

Form 2

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	11 Devitt Street LAKES ENTRANCE 3909 Lot: 1 TP: 961277
The application is for a permit to:	Alterations and Additions to an existing dwelling
The applicant for the permit is:	B S Campisi
The application reference number is:	5.2023.442.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ♦ **be made to the Responsible Authority in writing,**
- ♦ **include the reasons for the objection, and**
- ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to applicant giving notice</b>
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If you object, the Responsible Authority will tell you its decision.



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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 11825 FOLIO 993

Security no : 124109977438K

Produced 23/10/2023 03:19 PM

LAND DESCRIPTION

Lot 1 on Title Plan 961277E.  
PARENT TITLE Volume 07479 Folio 115  
Created by Application No. 135293B 30/05/2016

REGISTERED PROPRIETOR

Estate Fee Simple  
Joint Proprietors  
MEGAN JANE CAMPISI  
BRETT STEPHEN CAMPISI both of 206 ALBATROSS ROAD KALIMNA VIC 3909  
AT752259Y 06/11/2020

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AT752260Q 06/11/2020  
NATIONAL AUSTRALIA BANK LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP961277E FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 11 DEVITT STREET LAKES ENTRANCE VIC 3909

ADMINISTRATIVE NOTICES

NIL

eCT Control 16089P NATIONAL AUSTRALIA BANK LTD  
Effective from 06/11/2020

DOCUMENT END

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TITLE PLAN				EDITION 1	TP 961277E
LOCATION OF LAND PARISH : COLQUHOUN TOWNSHIP : LAKES ENTRANCE SECTION : 7 CROWN ALLOTMENT : 45 (PART)  LAST PLAN REFERENCE : LP19893 (LOT 2) DERIVED FROM : VOL 7479 FOL 115 DEPTH LIMITATION : NIL				NOTATIONS	
EASEMENT INFORMATION E - ENCUMBERING EASEMENT, R - ENCUMBERING EASEMENT (ROAD), A - APPURTENANT EASEMENT.					THIS PLAN HAS BEEN PREPARED BY LAND VICTORIA FOR TITLE DIAGRAM PURPOSES  Prepared by : Rob McBain  Date : 12/10/2016  Assistant Registrar of Titles
Easement Reference	Purpose / Authority	Width (Metres)	Origin	Land benefited / In favour of	
LENGTHS ARE IN METRES	SCALE	DEALING / FILE No : AP135293B		DEALING CODE : 60	
		GOVERNMENT GAZETTE No:			SHEET 1 OF 1



# PLANNING PROPERTY REPORT



Environment,  
Land, Water  
and Planning

From [www.planning.vic.gov.au](http://www.planning.vic.gov.au) at 31 October 2023 06:13 PM

## PROPERTY DETAILS

Address: **11 DEVITT STREET LAKES ENTRANCE 3909**  
Lot and Plan Number: **Lot 1 TP961277**  
Standard Parcel Identifier (SPI): **1\TP961277**  
Local Government Area (Council): **EAST GIPPSLAND**  
Council Property Number: **42877**  
Planning Scheme: **East Gippsland**  
Directory Reference: **Vicroads 686 G5**

[www.eastgippsland.vic.gov.au](http://www.eastgippsland.vic.gov.au)

[Planning Scheme - East Gippsland](#)

## UTILITIES

Rural Water Corporation: **Southern Rural Water**  
Urban Water Corporation: **East Gippsland Water**  
Melbourne Water: **Outside drainage boundary**  
Power Distributor: **AUSNET**

## STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**  
Legislative Assembly: **GIPPSLAND EAST**

## OTHER

Registered Aboriginal Party: **Gunaikurnai Land and Waters  
Aboriginal Corporation**

[View location in VicPlan](#)

## Planning Zones

[GENERAL RESIDENTIAL ZONE \(GRZ\)](#)

[GENERAL RESIDENTIAL ZONE - SCHEDULE 1 \(GRZ1\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

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Read the full disclaimer at <https://www.delwp.vic.gov.au/disclaimer>

Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C (b) of the Sale of Land 1962 (Vic).

PLANNING PROPERTY REPORT: 11 DEVITT STREET LAKES ENTRANCE 3909

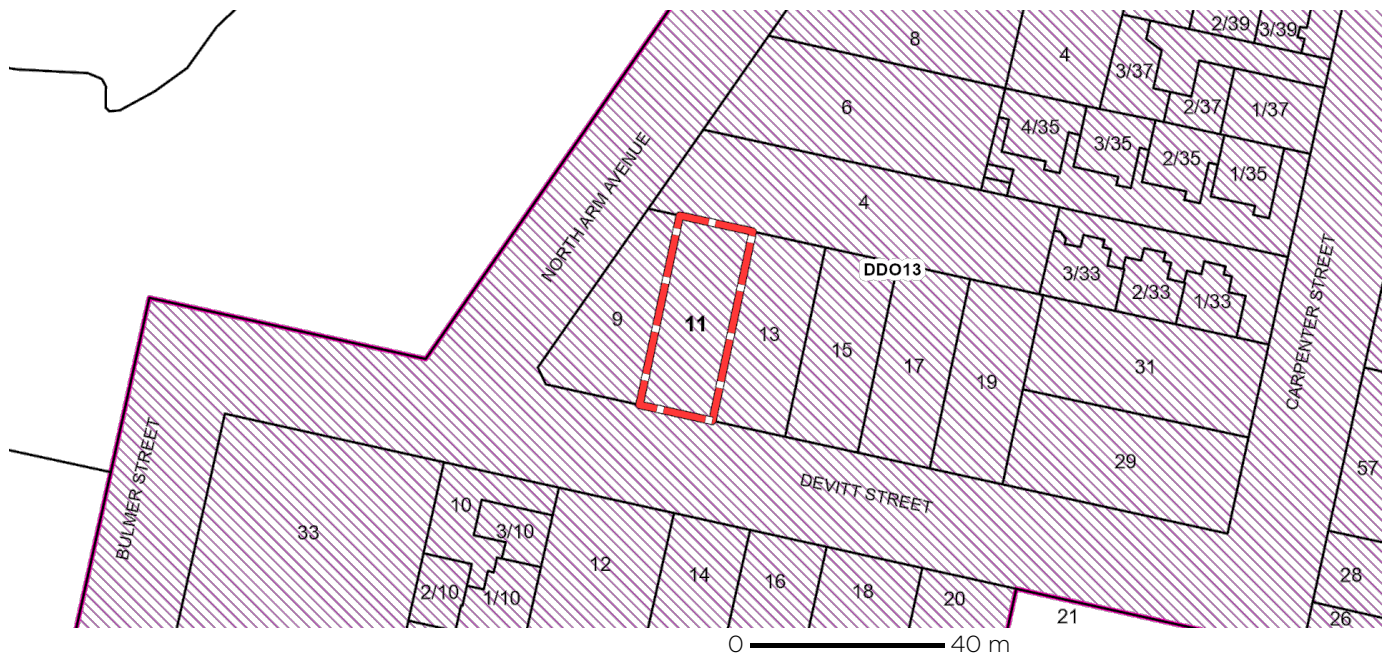
Page 1 of 6



## Planning Overlays

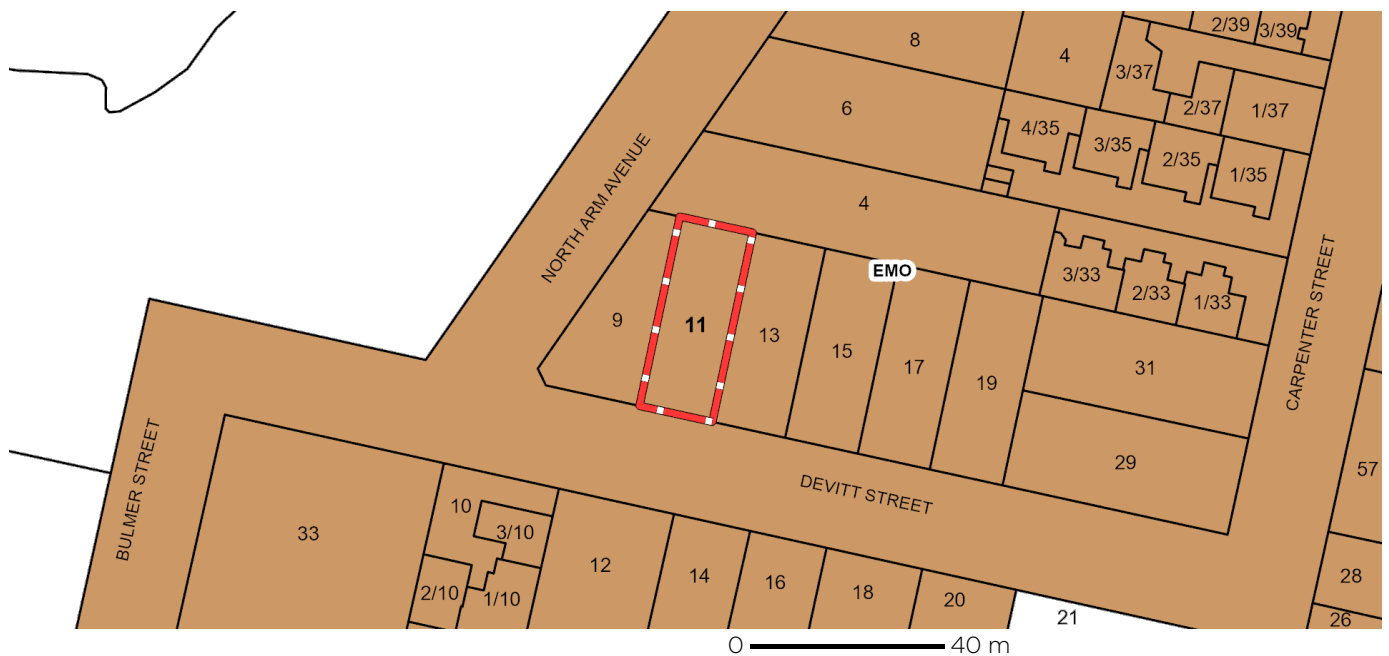
[DESIGN AND DEVELOPMENT OVERLAY \(DDO\)](#)

[DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 13 \(DDO13\)](#)



[EROSION MANAGEMENT OVERLAY \(EMO\)](#)

[EROSION MANAGEMENT OVERLAY SCHEDULE \(EMO\)](#)

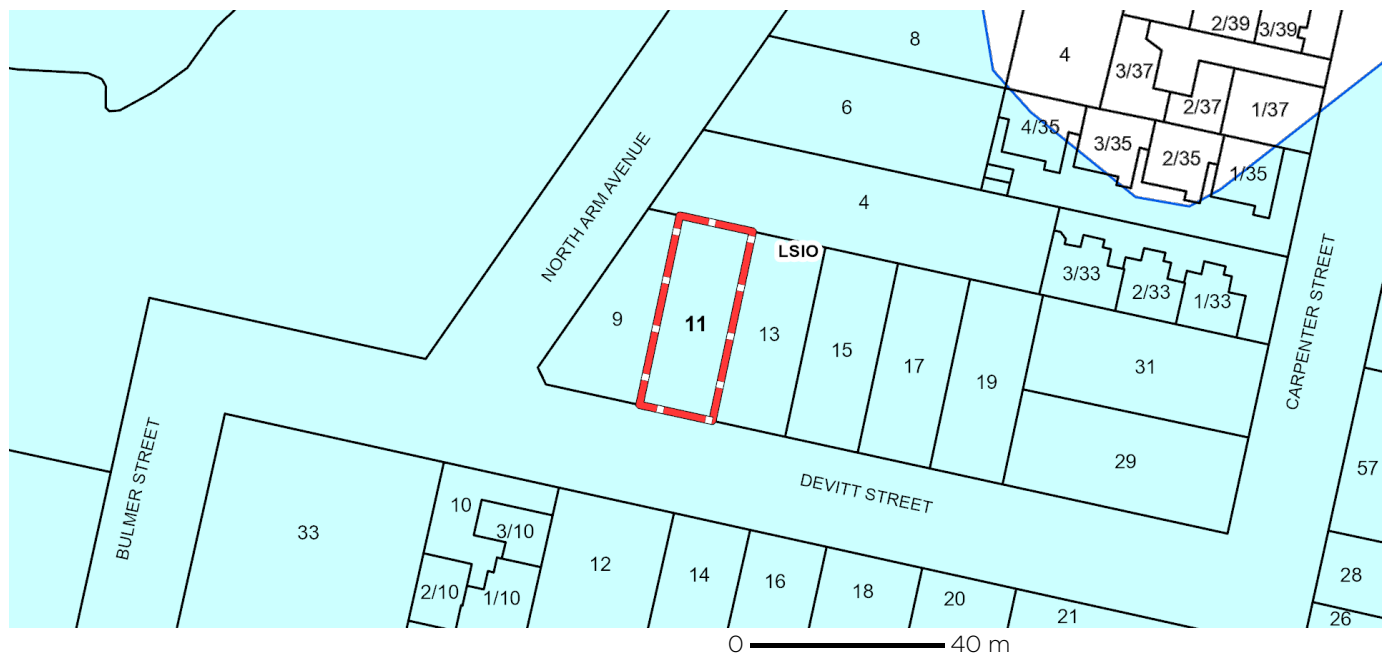




## Planning Overlays

[LAND SUBJECT TO INUNDATION OVERLAY \(LSIO\)](#)

[LAND SUBJECT TO INUNDATION OVERLAY SCHEDULE \(LSIO\)](#)



**LSIO - Land Subject to Inundation Overlay**

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend



## Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this property is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <http://www.aav.nrms.net.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.aboriginalvictoria.vic.gov.au/aboriginal-heritage-legislation>





## Further Planning Information

Planning scheme data last updated on 26 October 2023.

A **planning scheme** sets out policies and requirements for the use, development and protection of land. This report provides information about the zone and overlay provisions that apply to the selected land. Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**. It does not include information about exhibited planning scheme amendments, or zonings that may affect the land. To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.maps.vic.gov.au/vicplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>



## Designated Bushfire Prone Areas

**This property is not in a designated bushfire prone area.**  
**No special bushfire construction requirements apply. Planning provisions may apply.**

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

## Native Vegetation

Native plants that are indigenous to the region and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#)

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Information Management system <https://nvim.delwp.vic.gov.au/> and [Native vegetation \(environment.vic.gov.au\)](https://www.environment.vic.gov.au) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](https://www.environment.vic.gov.au)



26 October 2023

**To the Responsible Authority  
By Email**

To whom it may concern,

**Re: Proposed Additions and Alterations  
11 Devitt Street Lakes Entrance**

After having visited the above mentioned property, I recommend a Geotechnical Risk Assessment report waiver for the planning application of the above mentioned development. The reasons for the waiver are as follows;

1. There is no evidence of soil erosion or landslip on, or nearby the subject site and I would consider the geotechnical risks to be low.
2. The works consist of alterations and second storey additions to an existing dwelling. The site has an existing house on it and has a very slight fall to the front and rear.
3. The subject site is in an established area of Lakes Entrance.
4. Natural soils of the site (Stiff, Natural Clays, Very Dense Gravels, and silts at shallow depths) will have adequate strength and stability for slabs and footings.
5. Construction works would be protected by Building Code of Australia, Australian Standards, Building and Planning Permit requirements and normal construction practice.

If you have any further queries please don't hesitate to contact me.

Yours faithfully



**Simon Anderson CPEng MIEAust**  
**Chartered Professional Engineer**  
**NER 930355 Registered Professional Engineer PE0003214 (Vic) BSP: 659942437 (Tas)**



**BAIRNSDALE**

P.O. Box 1700, Bairnsdale, Vic 3875  
3/111 Main St, Bairnsdale, Vic 3875  
☎ 03 5153 1500  
ACN 073 392 266

**SALE**

P.O. Box 566, Sale, Vic 3850  
191-193 Raymond St, Sale, Vic 3850  
☎ 03 5144 6688  
ACN 145 437 065

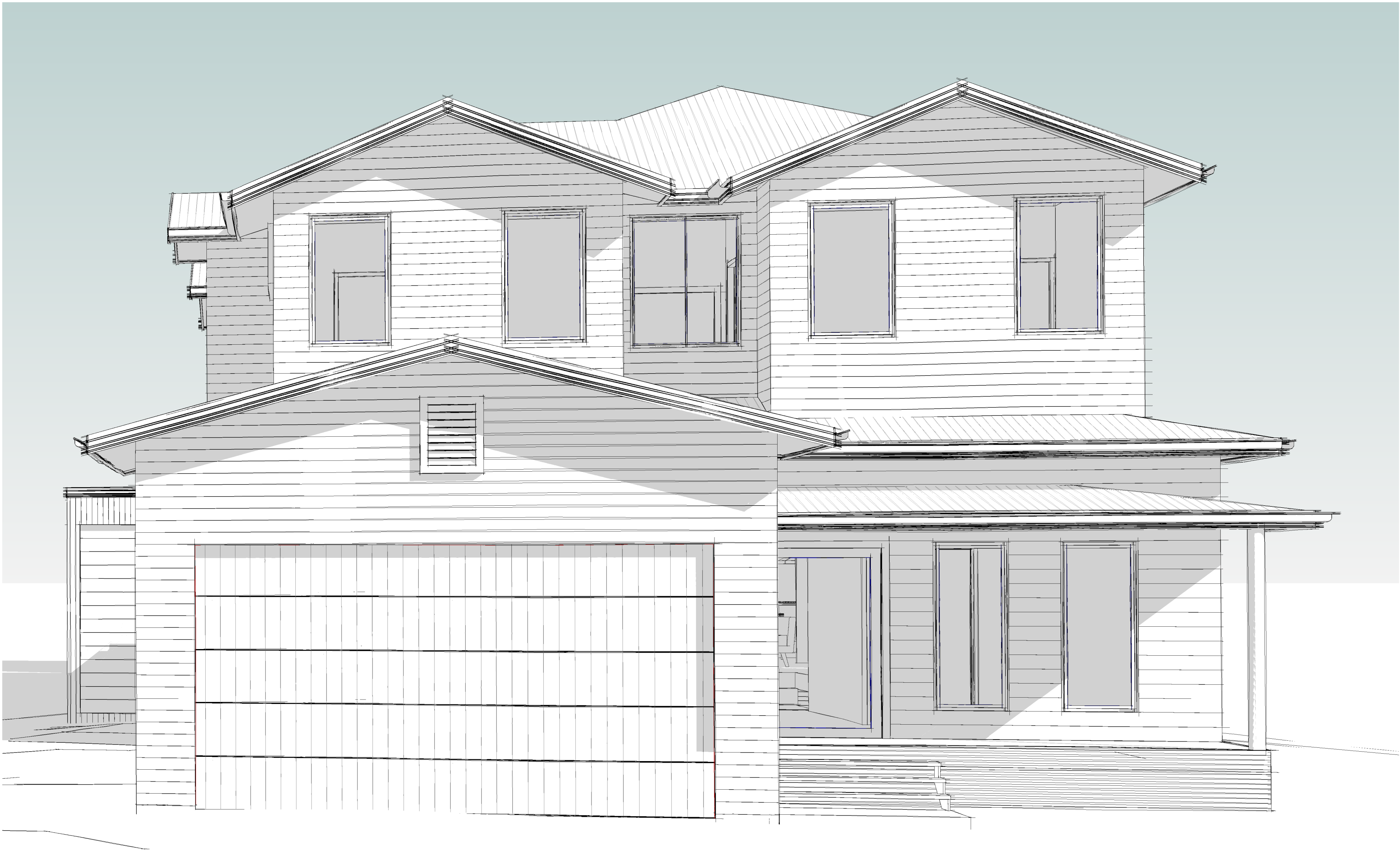
**GEELONG**

Address: 10/158 Fyans Street, South  
Geelong. VIC. 3220  
☎ 0448 499 322  
ACN 615170600



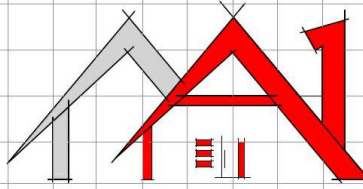
# ALTERATIONS & ADDITIONS TO EXISTING DWELLING AT 11 DEVITT STREET, LAKES ENTRANCE 3909

Meg & Brett Campisi



TOWNPLANNING ISSUE A

© Copyright		
Issue	Amendment	Date
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
-	-	-
A	SHED CONSTRUCTION & ROOF	8.2.24



**A1 BUILDING DESIGN  
AND DRAFTING**  
10 Dalmahoy Street, Bairnsdale Victoria 3875  
Mob.: 0438 560 215

Date:	DECEMBER 2023	Title:	COVER
A1 Scale:		Client:	Meg & Brett Campisi
Designed:	MEAGHAN GAMBLE DPAD 2468	Project:	Alterations & Additions to existing dwelling at 11 Devitt Street, Lakes Entrance 3909
Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	-
Plot Date:	8/02/2024 6:51:05 PM	Revision:	A
Client Approval Signature:		Drawing No:	A01
Date:			







- NOTE:
- ALL DOWNPIPES TO BE CONNECTED FROM GUTTERS TO LEGAL POINT OF DISCHARGE
  - ALL NEW FRAMING TO COMPLY WITH AS 1684 AND THE BUILDING CODE OF AUSTRALIA 2016 (CLASS 1-10 BUILDINGS)
  - THE BUILDER AND SUBCONTRACTORS SHALL CHECK ALL DIMENSIONS, SETBACK, LEVELS AND SPECIFICATIONS AND ALL RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE BUILDER FOR CLARIFICATION. THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW / AND OR EXISTING STRUCTURES DURING THE WORKS.
  - BUILDER TO VERIFY DIMENSIONS ON SITE PRIOR DEMOLITION / CONSTRUCTION WORKS.

SITE LEVELS BY :

**ADDRESS:** 11 DEVITT STREET LAKES ENTRANCE 3909  
**LOT:** Lot 1 TP961277  
**COUNCIL:** EAST GIPPSLAND  
**COUNCIL PROPERTY No.:** 42877

**Zone:**  
GENERAL RESIDENTIAL ZONE (GRZ)  
GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)  
Overlays:  
EROSION MANAGEMENT OVERLAY (EMO)  
LAND SUBJECT TO INUNDATION OVERLAY (LSIO)  
DESIGN AND DEVELOPMENT OVERLAY (DDO)  
DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 13 (DDO13)

## TOWNPLANNING ISSUE A



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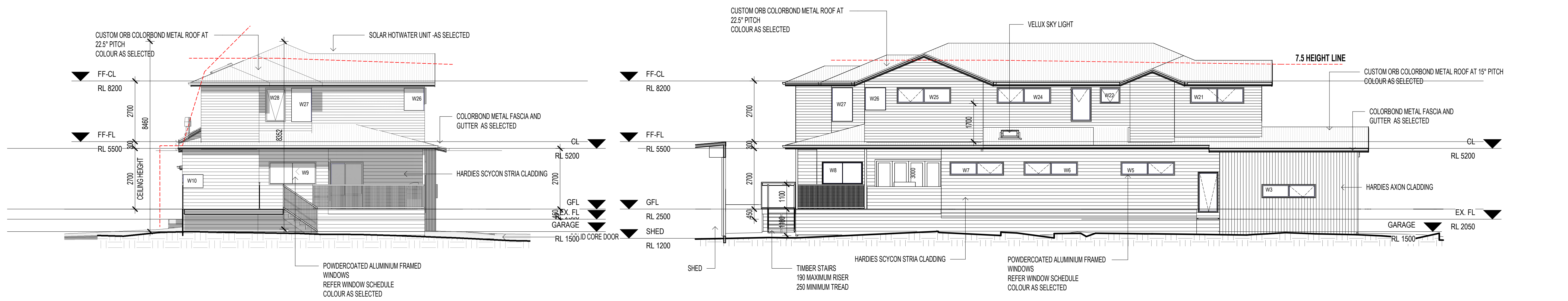
10 Dalmahoy Street, Bairnsdale Victoria 3875  
Mob.: 0438 560 215

Date:	DECEMBER 2023	Title:	PROPOSED SITE PLAN			
At Scale:	1" = 100'	Client:	Meg & Brett Campisi			
Designed:	Designer	Project:	Alterations & Additions to existing dwelling at 11 Devitt Street, Lakes			
Drawn:	MEAGHAN GAMBLE DP0420468		3909			
Plot Date:	8/02/2024 6:51 07 PM		Job No:	-	Revision:	A
Client Approval Signature:		Drawing No:		A03		
Date:						

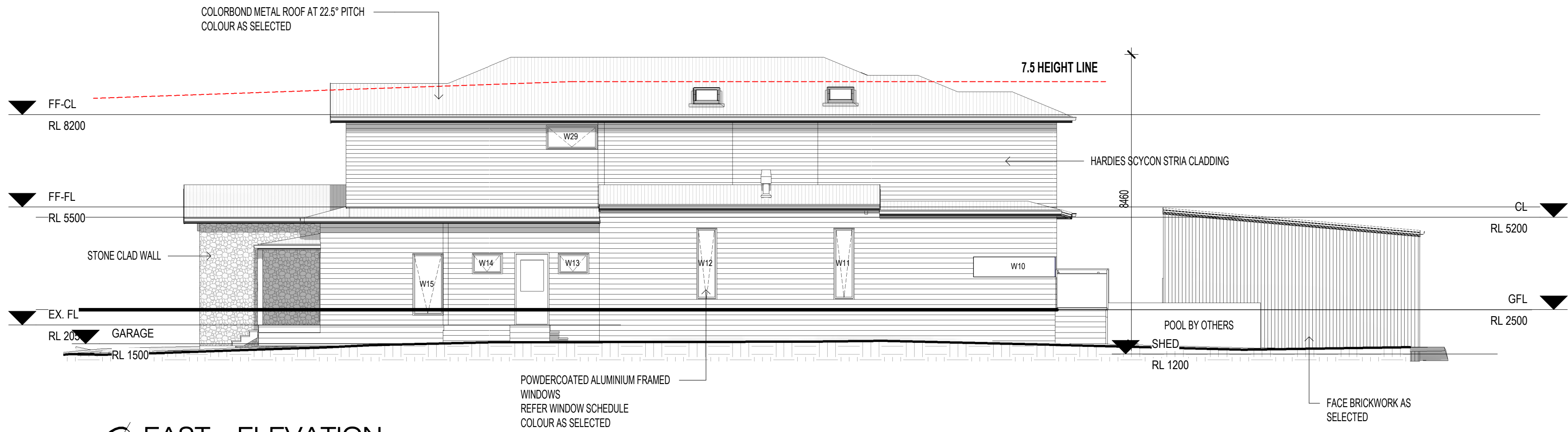


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**"DO NOT SCALE DRAWINGS" USE FIGURED DIMENSIONS. REFER COVER SHEET FOR NOTES UNLESS NOTED OTHERWISE**

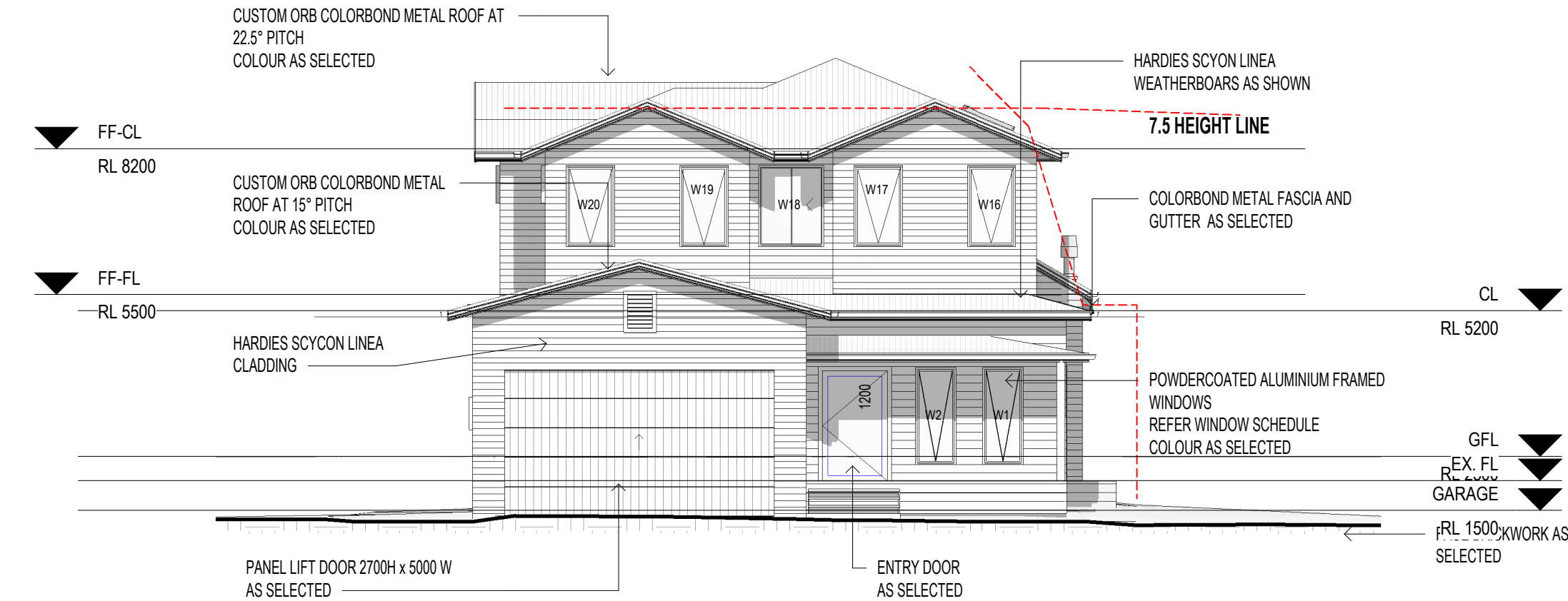




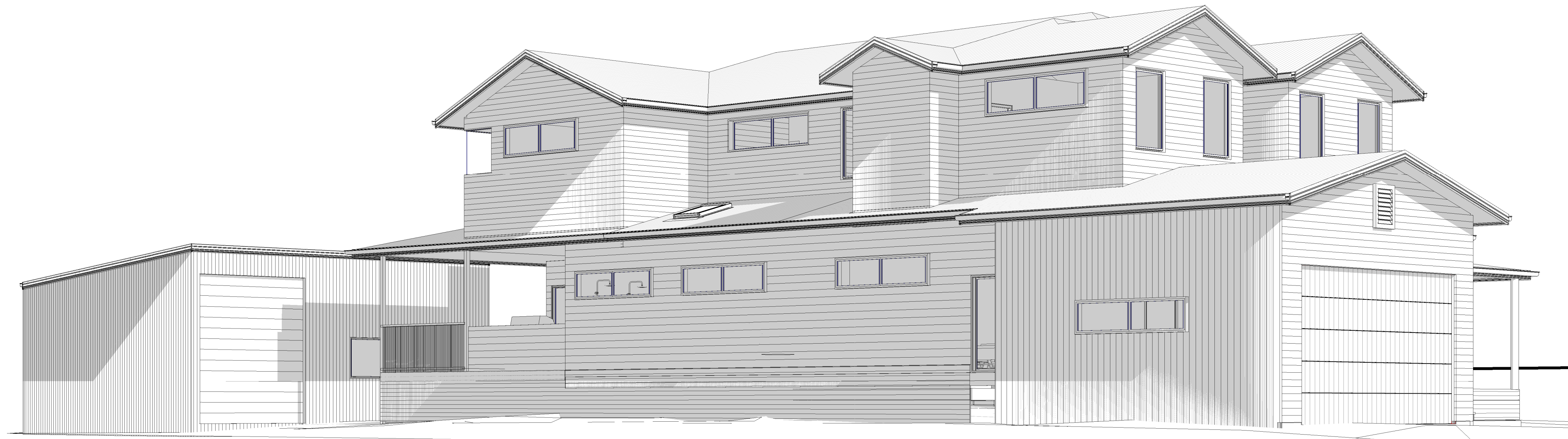
**NORTH ELEVATION**  
Scale: 1 : 100



**EAST - ELEVATION**  
Scale: 1 : 100



**SOUTH ELEVATION**  
Scale: 1 : 100



**TOWNPLANNING ISSUE A**

© Copyright						Date: DECEMBER 2023			Title: ELEVATIONS		
Issue	Amendment	Date				A1 Scale: 1 : 100			Client: Meg & Brett Campisi		
-	-	-				Designed:					
-	-	-				Drawn: MEAGHAN GAMBLE DPAD2468			Project: Alterations & Additions to existing dwelling at 11 Devitt Street, Lakes Entrance 3909		
-	-	-				Plot Date: 8/02/2024 5:51:18 PM					
-	-	-				Client Approval Signature:					
A	SHED CONSTRUCTION & ROOF	8.2.24	10 Dalmahoy Street, Bairnsdale Victoria 3875 Mob.: 0438 560 215			Date:			Job No: - Revision: A Drawing No: A05		



STAIR DETAIL:

THE GOING AND RISER OF A FLIGHT OF STAIRS IN A STAIRWAY SHALL BE CONSTANT.

NO. OF RISERS BEFORE A LANDING IN A SINGLE FLIGHT OF STAIRS SHALL NOT EXCEED 18 RISERS.

HANDRAILS SHALL BE AT A MINIMUM HEIGHT OF 865MM ABOVE NOSING OF TREADS AND 1000MM ABOVE LANDINGS.

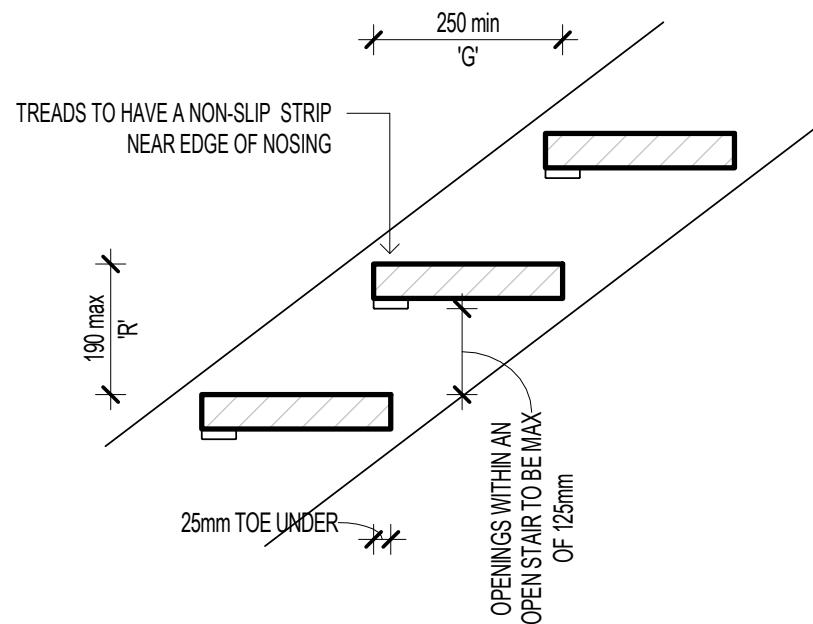
HANDRAILS SHALL BE PROVIDED ALONG EACH SIDE OF A STAIRWAY IF THE WIDTH OF THE STAIRWAY EXCEEDS 2000MM.

THE WIDTH OF A STAIR (MEASURED CLEAR OF HANDRAILS AND OBSTRUCTIONS) SHALL BE CONSTANT.

BALUSTRADES TO BE CONSTRUCTED IN A WAY THAT ANY OPENINGS DOES NOT PERMIT A 125MM SPHERE TO PASS THROUGH IT AND FOR BOTTOM RAILS THE SPACE IS TESTED ABOVE THE NOSINGS.

GOING AND RISERS SHALL NOT EXCEED THE FOLLOWING

	RISER 'R'		GOING 'G'		QUANTITY 2R+G	
	MAX.	MIN.	MAX.	MIN.	MAX.	MIN.
STAIRS (OTHER THEN SPIRAL)	190	115	355	250	700	550
SPIRAL	220	140	370	210	680	590



22.5° ROOF PITCH - METAL ROOF SHEETING, INSTALLED TO MANUFACTURES SPECIFICATIONS, COLORBOND FINISH - COLOUR AS SELECTED.  
FIXED TO 35 x 70 MGP12 ROOFING BATTENS AT 900 CTS.  
ALT. 40mm APPROVED STEEL ROOF BATTENS AS PER BCA)  
ROOF TRUSSES AT 900 MAX. CTS.  
FIXED AND BRACED TO MANUFACTURES SPECIFICATIONS

35x70 F5 CEILING BATTENS AT 450 MAX. CTS. (ALT. LYSAGHTS STEEL BATTENS)  
10mm PLASTER BOARD TO CEILING, GLUED AND SCREWED IN ACCORDANCE TO MANUFACTURES SPECIFICATIONS.

FF-CL  
RL 8200

115 QUADRANT GUTTER  
COLORBOND FINISH - COLOUR AS SELECTED,  
METAL FASCIA - COLOUR AS SELECTED

FF-FL  
RL 5500

19mm PARTICLE BOARD STRUCTURAL  
FLOORING  
INSTALLED TO MANUFACTURES  
DETAILS

HORIZONTAL WIRE BALUSTRADE REGULATIONS - AUSTRALIAN  
BUILDING CODE  
The following simple rules apply for horizontal wire balustrading:  
Maximum height of any wire balustrade is 4 mtr. (deck to ground level)  
Maximum spacing for wires is 100mm,  
When pulled apart, the maximum gap cannot be more than 125mm.  
For stairs, that maximum gap is taken from the nosing line.

ROLLED RIDGE CAPPING

SETBACK REQUIREMENTS

RESCODE SETBACK

MGP10 STUDS AT 450 MAXIMUM  
CENTRES  
REFER TO SCHEDULE  
FACE BRICKWORK (& CLADDING) AS  
SELECTED  
BULK INSULATION & SARKING  
REFER TO ENERGY REPORT.

GFL  
RL 2500  
EX. FL  
RL 2050  
GARAGE  
RL 1500

100 x 100 CONCRETE STUMPS  
HEIGHT OF STUMPS NOT TO EXCEED 1800  
IF THE STUMP EXCEEDS 900 ABOVE GROUND PROVIDE BRACING TO  
AS 1684  
REFER TO ENGINEERING

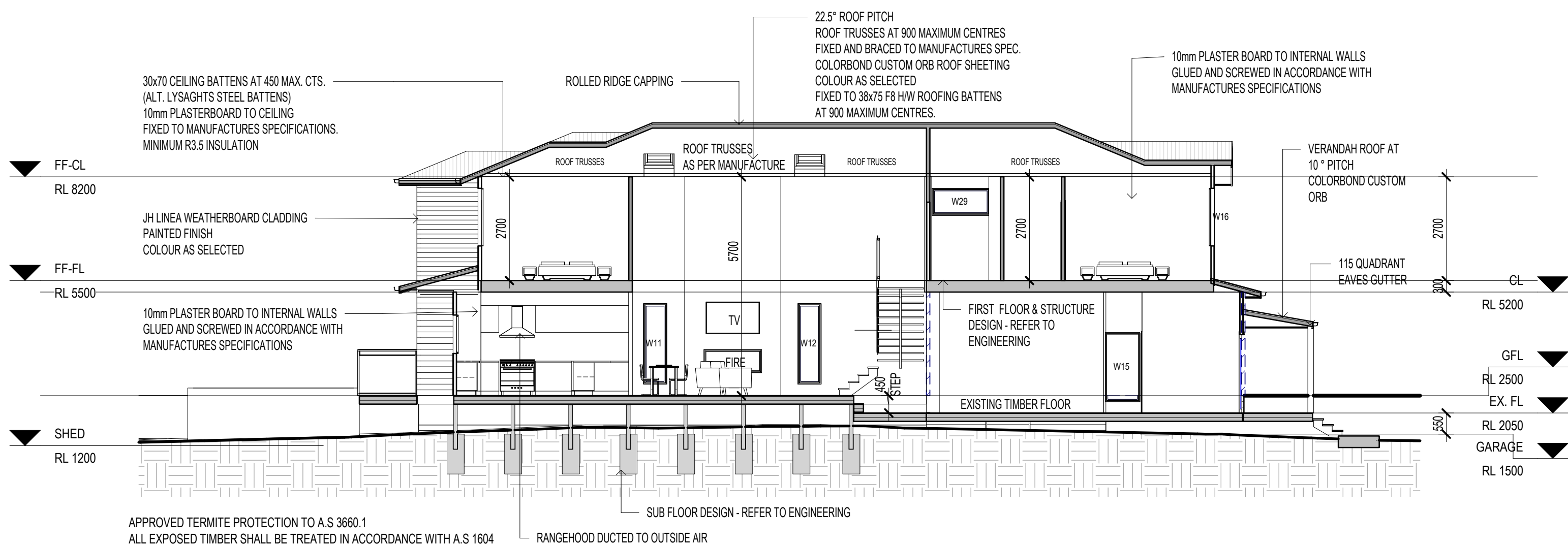
Section A - A  
Scale: 1 : 50

WINDOW SCHEDULE

MARK	LOCATION	WINDOW STYLE	HEIGHT	WIDTH	MATERIAL	GLAZING	REMARKS
1	OFFICE	AWNING	1800	750	PC ALUMINIUM		
2	OFFICE	AWNING	1800	750	PC ALUMINIUM		
3	GARAGE	AWNING	600	2400	PC ALUMINIUM		
5	MASTER BED	AWNING	600	2400	PC ALUMINIUM		
6	ENSUITE	AWNING	600	2400	PC ALUMINIUM		
7	ENSUITE	AWNING	600	2400	PC ALUMINIUM		
8	KITCHEN	SLIDING	1000	1800	PC ALUMINIUM		
9	KITCHEN	SLIDING	1000	2100	PC ALUMINIUM		
10	PANTRY	FIXED	600	2400	PC ALUMINIUM		
11	FAMILY	AWNING	2100	600	PC ALUMINIUM		
12	FAMILY	AWNING	2100	600	PC ALUMINIUM		
13	LAUNDRY	AWNING	600	900	PC ALUMINIUM		
14	PWDOR	AWNING	600	900	PC ALUMINIUM		
15	HALL	AWNING	1800	900	PC ALUMINIUM		
16	BED 4	FIXED	1500	900	PC ALUMINIUM		
17	BED 4	AWNING	1500	900	PC ALUMINIUM		
18	PASSAGE	SLIDING	1500	1200	PC ALUMINIUM		
19	BED 3	AWNING	1500	900	PC ALUMINIUM		
20	BED 3	FIXED	1500	900	PC ALUMINIUM		
21	BED 3	AWNING	700	2400	PC ALUMINIUM		
22	WC	AWNING	700	900	PC ALUMINIUM		
23	PASSAGE	FIXED	1500	900	PC ALUMINIUM		
24	BATH RM	AWNING	700	2400	PC ALUMINIUM		
25	LOUNGE	AWNING	700	2400	PC ALUMINIUM		
26	LOUNGE	FIXED	1000	900	PC ALUMINIUM		
27	BED 2	FIXED	1500	900	PC ALUMINIUM		
28	BED 2	AWNING	1500	900	PC ALUMINIUM		
29	STUDY	AWNING	700	1500	PC ALUMINIUM		
31			2100	1500			
32	HALL	AWNING	1800	900	PC ALUMINIUM		
SHED	SHED	SLIDING	1000	2100	PC ALUMINIUM		

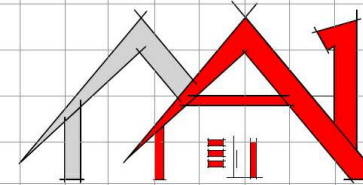
WINDOW NOTES:  
ALL GLAZING TO BE IN ACCORDANCE WITH AS 1288  
CONTRACTOR TO CONFIRM SIZES WITH OWNERS PRIOR ORDERING AND INSTALLATION.  
ALL WINDOWS TO BE SECURELY FLASHED AND SEALED ALL AROUND.  
ALL WINDOWS HEAD HEIGHTS TO BE 2100mm ABOVE FFL, UNLESS OTHERWISE NOTED.  
ALL OPENING WINDOWS TO BE SUPPLIED WITH MATCHING REMOVABLE FLYSCREENS  
ALL INTERNAL DOORS TO BE 2100mm HIGH UNLESS OTHERWISE NOTED.  
PROVIDE FLASHING OVER WINDOW, EXTENDING 300mm MIN PAST OPENING AND BUILD INTO JOINT ABOVE  
LINTEL AND CARRY ACROSS CAVITY & FIX TO STUD WORK - 150mm HIGH MIN.  
CONTRACTOR TO CONFIRM ALL LOCKS WITH OWNERS AND ENSURE INSTALLATION AS PER MANUFACTURES SPECIFICATION.  
GRADE 'A' SAFETY GLASS TO WINDOWS IN WET AREAS TO MEET CURRENT STANDARDS.

TOWNPLANNING ISSUE A



SECTION BB  
Scale: 1 : 100

© Copyright			Date:		Title:	
Issue	Amendment	Date	A1 Scale: As indicated		SECTION & WINDOW SCHEDULE	
-	-	-	Designed:		Client: Meg & Brett Campisi	
-	-	-	Drawn: MEAGHAN GAMBLE DPAD2468		Project: Alterations & Additions to existing dwelling at 11 Devitt Street, Lakes Entrance 39009	
-	-	-	Plot Date: 8/02/2024 5:51:19 PM		Job No: -	
-	-	-	Client Approval Signature:		Revision: A	
A	SHED CONSTRUCTION & ROOF	8.2.24	Date:		Drawing No: A06	



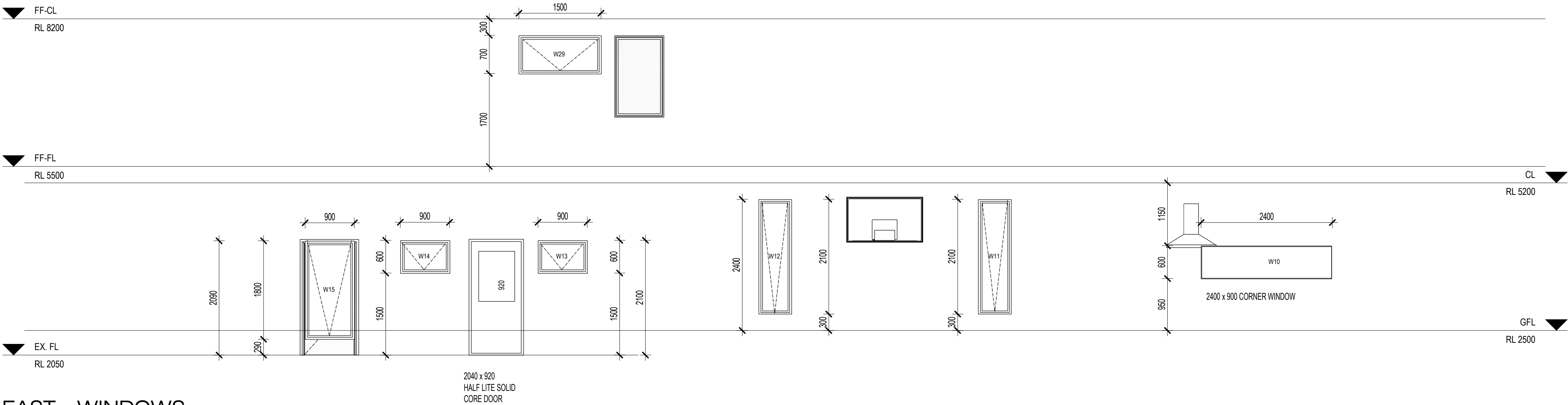
A1 BUILDING DESIGN  
AND DRAFTING  
10 Dalmahoy Street, Bairnsdale Victoria 3875  
Mob.: 0438 560 215

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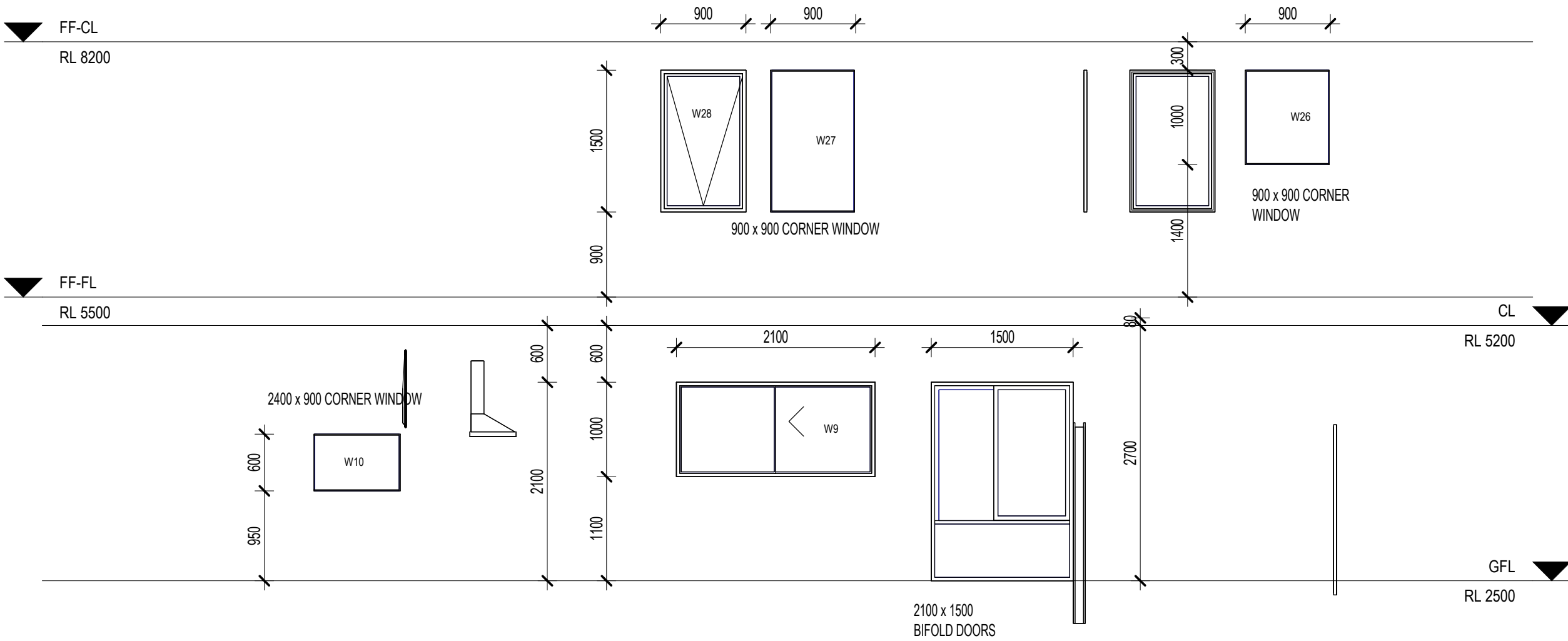
DOORS AND WINDOWS:

- VERIFY ALL SIZES AND POSITIONS ON SITE PRIOR TO ORDERING AND INSTALLATION OF ALL WINDOWS AND DOORS.
- SIZES OF ALL LINTELS SHALL BE VERIFIED
- ALL GLASS AND THICKNESS IN ACCORDANCE WITH AS1288



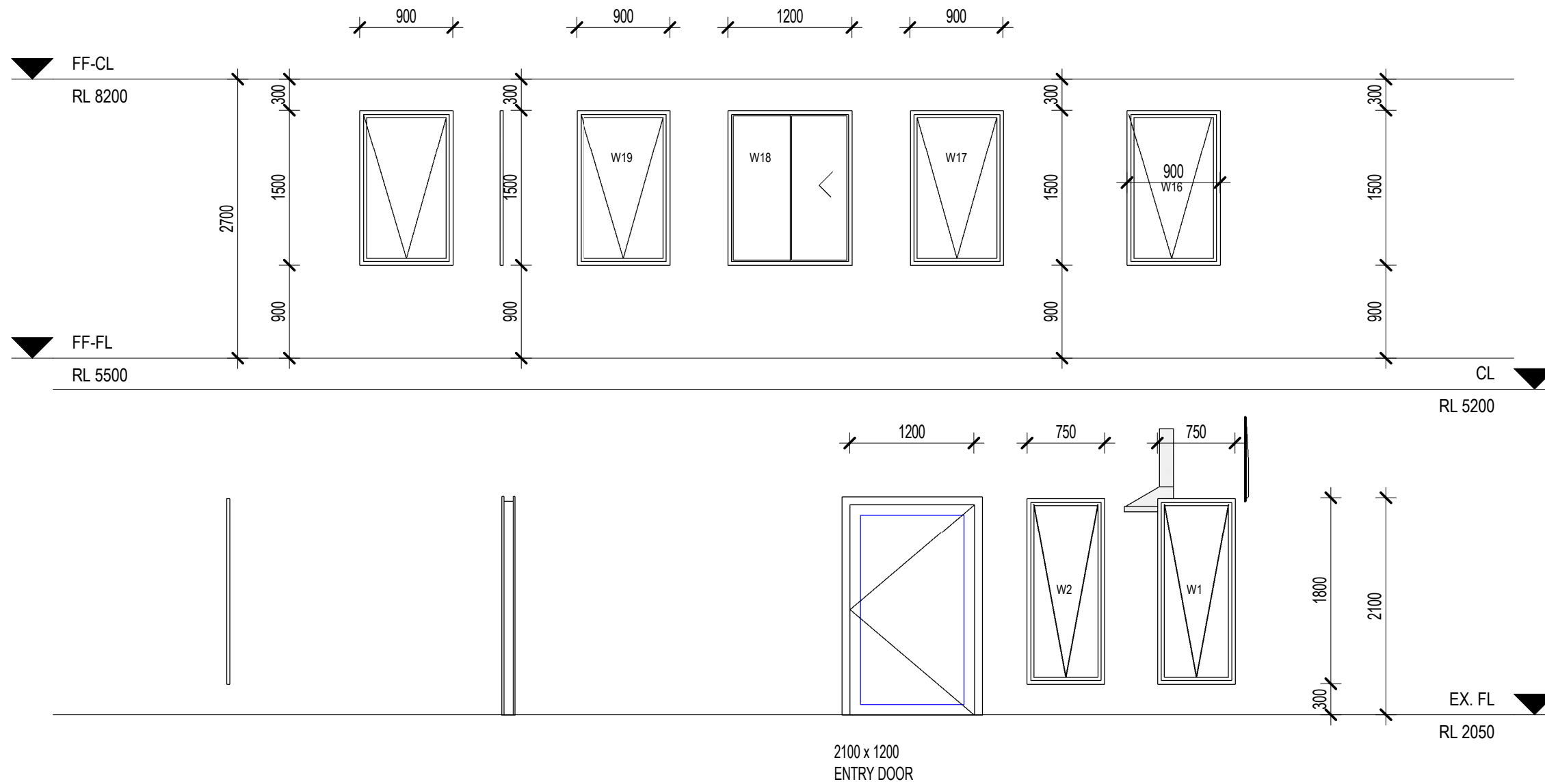
EAST - WINDOWS

Scale: 1 : 50



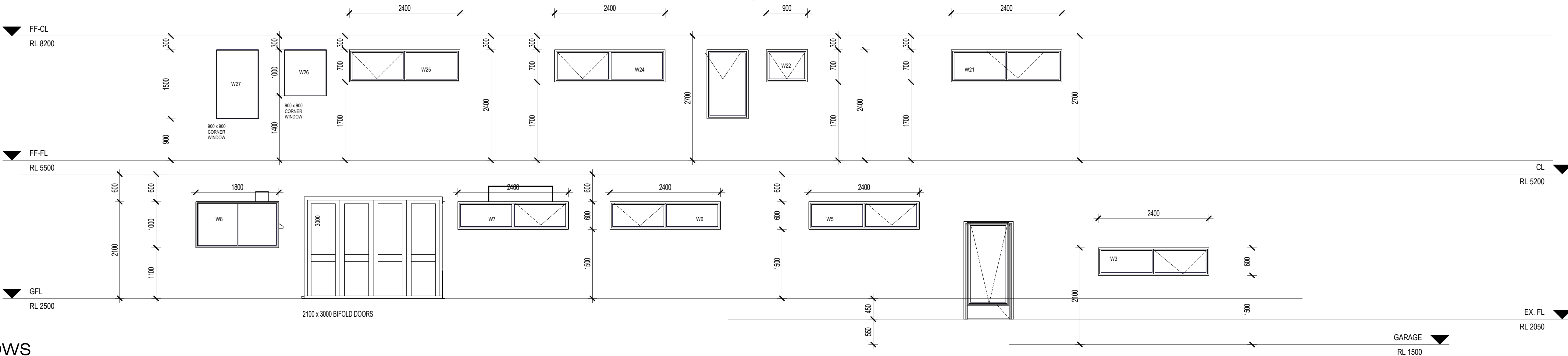
NORTH WINDOWS

Scale: 1 : 50



SOUTH WINDOWS

Scale: 1 : 50

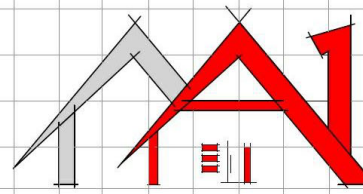


WEST - WINDOWS

Scale: 1 : 50

TOWNPLANNING ISSUE A

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A	SHED CONSTRUCTION & ROOF	8.2.24



**A1 BUILDING DESIGN  
AND DRAFTING**  
10 Dalmahoy Street, Bairnsdale Victoria 3875  
Mob.: 0438 560 215

Date:	DECEMBER 2023	Title:	WINDOWS
A1 Scale:	1 : 50	Client:	Meg & Brett Campisi
Designed:	Designer	Project:	Alterations & Additions to existing dwelling at 11 Devitt Street, Lakes Entrance 3909
Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	-
Plot Date:	8/02/2024 6:51:22 PM	Revision:	A
Client Approval Signature:		Drawing No:	A07
Date:			



HEIGHTS OF GPO'S  
GENERAL - 200mm ABOVE F.F.L.  
KITCHEN - 1100mm ABOVE F.F.L. (BENCH)  
FRIDGE LOCATION - 1100mm ABOVE F.F.L.  
DISHWASHER LOCATION - 750mm ABOVE F.F.L.  
RANGEHOOD LOCATION - 2200mm ABOVE F.F.L.  
COOKTOP LOCATION - 750mm ABOVE F.F.L.  
BATH / ENS - 1100mm ABOVE F.F.L.  
LAUNDRY - 1100mm ABOVE F.F.L.  
WALL OVEN 15AMP POWER POINT DIRECT WIRED

LIGHT SWITCHES TO BE LOCATED 1100mm ABOVE F.F.L.  
LIGHT SWITCH FOR HEATING UNIT 1500mm ABOVE F.F.L.  
WITHIN CLOSE PROXIMITY OF MANHOLE.

GARAGE REMOTE LOCATIONS:

ROLLER DOOR - LOCATE ON WALL 1800mm ABOVE F.F.L.  
PANEL DOOR - LOCATE ON CEILING 3.20m, C.L. DOOR.

NOTE: LIGHTING COMPLIANCE TO BE CONFIRMED PRIOR TO  
COST/ FINAL INSP. AS PER BELOW:  
5W/sqm - CLASS 1 BUILDING (RESIDENCE)  
4W/sqm - VERANDAH / BALCONY CLASS 1 BLG.  
3W/sqm - CLASS 10 BUILDING (GARAGE)  
PENETRATIONS TO CEILINGS TO COMPLY WITH PART  
3.12.1.2(e)  
IF LIGHTING LAYOUT/DESIGN DIFFERS FROM WHAT  
ENDORSED A REVISED RATING IS REQUIRED.

LOCATION OF ALL ELECTRICAL POINTS ARE APPROXIMATE ONLY, AND ARE  
SUBJECT TO POSITION OF STRUCTURAL MEMBERS ON PLAN.

SOLAR HOT WATER SERVICE INCLUDING SOLAR PANELS INSTALLED AS PER  
MANUFACTURER'S SPECIFICATION.

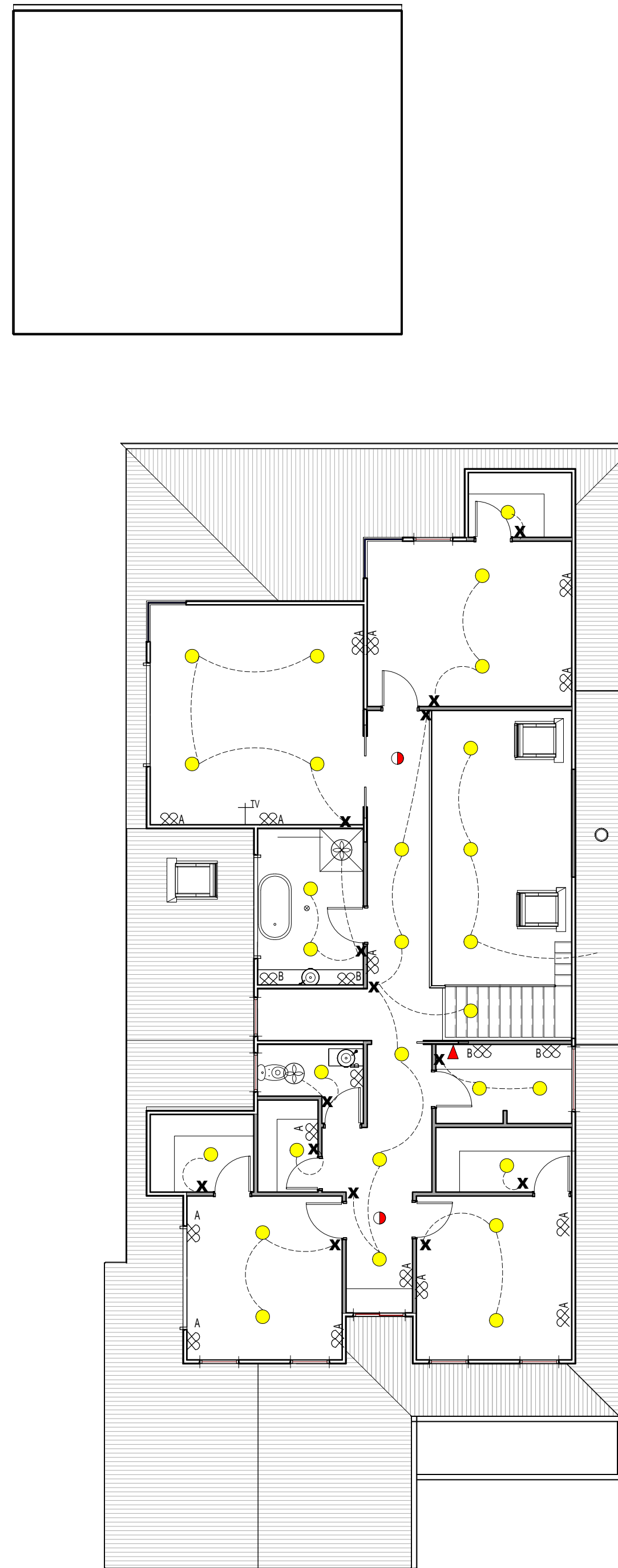
PROVIDE TELEPHONE CABLING FROM STREET TO HOUSE.

PROVIDE T.V. ANTENNA CONNECTED TO T.V. POINTS.

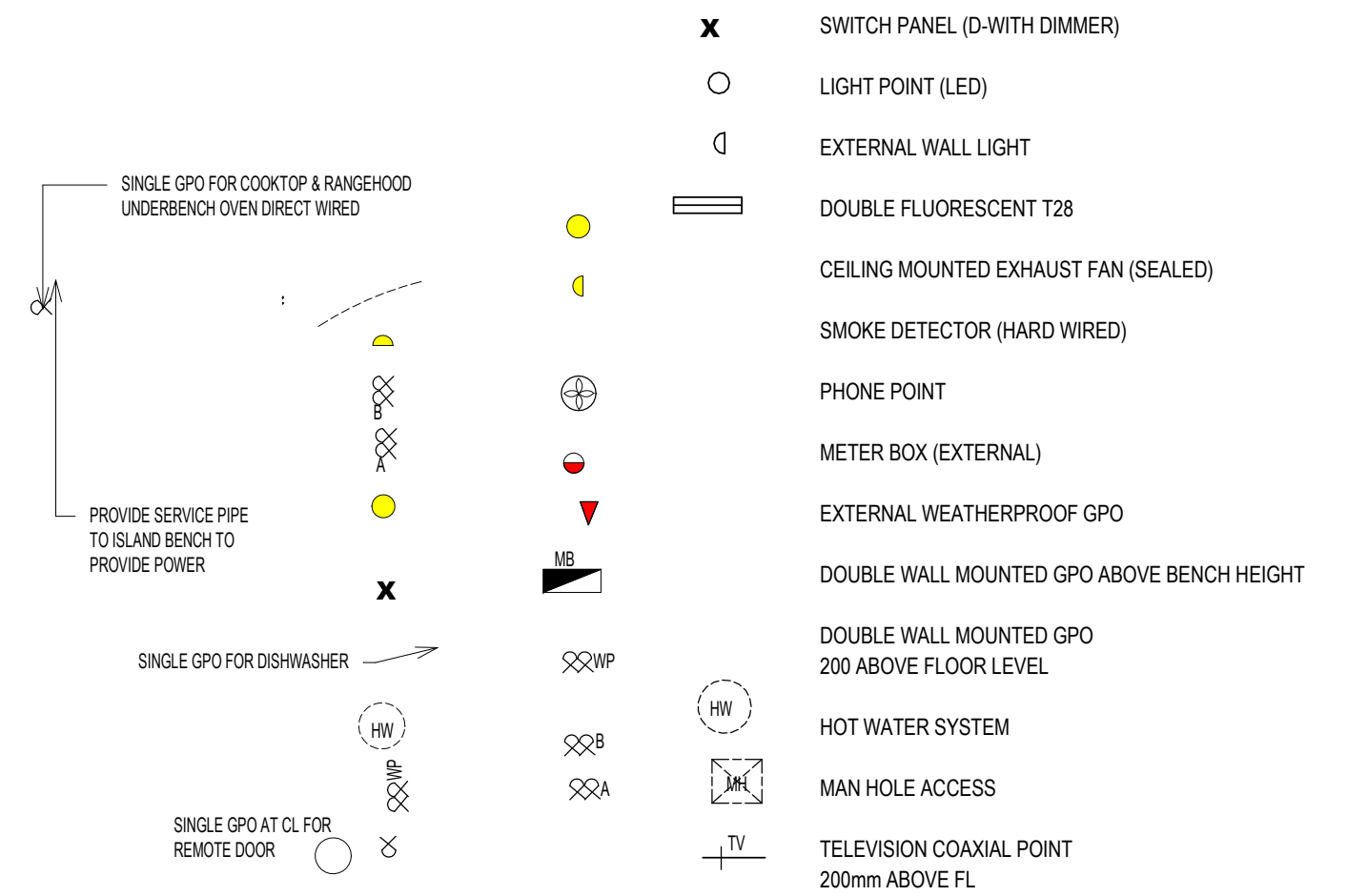
PROVIDE SINGLE GPO AND COLD WATER POINT IN CEILING FOR  
EVAPORATIVE COOLING UNIT.



**GROUND FLOOR PLAN- ELECTRICAL**  
Scale: 1 : 100

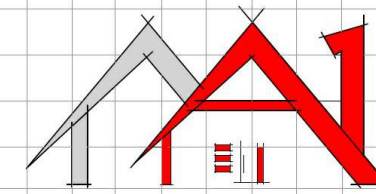


**FIRST FLOOR LEVEL ELECTRICAL**  
Scale: 1 : 100



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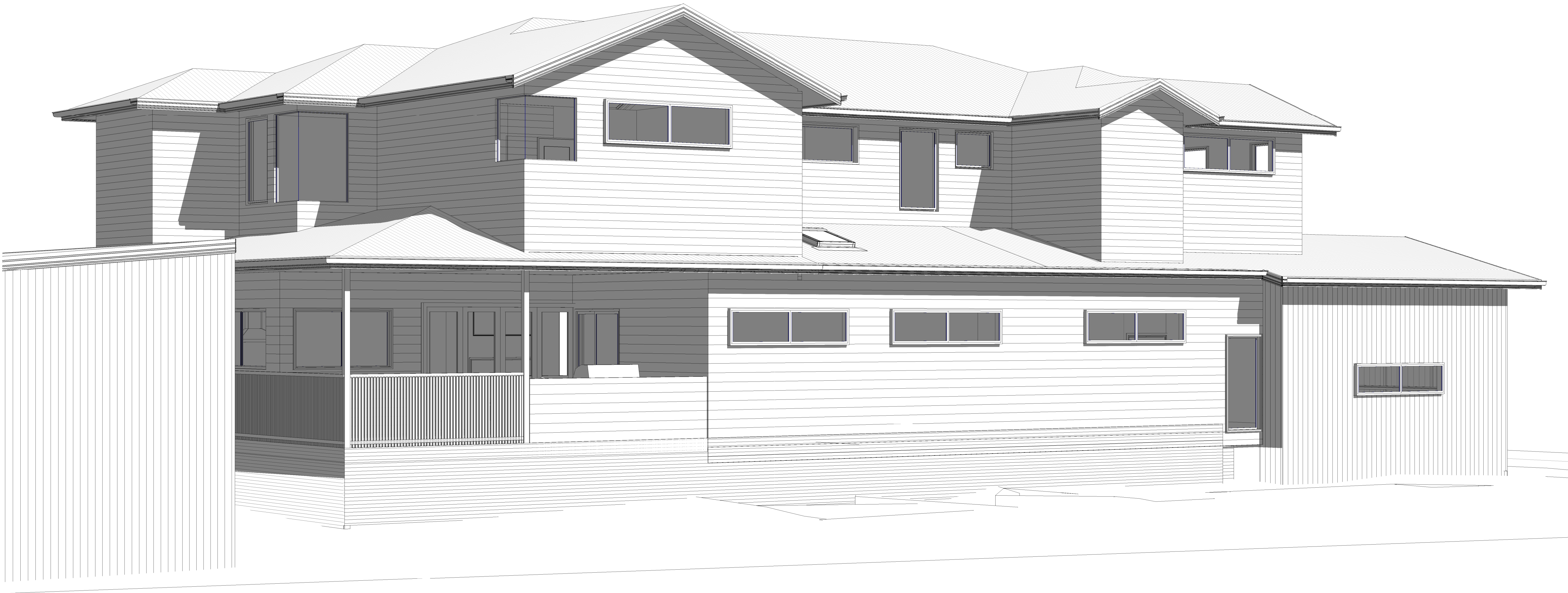
**A1 BUILDING DESIGN  
AND DRAFTING**  
10 Dalmahoy Street, Bairnsdale Victoria 3875  
Mob.: 0438 560 215

Date:	DECEMBER 2023	Title:	ELECTRICAL PLAN		
A1 Scale:	1 : 100	Client:	Meg & Brett Campisi		
Designed:	MEAGHAN GAMBLE DPAD2468	Project:	Alterations & Additions to existing dwelling at 11 Devitt Street, Lakes Entrance 3909		
Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	-	Revision:	A
Plot Date:	8/02/2024 6:51:23 PM	Client Approval Signature:			
Date:		Drawing No:	A08		





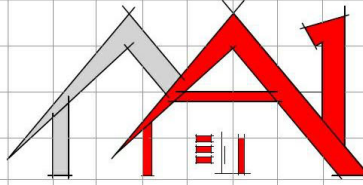




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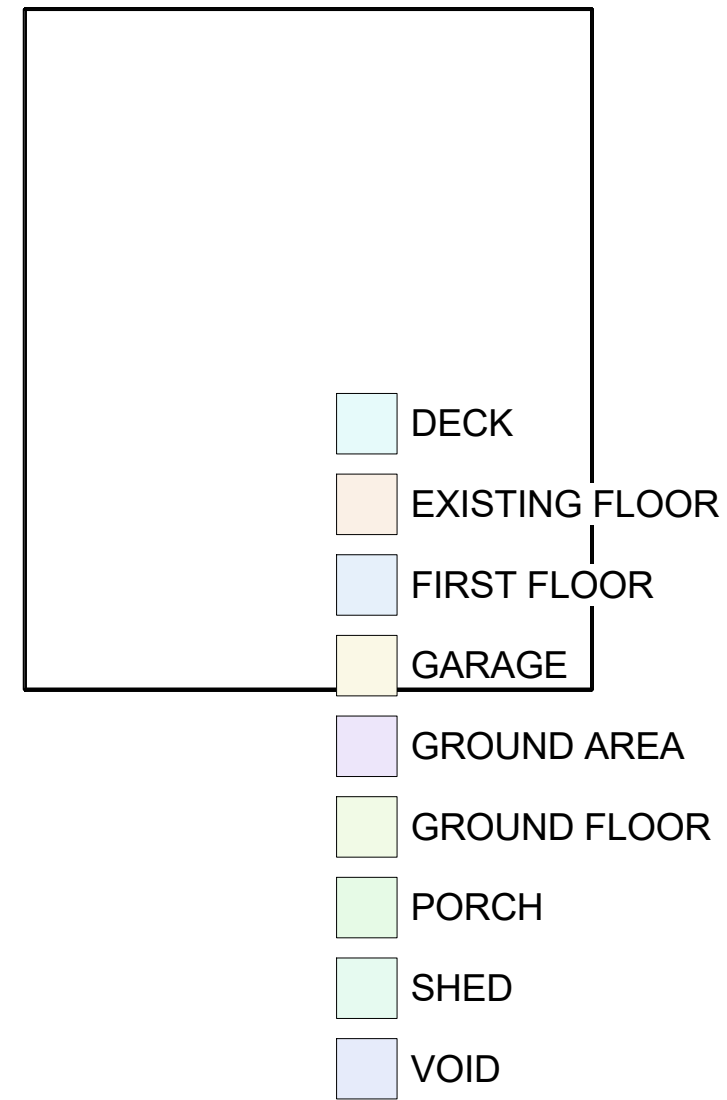
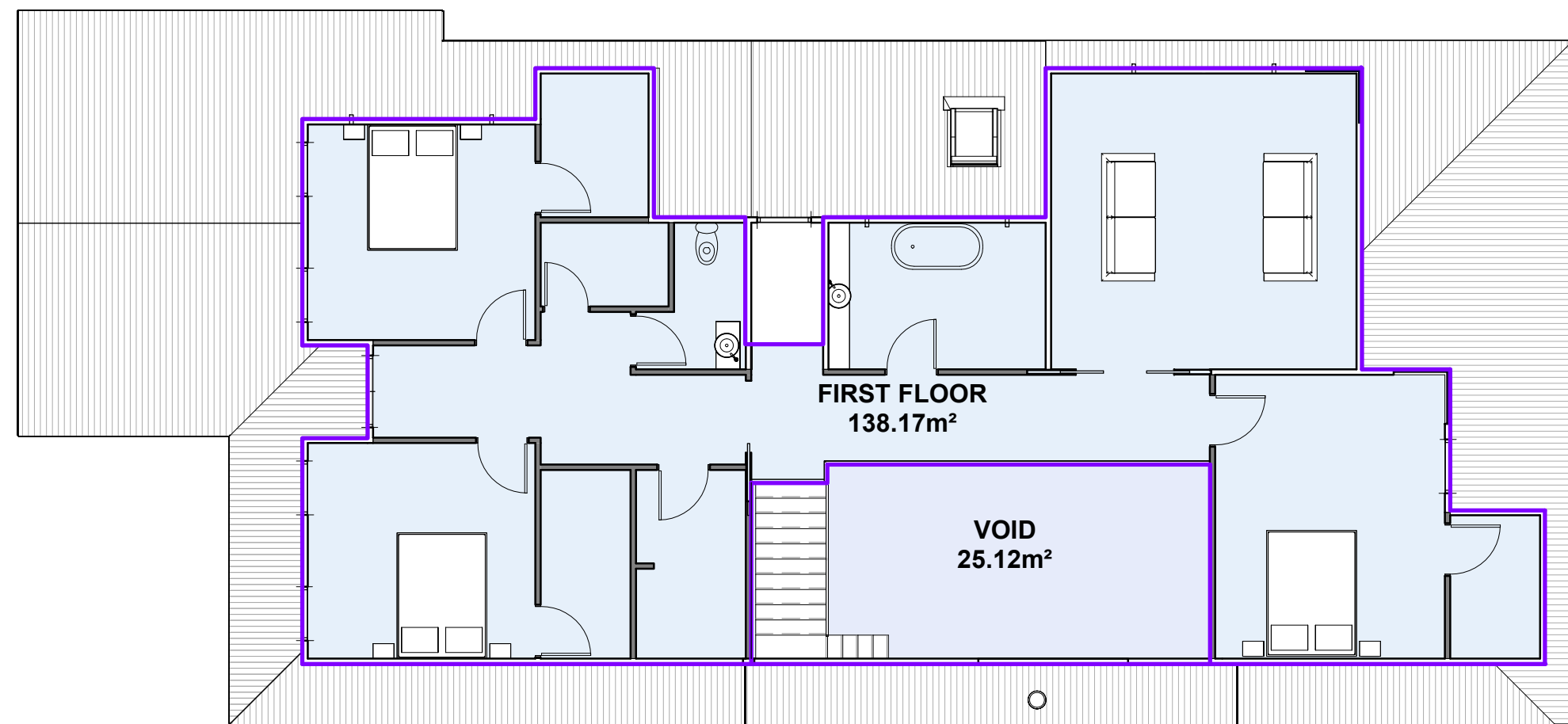


**A1 BUILDING DESIGN  
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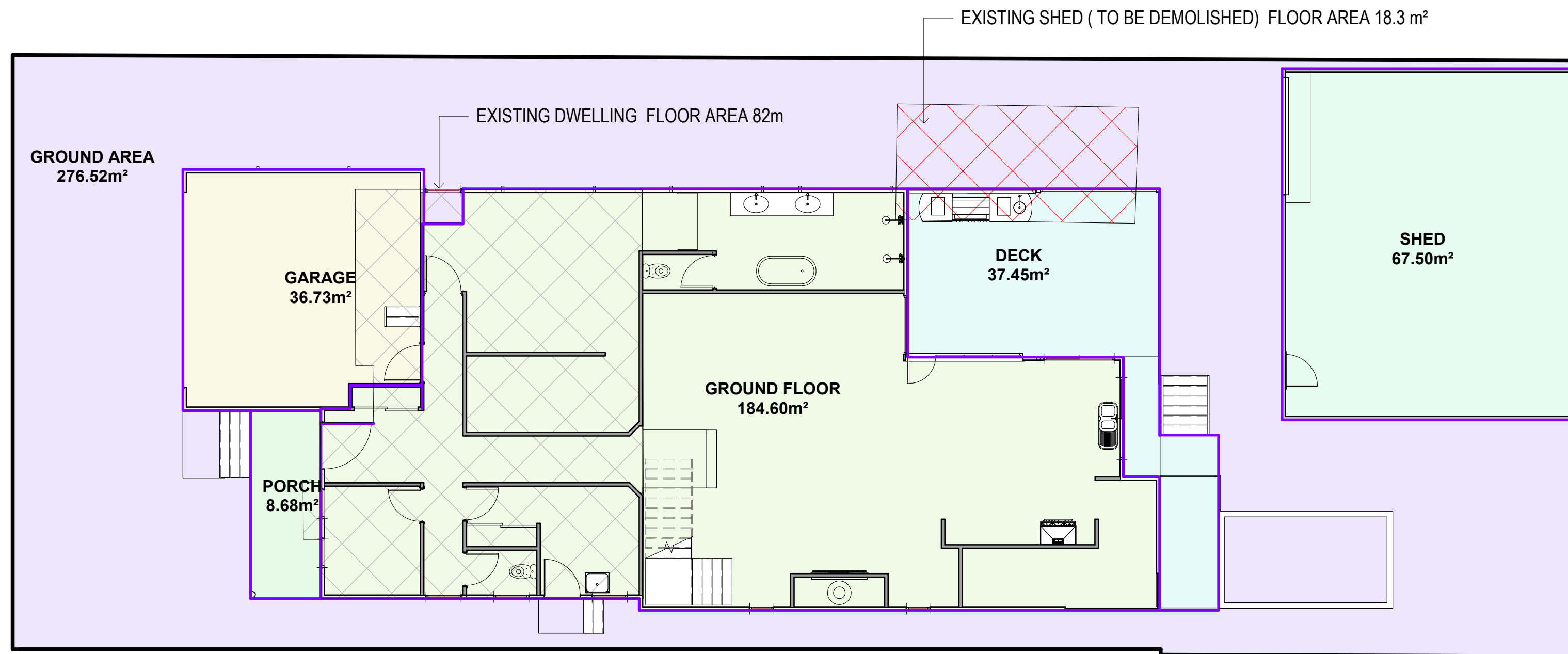
Date:	DECEMBER 2023
A1 Scale:	
Designed:	Designer
Drawn:	MEAGHAN GAMBLE DPAD2468
Plot Date:	8/02/2024 6:51:30 PM
Client Approval Signature:	
Date:	

Title:	3D VIEWS
Client:	Meg & Brett Campisi
Project:	Alterations & Additions to existing dwelling at 11 Devitt Street, Lakes Entrance 3909
Job No:	-
Revision:	A
Drawing No:	A10





AREA PLAN - FIRST FLOOR  
Scale: 1 : 100



LOT 1 - TP 961277E  
VOL 7479 FOL 115  
11 DEVITT STREET LAKES ENTRANCE

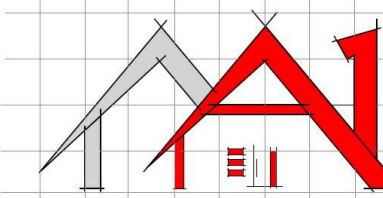
**SITE AREA:** 612 m<sup>2</sup>  
EXISTING HOUSE FOOTPRINT : 82 m<sup>2</sup>  
EXISTING SHED FOOT PRINT : 19 m<sup>2</sup>  
**TOTAL EXISTING** 101 m<sup>2</sup>

PROPOSED EXTENSION FOOT PRINT-  
INCLUDING EXISTING: 267.46 m<sup>2</sup>  
NEW SHED : 67.50 m<sup>2</sup>  
**TOTAL PROPOSED** 334.96 m<sup>2</sup>  
SITE AREA FOOTPRINT: 54.73%

AREA PLAN - GROUND FLOOR  
Scale: 1 : 100

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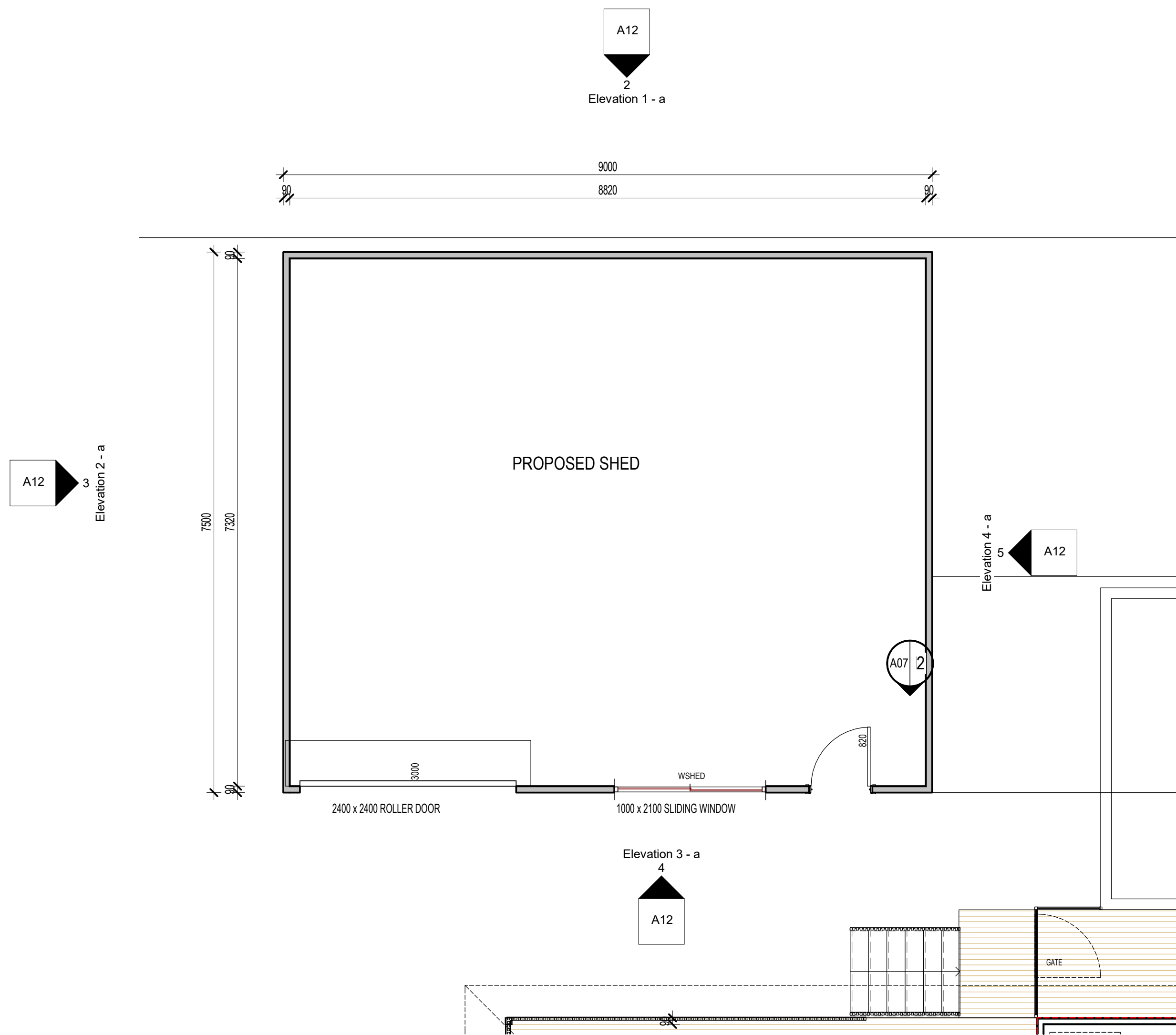


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Mob: 0438 560 215

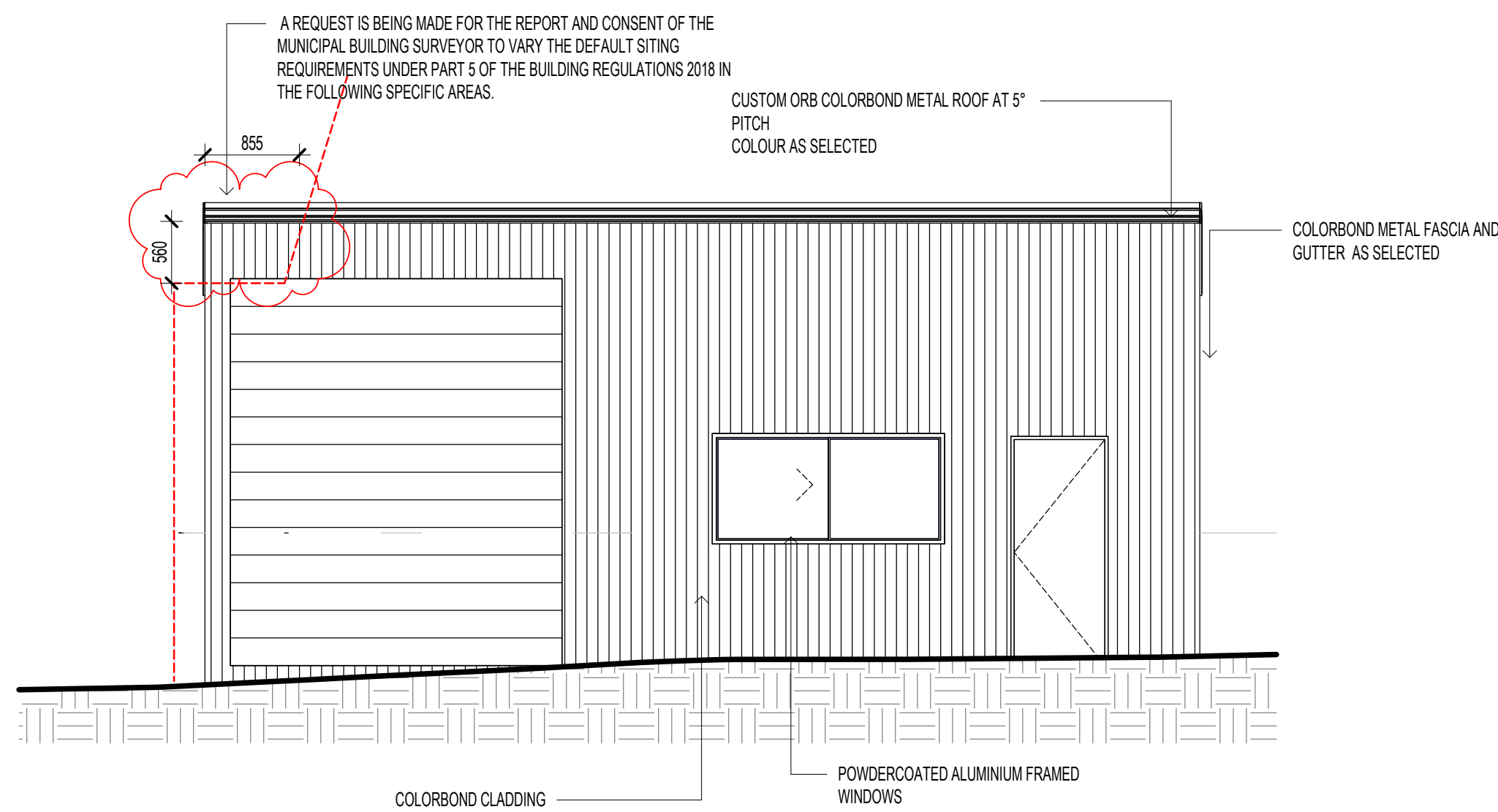
Date:	DECEMBER 2023
A1 Scale:	1 : 100
Designed:	Designer
Drawn:	MEAGHAN GAMBLE DPAD2468
Plot Date:	8/02/2024 5:51:32 PM
Client Approval Signature:	
Date:	

Title:	AREA PLAN
Client:	Meg & Brett Campisi
Project:	Alterations & Additions to existing dwelling at 11 Devitt Street, Lakes Entrance 3909
Job No:	-
Revision:	A
Drawing No:	A11

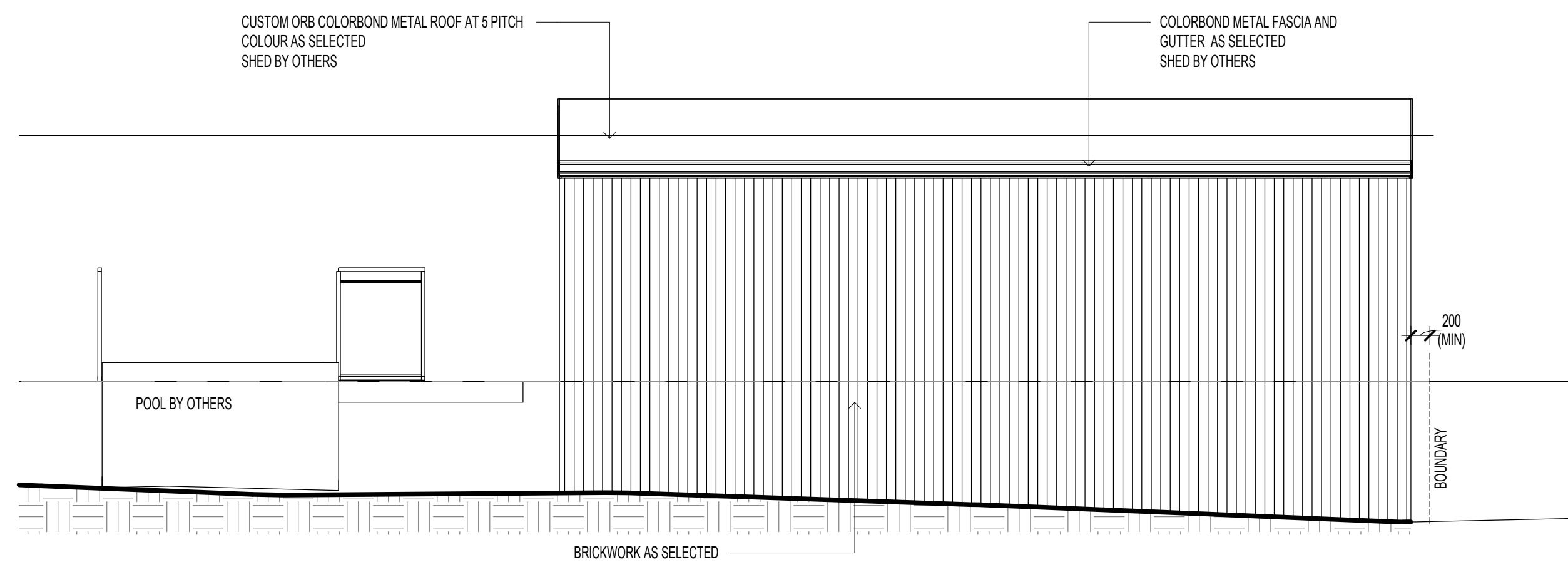




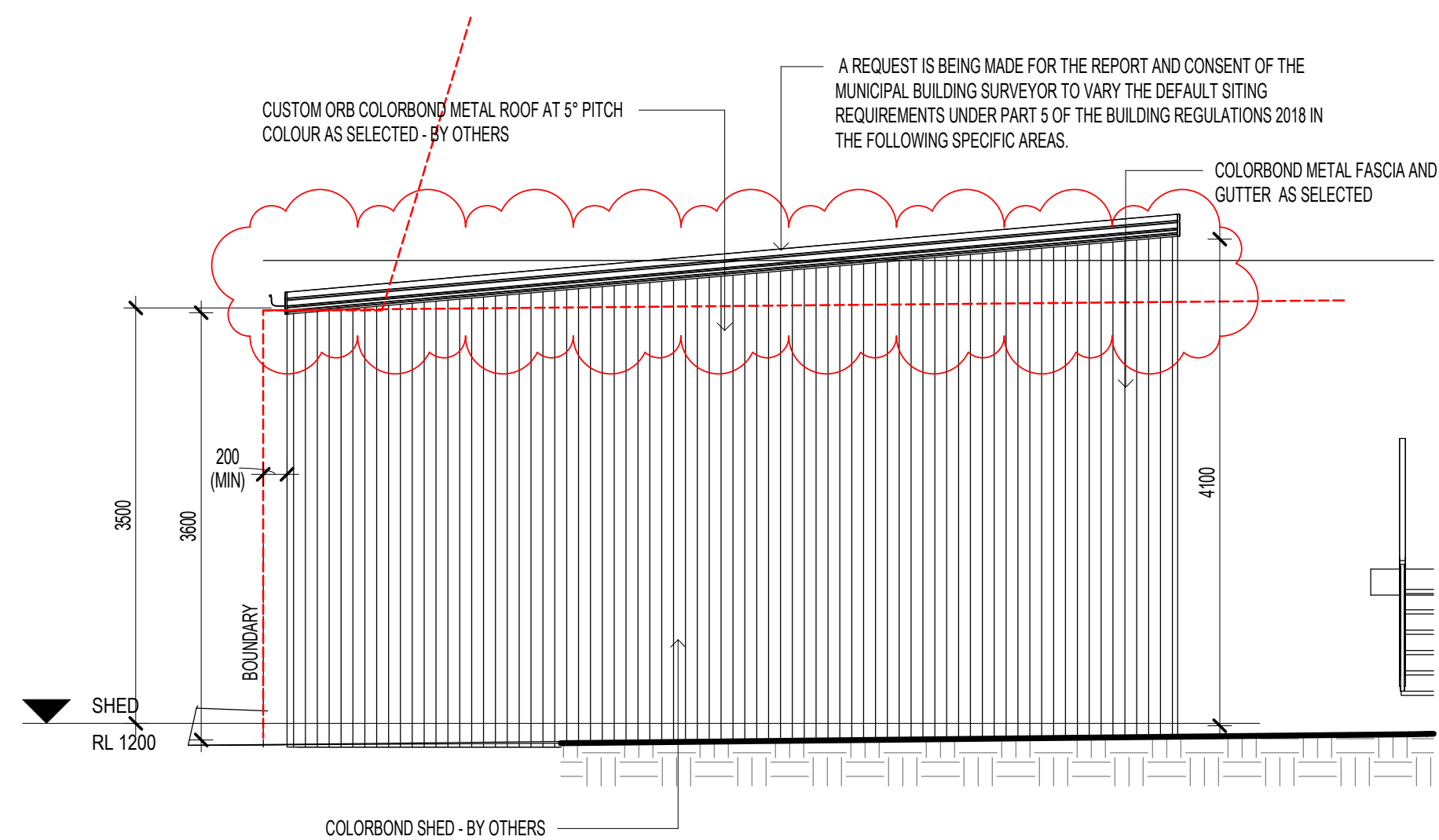
SHED FLOOR PLAN  
Scale: 1 : 50



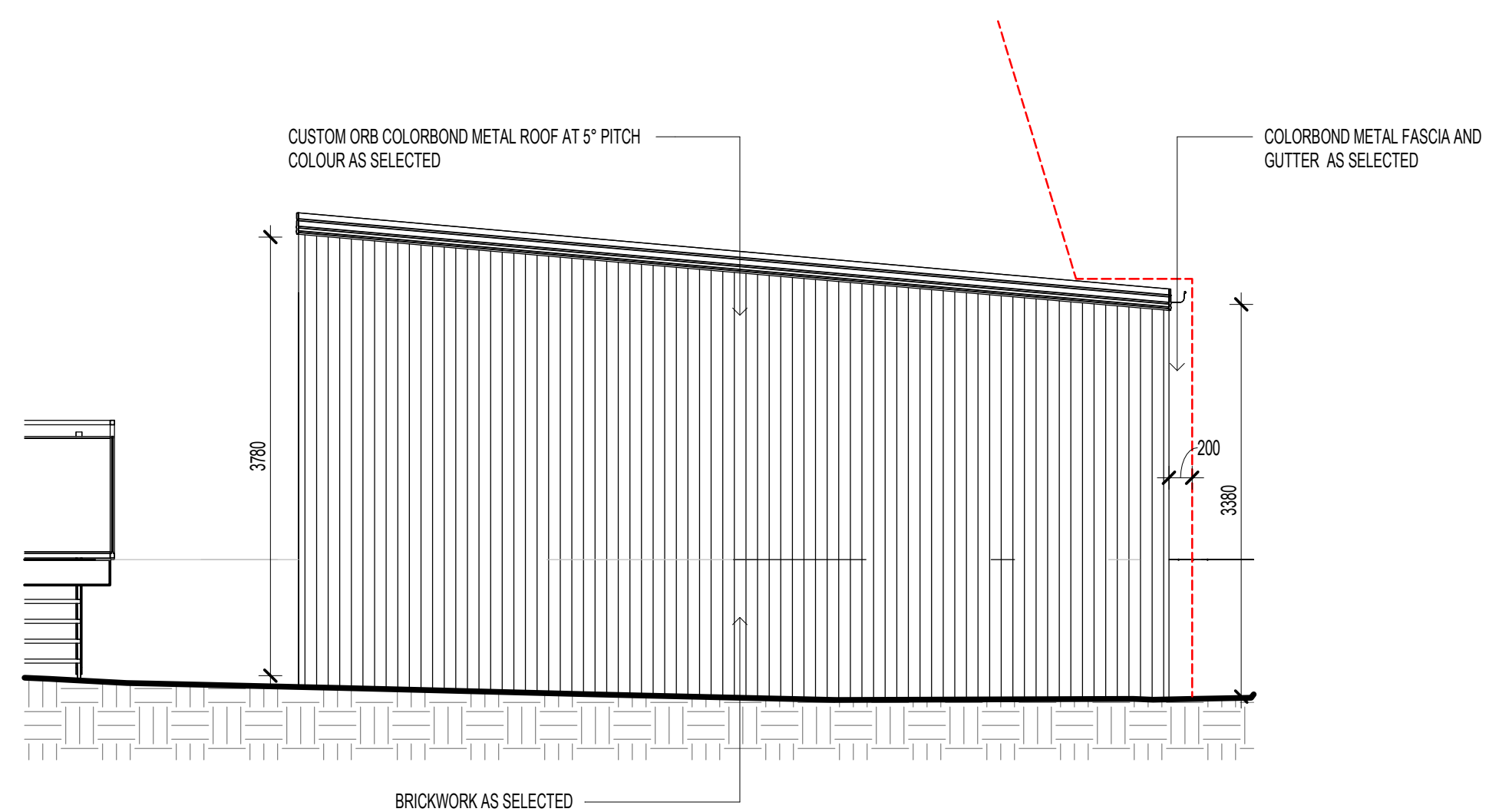
Elevation 3 - a  
Scale: 1 : 50



Elevation 1 - a  
Scale: 1 : 50



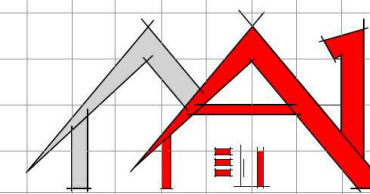
Elevation 2 - a  
Scale: 1 : 50



Elevation 4 - a  
Scale: 1 : 50

TOWNPLANNING ISSUE A

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A	SHED CONSTRUCTION & ROOF	8.2.24



**A1 BUILDING DESIGN  
AND DRAFTING**  
10 Dalmahoy Street, Bairnsdale Victoria 3875  
Mob.: 0438 560 215

Date:	DECEMBER 2023
A1 Scale:	1 : 50
Designed:	MUG
Drawn:	MEAGHAN GAMBLE DPAD2468
Plot Date:	8/02/2024 6:51:33 PM
Client Approval Signature:	
Date:	

Title:	PROPOSED SHED
Client:	Meg & Brett Campisi
Project:	Alterations & Additions to existing dwelling at 11 Devitt Street, Lakes Entrance 3909
Job No:	-
Revision:	A
Drawing No:	A12