

Form 2

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

<b>The land affected by the application is located at:</b>	<b>23 Alexandra Avenue KALIMNA 3909 Lot: 11 PS: 341430, Lot: A PS: 341430</b>
<b>The application is for a permit to:</b>	<b>Buildings and Works for a Verandah</b>
<b>The applicant for the permit is:</b>	<b>Magnitude Building Design</b>
<b>The application reference number is:</b>	<b>5.2024.112.1</b>

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to applicant giving notice</b>
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If you object, the Responsible Authority will tell you its decision.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958** Page 1 of 2

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VOLUME 10265 FOLIO 936

Security no : 124113960529N  
Produced 05/04/2024 04:03 PM

**LAND DESCRIPTION**

Lot 11 on Plan of Subdivision 341430V.  
PARENT TITLE Volume 09580 Folio 494  
Created by instrument PS341430V 16/04/1996

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE PS341430V FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 23 ALEXANDRA AVENUE KALIMNA VIC 3909

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 19085G ASHURST AUSTRALIA  
Effective from 21/04/2023

**OWNERS CORPORATIONS**

The land in this folio is affected by  
OWNERS CORPORATION PLAN NO. PS341430V



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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, history and culture. The Victorian Government extends this respect to their elders, past, present and emerging.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**

Page 2 of 2

DOCUMENT END

Printed 17/05/2024  
Page 3 of 39



# Department of Environment, Land, Water & Planning

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## Electronic Instrument Statement

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Status	Registered	Dealing Number	AW755123J
Date and Time Lodged	21/04/2023 02:16:19 PM		

### Lodger Details

Lodger Code	19085G
Name	ASHURST AUSTRALIA
Address	
Lodger Box	
Phone	
Email	
Reference	

## TRANSFER

Jurisdiction	VICTORIA
--------------	----------

### Privacy Collection Statement

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### Land Title Reference

8326/763  
8326/764  
8326/765  
8326/766  
8326/767  
8326/768  
10265/936  
11353/766

### Transferor(s)

Name	JD NO. 3 (LAKES ENTRANCE) PTY LTD
Name on Title	JD NO.3 (LAKES ENTRANCE) PTY LTD
Reason for Difference	Error in Register
Applicable Land Title(s)	8326/766 11353/766 8326/765 8326/768 8326/763 8326/764 10265/936 8326/767



# Department of Environment, Land, Water & Planning

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## Electronic Instrument Statement

ACN 122943408

**Estate and/or Interest being transferred**  
Fee Simple

**Consideration**  
\$AUD 1.00

### Transferee(s)

<b>Tenancy (inc. share)</b>	Sole Proprietor
Name	CALVARY AGED CARE SERVICES PTY LTD
ACN	110140157
Address	
Floor Type	LEVEL
Floor Number	12
Street Number	135
Street Name	KING
Street Type	STREET
Locality	SYDNEY
State	NSW
Postcode	2000

**Duty Transaction ID**  
5680787

The transferor transfers to the transferee their estate and/or interest in the land specified for the consideration, subject to any restrictive covenant set out or referred to in this transfer.

### Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferee or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CALVARY AGED CARE SERVICES PTY LTD
Signer Name	JOANNE PATRICIA BAYES
Signer Organisation	GILBERT + TOBIN
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	21 APRIL 2023



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4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	JD NO. 3 (LAKES ENTRANCE) PTY LTD
Signer Name	JOANNE PATRICIA BAYES
Signer Organisation	GILBERT + TOBIN
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	21 APRIL 2023

### File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



# Imaged Document Cover Sheet

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Document Type	<b>Plan</b>
Document Identification	<b>PS341430V</b>
Number of Pages (excluding this cover sheet)	<b>6</b>
Document Assembled	<b>05/04/2024 16:03</b>

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<b>PLAN OF SUBDIVISION</b>	STAGE No.	LTO USE ONLY <b>EDITION 2</b>	PLAN NUMBER <b>PS 341430V</b>
----------------------------	-----------	----------------------------------	----------------------------------

**LOCATION OF LAND**

**PARISH:** COLQUHOUN

**TOWNSHIP:** —

**SECTION:** —

**CROWN ALLOTMENT:** 30<sup>B</sup>(PART)

**CROWN PORTION:** —

**LTO BASE RECORD:** DCMB  
**TITLE REFERENCES:** VOL 9580 FOL 494

**LAST PLAN REFERENCE/S:** LP110024 LOT 28

**POSTAL ADDRESS:** 23 ALEXANDRA AVENUE,  
**(At time of subdivision)** LAKES ENTRANCE, 3909

**AMG Co-ordinates** (of approx centre of land in plan) E 584 570 N 5807 190 ZONE: 55

**COUNCIL CERTIFICATION AND ENDORSEMENT**

COUNCIL NAME: EAST GIPPSLAND SHIRE COUNCIL REF: 07/01010374

1. This plan is certified under Section 6 of the Subdivision Act 1988.

~~2. This plan is certified under Section 11(7) of the Subdivision Act 1988.~~  
~~Date of original certification under Section 6: / /~~

~~3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.~~

OPEN SPACE

(i) A requirement for public open space under Section 18 of the Subdivision Act 1988 ~~has/has not been made.~~

~~(ii) The requirement has been satisfied.~~

~~(iii) The requirement is to be satisfied at stage .....~~

Council Delegate  
Council Seal  
Date 27 / 6 / 95

~~Re-certified under Section 11(7) of the Subdivision Act 1988.~~

~~Council Delegate~~  
~~Council Seal~~  
~~Date / /~~

**VESTING OF ROADS AND/OR RESERVES**

IDENTIFIER	COUNCIL/BODY/PERSON
NIL	NIL

**NOTATIONS**

STAGING This is/is not a staged subdivision.  
Planning permit No. 6274

DEPTH LIMITATION DOES NOT APPLY

LOTS 1 TO 4 EACH CONSIST OF 2 PIECES

LOCATION OF BOUNDARIES DEFINED BY BUILDINGS:  
MEDIAN: BOUNDARIES BETWEEN LOTS  
EXTERIOR FACE: ALL OTHER BOUNDARIES

LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS  
FOR DETAILS OF ANY OWNERS CORPORATIONS INCLUDING PURPOSE, RESPONSIBILITY, ENTITLEMENT & LIABILITY SEE OWNERS CORPORATION SEARCH REPORT, OWNERS CORPORATION ADDITIONAL INFORMATION AND IF APPLICABLE, OWNERS CORPORATION RULES

SURVEY THIS PLAN IS/IS NOT BASED ON SURVEY  
THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s) 107 & 145 IN PROCLAIMED SURVEY AREA No.

**EASEMENT INFORMATION**

LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO THE LAND IN THIS PLAN

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E - 1	CARRIAGEWAY	4	THIS PLAN	C/T VOL 8326 FOL 767
E - 2	POWER LINE	2	THIS PLAN - SECTION 44 OF THE ELECTRICITY INDUSTRY ACT 1993	ELECTRICITY SERVICES VICTORIA
E - 3	SEWERAGE	2.50	THIS PLAN	EAST GIPPSLAND REGION WATER AUTHORITY

**LTO USE ONLY**

STATEMENT OF COMPLIANCE/  
EXEMPTION STATEMENT  
**FORM 17 FITTED**

RECEIVED

DATE 10 / 4 / 96

**THIS IS A LAND VICTORIA COMPILED PLAN**

FOR DETAILS SEE MODIFICATION TABLE HEREIN

SHEET 1 OF 5 SHEETS

**CROWTHER & SADLER PTY. LTD.**  
Licensed Surveyors and Town Planners  
152 Macleod Street, P.O. Box 722,  
BAIRNSDALE, 3875. Phone (051) 52 5011

LICENSED SURVEYOR (PRINT) MICHAEL JOSEPH SADLER

SIGNATURE ..... DATE 31 / 5 / 95

REF 7251 VERSION

DATE 27 / 6 / 95

COUNCIL DELEGATE SIGNATURE

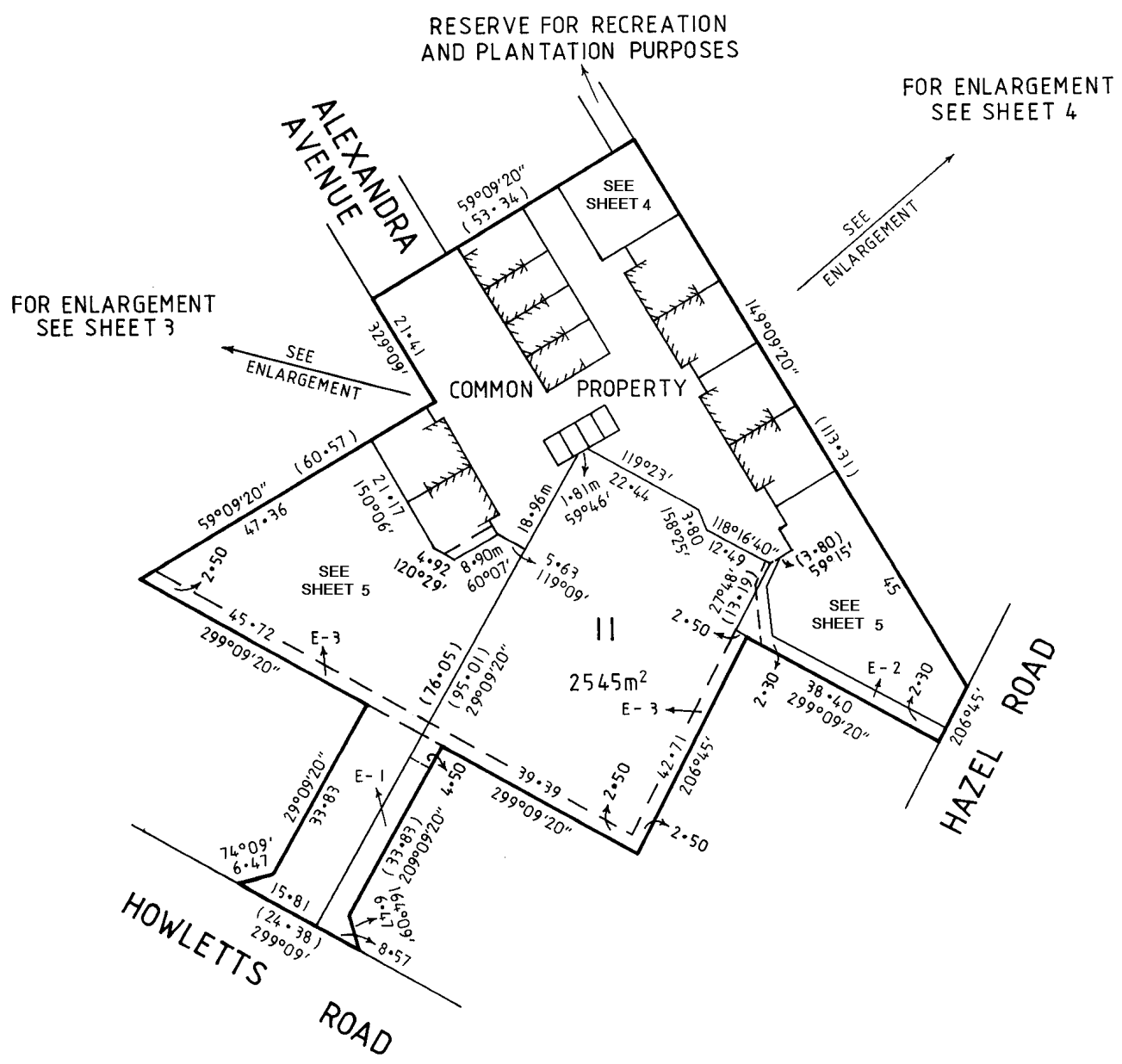
PRINTED SHEET SIZE

Printed 17/05/2024  
Page 8 of 39

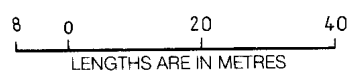


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# PLAN OF SUBDIVISION



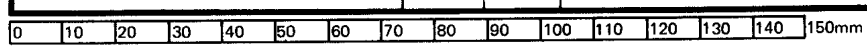
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ORIGINAL  
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 SIGNATURE ..... DATE 31 / 5 / 95  
 REF 7251 VERSION

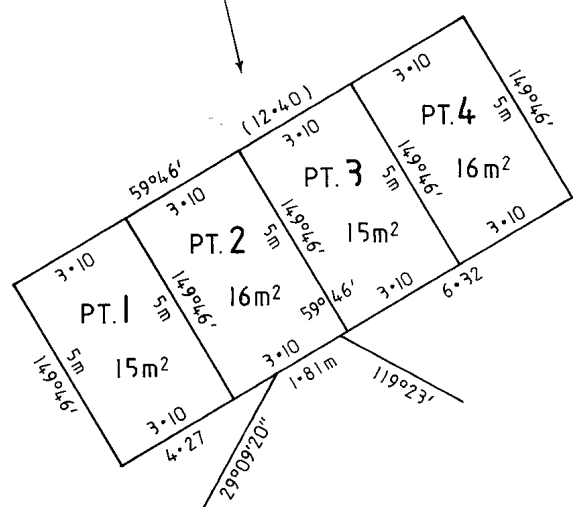
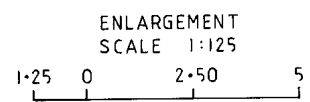
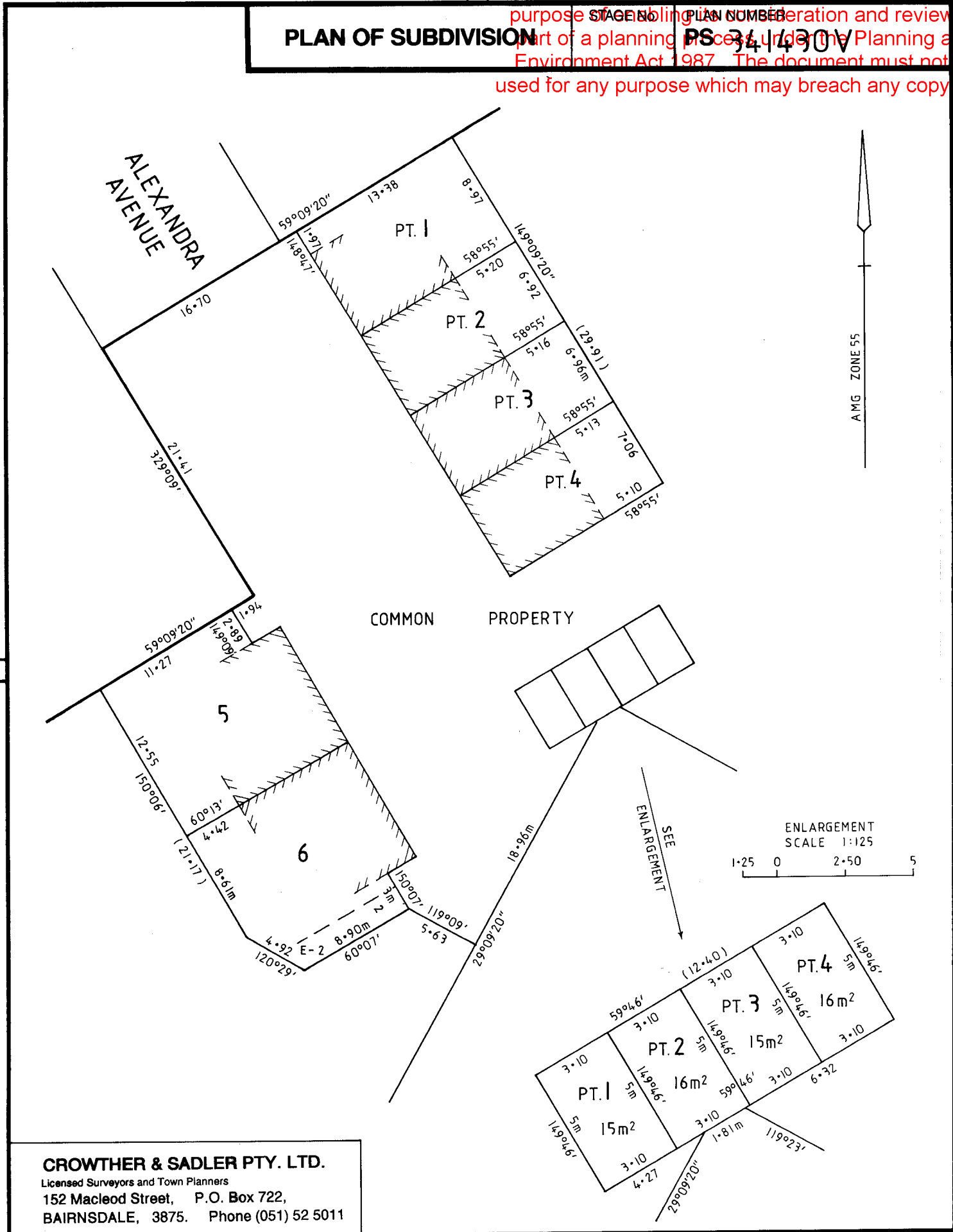
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# PLAN OF SUBDIVISION

STAGE NO. 1  
PLAN NUMBER PS 341430V



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 Licensed Surveyors and Town Planners  
 152 Macleod Street, P.O. Box 722,  
 BAIRNSDALE, 3875. Phone (051) 52 5011

 LENGTHS ARE IN METRES	ORIGINAL SCALE	LICENSED SURVEYOR (PRINT) MICHAEL JOSEPH SADLER	SHEET 3 OF 5 SHEETS
	1:250	SIGNATURE .....	DATE 31 / 5 / 95
	SHEET SIZE A3	REF 7251	VERSION
			DATE 27 / 6 / 95
			COUNCIL DELEGATE SIGNATURE

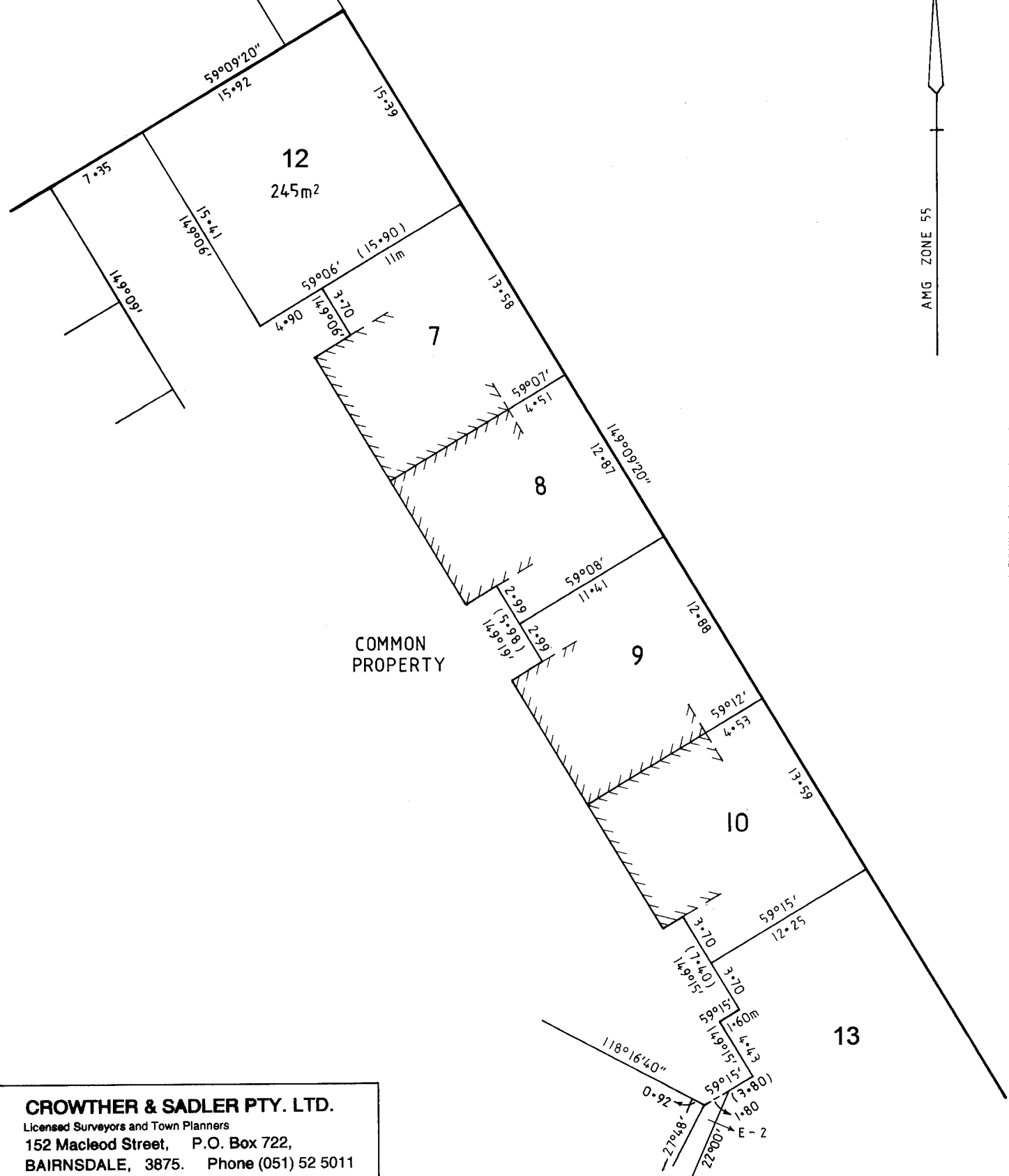
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# PLAN OF SUBDIVISION

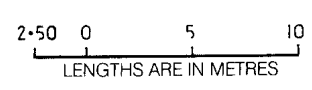
STAGE No. PLAN NUMBER  
**PS 341/30V**

RESERVE FOR RECREATION AND PLANTATION PURPOSES



COMMON PROPERTY

**CROWTHER & SADLER PTY. LTD.**  
 Licensed Surveyors and Town Planners  
 152 Macleod Street, P.O. Box 722,  
 BAIRNSDALE, 3875. Phone (051) 52 5011

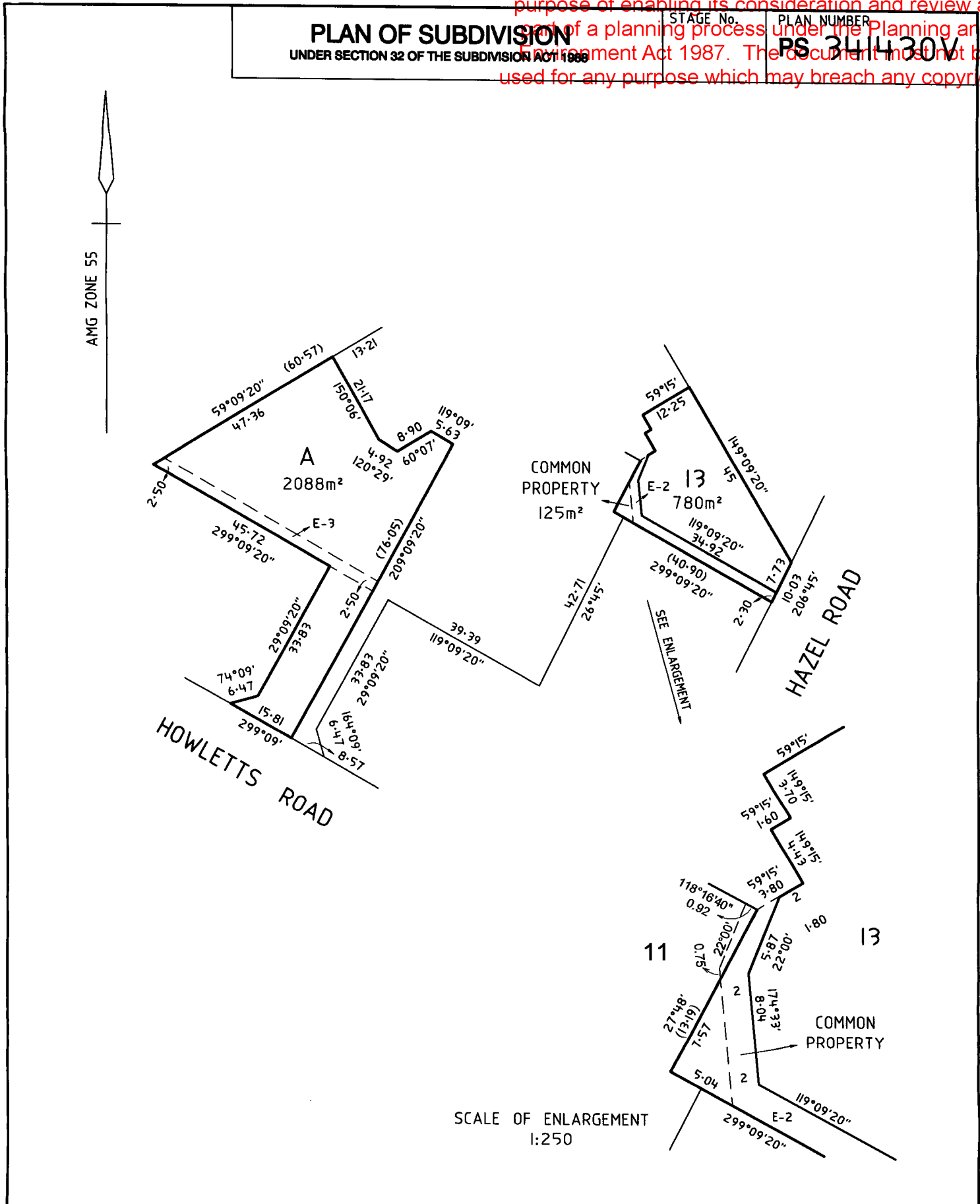


ORIGINAL  
 SCALE SHEET SIZE  
 1:250 A3

LICENSED SURVEYOR (PRINT) MICHAEL JOSEPH SADLER  
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 REF **7251** VERSION

SHEET 4 OF 5 SHEETS  
 DATE 27 / 6 / 95  
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**PLAN OF SUBDIVISION**  
 UNDER SECTION 32 OF THE SUBDIVISION ACT 1988

STAGE No. PLAN NUMBER  
**PS 34430V**

SCALE OF ENLARGEMENT  
 1:250

**Crowthorpe & Sadler** Pty. Ltd.  
 LICENSED SURVEYORS & TOWN PLANNERS  
 182 MACLEOD STREET, BAIRNSDALE, VIC., 3876  
 TELEPHONE (03) 5162 6011

ORIGINAL SHEET SIZE A3	SCALE 1:800	SCALE 8 0 8 16 24 32 LENGTHS ARE IN METRES
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LICENSED SURVEYOR: PAUL ANTHONY DWYER  
 SIGNATURE: *[Signature]* DATE: 8/3/2012  
 REF: 14942 VERSION: 2

SHEET 5 OF 5 SHEETS  
 Printed 17/05/2024  
 Page 12 of 39  
 DATE: 17/05/2024  
 COUNCIL DELEGATE SIGNATURE





# Department of Environment, Land, Water & Planning

## Owners Corporation Search Report

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Produced: 05/04/2024 04:03:03 PM

**OWNERS CORPORATION  
PLAN NO. PS341430V**

The land in PS341430V is affected by 1 Owners Corporation(s)

### Land Affected by Owners Corporation:

Common Property, Lots 1 - 13, A.

### Limitations on Owners Corporation:

Unlimited

### Postal Address for Services of Notices:

OCV MANAGEMENT PTY LTD UNIT 6 85 BARDIA AVENUE SEAFORD VIC 3198

AX281909Y 11/10/2023

### Owners Corporation Manager:

NIL

### Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

### Owners Corporation Rules:

NIL

### Additional Owners Corporation Information:

NIL

### Notations:

NIL

### Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property	0	0
Lot 1	5	5
Lot 2	5	5
Lot 3	5	5
Lot 4	5	5
Lot 5	5	5
Lot 6	5	5



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**OWNERS CORPORATION  
PLAN NO. PS341430V**

### Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 7	5	5
Lot 8	5	5
Lot 9	5	5
Lot 10	5	5
Lot 11	95	95
Lot 12	5	5
Lot 13	10	10
Lot A	40	40
<b>Total</b>	<b>200.00</b>	<b>200.00</b>

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.

Statement End.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958** Page 1 of 2

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VOLUME 11353 FOLIO 766

Security no : 124113960436P  
Produced 05/04/2024 04:01 PM

**LAND DESCRIPTION**

Lot A on Plan of Subdivision 341430V.  
PARENT TITLE Volume 10265 Folio 937  
Created by instrument PS341430V Stage 2 22/05/2012

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
CALVARY AGED CARE SERVICES PTY LTD of LEVEL 12 135 KING STREET SYDNEY NSW  
2000  
AW755123J 21/04/2023

**ENCUMBRANCES, CAVEATS AND NOTICES**

MORTGAGE AW755124G 21/04/2023  
ANZ FIDUCIARY SERVICES PTY LTD

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**DIAGRAM LOCATION**

SEE PS341430V FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 23 ALEXANDRA AVENUE KALIMNA VIC 3909

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 19085G ASHURST AUSTRALIA  
Effective from 21/04/2023

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**

Page 2 of 2

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Printed 17/05/2024  
Page 17 of 39



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Produced 05/04/2024 04:01:32 PM

Status	Registered	Dealing Number	AW755123J
Date and Time Lodged	21/04/2023 02:16:19 PM		

### Lodger Details

Lodger Code	19085G
Name	ASHURST AUSTRALIA
Address	
Lodger Box	
Phone	
Email	
Reference	

## TRANSFER

Jurisdiction	VICTORIA
--------------	----------

### Privacy Collection Statement

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8326/763  
8326/764  
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10265/936  
11353/766

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Name	JD NO. 3 (LAKES ENTRANCE) PTY LTD
Name on Title	JD NO.3 (LAKES ENTRANCE) PTY LTD
Reason for Difference	Error in Register
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ACN 122943408

**Estate and/or Interest being transferred**  
Fee Simple

**Consideration**  
\$AUD 1.00

### Transferee(s)

<b>Tenancy (inc. share)</b>	Sole Proprietor
Name	CALVARY AGED CARE SERVICES PTY LTD
ACN	110140157
Address	
Floor Type	LEVEL
Floor Number	12
Street Number	135
Street Name	KING
Street Type	STREET
Locality	SYDNEY
State	NSW
Postcode	2000

**Duty Transaction ID**  
5680787

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4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	CALVARY AGED CARE SERVICES PTY LTD
Signer Name	JOANNE PATRICIA BAYES
Signer Organisation	GILBERT + TOBIN
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	21 APRIL 2023



# Department of Environment, Land, Water & Planning

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## Electronic Instrument Statement

### Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferor or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	JD NO. 3 (LAKES ENTRANCE) PTY LTD
Signer Name	JOANNE PATRICIA BAYES
Signer Organisation	GILBERT + TOBIN
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	21 APRIL 2023

### File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



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Document Type	<b>Plan</b>
Document Identification	<b>PS341430V</b>
Number of Pages (excluding this cover sheet)	<b>6</b>
Document Assembled	<b>05/04/2024 16:01</b>

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<b>PLAN OF SUBDIVISION</b>		STAGE No. <b>2</b>	LTO USE ONLY <b>EDITION 2</b>	PLAN NUMBER <b>PS 341430V</b>
<b>LOCATION OF LAND</b> PARISH: COLQUHOUN TOWNSHIP: — SECTION: — CROWN ALLOTMENT: 30 <sup>B</sup> (PART) CROWN PORTION: — LTO BASE RECORD: DCMB TITLE REFERENCES: VOL 9580 FOL 494 LAST PLAN REFERENCE/S: LP110024 LOT 28 POSTAL ADDRESS: 23 ALEXANDRA AVENUE, (At time of subdivision) LAKES ENTRANCE, 3909 AMG Co-ordinates (of approx centre of land in plan) E 584 570 N 5807 190 ZONE: 55		<b>COUNCIL CERTIFICATION AND ENDORSEMENT</b> COUNCIL NAME: EAST GIPPSLAND SHIRE COUNCIL REF: 01010374 1. This plan is certified under Section 6 of the Subdivision Act 1988. <del>2. This plan is certified under Section 11(7) of the Subdivision Act 1988.</del> <del>Date of original certification under Section 6: / /</del> <del>3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.</del> OPEN SPACE (i) A requirement for public open space under Section 18 of the Subdivision Act 1988 <del>has/has not been made.</del> <del>(ii) The requirement has been satisfied.</del> <del>(iii) The requirement is to be satisfied at stage .....</del> Council Delegate Council Seal Date 27 / 6 / 95 <del>Re-certified under Section 11(7) of the Subdivision Act 1988.</del> <del>Council Delegate</del> <del>Council Seal</del> <del>Date / /</del>		
<b>VESTING OF ROADS AND/OR RESERVES</b>		<b>NOTATIONS</b>		
IDENTIFIER	COUNCIL/BODY/PERSON	STAGING This is/is not a staged subdivision. Planning permit No. 6274 DEPTH LIMITATION DOES NOT APPLY LOTS 1 TO 4 EACH CONSIST OF 2 PIECES LOCATION OF BOUNDARIES DEFINED BY BUILDINGS: MEDIAN: BOUNDARIES BETWEEN LOTS EXTERIOR FACE: ALL OTHER BOUNDARIES LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS FOR DETAILS OF ANY OWNERS CORPORATIONS INCLUDING PURPOSE, RESPONSIBILITY, ENTITLEMENT & LIABILITY SEE OWNERS CORPORATION SEARCH REPORT, OWNERS CORPORATION ADDITIONAL INFORMATION AND IF APPLICABLE, OWNERS CORPORATION RULES SURVEY THIS PLAN IS/IS NOT BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s) 107 & 145 IN PROCLAIMED SURVEY AREA No.		
NIL	NIL			
<b>EASEMENT INFORMATION</b>		<b>LTO USE ONLY</b>		
LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)		STATEMENT OF COMPLIANCE/ EXEMPTION STATEMENT <b>FORM 17 FITTED</b>		
SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO THE LAND IN THIS PLAN		RECEIVED <input checked="" type="checkbox"/>		
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E - 1	CARRIAGEWAY	4	THIS PLAN	C/T VOL 8326 FOL 767
E - 2	POWER LINE	2	THIS PLAN - SECTION 44 OF THE ELECTRICITY INDUSTRY ACT 1993	ELECTRICITY SERVICES VICTORIA
E - 3	SEWERAGE	2.50	THIS PLAN	EAST GIPPSLAND REGION WATER AUTHORITY
<b>CROWTHER &amp; SADLER PTY. LTD.</b> Licensed Surveyors and Town Planners 152 Macleod Street, P.O. Box 722, BAIRNSDALE, 3875. Phone (051) 52 5011		LICENSED SURVEYOR (PRINT) MICHAEL JOSEPH SADLER SIGNATURE ..... DATE 31 / 5 / 95 REF 7251 VERSION		DATE 27 / 6 / 95 COUNCIL DELEGATE SIGNATURE O.....

APPLIES TO MASTER PLAN (STAGE 2) ONLY

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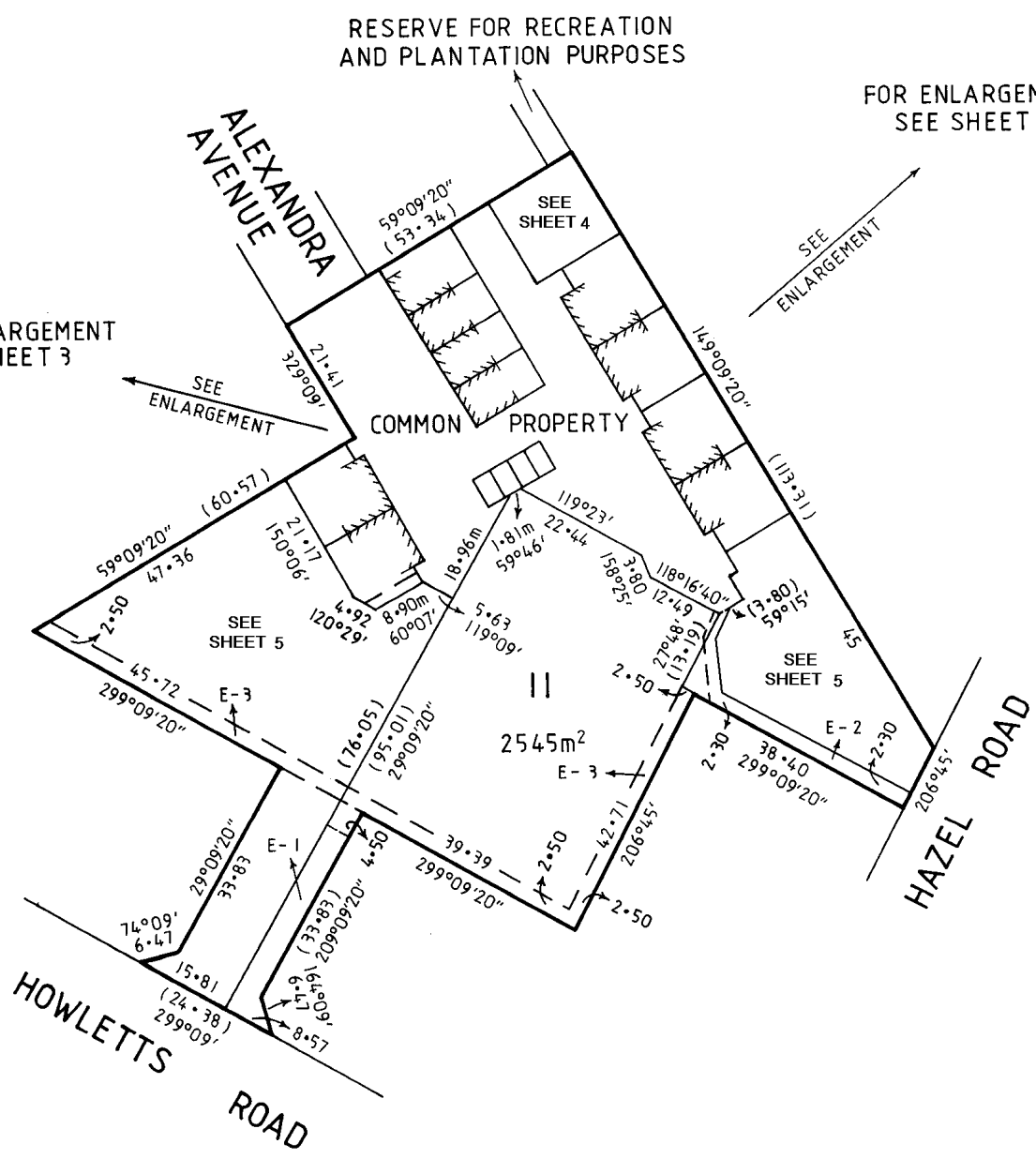
# PLAN OF SUBDIVISION



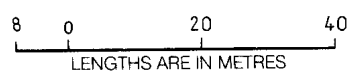
RESERVE FOR RECREATION AND PLANTATION PURPOSES

FOR ENLARGEMENT SEE SHEET 4

FOR ENLARGEMENT SEE SHEET 3



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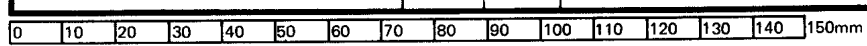


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SHEET 2 OF 5 SHEETS

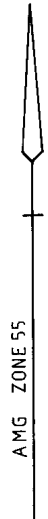
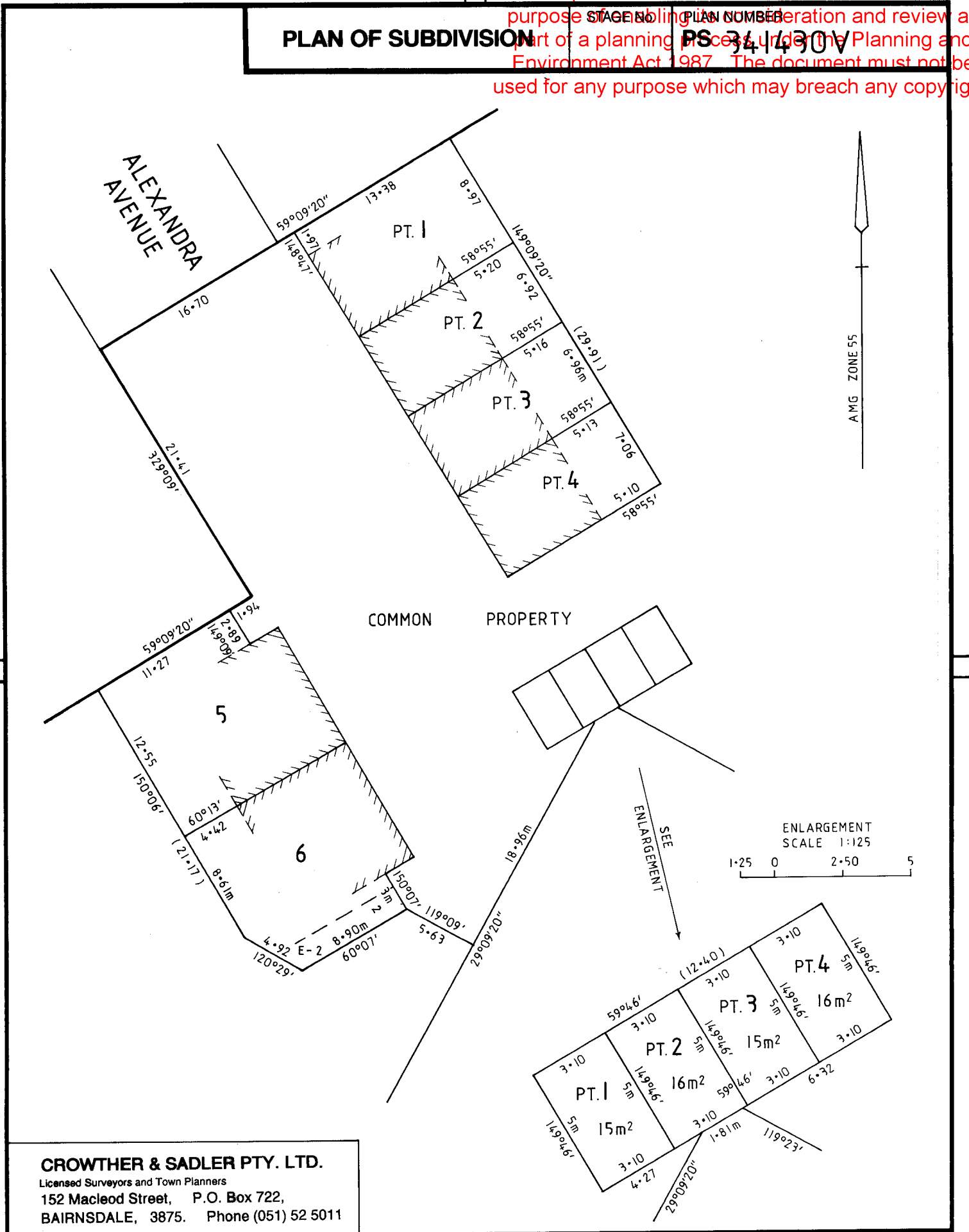
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# PLAN OF SUBDIVISION

STAGENO. PLAN NUMBER  
**PS 341430V**



ENLARGEMENT SCALE 1:125

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2.50 0 5 10  
 LENGTHS ARE IN METRES

ORIGINAL SCALE SHEET SIZE  
 1:250 A3

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SHEET 3 OF 5 SHEETS  
 DATE 27 / 6 / 95  
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0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150mm



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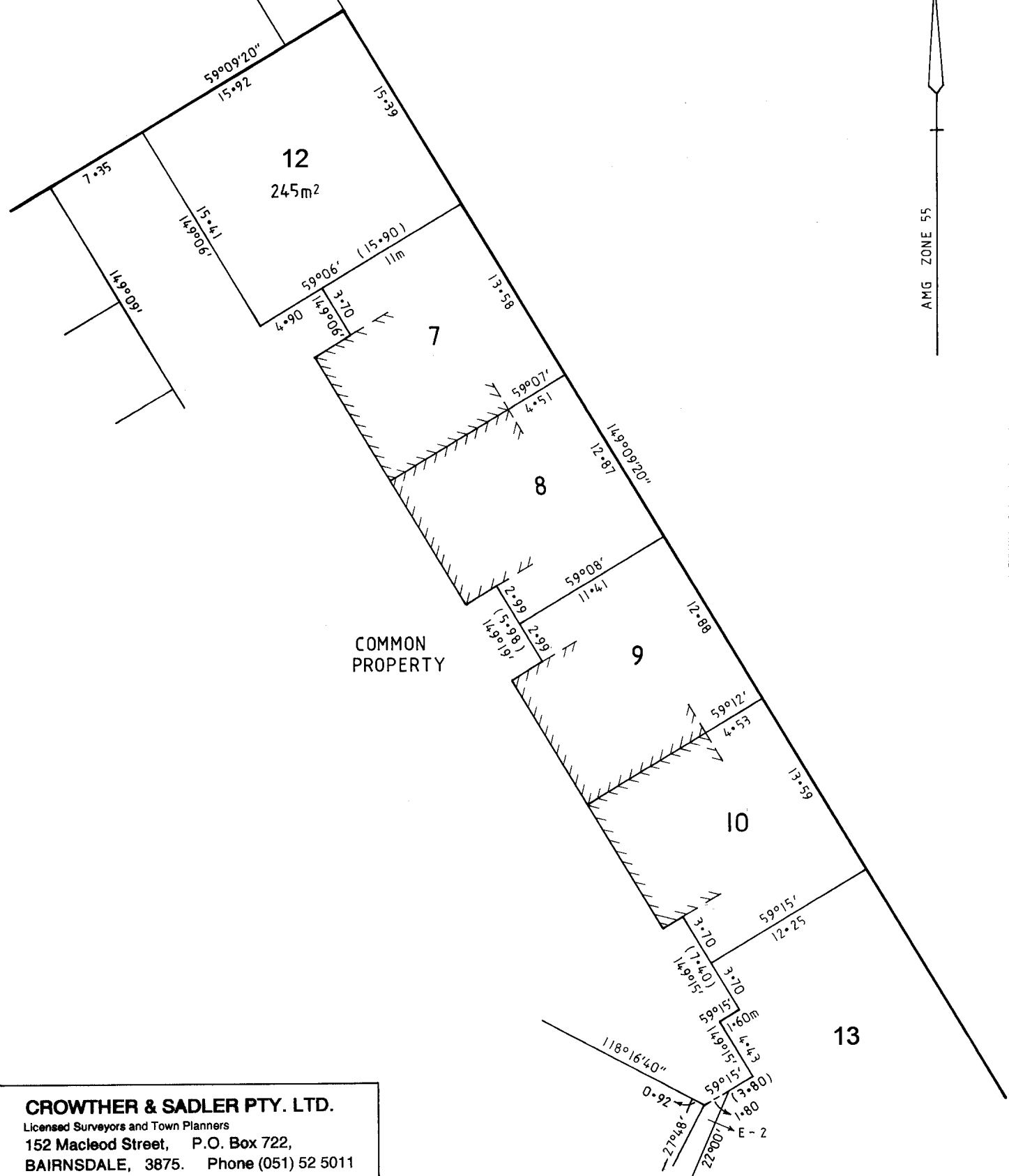
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STAGE No.

PLAN NUMBER

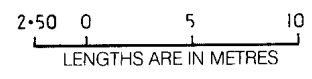
PS 341/30V

RESERVE FOR RECREATION AND PLANTATION PURPOSES



COMMON PROPERTY

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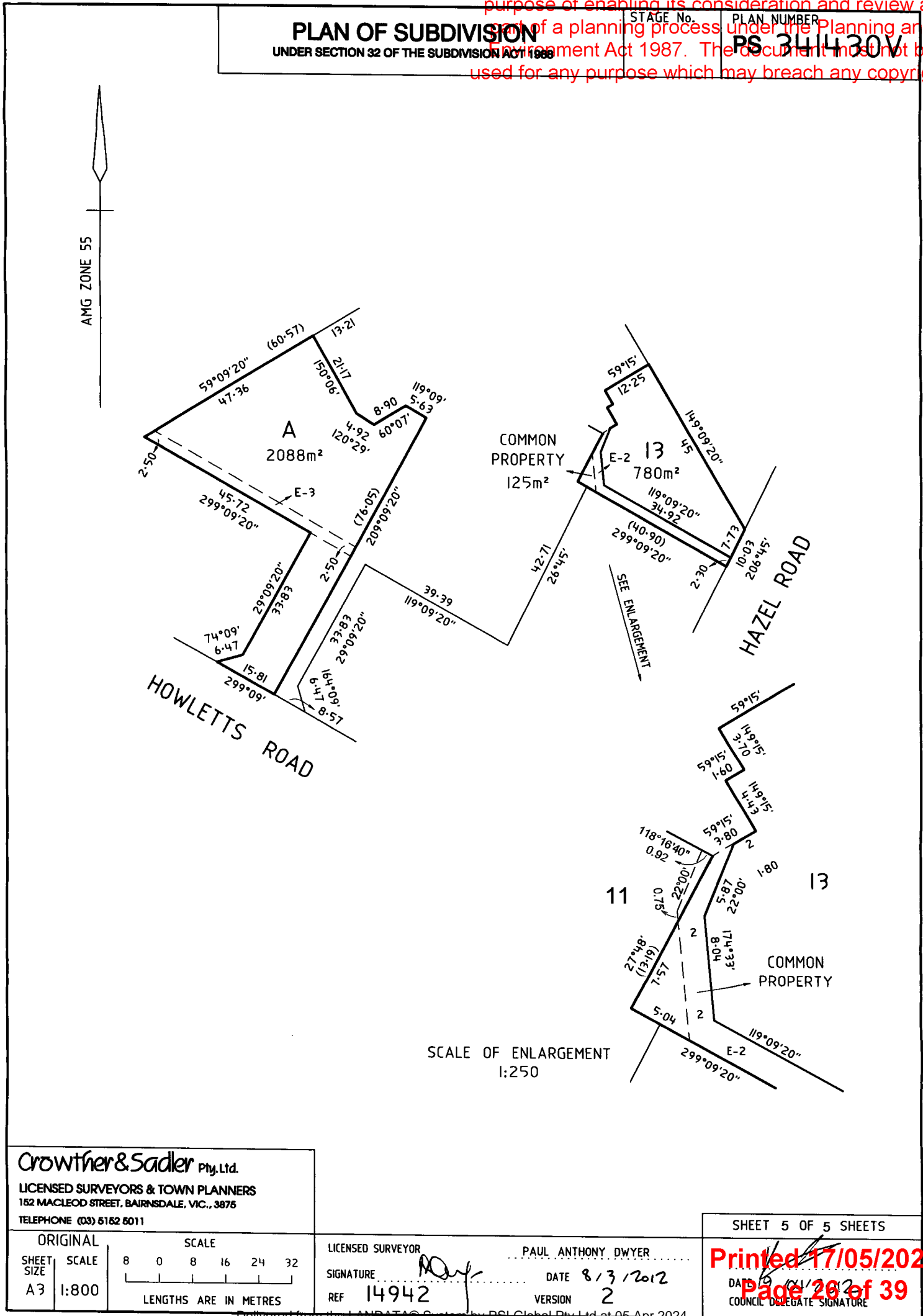


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LICENSED SURVEYOR (PRINT) MICHAEL JOSEPH SADLER  
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SHEET 4 OF 5 SHEETS  
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# Department of Environment, Land, Water & Planning

## Owners Corporation Search Report

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**OWNERS CORPORATION  
PLAN NO. PS341430V**

The land in PS341430V is affected by 1 Owners Corporation(s)

### Land Affected by Owners Corporation:

Common Property, Lots 1 - 13, A.

### Limitations on Owners Corporation:

Unlimited

### Postal Address for Services of Notices:

OCV MANAGEMENT PTY LTD UNIT 6 85 BARDIA AVENUE SEAFORD VIC 3198

AX281909Y 11/10/2023

### Owners Corporation Manager:

NIL

### Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

### Owners Corporation Rules:

NIL

### Additional Owners Corporation Information:

NIL

### Notations:

NIL

### Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property	0	0
Lot 1	5	5
Lot 2	5	5
Lot 3	5	5
Lot 4	5	5
Lot 5	5	5
Lot 6	5	5



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## Owners Corporation Search Report

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**OWNERS CORPORATION  
PLAN NO. PS341430V**

### Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Lot 7	5	5
Lot 8	5	5
Lot 9	5	5
Lot 10	5	5
Lot 11	95	95
Lot 12	5	5
Lot 13	10	10
Lot A	40	40
<b>Total</b>	<b>200.00</b>	<b>200.00</b>

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.



Statement End.

# PROPOSED VERANDAH

23 ALEXANDRA AVENUE, LAKES ENTRANCE VIC 3909  
 CALVARY LAKES ENTRANCE AGE CARE

## Sheet Index

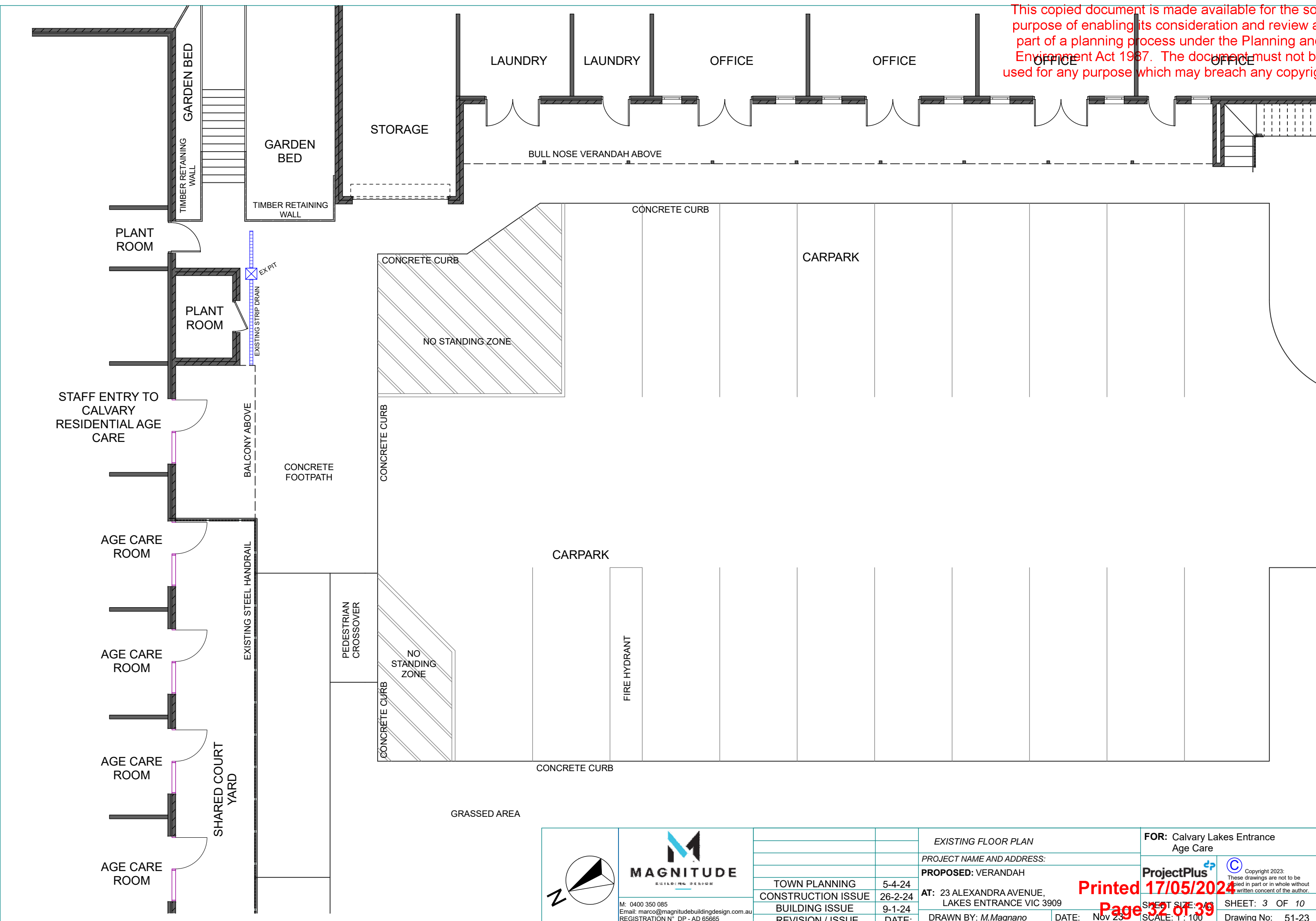
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01	COVER PAGE
02	GENERAL NOTES
03	EXISTING FLOOR PLAN
04	SITE & ROOF PLAN
05	ROOF PLAN
06	PROPOSED FLOOR PLAN
07	ELEVATIONS
08	SECTION A
09	SECTION B
10	SECTION C

 <p>M: 0400 350 085                  Email: marco@magnitudebuildingdesign.com.au                  REGISTRATION N° DP - AD 65665</p>			COVER PAGE	FOR: Calvary Lakes Entrance Age Care
			PROJECT NAME AND ADDRESS:	 <p>Copyright 2023:                  These drawings are not to be copied in part or in whole without the written consent of the author.</p>
			PROPOSED: VERANDAH	
			AT: 23 ALEXANDRA AVENUE, LAKES ENTRANCE VIC 3909	DRAWN BY: <i>M. Magnano</i> DATE: Nov 23
	TOWN PLANNING 5-4-24	CONSTRUCTION ISSUE 26-2-24	BUILDING ISSUE 9-1-24	REVISION / ISSUE DATE:
				SHEET: 1 OF 10 Drawing No: 51-23

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 Page 30 of 39

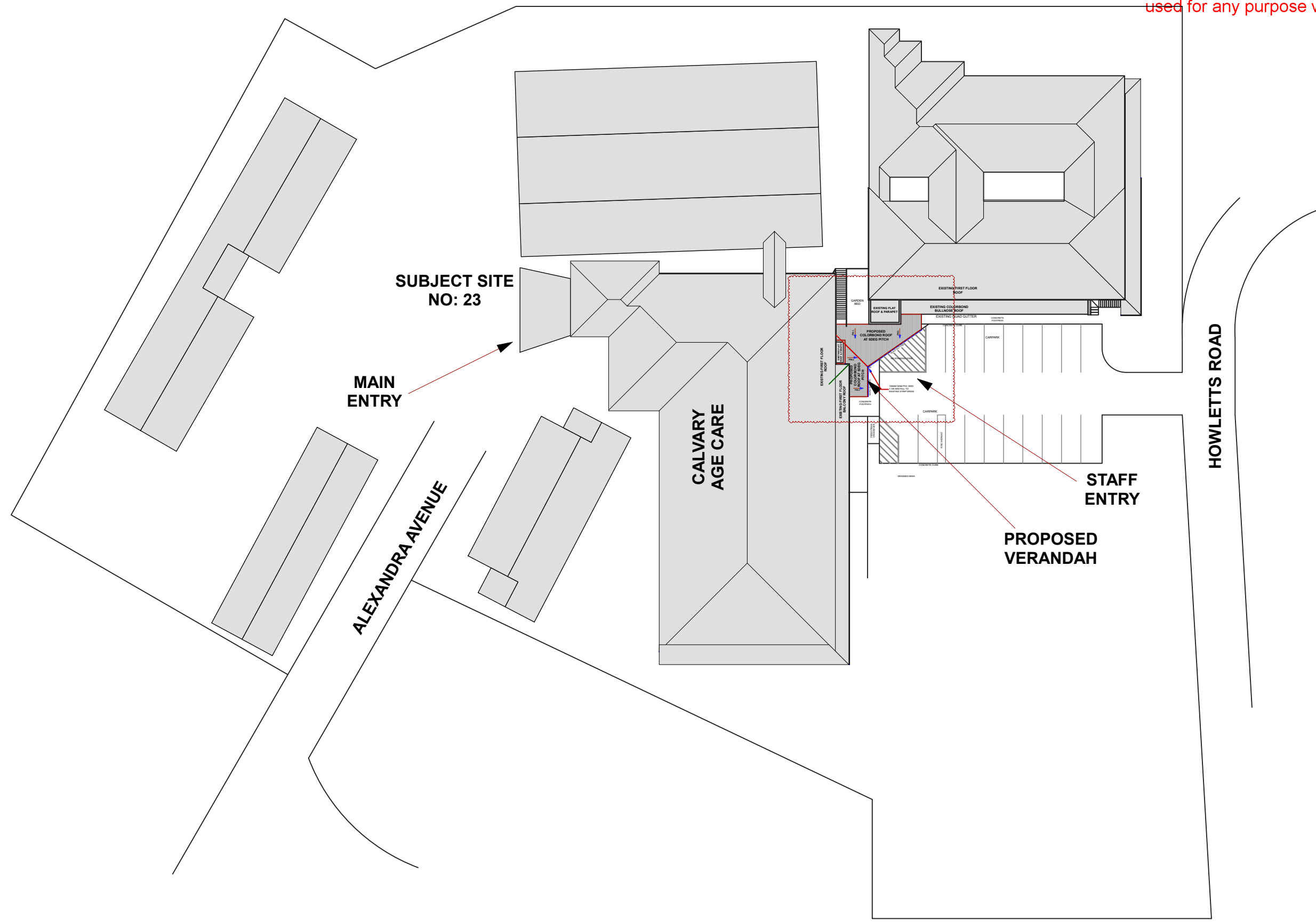


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	<p>M: 0400 350 085 Email: marco@magnitutedesign.com.au REGISTRATION N° DP - AD 65665</p>	EXISTING FLOOR PLAN	FOR: Calvary Lakes Entrance Age Care
		<p>TOWN PLANNING 5-4-24</p> <p>CONSTRUCTION ISSUE 26-2-24</p> <p>BUILDING ISSUE 9-1-24</p> <p>REVISION / ISSUE DATE:</p>	<p>PROJECT NAME AND ADDRESS:</p> <p>PROPOSED: VERANDAH</p> <p>AT: 23 ALEXANDRA AVENUE, LAKES ENTRANCE VIC 3909</p> <p>DRAWN BY: M. Magnano DATE: Nov 23</p>
<p>GRASSED AREA</p>		<p>Printed 17/05/2024</p> <p>Page 32 of 39</p>	
		<p>SHEET SIZE: 1100x840</p> <p>SCALE: 1 : 100</p>	<p>ProjectPlus</p> <p>Copyright 2023: These drawings are not to be copied in part or in whole without the written consent of the author.</p> <p>SHEET: 3 OF 10</p> <p>Drawing No: 51-23</p>

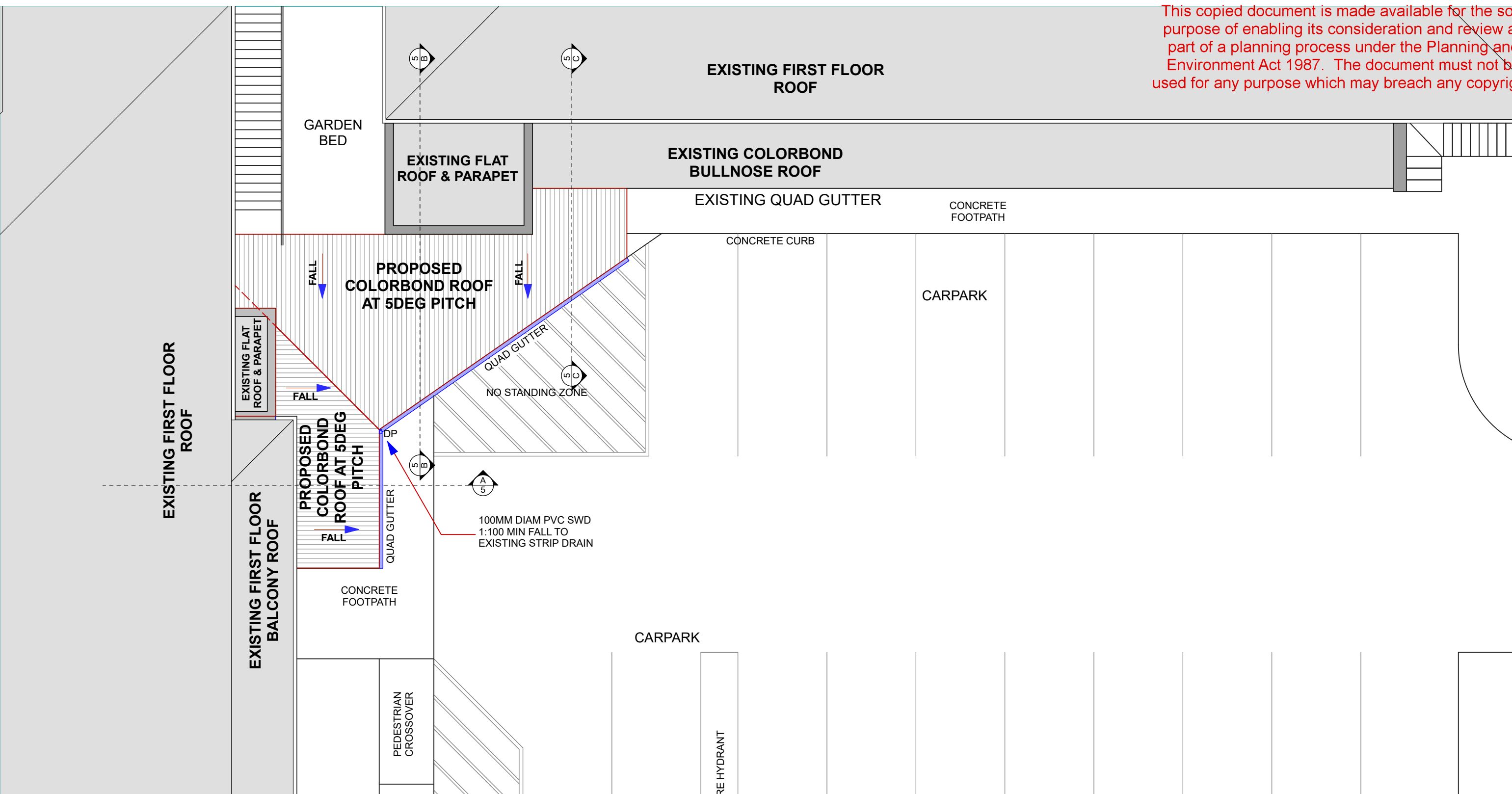




				SITE & ROOF PLAN	FOR: Calvary Lakes Entrance Age Care
				PROJECT NAME AND ADDRESS:	 Copyright 2023: These drawings are not to be copied in part or in whole without the written consent of the author.
				PROPOSED: VERANDAH	
		TOWN PLANNING	5-4-24	AT: 23 ALEXANDRA AVENUE, LAKES ENTRANCE VIC 3909	
CONSTRUCTION ISSUE	26-2-24	DRAWN BY: M. Magnano		DATE: Nov 23	
BUILDING ISSUE	9-1-24	DATE: Nov 23		SCALE: 1 : 100	
REVISION / ISSUE	DATE:				

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**SITE NOTES**

SOIL REPORT REFER TO:  
 SOIL REPORT REF No:  
 FOR: LOCATION OF CONTOUR INTERVALS, BOUNDARIES, FENCES, SURFACE PITS, VALVE COVERS ECT. Refer to Plan Of Survey.  
 PLAN OF SURVEY: -  
 LEVELS ARE TO: **ARBITRARY DATUM**

NO DIRECT KNOWLEDGE IS CLAIMED OF THE LOCATION OF UNDERGROUND SERVICES.  
 PRIOR TO ANY EXCAVATION OR CONSTRUCTION, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO LOCATE POSSIBLE UNDERGROUND SERVICES.  
 GROUND MUST BE GRADED AWAY FROM EXTERNAL WALLS AND SURFACE WATER PROPERLY DRAINED BY MEANS OF SURFACE/CUT-OFF DRAINS CONNECTED INTO SWD VIA SILT PITS  
 BLOCK BEARINGS MUST BE CONFIRMED PRIOR TO CONSTRUCTION.  
 ENSURE THAT ALL PRECAUTIONS ARE TAKEN TO PROTECT ADJOINING PROPERTY / PUBLIC DURING EXCAVATION / CONSTRUCTION / DEMOLITION OWNERS OF ADJOINING PROPERTY MUST BE CONSULTED PRIOR TO REMOVING / ALTERING SHARED FENCING  
 NO PART OF THE PROPOSED STRUCTURE OR FOOTING IS TO ENCROACH THE TITLE BOUNDARIES  
 F.F.L. TO BE CONFIRMED ON SITE BY BUILDING SUPERVISOR AFTER COMPLETION OF SITE WORKS.

**DRAINAGE NOTES:**

CONNECT STORMWATER TO LEGAL POINT OF DISCHARGE AS DIRECTED BY LOCAL COUNCIL & AS PER APPROVED DRAINAGE PLAN.

SITE TO BE DRAINED TO THE SATISFACTION OF THE BUILDING SURVEYOR AND COMPLY WITH (H202 OF THE NCC 2022 & COMPLIES WITH PART 3.3 OF THE ABCB HOUSING PROVISIONS 'Drainage' and AS3500 'National Plumbing And Drainage Code.')

CONNECT 100mm PVC STORMWATER DRAIN AT 1:100 MIN. FALL, WITH INSPECTION OPENINGS AT 9M MAX. CTRS. AND AT CHANGE OF DIRECTION UNLESS NOTED OTHERWISE.

DOWNPIPE LAYOUT MAY VARY ON SITE SHOULD THE RELEVANT BUILDING SURVEYOR/COUNCIL REQUIRE IT.

DP:  100x75mm DOWN PIPE    EDP:  EXISTING DOWNPIPE

DPS:  100x75mm DOWN PIPE WITH SPREADER

RWH:  RAIN WATER HEAD

RHS:  RAIN WATER HEAD WITH SPREADER

SP:  SUMP

IO:  INSPECTION OPENING

CUT TOE SPOON DRAIN @ Min FALL

GRADE SURFACE AWAY FROM HOUSE FOOTINGS Min FALL 1:20

GRATED INLET PIT/SILT TRAP CONNECTED TO STORMWATER SYSTEM DIRECTED TO LEGAL POINT OF DISCHARGE.

PROVIDE AGRICULTURAL DRAIN OR SIMILAR AT BASE OF CUT GRADED TO SILT TRAP AT 1:100 Min. DRAINS SHALL BE PROTECTED BY GRAVEL FILTERS.

DOWNPIPES TO BE PROVIDE AT MAX. 12M CENTRES

TEMPORARY DOWNPIPES TO BE INSTALED AS SOON AS ROOF COVER IS COMPLETED AND CONNECTED TO STORMWATER SYSTEM.

PROVIDE A.G. DRAINS WHERE REQUIRED & CONNECT TO S/WATER DRAIN VIA SILT PIT.

CONNECT SEWERAGE AS PER RELEVANT AUTHORITY APPROVAL AND TO APPROVED DISCHARGE POINT. FINAL SEWER PIPE LAYOUT MAY BE ALTERED IF REQUIRED BY RELEVANT SEWER AUTHORITY.

PROVIDE 100mm DIA. UPVC SEWER PIPE.

LOCATION OF SECOND EXTERNAL TAP TO BE DETERMINED BY POSITION OF OVERFLOW RELIEF GULLY.

CUT / FIL PROPOSALS & FINISHED FLOOR LEVELS ON THIS SITE PLAN TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY THE BUILDER / OR SUB-CONTRACTORS.

DOWNPIPE LAYOUT MAY VARY ON SITE SHOULD THE RELEVANT BUILDING SURVEYOR / COUNCIL REQUIRE IT

**-NOTE-**  
 TEMPORARY DOWNPIPES TO BE USED DURING CONSTRUCTION

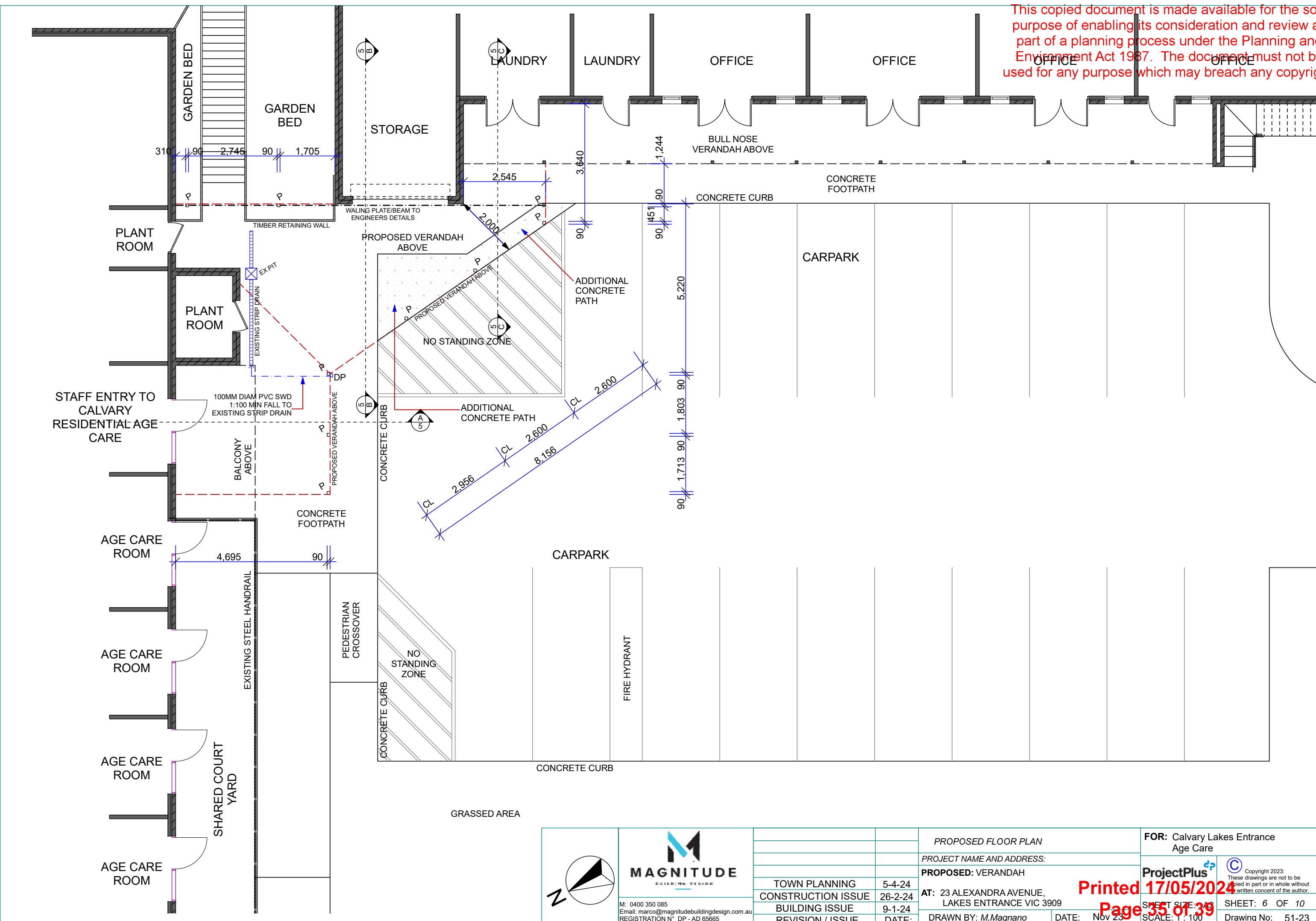
**LEGAL POINT OF DISCHARGE**  
 NEW DOWNPIPES ARE TO BE CONNECTED TO EXISTING DOWNPIPES, ONLY IF EXISTING DOWNPIPES ARE CONNECTED TO THE LEGAL POINT OF DISCHARGE

		TOWN PLANNING 5-4-24	
		CONSTRUCTION ISSUE 26-2-24	
		BUILDING ISSUE 9-1-24	
		REVISION / ISSUE DATE:	
		M: 0400 350 085 Email: marco@magnitudebuildingdesign.com.au REGISTRATION N° DP - AD 65665	

PROJECT NAME AND ADDRESS: <b>PROPOSED: VERANDAH</b>		FOR: Calvary Lakes Entrance Age Care	
AT: 23 ALEXANDRA AVENUE, LAKES ENTRANCE VIC 3909		SHEET SIZE: 1:100 SHEET: 5 OF 10 Drawing No: 51-23	
DRAWN BY: M. Magnano		DATE: Nov 23	

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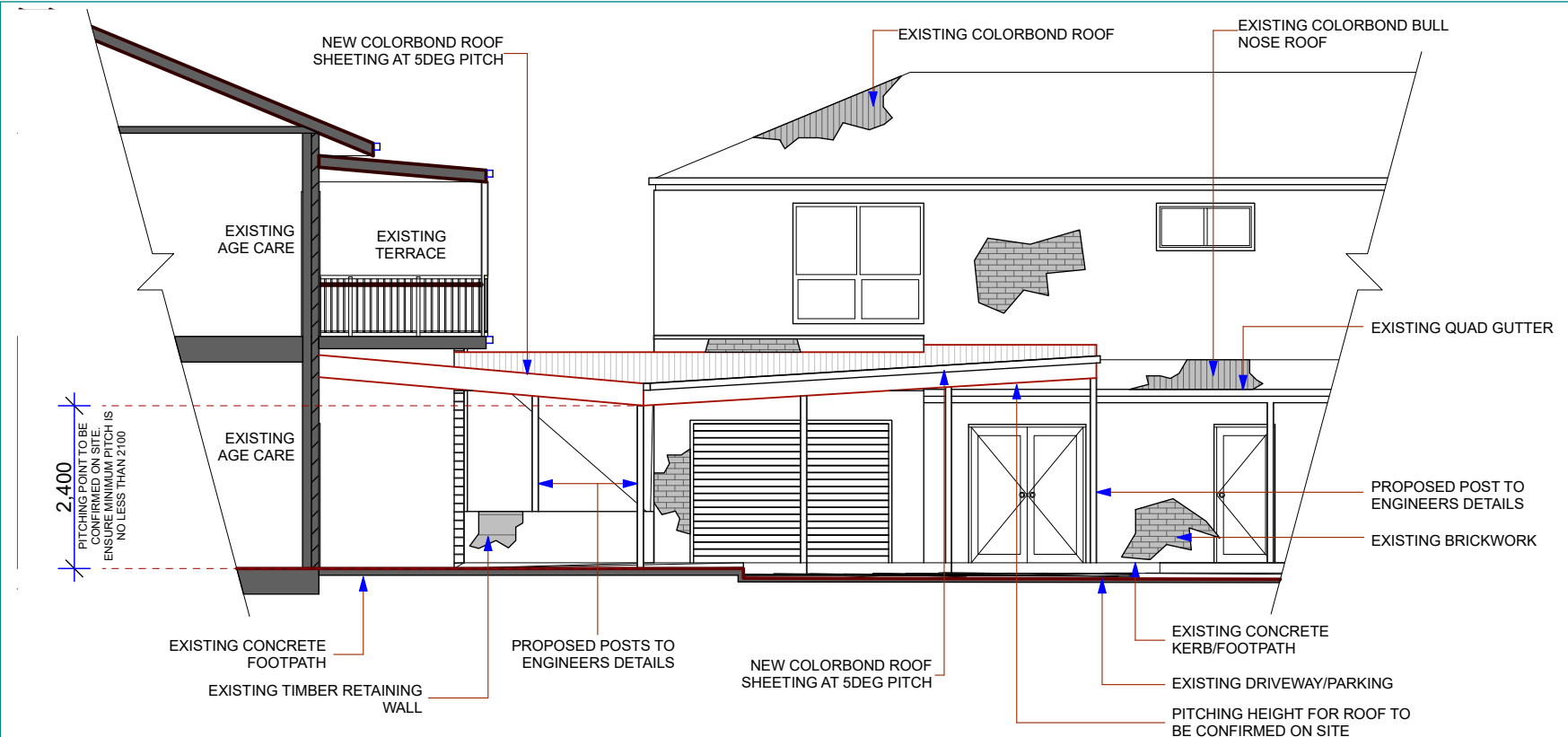
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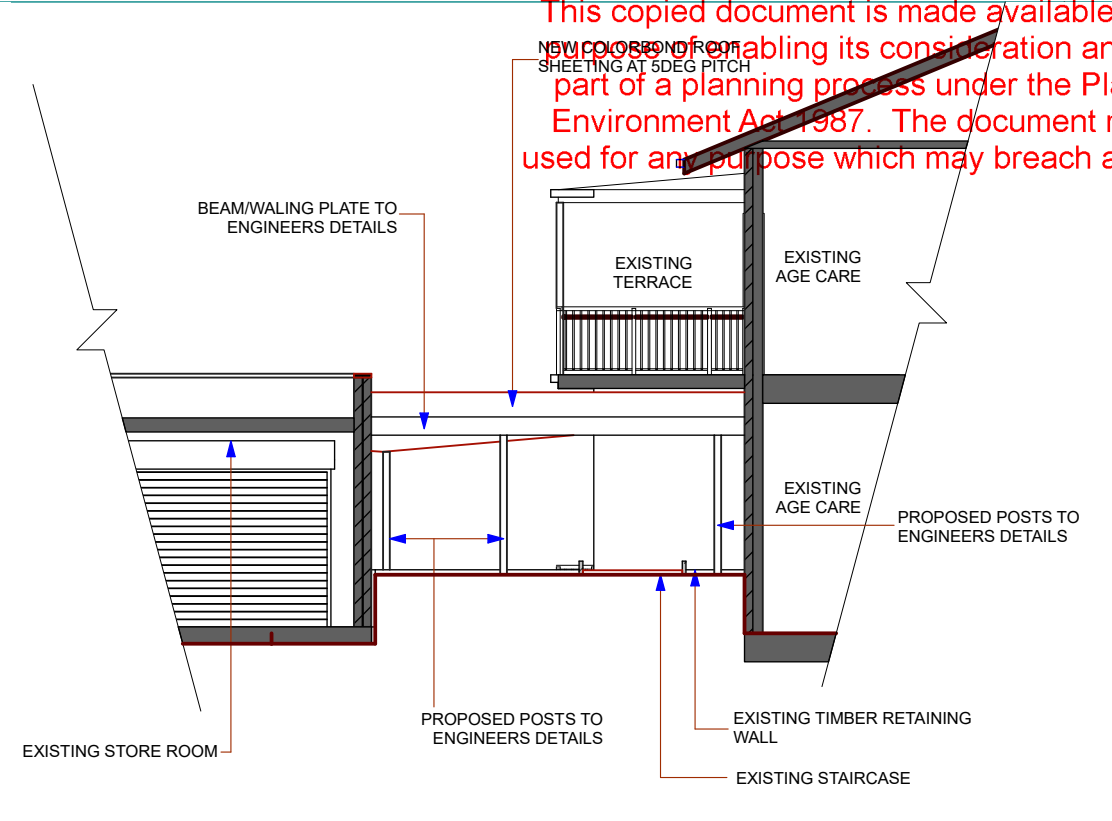
	<p>M: 0400 350 085 Email: marco@magnitudebuildingdesign.com.au REGISTRATION N° DP - AD 65665</p>	<p>PROPOSED FLOOR PLAN</p>		<p>FOR: Calvary Lakes Entrance Age Care</p>	
		<p>PROJECT NAME AND ADDRESS:</p>		<p>ProjectPlus</p>	
		<p>TOWN PLANNING 5-4-24</p>		<p>PROPOSED: VERANDAH</p>	<p>Copyright 2023: These drawings are not to be copied in part or in whole without the written consent of the author.</p>
		<p>CONSTRUCTION ISSUE 26-2-24</p>		<p>AT: 23 ALEXANDRA AVENUE, LAKES ENTRANCE VIC 3909</p>	<p>SHEET: 6 OF 10</p>
<p>BUILDING ISSUE 9-1-24</p>		<p>REVISION / ISSUE DATE:</p>	<p>SCALE: 1 : 100</p>	<p>DRAWN BY: M. Magnano DATE: Nov 23</p>	
<p>REGISTRATION N° DP - AD 65665</p>		<p>DATE:</p>	<p>DATE: Nov 23</p>	<p>Drawing No: 51-23</p>	

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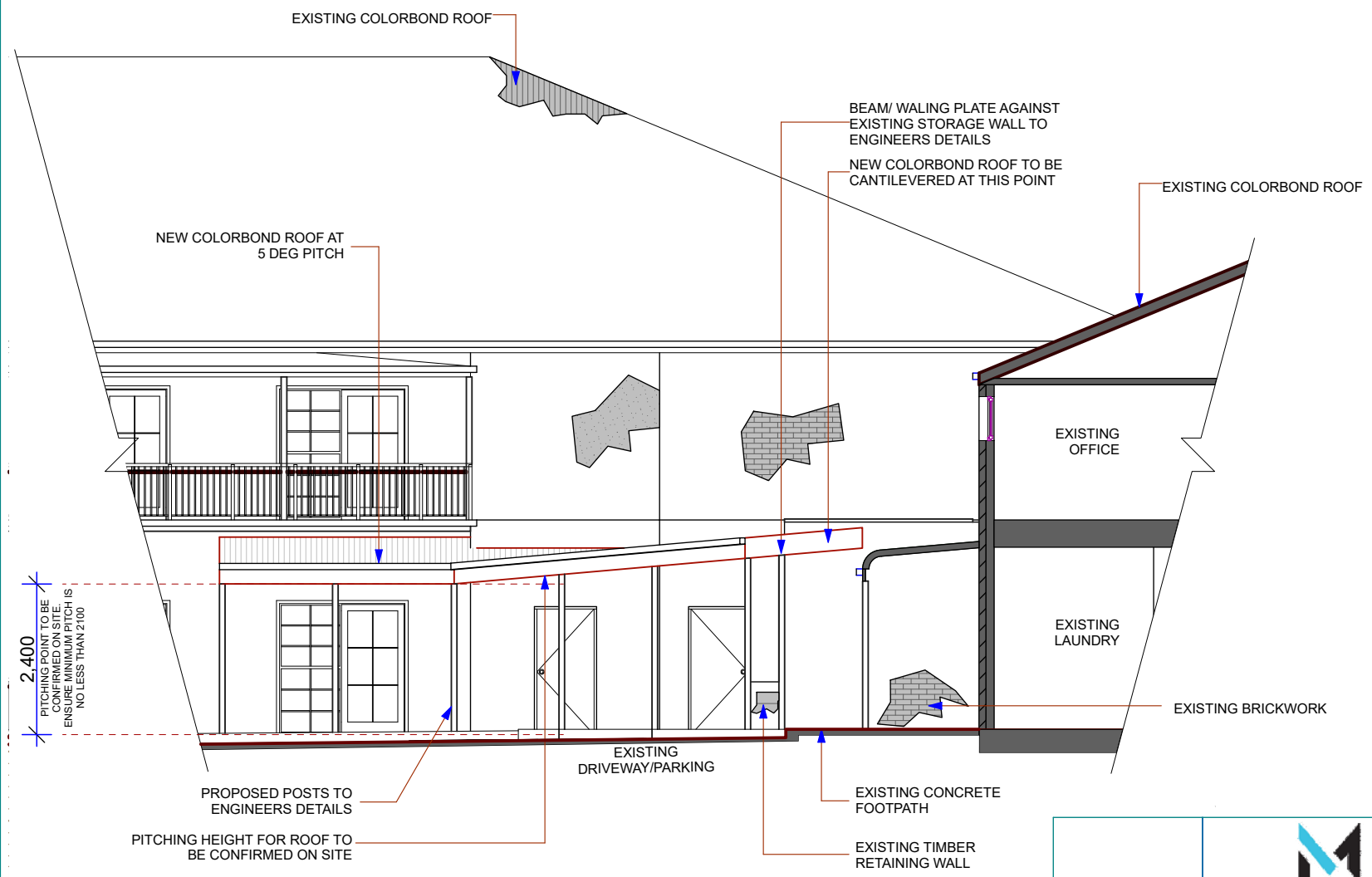
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PROPOSED EAST ELEVATION



PROPOSED WEST ELEVATION

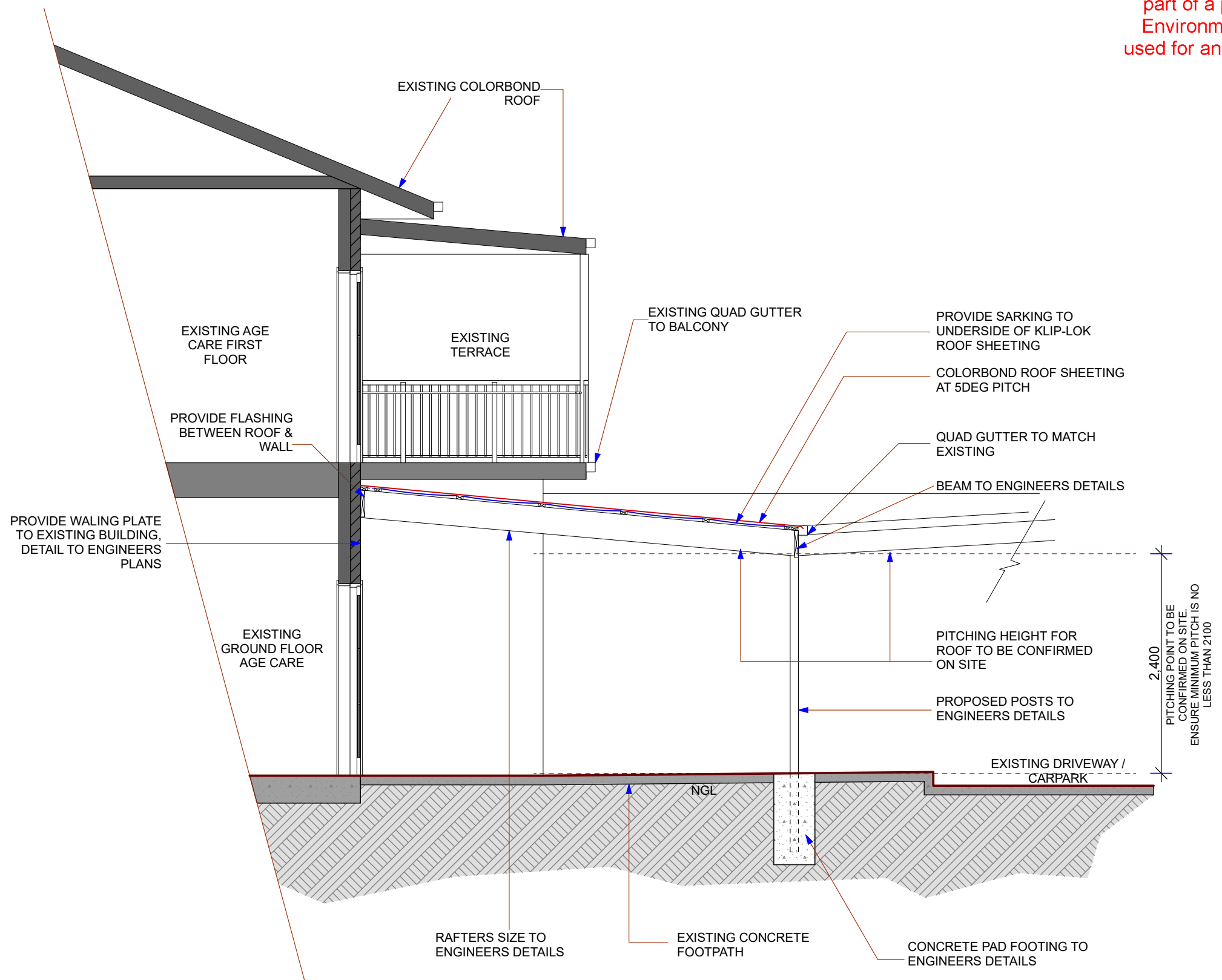


PROPOSED SOUTH ELEVATION

 M: 0400 350 085 Email: marco@magnitudebuildingdesign.com.au REGISTRATION N° DP - AD 65665	ELEVATIONS		FOR: Calvary Lakes Entrance Age Care	
	PROJECT NAME AND ADDRESS:		PROPOSED: VERANDAH	
	TOWN PLANNING	5-4-24	AT: 23 ALEXANDRA AVENUE, LAKES ENTRANCE VIC 3909	
	CONSTRUCTION ISSUE	26-2-24	DRAWN BY: M.Magnano	
	BUILDING ISSUE	9-1-24	DATE: Nov 23	
REVISION / ISSUE	DATE:	DATE: Nov 23		 Copyright 2023: These drawings are not to be copied in part or in whole without the written consent of the author. SHEET: 7 OF 10 Drawing No: 51-23

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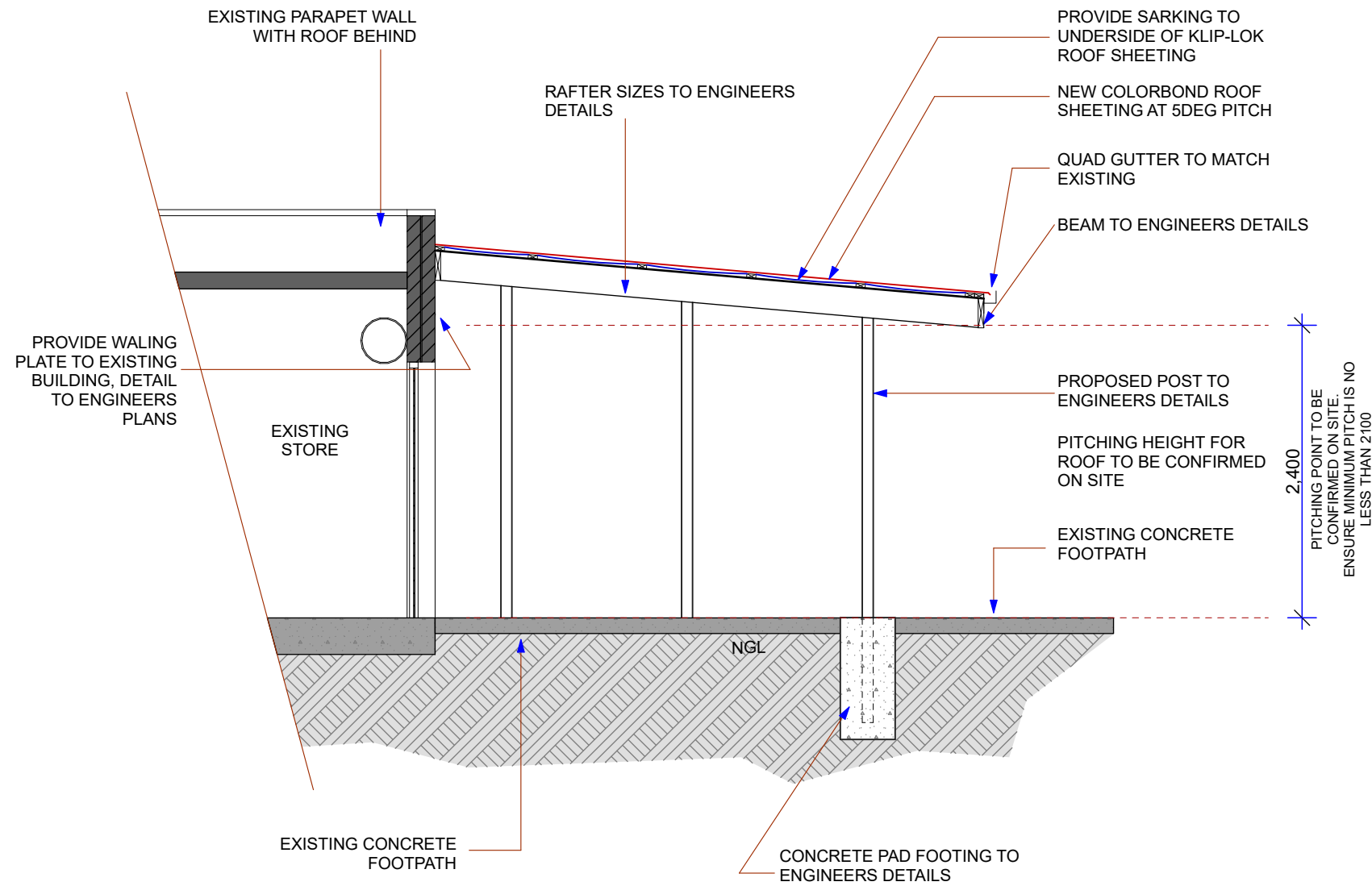
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SECTION A

 M: 0400 350 085 Email: marco@magnitudebuildingdesign.com.au REGISTRATION N° DP - AD 65665	SECTION A		FOR: Calvary Lakes Entrance Age Care
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	PROPOSED: VERANDAH		
	TOWN PLANNING	5-4-24	AT: 23 ALEXANDRA AVENUE, LAKES ENTRANCE VIC 3909
CONSTRUCTION ISSUE	26-2-24	DATE: Nov 23	
BUILDING ISSUE	9-1-24	SCALE: 1 : 100	
REVISION / ISSUE	DATE:	DRAWN BY: M. Magnano	

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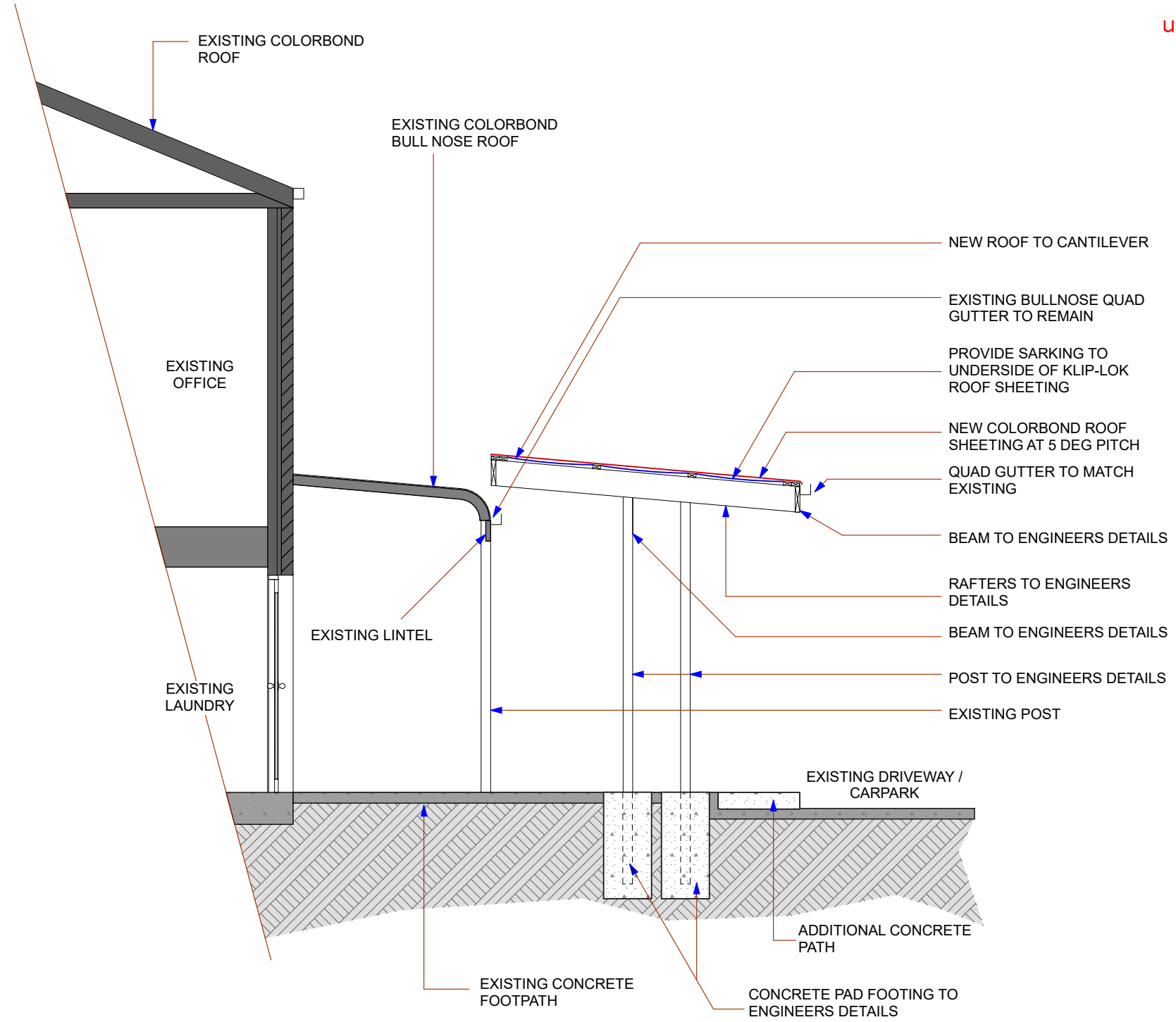
SECTION B

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	CONSTRUCTION ISSUE	26-2-24		SCALE: 1 : 100	Drawing No: 51-23
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			AT: 23 ALEXANDRA AVENUE, LAKES ENTRANCE VIC 3909	SHEET SIZE: A3 SCALE: 1 : 100
	TOWN PLANNING 5-4-24		DRAWN BY: M. Magnano	SHEET: 10 OF 10
	CONSTRUCTION ISSUE 26-2-24		DATE: Nov 23	Drawing No: 51-23
	BUILDING ISSUE 9-1-24			
	REVISION / ISSUE	DATE:		

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