISI

BRETT STEPHEN CAMPISI both of 206 ALBATROSS ROAD KALIMNA VIC 3909 AT752259Y 06/11/2020

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AT752260Q 06/11/2020 NATIONAL AUSTRALIA BANK LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP961277E FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 11 DEVITT STREET LAKES ENTRANCE VIC 3909

ADMINISTRATIVE NOTICES

NIL

eCT Control $16089\,\mathrm{P}$ NATIONAL AUSTRALIA BANK LTD Effective from 06/11/2020

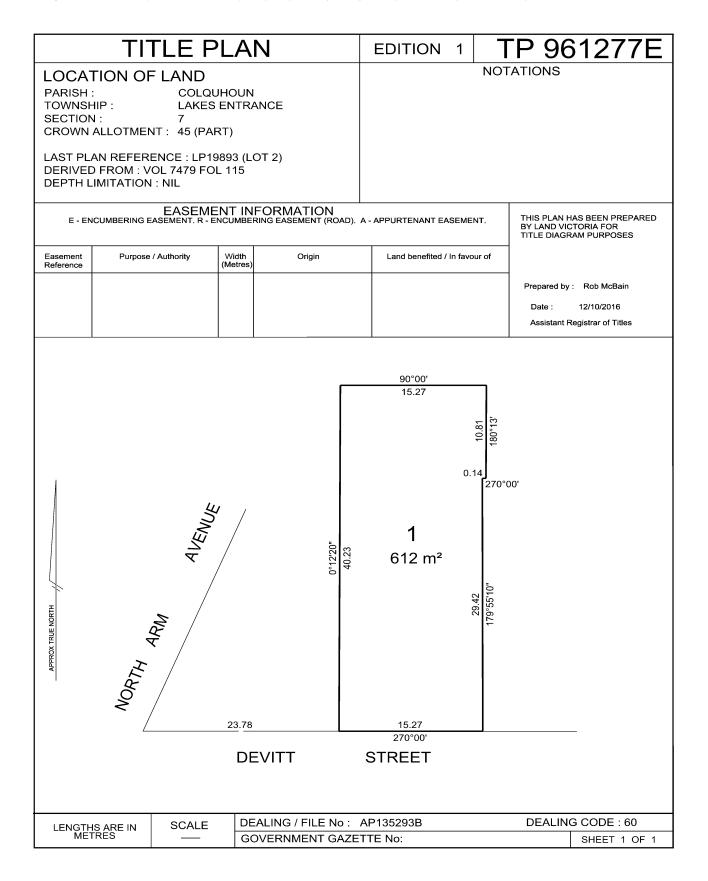
DOCUMENT END

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From www.planning.vic.gov.au at 31 October 2023 06:13 PM

PROPERTY DETAILS

Address: 11 DEVITT STREET LAKES ENTRANCE 3909

Lot and Plan Number: Lot 1 TP961277 Standard Parcel Identifier (SPI): 1\TP961277

Local Government Area (Council): EAST GIPPSLAND www.eastgippsland.vic.gov.au

Council Property Number: 42877

Planning Scheme: **East Gippsland** Planning Scheme - East Gippsland

Directory Reference: Vicroads 686 G5

UTILITIES STATE ELECTORATES

Rural Water Corporation: **Southern Rural Water** Legislative Council: **EASTERN VICTORIA** Urban Water Corporation: East Gippsland Water Legislative Assembly: **GIPPSLAND EAST**

Melbourne Water: Outside drainage boundary

Power Distributor: **AUSNET OTHER**

Registered Aboriginal Party: Gunaikurnai Land and Waters

Aboriginal Corporation

View location in VicPlan **Planning Zones**

GENERAL RESIDENTIAL ZONE (GRZ)

GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

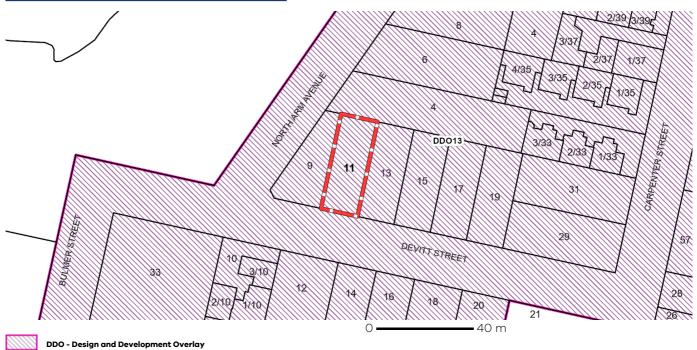
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Planning Overlays

DESIGN AND DEVELOPMENT OVERLAY (DDO)

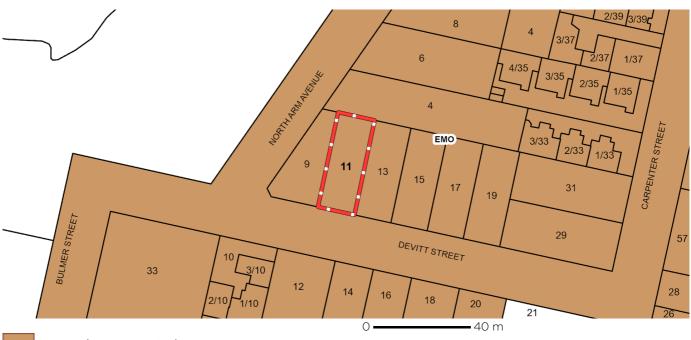
DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 13 (DDO13)



Note: due to overlaps, some overlaps may not be visible, and some colours may not match those in the legend

EROSION MANAGEMENT OVERLAY (EMO)

EROSION MANAGEMENT OVERLAY SCHEDULE (EMO)



EMO - Erosion Management Overlay

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

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Planning Overlays

LAND SUBJECT TO INUNDATION OVERLAY (LSIO) LAND SUBJECT TO INUNDATION OVERLAY SCHEDULE (LSIO)



 $Note: due\ to\ overlaps, some\ overlaps\ may\ not\ be\ visible, and\ some\ colours\ may\ not\ match\ those\ in\ the\ legend$

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Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this property is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

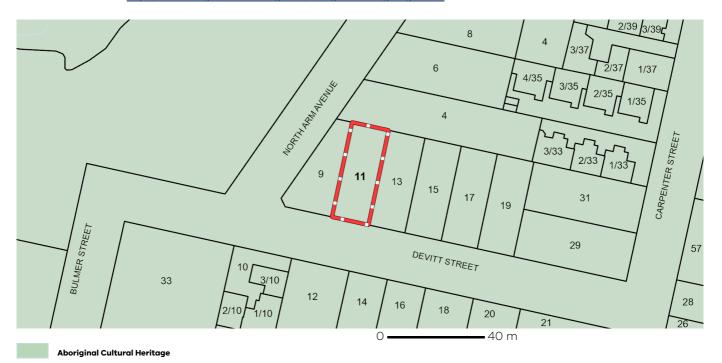
Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to http://www.aav.nrms.net.au/aavQuestion1.aspx

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, and the Aboriginal Heritage Regulatiocan also be found here - https://www.aboriginalvictoria.vic.gov.au/aboriginal-heritage-legislation



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Further Planning Information

Planning scheme data last updated on 26 October 2023.

A planning scheme sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting https://www.planning.vic.gov.au

This report is NOT a Planning Certificate issued pursuant to Section 199 of the Planning and Environment Act 1987. It does not include information about exhibited planning scheme amendments, or zonings that may abut the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - https://www.landata.vic.gov.au

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit https://mapshare.maps.vic.gov.au/vicplan

For other information about planning in Victoria visit https://www.planning.vic.gov.au

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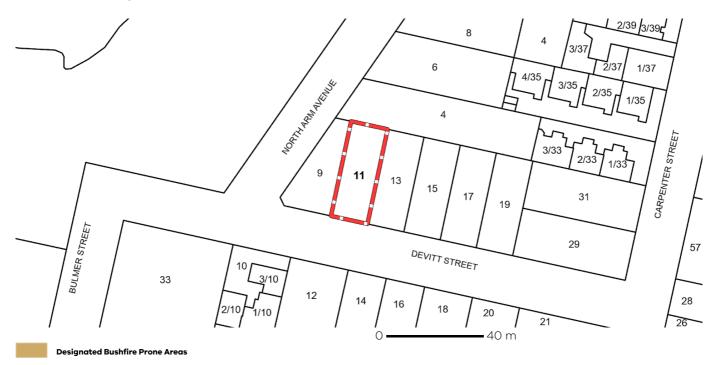


Designated Bushfire Prone Areas

This property is not in a designated bushfire prone area. No special bushfire construction requirements apply. Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at https://mapshare.vic.gov.au/vicplan/ or at the relevant local council.

Create a BPA definition plan in VicPlan to measure the BPA.

Information for lot owners building in the BPA is available at https://www.planning.vic.gov.au.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website https://www.vba.vic.gov.au. Copies of the Building Act and Building Regulations are available from http://www.legislation.vic.gov.au. For Planning Scheme Provisions in bushfire areas visit https://www.planning.vic.gov.au

Native Vegetation

Native plants that are indigenous to the region and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see Native Vegetation (Clause 52.17) with local variations in Native Vegetation (Clause 52.17) Schedule

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Information Management system https://nvim.delwp.vic.gov.au/ and Native vegetation (environment.vic.gov.au/ or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit NatureKit (environment.vic.gov.au)

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Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic).

PLANNING PROPERTY REPORT: 11 DEVITT STREET LAKES ENTRANCE 3909



26 October 2023

To the Responsible Authority By Email

To whom it may concern,

Re: Proposed Additions and Alterations 11 Devitt Street Lakes Entrance

After having visited the above mentioned property, I recommend a Geotechnical Risk Assessment report waiver for the planning application of the above mentioned development. The reasons for the waiver are as follows;

- 1. There is no evidence of soil erosion or landslip on, or nearby the subject site and I would consider the geotechnical risks to be low.
- 2. The works consist of alterations and second storey additions to an existing dwelling. The site has and existing house on it and has a very slight fall to the front and rear.
- 3. The subject site is in an established area of Lakes Entrance.
- 4. Natural soils of the site (Stiff, Natural Clays, Very Dense Gravels, and silts at shallow depths) will have adequate strength and stability for slabs and footings.
- 5. Construction works would be protected by Building Code of Australia, Australian Standards, Building and Planning Permit requirements and normal construction practice.

If you have any further queries please don't hesitate to contact me.

Yours faithfully

Simon Anderson CPEng MIEAust Chartered Professional Engineer NER 930355 Registered Professional Engineer PE0003214 (Vic) BSP: 659942437 (Tas)







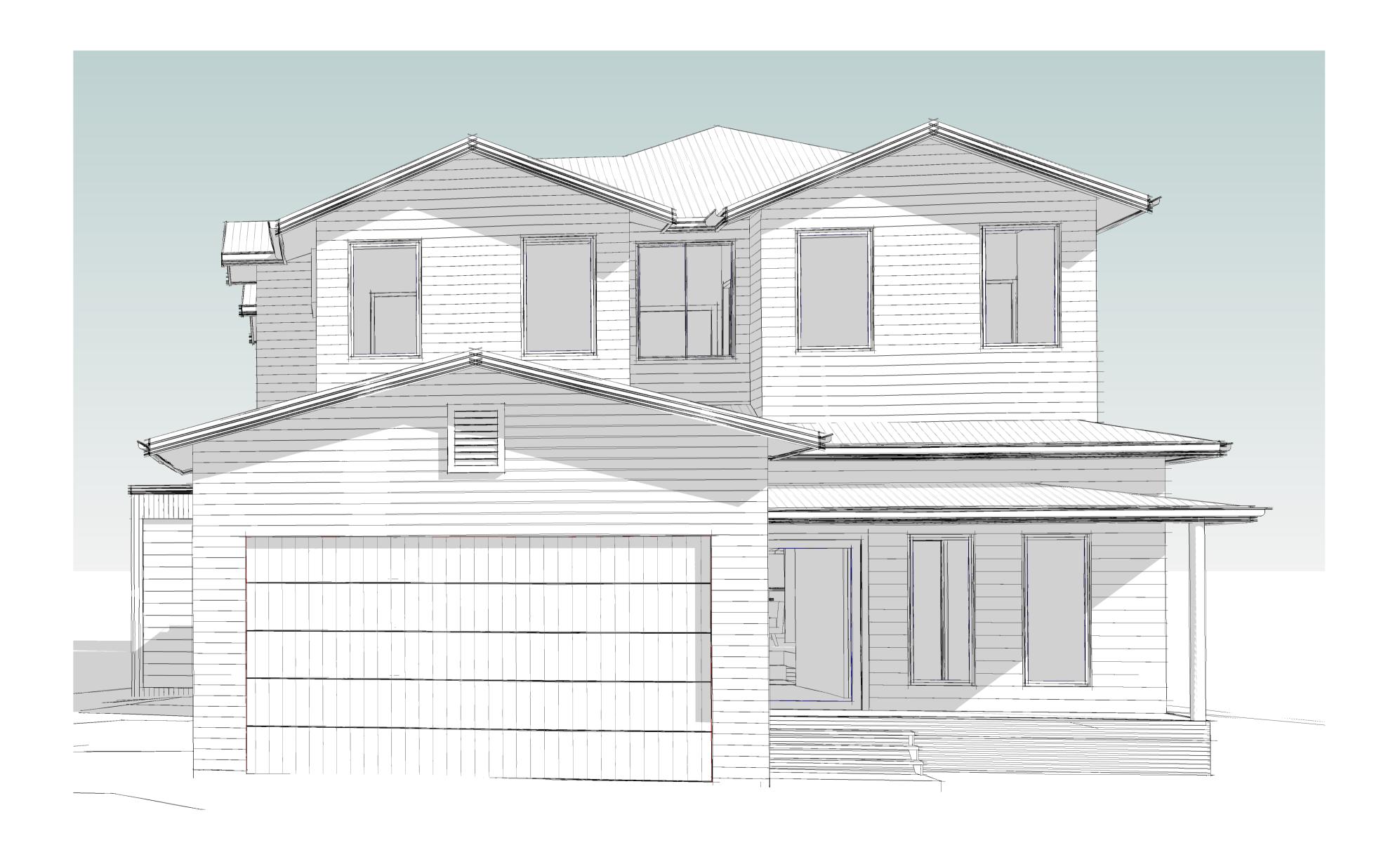


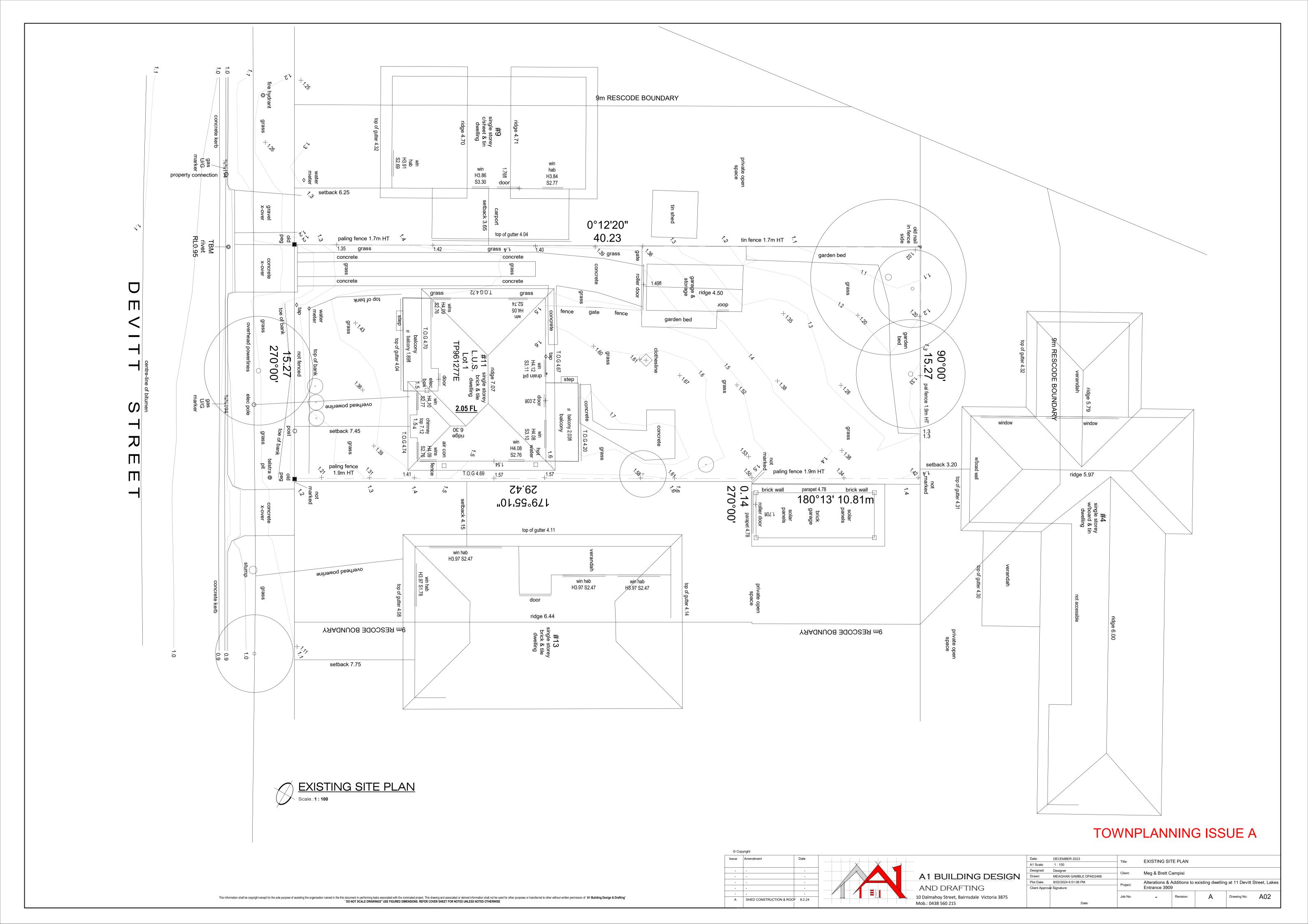


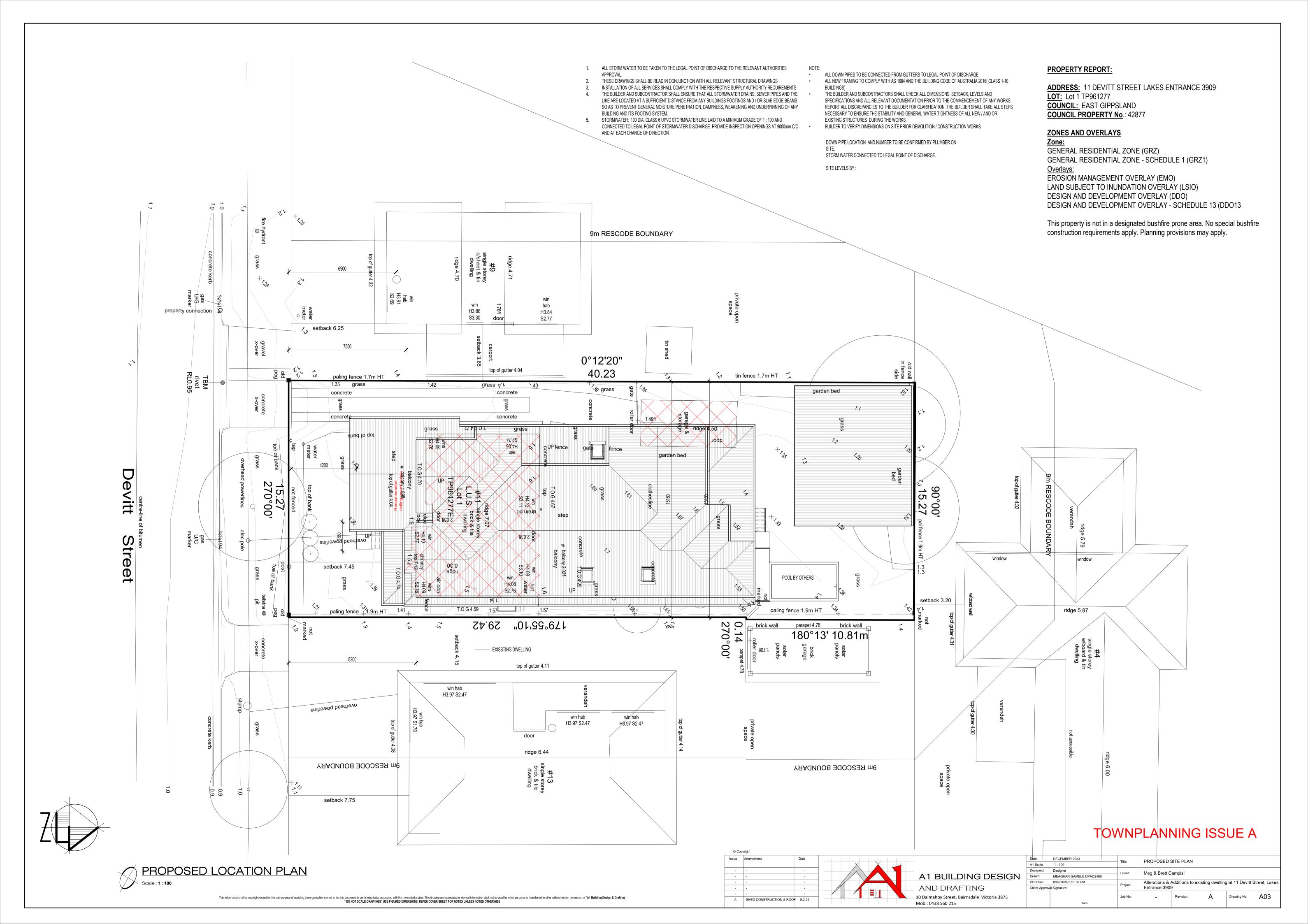
GEELONG

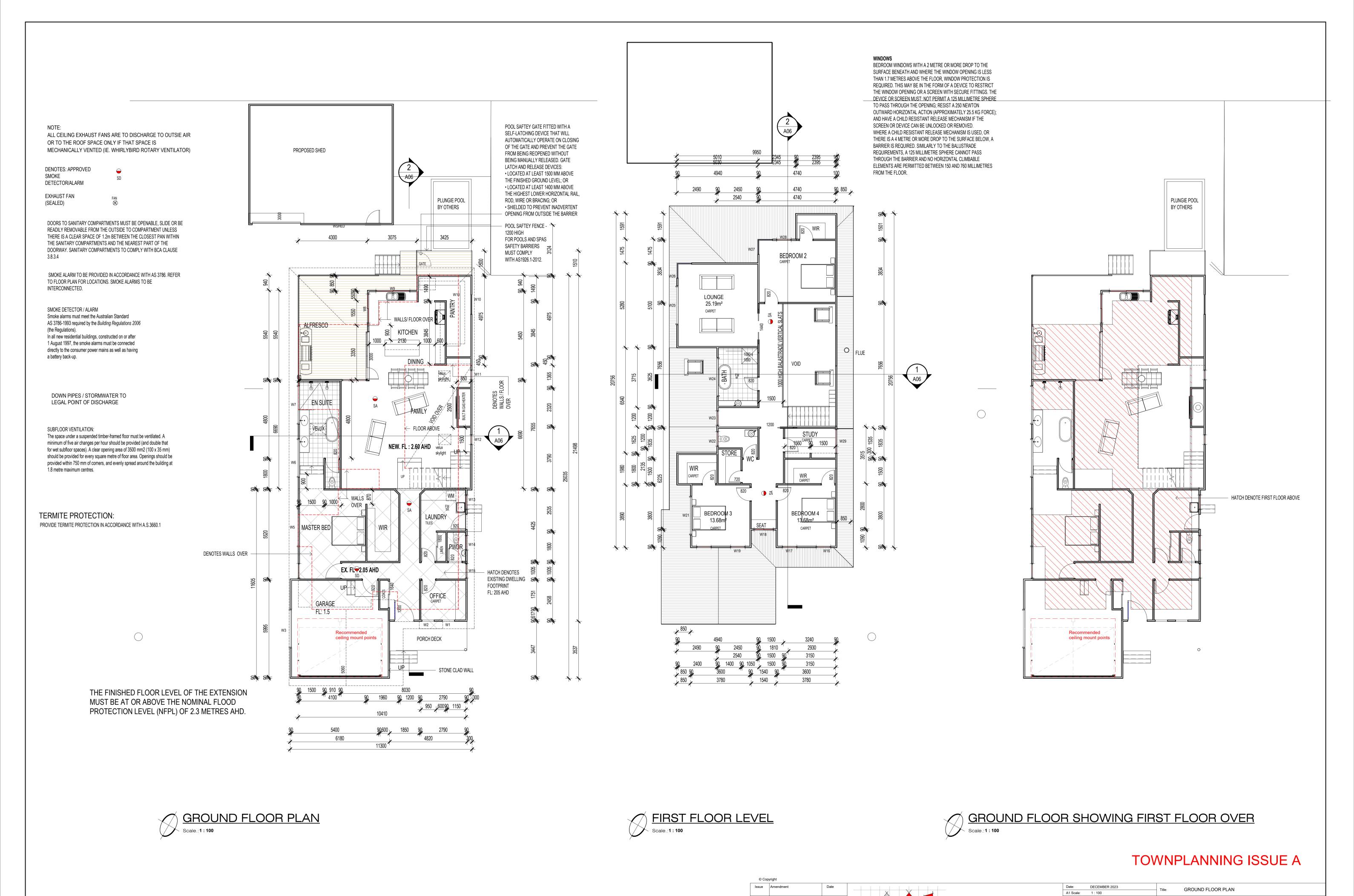
ALTERATIONS & ADDITIONS TO EXISTING DWELLING AT 11 DEVITT STREET, LAKES ENTRANCE 3909

Meg & Brett Campisi









Meg & Brett Campisi

Entrance 3909

Alterations & Additions to existing dwelling at 11 Devitt Street, Lakes

MEAGHAN GAMBLE DPAD2468 8/02/2024 6:51:11 PM

A1 BUILDING DESIGN

10 Dalmahoy Street, Bairnsdale Victoria 3875

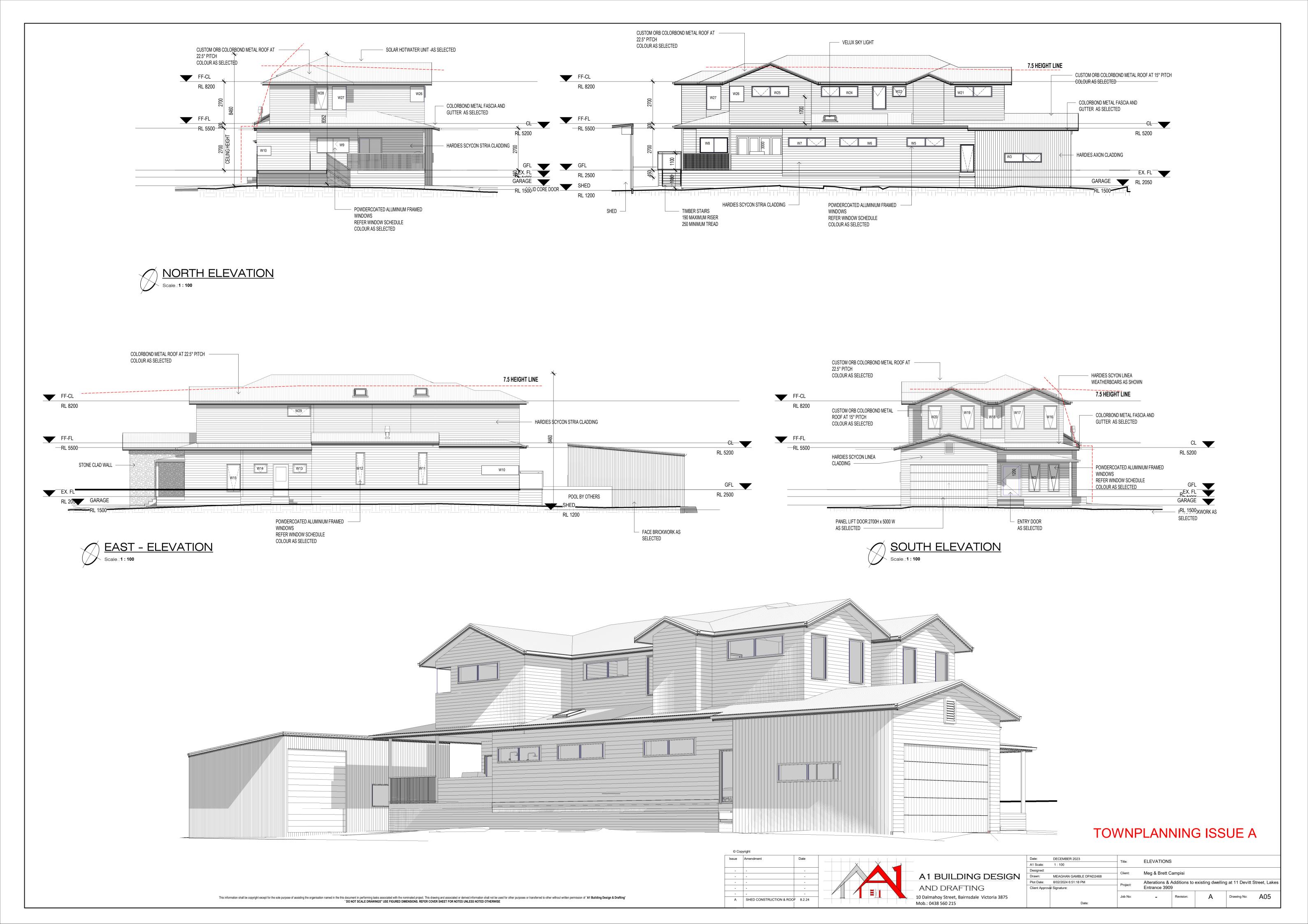
AND DRAFTING

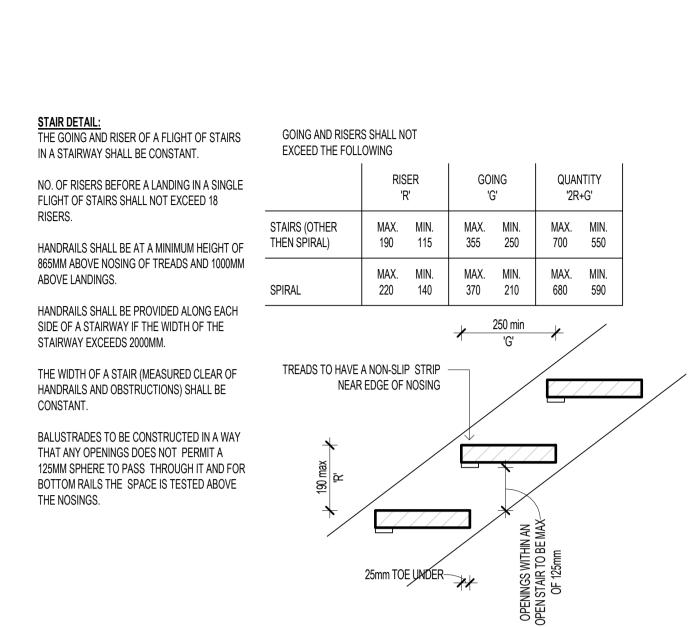
Mob.: 0438 560 215

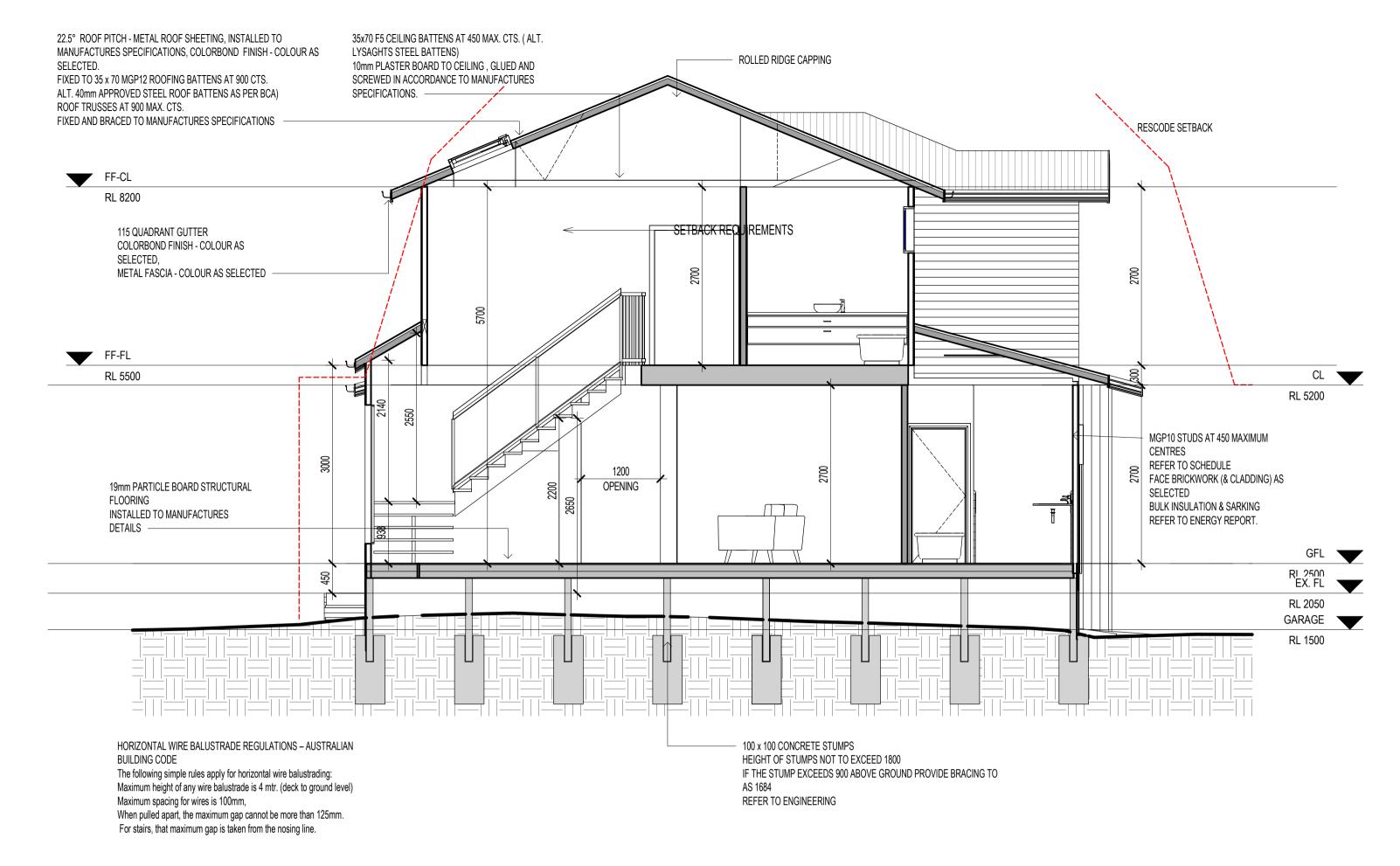
A SHED CONSTRUCTION & ROOF 8.2.24

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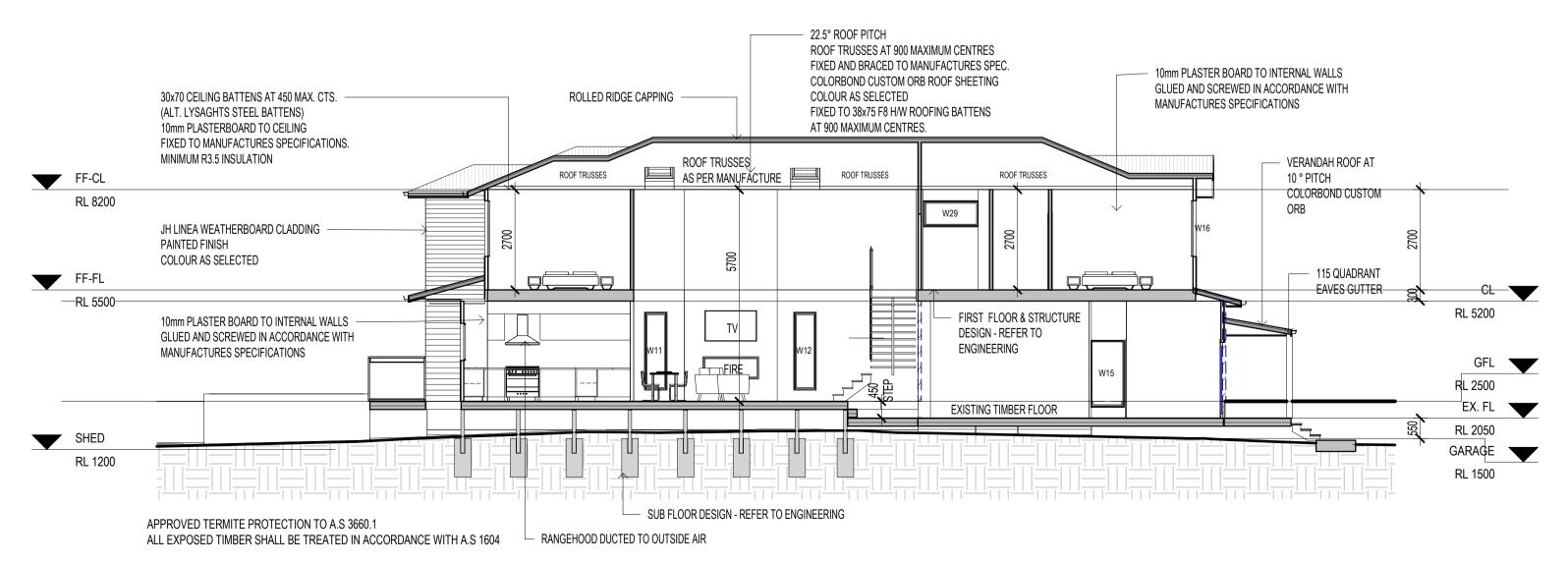
"DO NOT SCALE DRAWINGS" USE FIGURED DIMENSIONS. REFER COVER SHEET FOR NOTES UNLESS NOTED OTHERWISE













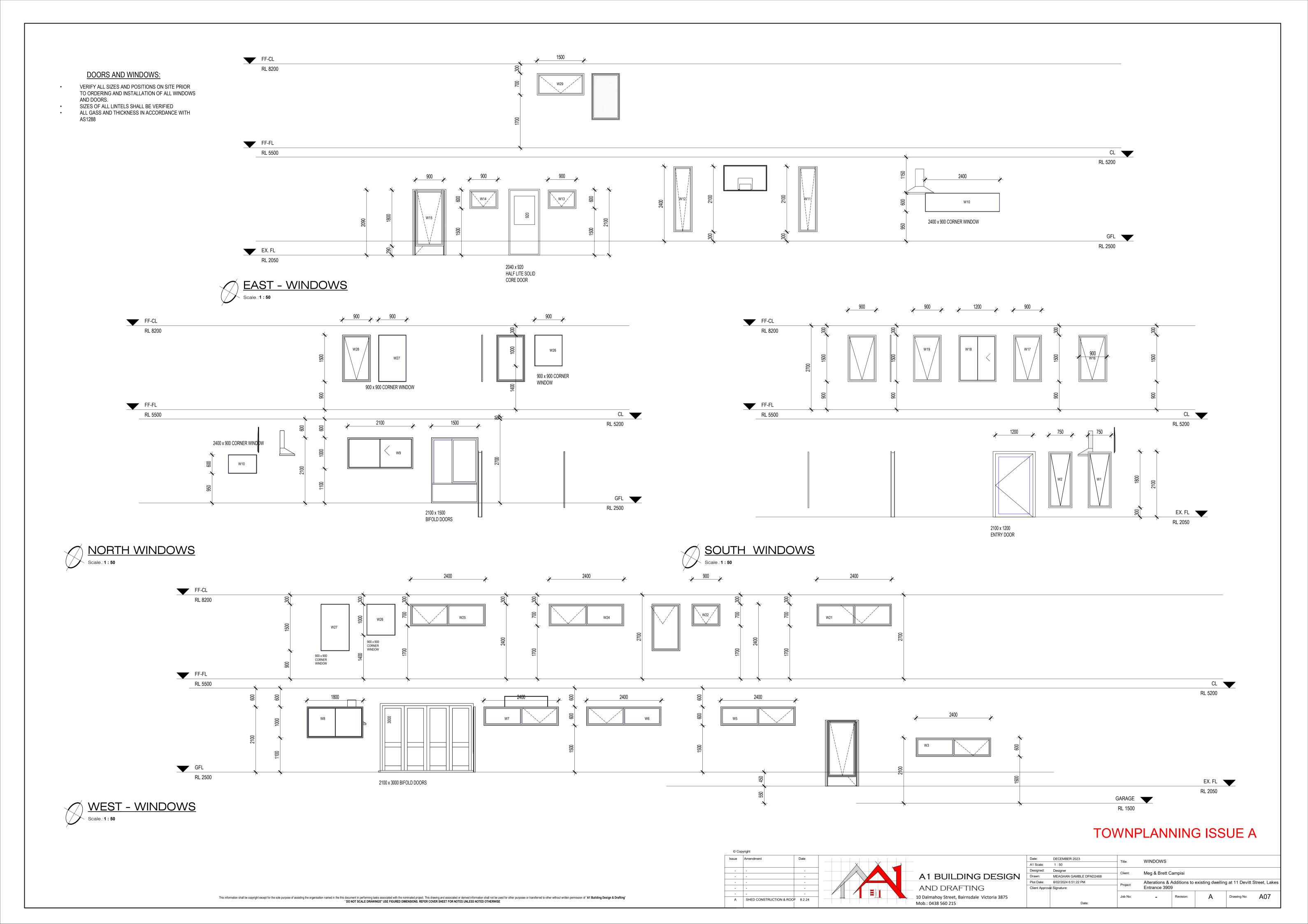
			,	WINDOW	SCHEDULE		
NAA DIA	LOCATION	WINDOW	LIEIGLIE	MUDTI	MATERIAL	01.47110	DEMARKS
MARK		STYLE	HEIGHT	WIDTH	MATERIAL	GLAZING	REMARKS
1	OFFICE	AWNING	1800	750	PC ALUMINIUM		
2	OFFICE	AWNING	1800	750	PC ALUMINIUM		
3	GARAGE	AWNING	600	2400	PC ALUMINIUM		
5	MASTER BED	AWNING	600	2400	PC ALUMINIUM		
6	ENSUITE	AWNING	600	2400	PC ALUMINIUM		
7	ENSUITE	AWNING	600	2400	PC ALUMINIUM		
8	KITCHEN	SLIDING	1000	1800	PC ALUMINIUM		
9	KITCHEN	SLIDING	1000	2100	PC ALUMINIUM		
10	PANTRY	FIXED	600	2400	PC ALUMINIUM		
11	FAMILY	AWNING	2100	600	PC ALUMINIUM		
12	FAMILY	AWNING	2100	600	PC ALUMINIUM		
13	LAUNDRY	AWNING	600	900	PC ALUMINIUM		
14	PWDR	AWNING	600	900	PC ALUMINIUM		
15	HALL	AWNING	1800	900	PC ALUMINIUM		
16	BED 4	FIXED	1500	900	PC ALUMINIUM		
17	BED 4	AWNING	1500	900	PC ALUMINIUM		
18	PASSAGE	SLIDING	1500	1200	PC ALUMINIUM		
19	BED 3	AWNING	1500	900	PC ALUMINIUM		
20	BED 3	FIXED	1500	900	PC ALUMINIUM		
21	BED 3	AWNING	700	2400	PC ALUMINIUM		
22	WC	AWNING	700	900	PC ALUMINIUM		
23	PASSAGE	FIXED	1500	900	PC ALUMINIUM		
24	BATH RM	AWNING	700	2400	PC ALUMINIUM		
25	LOUNGE	AWNING	700	2400	PC ALUMINIUM		
26	LOUNGE	FIXED	1000	900	PC ALUMINIUM		
27	BED 2	FIXED	1500	900	PC ALUMINIUM		
28	BED 2	AWNING	1500	900	PC ALUMINIUM		
29	STUDY	AWNING	700	1500	PC ALUMINIUM		
31			2100	1500			
32	HALL	AWNING	1800	900	PC ALUMINIUM		
SHED	SHED	SLIDING	1000	2100	PC ALUMINIUM		

WINDOW NOTES:

ALL GLAZING TO BE IN ACCORDANCE WITH AS.1288

- CONTRACTOR TO CONFIRM SIZES WITH OWNERS PRIOR ORDERING AND INSTALLATION. ALL WINDOWS TO BE SECURELY FLASHED AND SEALED ALL AROUND.
- ALL WINDOWS HEAD HEIGHTS TO BE 2100mm ABOVE FFL. UNLESS OTHERWISE NOTED. ALL OPENING WINDOWS TO BE SUPPLIED WITH MATCHING REMOVABLE FLYSCREENS
- ALL INTERNAL DOORS TO BE 2100mm HIGH UNLESS OTHERWISE NOTED.
- PROVIDE FLASHING OVER WINDOW, EXTENDING 300mm MIN PAST OPENING AND BUILD INTO JOINT ABOVE LINTEL AND CARRY ACROSS CAVITY & FIX TO STUD WORK - 150mm HIGH MIN.
- CONTRACTOR TO CONFIRM ALL LOCKS WITH OWNERS AND ENSURE INSTALLATIONAS PER MANUFACTURES
- GRADE 'A' SAFTEY GLASS TO WINDOWS IN WET AREAS TO MEET CURRENT STANDARDS.

© Copy	vright											
Issue	Amendment Da	ate			Date:	DECEMBER 2023	Title:	SECTION 8	WINDOW SO	HEDIII E		
					A1 Scale:	As indicated	Title.	SECTION	k WINDOW SC	JILDOLL		
-	-	-	X		Designed:		Client:	Meg & Bret	Compici			
-	-	-		A1 BUILDING DESIGN	Drawn:	MEAGHAN GAMBLE DPAD2468	Ollerit.	weg & biet	Campisi			
-	-	-			Plot Date:	8/02/2024 6:51:19 PM	Project:	Alterations	& Additions to	existing dwelling	at 11 Devitt S	Street, Lake
-	-	-		AND DRAFTING	Client Approv	al Signature:	1 Toject.	Entrance 3909				
-	-	-		10 Dalmahoy Street, Bairnsdale Victoria 3875			Job No:		Revision:	Λ	Drawing No:	A06
Α	SHED CONSTRUCTION & ROOF 8	3.2.24				Datas	30D 140.	-	TOUSION.	Α	Diawing No.	A00
				Mob.: 0438 560 215		Date:						



HEIGHTS OF GPO'S
GENERAL - 200mm ABOVE F.F.L.
KITCHEN - 1100mm ABOVE F.F.L. (BENCH)
FRIDGE LOCATION - 1100mm ABOVE F.F.L.
DISHWASHER LOCATION - 750mm ABOVE F.F.L.
RANGEHOOD LOCATION - 2200mm ABOVE F.F.L.
COOKTOP LOCATION - 750mm ABOVE F.F.L.
BATH / EN'S - 1100mm ABOVE F.F.L.
LAUNDRY - 1100mm ABOVE F.F.L.
WALL OVEN 15AMP POWER POINT DIRECT WIRED

LIGHT SWITCHES TO BE LOCATED 1100mm ABOVE F.F.L. LIGHT SWITCH FOR HEATING UNIT 1500mm ABOVE F.F.L. WITHIN CLOSE PROXIMITY OF MANHOLE.

GARAGE REMOTE LOCATIONS:

ROLLER DOOR - LOCATE ON WALL 1800mm ABOVE F.F.L.

PANEL DOOR - LOCATE ON CEILING 3.20m, C.L. DOOR.

NOTE: LIGHTING COMPLIANCE TO BE CONFIRMED PRIC COST./ FINAL INSP. AS PER BELOW: 5W/sqm - CLASS 1 BUILDING (RESIDENCE) 4W/sqm - VERANDAH / BALCONY CLASS 1 BLG. 3W/sqm - CLASS 10 BUILDING (GARAGE) PENETRATIONS TO CEILINGS TO COMPLY WITH PART 3.12.1.2(e) IF LIGHTING LAYOUT/DESIGN DIFFERS FROM WHAT

ENDORSED A REVISED RATING IS REQUIRED.

NOTE: LIGHTING COMPLIANCE TO BE CONFIRMED PRIOR TO LOCATION OF ALL ELECTRICAL POINTS ARE APPROXIMATE ONLY, AND ARE COST./ FINAL INSP. AS PER BELOW: SUBJECT TO POSITION OF STRUCTURAL MEMBERS ON PLAN.

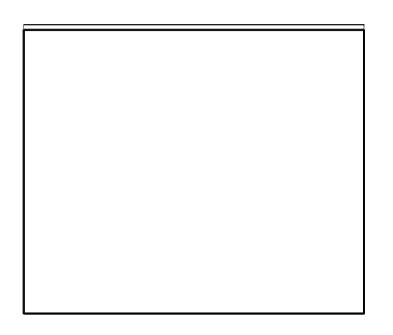
SOLAR HOT WATER SERVICE INCLUDING SOLAR PANELS INSTALLED AS PER MANUFACTURER'S SPECIFICATION.

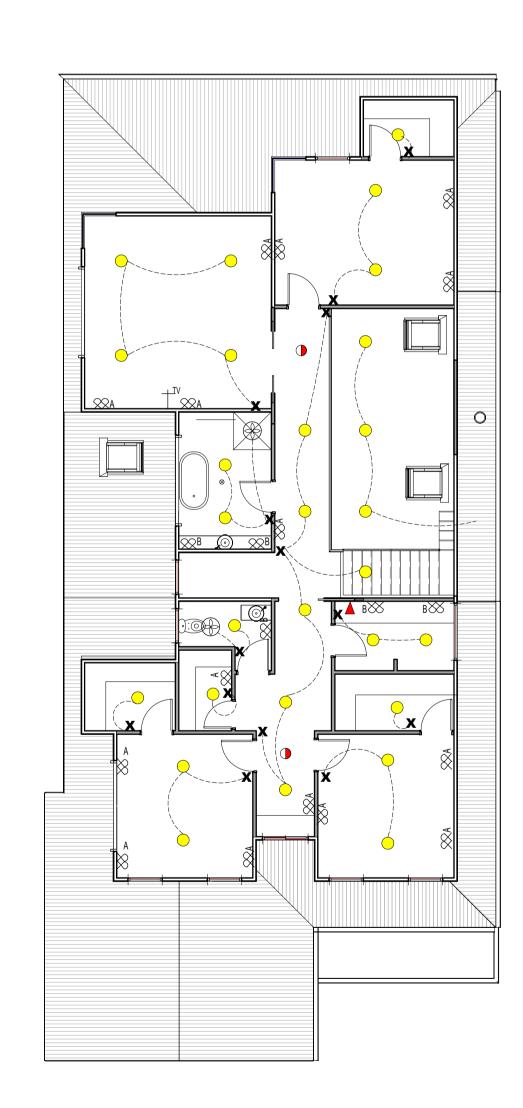
PROVIDE TELEPHONE CABLING FROM STREET TO HOUSE.

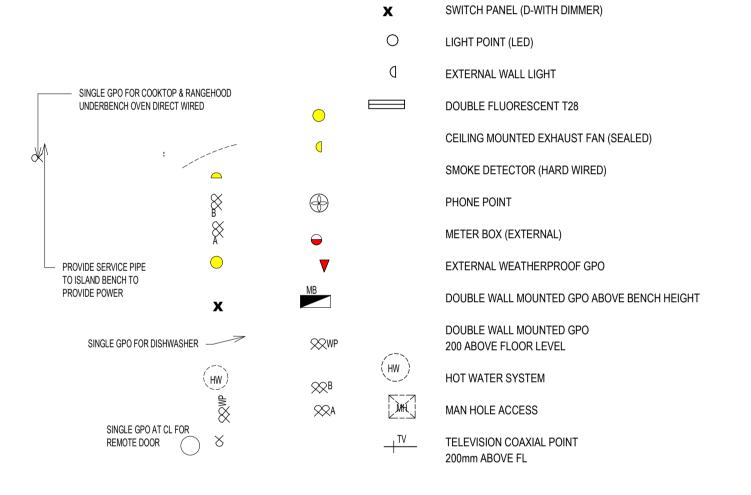
PROVIDE T.V. ANTENNA CONNECTED TO T.V. POINTS.

PROVIDE SINGLE GPO AND COLD WATER POINT IN CEILING FOR EVAPORATIVE COOLING UNIT.



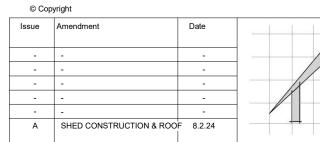


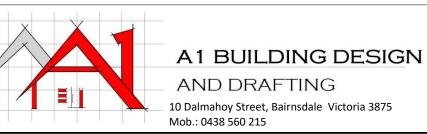






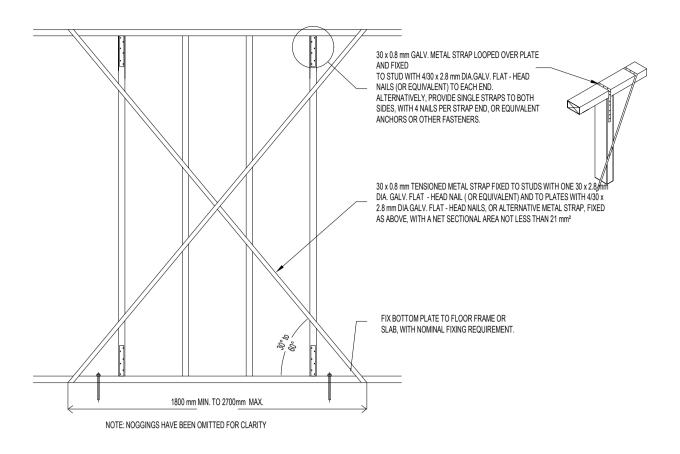


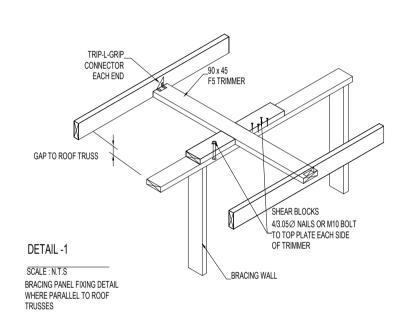






SPECIFICATIONS NOTE: ALL FIXINGS FOR STRUCTURE SHALL BE REQUIRED TO BE IN COMPLIANCE WITH THE TIMBER FRAMING CODE AS 1684-2006 FOR WIND FORCES OF CATEGORY N3 (41m/s) SOIL CLASSIFICATION: CLASS " - " REFER TO SOIL REPORT STUMPS AND FOOTINGS: REFER TO ENGINEERS DETAILS FLOOR JOISTS & BEARERS: REFER TO ENGINEERS DETAILS CONCRETE SLAB - REFER TO ENGINEERS DESIGN AND DOCUMENTATION. FLOORING: POSTS AND SUPPORTS: REFER TO ENGINEERS COMPUTATIONS TOP PLATES: 2/45x90 MGP10 PINE NOT TRENCHED FOR STUDS 45x90 MGP10 PINE NOT TRENCHED FOR STUDS NON-LOADBEARING BOTTOM PLATES: LOADBEARING: 45x90 MGP10 PINE NOT TRENCHED FOR STUDS COMMON STUDS: 90x45 MGP10 PINE AT 450 CTS. 2725 HIGH MAX 3040 HIGH MAX.: 90x45 MGP10 PINE AT 450 CTS. JAMB STUDS: 2100 MAX 2/90x45 F17 KDHW MAX. OPENING 2100 NOTE: PROVIDE DOUBLE STUDS AT ALL CONTROL JOINTS (NOT NAIL-LAMINATED) NOGGINS: 2725 - 3040 HIGH STUDS 90x45 MGP10 PINE AT 1000 MAX.CTS. BRACING: REFER TO DETAILS LINTELS AND BEAMS: REFER TO ENGINEERS COMPUTATIONS. RAFTERS: ROOF TRUSS AT 900 MAX CTS (METAL ROOF) AS PER MANUFACTURES SPECS. RAFTERS: AS PER ENGINEERS COMPUTATIONS **VALLEY BOARDS:** 19x200 F8 OBHW AND 19x75 F8 OBHW ROOF BRACING: REFER TO ENGINEERS DETAILS ROOF BATTENS: 25x38 F8 OBHW AT 450 CTS (METAL ROOF) ROOF LINING: CONCRETE TO ENGINEERS DETAILS INTERNAL LININGS: 10mm PLASTERBOARD TO WALLS AND 9mm COMPRESSED SHEET OR VILLABOARD TO WET AREAS. WATER PROOF TO WET AREAS 10mm PLASTERBOARD TO INTERNAL CEILINGS FIX ALL PLASTERBOARD TO FLOOR JOISTS AND TRUSSES VIA "RONDO 301" METAL BATTENS AT 450 MAXIMUM CENTRES. WINDOWS: REFER TO WINDOW SCHEDULE FLYWIRE SCREENS: TO ALL OPERABLE WINDOWS EXTERNAL DOORS: TO OWNER'S SELECTION INTERNAL DOORS: TO OWNER'S SELECTION SKIRTING AND ARCHITRAVES: TO OWNER'S SELECTION INSULATION: R3.5 MIN - BATTS IN NEW ROOF SPACE R2.4 MIN - BATTS IN ALL NEW EXTERNAL STUD WALLS. / R2 UNDER FLOOR. REFER TO ENERGY RATING REPORT. SARKING AND INSULATION: RFL OVER ALL NEW ROOF BATTENS AND AROUND EXTERNAL WALLS. EXTERNAL FINISHES: REFER TO PLANS AND ELEVATIONS FOR TREATMENT OF EXTERNAL FINISHES.





IMPORTANT NOTES

- ALL OTHER BEAMS NOT MENTIONED ABOVE BY OTHERS 2. BUILDER TO CONTACT THIS OFFICE IF CONDITIONS DIFFER THAN WHAT IS SHOWN
- 3. PROVED DOUBLE STUDS UNDER BEAMS AND / OR LINTELS UNO.
- 4. ALL DOUBLE TIMBER MEMBERS ARE SPIKED TOGETHER.
- HOOP IRON BRACING TO BE FIXED TO EVERY RAFTER/FLOOR JOIST(HP)
- 6. ALL TIMBER FRAMING AND CONNECTION TO COMPLY WITH (N3) WIND CATEGORY COMPLY WITH (N3) WIND CATEGORY REQUIREMENTS AS SPECIFIED IN THE TIMBERREQUIREMENTS AS SPECIFIED IN THE TIMBER FRAMING CODE.
- ALL LINTELS/BEAMS TO BE RESTRAINED AT EACH END.
- 8. ALL BRACING NOT SHOWN. SHALL BE IN ACCORDANCE WITH AS1684 BY BUILDER.

· THE STABILITY OF THE BUILDING DURING CONSTRUCTION IS THE BUILDERS

- ALL SITE WELDS TO BE COLD GALV. PAINTED.
- ALL EXPOSED STEELWORK INCLUDING FIXINGS TO BE HOT DIP
- BUILDER TO FULL PROP & BRACE EXISTING AND NEW STRUCTURES DURING
- ALL STAGES OF DEMOLITION & CONSTRUCTION. ALL OTHER BEAMS AND LINTELS NOT MENTIONED ABOVE BY BUILDER TO

BRACING TO EXTERNAL WALLS:-

METAL STRAP CROSS BRACING WB2 TO BE PROVIDED TO ALL WALL GREATER THEN 1800mm IN LENGTH U.N.O OTHER WISE PLYWOOD BRACING MUST BE USED (WB1 BRACING TO INTERNAL WALLS:-

METAL STRAP CROSS BRACING WB2 TO BE PROVIDED TO ALL WALL GREATER THEN 700 m IN LENGTH U.N.O (REFER WB2

NOTE: HP DENOTES HOOP IRON BRACING TO BE FIXED T EVERY RAFTER

WB2:- FIXING TO ROOF TRUSSES AND FLOOR FRAMING

THE TOP OF ALL WB2 UNITS SHALL BE FIXED TO ROOF TRUSSES AND FLOOR BRACING UNIT. EACH FRAMING ANCHOR SHALL HAVE 6/2.8mm DIA. NAILS TO THE TRUSS BOTTOM CHORD OR JOIST AND TOP PLATE. ALTERNATIVELY PROVIDE FIXING IN ACCORDANCE WITH "DETAIL 1 OR 2" AT EACH END 900mm CTS. WITH BRACING UNITS.

NOTES:-

PLYWOOD: PLYWOOD SHALL BE NAILED TO FRAME USING 30 x 2.8mm∅ GALVANIZED FLATHEAD NAILS OR EQUIVALENT. HARDBOARD: HARDBOARD SHALL COMPLY WITH AS/NZS 1859.4. HARDBOARD SHALL BE NAILED TO FRAME USING MINIMUM 25 x 2.8mm∅ GALVANIZED NAILS OR EQUIVALENT.

NAILS SHALL BE LOCATED A MINIMUM OF 10mm FROM THE VERTICAL EDGES AND 20mm FROM THE TOP AND BOTTOM EDGES. PANEL EDGES SHALL BE SUPPORTED BY STUDS.

General Notes (NCC 2019 BCA Vol 2)

- All materials and work practices shall comply with, but not limited to the Building Regulations 2018, National Construction Code Series 2019 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.
- Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2019 Building Code of Australia Volume 2.
- All materials and construction practice shall meet the Performance Requirements of the BCA. Where a performance solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.
- Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with: BCA Part 3.6 for Class 1 and 10 Buildings within a

design

wind speed of not more than N3; and BCA Vol 1 Part B1.4 for Class 2 and 9 Buildings.

- Waterproofing and water resistance of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: Waterproofing of Domestic Wet Areas.
- These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance
- Assessor without alteration.
- Step sizes (other than for spiral stairs) to be: Risers (R) 190mm maximum and 115mm minimum Going (G) 355mm maximum and 240mm minimum •

2R + 1G = 700mm maximum and 550mm minimum

- with less than 125mm gap between open treads. All treads, landings and the like to have a slip-resistance classification of P4 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface
- conditions and P4 for wet surface conditions. Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Barriers (other than tensioned wire barriers) to be: - 1000mm min. above finished surface level of
- alconies, landings or the like, and - 865mm min. above finished surface level of stair nosing - vertical with less than 125mm gap between, and

- climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or
- Volume 1 Part D2.16 for other Classes of Buildings.
- stair nosing and floor surface of ramps. Window sizes nominated are nominal only. Actual size
- flashed all around. Where the building (excludes a detached Class 10) is located in a termite prone area the building is to be
- provided with a termite management system. Concrete stumps:
- up to 1400mm long to be 100mm x 100mm (1 No. H.D.
- H.D. Wires) 1801mm to 3000mm long to be 125mm x 125mm (2 No.
- H.D. Wires) 100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.
- Buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS 4773.1-2015 'Masonry in small buildings' Part 1: Design.
- All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval. These drawings shall be read in conjunction with all relevant structural and all other consultants' drawings/details and with any other written instructions
- issued in the course of the contract. Site plan measurements in metres – all other measurements in millimetres unless noted otherwise. Figured dimensions take precedence over scaled
- dimensions. The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
- The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the

- any horizontal element within the barrier between 150mm and 760mm above the floor must not facilitate
- Wire barrier construction to comply with NCC 2019 BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2019 BCA
- Top of hand rails to be minimum 865mm vertically above
- may vary according to manufacturer. Windows to be
 - and/or reliance.
 - 1401mm to 1800mm long to be 100mm x 100mm (2 No.
 - amend the plans without the knowledge and consent of Meaghan Gamble of A1 Building Design & Drafting except changes are promptly reported back to Meaghan Gamble of A1 Building Design & Drafting.
 - The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.
 - 100 mm DIA. Class 6 UPVC stormwater the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction.

 - 50mm under paved or concrete areas

75mm – under reinforced concrete driveways SITE ENVIRONMENT DESIGN INFORMATION

Site Bushfire Attack Assessment (simplified method) Reference document 'AS3959-2018 construction of

- buildings in bush fire prone areas' Relevant Fire Danger Index (FDI)-[insert FDI]
- Installation of all services shall comply with the respective Predominate vegetation:supply authority requirements.
- The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of

commencement of any works. Report all discrepancies

to this office for clarification.

- any building and its footing system. These plans have been prepared for the exclusive use by the Client of [Insert Drafting Service] ('The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use
- A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building
- The Client and/or the Client's Builder shall not modify or where a Registered Building Surveyor makes minor necessary Corrosion protection of built-in structural members changes to facilitate the Building Permit application and that such •

(soil classification relocated)

- STORMWATER line laid to a minimum grade of 1:100 and connected to
- The cover to underground stormwater drains shall be not
- 100mm under soil
- 100mm under unreinforced concrete or paved driveways •

- Classification-[Insert vegetation classification)
- Type-[Insert Vegetation type]
- Distance of the site from classified vegetation-[Insert distance of the site from the classified vegetation]
- Effective slope of land-[Insert effective slope of land under the classified vegetation]
- Determination of Bushfire Attack Level (BAL)-[Insert BAL] Site Classification
- Site classification as Class: [Insert soil classification] Refer to soil report No: [Insert soil report number]

By: [Insert Soil Engineer] **Design Gust Wind Speed / Wind Classification**

Building tie-downs to be provided in accordance with AS1684-2010 for an assumed design gust wind speed / wind classification of [Insert wind speed or wind classification] (subject to confirmation on site by Relevant Building Surveyor at first inspection) refer to AS1684 for

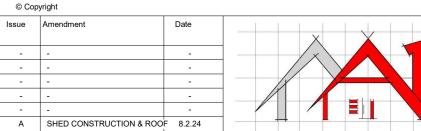
construction requirements. Climate Zone

- Climate zone for thermal design / thermal performance assessment: Zone [Insert Climate Zone].
 - Provide corrosion protection of built-in structural steel members such as steel lintels, shelf angles, connectors, accessories (other than wall ties) in accordance with Table 4.1 of AS4773.1-2015 Masonry in Small Buildings, Part 1: Design suitable for an Environment Classification of

[Insert environment classification] Corrosion protection for sheet roofing

- Provide corrosion protection for sheet roofing in accordance with BCA Table 3.5.1.1a suitable for an Environment Classification of [Insert environment
- classification]. Design events for safety - earthquake actions For determination of domestic structures of a height less
- than or equal to 8.50m Building type importance level – [insert importance level
- from BCA Table 3.11.3a] Annual probability of exceedance – [insert probability from BCA Table 3.11.3b]
- Probability factor (kp) [insert probability factor from AS1170.4 Table 3.1] Hazard factor (Z) for project location – (insert hazard
- factor for project location from AS1170.4 Table 3.2) Hazard at the (kpZ) – [insert kpZ value from AS1170.4 TableA1] Design required – [insert design required from AS1170.4 Table A1]

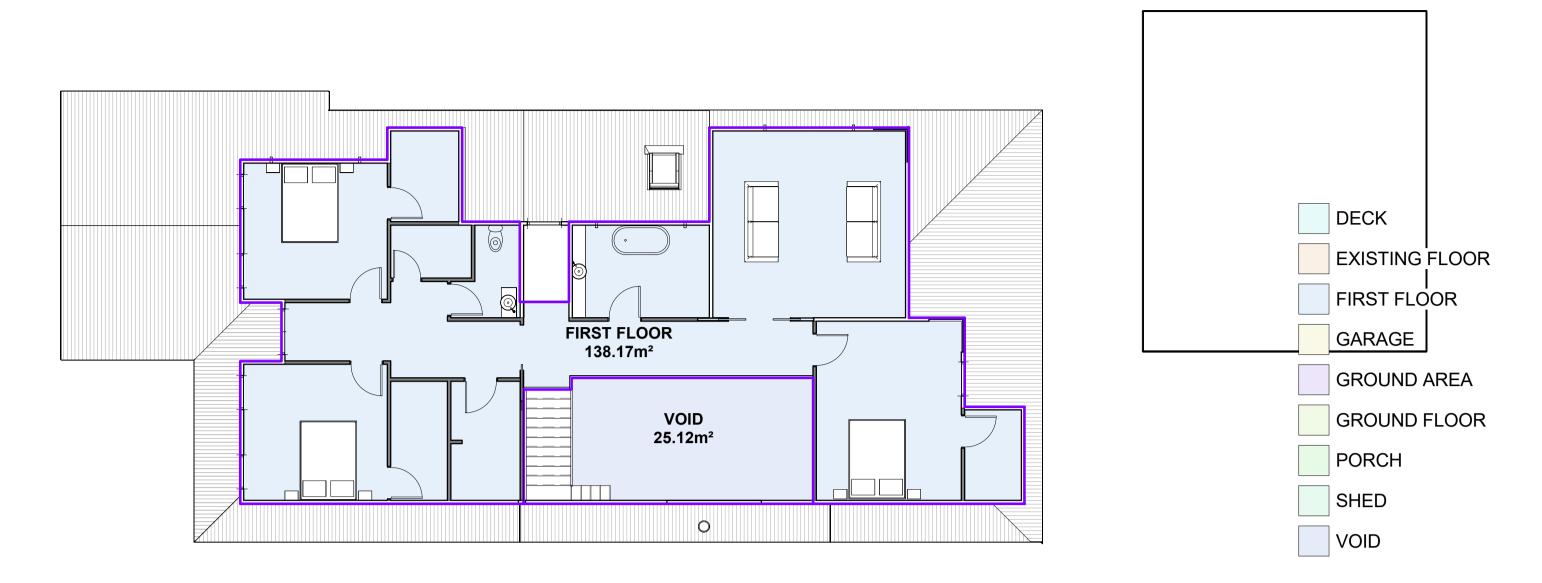
TOWNPLANNING ISSUE A





DECEMBER 2023 SPECIFICATIONS A1 Scale: 1:100 Designer Meg & Brett Campisi MEAGHAN GAMBLE DPAD2468 8/02/2024 6:51:23 PM Alterations & Additions to existing dwelling at 11 Devitt Street, Lakes Entrance 3909 Client Approval Signature:







LOT 1 - TP 961277E VOL 7479 FOL 115 11 DEVITT STREET LAKES ENTRANCE

SITE AREA:

EXISTING HOUSE FOOTPRINT:

EXISTING SHED FOOT PRINT:

19 m²

TOTAL EXISTING

101 m²

PROPOSED EXTENSION FOOT PRINT-

INCLUDING EXISTING: 267.46 m²
NEW SHED: 67.50 m²
TOTAL PROPOSED 334.96 m²
SITE AREA FOOTPRINT: 54.73%

