

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	23 Lanes Road LUCKNOW 3875 Lot: 1 PS: 616256
The application is for a permit to:	Use and Development of a dwelling and outbuilding
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2024.131.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to applicant giving notice
---	---

If you object, the Responsible Authority will tell you its decision.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958 Page 1 of 1

VOLUME 11427 FOLIO 513

Security no : 124113959376R
Produced 05/04/2024 03:43 PM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 616256E.
PARENT TITLE Volume 09653 Folio 212
Created by instrument PS616256E 14/06/2013

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AG088137D 17/09/2008

DIAGRAM LOCATION

SEE PS616256E FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AX688831S (E)	CONV PCT & NOM ECT TO LC	Completed	31/01/2024
AX691253P (E)	TRANSFER	Registered	31/01/2024
AX691254M (E)	MORTGAGE	Registered	31/01/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 23 LANES ROAD LUCKNOW VIC 3875

ADMINISTRATIVE NOTICES

NIL

eCT Control 15940N COMMONWEALTH BANK OF AUSTRALIA
Effective from 31/01/2024

DOCUMENT END



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STAGE No: LTO USE ONLY

EDITION 1



PLAN OF SUBDIVISION

LOCATION OF LAND

PARISH: WY YUNG
 TOWNSHIP: —
 SECTION: —
 CROWN ALLOTMENT: 45 (PART)
 CROWN PORTION: —
 TITLE REFERENCES: VOL 09653 FOL 212
 LAST PLAN REFERENCE: LOT 2 LP201594N
 POSTAL ADDRESS: 670 LANES ROAD,
 (At time of subdivision) BAIRNSDALE 3875
 MGA94 CO-ORDINATES: E 557 550
 (Of approx. centre of land in plan) N 5815 420 ZONE: 55

COUNCIL CERTIFICATION AND ENDORSEMENT

COUNCIL NAME: EAST GIPPSLAND SHIRE COUNCIL REF: 105|2008|CAT

1. This plan is certified under Section 6 of the Subdivision Act 1988.
2. This plan is certified under Section 11(7) of the Subdivision Act 1988. Date of original certification under Section 6 / /
3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.

OPEN SPACE

- (i) A requirement for public open space under Section 18 Subdivision Act 1988 has / has not been made.
- (ii) The requirement has been satisfied.
- (iii) The requirement is to be satisfied in stage —
 Council Delegate *Richard Venn*
 Council seat
 Date 1 / 07 / 2008
 Re-certified under Section 11(7) of the Subdivision Act 1988 —
 Council Delegate
 Council seat
 Date / /

VESTING OF ROADS AND/OR RESERVES

IDENTIFIER	COUNCIL/BODY/PERSON
NIL	NIL

NOTATIONS

STAGING This is / is not a staged subdivision
 Planning Permit No 36/2008/P
 DEPTH LIMITATION DOES NOT APPLY

SURVEY: THIS PLAN IS / IS NOT BASED ON SURVEY
 THIS SURVEY IS CONNECTED TO PERMANENT MARK No(s) 12 & 14

EASEMENT INFORMATION

LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	POWERLINE	SEE DIAG.	THIS PLAN - SECTION 88 OF THE ELECTRICITY INDUSTRY ACT 2000	SPI ELECTRICITY PTY LTD

LTO USE ONLY

STATEMENT OF COMPLIANCE / EXEMPTION STATEMENT

RECEIVED
 DATE 13/ 06 /13

LTO USE ONLY

PLAN REGISTERED
 TIME 2:25pm
 DATE 14/ 06 /13

G Venn
 Assistant Registrar of Titles

SHEET 1 OF 2 SHEETS

JON BRODZIK SURVEYS P/L
 565 BAIRNSDALE-DARGO ROAD
 BAIRNSDALE, VIC, 3875 MOB 0448 571 322
 PH 03 5157 1321 jon.brodzik@wideband.net.au

LICENSED SURVEYOR JON MARK BRODZIK
 SIGNATURE *JMBrodzik* DATE 23 / 5 / 2008
 REF 134 VERSION 1

Richard Venn
 DATE 1 / 07 / 2008
 COUNCIL DELEGATE SIGNATURE

ORIGINAL SHEET SIZE A3

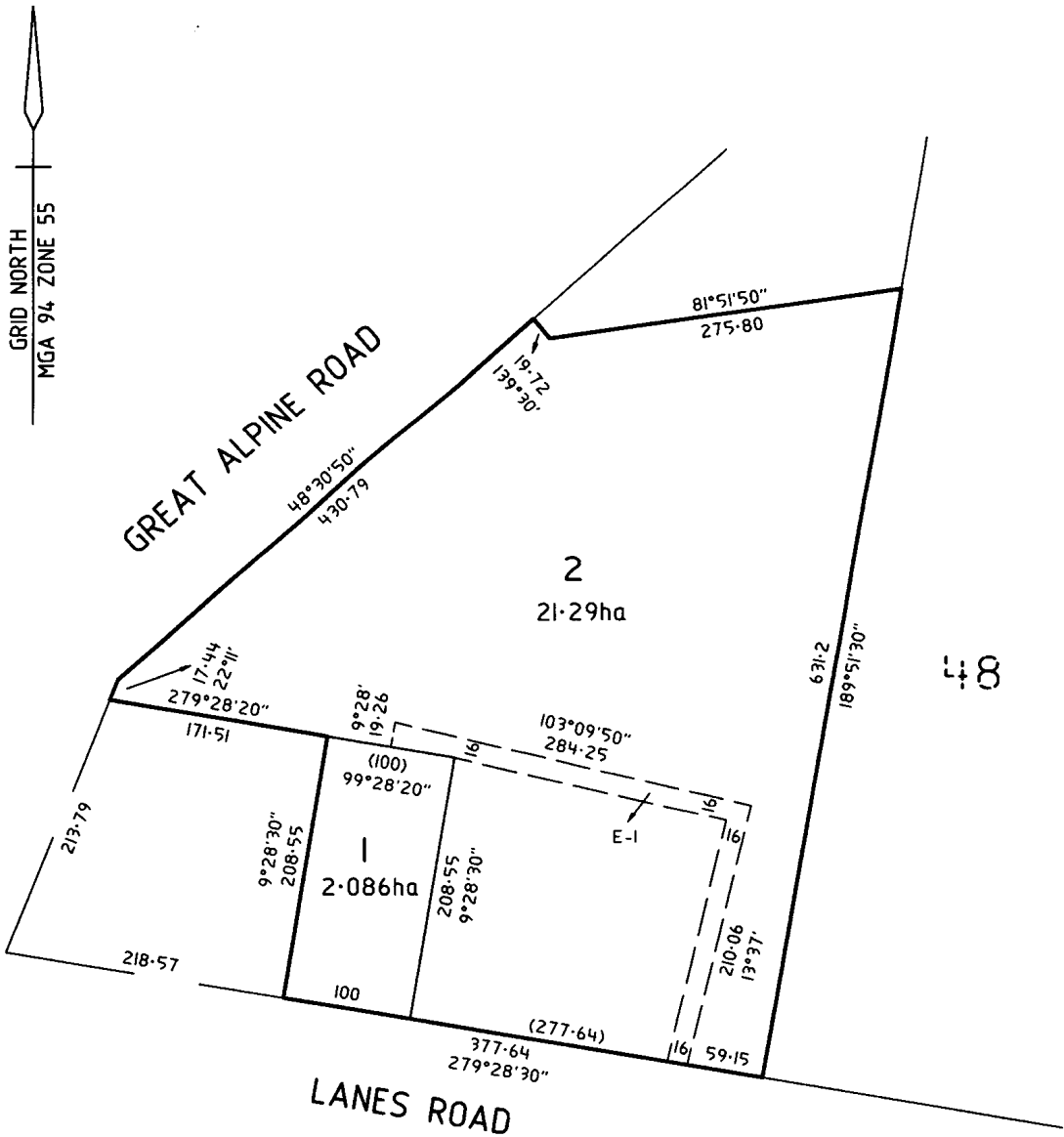
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PLAN OF SUBDIVISION

STAGE No. PLAN NUMBER

PS 616256E



JON BRODZIK SURVEYS P/L
 565 BAIRNSDALE-DARGO ROAD
 BAIRNSDALE, VIC, 3875 MOB 0448 571 322
 PH 03 5157 1321 jon.brodzik@wideband.net.au

SHEET 2 OF 2 SHEETS

ORIGINAL	SCALE	40 0 40 80 160 240
SHEET SIZE	SCALE	1:4000
A3		LENGTHS ARE IN METRES

LICENSED SURVEYOR JON MARK BRODZIK
 SIGNATURE *JM Brodzik* DATE 23/5/2008
 REF 134 VERSION 1

Richard Barry
 DATE **Printed 9/05/2024**
 COUNCIL DELEGATE SIGNATURE



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17/09/2008 \$99.90 173



Lodged by: Wards Barristers & Solicitors Pty Ltd
DX 82203 Bairnsdale
Code: 3556G

VICTORIA APPLICATION BY A RESPONSIBLE AUTHORITY under Section 181
Planning and Environment Act 1987 for **ENTRY OF A MEMORANDUM
OF AGREEMENT** under Section 173 of the Act.

The Responsible Authority under the Planning Scheme having entered into an Agreement with the parties named for the land described requires that a memorandum of the Agreement be entered on the Certificate(s) of Title to the land referred to.

LAND
Certificate of Title Volume 9653 Folio 212

ADDRESS OF THE LAND
670 Lanes Road, Bairnsdale 3875

RESPONSIBLE AUTHORITY
East Gippsland Shire Council, 273 Main Street, Bairnsdale 3875

PLANNING SCHEME
East Gippsland Planning Scheme

AGREEMENT DATE
8 / 9 / 2008

AGREEMENT WITH
Neil John Strobridge and Shirley Mary Strobridge

A copy of the Agreement is attached to this Application.

Signature for the Responsible Authority *Aaron Hollow*

Name of Officer AARON HOLLOW - MANAGER DEVELOPMENT

Date 10/09/2008

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Date 08/09/2008



Agreement under Section 173 of the Planning and Environment Act 1987

Subject Land:
670 Lanes Road, Bairnsdale

East Gippsland Shire Council
and

NEIL JOHN STROBRIDGE &
SHIRLEY MARY STROBRIDGE

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AG088137D



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Agreement under Section 173 of the Planning and Environment Act 1987

DATE 8 / 9 /2008

AG088137D



BETWEEN

EAST GIPPSLAND SHIRE COUNCIL
of Corporate Centre, 273 Main Street, Bairnsdale

(Council)

AND

**NEIL JOHN STROBRIDGE &
SHIRLEY MARY STROBRIDGE**
of 670 Lanes Road, Bairnsdale

(Owner)

RECITALS

- A. Council is the Responsible Authority pursuant to the Act for the Planning Scheme.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land.
- C. On 13th May, 2008 Council issued Planning Permit No. 36/2008/P allowing the Subject Land to be subdivided into two Lots in accordance with a plan to be endorsed under condition 4 of the Planning Permit (the Endorsed Plan). Condition 4 of the Planning Permit requires the Owner to enter into this Agreement to provide for the matters set out in that condition. A copy of the Planning Permit is available for inspection at Council offices during normal business hours upon giving the Council reasonable notice.
- D. Condition 4 of the Planning Permit provides that:

“Before the issue of a Statement of Compliance, the owner of the land must enter into an agreement with the responsible authority in accordance with Section 173 of the Planning & Environment Act 1987, which will covenant that:

- The owner agrees that once the subdivision authorised by Planning Permit 36/2008/P is registered, the Subject Land may not be further subdivided so as to create an additional lot.

The agreement will bind the applicant as the owner and shall run with the land so that all successors in title are bound by the agreement. This agreement will be prepared by the applicant, at the applicants cost and to the satisfaction of the responsible authority, and shall be registered on the title in accordance with Section 181 of the Planning and Environment Act 1987.”

- E. As at the date of this Agreement, the Subject Land is not encumbered by a Mortgage.
- F. The parties enter into this Agreement:
 - F.1 to give effect to the requirements of the Planning Permit; and

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F.2 to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

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THE PARTIES AGREE

1. DEFINITIONS

In this Agreement the words and expressions set out in this clause have the following meanings unless the context admits otherwise:

Act means the *Planning and Environment Act 1987*.

Agreement means this agreement and any agreement executed by the parties expressed to be supplemental to this agreement.

Endorsed Plan means the plan endorsed with the stamp of Council from time to time as the plan which forms part of the Planning Permit. A copy of the Endorsed Plan is available for inspection at Council offices during normal business hours upon giving the Council reasonable notice.

lot means a lot on the Endorsed Plan.

Mortgagee means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as Mortgagee of the Subject Land or any part of it.

Owner means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple of the Subject Land or any part of it and includes a Mortgagee-in-possession.

party or parties means the Owner and Council under this Agreement as appropriate.

Planning Scheme means the East Gippsland Planning Scheme and any other planning scheme that applies to the Subject Land.

Subject Land means the land situated at 670 Lanes Road, Bairnsdale being the land referred to in Certificate of Title Volume 9653 Folio 212 and any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.

2. INTERPRETATION

In this Agreement unless the context admits otherwise:

2.1 The singular includes the plural and vice versa.

2.2 A reference to a gender includes a reference to each other gender.

2.3 A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.

2.4 If a party consists of more than one person this Agreement binds them jointly and each of them severally.

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- 2.5 A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
- 2.6 A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.7 The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
- 2.8 The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land provided that if the Subject Land is subdivided, this Agreement must be read and applied so that each subsequent owner of a lot is only responsible for those covenants and obligations which relate to that owner's lot.

3. SPECIFIC OBLIGATIONS OF THE OWNER

The Owner agrees that once the subdivision authorised by the Planning Permit is registered, the Subject Land may not be further subdivided in any way so as to create an additional lot.

4. FURTHER OBLIGATIONS OF THE OWNER

4.1 Notice and Registration

The Owner further covenants and agrees that the Owner will bring this Agreement to the attention of all prospective purchasers, lessees, mortgagees, chargees, transferees and assigns.

4.2 Further actions

The Owner further covenants and agrees that:

- 4.2.1 the Owner will do all things necessary to give effect to this Agreement;
- 4.2.2 the Owner will make application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with Section 181 of the Act and do all things necessary to this to be done including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator to enable the recording to be made in the Register under that section.

4.3 Council's Costs to be Paid

The Owner further covenants and agrees that the Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.

AG088137D



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5. AGREEMENT UNDER SECTION 173 OF THE ACT

Council and the Owner agree that without limiting or restricting the respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made as a Deed pursuant to Section 173 of the Act, and the obligations of the Owner under this Agreement are obligations to be performed by the Owner as conditions subject to which the Subject Land may be used and developed pursuant to the Planning Permit.

6. OWNER'S WARRANTIES

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

7. SUCCESSORS IN TITLE

Without limiting the operation or effect that this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- 7.1 give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- 7.2 execute a deed agreeing to be bound by the terms of this Agreement.

8. GENERAL MATTERS

8.1 Notices

A notice or other communication required or permitted to be served by a party on another party must be in writing and may be served:

- 8.1.1 by delivering it personally to that party;
- 8.1.2 by sending it by prepaid post addressed to that party at the address set out in this Agreement or subsequently notified to each party from time to time; or
- 8.1.3 by sending it by facsimile provided that a communication sent by facsimile shall be confirmed immediately in writing by the sending party by hand delivery or prepaid post.

8.2 Service of Notice

A notice or other communication is deemed served:

- 8.2.1 if delivered, on the next following business day;
- 8.2.2 if posted, on the expiration of 7 business days after the date of posting; or

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8.2.3 if sent by facsimile, on the next following business day unless the receiving party has requested retransmission before the end of that business day.

8.3 No Waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

8.4 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

8.5 No Fettering of Council's Powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

9. COMMENCEMENT OF AGREEMENT

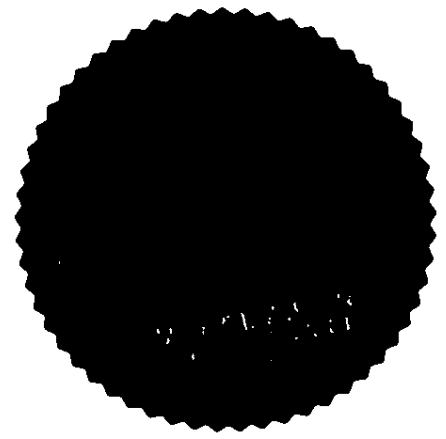
Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

SIGNED, SEALED AND DELIVERED as a Deed by the parties on the date set out at the commencement of this Agreement.

The Common Seal of the East Gippsland Shire Council was hereunto affixed on the 8th day of September, in the year 2008 in the presence of:

..... Chief Executive

..... Witness
Jan Philip



AG088137D



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SIGNED, SEALED AND DELIVERED
by the said **NEIL JOHN STROBRIDGE**
in the presence of:

] NS
] x *N.J. Strobridge*
]

Witness. x
[Signature]

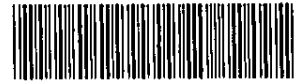
SIGNED, SEALED AND DELIVERED
by the said **SHIRLEY MARY STROBRIDGE**
in the presence of:

] SS
] x *S.M. Strobridge*
]

Witness. x
[Signature]

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APPLICATION FOR PLANNING PERMIT

USE AND DEVELOPMENT OF A DWELLING AND OUTBUILDING

23 LANES ROAD, LUCKNOW
JACINTA KOELEWYN
REF: 24040

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APPENDIX

A	Copy of Title and Plan of Subdivision
B	Proposed Development Plans
C	Land Capability Assessment

DOCUMENT REVISION

1	Draft Report	DAC	16/04/2024
2	Final Report	CMC	20/04/2024

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park lanes
ESTATE



1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of Jacinta Koelewyn, the owner of land and the applicant for this planning permit application for the development of a dwelling and outbuilding at 23 Lanes Road, Lucknow.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

Address	23 Lanes Road, Lucknow
Site Description	Lot 1 on Plan of Subdivision 616256E
Title Particulars	Vol 11427 Fol 513
Site Area	2.086 hectares
Proposal	Use and Development of a Dwelling and Outbuilding
Planning Scheme	East Gippsland Planning Scheme
Zone	Rural Living Zone – Schedule 3
Overlays	Erosion Management Overlay
Aboriginal Cultural Heritage	Not identified as an area of Cultural Heritage Sensitivity
Permit Triggers	Clause 35.03-1 Rural Living Zone – Use Clause 35.03-4 Rural Living Zone – Building and Works
Notice	Exempt from notice at Clause 44.01-7
Referrals	No referrals required
Work Authority Licence	Not Applicable
Planning Scheme requirements	Municipal Planning Strategy – Clause 02 Settlement – Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Planning Policy Framework – Clause 10 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Built environment and heritage – Clause 15 Housing – Clause 16 Rural Living Zone – Clause 35.03 Decision guidelines – Clause 65

2. SITE CONTEXT

Site

The subject site is located at 23 Lanes Road, Lucknow. A copy of the Title and Plan of Subdivision is contained in **Appendix A**. The title is affected by Section 173 Agreement AG088137D.

Agreement AG088137D

This agreement provides a restriction on further subdivision of the lot.

The site is rectangular in shape with a total area of approximately 2.086 hectares and is currently vacant. The subject site is relatively level and contains scattered vegetation predominantly concentrated along the boundaries.

Details of the site are depicted in the photographs provided below.

Access is existing along the southern boundary via a grassed crossover and driveway directly from Lanes Road. Lanes Road is a bitumen sealed road with kerb channel along the southern side and grassed swale drains along the northern side. Lanes Road traverses in an east to west direction adjoining the southern boundary of the subject site.

The subject site in relation to Bairnsdale as well as the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2**.

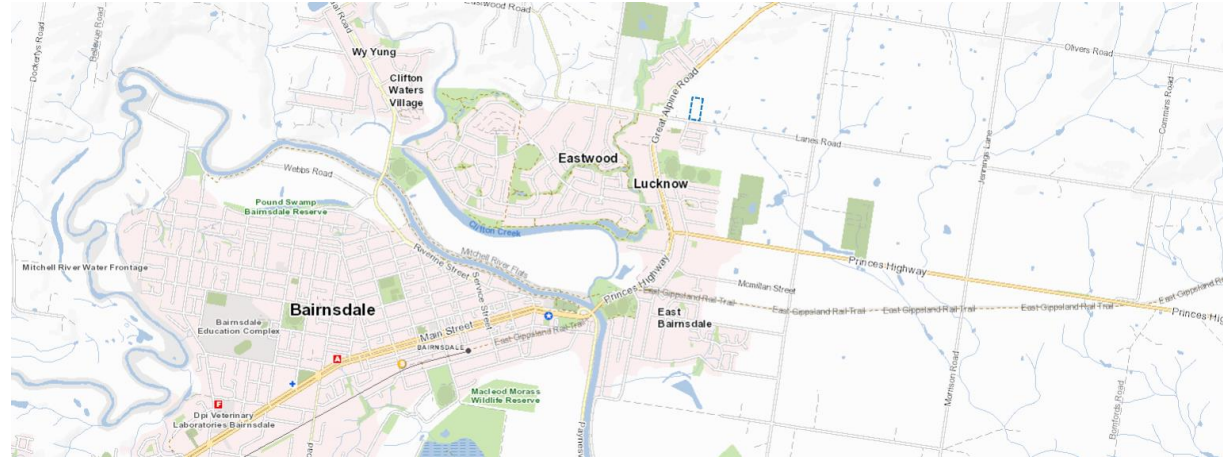


Figure 1 – Locality Plan – 23 Lanes Road, Lucknow (source: mapshare.vic.gov.au)

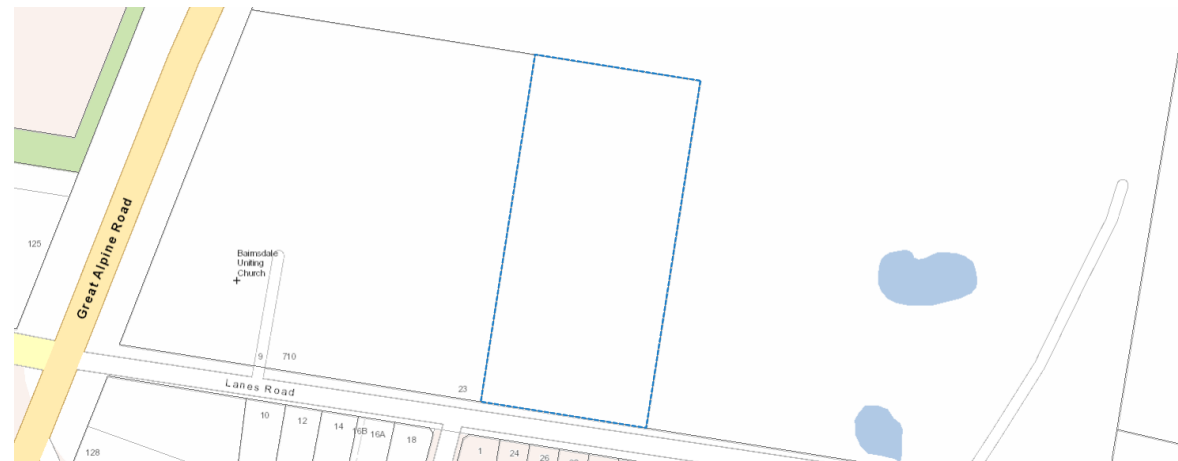


Figure 2 – Locality Plan – 23 Lanes Road, Lucknow (source: mapshare.vic.gov.au)

Surrounds

The land in this locality is a combination of developed residential land and rural living land containing residential development.

The boundaries of the site are defined by rural post and wire fencing.

Adjoining the northern and eastern boundary of the subject site is vacant land. Adjoining the southern boundary is Lanes Road and residential development. Adjoining the western boundary is an existing dwelling and Bairnsdale Uniting Church.

The site is located in Lucknow, to the east of Bairnsdale. Bairnsdale is the main commercial city of East Gippsland, is located on the Mitchell River and is built around the Princes Highway. The Princes Highway through the main centre of Bairnsdale is a large boulevard featuring trees, garden areas, a rotunda and many other public amenities. The Princes Highway extends through to Lakes Entrance and beyond.

The subject site in relation to Bairnsdale is shown in the aerial photograph below.



Photograph 1 - Aerial Photograph of the subject site and surrounding land
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Photograph 2 – Subject site at 23 Lanes Road, Lucknow.



Photograph 4 – Subject site facing northwest.



Photograph 6 – Subject site facing southwest showing proposed dwelling location.



Photograph 3 – Existing driveway access to subject site.



Photograph 5 – Subject site facing southwest.



Photograph 7 – Subject site facing north showing proposed dwelling location.



Photograph 8 – Subject site facing west along southern boundary.



Photograph 10 – Subject site facing east along the southern boundary.



Photograph 12 – Neighbouring property adjoining the western boundary at 21 Lanes Road, Lucknow.



Photograph 9 – Subject site facing south along western boundary.



Photograph 11 – Subject site facing northeast along eastern boundary.



Photograph 13 – Property directly opposite the subject site at 23 Lanes Road, Lucknow



Photograph 14 – Lanes Road facing west.



Photograph 16 – Intersection at Lanes Road and Oakes Grange.



Photograph 15 – Lanes Road facing east.

3. THE PROPOSAL

This application seeks approval for the use and development of a dwelling and outbuilding. The proposed development plans are contained in **Appendix B**.

The proposed dwelling will be located in the northern portion of the subject site with a setback of approximately 33.95 metres to the eastern boundary, 41 metres to the western boundary and 50 metres to the northern boundary.

The proposed dwelling will have a total building footprint of approximately 303.48m² and will be single storey. The overall height of the dwelling will be approximately 5 metres.

The proposed outbuilding will be located to the southeast of the proposed dwelling and will have a setback of 4 metres to the eastern boundary. The outbuilding will have a total building footprint of approximately 192m² being 16 metres long by 12 metres wide with an overall height of 5.15 metres. The proposed outbuilding will include 2 roller doors, a personal access door and a glass sliding door. The finished material will include metal sheeting. Colours have not been finalised.

Vehicular access to the site will be provided via a gravel driveway directly from Lanes Road

along the southern boundary and will extend to the proposed dwelling and outbuilding as indicated on the proposed plans.

The proposed dwelling will connect to all available services including reticulated water, electricity, telecommunications and the existing road network.

Wastewater will be treated and retained on site via a subsoil absorption trenches and a standard septic system as recommended within the Land Capability Assessment contained in **Appendix C**.

Drainage from the proposed development will be directed to the legal point of discharge to the satisfaction of the responsible authority.

Some earthworks will be required to create a level building surface however will not exceed 1 metre in depth.

No vegetation is required to be removed to facilitate the proposed development.



Figure 3 – Northern Elevation – Eureka Garages and Sheds

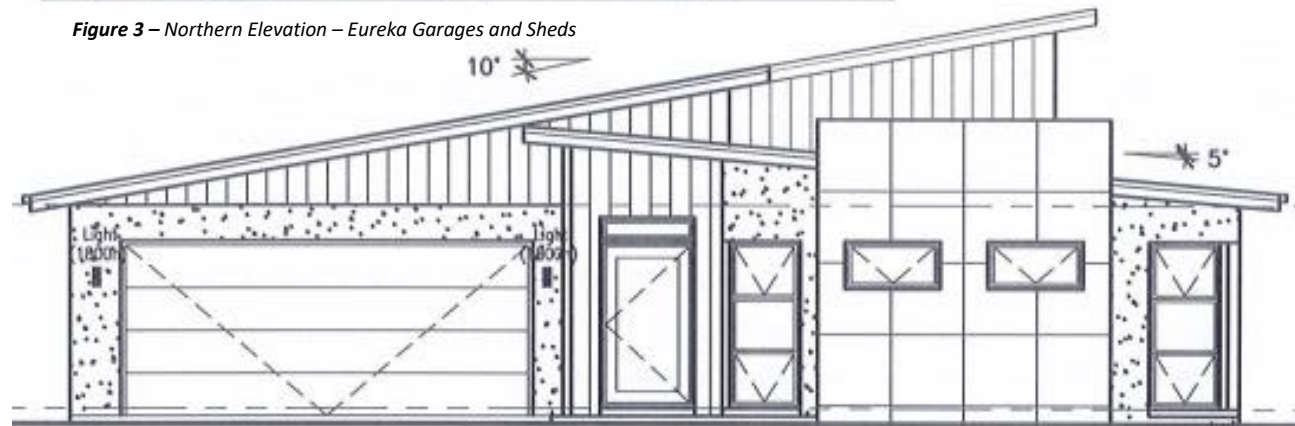


Figure 4 – Western Elevation – GJ Gardner Homes

4. ZONES AND OVERLAYS

Rural Living Zone – Schedule 3

The purpose of the Rural Living Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for residential use in a rural environment.
- To provide for agricultural land uses which do not adversely affect the amenity of surrounding land uses.
- To protect and enhance the natural resources, biodiversity and landscape and heritage values of the area.
- To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.

An extract of the Rural Living Zone Map is provided to the right in **Figure 5**.

Schedule 3 of Clause 35.03 provides the minimum area for which no permit is required to use land for a dwelling is 8 hectares. The subject site is under 8 hectares and as such a permit is required for the use.

Clause 35.03-4 provides a permit is required for a building within a setback and within 100

metres of a dwelling not in the same ownership. The proposed outbuilding will be located within 10 metres of a boundary and the proposed dwelling will be within 100 metres of a dwelling not in the same ownership.

As such a permit is required for the use and development of a dwelling and outbuilding under the provisions of the Rural Living Zone. The relevant decision guidelines are addressed below in Section 5.

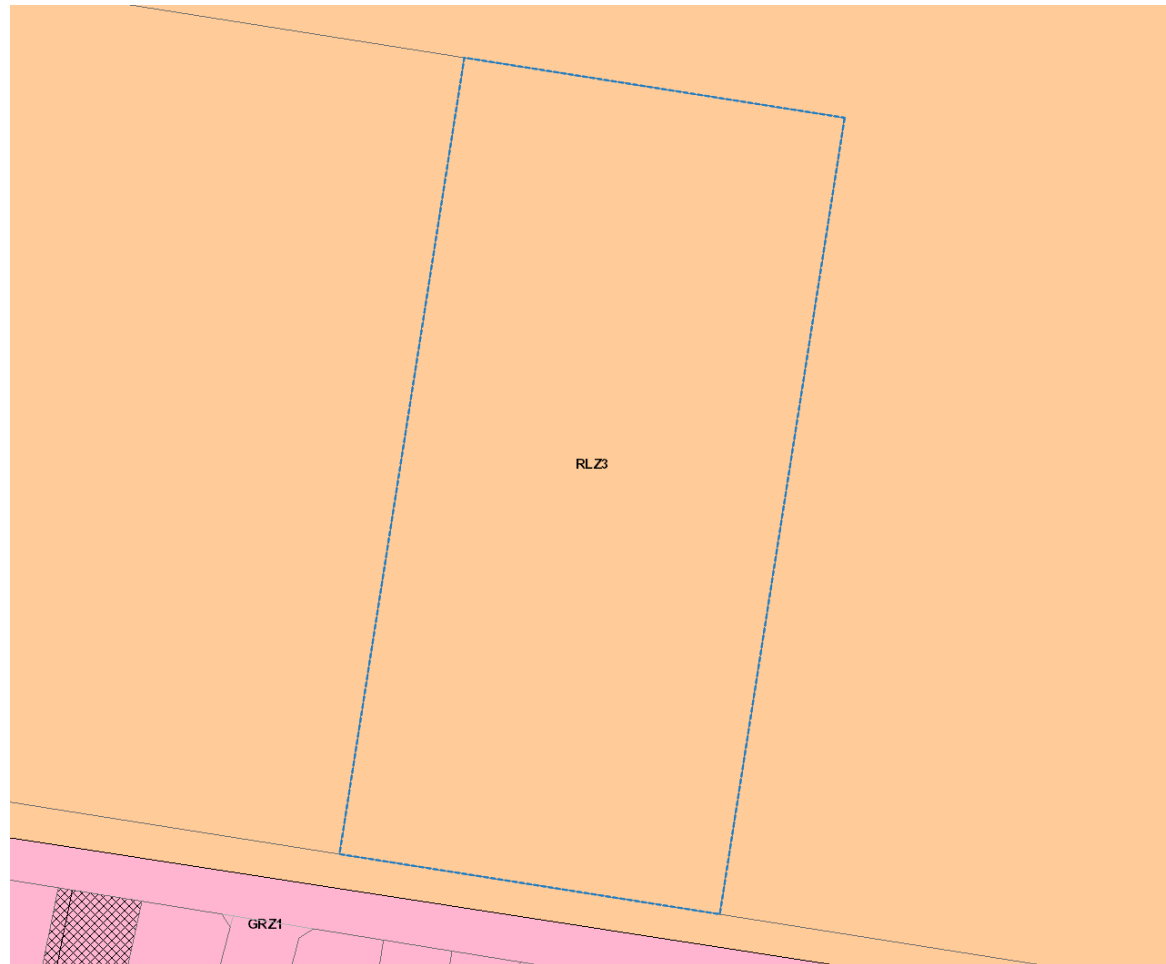


Figure 5 – Rural Living Zone – (source - mapshare.vic.gov.au)

Erosion Management Overlay

The purpose of the Erosion Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.

An extract of the Erosion Management Overlay Map is provided in **Figure 6**.

Clause 44.01-2 provides a permit is required to construct a building or carry out works. The schedule provides in 3.0 that a permit is not required for the development of a dwelling. The proposed outbuilding will not exceed 200m².

As such a permit is not required under the provisions of the Erosion Management Overlay, this is not addressed further.

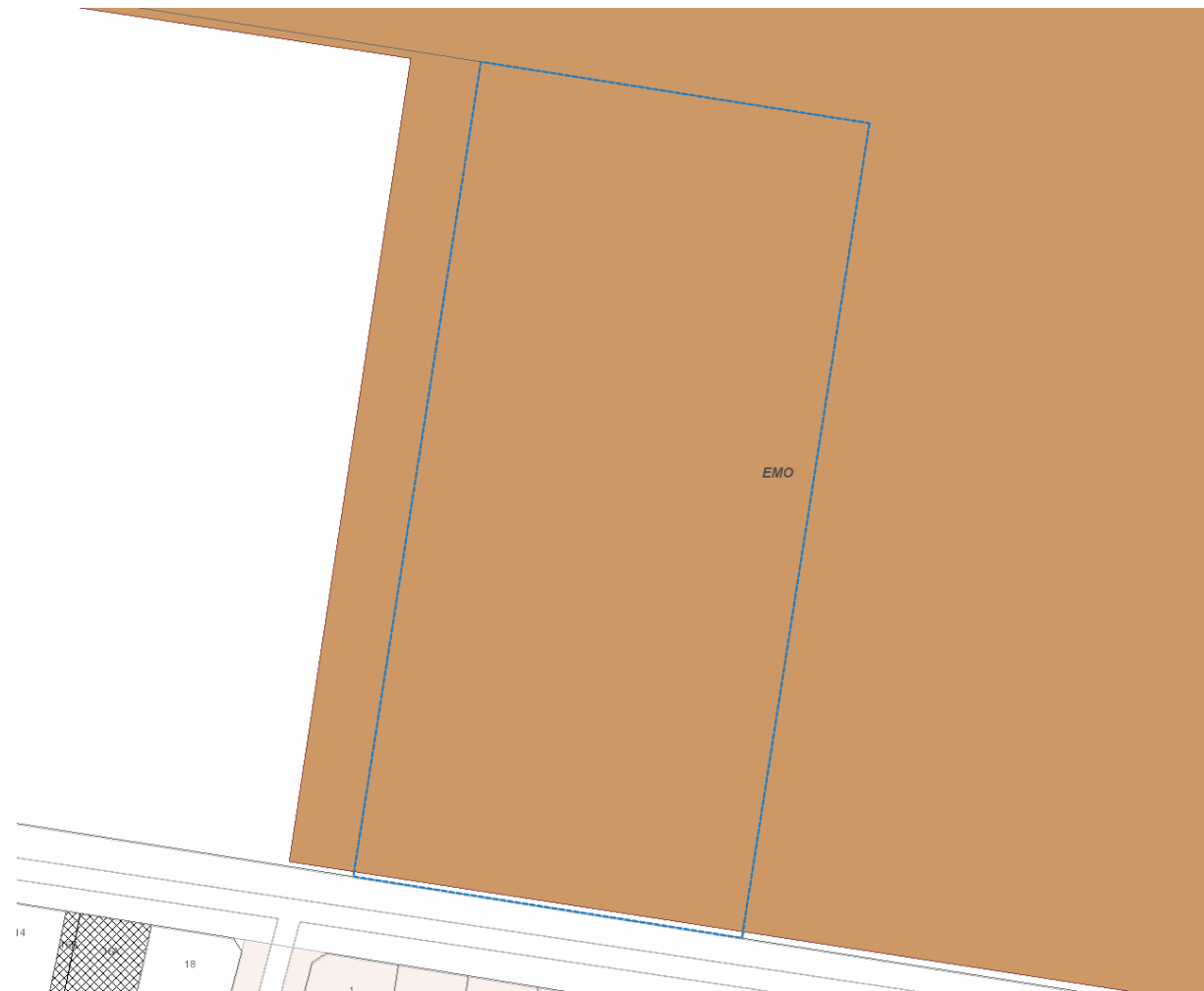


Figure 6 – Erosion Management Overlay – (source - mapshare.vic.gov.au)

Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is not recognised as being within an area of Aboriginal Cultural Heritage Sensitivity.

As such a Cultural Heritage Management Plan is not required.

5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed use and development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate residential dwelling and outbuilding that can be respectful of the existing surrounding development and the environment.
- The proposal will contribute to a high standard of environmental sustainability, urban design and amenity by designing a dwelling and outbuilding to meet the constraints of the land reducing any potential negative environmental implications as sought to achieve by the relevant clauses including **Clause 02.03** and **Clause 11**.
- **Clause 02.03-1** identifies Bairnsdale as a growth area town. Bairnsdale is the gateway to East Gippsland and is the largest town in the Shire providing major commercial, retail, educational and public-sector services.
- The proposed dwelling will connect to all available services and infrastructure including reticulated water, electricity, telecommunications and a good quality road network. Wastewater will be treated and retained within the allotment boundaries via a subsoil absorption trenches and a standard septic system as recommended in the Land Capability Assessment contained in **Appendix C**.
- **Clause 13.04-2S** requires consideration of erosion and landslip. The subject site and proposed development are within an area identified as being susceptible to erosion. The proposed earthworks associated with the development will not exceed 1 metre in depth. All preventative measures will be undertaken during the construction phase of the proposed development to ensure no erosion hazards occur.
- The proposal meets the objectives of **Clause 16** by providing an additional dwelling within an existing residential and rural living area that will in turn support housing for the community.
- The proposal is consistent with the decision guidelines of the Rural Living Zone at **Clause 35.03-5** which seeks to provide for residential use in a rural environment.
- The proposed use and development of a dwelling and outbuilding has been designed to be respectful of the existing surrounding development and the environment. The subject site is not of a size that is considered to be suitable for agricultural practices. No vegetation is required to be removed to facilitate the proposal.
- Access to the subject site will be provided along the southern boundary directly from Lanes Road via a gravel driveway and will extend to the location of the proposed dwelling and outbuilding.
- The reduced setback for the outbuilding is unlikely to detrimentally impact surrounding development. The proposed dwelling will be within 100 metres of a dwelling not in the same ownership which is located on the neighbouring property to the west of the subject site. The reduced setback of the dwelling is unlikely to detrimentally impact the dwelling not in the same ownership particularly given the existing vegetation along the western boundary.
- This submission has addressed the decision guidelines of **Clause 65**, and the proposed development supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
- Access to the site is existing and will be upgraded and extended as indicated on the

proposed development plans, there will be no negative impact on the existing road network. The increased traffic as a result of the proposal is unlikely to generate any negative impact on the existing road network.

- The site is identified as being susceptible to erosion hazards. The hazards can be reduced to an acceptable level with standard mitigation measures.
- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.

6. CONCLUSION

This submission is in support of a planning permit application for the use and development of a dwelling and outbuilding at 23 Lanes Road, Lucknow.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed development is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Rural Living Zone.
- The risks associated with erosion can be reduced to an acceptable level.
- The design of the proposal is complementary to the existing surrounding development and is consistent with the character of the area.

It is requested that a planning permit be granted for this development.

Development Solutions Victoria

Disclaimer:

This document has been prepared for planning permit application purposes only. The report has been made with careful consideration and with the best information available to Development Solutions Victoria Pty Ltd at the time.

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9 April 2024

LAND CAPABILITY ASSESSMENT

PROPOSED DEVELOPMENT
23 LANES ROAD
LUCKNOW, VICTORIA, 3875



Prepared for:
Development Solutions Victoria

Report Number: 24062

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SUMMARY

Location:

Address: 23 Lanes Road, Lucknow

SPI: 1\PS616256

Land Features:

Slope of land: <5%

Distance to surface water: >100m

Aspect: northerly

Flooding: > 1 in 100 years

Evaporation: 1668mm

Rainfall: 657mm (Bairnsdale – BOM Station No. 84147)

Soil Characteristics:

Soil texture (limiting layer): Sandy Clay/Clay Loams

Permeability: 0.12-0.5 mm/day

Treatment System:

Primary treatment

Land Application system:

Absorption Trenches

Design Loading rate (DLR):

Absorption Trenches: 6.0 mm/day

Land Application Area minimum size

Design Flow Rate	Trench length
4-bedroom dwelling with study – 900L/day	5 x 30m long trenches at 1.0m wide

Site Constraints:

Sandy Clay/Clay Loams

Special Conditions / Mitigation Measures:

Dispersive Soils: Soil Amelioration recommended. Add liquid gypsum to tank when commissioning system. Gypsum to be applied at manufactures recommended rate.

Buffer Distances:

Site boundaries and buildings:

3.0m downslope; 6.0m upslope

Waterway (potable):

100m

Waterway (non-potable):

60m

Steep slope:

20m

Management:

Desludging primary tank and inspection of eluent absorption trenches: every **3-5 years**

Add liquid gypsum to tank on commission and every 2-4 year

1.0 INTRODUCTION

Development Solutions Victoria has engaged DBM Geotech Consulting Pty Ltd (DBM Geotech) to undertake a Land Capability Assessment for the proposed residential dwelling at 23 Lanes Road, Lucknow. The field investigation and report have been undertaken and prepared by suitability experienced consultants.

This report will accompany an application for a Septic Tank Permit to Install submitted to East Gippsland Shire Council for an onsite wastewater management system at 23 Lanes Road, Lucknow. The report provides information about the site and soil conditions. It also provides a Land Capability Assessment (LCA) for the site and includes a conceptual design for a suitable onsite wastewater management system, including recommendations for monitoring and management requirements.

2.0 DESCRIPTION OF THE DEVELOPMENT

The site is a rural allotment of 2.08 Hectares. The proposed residential dwelling will be constructed in the northern half of the site. The site has a gentle slope from the south-east to the north-west with a slope less than 5%. The closest water body is a dam located in the neighbouring property to the east, at a distance of greater than 100m away. Distance to the neighbouring dams are presented in Figure 2.

Site Address: 1\PS616256; 23 Lanes Road, Lucknow (Figure 1)

Council Area: East Gippsland Shire Council

Zoning: RLZ – Rural Living Zone

Domestic Water Supply: Tank water

Anticipated Wastewater Load: Assume a residence with full water-reduction fixtures at maximum occupancy. Wastewater generation = 150 L/person/day; (Table 4 of the EPA Code of Practice 891.4).

Availability of Sewer: The area is unsewered and unlikely to be sewerred within the next 10-20 years.

3.0 SITE AND SOIL ASSESSMENT

3.1 SITE KEY FEATURES

DBM Geotech undertook a site investigation on the 27 March 2024. Table 1 summarises the key features of the site in relation to effluent management proposed for the site.

NOTE:

- The site is not in a special water supply catchment area.
- The site experiences minor stormwater run-on from Lanes Road.
- The risk of effluent transport offsite is low.

9 April 2024

Figure 1 attached provides a site plan and indicates the location of the proposed dwelling. Site photos are shown in Figure 3 and 4.

Table 1: Site Assessment

Feature	Description	Constraint	Measures
Buffer Distances	All relevant buffer distances in Table 5 of the EPA Code of Practice 891.4 are achievable from the proposed effluent management area.	Minor	NN
Climate	Average annual rainfall 670mm (Bairnsdale – Australian Water Outlook).	Moderate	NN
Drainage	No visible signs of surface dampness, spring activity or hydrophilic vegetation in the proposed effluent management area or surrounds.	Minor	NN
Erosion & Landslip	No evidence of sheet or rill erosion; the erosion hazard is low. No evidence of landslip and landslip potential is low.	Minor	NN
Exposure & Aspect	LAA has a northerly aspect with high sun and wind exposure.	Minor	NN
Flooding	The proposed effluent management area is located above the 1:100 year flood level.	Minor	NN
Groundwater	No groundwater was observed at the site	Minor	NN
Imported Fill	No imported fill material was observed anywhere on the site.	Nil	NN
Land Available for LAA	Considering all the constraints and buffers, the site has ample suitable land for land application of treated effluent.	Minor	NN
Landform	Rolling hills	Nil	NN
Rock Outcrops	Not encountered during site investigation	Nil	NN
Run-on & Runoff	Minor stormwater run-on and minor run-off hazard.	Nil	NN
Slope	The proposed effluent management area has a slope of about <5%.	Minor	NN
Surface Waters	The nearest surface water is a dam located in the neighbouring property (>100m).	Minor	NN
Vegetation	Mixture of grasses.	Nil	NN

NN: not needed

3.2 SITE ASSESSMENT RESULTS

Based on the most constraining site features, the overall land capability of the site to sustainably manage all effluent onsite is satisfactory. The proposed effluent management area is located above the 1:100 flood level and by using primary treatment, there will be suitable protection of surface waters and groundwater.

3.3 SOIL KEY FEATURES

The site's soils have been assessed for their suitability for onsite wastewater management by a combination of soil survey and desktop review of published soil survey information as outlined below.

A soil survey was carried out at the site to determine suitability for application of treated effluent. Soil investigations were conducted at four locations as shown in Figure 1. The investigation was carried out using a push tube to depths of 1.5m to 2.5m below ground level. This was sufficient to adequately characterise the soils as only minor variation would be expected throughout the area of interest.

Soils were typically categorised as a sandy clay/clay loams with a thin layer (0.3m) of sandy loams at the ground surface. Considering the physical characteristics of the subsoil in the area of the site, effluent application via absorption trenches is a suitable and viable disposal system for this site.

Full profile descriptions of the soils are provided in Appendix A. Table 2 provides an assessment of the physical and chemical characteristics of each soil type.

Table 2: Soil Assessment

Feature	Assessment	Constraint	Measures
Electrical Conductivity (ECe) (dS/m)	EC (1:5 soil : water suspension) 210 μ S/cm @ 0.6m	Minor	NN
Emerson Aggregate Class	Sandy LOAM @ 0.2m: slaking, no dispersion Sandy CLAY/Clay LOAMS @ 0.6m: some dispersion	Minor	NN
pH	5.5 @ 0.6m	Minor	NN
Rock Fragments	Less than 10%	Minor	NN
Soil Depth	Total soil depth 2.5m	Minor	NN
Sodicity (ESP)	Long-term soil sodality monitoring is not required. Present soil conditions are not restricting plant growth.	Minor	NN
Soil Permeability & Design Loading Rates	Sandy CLAY/Clay LOAMS: 0.12 – 0.5 m/day saturated conductivity (Ksat) (AS/NZS1547:2012) DIR/DLR = 6.0 mm/day for irrigation system	Minor	NN
Soil Texture & Structure	Sandy LOAM: 0.0 – 0.3m Sandy CLAY/Clay LOAM: 0.3 – 2.5m	Minor	NN
Watertable Depth	Groundwater not encountered.	Minor	NN

NN: Not Needed

OVERALL LAND CAPABILITY RATING

For the soil in the proposed land application area, no features present a moderate or major constraint that cannot be mitigated.

Based on the results of the site and soil assessment tabled above and provided in the Appendices, the overall land capability of the proposed effluent management area is constrained. However, the effluent management system will be designed, installed and maintained in ways which will mitigate these factors.

4.0 SYSTEM SELECTION AND DESIGN

The following sections provide an overview of a suitable onsite wastewater management system, with sizing and design considerations and justification for its selection. Detailed design for the system should be undertaken at the time of the building application and submitted to Council.

4.1 EFFLUENT MANAGEMENT OPTIONS / TARGET EFFLUENT QUALITY

A range of possible land application systems have been considered, such as absorption trenches, evapo-transpiration/absorption (ETA) beds, subsurface irrigation, and mounds. Based on the results of the onsite permeability tests we consider that the system of conventional absorption trenches for primary treated waste is suitable for the site.

Should the client or regulator prefer to secondary treat the effluent, disposal via absorption trenches or shallow subsurface irrigation are suitable.

4.2 SIZING THE SYSTEM

To determine the necessary size of the Land Application Area, the trench sizing tool in the Victorian Land Capability Assessment Framework (2014) has been used. The calculation is shown in Appendix A and the results are presented in Table 3.

WATER BALANCE

The formular for sizing is expressed as follows:

L = Q/(DLR x W)

L = Length of require trench (m)

Q = daily flow (L/day) – 900 L/day, based on four bedroom home with study, EPA 891.4

DLR = Design Loading Rate (mm/day) – 6.0mm/day, EPA 891.4

W = Width of trench – variable 1.0m

Table 3: Land Application Area

Total Daily wastewater flow (L/day)	Trench Basal Area required (m ²)	Trench Width (m)	Trench sizes	Required LAA size* (m)
900 [^]	150	1.0	150 lm of Trench (5 No. Trenches @ 30lm)	830

*Required LAA size based on 3.0m between each trench and 3.0m buffer on all 4 sides of the Land application area.

[^]In accordance with EPA 891.4 any room such as a study, library or sunroom that can be closed off with a door, shall be treated as a bedroom.

All trenches should be constructed along the contour and be installed at a maximum length of 30m. We recommend that trenches are spaced 3.0m apart to allow a reserve field to be configured within the envelope should it be required.

SECONDARY TREATMENT SYSTEM

Should the client or regulator prefer to secondary treat the effluent, disposal via absorption trenches or shallow subsurface irrigation is an alternative method. Where absorption trenches are adopted with secondary treatment the number of trenches listed above can be halved (due to increased loading rate). Where subsurface irrigation is used in conjunction with secondary treated effluent the sub-surface irrigation area shall be a minimum of 275m². Full water balance calculations for the secondary treated system is provided in Appendix A.

4.3 SITING AND CONFIGURATION OF THE SYSTEM

We have provided an approximate location of the land application area on the attached site plan Figure 1. Final placement and configuration of the system will be determined by the client and/or system installer, provided it remains close to the nominated locations in Figure 1 and satisfies the minimum area required according to the water balance.

Whilst there is ample area for application of the effluent, it is important that appropriate buffer distances be maintained. It is important to note that buffers are measured as the overland flow path for run-off water from the effluent irrigation area.

It is recommended that the owner consult a wastewater contractor familiar with effluent system construction to construct the system, and an appropriately registered plumbing/drainage practitioner to install the system.

BUFFER DISTANCES

Setback buffer distances from effluent land application areas and treatment systems are required to help prevent human contact, maintain public amenity and protect sensitive environments. The relevant buffer distances for this site, taken from Table 5 of the EPA Code of Practice 891.4 are:

Primary Treatment buffer distances:

- 20 m from groundwater bores;
- 100 m upslope from watercourses in a potable water supply catchment.
- 60 m upslope from non-potable watercourses; and
- 6.0 m if area up-gradient and 3.0 m if area down-gradient of property boundaries, swimming pools and buildings.

5.0 MONITORING, OPERATION AND MAINTENANCE

Maintenance is to be carried out in accordance with the EPA Certificate of Approval of the selected treatment system and Council's permit conditions. The treatment system will only function adequately if appropriately and regularly maintained.

To ensure the treatment system functions adequately, residents must:

- Desludging primary tank and inspect eluent absorption trenches every 3-5 years.
- Use household cleaning products that are suitable for septic tanks;
- Keep as much fat and oil out of the system as possible; and
- Conserve water (AAA rated fixtures and appliances are recommended).

To ensure the land application system functions adequately, residents must:

- Regularly harvest (mow) vegetation within the LAA and remove this to maximise uptake of water and nutrients;
- Regularly clean in-line filters;
- Not erect any structures and paths over the LAA;
- Avoid vehicle and livestock access to the LAA, to prevent compaction and damage; and
- Ensure that the LAA is kept level by filling any depressions with good quality topsoil (not clay).

6.0 CONCLUSION

As a result of our investigations we conclude that sustainable onsite wastewater management is feasible with appropriate mitigation measures, as outlined, for the proposed residence at 23 Lanes Road, Lucknow.

Specifically, we recommend the following:

- Primary Treatment of wastewater.
- Land application of treated effluent via conventional absorption trenches. Trenches are to be up to a maximum of 30 metres long and 1 metre wide, with a minimum spacing of 3.0m between trenches;
- Installation of water saving fixtures (minimum 4 star WELS) and appliances (minimum 3 star WELS) in the new residence to reduce the effluent load;
- Use of low phosphorus and low sodium (liquid) detergents to improve effluent quality and maintain soil properties for growing plants; and
- Operation and management of the treatment and disposal system in accordance with manufacturer's recommendations, the EPA Certificate of Approval, the EPA Code of Practice (2016) and the recommendations made in this report.

7.0 REFERENCES

Environment Protection Authority (1991). Guidelines for Wastewater Irrigation Publication 168.

Environment Protection Authority (2016). Publication 891.4 Code of Practice for Onsite Wastewater Management.

Geary, P. and Gardner, E. (1996). On-site Disposal of Effluent. In Proceedings from the one day conference Innovative Approaches to the Management of Waste and Water, Lismore 1996.

Isbell, R.F. (1996). The Australian Soil Classification. CSIRO Publishing, Melbourne.

Municipal Association of Victoria, Department of Environment and Sustainability and EPA Victoria (2014) Victorian Land Capability Assessment Framework.

Standards Australia / Standards New Zealand (2012). AS/NZS 1547:2012 On-site domestic-wastewater management.

8.0 LIMITATIONS

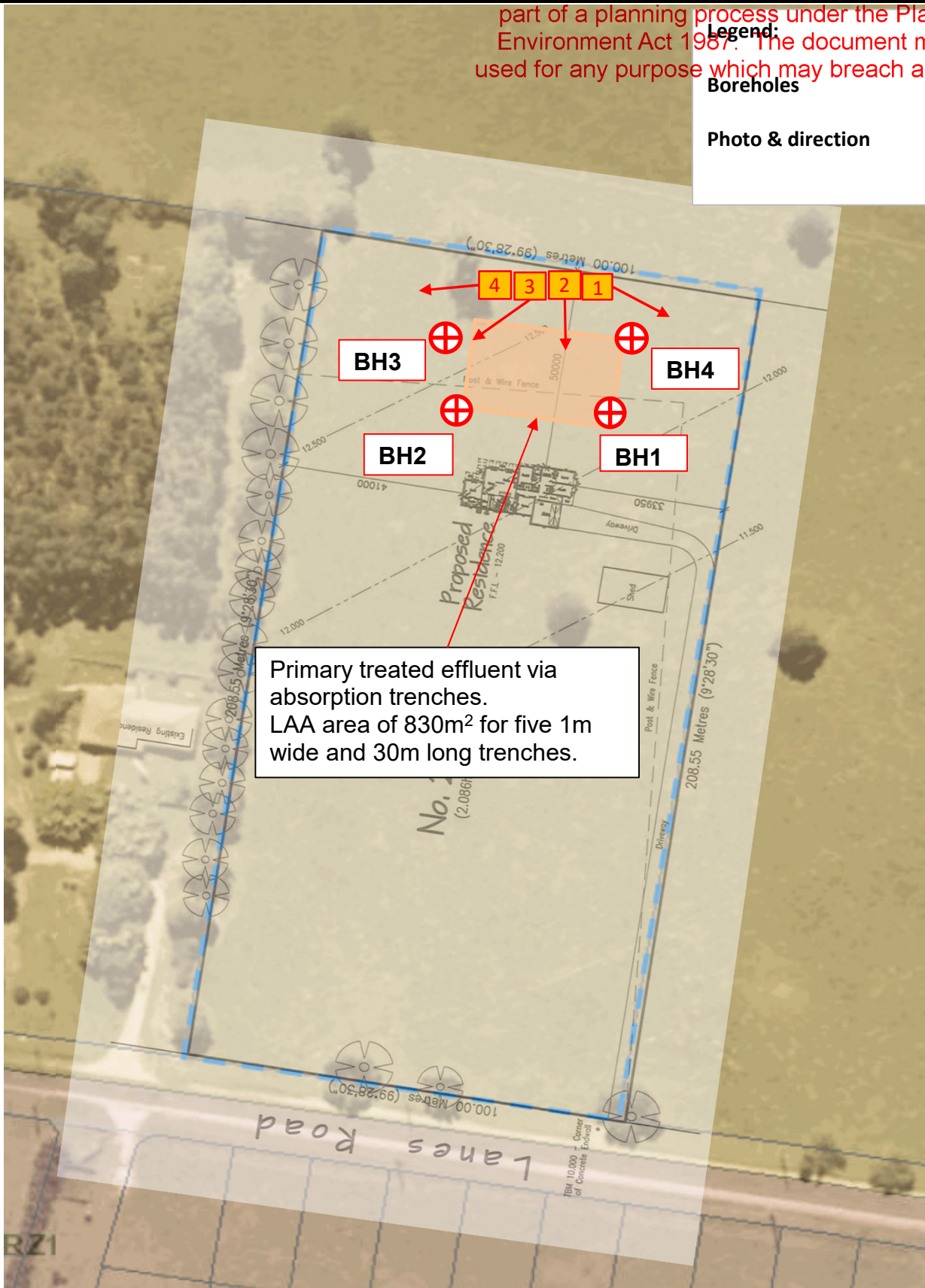
Your attention is drawn to the document – ‘Limitations’ which is included in Appendix B of this report. The statements presented in this document are intended to advise you of what your realistic expectations of this report should be. The document is not intended to reduce the level of responsibility accepted by DBM Geotech, but rather to ensure that all parties who may rely on this report are aware of the responsibilities each assumes is so doing.

DBM Geotech Consulting Pty Ltd



Bill Wang
BEng (Hons) MEngSc (Res) MIEAust CPEng NER
EA Membership number: 2099569
ABN 69 666 900 643

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Legend:



Boreholes 

Photo & direction 

Primary treated effluent via absorption trenches.
 LAA area of 830m² for five 1m wide and 30m long trenches.

Not to scale

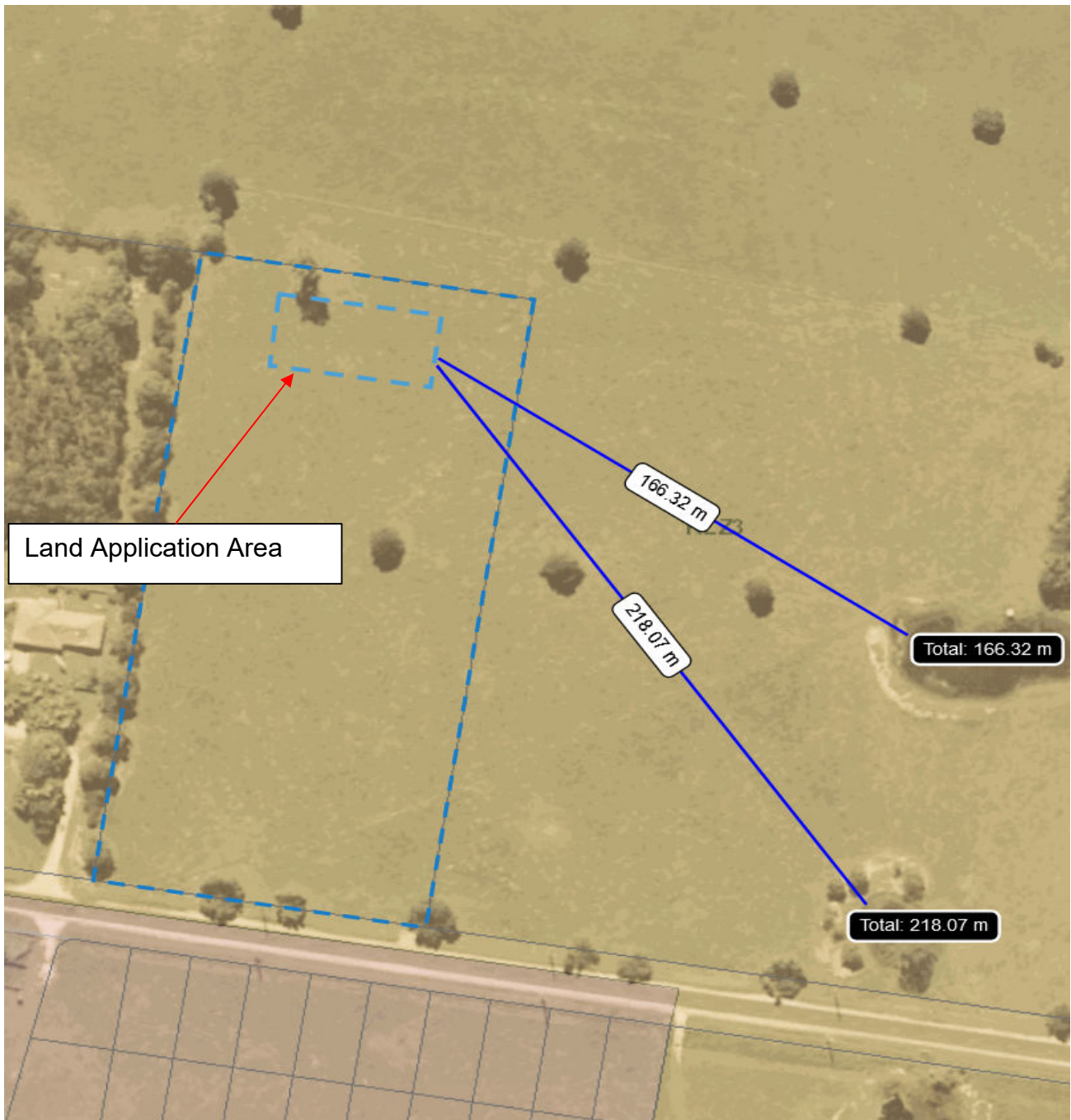


SITE ADDRESS:	23 Lanes Road, Lucknow
CLIENT:	Development Solutions Victoria
JOB NUMBER:	24062

FIGURE 1
SITE PLAN

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Not to scale



SITE ADDRESS:	23 Lanes Road, Lucknow
CLIENT:	Development Solutions Victoria
JOB NUMBER:	24062

FIGURE 2
DISTANCE TO WATERWAYS



Photo 1



Photo 2

Not to scale



SITE ADDRESS:	23 Lanes Road, Lucknow
CLIENT:	Development Solutions Victoria
JOB NUMBER:	24062

FIGURE 3
SITE PHOTOS



Photo 3



Photo 4

Not to scale



SITE ADDRESS:	23 Lanes Road, Lucknow
CLIENT:	Development Solutions Victoria
JOB NUMBER:	24062

FIGURE 4
SITE PHOTOS

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Appendix A

Reports of Boreholes

Water Balance Calculations

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REPORT OF BOREHOLE BH1

DBM GEOTECH

Job No : 24062	Easting : 557,416.52	Sheet : 01
Client : . Owner / Designer	Northing : 5,815,113.68	Log No : WPT-24062
Project : 23 Lanes Road, Lucknow	UTM : 55H	Logged Date : 27/03/2024
Location : 23 Lanes Road, Lucknow	Drill Rig : Push Tube	Checked :
Contractor : DBM Geotech	Inclination : -90 deg	Checked Date : 08/04/2024

Drilling Method	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency/Density	Samples	Testing	Shear Strength		
		0.3		SM	Sandy SILT (SM) : stiff, low plasticity, brown and grey, fine to medium grained sand, organic, dry, (sandy loam, category 2a).	D	St					
		1.2		CI	Sandy CLAY (CI) : very stiff, medium plasticity, brown, fine to coarse grained sand, trace fine to medium sized gravel, moist to dry, (sandy clay, category 4b).	M-D	VSt					
				CI	Orange brown and light grey with red.							
				BH1 Terminated at 2.5m								
		3										

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REPORT OF BOREHOLE: BH2

DBM GEOTECH

Job No : 24062
 Client : . Owner / Designer
 Project : 23 Lanes Road, Lucknow
 Location : 23 Lanes Road, Lucknow
 Contractor : DBM Geotech

Easting : 557,427.00
 Northing : 5,815,119.00
 UTM : 55H
 Drill Rig : Push Tube
 Inclination : -90 deg

Sheet : 1 OF 1
 Logged : Wayne Luxford
 Logged Date : 27/03/2024
 Checked :
 Checked Date : 08/04/2024

Drilling Method	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency/Density	Samples	Testing	Shear Strength	
		0.4		SM	Sandy SILT (SM) : stiff, low plasticity, brown and grey, fine to medium grained sand, organic, dry, (sandy loam, category 2a).	D	St				
		1		CI	Sandy CLAY (CI) : very stiff, medium plasticity, brown and light grey, fine to coarse grained sand, with fine to coarse sized gravel, moist to dry, (sandy clay, category 4b).	M-D	VSt				
				BH2 Terminated at 1.5m							
		2									
		3									

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REPORT OF BOREHOLE: BH3

DBM GEOTECH

Job No : 24062
 Client : . Owner / Designer
 Project : 23 Lanes Road, Lucknow
 Location : 23 Lanes Road, Lucknow
 Contractor : DBM Geotech

Easting : 557,427.00
 Northing : 5,815,119.00
 UTM : 55H
 Drill Rig : Push Tube
 Inclination : -90 deg

Sheet : 1 OF 1
 Logged : Wayne Luxford
 Logged Date : 27/03/2024
 Checked :
 Checked Date : 08/04/2024

Drilling Method	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency/Density	Samples	Testing	Shear Strength	
		0.3		SM	Sandy SILT (SM) : stiff, low plasticity, brown and grey, fine to medium grained sand, organic, dry, (sandy loam, category 2a).	D	St				
		1		CI	Sandy CLAY (CI) : very stiff, medium plasticity, brown and light grey, fine to coarse grained sand, with fine to coarse sized gravel, moist to dry, (sandy clay, category 4b).	M-D	VSt				
				BH3 Terminated at 1.5m							
		2									
		3									

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REPORT OF BOREHOLE: BH4

DBM GEOTECH

Job No : 24062
 Client : . Owner / Designer
 Project : 23 Lanes Road, Lucknow
 Location : 23 Lanes Road, Lucknow
 Contractor : DBM Geotech

Easting : 557,427.79
 Northing : 5,815,119.05
 UTM : 55H
 Drill Rig : Push Tube
 Inclination : -90 deg

Sheet : 1 OF 1
 Logged : Wayne Luxford
 Logged Date : 27/03/2024
 Checked :
 Checked Date : 08/04/2024

Drilling Method	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency/Density	Samples	Testing	Shear Strength	
		0.4		SM	Sandy SILT (SM) : stiff, low plasticity, brown and grey, fine to medium grained sand, organic, dry, (sandy loam, category 2a).	D	St				
		1		CI	Sandy CLAY (CI) : very stiff, medium plasticity, brown and light grey, fine to coarse grained sand, trace fine to medium sized gravel, moist to dry, (sandy clay, category 4b).	M-D	VSt				
		1.3		CI-CH	(CI-CH) : medium to high plasticity, orange brown and light grey with red, moist.	M					
				BH4 Terminated at 1.5m							
		2									
		3									



EXPLANATION OF ABBREVIATIONS AND DESCRIPTIVE TERMS USED ON BOREHOLE AND TEST PIT LOGS

DRILLING/EXCAVATION METHOD

AD	Auger Drilling	EX	Tracked Hydraulic Excavator
HA	Hand Auger	BH	Backhoe
W	Washbore	HAND	Excavated by Hand Methods

WATER

	Water level shown at date		Water Inflow
GROUNDWATER NOT OBSERVED	The observation of groundwater, weather present or not, was not possible due to drilling water, surface seepage or cave in of the borehole/test pit		
GROUNDWATER NOT ENCOUNTERED	The borehole/test pit was dry soon after excavation. However, groundwater could be present in less permeable strata. Inflow may have been observed had the borehole/test pit been left open for a longer period.		

SAMPLING AND TESTING

SPT	Standard Penetration Test
DS	Disturbed sample
BDS	bulk disturbed sample
W	water sample
FP	field permeability test over section noted
FV	field vane shear tests expressed as uncorrected shear strength
U50	thin walled tube sample
PP	pocket penetrometer test expressed as instrument reading in kPa

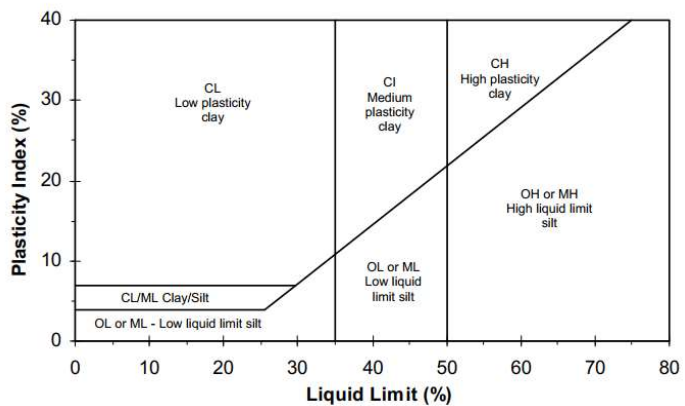
CLASSIFICATION AND INFERRED STRATIGRAPHY

Soil and Rock is classified and describe in Report of Boreholes and Test pits using the preferred method given in AS1726 – 2017, Appendix A. The material properties are assessed in the field by visual/tactile methods.

Particle Size

Major Division	Sub Division	Particle Size
BOULDERS		> 200 mm
COBBLES		63 to 200 mm
GRAVEL	Coarse	20 to 63 mm
	Medium	6.0 to 20 mm
	Fine	2.0 to 6.0 mm
SAND	Coarse	0.6 to 2.0 mm
	Medium	0.2 to 0.6 mm
	Fine	0.075 to 0.2 mm
SILT		0.002 to 0.075 mm
CLAY		< 0.002 mm

Plasticity Properties



MOISTURE CONDITION

Symbol	Term	Description
D	Dry	Sand and gravels are free flowing. Clays & silts may be brittle or friable and powdery.
M	Moist	Soils are darker than in the dry condition and may feel cool. Sands and gravels tend to cohere.
W	Wet	Soils exude free water. Sands and gravels tend to cohere.

CONSISTENCY AND DENSITY

Symbol	Term	Undrained Shear strength	Symbol	Term	Density index %
VS	Very Soft	0 to 12 kPa	VL	Very Loose	Less than 15
S	Soft	12 to 25 kPa	L	Loose	15 to 35
F	Firm	25 to 50 kPa	MD	Medium Dense	35 to 65
St	Stiff	50 to 100 kPa	D	Dense	65 to 85
VSt	Very Stiff	100 to 200 kPa	VD	Very Dense	Above 85
H	Hard	Above 400 kPa			

In the absence of test results, consistency and density may be assessed from correlations with the observed behaviour of the material.

ROCK MATERIAL WEATHERING

RS	Residual Soil	Soil developed on extremely weather rock; the mass structure and substance fabric are no longer evident; there is a large change in volume but the soil has not been significantly transported.
EW	Extremely weathered	Rock is weathered to such an extent that it has soil properties – i.e. it either disintegrates or can be remoulded, in water.
HW	Highly weathered	The whole of the rock material is discoloured to the extent that the colour of the original rock is not recognizable. Rock strength is significantly changed by weathering.

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Victorian Land Capability Assessment Framework
Sub-surface Irrigation DLR = 3.5mm/day

Please read the attached notes before using this spreadsheet																
Irrigation area sizing using Nominated Area Water Balance for Zero Storage																
Site Address:		23 Lanes Road, Lucknow														
Date:		8-Apr-24				Assessor:		Bill Wang								
INPUT DATA																
Design Wastewater Flow	Q	900	L/day	Based on 4 bed home, 150L/day loading rate												
Design Irrigation Rate	DIR	3.5	mm/day	Based on soil texture class/permeability and derived from Table 9 in the EPA Code of Practice (2013)												
Nominated Land Application Area	L	285	m ²	1												
Crop Factor	C	0.8	unitless	Estimates evapotranspiration as a fraction of pan evaporation; varies with season and crop type ²												
Rainfall Runoff Factor	RF	0.7	unitless	Proportion of rainfall that remains onsite and infiltrates, allowing for any runoff												
Mean Monthly Rainfall Data	Bairnsdale (84147)			BoM Station and number												
Mean Monthly Pan Evaporation Data	Bairnsdale			Synthetic Pan Evaporation from BOM Australian Water Outlook (-37.807 147.661)												
Parameter	Symbol	Formula	Units	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Total
Days in month	D		days	31	28	31	30	31	30	31	31	30	31	30	31	365
Rainfall	R		mm/month	52.2	46	54.7	58.6	34.9	66.9	42.2	42.8	45.2	63	80	70.5	657
Evaporation	E		mm/month	229.0	180.6	159.5	109.2	80.1	62.1	73.2	94.8	121.3	160.6	181.7	216.4	1668.6
Crop Factor	C		unitless	0.80	0.80	0.70	0.70	0.60	0.60	0.60	0.60	0.70	0.80	0.80	0.80	
OUTPUTS																
Evapotranspiration	ET	Exc	mm/month	183	144	112	76	48	37	44	57	85	128	145	173	1233.7816
Percolation	B	DIRxD	mm/month	108.5	98	108.5	105.0	108.5	105.0	108.5	108.5	105.0	108.5	105.0	108.5	1277.5
Outputs		ET+B	mm/month	291.7	242.4631579	220.2	181.4	156.6	142.3	152.4	165.4	189.9	237.0	250.3	281.6	2511.3
INPUTS																
Retained Rainfall	RR	RxRF	mm/month	33.93	29.9	35.555	38.09	22.685	43.485	27.43	27.82	29.38	40.95	52	45.825	427.05
Applied Effluent	W	(QxD)/L	mm/month	97.9	88.4	97.9	94.7	97.9	94.7	97.9	94.7	97.9	94.7	97.9	94.7	1152.6
Inputs		RR+W	mm/month	131.8	118.3	133.4	132.8	120.6	138.2	125.3	125.7	124.1	138.8	146.7	143.7	1579.7
STORAGE CALCULATION																
Storage remaining from previous month			mm/month	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0
Storage for the month	S	(RR+W)-(ET+B)	mm/month	-159.9	-124.1	-86.7	-48.6	-36.0	-4.0	-27.1	-39.7	-65.8	-98.1	-103.6	-137.9	
Cumulative Storage	M		mm	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	
Maximum Storage for Nominated Area	N		mm	0.00												
	V	NxL	L	0												
LAND AREA REQUIRED FOR ZERO STORAGE			m ²	108	119	151	188	208	273	223	203	168	142	136	118	
MINIMUM AREA REQUIRED FOR ZERO STORAGE:				274.0	m ²											
CELLS																
		Please enter data in blue cells														
		XX Red cells are automatically populated by the spreadsheet														
		XX Data in yellow cells is calculated by the spreadsheet, DO NOT ALTER THESE CELLS														
NOTES																
1 This value should be the largest of the following: land application area required based on the most limiting nutrient balance or minimum area required for zero storage																
2 Values selected are suitable for mixture of grass and eucalyptus trees																

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Appendix B

Limitations



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Conditions may exist which were undetectable given the limited nature of the enquiry DBM Geotech was retained to undertake. Variations in conditions may occur between investigation locations, and there may be special conditions pertaining to the site which have not been revealed by the investigation and which have not therefore been taken into account in the Document. Accordingly, additional studies and actions may be required.

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By date, or revision, the Document supersedes any prior report or other document issued by DBM Geotech dealing with any matter that is addressed in the Document.

4 April 2024

24062

Kelly Crofts
Development Solutions Victoria

GEOTECHNICAL WAIVER – EROSION MANAGEMENT OVERLAY 23 LANES ROAD, LUCKNOW

Dear Kelly,

Introduction

Development Solutions Victoria has engaged DBM Geotech to undertake a geotechnical assessment for the proposed development at 23 Lanes Road, Lucknow.

The site is within the East Gippsland Shire Council Erosion Management Overlay. This geotechnical assessment has been conducted to identify any areas prone to erosion or land instability.

Site conditions and proposed redevelopment

The site is a rural allotment located on north side of Lanes Road. We understand that the proposed development comprises the construction of a single-storey residential dwelling and a shed.

The site of the proposed development is approximately 210 m by 100 m and is currently vacant.

Site Geology

The 1:250,000 Geological survey map on GeoVic indicates that the site is underlain by alluvium deposits and the Haunted Hills Formation.

Geotechnical Waiver

An engineer from DBM Geotech visited the site on 27 March 2024 and observed the following:

- The site and surrounds are gently sloping < 5 degrees.
- No evidence of erosion or landslip was observed at the site.

Based on our site assessment we consider that the landslide risk at the site is very low. Therefore, in accordance with Section 4 of the East Gippsland Shire Council Erosion Management Overlay we consider that a full geotechnical assessment is not necessary for the proposed development. Figure 1 presents a photo taken at the time of the site visit.

Although a full geotechnical assessment is not necessary, the soils at the site are likely susceptible to erosion when exposed during site works. Therefore, we recommend that the below erosion protections measures are implemented and maintained for the proposed development.

We recommend that vegetation is left in place as long as possible. The removal of vegetation at the site should be kept to a minimum and any vegetation removal shall only be undertaken where it is necessary to construct driveways and building platforms. Furthermore, where stripping is undertaken across earthworks areas, re-vegetation and/or batter protection should be implemented as soon as possible to reduce the effects of erosion.

We recommend that adequate erosion control measures (i.e. silt fences, diversion banks) be implement during construction and be maintained until vegetation has been established across cleared areas. In addition, we recommend good drainage protection be implemented on batter slopes, roadways and behind retaining walls.



Figure 1: Site photo – looking north from south-east corner of the site (Lanes Road)

4 April 2024

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24062

Limitations

Your attention is drawn to the document – 'Limitations' which is attached to this letter report. The statements presented in this document are intended to advise you of what your realistic expectations of this report should be. The document is not intended to reduce the level of responsibility accepted by DBM Geotech, but rather to ensure that all parties who may rely on this report are aware of the responsibilities each assumes is so doing.

Yours sincerely,

DBM Geotech Consulting Pty Ltd



Bill Wang
BEng (Hons) MEngSc (Res) MIEAust CPEng NER
EA Membership number: 2099569
ABN 69 666 900 643

Attachments: Limitations



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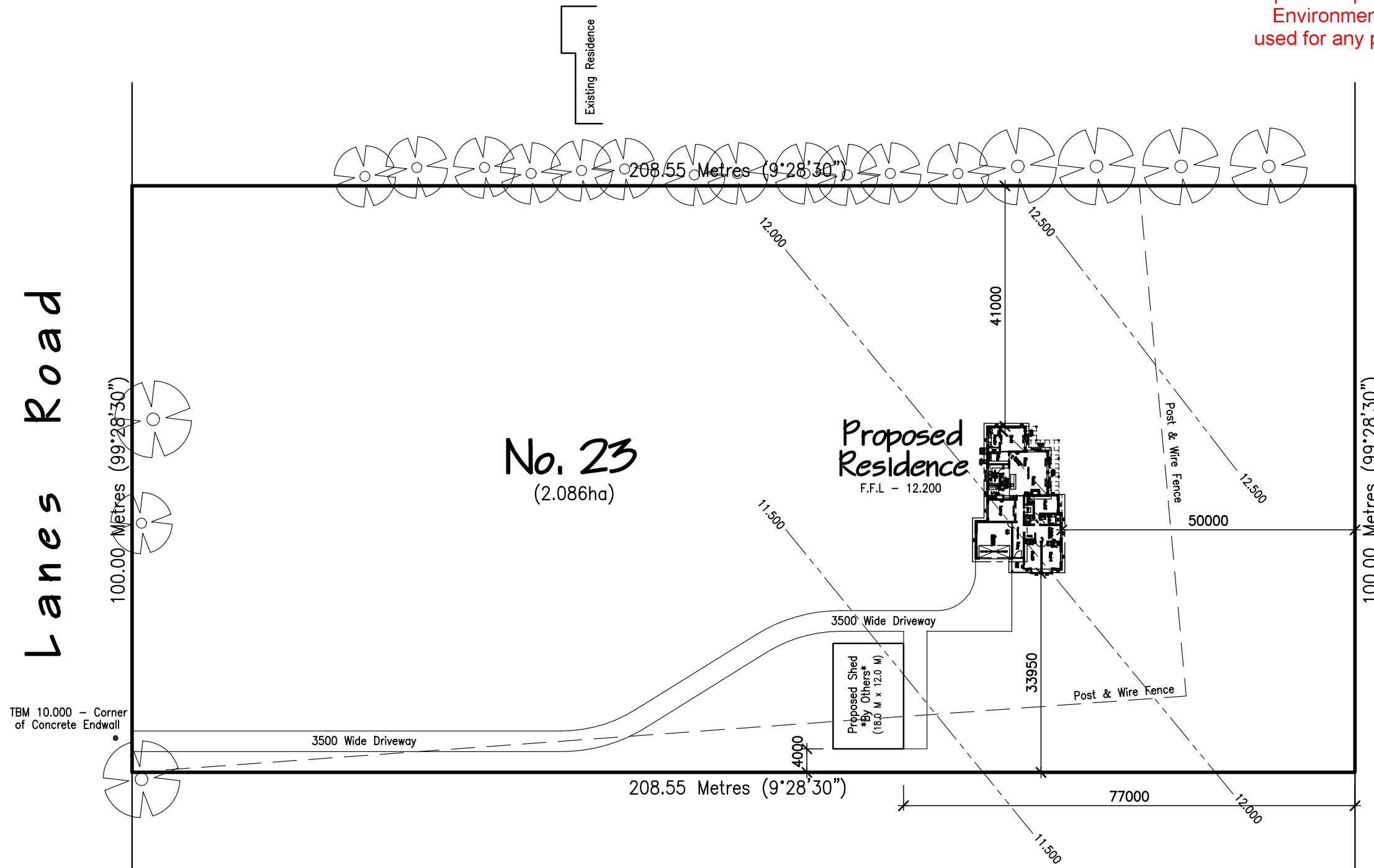
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Proposed Site Layout Plan 1:800

WE HAVE CHECKED THE PLANS AND AGREE THAT THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

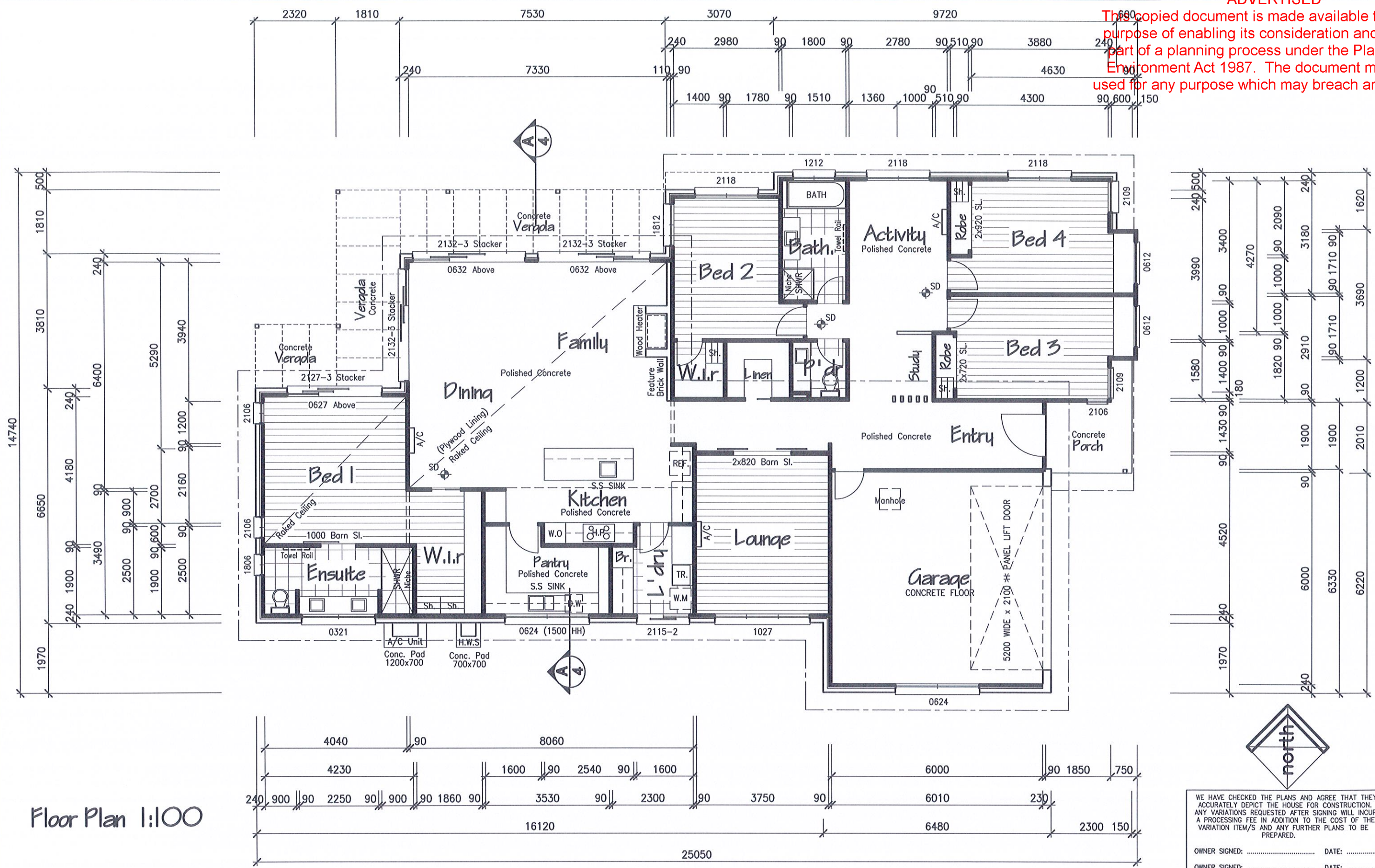
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BUILDER SIGNED: DATE:

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			DRAWING TITLE: SITE PLAN - SCALE 1:100	PRINTED 9/05/2024 Page 61 of 71			

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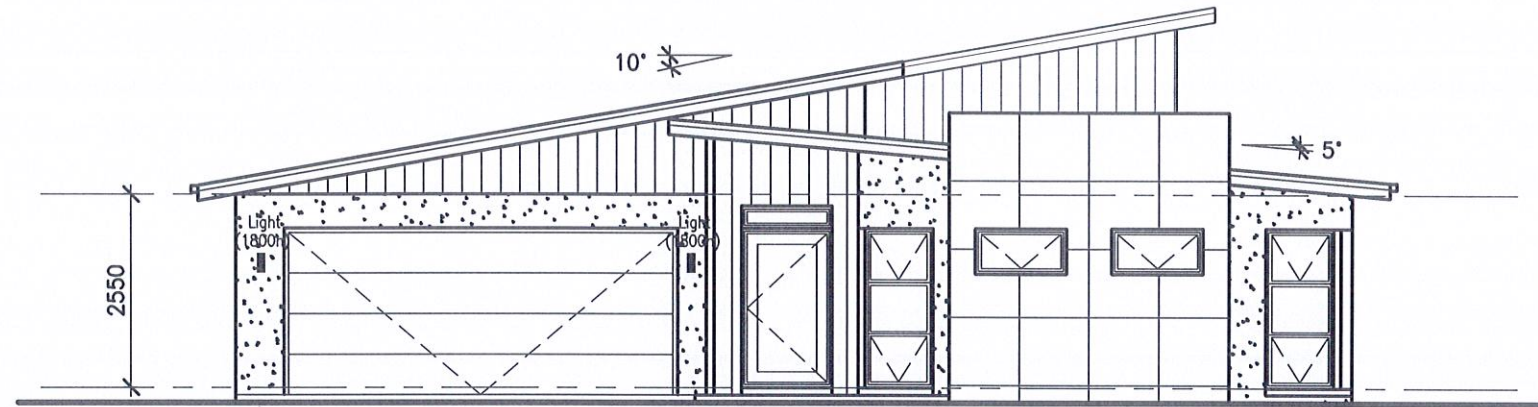
Floor Plan 1:100

WE HAVE CHECKED THE PLANS AND AGREE THAT THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:
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East Elevation 1:100



North Elevation 1:100

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OWNER SIGNED: DATE:

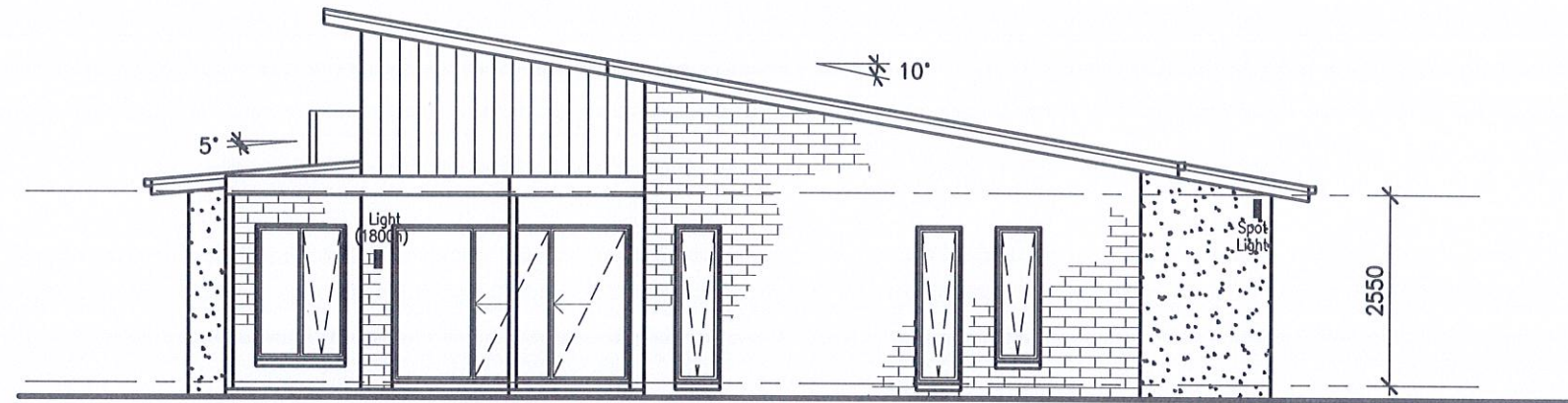
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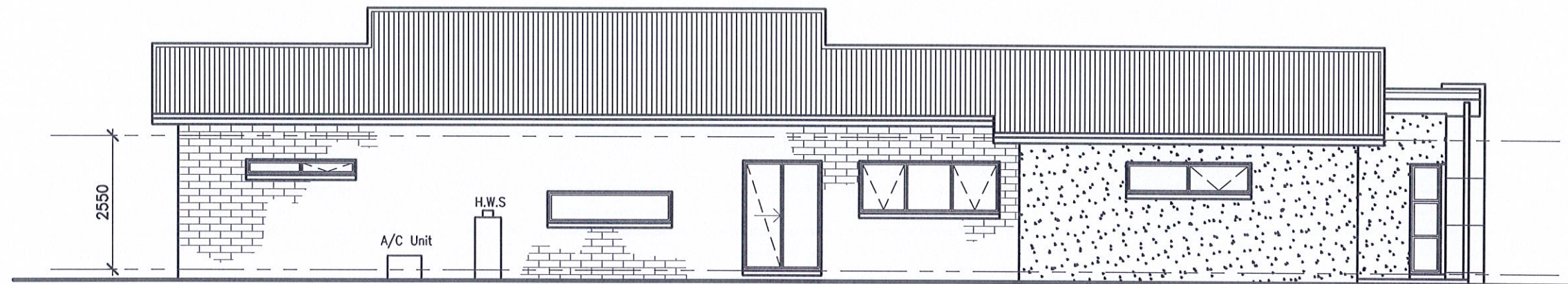
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			B Motta & J Koelewyn	No. 23 Lanes Road, Lucknow	2 OF 8	A3	INTERNAL:	232.01m ²	A	PRELIMINARY DRAWINGS	16/2/24	
			DRAWING TITLE:	ELEVATIONS – SCALE 1:100	JOB NO: 230802	GARAGE:	39.42m ²	B	WORKING DRAWINGS	*		
					DRAWN: CRAIG WIGHT	PORCH:	4.05m ²					
		DATE: 16/2/24	VERGOLA:	28.00m ²								
			TOTAL:	303.48m ²								

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West Elevation 1:100



South Elevation 1:100

WE HAVE CHECKED THE PLANS AND AGREE THAT THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

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			DRAWING TITLE: ELEVATIONS - SCALE 1:100		JOB NO: 230802		REV. B WORKING DRAWINGS	DATE:	
			DRAWN: CRAIG WIGHT		DATE: 16/2/24		DATE:	DATE:	
			DATE: 16/2/24		DATE:		DATE:	DATE:	

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Window Schedule					
NOTE: GLAZING TO COMPLY WITH AS 1288 & 2047					
Location	Window Code	Quantity	Note	Style	Glazing
Bed 4	2118	1	-	Standard Awning Window	Double
Bed 4	2109	1	-	Standard Awning Window	Double
Bed 4	0612	1	-	Standard Awning Window	Double
Bed 3	0612	1	-	Standard Awning Window	Double
Bed 3	2109	1	-	Standard Awning Window	Double
Bed 3	2106	1	-	Standard Awning Window	Double
Garage	0624	1	-	Standard Awning Window	Double
Lounge	1027	1	-	Standard Awning Window	Double
Laundry	2115-2	1	-	Standard Sliding Door Unit	Double
Pantry	0624	1	1500 HH	Standard Fixed Window	Double
Ensuite	0321	1	-	Standard Awning Window	Double
Ensuite	1806	1	-	Standard Awning Window	Double
Bed 1	2106	2	-	Standard Awning Window	Double
Bed 1	2127-3	1	-	Stacker Sliding Door Unit	Double
Bed 1	0627	1	Highlite	Standard Fixed Window	Double
Family/Dining	2132-3	3	-	Stacker Sliding Door Unit	Double
Family/Dining	0632	2	Highlite	Standard Fixed Window	Double
Bed 2	1812	1	-	Standard Awning Window	Double
Bed 2	2118	1	-	Standard Awning Window	Double
Bathroom	1212	1	-	Standard Awning Window	Double
Activity	2118	1	-	Standard Awning Window	Double

*** Note: Aluminium Fly Screens to all Openable Sections ***

Note: Condensation Management

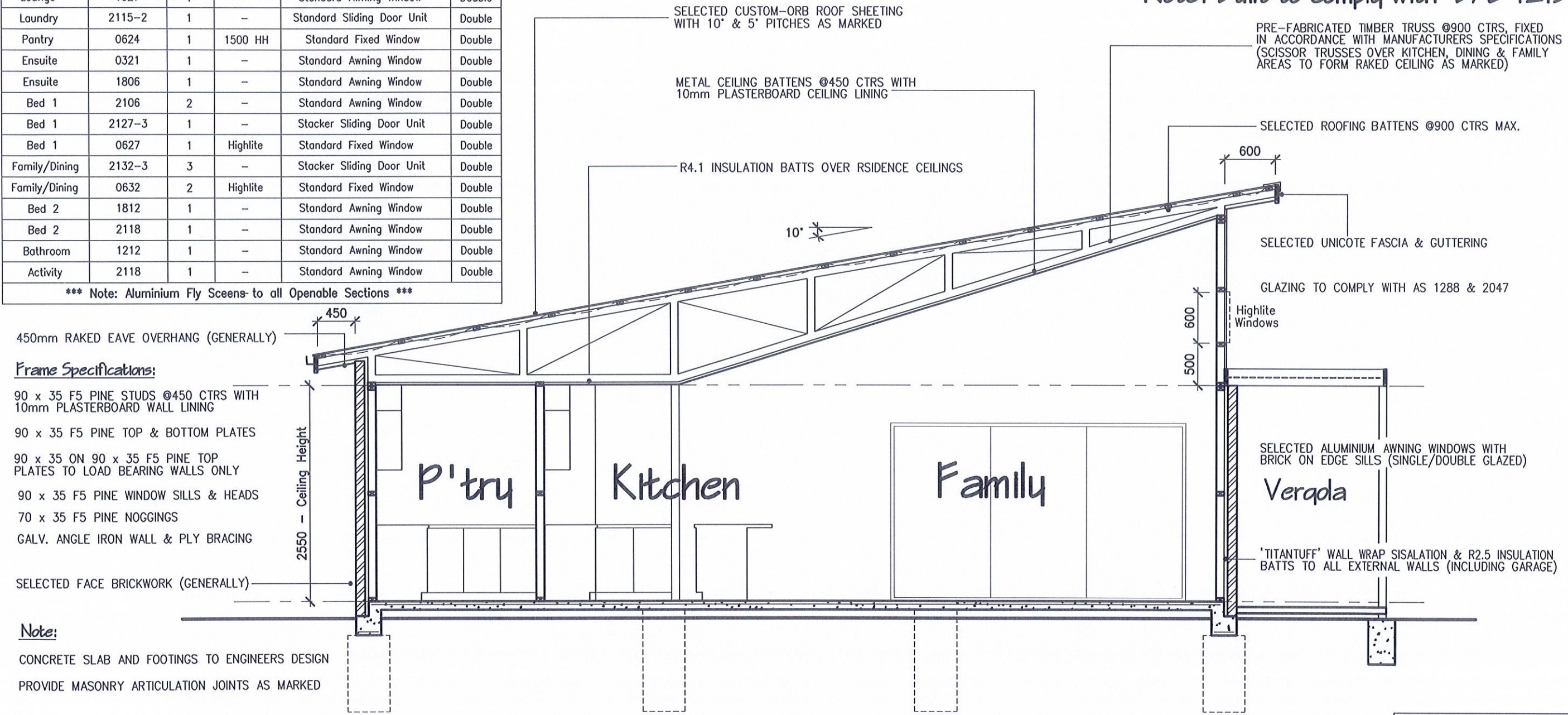
- * EXHAUST SYSTEM IN KITCHEN & LAUNDRY MUST HAVE A MINIMUM FLOW RATE OF 40L/s.
- * EXHAUST SYSTEM IN BATHROOM OR SANITARY COMPARTMENT MUST HAVE A MINIMUM FLOW RATE OF 25L/s.
- * ALL EXHAUST FANS TO BE EXTERNALLY VENTED TO COMPLY WITH BCA 2019 3.8.7.

Note: Energy Rating Requirements

- * R4.1 INSULATION TO ALL CEILINGS
- * R2.5 INSULATION BATTS TO ALL EXTERNAL WALLS (INCLUDING GARAGE)
- * SARKING TO BE PROVIDED TO UNDERSIDE OF ROOFING
- * 'TITANTUFF' WALL WRAP SISALATION TO ALL EXTERNAL WALLS (INCLUDING GARAGE)

- * WINDOWS & EXTERNAL DOORS TO BE WEATHER STRIPED
- * ALL EXHAUST FANS TO BE SEALED/SELF CLOSING
- * DOWNLIGHTS USED ARE TO BE 'SEALED' DOWN LIGHTS

Note: Built to comply with 'BAL-12.5'



450mm RAKED EAVE OVERHANG (GENERALLY)

Frame Specifications:

- 90 x 35 F5 PINE STUDS @450 CTRS WITH 10mm PLASTERBOARD WALL LINING
- 90 x 35 F5 PINE TOP & BOTTOM PLATES
- 90 x 35 ON 90 x 35 F5 PINE TOP PLATES TO LOAD BEARING WALLS ONLY
- 90 x 35 F5 PINE WINDOW SILLS & HEADS
- 70 x 35 F5 PINE NOGGINGS
- GALV. ANGLE IRON WALL & PLY BRACING

SELECTED FACE BRICKWORK (GENERALLY)

Note:
CONCRETE SLAB AND FOOTINGS TO ENGINEERS DESIGN
PROVIDE MASONRY ARTICULATION JOINTS AS MARKED

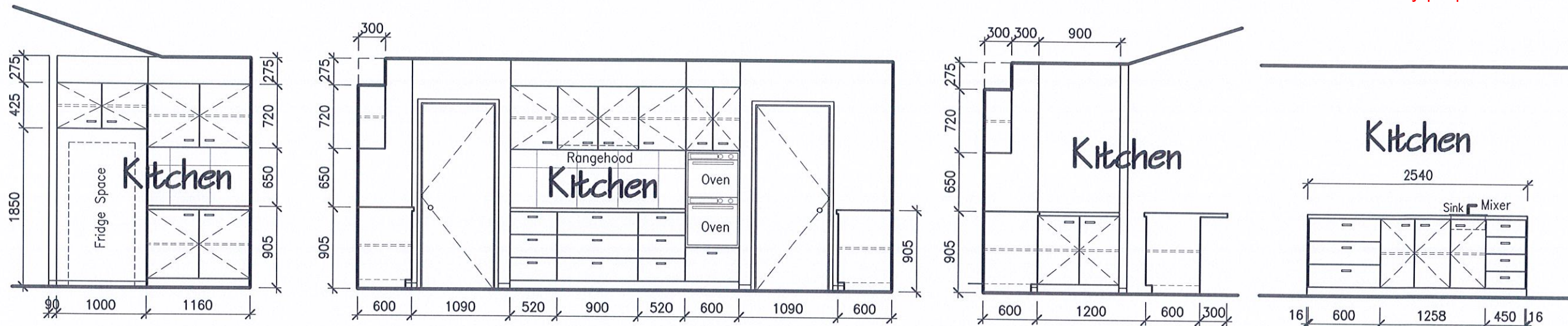
Note:
PROVIDE WHIRLY BIRD ROOF VENTILATOR TO ROOF SPACE AS REQUIRED
ALL EXHAUST FANS TO BE VENTED EXTERNALLY

Note: Approved method of TERMITE TREATMENT IS REQUIRED
Section A-A 1:50
Refer to soil report by engineer for soil classification as required

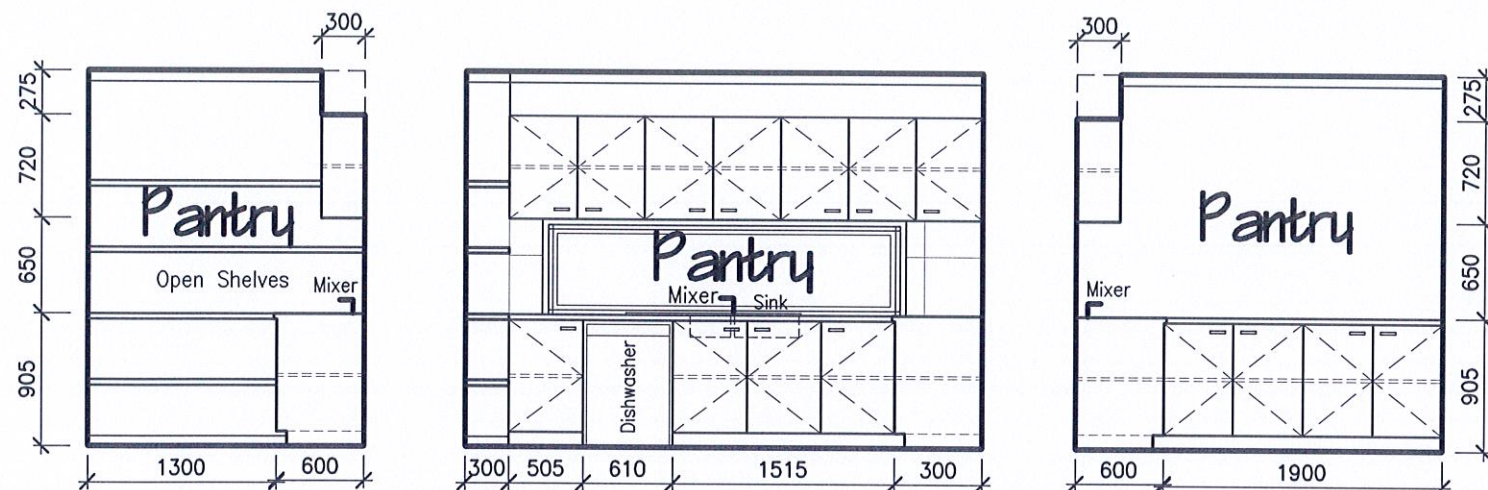
Timber Lintels:
FOR OPENINGS UP TO:
1500 - 150 x 45 LVL 2400 - 240 x 45 LVL
1800 - 170 x 45 LVL 3600 - 360 x 63 LVL

WE HAVE CHECKED THE PLANS AND AGREE THAT THEY ACCURATELY DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN ADDITION TO THE COST OF THE VARIATION ITEM/S AND ANY FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

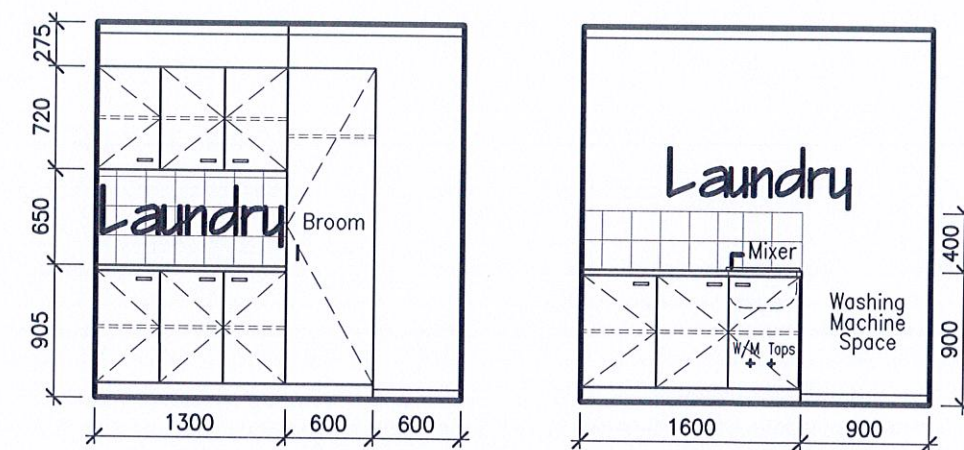
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Kitchen Internal Elevations 1:50



Pantry Internal Elevations 1:50



Laundry Internal Elevations 1:50

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 CDB-U 53249 www.gjgardner.com.au

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 Beach Facade
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 To G.J Gardner Homes

Craig Wight
 Design & Drafting
 Registered Building Practitioner
 DP AD 36750

CLIENT:
B Motta & J Koelewyn
 DRAWING TITLE:
INTERNALS - 1:50

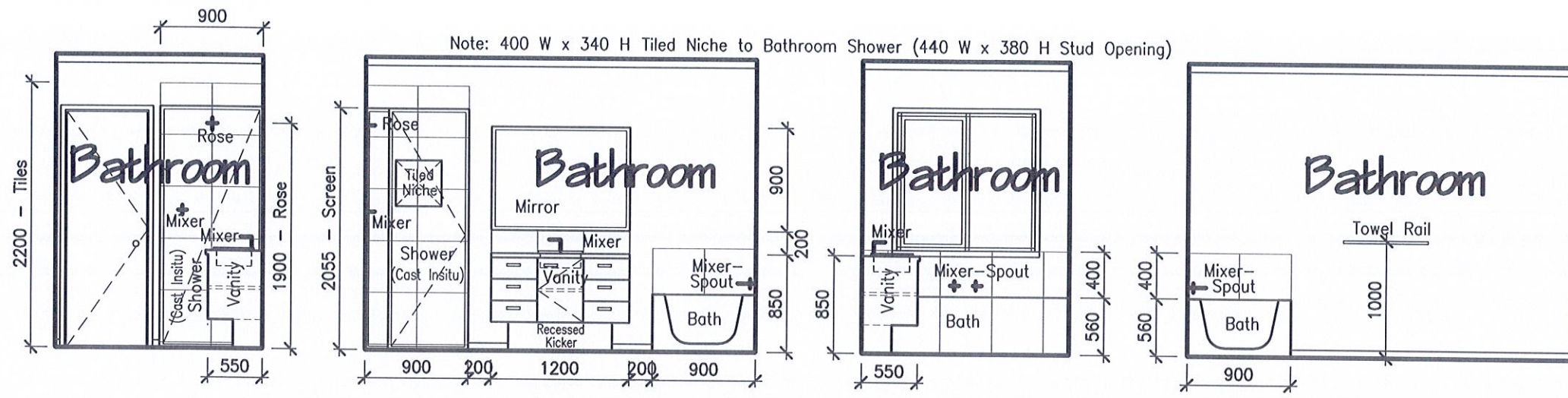
PROJECT: PROPOSED NEW RESIDENCE
**No. 23
 Lanes Road,
 Lucknow**

PAGES: 5 OF 8
 SHEET SIZE: A3
 JOB NO: 230802
 DRAWN: CRAIG WIGHT
 DATE: 16/2/24

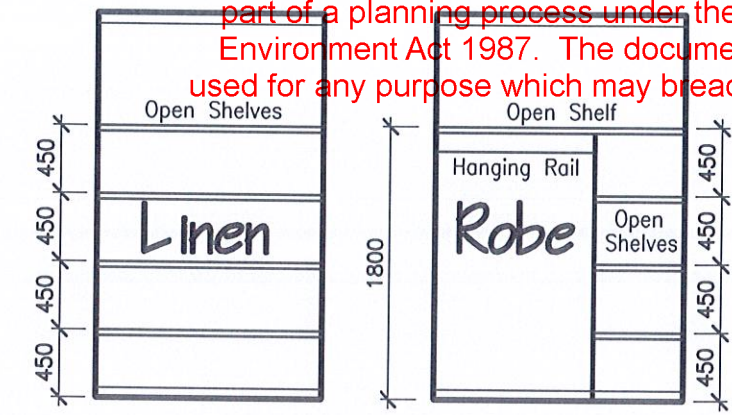
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 GARAGE: 39.42m2
 PORCH: 4.05m2
 VERGOLA: 28.00m2
 TOTAL: 303.48m2

REV.	DETAILS:	DATE:
A	PRELIMINARY DRAWINGS	16/2/24
B	WORKING DRAWINGS	*

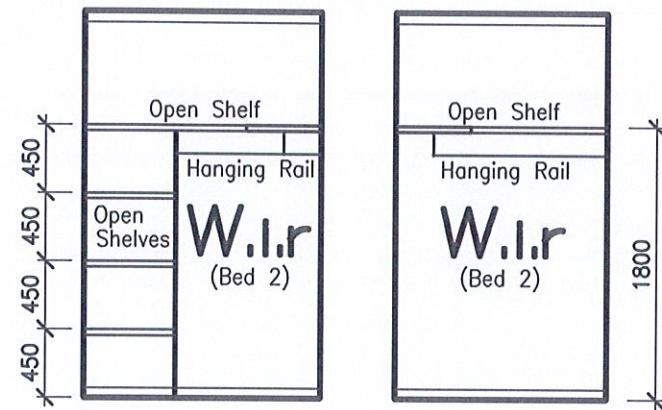
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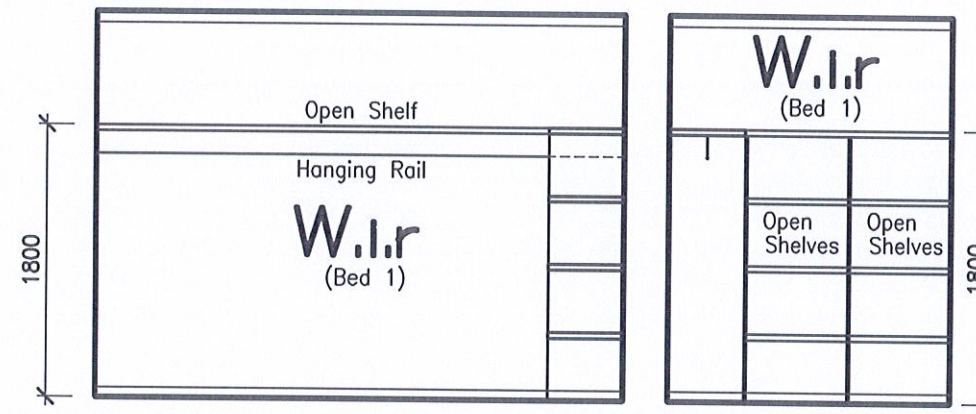
Bathroom Internal Elevations 1:50



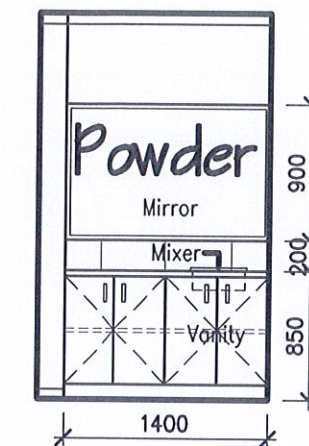
Typical Linen & Robe Internal Elevations 1:50



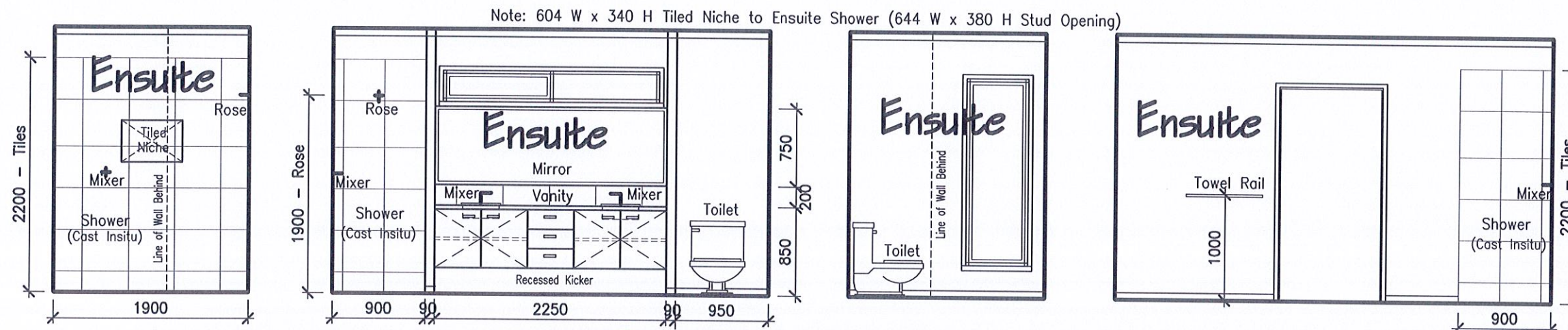
Bed 2 W.I.r Internal Elevations 1:50



Bed 1 W.I.r Internal Elevations 1:50



Powder Internal Elevations 1:50

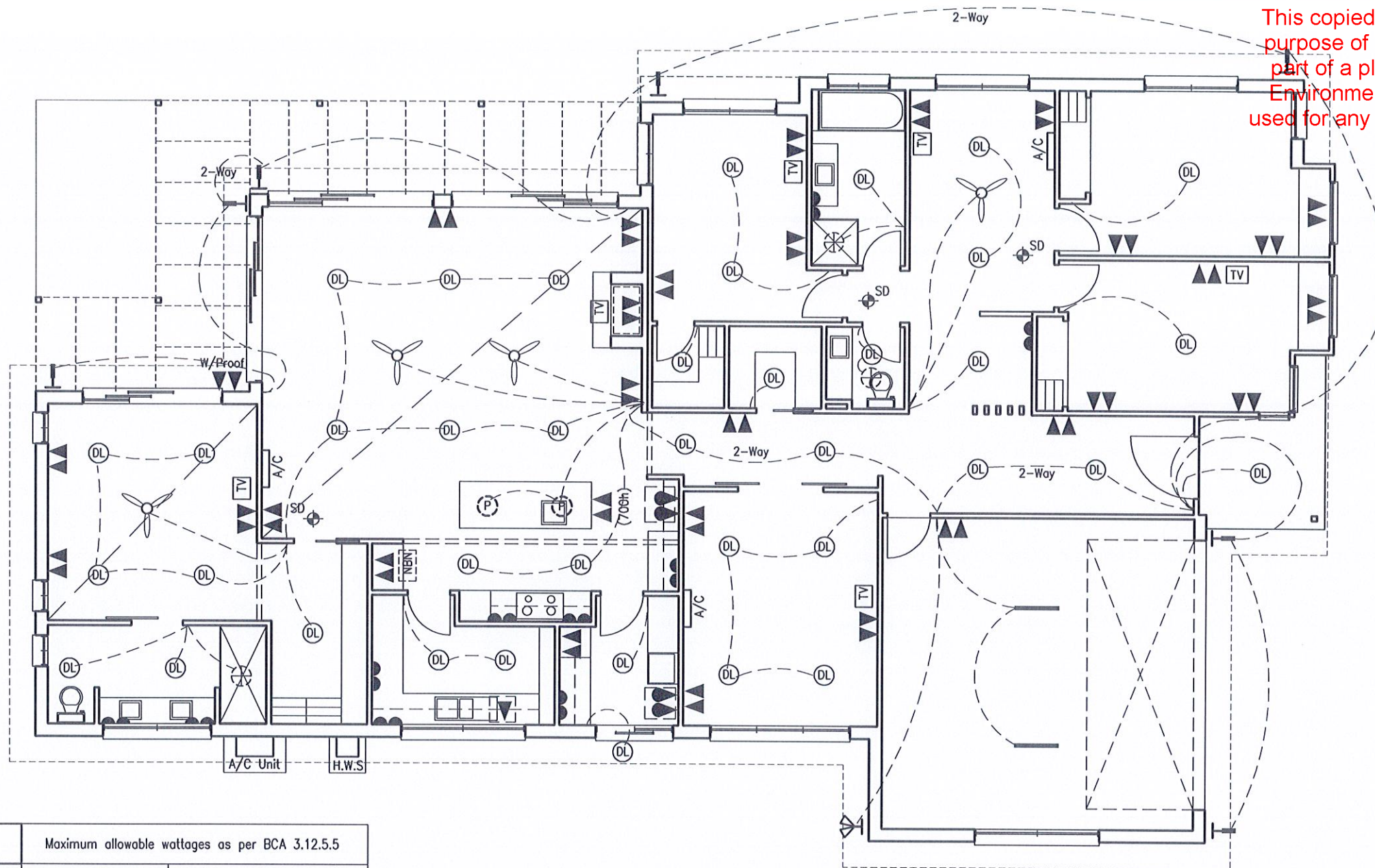


Ensuite Internal Elevations 1:50

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Artificial Lighting Information		Maximum allowable wattages as per BCA 3.12.5.5	
Dwelling Area	Max. 5 Watts per m2	Verandah Areas	Max. 4 Watts per m2
Garage Area	Max. 3 Watts per m2	Alfresco/Porch's	Max. 4 Watts per m2

Note: Lights to perimeter of building must be controlled by a daylight timer or have an average light source efficacy of not less than 40 Lumens/W

Proposed Electrical Layout Plan 1:100

Electrical Legend											
Symbol	Definition	No.	Symbol	Definition	No.	Symbol	Definition	No.	Symbol	Definition	No.
⚡	Double Power Point at 1350mm	2	DL	Down Light	39	⊕	Pendant Light (Owner Supplied)	2	⌊H	Heating Vent	-
⚡	Double Power Point at 250mm	29	●	Ceiling Light Outlet	-	⊕	Ceiling Mounted Exhaust Fan	3	⊠	3-in-1 (Heater, Fan & Light)	-
⚡	Single Power Point at 250mm	1	⊕	Ceiling Fan	4	⊕	Ceiling Fan with Light	-	—	Flourescent Light	2
⚡	Double Power Point at 1050mm	10	⊕	2-Way Spot Light	1	⊕	Smoke Detector (Hard Wired)	3	[NBN]	NBN Point	1
⚡	Double Power Point at 1050mm	10	⊕	Up-Down Wall Lights	7	⊕	Smoke Detector (Hard Wired)	3	[TV]	T.V Point	6

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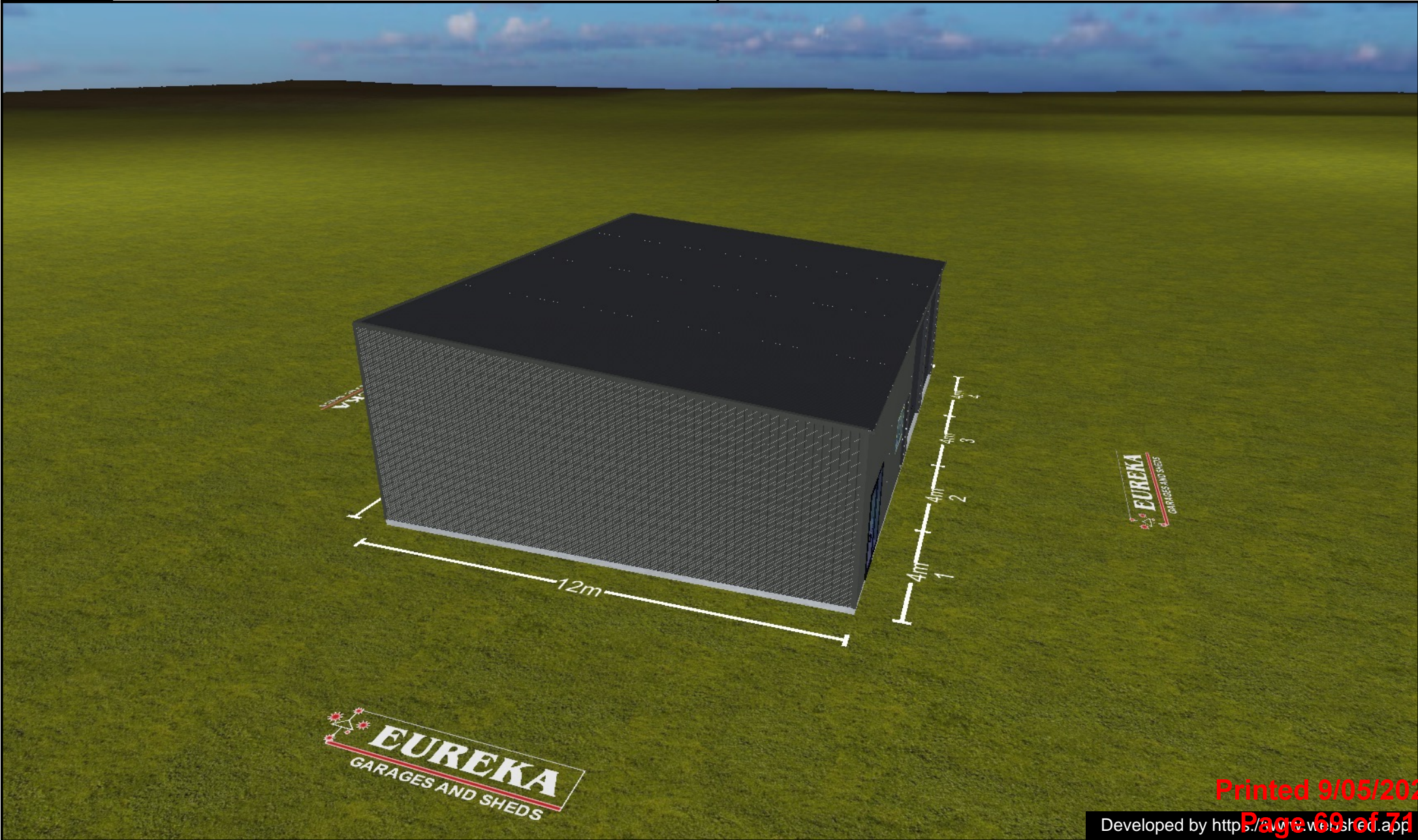
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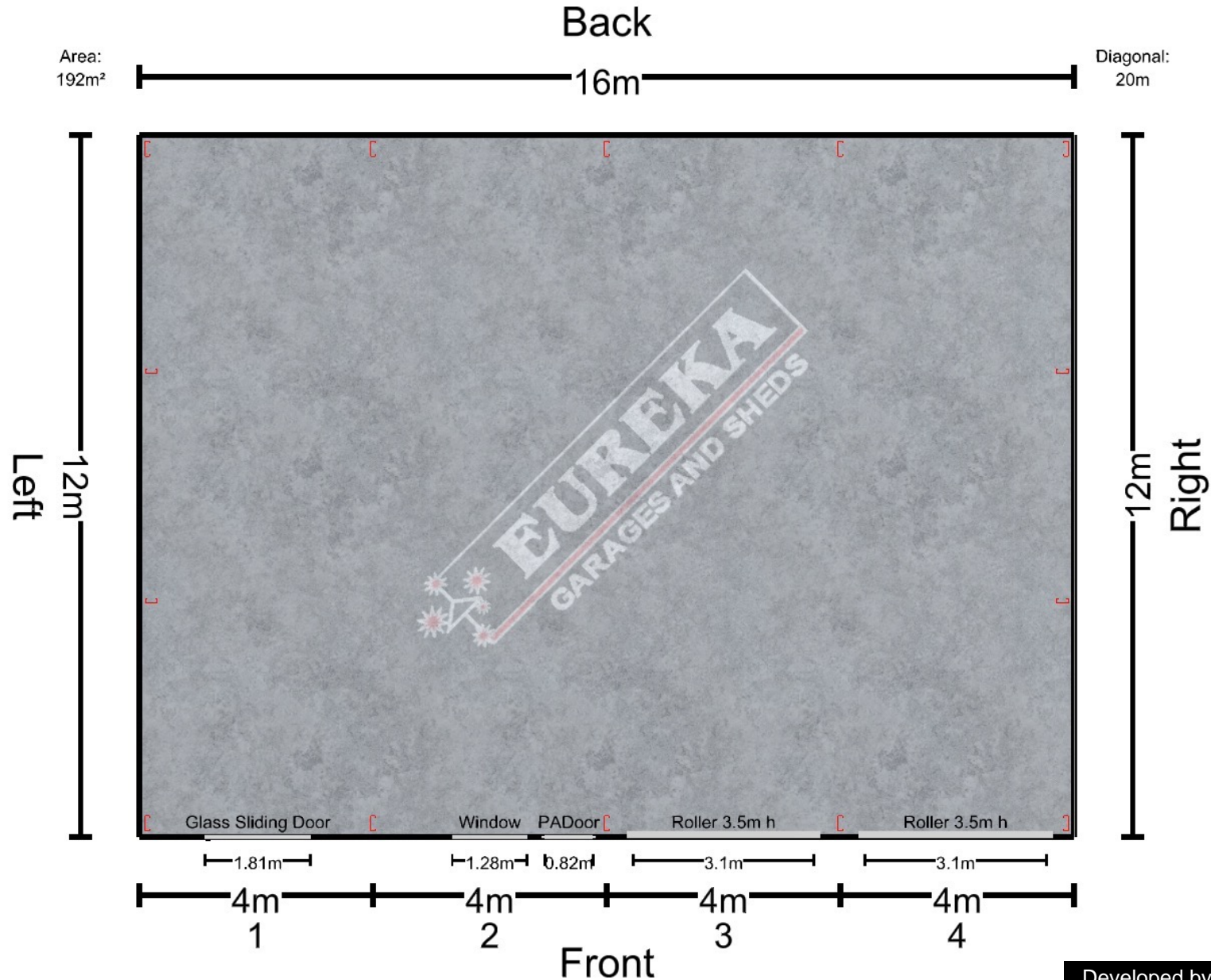
G.J Gardner. HOMES 103 Main Street, Bairnsdale VIC 3875 Office: (03) 5153 1330 CDB-U 53249 www.gjgardner.com.au	Edgewater 294 Beach Facade © Copyright Exclusive To G.J Gardner Homes	Craig Wight Design & Drafting Registered Building Practitioner DP AD 36750	CLIENT:	PROJECT: PROPOSED NEW RESIDENCE	PAGES:	SHEET SIZE:	FLOOR AREAS: INTERNAL: 232.01m2 GARAGE: 39.42m2 PORCH: 4.05m2 VERGOLA: 28.00m2 TOTAL: 303.48m2	REV.	DETAILS:	DATE:
			B Motta & J Koelewyn	No. 23 Lanes Road, Lucknow	7 OF 8	A3		A	PRELIMINARY DRAWINGS	16/2/24
			DRAWING TITLE:	ELECTRICAL - SCALE 1:100	JOB NO: 230802	DRAWN: CRAIG WIGHT		B	WORKING DRAWINGS	*
					DATE: 16/2/24					



3D View View & Edit in 3D: <https://eurekagarages.com.au/request-a-quote/#LmFRTgRKPBk/2>

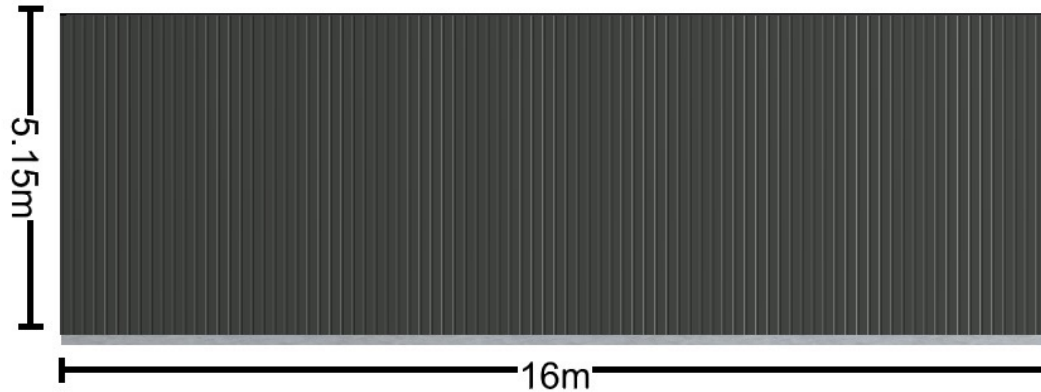


Floor Plan View & Edit in 3D: <https://eurekagarages.com.au/request-a-quote/#LmFRTgRKPBk/2>

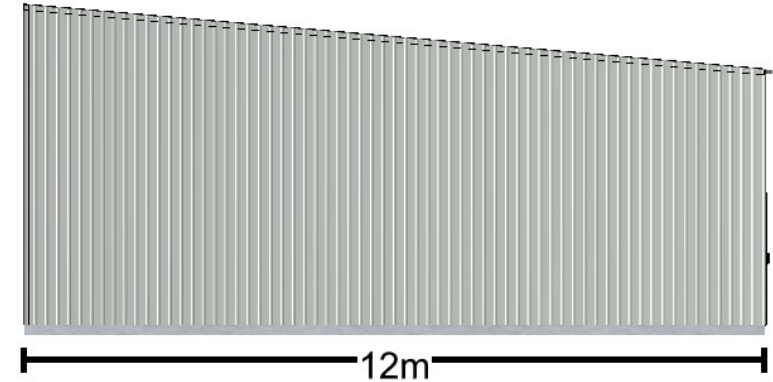




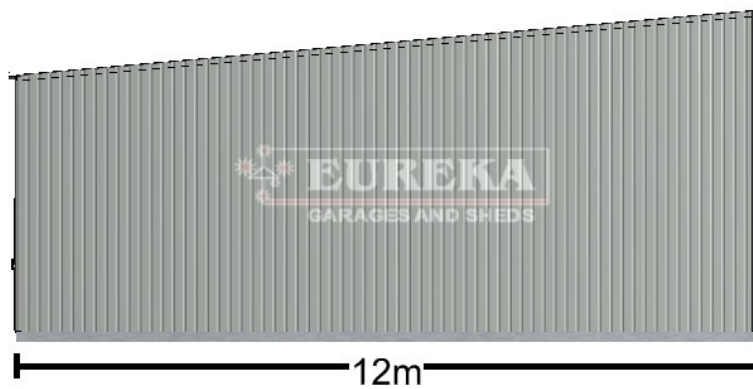
Elevations View & Edit in 3D: <https://eurekagarages.com.au/request-a-quote/#LmFRTgRKPBk/2>



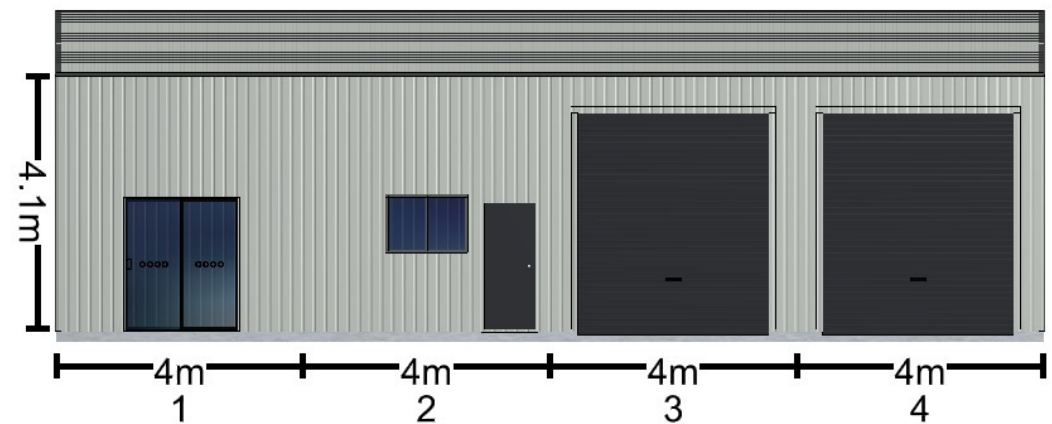
Back



Left



Right



Front