

Form 2

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	2 Admirals Quay PAYNESVILLE 3880 Lot: 10 PS: 434076
The application is for a permit to:	Buildings and Works for a Dwelling
The applicant for the permit is:	Crowther & Sadler Pty Ltd
The application reference number is:	5.2024.126.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to applicant giving notice</b>
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If you object, the Responsible Authority will tell you its decision.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958** Page 1 of 3

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VOLUME 10522 FOLIO 278

Security no : 124113520352R  
Produced 19/03/2024 12:42 PM

**LAND DESCRIPTION**

Lot 10 on Plan of Subdivision 434076U.  
PARENT TITLE Volume 10206 Folio 631  
Created by instrument PS434076U 06/06/2000

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Joint Proprietors

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 PLANNING AND ENVIRONMENT ACT 1987  
T534979C 02/02/1995

**DIAGRAM LOCATION**

SEE PS434076U FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 2 ADMIRALS QUAY PAYNESVILLE VIC 3880

**ADMINISTRATIVE NOTICES**


NIL

Effective from 05/09/2023

DOCUMENT END

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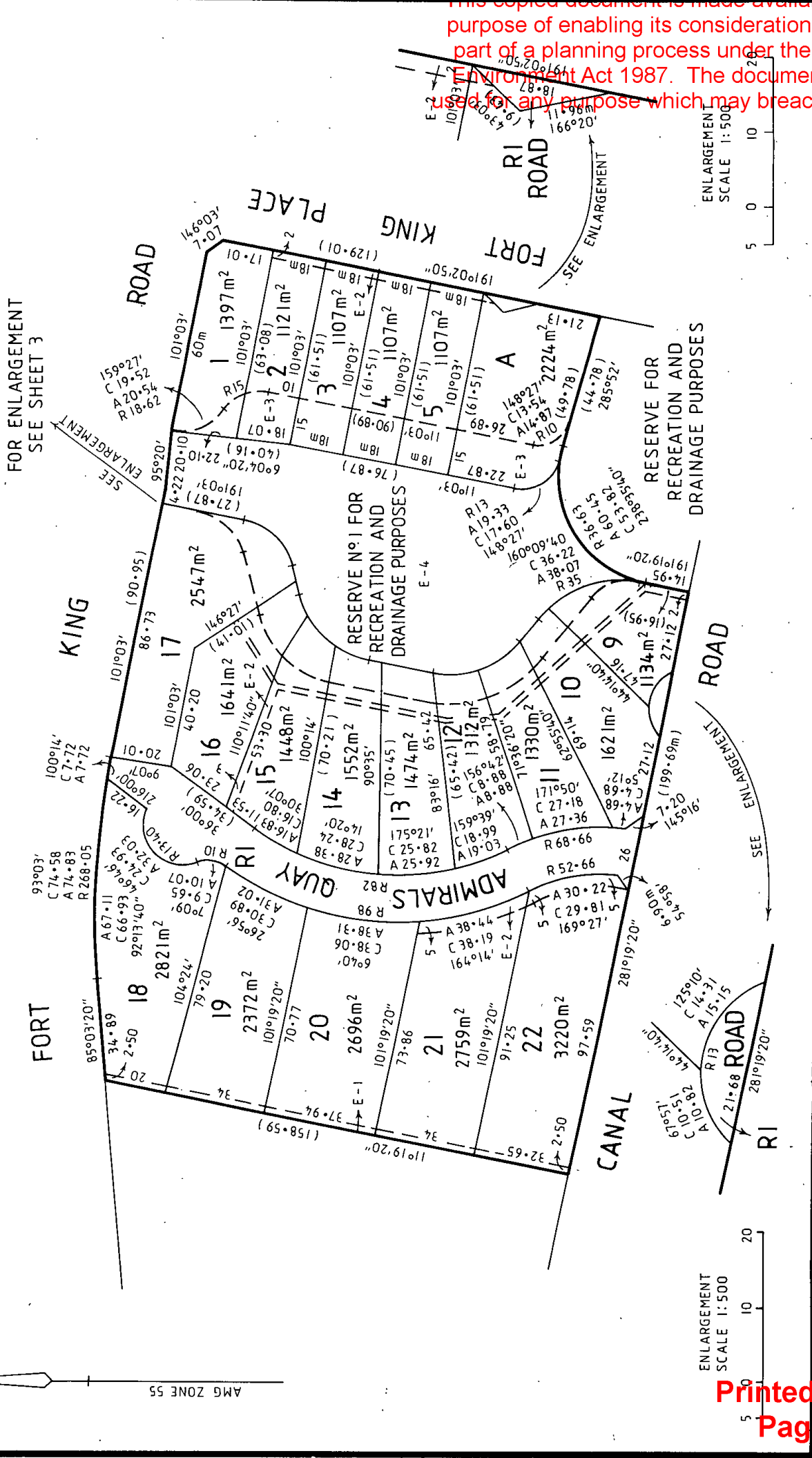
<b>PLAN OF SUBDIVISION</b>	STAGE No. /	LTO USE ONLY <b>EDITION 1</b>	PLAN NUMBER <b>PS 434076 U</b>
<b>LOCATION OF LAND</b>  PARISH: BAIRNSDALE  TOWNSHIP: —  SECTION: —  CROWN ALLOTMENT: 146 (PART)  CROWN PORTION: —  LTO BASE RECORD: DCMB TITLE REFERENCES: VOL 10206 FOL 631  LAST PLAN REFERENCE/S: PS 330977H LOT 2  POSTAL ADDRESS: FORT KING ROAD, (At time of subdivision) PAYNESVILLE, 3880  AMG Co-ordinates E 563 600 ZONE: 55 (of approx centre of land N 5804 050 in plan)		<b>COUNCIL CERTIFICATION AND ENDORSEMENT</b>  COUNCIL NAME: EAST GIPPSLAND SHIRE COUNCIL REF: 00/00004/SD 1. This plan is certified under Section 6 of the Subdivision Act 1988. <del>2. This plan is certified under Section 11(7) of the Subdivision Act 1988.</del> <del>Date of original certification under Section 6. / /</del> <del>3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.</del>  OPEN SPACE (i) A requirement for public open space under Section 18 of the Subdivision Act 1988 <del>has</del> /has not been made. <del>(ii) The requirement has been satisfied.</del> <del>(iii) The requirement is to be satisfied in Stage .....</del>  Council Delegate <del>Council Seal</del> Date 14 / 3 / 00  <del>Re-certified under Section 11(7) of the Subdivision Act 1988.</del> <del>Council Delegate</del> <del>Council Seal</del> <del>Date / /</del>	
<b>VESTING OF ROADS AND/OR RESERVES</b>			
IDENTIFIER	COUNCIL/BODY/PERSON	<b>NOTATIONS</b>	
R1 RESERVE N°1	EAST GIPPSLAND SHIRE COUNCIL EAST GIPPSLAND SHIRE COUNCIL	STAGING This is/is not a staged subdivision. Planning permit No. 99/00362/D S  DEPTH LIMITATION DOES NOT APPLY  LOT NUMBERS 6,7 & 8 HAVE BEEN OMITTED FROM THIS PLAN	
SURVEY THIS PLAN IS/IS NOT BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s) IN PROCLAIMED SURVEY AREA No.			

<b>EASEMENT INFORMATION</b>					<b>LTO USE ONLY</b>
LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)					STATEMENT OF COMPLIANCE/ EXEMPTION STATEMENT
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	RECEIVED <input checked="" type="checkbox"/>
E-1	DRAINAGE & SEWERAGE	2.50	PS 330977H	LAND IN PS 330977H	DATE 18 / 5 / 00
E-2	SEWERAGE	SEE DIAG.	THIS PLAN	EAST GIPPSLAND REGION WATER AUTHORITY & LAND IN THIS PLAN	
E-3	DRAINAGE	SEE DIAG.	THIS PLAN	LAND IN THIS PLAN	
E-4	CARRIAGEWAY	SEE DIAG	THIS PLAN	LAND IN THIS PLAN	
					<b>LTO USE ONLY</b>
					PLAN REGISTERED TIME 12:20 P.M. DATE 6 / 6 / 00
					Assistant Registrar of Titles  SHEET 1 OF 3 SHEETS
<b>Crowther &amp; Sadler</b> Pty Ltd CONSULTING SURVEYORS 152 MACLEOD STREET, BAIRNSDALE, 3875 TELEPHONE (03) 5152 5011			LICENSED SURVEYOR (PRINT) MICHAEL JOSEPH SADLER SIGNATURE ..... DATE 14 / 3 / 00 REF 8868 VERSION 2		DATE 22 / 05 / 2024 COUNCIL DELEGATE SIGNATURE ORIGINAL SHEET SIZE A3

Printed 22/05/2024  
Page 3 of 44

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PLAN OF SUBDIVISION  
STAGE NO. /  
PLAN NUMBER  
**PS 434076U**



FOR ENLARGEMENT  
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SCALE 1:500



ENLARGEMENT  
SCALE 1:500



**Proffner & Sadler** Pty Ltd  
CONSULTING SURVEYORS  
12 MACLEOD STREET, BAIRNSDALE, 3875  
TELEPHONE (03) 5152 5011

SCALE  
12:50 0 25 50  
LENGTHS ARE IN METRES

ORIGINAL SCALE  
SHEET SIZE  
A3

LICENSED SURVEYOR (PRINT) MICHAEL JOSEPH SADLER  
SIGNATURE  
DATE 14 / 3 / 00  
VERSION 2  
REF 8868

SHEET 2 OF 2 SHEETS  
DATE 14 / 3 / 00  
COUNCIL DELEGATE SIGNATURE

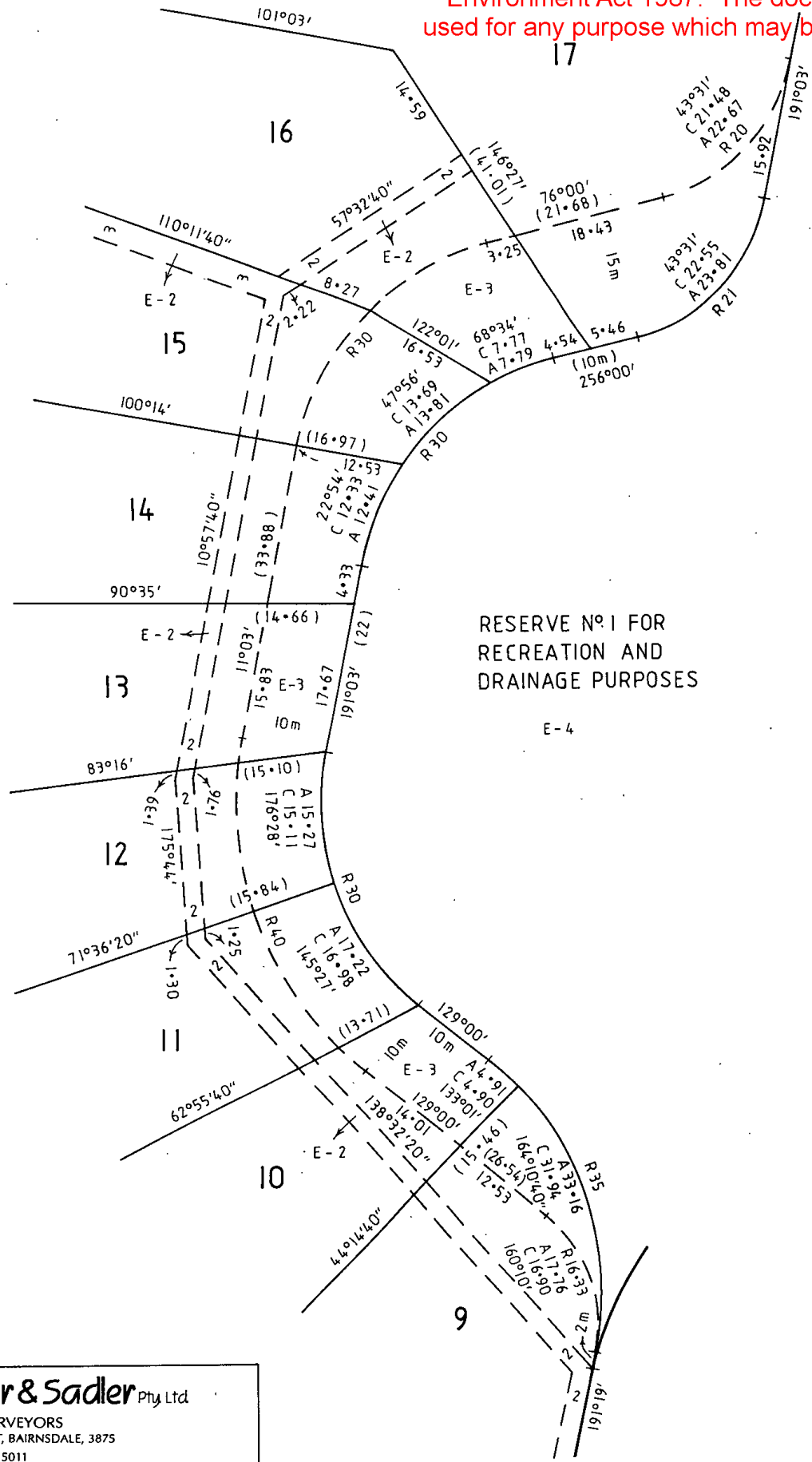


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# PLAN OF SUBDIVISION

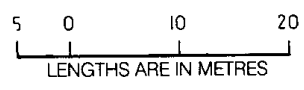
## PS 434076U

AMG ZONE 55



### Crowther & Sadler Pty Ltd

CONSULTING SURVEYORS  
152 MACLEOD STREET, BAIRNSDALE, 3875  
TELEPHONE (03) 5152 5011



ORIGINAL SCALE SHEET SIZE  
1: 500 A3

LICENSED SURVEYOR (PRINT) MICHAEL JOSEPH SADLER  
SIGNATURE ..... DATE 14 / 3 / 00  
REF 8868 VERSION 2

SHEET. 3 OF 3 SHEETS  
**Printed 22/05/2024**  
DATE .....  
COUNCIL DELEGATE SIGNATURE

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LODGED BY Warren, Graham & Murphy  
CODE 1716W VICTORIA



T534979 C

120296 095 173 T534979 C  
Titles Office Use Only

APPLICATION BY A RESPONSIBLE AUTHORITY under Section 181  
Planning and Environment Act 1987 for ENTRY OF A  
MEMORANDUM OF AGREEMENT under Section 173 of that Act.

The Responsible Authority under the Planning Scheme having entered into an Agreement with the parties named for the land described requires that a Memorandum of Agreement be entered on the Certificate of Title to the land referred to.

LAND Certificate of Title Volume 9822 Folio 150 Now = 10206-630 + 631

ADDRESS OF LAND Fort King Road, Paynesville, being Lot 1, LP210342, Parish of Bairnsdale

RESPONSIBLE AUTHORITY Shire of Bairnsdale

PLANNING SCHEME Bairnsdale (Shire) Planning Scheme

AGREEMENT DATE the 2<sup>nd</sup> day of December 1994  
AGREEMENT WITH Gippslake Pty. Ltd.

A copy of the Agreement is attached to this Application

Signature of the Responsible Authority *S. C. Deam*  
Name of Officer S. C. Deam  
Date 2/12/94

13 MAR 1995

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TO THE REGISTRAR OF TITLES

Please register this dealing upon completion hand *CH 9522-150*

to *ANZ Banking Group*

.....

For ANZ BANKING GROUP LIMITED  
A.C.N. 605 077 522 *OK*

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**AGREEMENT**  
**PLANNING & ENVIRONMENT ACT, SECTION 173**

SHIRE OF BAIRNSDALE

- and -

GIPPSLAKE PTY. LTD.

WARREN, GRAHAM & MURPHY  
Solicitors  
119 Main Street,  
BAIRNSDALE VIC 3875

REF: Mr. Brian Lightfoot

PHONE: (051) 52 2661



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THIS AGREEMENT is made the 2<sup>nd</sup> day of December 1994 BETWEEN THE PRESIDENT, COUNCILLORS AND RATEPAYERS OF THE SHIRE OF BAIRNSDALE (hereinafter called "the Council") of the first part and GIPPSLAKE PTY. LTD. the registered office of which Company is at 74 Main Street, Bairnsdale (hereinafter called "the Owner") of the second part.

WHEREAS:

- A. The Owner is the proprietor of the land described in the First Schedule hereto (hereinafter called "the subject land") and has made an Application to the Council as the responsible Authority under the Bairnsdale (Shire) Planning Scheme (hereinafter called "the Scheme") for a Planning Permit for a two lot subdivision in accordance with Plan of Subdivision Number 330977H, a copy of which Plan is contained in the Second Schedule hereto.
- B. The Council has granted the Owner Planning Permit Number 77-94-0002 dated the 28th of February, 1994, subject to certain conditions including the following:-

- 3. Surface and underground drainage is to be provided to adequately drain both lots to an approved point of discharge to the satisfaction of the Responsible Authority. Easements must be provided for all drainage lines.
- 4. Those portions of Fort King Road and Canal Road fronting the subdivision are to be constructed to the satisfaction of the Responsible Authority and to a standard appropriate for the form of development to be undertaken on the lots comprising the subdivision.

The standard may include bituminous pavement, concrete kerb and channel, drainage, footpaths, street furniture, lighting and street trees and may be for full or part construction.

- 5. The requirements of conditions 3 and 4 may be deferred by agreement to be entered into under the provisions of Section 173 of the Planning and Environment Act.

The Agreement shall covenant that:

- the responsibility for roadworks and drainage required by conditions 3 and 4 of this Planning Permit may be deferred on one or both lots until the lot is further developed or subdivided;

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- 2 -

- The Responsible Authority may apportion the responsibility for roadworks and drainage between lots 1 and 2 and the requirements for each lot may be satisfied separately;
  - the requirements of conditions 3 and 4 of this permit are binding on the owners and successors in title of each lot.
  - the requirements of conditions 3 and 4 of this permit will carry forward to any future Planning Permit for development or subdivision of lots 1 and 2; and
  - The agreement shall cease on either lot when the construction requirements are satisfied.
- C. The Council certified the Owner's Plan of Subdivision Number 330977H affecting the subject land on the 8th day of March, 1994 (hereinafter called "the Plan of Subdivision").
- D. Mortgage Number L245989N held by the Australia and New Zealand Banking Group Limited, Main Street, Bairnsdale encumbers the title to the subject land.
- E. The Owner wishes to defer, pursuant to the provisions of condition 5 of the Planning Permit, some of the works specified in conditions 3 and 4 of the said Planning Permit.
- F. The Council and the Owner have agreed that without restricting or limiting their respective powers to enter into this Agreement and insofar as it can be so treated, this Agreement shall be treated as an Agreement under Section 173 of the Planning and Environment Act 1987 (hereinafter called "the Act").

NOW THIS AGREEMENT WITNESSETH

1. In this Agreement, unless inconsistent with the context or subject matter:

"The Owner" shall mean the person or persons entitled from time to time to be registered by the Registrar of Titles as the proprietor or proprietors of an estate in fee simple of the subject land.

"The Council" shall mean the President, Councillors and Ratepayers of the Shire of Bairnsdale or such Statutory Authority as may succeed it from time to time.

2. The Owner is presently undertaking the external civil works required under the said Planning Permit on the Canal Road frontage of lot 1 on the Plan of Subdivision that wishes

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to defer undertaking of the balance of the works on lot 1, being on the Fort King Road frontage of the said lot, until the final stages of the internal works on the said lot are undertaken; and to defer all of the required works in respect of lot 2 on the Plan of Subdivision until the development of that lot is required.

- 3. The Owner, with the intent that its covenant shall run with the subject land, hereby covenants and agrees that it (which term shall include the Owner or Owners of the subject land or any part thereof from time to time) will comply with conditions of the said Planning Permit and acknowledge that the requirements of conditions 3 and 4 of the said Planning Permit will carry forward to any future Planning Permit or Permits for the development or subdivision of lots 1 and 2 on the Plan of Subdivision.
- 4. The Owner agrees to do all things necessary to enable the Council to enter a memorandum of this Agreement on the Certificate of Title to the subject land in accordance with Section 181 of the Act including signing any further Agreement, Acknowledgement or document to enable the said memorandum to be registered under that Section.
- 5. The Owner covenants with and agrees to pay the Council's costs of and incidental to the preparation and execution of this Agreement and the registration of a memorandum of the Agreement at the Land Titles Office pursuant to Section 181 of the Act and any duties or fees payable in connection with the Agreement or registration of the memorandum at the Land Titles Office.
- 6. The Mortgagee consent to the Owners entering into this Agreement.
- 7. This Agreement will lapse pursuant to Section 171 of the Act when the construction requirements specified in conditions 3 and 4 of the Planning Permit have been satisfied.

IN WITNESS whereof the parties hereto have hereunto set their hands the day and year first hereinbefore written.

THE COMMON SEAL of THE PRESIDENT )  
COUNCILLORS AND RATEPAYERS OF )  
THE SHIRE OF BAIRNSDALE was hereunto )  
affixed in the presence of: )

..... Councillor  
 ..... Councillor  
 ..... Chief Executive Officer

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- 4 -

THE COMMON SEAL of GIPPSLAKE PTY. LTD. was hereunto affixed in accordance with its Articles of Association in the presence of:



*[Handwritten signature]*

DIRECTOR,  
President

*[Handwritten signature]*

Secretary

AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED, the Mortgagee, under registered Mortgage Number L245989N of the land comprised in Certificate of Title Volume 9822 Folio 150 HEREBY CONSENTS to the Owner entering into the within Agreement.

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- 5 -

FIRST SCHEDULE

The Subject Land:

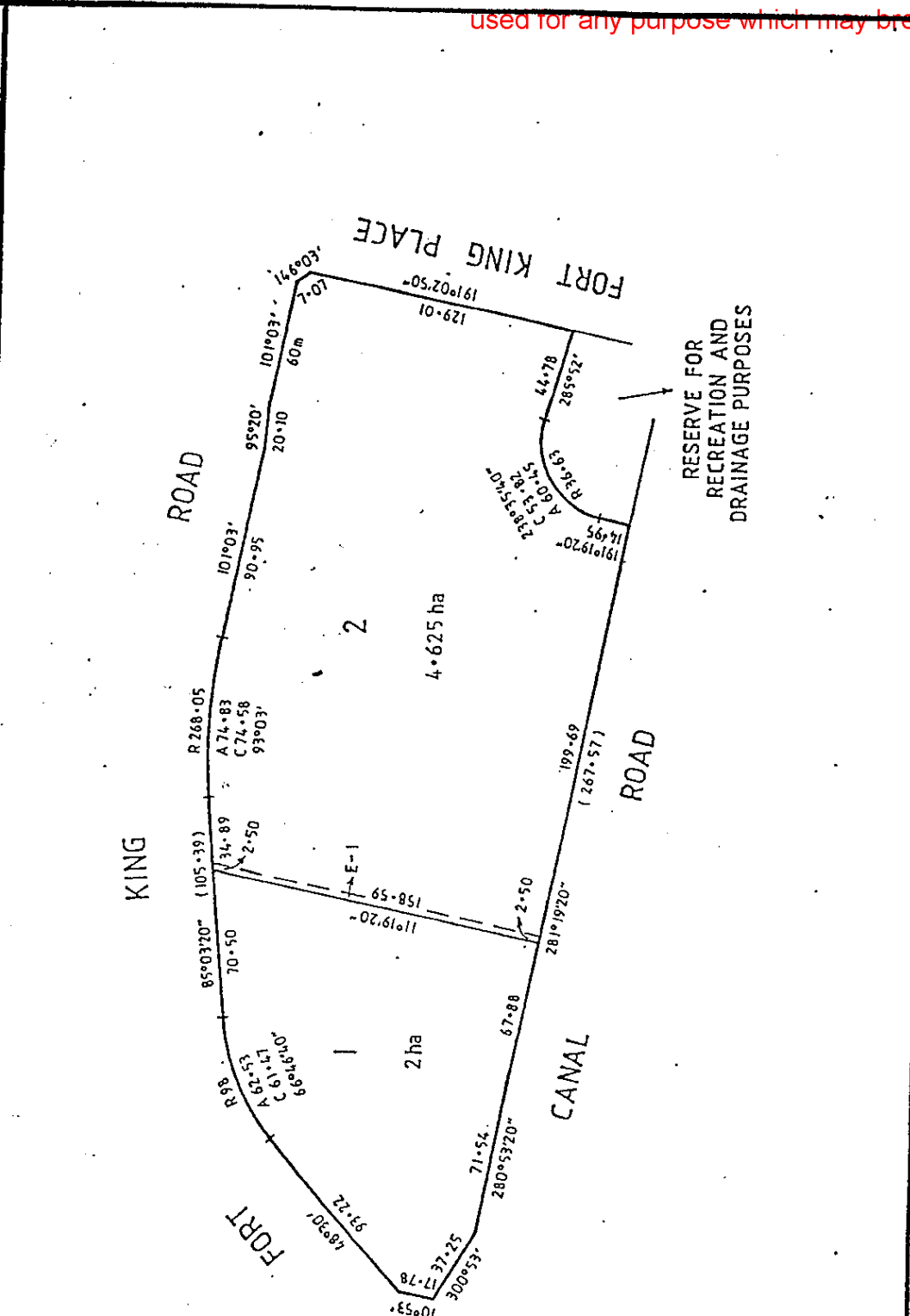
The whole of the land being Lot 1 on Plan of Subdivision Number 210342 and being the whole of the land described in Certificate of Title Volume 9822 Folio 150

SECOND SCHEDULE

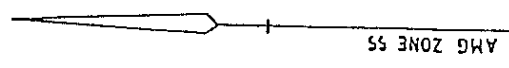
Copy Plan of Subdivision Number 330977H attached

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PLAN OF SUBDIVISION  
STAGE No. /  
PLAN NUMBER  
PS 330977H



RESERVE FOR RECREATION AND DRAINAGE PURPOSES



**ENDORSED PLAN**  
 PLANNING & ENVIRONMENT ACT  
 BAIRNSDALE (SHIRE)  
 PLANNING SCHEME

PERMIT No. 77-94-0002

SIGNED [Signature]  
 SHIRE OF BAIRNSDALE

DATE 28-2-94

COWTHER & SADLER PTY. LTD. Licensed Surveyors and Town Planners 2 Macleod Street, P.O. Box 722, BAIRNSDALE, 3875. Phone (051) 52 5011	ORIGINAL SCALE 1:2000 SHEET SIZE A3	LICENSED SURVEYOR (PRINT) JON MARK BRODZIK SIGNATURE <u>J.M. Brodzik</u> REF 7562	SHEET 2 OF 2 SHEETS DATE / / COUNCIL DELEGATE SIGNATURE
	SCALE 1:2000 LENGTHS ARE IN METRES 20 0 50 100	DATE 21 / 2 / 94 VERSION	DATE / / COUNCIL DELEGATE SIGNATURE



# Department of Environment, Land, Water & Planning

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## Electronic Instrument Statement

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 19/03/2024 12:42:54 PM

Status	Registered	Dealing Number	AW676053S
Date and Time Lodged	28/03/2023 02:12:07 PM		

### Lodger Details

Lodger Code	21210T
Name	WARREN GRAHAM AND MURPHY PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	

## TRANSFER

Jurisdiction	VICTORIA
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### Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

### Land Title Reference

10522/278

### Transferor(s)

Given Name(s)	JEANETTE
Family Name	BOYD
Given Name(s)	ROBERT
Family Name	BOYD

### Estate and/or Interest being transferred

Fee Simple

### Consideration

\$AUD 1150000.00

### Transferee(s)

Tenancy (inc. share)	Joint Tenants
Given Name(s)	JOHANNE HARMINE
Family Name	BANSON
Address	



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## Electronic Instrument Statement

Street Number 227  
Street Name BAY  
Street Type ROAD  
Locality EAGLE POINT  
State VIC  
Postcode 3878

Given Name(s) MICHAEL CHRISTOPHER  
Family Name BANSON

### Address

Street Number 227  
Street Name BAY  
Street Type ROAD  
Locality EAGLE POINT  
State VIC  
Postcode 3878

---

### Duty Transaction ID

5645500

---

The transferor transfers to the transferee their estate and/or interest in the land specified for the consideration, subject to any restrictive covenant set out or referred to in this transfer.

---

### Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferor or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	ROBERT BOYD JEANETTE BOYD
Signer Name	ANDREW JOHN REYNOLDS
Signer Organisation	WARDS BARRISTERS AND SOLICITORS PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	28 MARCH 2023





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## Electronic Instrument Statement

### Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferee or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	JOHANNE HARMINE BANSON MICHAEL CHRISTOPHER BANSON
Signer Name	ROHAN MICHAEL HUBBARD
Signer Organisation	WARREN GRAHAM AND MURPHY PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	28 MARCH 2023

### File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

## Planning Report

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Buildings and Works (Dwelling)  
2 Admirals Quay, Paynesville

Our reference – 20817

April 2024



FS 520900



MEMBER FIRM

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	Application Form	
	Proposed Site, Floor and Elevation Plans ( <i>Splinter Society</i> )	
	Email from East Gippsland Water building over an easement.	
	Copy of Title (Lot 10 on PS434076U)	

*Note: Applicable Planning Application fee is \$1,605.90*

## 1. Introduction

This Planning Report is prepared in support of proposed buildings and works (dwelling) at 2 Admirals Quay, Paynesville. The Report addresses the provisions of the General Residential Zone and Design and Development Overlay 2 as contained within the East Gippsland Planning Scheme.



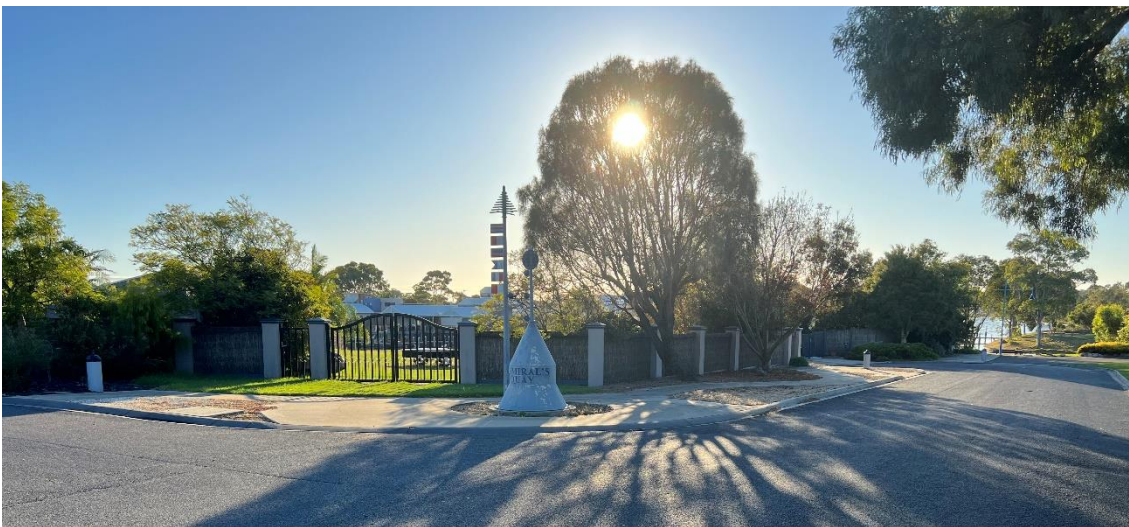
*Aerial image of the subject land and immediate surrounds (Source: Google Earth)*

## 2. Subject Land & Surrounding Context

Formally known as Lot 10 on PS434076 or more commonly known as 2 Admirals Quay, Paynesville. The subject land is irregular in shape with a northern boundary of 69.14 metres, eastern boundary of 14.91 metres, southern boundary of 73.13 metres and a western boundary of 39.00 metres equating to an overall area of 1,621 square metres.

The subject land enjoys a frontage to the Paynesville Canals constructed waterway and also Admirals Quay and Canal Road both constructed urban roads. The property is unique having part of the canal contained within the title boundaries to the east of the land parcel. A sewage easement is also located within the eastern part of the lot.

The property is vacant except for an existing jetty. A concrete pillar and brush infill panel fence have been established on the western and southern boundaries of the subject land. The western part of the fence contains existing double automatic gates facing Admirals Quay and a pedestrian gate facing Canal Road. An existing vehicle crossing to Canal Road services the property.



*View of entry to subject land from the intersection of Admirals Quay and Canal Road*



*South across subject land*

The southern portion of the property is relatively flat. The northern end of the land is characterised by a relatively short steep slope to the revetment wall as is typical of properties adjoining the canal.



*View southerly view of subject land from jetty*



*View north-east from subject land across the canal to properties in Fort King Place.*

North west of the subject land is a detached double storey dwelling on the adjoining property at 4 Admirals Quay, Paynesville. To the south-east at 35 Canal Road, Paynesville is a detached double storey dwelling that also extends over the constructed waterway.



*View of 4 Admirals Quay, Paynesville from the subject land's jetty*



*Image of 35 Canal Road, Paynesville from the subject land's jetty*

## Site Context Plan



A – Subject land

B – Paynesville Activity Centre (Approximately 1.3 km from the subject land)

C – Active Open Space (Approximately 850 metres from the subject land)

D – Paynesville Primary School (Approximately 950 metres from the subject land)

E – Marine and Industrial Employment Precinct (Approximately 700 metres from the subject land)

F – Paynesville Growth Front (Approximately 1.3 km from the subject land)



### 3. The Application & Proposal

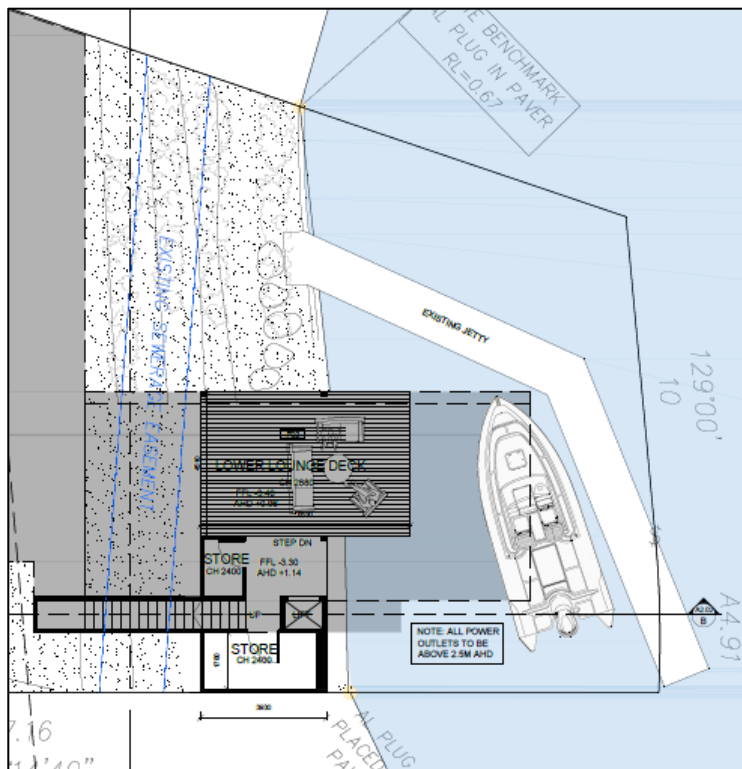
The application seeks approval for buildings and works proposed within 10 metres of a constructed waterway.

The proposed dwelling is to be sited generally within the northern part of the property, with a new vehicle access being provided to the south-west of the subject land and a secondary access from the existing vehicle crossing in Admirals Quay.

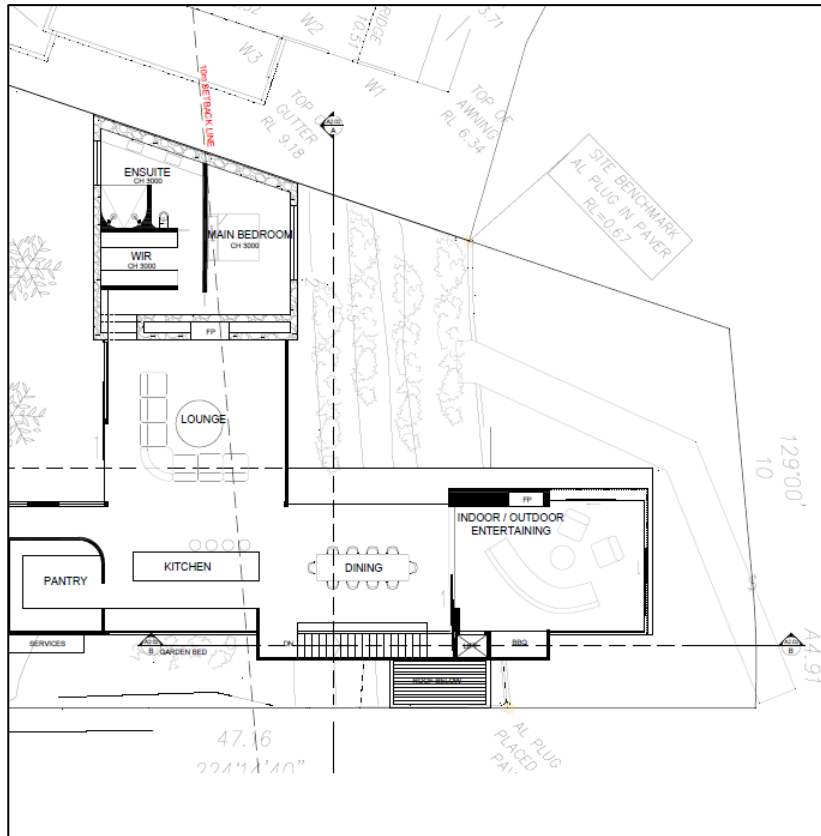
The setback to Admirals Quay is proposed at 23.685 metres, the north-western wall of the main bedroom is to be constructed on the boundary and the north-western setback of the garage and rumpus room is proposed at 1.0 metre. The south-eastern setback will range from 2.89 to 1.88 metres and the setback from the north-eastern boundary will range from 3.515 metres for the indoor/outdoor entertaining room and 16.885 metres from the lounge room and main bedroom. The indoor/outdoor entertaining room will extend over the waterway.

The proposed ground level is to consist of a rumpus room, three bedrooms, two bathrooms, entry area, laundry, powder room, open plan kitchen/dining/lounge, and an indoor/outdoor entertaining room. The proposed dwelling will be serviced with a double garage and storage area.

The lower ground floor includes of a deck, two storage rooms, lift and part of the staircase leading to the ground floor. The lower deck is proposed to extend over the constructed waterway at a height of 0.96 metres AHD with the storage areas proposed to be constructed above ground level at 1.14 metres AHD.



Proposed lower ground floor plan (Source: Splinter Society)



Proposed ground floor of the eastern part of the dwelling (Source: Splinter Society)

The finished floor level of the habitable ground floor has been designed to be a minimum of 4.44 metres AHD well exceeding the declared flood level and including freeboard and allowance for sea level rise.

The building form reflects architectural homes developed within the Paynesville Canals precinct incorporating articulated elevations, large glazed elements, decks and landings. The proposed dwelling will have a height of 7.3 metres and complementing the dwelling design materials will be varied and utilise a muted tones palate.

Planning approval is required pursuant to the following Clause of the East Gippsland Planning Scheme:

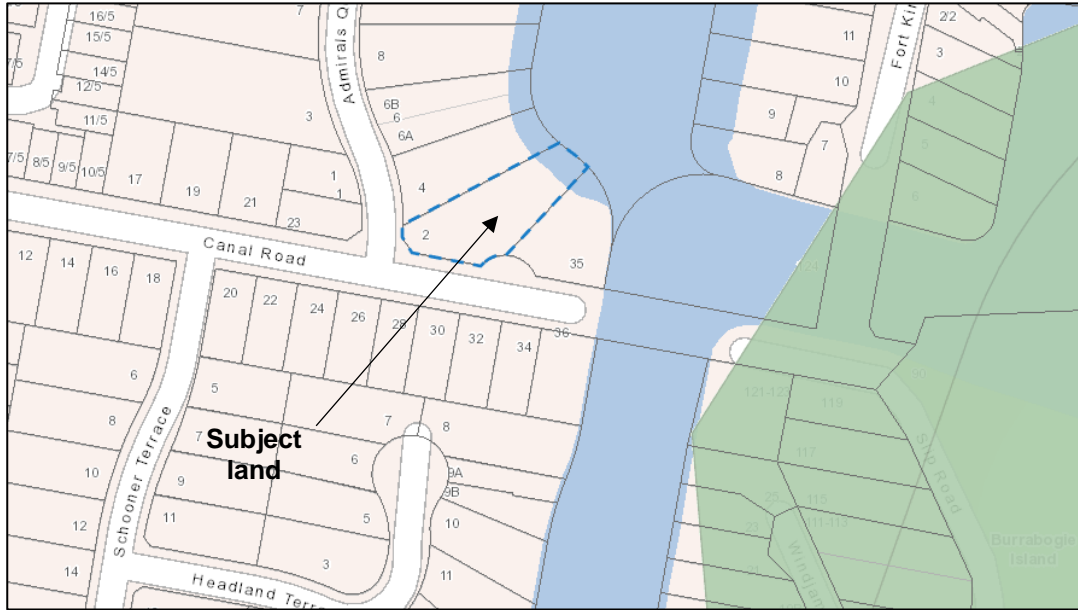
Planning Scheme Clause No.	Description of what is Proposed
43.02-2 Design and Development Overlay 2	Construct a building and carry out works.

No referrals are prescribed by the East Gippsland Planning Scheme for the proposed development.

#### 4. Cultural Heritage

Pursuant to Regulation 7 of the *Aboriginal Heritage Regulations 2018*, a CHMP is required for an activity if:

- (a) *all or part of the activity area for the activity is in an area of cultural heritage sensitivity; and*
- (b) *all or part of the activity is a high impact activity*



*Extract from Cultural Heritage Sensitivity mapping, with sensitive areas shown in green (Source: VicPlan)*

The subject land is not within an area of cultural heritage sensitivity and the construction of one dwelling on a lot is an exempt activity. Therefore, a Cultural Heritage Management Plan is not required for the proposed development.

## 5. Planning Policy

### 5.1 Planning Policy Framework

Constructing a dwelling on this vacant, serviced, residential land parcel is an expected planning outcome and forwards relevant strategies contained within Clause 11.01-1S Settlement by providing for population growth, being within the Paynesville settlement boundary, assists to limit urban sprawl and provides for infill development.

Paynesville forms part of a sub-regional network with Bairnsdale where urban growth is supported as identified in Clause 11.01-1R Settlement – Gippsland.

Clause 11.01-1L-02 Growth area towns – Paynesville seeks to provide a variety of housing types and styles that add to the special character of Paynesville. The proposed dwelling has been designed to complement the Paynesville canals precinct in terms of architectural style and public realm interface.

The dwelling design has been predicated on ensuring that the building is resilient to coastal inundation and erosion. The lower ground floor has been designed to accommodate periodic inundation with the lower deck constructed from Blackbutt timber decking and the storeroom constructed from resilient materials including concrete and metal consistent with Clause 13.01-2S Coastal inundation and erosion.

Although the land is not included within a Land Subject to Inundation Overlay, properties that front the Paynesville Canals are liable to possible inundation. The declared flood level for Paynesville is 2.0 metres AHD. The lower ground floor is not a habitable part of the dwelling and has been designed to be sealed off from habitable areas of the dwelling during flooding. Flood resistant materials will be utilised for the lower ground floor dwelling element which, is designed to allow for post flood cleaning. Any electricity outlets will be installed above 2.5 metres AHD and the lift motor will be installed at ground floor level well above the declared flood level. Consistent with numerous developments within the Paynesville Canals precinct non-habitable elements of dwellings have been accepted as appropriate (Clause 13.03-1S Floodplain management).

Neighbourhood character within the Paynesville Canals precinct is formed by larger dwellings fronting the canals, generally two storey form when viewed from roads, articulated building elevations and coastal influences. The proposed dwelling design will complement the character of the precinct incorporating many of the common building elements of dwellings within the canals estate (Clause 15.01-5S Neighbourhood character).

## 5.2 Municipal Planning Strategy

The proposal is supported by Council's strategic directions within Clause 02.03-1 Settlement and housing – Growth area towns as it will provide for population growth and development on a fully serviced residential lot, provides a quality housing and will assist to expand and consolidate Paynesville within the settlement boundary.

The environmental constraint associated with this property being potential inundation and climate-induced sea level rise which, has been mitigated by adopting a minimum finished floor level of 4.44 metres AHD for the habitable elements of the dwelling. This floor level is well above provisions for flooding, sea level rise.

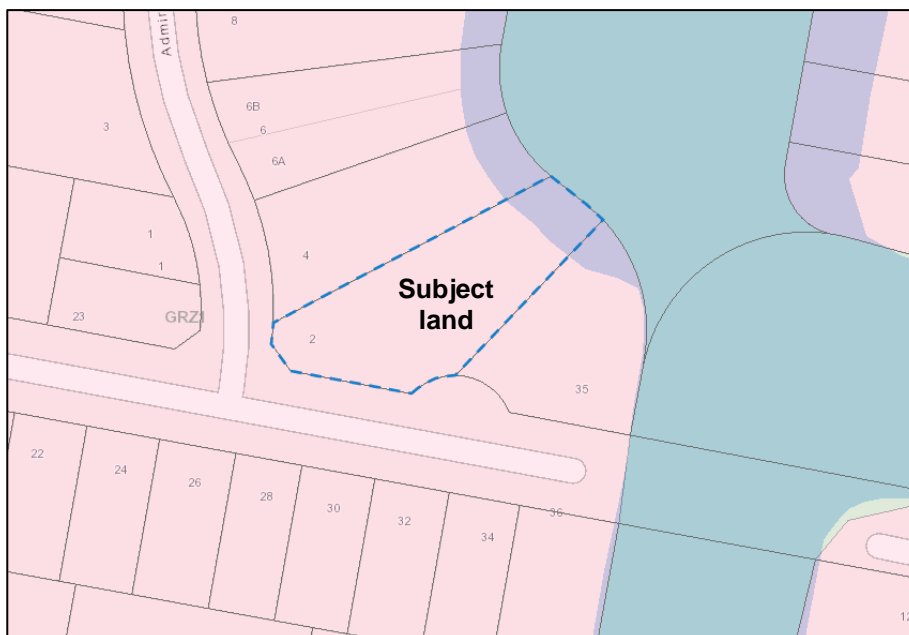
The proposed infill development within the urban area of Paynesville will not detract from the village feel and character of the town as per Clause 02.03-5 Built environment and heritage.

Sewer infrastructure is located within the sewerage easement in the eastern part of the property. The dwelling design has had due regard for the sewerage infrastructure present on the land with no fill over the easement and an elevated stairwell allowing for access to be provided if required for sewer maintenance (Clause 02.03-7 Transport and infrastructure).

## 6. Planning Elements

### 6.1 General Residential Zone

The subject land is zoned General Residential Zone in accordance with the East Gippsland Planning Scheme.



Planning scheme zone mapping (Source: VicPlan)

The proposal to develop a dwelling on the subject land meets the relevant purposes of the zone as it will implement the Municipal Planning Strategy and the Planning Policy Framework, provides a development that respects the character of the area and provides housing in a location close to the services of the town.

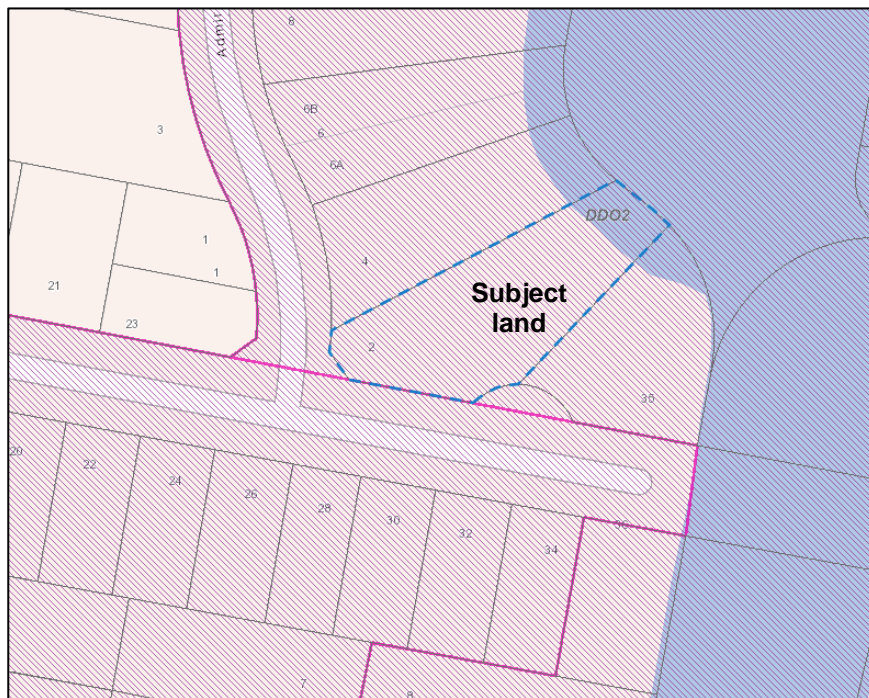
Garden area of 35% of the lot is required pursuant to Clause 32.08-4 of the zone and will be achieved.

The building height will not exceed 11 metres complying with Clause 32.08-11 Maximum building height for a dwelling.

Under the zone provisions no planning permit is required to use the land for the purposes of a dwelling and to develop a single dwelling on a lot exceeding 300 square metres.

## 6.2 Design and Development Overlay 2

The land is contained within the Design and Development Overlay 2.



Planning scheme overlay mapping (Source: VicPlan)

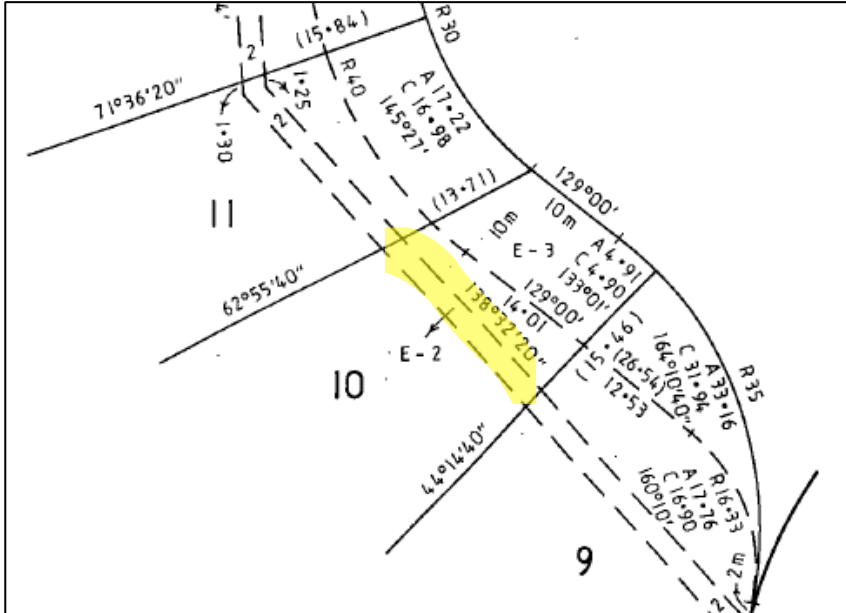
Schedule 2 of the Overlay is the Constructed Waterways, Paynesville. Subclause 2.0 of the schedule requires a permit for buildings and works that are less than 10 metres of the boundary of the constructed waterway.

It is considered that the proposed development meets the objectives and decision guidelines of the schedule to the Overlay:

- Residential amenity of properties within the constructed waterways will not be detrimentally impacted. The single dwelling will not emit excessive noise levels beyond that of a residential dwelling, northern and southern setbacks avoid bulk, overshadowing will not be unreasonable with the ground floor setback 2.89 metres from the south-eastern boundary and overlooking is not considered unreasonable.
- The landform is advantageous falling towards the canal, which allows the dwelling to read as a single storey dwelling from Admirals Quay.
- Not unlike many dwellings within the Paynesville Canals precinct the dwelling will read as two storey in form when viewed from the canal. However, the lower building height and small footprint of the lower ground floor element is otherwise consistent with other dwellings in the canals area.
- Visual bulk from the canal has been avoided through the use of a well articulated north-eastern elevation utilising a horizontal building element being the main bedroom and lounge with a the dining and entertaining element of reduced width protruding out over the constructed waterway.
- Setting back, the proposed lounge and main bedroom of the dwelling from the north-eastern boundary by 16.85 metres provides for significant landscaping opportunities allowing for softening of the proposed built form. The subject land location is within one of the more spacious parts of the constructed canals and combined with the setback the spacious feeling of this section of the canals will be maintained.
- The use of decking at the lower ground floor will provide a recessive built form when viewed from the canals.
- The storage element of the building will be significantly setback and combined with extended built form at ground floor it will reduce the visual appearance of the building from the public realm.
- Being within an area that is prone to occasional inundation the buildings fronting the canals have a higher building profile. The proposed height of the dwelling will sit comfortably within the precinct.
- Use of varying side setbacks, differing materials and a muted colour palate breaks down building mass and achieves a good response to the coastal character of the area.
- Incorporation at the lower ground floor level of a lounge deck maintains the maritime and outdoor living themes apparent in the Paynesville canals.
- Most dwellings constructed in this stage of the canals have include decks, verandahs and living rooms extending over the water within the title boundaries.

### 6.3 Building Over a Sewerage Easement

The eastern part of the property is subject to a sewerage easement that contains sewer infrastructure.



Extract of the plan of subdivision showing E – 2 for Sewerage running north-south within the eastern part of the property.

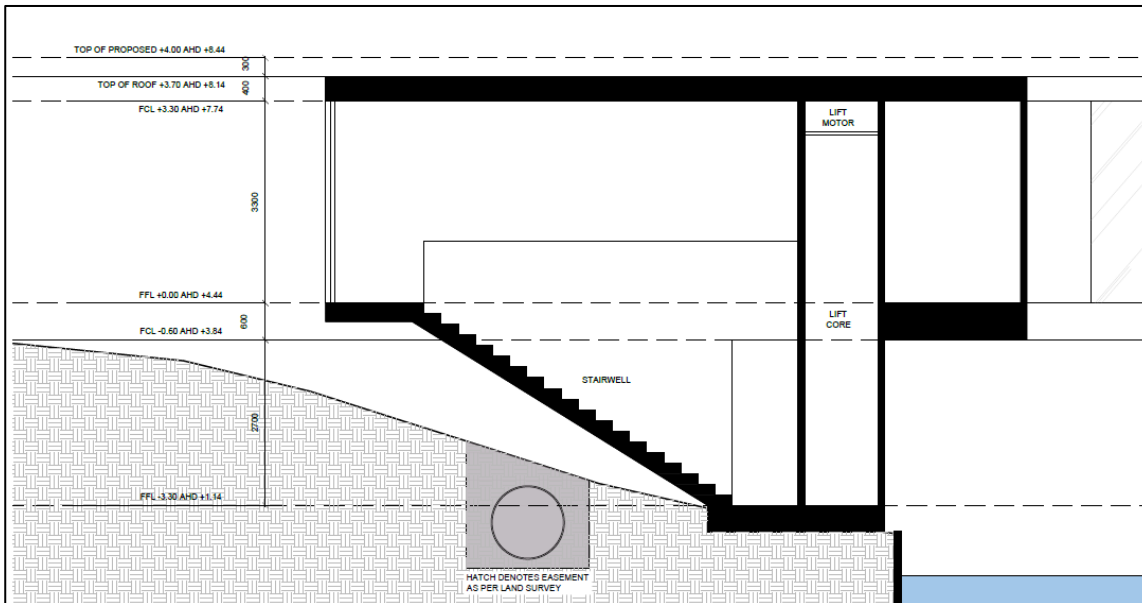


East Gippsland Water plans showing the sewerage infrastructure in the eastern part of the subject land (Source: EGW)



The proposed response to the sewerage infrastructure and easement is to limit the amount of built form over the infrastructure to that of the proposed staircase.

The staircase will have sufficient clearance over the sewer to provide for East Gippsland Water access to the infrastructure should it be required.



*Sectional plan demonstrating the clearance above the sewer infrastructure.  
(Source: Splinter Society)*

The proposed development has been reviewed by East Gippsland Water and there will need to be an application made to build over East Gippsland Water assets. East Gippsland Water's advice accompanies this application.

## 7. Conclusion

The proposed buildings and works (dwelling) at 2 Admirals Quay, Paynesville is considered to accord with all relevant provisions of the General Residential Zone and Design and Development Overlay 2 of the East Gippsland Planning Scheme. The proposal is consistent with Planning Policy Framework and Municipal Planning Strategy and has been designed to complement the adjoining properties and make a positive contribution to the Paynesville Canals precinct.

For these reasons we respectfully request that Council consider the merits of the application favourably and resolve to issue a Planning Permit.

**Richard Hoxley - Crowther & Sadler**

**From:** Adrian J. Kelly <AKelly@egwater.vic.gov.au>  
**Sent:** Monday, 15 January 2024 11:54 AM  
**To:** Richard Hoxley - Crowther & Sadler  
**Cc:** Neville Pearce; David Radford; Developer Works  
**Subject:** RE: 2 Admirals Quay, Paynesville [SEC=OFFICIAL]  
**Attachments:** 231208\_Drawing package for EGW.pdf; F089-Application-for-Structure-or-Fill-to-be-placed-over-easement.pdf

**OFFICIAL**

Hi Richard,

Thank you for forwarding the enquiry regarding 2 Admirals Quay in Paynesville.

EGW's standard policy is that we do not allow inhabitable dwellings/structures to be built over easements/sewer due to the collective risk to EGW and the Developer.

Building over a sewer increases the potential for access/structural/maintenance issues with the sewer which in this location could increase the risk of sewer spill to the environment noting the very close proximity to the canal water way.

In the first instance, if there is capacity for the building footprint to be modified so that inhabitable structures can be setback away from the sewer easement this is recommended, noting that a non-inhabitable outdoor decking structure may be able to be built over the easement/sewer.

If the Developer cannot reasonably modify the proposal, EGW would be willing to potentially consider entering into a build over agreement with the Developer, with the proposal subject to strict engineering controls:

- a. The Developer would need to reline the sewer (at their cost) with a structural liner,
- b. Place maintenance structures to EGW's requirements,
- c. Leave provision for vehicular access to the maintenance structures to EGW's requirements
- d. The Developer would need to submit engineering/structural plans demonstrating that the sewer was adequately protected from loading,
- e. There would need to be clear/physical separation from the sewer and the foundation of the building.
- f. Other that may become apparent as the details of the proposal progress.

It is also worth directing your client to EGW's requirements/ conditions / liabilities stipulated in a build-over application that the Developer would need to agree to for any structures/fill over the easement (see attached and the below link) when considering their options.

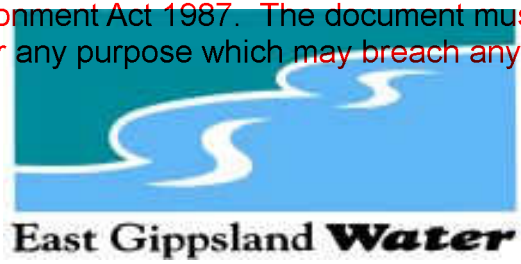
[Microsoft Word - F089 Application for Structure or Fill to be placed over easement \(egwater.vic.gov.au\)](https://www.egwater.vic.gov.au)

This advice is provided in relation to this property only with consideration of similar adjacent developments in Admirals Quay, and does not constitute precedence for any other applications.

Regards,

Adrian

**Adrian Kelly**  
**Manager District Growth**  
Phone: 03 5150 4432  
Mobile: 0408 377 541  
Fax: 03 5150 4477  
Email: [AKelly@egwater.vic.gov.au](mailto:AKelly@egwater.vic.gov.au)  
Web: [www.egwater.vic.gov.au](http://www.egwater.vic.gov.au)



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**From:** Richard Hoxley - Crowther & Sadler <[richard@crowthersadler.com.au](mailto:richard@crowthersadler.com.au)>  
**Sent:** Tuesday, 12 December 2023 5:18 PM  
**To:** Adrian J. Kelly <[AKelly@egwater.vic.gov.au](mailto:AKelly@egwater.vic.gov.au)>  
**Subject:** 2 Admirals Quay, Paynesville

**CAUTION: This email originated outside the company. Do not click links or open attachments unless you are expecting them from the sender. Contact IT if you are unsure and need assistance.**

Good afternoon Adrian,

Further to our discussion please find attached plans for a proposed dwelling at 2 Admirals Quay, Paynesville.

Just as with ^ Admirals Quay, the design of the dwelling relies on building over the sewerage main/easement.

It would be appreciated if you could obtain advice as to the likelihood of the build-over easement being supported (or not) or any changes that could be undertaken.

Thanks

Regards

**Richard Hoxley**  
**Principal Planner**

**Crowther & Sadler** Pty Ltd.  
LICENSED SURVEYORS & TOWN PLANNERS

152 Macleod Street, Bairnsdale  
PO Box 722, Bairnsdale, Vic, 3875  
P: 5152 5011 F: 5152 5705

# R23 - 186

# PAYNESVILLE

1/100 GERTRUDE ST, MELBOURNE  
VIC 3065, AUSTRALIA

### DEVELOPMENT SUMMARY





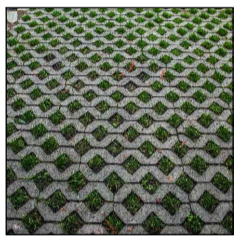


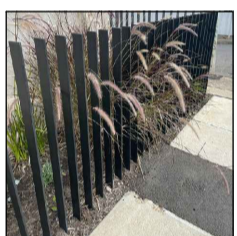

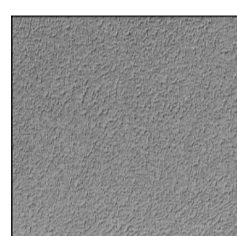

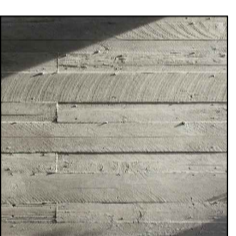

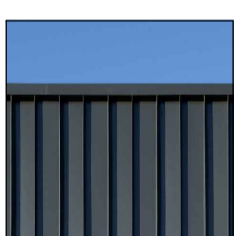


SITE AREA: 1621m<sup>2</sup>  
 EXISTING SITE COVERAGE: 0m<sup>2</sup> (0%)  
 PROPOSED SITE COVERAGE: 543m<sup>2</sup> (33.5%)  
 PERMEABLE AREA: 543m<sup>2</sup> (33.5%)  
 PROPOSED GARDEN AREA: 765m<sup>2</sup> (47.2%)

### DOCUMENT LIST

- A0.00 DRAWING REGISTER & FINISHES SCHEDULE
- A0.01 SURVEY / SITE PLAN
- A0.02 EXISTING/DEMO PLAN
  
- A1.00 PROPOSED GROUND FLOOR PLAN
- A1.01 PROPOSED LOWER GROUND FLOOR PLAN
- A1.02 PROPOSED ROOF/SITE PLAN
  
- A2.00 PROPOSED ELEVATIONS-1
- A2.01 PROPOSED ELEVATIONS-2
- A2.02 PROPOSED SECTIONS

### TOWN PLANNING GENERAL NOTE REQUIREMENTS:

1. ALL DIMENSIONS ARE TO BE CHECKED AGAINST LICENSED SURVEY OF THE SITE & RE-ESTABLISHED BOUNDARY SURVEY. ALL DIMENSIONS ARE TO BE CHECKED AGAINST SITE CONDITIONS PRIOR TO ANY CONSTRUCTION. NOMINAL DIMENSIONS ARE TO BE CHECKED AGAINST SITE CONDITIONS.
2. N/A
3. ALL SERVICE PIPES, FIXTURES AND FITTINGS MUST BE CONCEALED ON EXPOSED ELEVATIONS TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
4. THE ALTERATIONS OF SOIL LEVELS INVOLVING AN INCREASED OR DECREASED LEVEL AT THE BOUNDARIES MUST BE RETAINED BY THE PROVISION OF AN ADEQUATE RETAINING WALL, CONSTRUCTED OF BRICK OR MASONRY OR OTHER SUITABLE ALTERNATIVE APPROVED BY THE RESPONSIBLE AUTHORITY, TO BUTTRESS THE SOIL AGAINST THE POSSIBILITY OF SHIFT. THE CONSTRUCTION OF THIS RETAINING WALL SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER/ DEVELOPER.
5. ALL BASIC SERVICES, INCLUDING WATER, ELECTRICITY, GAS SEWERAGE AND TELEPHONE, SHALL BE INSTALLED UNDERGROUND AND LOCATED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
6. BEFORE ANY CONSTRUCTION OR DEMOLITION WORKS COMMENCE ON THE SITE, TO THE EXTENT THAT THE SITE PERIMETER IS UNFENCED AND/ OR IS NOT FENCED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY, A SECURE FENCE IS TO BE ERECTED AND SECURELY LOCKED AS REQUIRED.
7. N/A
8. N/A
9. N/A

EXTERIOR FINISHES SCHEDULE		
 <b>F01</b> WALL CLADDING: CEMENT SHEET WITH CHARCOAL PAINT FINISH	 <b>F02</b> DECKING: BLACKBUTT TIMBER DECKING.	 <b>F03</b> DOOR/WINDOWS: CLEAR GLAZING IN BLACK AL FRAME
 <b>F04</b> METAL CAPPING/FLASHING IN DULUX MONUMENT FINISH	 <b>F05</b> DRIVEWAY FINISH: TURFSTONE PERMEABLE SURFACE	 <b>F06</b> DRIVEWAY: LILYDALE TOPPINGS
 <b>F07</b> WALL FINISH: CONCRETE, OXIDE COLOUR LIGHT GREY	 <b>F08</b> FENCE/BALUSTRADE: STEEL BLADE FENCE WITH BLACK PAINT FINISH	 <b>F09</b> TIMBER BATTENS: BLACKBUTT TIMBER BATTENS
 <b>F10</b> RENDERED WALL: CEMENT RENDERED WALL, OXIDE COLOUR GREY	 <b>F11</b> GARAGE DOOR: METAL DOOR IN DULUX MONUMENT FINISH	 <b>F12</b> CONCRETE WALL: OFF FORM CONCRETE WALL WITH GREY OXIDE RENDER
 <b>F13</b> NATURAL STONE CLADDING	 <b>F14</b> WALL CLADDING: LYSAGHT ENSEAM IN DULUX MONUMENT FINISH	 <b>F15</b> WALL CLADDING: BLACKBUTT TIMBER WALL CLADDING
 <b>RF1</b> ROOF: LYSAGHT KLIPLOCK COLORBOND "NATURAL ZINGALUME"		

PROJECT NAME

**PAYNESVILLE**

SITE ADDRESS

2 ADMIRALS QUAY, PAYNESVILLE, VIC

PROJECT NUMBER: R23-186

DATE: 2/04/2024

SCALE @ A1 (OR AS NOTED)

STATUS

**TOWN PLANNING**

PRELIM: NOT FOR CONSTRUCTION

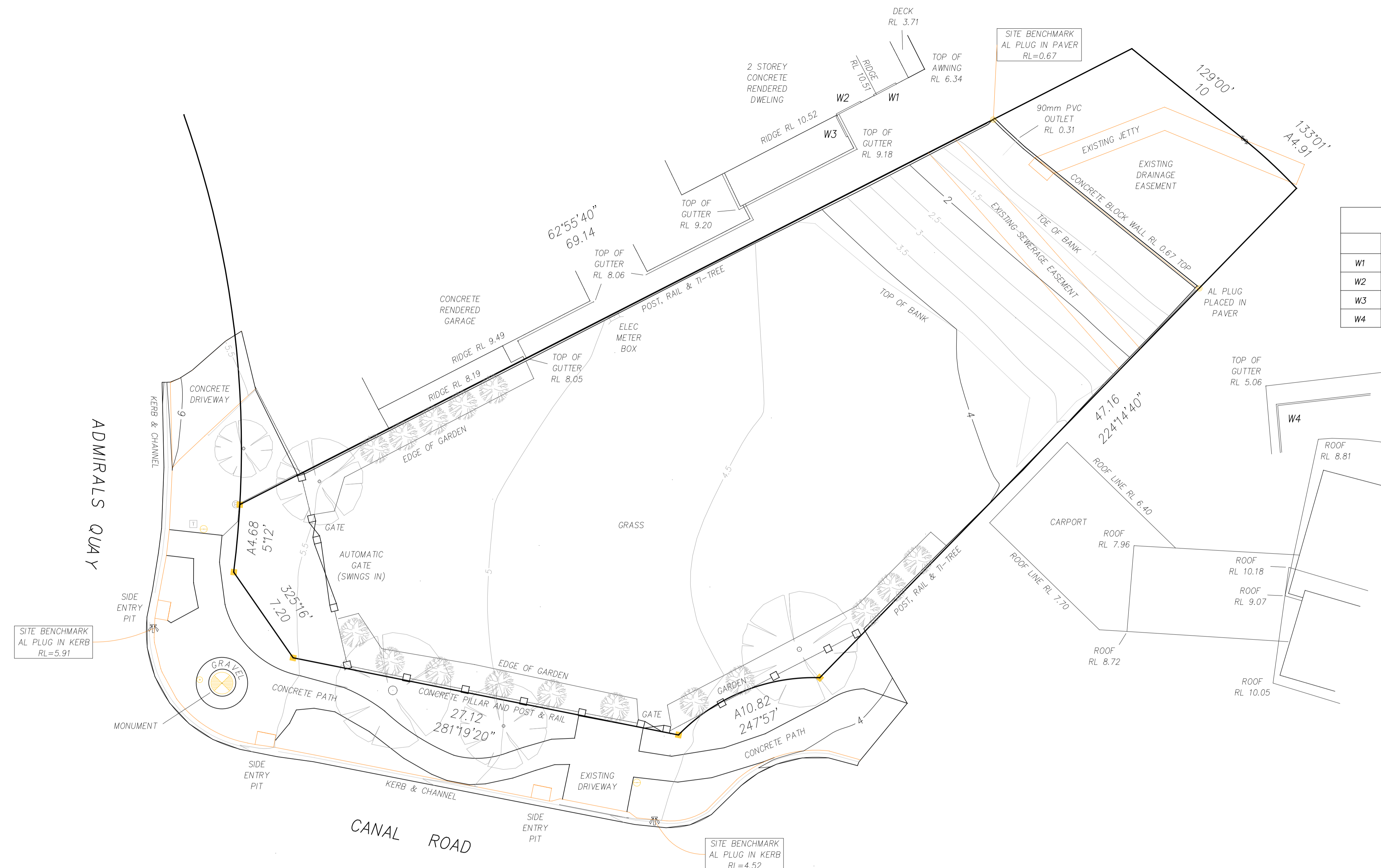
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TITLE PAGE

DRAWING NUMBER

**A0.00**

REVISION

Printed 22/05/2024  
 Page 36 of 44



WINDOW HEIGHTS		
	HEAD HEIGHT	SILL HEIGHT
W1	RL 6.08	RL 3.76
W2	RL 8.87	RL 4.59
W3	RL 8.87	RL 4.59
W4	RL 4.64	

1 LAND SURVEY  
 1:100

**SPLINTER SOCIETY**

ARCHITECTURE & HUMAN ENVIRONMENTS

150 CECIL ST, FITZROY  
 VIC 3065, AUSTRALIA

PROJECT NAME  
**PAYNESVILLE**

N

**PRELIM: NOT FOR CONSTRUCTION**

SITE ADDRESS:  
 2 ADMIRALS QUAY, PAYNESVILLE  
 VIC, 3880

PROJECT NUMBER: R23-186

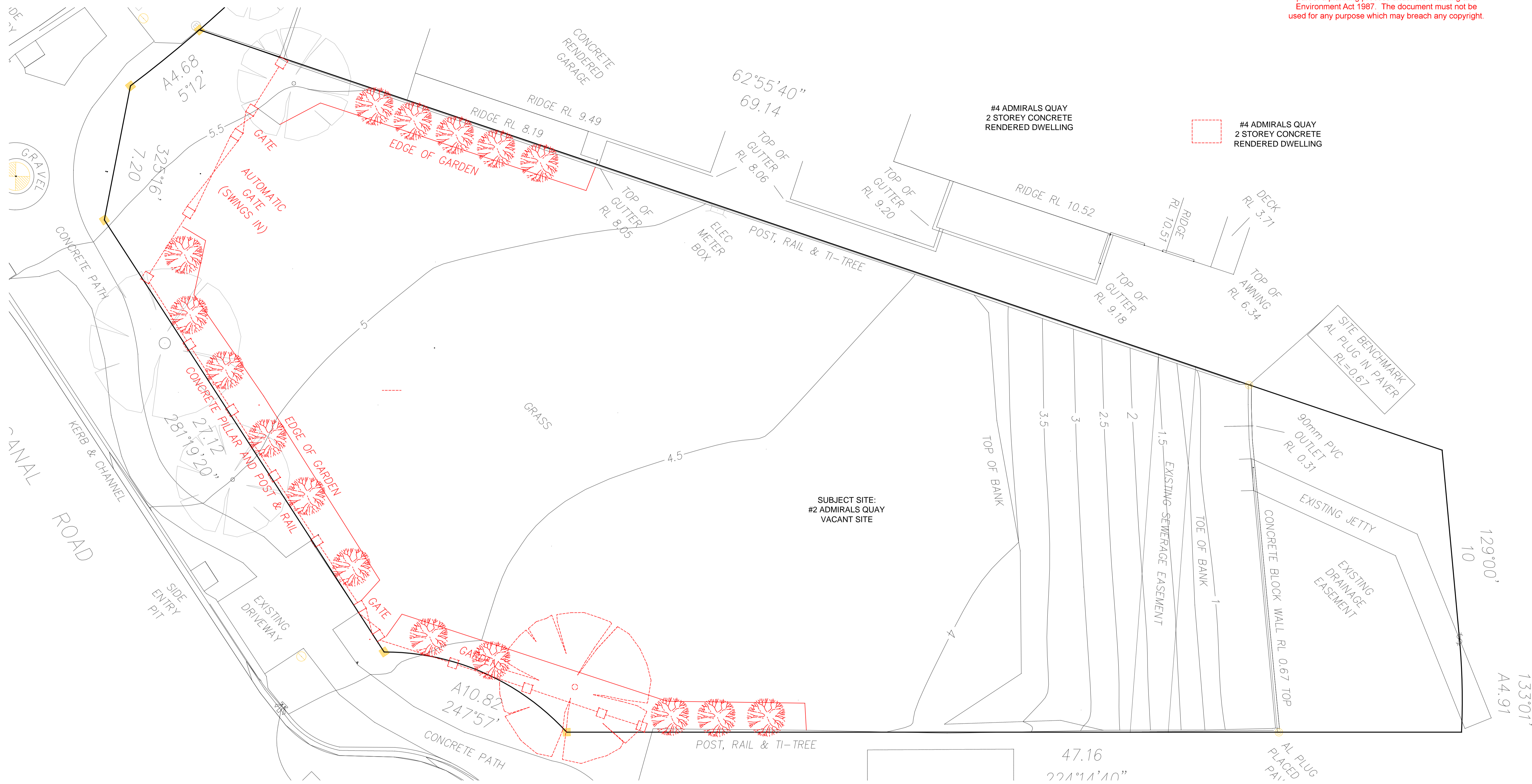
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 STATUS: TOWN PLANNING

SCALE: 1:100 @ A1

DRAWING TITLE  
**LAND SURVEY**

DRAWING NUMBER  
**A0.01**

REVISION  
 Printed 22/05/2024  
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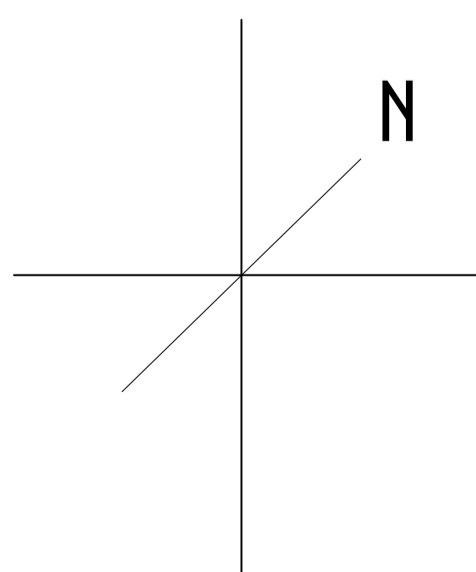
1 EXISTING / DEMOLITION PLAN  
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SPLINTER SOCIETY

ARCHITECTURE & HUMAN ENVIRONMENTS

150 CECIL ST, FITZROY  
 VIC 3065, AUSTRALIA

PROJECT NAME  
**PAYNESVILLE**



PRELIM: NOT FOR CONSTRUCTION

SITE ADDRESS:  
 2 ADMIRALS QUAY, PAYNESVILLE  
 VIC, 3880

PROJECT NUMBER: R23-186

DATE: 2/04/2024  
 STATUS: TOWN PLANNING

SCALE: 1:100 @ A1

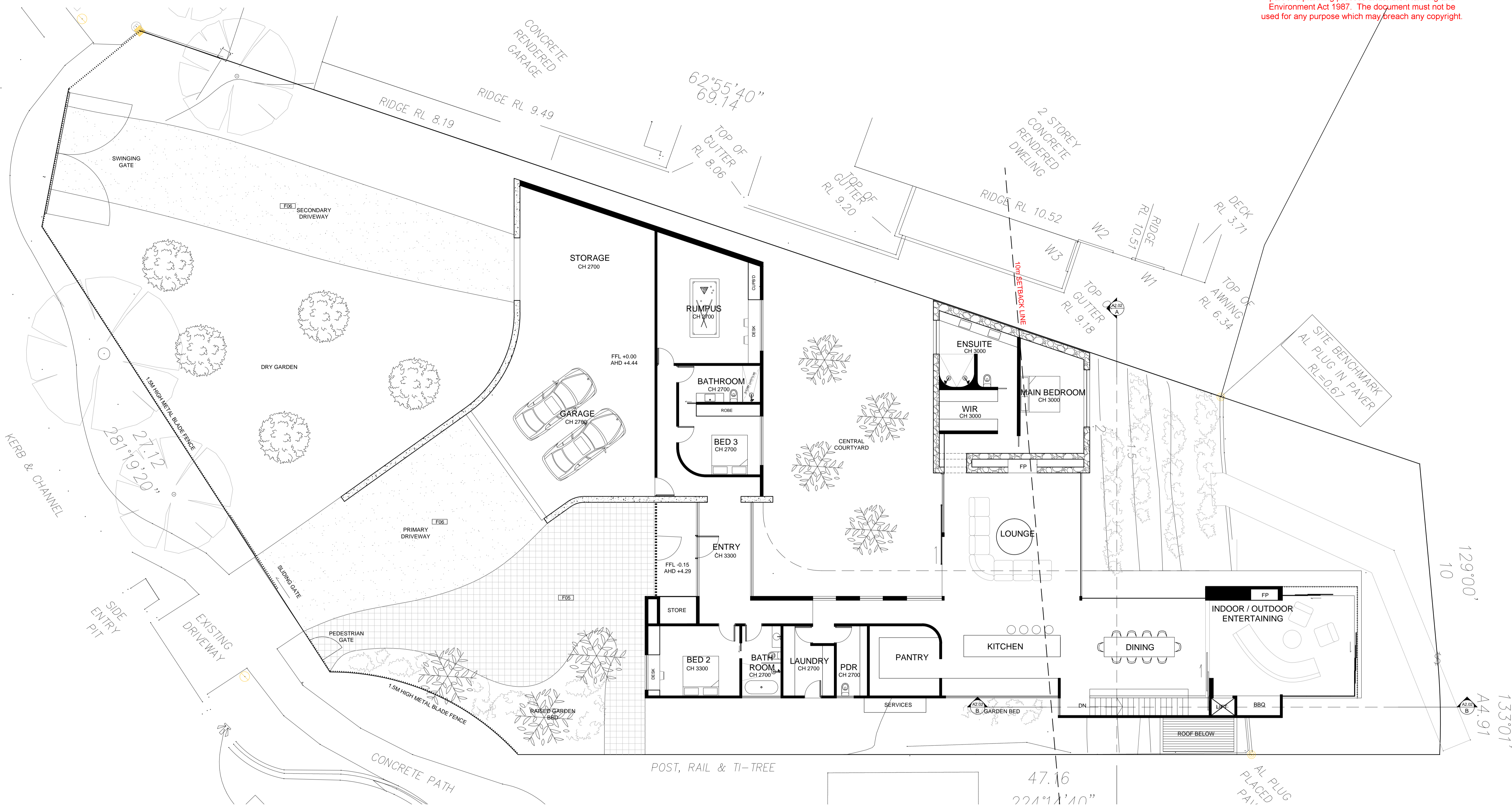
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EXISTING / DEMOLITION  
 PLAN

DRAWING NUMBER

**A0.02**

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 Printed 22/05/2024  
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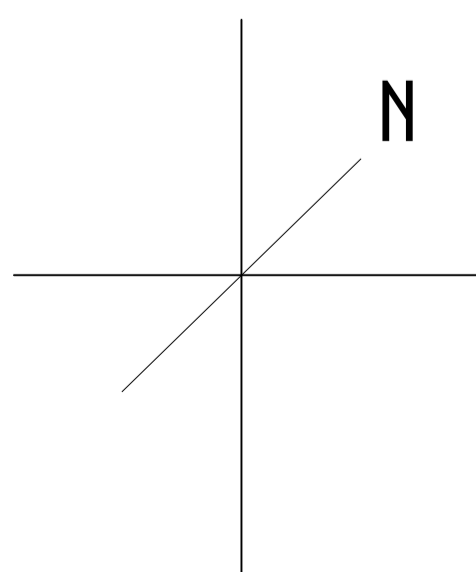
1 PROPOSED GROUND FLOOR PLAN  
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SPLINTER SOCIETY

ARCHITECTURE & HUMAN ENVIRONMENTS

150 CECIL ST, FITZROY  
 VIC 3065, AUSTRALIA

PROJECT NAME  
**PAYNESVILLE**



PRELIM: NOT FOR CONSTRUCTION

SITE ADDRESS:  
 2 ADMIRALS QUAY, PAYNESVILLE  
 VIC, 3880

PROJECT NUMBER: R23-186

DATE: 2/04/2024  
 STATUS: TOWN PLANNING

SCALE: 1:100 @ A1

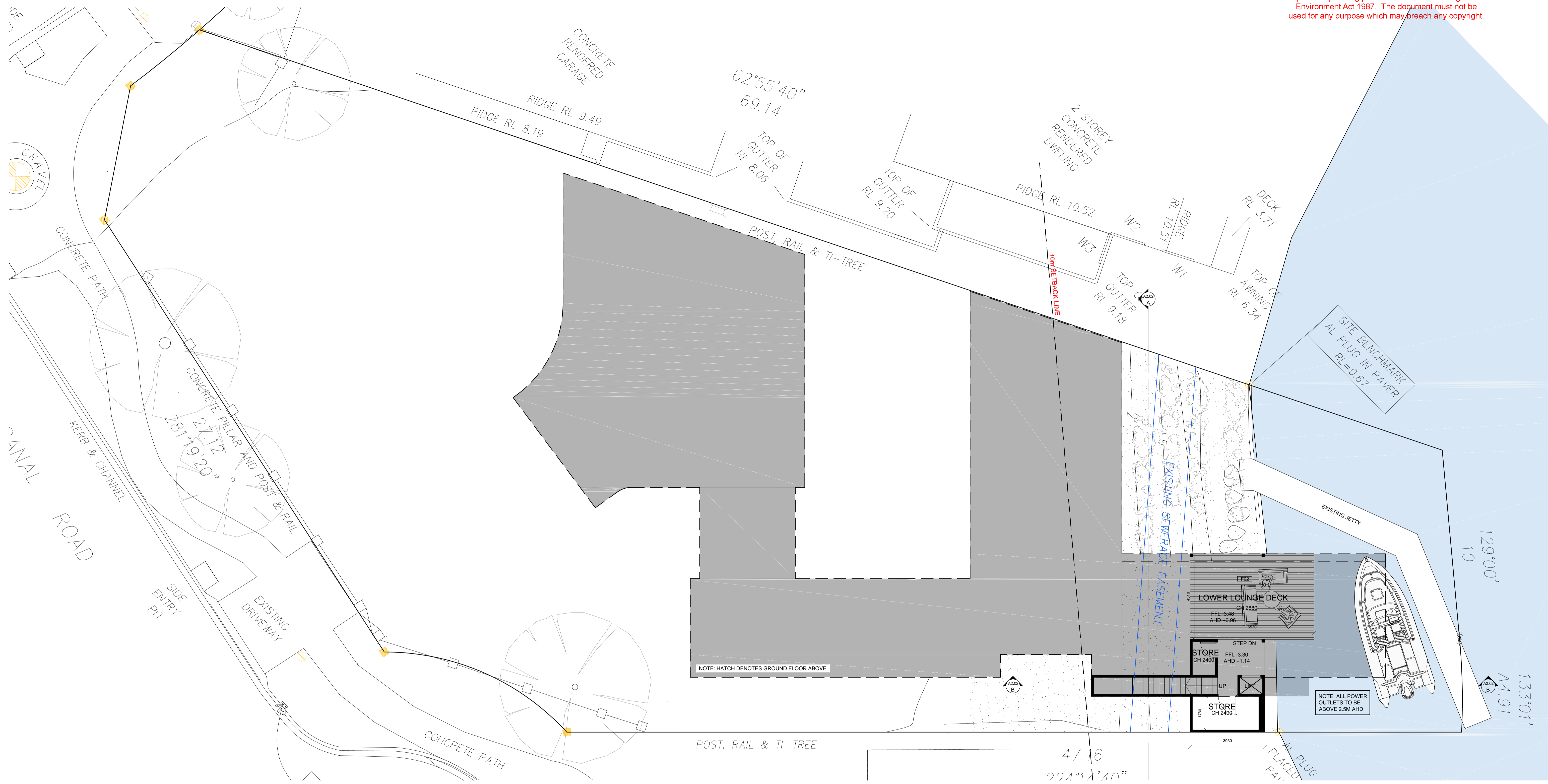
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PROPOSED GROUND FLOOR  
 PLAN

DRAWING NUMBER

**A1.00**

REVISION  
 Printed 22/05/2024  
 Page 39 of 44



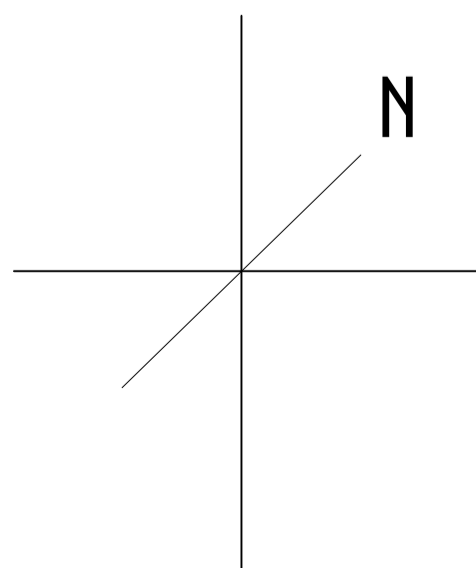
1 PROPOSED LOWER GROUND FLOOR PLAN  
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# SPLINTER SOCIETY

ARCHITECTURE & HUMAN ENVIRONMENTS

150 CECIL ST, FITZROY  
 VIC 3065, AUSTRALIA

PROJECT NAME  
**PAYNESVILLE**



**PRELIM: NOT FOR CONSTRUCTION**

SITE ADDRESS:  
 2 ADMIRALS QUAY, PAYNESVILLE  
 VIC, 3880

PROJECT NUMBER: R23-186

DATE: 2/04/2024  
 STATUS: TOWN PLANNING

SCALE: 1:100 @ A1

DRAWING TITLE

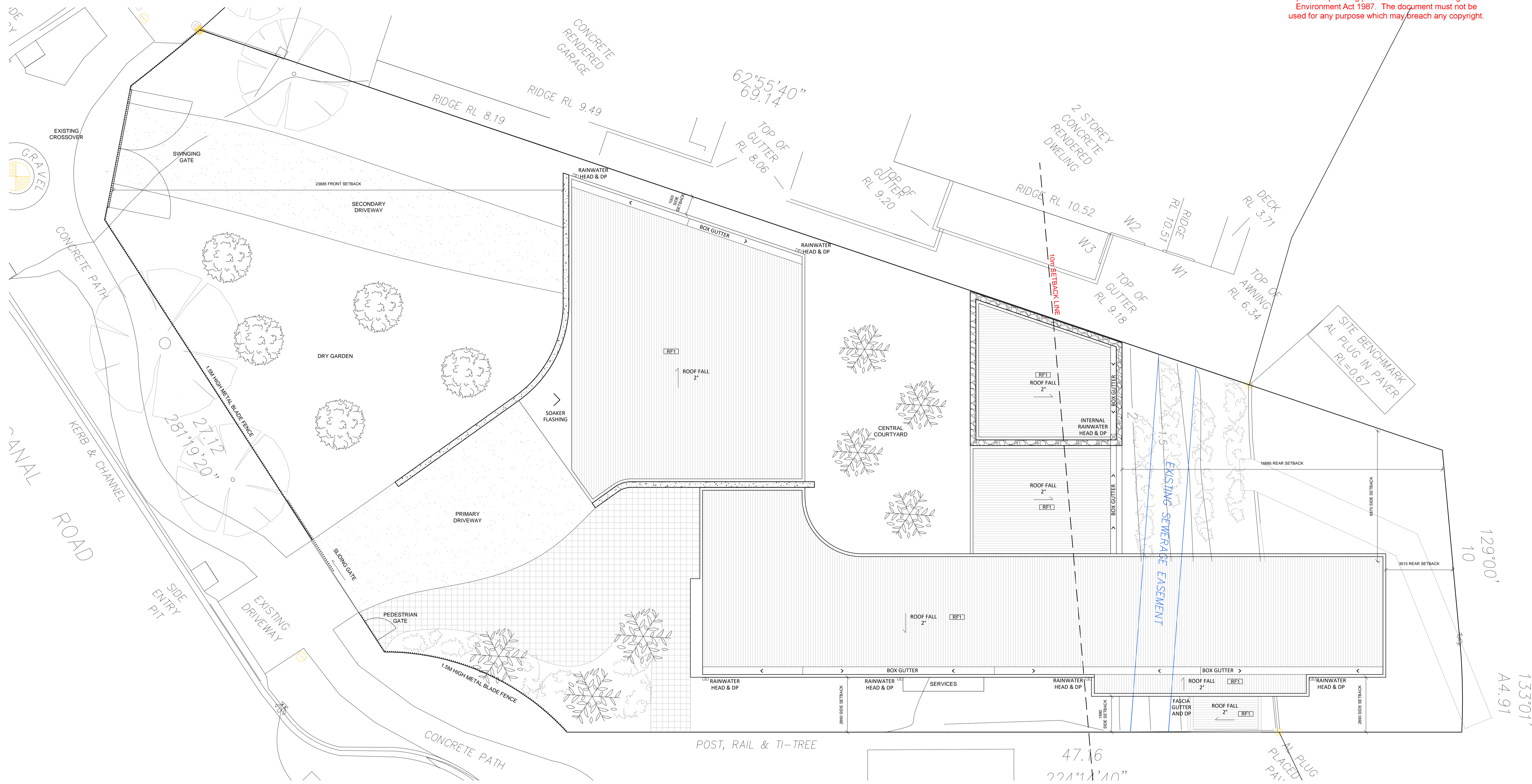
**PROPOSED LOWER GROUND  
 FLOOR PLAN**

DRAWING NUMBER

**A1.01**

REVISION  
 Printed 22/05/2024  
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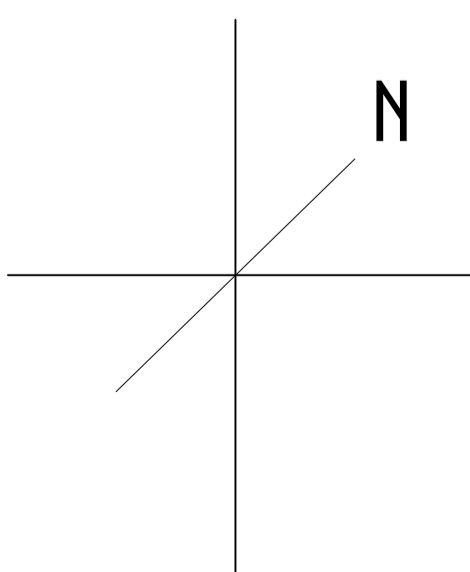
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**SPLINTER SOCIETY**

ARCHITECTURE & HUMAN ENVIRONMENTS

150 CECIL ST, FITZROY  
 VIC 3065, AUSTRALIA

PROJECT NAME  
**PAYNESVILLE**



**PRELIM: NOT FOR CONSTRUCTION**

SITE ADDRESS:  
 2 ADMIRALS QUAY, PAYNESVILLE  
 VIC, 3880

PROJECT NUMBER: R23-186

DATE: 2/04/2024  
 STATUS: TOWN PLANNING

SCALE: 1:100 @ A1

DRAWING TITLE

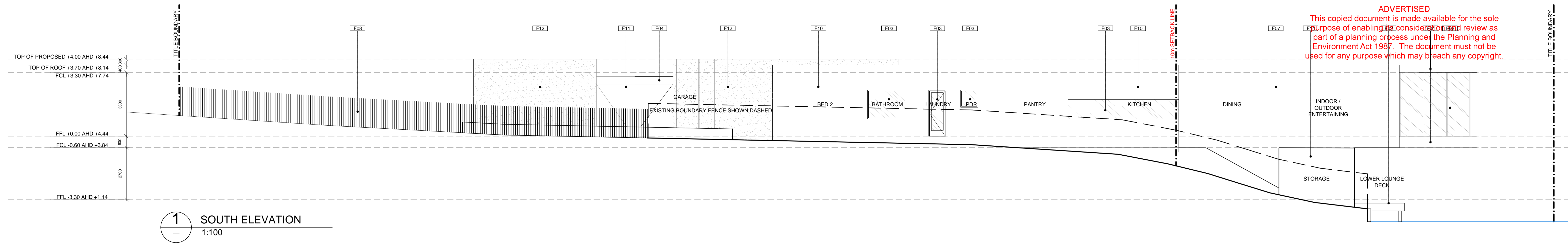
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DRAWING NUMBER

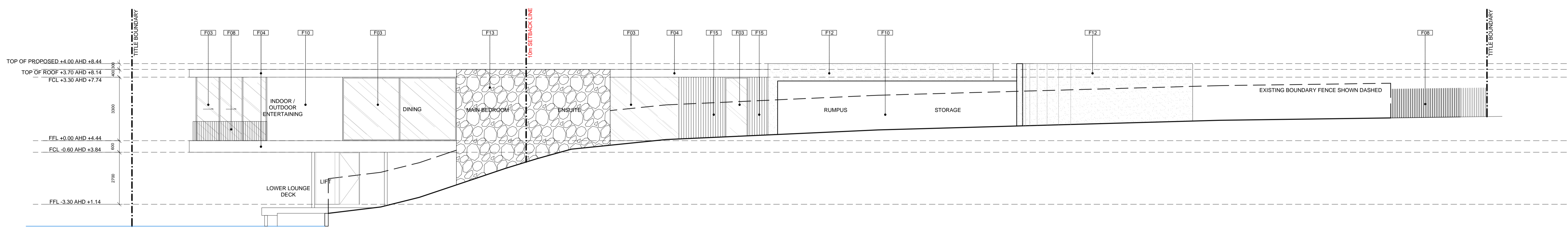
**A1.02**

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1 SOUTH ELEVATION  
 1:100

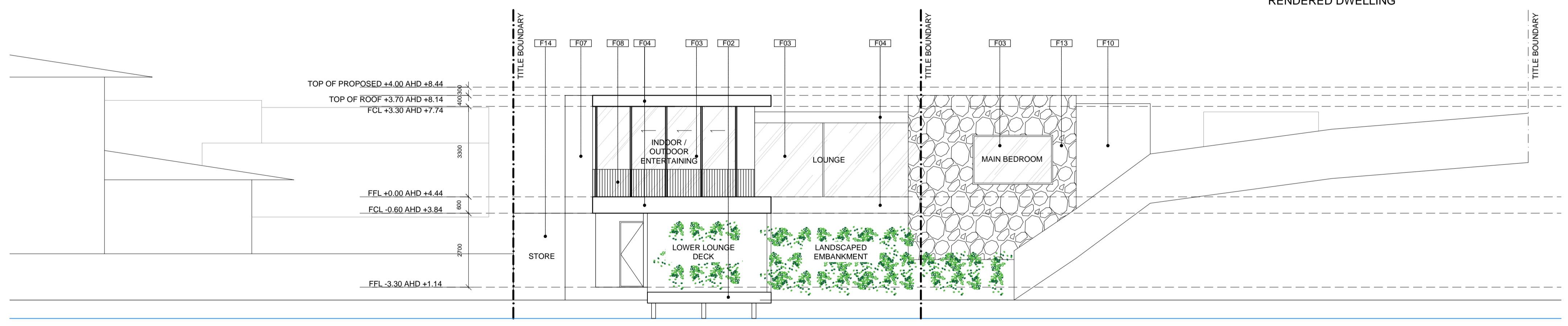


2 NORTH ELEVATION  
 1:100

#35 CANAL ROAD  
 2 STOREY DWELLING

SUBJECT SITE:  
 #2 ADMIRALS QUAY

#4 ADMIRALS QUAY  
 2 STOREY CONCRETE  
 RENDERED DWELLING



3 EAST ELEVATION  
 1:100

# SPLINTER SOCIETY

ARCHITECTURE & HUMAN ENVIRONMENTS

150 CECIL ST, FITZROY  
 VIC 3065, AUSTRALIA

PROJECT NAME  
**PAYNESVILLE**

SITE ADDRESS:  
 2 ADMIRALS QUAY, PAYNESVILLE  
 VIC, 3880

PROJECT NUMBER: R23-186

DATE: 2/04/2024  
 STATUS: TOWN PLANNING

SCALE: 1:100 @ A1

DRAWING TITLE  
**PROPOSED ELEVATIONS**

DRAWING NUMBER  
**A2.00**

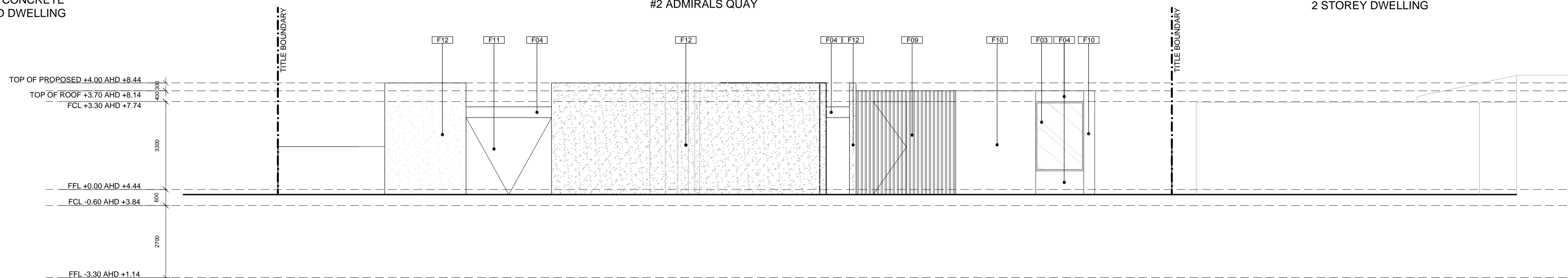
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**PRELIM: NOT FOR CONSTRUCTION**

#4 ADMIRALS QUAY  
 2 STOREY CONCRETE  
 RENDERED DWELLING

SUBJECT SITE:  
 #2 ADMIRALS QUAY

#35 CANAL ROAD  
 2 STOREY DWELLING

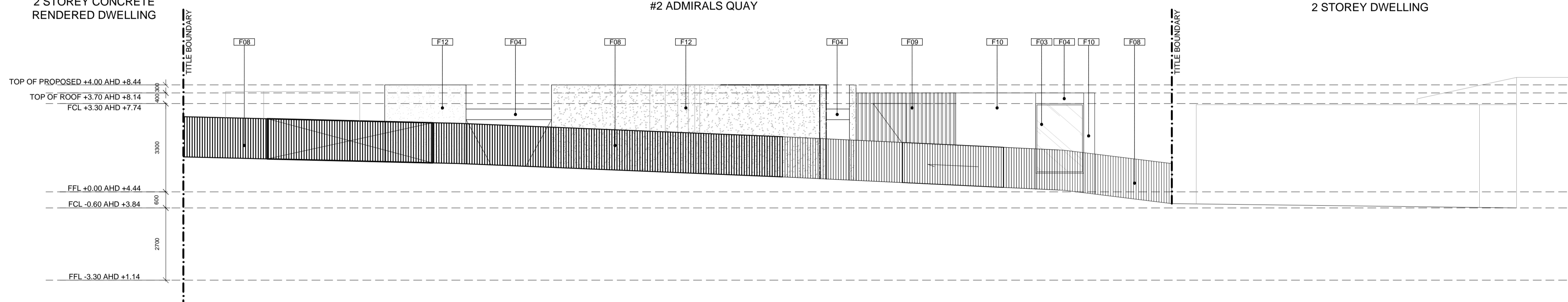


1 WEST ELEVATION  
 1:100

#4 ADMIRALS QUAY  
 2 STOREY CONCRETE  
 RENDERED DWELLING

SUBJECT SITE:  
 #2 ADMIRALS QUAY

#35 CANAL ROAD  
 2 STOREY DWELLING



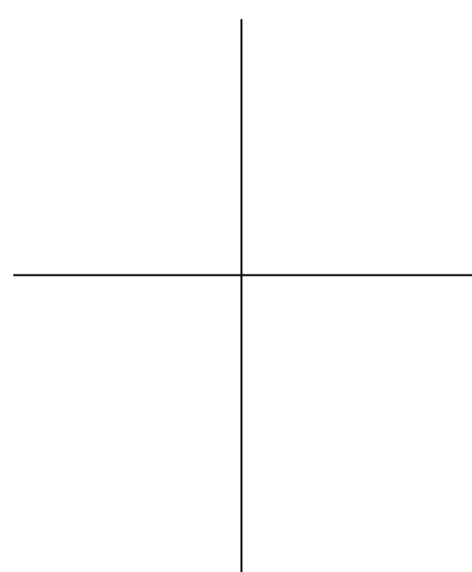
2 STREET ELEVATION  
 1:100

# SPLINTER SOCIETY

ARCHITECTURE & HUMAN ENVIRONMENTS

150 CECIL ST, FITZROY  
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 VIC, 3880

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DATE: 2/04/2024  
 STATUS: TOWN PLANNING

SCALE: 1:100 @ A1

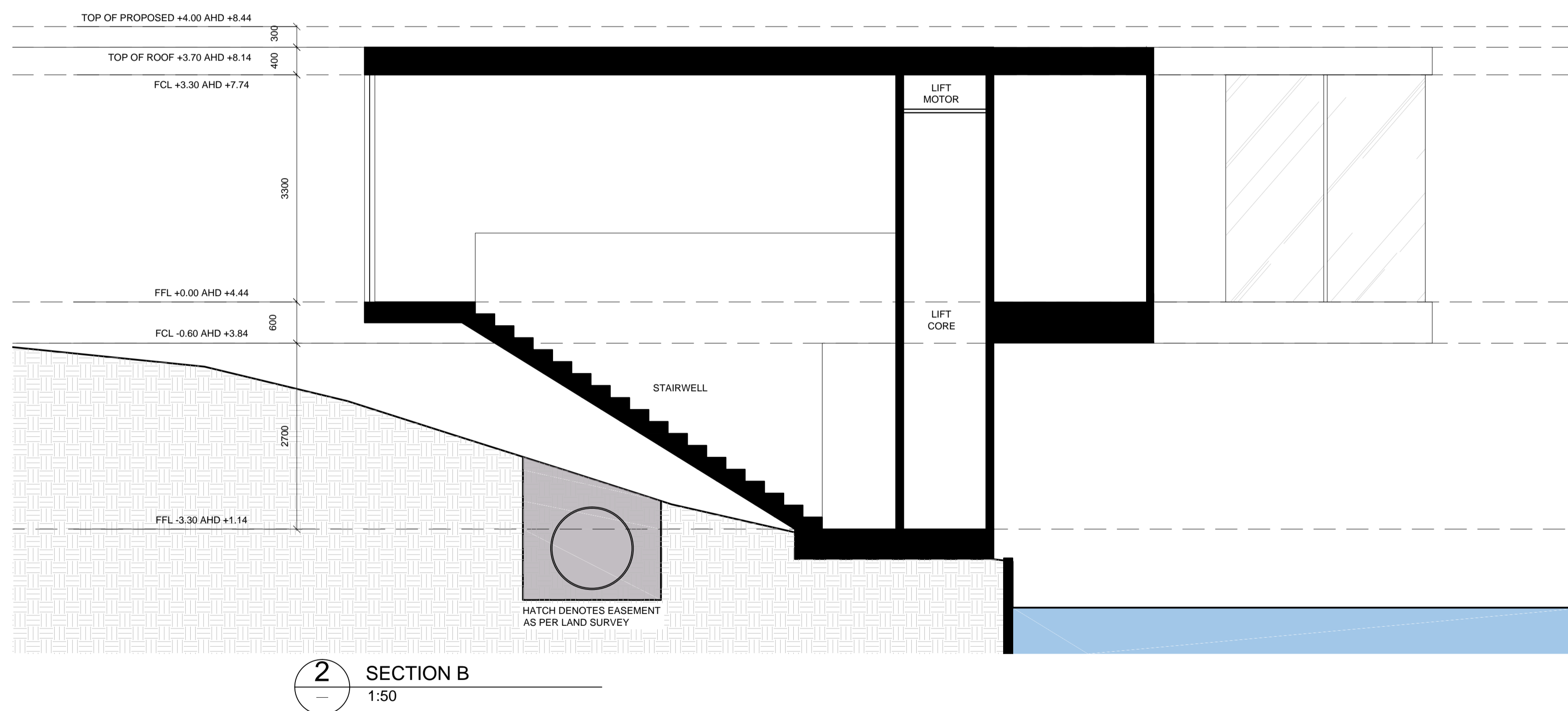
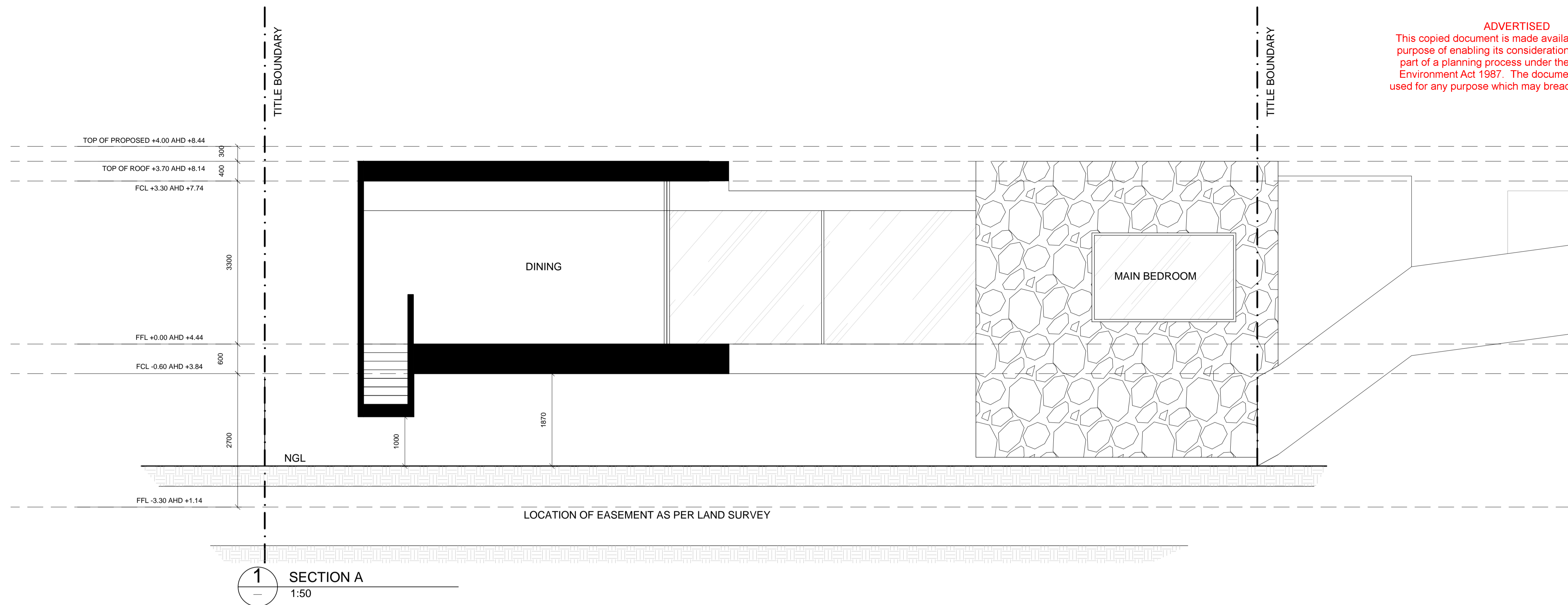
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**PROPOSED ELEVATIONS**

DRAWING NUMBER

**A2.01**

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# SPLINTER SOCIETY

ARCHITECTURE & HUMAN ENVIRONMENTS

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 VIC, 3880

PROJECT NUMBER: R23-186

DATE: 2/04/2024  
 STATUS: TOWN PLANNING

SCALE: 1:50 @ A1

DRAWING TITLE  
**PROPOSED SECTIONS**

DRAWING NUMBER  
**A2.02**

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