

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	4-14 Gilsenan Street PAYNESVILLE 3880, 16 Gilsenan Street PAYNESVILLE 3880 Lot: 2 LP: 122516, Lot: 2 PS: 438845
The application is for a permit to:	Use & Development of a Camping and Caravan Park
The applicant for the permit is:	Crowther & Sadler Pty Ltd
The application reference number is:	5.2024.133.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to applicant giving notice
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If you object, the Responsible Authority will tell you its decision.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958 Page 1 of 3

VOLUME 09249 FOLIO 104

Security no : 124113667391R
Produced 25/03/2024 11:25 AM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 122516.
PARENT TITLES :
Volume 08547 Folio 736 Volume 09160 Folio 698
Created by instrument G810722 30/09/1977

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP122516 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 4-14 GILSENAN STREET PAYNESVILLE VIC 3880

ADMINISTRATIVE NOTICES

NIL

Effective from 20/09/2021

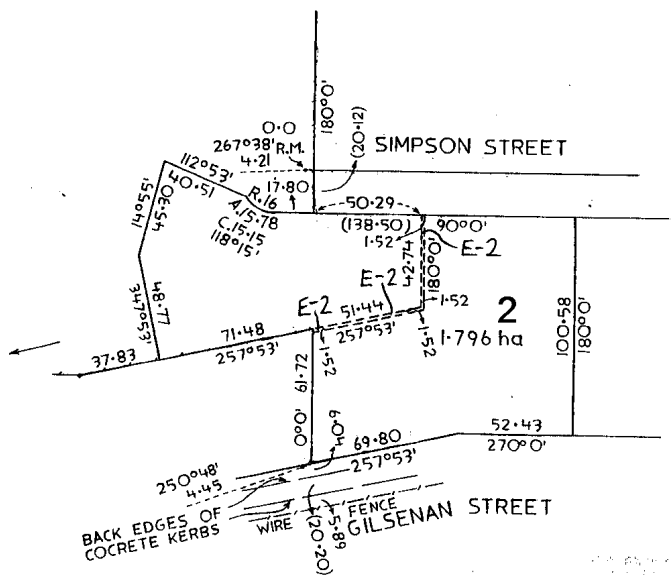
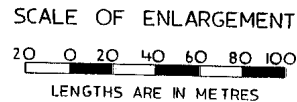
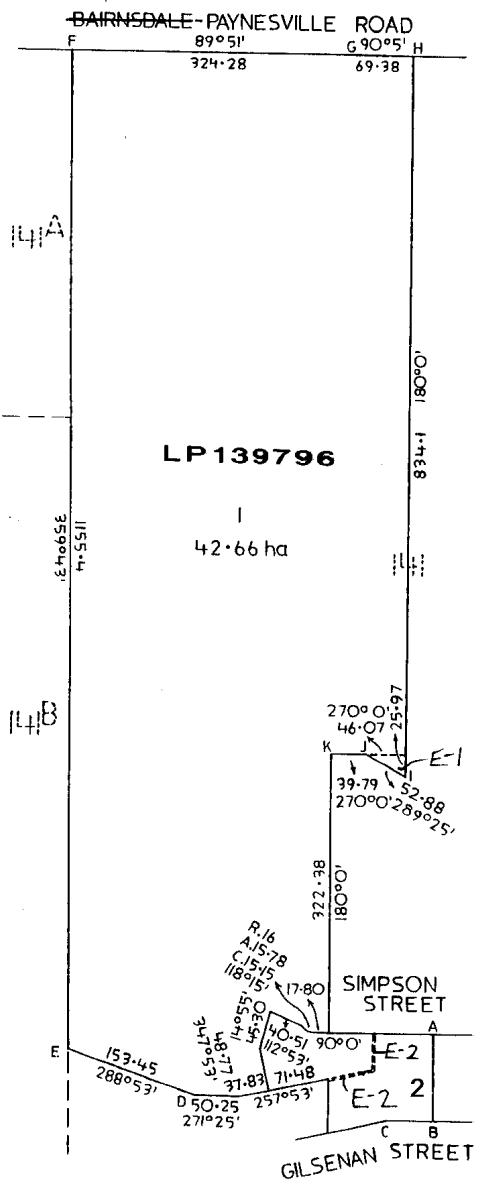
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LP122516
EDITION 1
APPROVED 23/6/76

<p>PLAN OF SUBDIVISION OF: PART OF CROWN ALLOTMENT 141</p> <hr/> <p>PARISH: BAIRNSDALE</p> <p>COUNTY: TANJIL</p> <p>LENGTHS ARE IN METRES</p>	<p>APPROPRIATIONS</p>	<p>ENCUMBRANCES & OTHER NOTATIONS</p> <p>THE LAND COLOURED BLUE IS ENCUMBERED BY A DRAINAGE EASEMENT - SEE L.P. 30553.</p> <p>THE LAND COLOURED PURPLE IS ENCUMBERED BY A DRAINAGE AND SEWERAGE EASEMENT - SEE L.P. 118897.</p> <p>RIGHT OF CARRIAGE WAY OVER KING, REX, SIMPSON AND QUEEN STREETS COLOURED BROWN ON L.P. 30553 - SEE C/T 8076/016</p> <p>PONTS, A, B, C, D, E, F, G, H, I, J & K ARE NOT THE SUBJECT OF THIS SURVEY.</p>
	<p>CHART NO. 23.</p>	<p>COLOUR CONVERSION E-1 = PURPLE E-2 = BLUE</p>

V.9160 F.698
8547 736





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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958 Page 1 of 3

VOLUME 10529 FOLIO 702

Security no : 124113667825U
Produced 25/03/2024 11:31 AM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 438845A.
PARENT TITLES :
Volume 08223 Folio 149 Volume 09105 Folio 647
Created by instrument PS438845A 30/06/2000

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS438845A FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AX665060Y (E)	DISCHARGE OF MORTGAGE	Registered	22/01/2024
AX665061W (E)	TRANSFER	Registered	22/01/2024

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 16 GILSENAN STREET PAYNESVILLE VIC 3880

ADMINISTRATIVE NOTICES

NIL

eCT Control 19208S HWL EBSWORTH LAWYERS
Effective from 22/01/2024

DOCUMENT END

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PLAN OF SUBDIVISION

STAGE No. /

LTO USE ONLY

PLAN NUMBER

EDITION 1

PS 438845A

LOCATION OF LAND

COUNCIL CERTIFICATION AND ENDORSEMENT

PARISH: BAIRNSDALE
TOWNSHIP: —
SECTION: —
CROWN ALLOTMENT: 141 (PART)
CROWN PORTION: —
LTO BASE RECORD:
TITLE REFERENCES: VOL 8223 FOL 149 & VOL 9105 FOL 647
 LP30553 LOT 79 &
LAST PLAN REFERENCE/S: LP114833 LOT 2
POSTAL ADDRESS: 16-18 GILSENAN STREET,
 (At time of subdivision) PAYNESVILLE, 3880
AMG Co-ordinates E 562 550 ZONE: 55
 (of approx centre of land N 5802 900
 in plan)

COUNCIL NAME: EAST GIPPSLAND SHIRE COUNCIL REF: 00/00050/
 1. This plan is certified under Section 6 of the Subdivision Act 1988. SB
~~2. This plan is certified under Section 11(7) of the Subdivision Act 1988.~~
~~Date of original certification under Section 6. / /~~
 3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.
OPEN SPACE
 (i) A requirement for public open space under Section 18 of the Subdivision Act 1988 has/has not been made.
~~(ii) The requirement has been satisfied.~~
~~(iii) The requirement is to be satisfied in Stage~~
 Council Delegate
~~Council Seal~~
 Date 19/05/2000
~~Re-certified under Section 11(7) of the Subdivision Act 1988.~~
~~Council Delegate~~
~~Council Seal~~
~~Date / /~~

VESTING OF ROADS AND/OR RESERVES

IDENTIFIER	COUNCIL/BODY/PERSON
NIL	NIL

NOTATIONS

STAGING This is/is not a staged subdivision.
~~Planning permit No. —~~
 DEPTH LIMITATION DOES NOT APPLY

SURVEY THIS PLAN IS/IS NOT BASED ON SURVEY
 THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s)
 IN PROCLAIMED SURVEY AREA No.

EASEMENT INFORMATION

LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	DRAINAGE	1.52	LP 30553	LOTS IN LP 30553

LTO USE ONLY

STATEMENT OF COMPLIANCE/
 EXEMPTION STATEMENT

RECEIVED

DATE 9/6/00

LTO USE ONLY

PLAN REGISTERED

TIME 10am

DATE 30/6/00

Assistant Registrar of Titles

SHEET 1 OF 2 SHEETS

Crowthier & Sadler Pty Ltd
 CONSULTING SURVEYORS
 152 MACLEOD STREET, BAIRNSDALE, 3875
 TELEPHONE (03) 5152 5011

LICENSED SURVEYOR (PRINT) MICHAEL JOSEPH SADLER
 SIGNATURE DATE 4/5/00
 REF 9366 VERSION 1

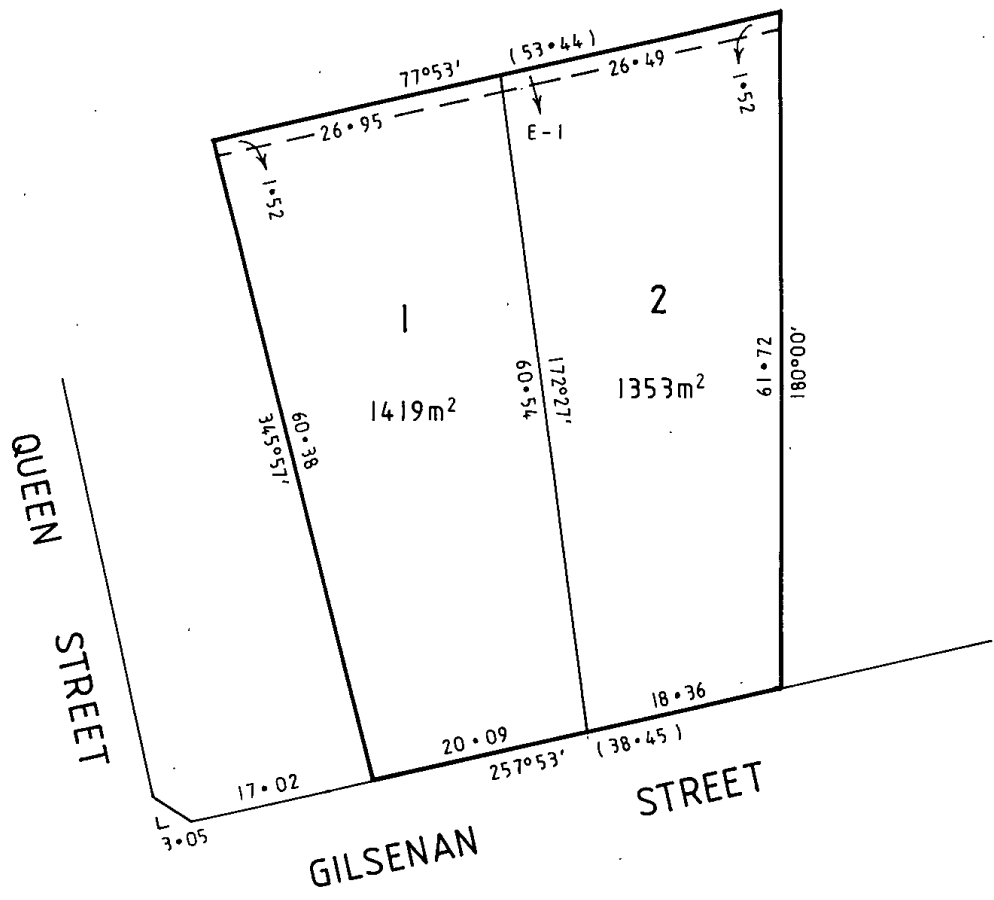
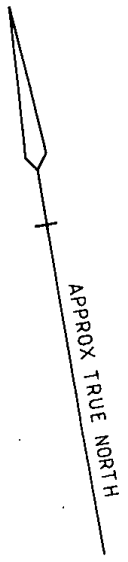
Printed 14/05/2024
 Page 5 of 44
 ORIGINAL SHEET SIZE A3

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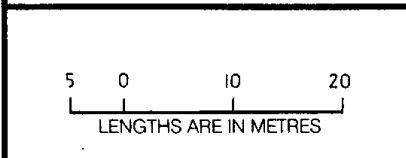
PLAN OF SUBDIVISION

STAGE No. PLAN NUMBER

PS 438845A



Crowther & Sadler Pty Ltd
 LICENSED SURVEYORS & TOWN PLANNERS
 152 MACLEOD STREET, BAIRNSDALE, 3875
 TELEPHONE (03) 5152 5011



ORIGINAL
 SCALE SHEET SIZE
 1: 500 A3

LICENSED SURVEYOR (PRINT) MICHAEL JOSEPH SADLER
 SIGNATURE DATE / /
 REF 9366 VERSION 1

SHEET 2 OF 2 SHEETS
 Printed 14/05/2024
 Page 6 of 44
 COUNCIL OF ELECTORAL DISTRICTS

Planning Report

Use and Development of a Camping and Caravan Park

4 – 14 & 16 Gilsenan Street, Paynesville

Our reference – 20778

April 2024



FS 520900



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	Building Envelope Plan (Version 3)	
	Design Response Plan (Version 2)	
	STORM Rating Report	
	Copy of Title (Lot 2 PS122516 & Lot 2 PS438845)	
	Proposed Building Plans and Elevations	

Note: Applicable Planning Application fee is \$2,369.10

1. Introduction

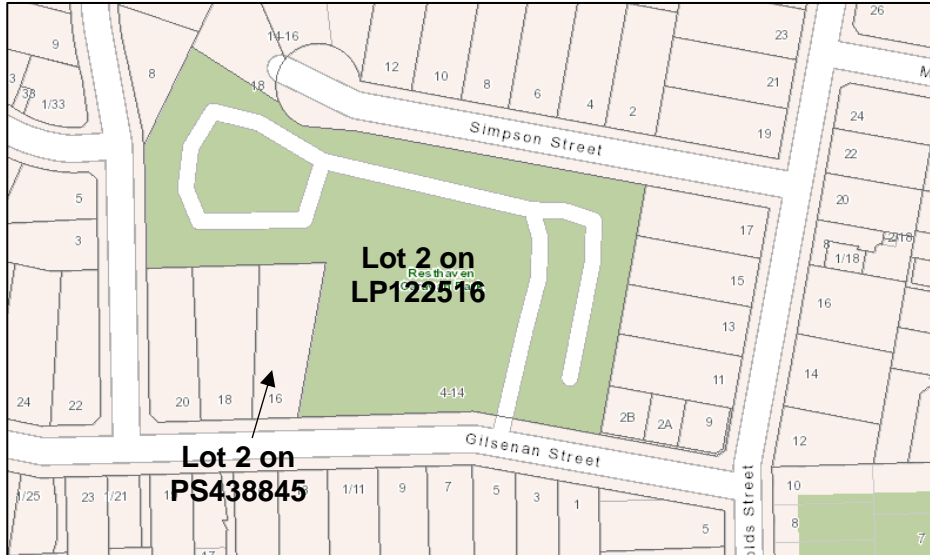
This Planning Report is prepared in support of the proposed use and development of a caravan and camping park at 16 Gilsenan Street, Paynesville and buildings and works associated with the existing caravan park at 4-14 Gilsenan Street, Paynesville. The Report addresses the provisions of the General Residential Zone and relevant planning provisions as contained within the East Gippsland Planning Scheme.



Aerial image of the subject land and surrounds (Source: IntraMaps)

2. Subject Land & Surrounding Context

The land subject to this application includes 4-14 Gilsenan Street, Paynesville (formally known as Lot 2 on LP122516) and 16 Gilsenan Street, Paynesville (formally described as Lot 2 on PS438845A).



Locality plan identifying the two parcels that form the subject land (Source: VicPlan)

The property at 4-14 Gilsenan Street, Paynesville is an irregular shaped allotment having an area of 1.796ha and contains an established caravan park known as *Resthaven Caravan Park*. The existing caravan park is developed with cabins, caravan sites, office building, games room, camp kitchen, amenities building, playground and swimming pool. Access to the existing caravan park is only from Gilsenan Street.



Aerial image of existing caravan park (Source: IntraMaps)

The adjoining property at 16 Gilsenan Street, Paynesville is slightly irregular in shape with a frontage to Gilsenan Street of 18.36 metres, depth of 60.54 – 61.72 metres and a rear boundary of 26.49 metres, equating to an overall area of 1,353 square metres.

The land is generally flat with a slight fall towards Gilsenan Street. The property is currently undeveloped. The front and side boundaries consist of a 1.8 metre high paling fence with a metal gate along the street boundary.



View of the subject land taken from Gilsenan Street.



View internally from the rear of 16 Gilsenan Street towards the street



View north inside front boundary of 16 Gilsenan Street

The adjoining property on the west side of the subject and at 18 Gilsenan Street contains an established single storey dwelling with an outbuilding in the rear. The dwelling is setback from the common boundary with the subject land.



Front 18 Gilsenan Street, Paynesville



View from subject land to 18 Gilsenan Street

The subject land is located within an established residential neighbourhood. South of the subject land is a single storey detached dwelling and a double storey detached dwelling that gain access and front Gilsenan Street.



Properties on south side of Gilsenan Street opposite 16 Gilsenan Street

The subject site is well located close to the facilities and services that Paynesville has to offer.

Site Context Plan



A – Subject Land

B1 – Western commercial/entertainment precinct (630 metres from Subject Land)

B2 – Eastern commercial/entertainment precinct (990 metres from Subject Land)

C – Active recreation precinct (460 metres from Subject Land)

D – Paynesville Primary School (630 metres from Subject Land)

E – Industrial and Marine Employment precinct (1.3 kilometres from Subject Land)

F – Residential growth front for Paynesville (440 metres from Subject Land)

3. The Application & Proposal

The application seeks approval for an extension of the caravan park with the inclusion of an adjoining property at 16 Gilsenan Street and for buildings and works for the establishment of 16 new cabins for permanent occupancy. Development of the additional cabin sites will remove seven ensuite sites and three powered sites.

The new cabin sites are proposed as land lease sites focussed on affordable accommodation for people over the age of 50 (retirees and pre-retirees).



Location of the proposed cabin sites (Source: Google Earth)



View of existing caravan sites on left side of driveway proposed to be replaced by proposed cabins.



Image of part of the subject land looking south at sites that are proposed to be removed.

Development of the 16 cabin sites will include the construction of a new internal driveway. The driveway will be fully constructed, sealed and drained. Internal services will be rearranged and extended to service each cabin including reticulated water, sewerage, electricity and stormwater drainage.



Proposed Site Plan of the extended caravan and camping park.

The proposed sites vary in size and orientation so a variety of cabin types are proposed. The variety of cabins include single bedroom cabins for Sites 4 and 5 and two bedroom cabins to be available on the other 14 sites.

Sites 1-3, 15 and 16 are all proposed to utilise the same cabin (Gerval Homes, Project #41L064) having a length of 12.4m and width of 5.0m.

Three alternate cabin designs are proposed for Sites 6-10 (inclusive). All three options have the same overall dimensions of 9.2m x 5.0m, each option having a different floor plan. One option also includes a small deck (Adventure Cabins Dwg No. Q80324-01).

Two alternate cabin designs are proposed for Sites 11-14 (inclusive). Both cabin options have the overall dimensions of 11.3m x 5.0m with each option offering an alternative floor plan. Each option includes a deck in front of the entrance at 5.0m x 2.1m.

All proposed cabins are single storey and once installed will not exceed a height of 4.5m above ground level. The selected cabins for Lots 4 and 5 include a skillion roof while all other cabins have a simple roof form having a single ridgeline and gable ends.

Plans accompanying the application include a and Design Response Plan, Site Plan and Building Envelope Plan to demonstrate the position of cabins on the sites, separation distances between cabins, setbacks from boundaries and provision for car parking.

All new cabin sites will accord with the fire safety requirements as outlined in the Residential Tenancies (Caravan Parks and Moveable Dwellings Registration and Standards) Regulations 2020.

Access to the new cabins is proposed to continue via the existing caravan and camping park entrance at Gilsenan Street



Image of existing caravan park access.

Planning approval is required pursuant to the following Clauses of the East Gippsland Planning Scheme:

Planning Scheme Clause No.	Description of what is Proposed
32.08 - 2 General Residential Zone	Use of the land for accommodation
32.08-10 General Residential Zone	Construct and carry our works for a use in Section 2

The application is not required to be referred pursuant to Section 55 of the *Planning and Environment Act 1987*.

4. Cultural Heritage

Pursuant to Regulation 7 of the *Aboriginal Heritage Regulations 2018*, a CHMP is required for an activity if:

- (a) *all or part of the activity area for the activity is in an area of cultural heritage sensitivity; and*
- (b) *all or part of the activity is a high impact activity*

The south-east corner of the existing caravan park is within 200m of a named waterway and therefore is within an area of Cultural Heritage Sensitivity. The property at 16 Gilsenan Street is not within an area of cultural heritage sensitivity.

The activity area subject to the proposed use and buildings and works is not within the identified area of Cultural Heritage Sensitivity and therefore a CHMP is not required.



*Extract from Cultural Heritage Sensitivity mapping,
with sensitive areas shown in green (Source: VicPlan)*

5. Planning Policy

5.1 Planning Policy Framework

Supportive planning policy is found within Clause 11.01-1S Settlement which seeks to encourage growth within settlement boundaries and provides infill redevelopment of serviced vacant land.

Clause 11.01-1R Settlement – Gippsland advises that Paynesville forms a sub-regional network with Bairnsdale (the regional centre of East Gippsland). Urban growth is supported within sub-regional networks of towns which the proposal will facilitate.

The proposed development will contribute to the variety of residential accommodation in the redevelopment of existing areas as sought by Clause 11.01L-02 Growth area towns – Paynesville.

Being located within Paynesville Clause 11.03-4L-01 is relevant to the application. The use and development of a caravan and camping park will utilise a vacant residential allotment assisting to contain development within existing zoned boundaries. The development does not contain and will not have any impact to sensitive coastal ecosystems.

Planted vegetation is located at the rear of existing sites adjacent to the eastern boundary of 16 Gilsenan Street. The proposed development will see the trees removed however, they have minimal aesthetic value and will not have any impact to biodiversity and as such the objectives of the Clause 12.01-2S Native vegetation management are achieved.

The subject land is well setback from the Lake foreshore in an elevated location within the town. The subject land is at a level >13m AHD and therefore would not be expected to be directly impacted by the effects of climate change as sought by Clause 13.01-2S Coastal inundation and erosion.

Clause 13.02 Bushfire is not relevant to the application as the land is not contained within the Bushfire Management Overlay and is not within a declared Bushfire Prone Area.

The neighbourhood character of the area is varied including detached dwellings, townhouses and the caravan park. The proposed extension of the caravan park to include the vacant residential allotment at 16 Gilsenan Street will maintain the character of the area and pattern of local urban structure consistent with Clause 15.01-5S Neighbourhood character.

Clause 16.01-1S Housing supply seeks to facilitate well-located, integrated and diverse housing that meets community needs. The extension of the caravan park will facilitate further housing diversity and increases the proportion of housing in an established urban area. The site is also within proximity to services and community facilities.

The proposed development will facilitate increased choice in housing type, tenure and cost to meet the needs of households as they move through life cycle changes and supports a diverse community as sought by Clause 16.01-2S Housing affordability.

The subject land is well located close to many of the facilities and services available within the town and is connected to the Activity Centre via a footpath network allowing future residents the opportunity to reduce car dependency encouraged within Clause 18.02-1S Walking.

Gilsenan Street is a wide sealed urban road. Additional vehicle movements created by the proposed extension to the caravan park can easily be accommodated within the existing road network as per Clause 18.02-4S Roads.

5.2 Municipal Planning Strategy

Clause 02.03-1 Settlement and housing—Growth area towns, advises that Paynesville has grown rapidly in recent times, as a “dormitory” town and a retirement area.

Strategic directions for Paynesville are forwarded by the proposal through encouraging population growth and development on fully serviced residential land, it will provide a range of housing types and styles, assists development of East Gippsland as a retirement destination and expands Paynesville as a residential centre.

There are no mapped or known environmental risks associated with the property as identified in Clause 02.03-3 Environmental risks.

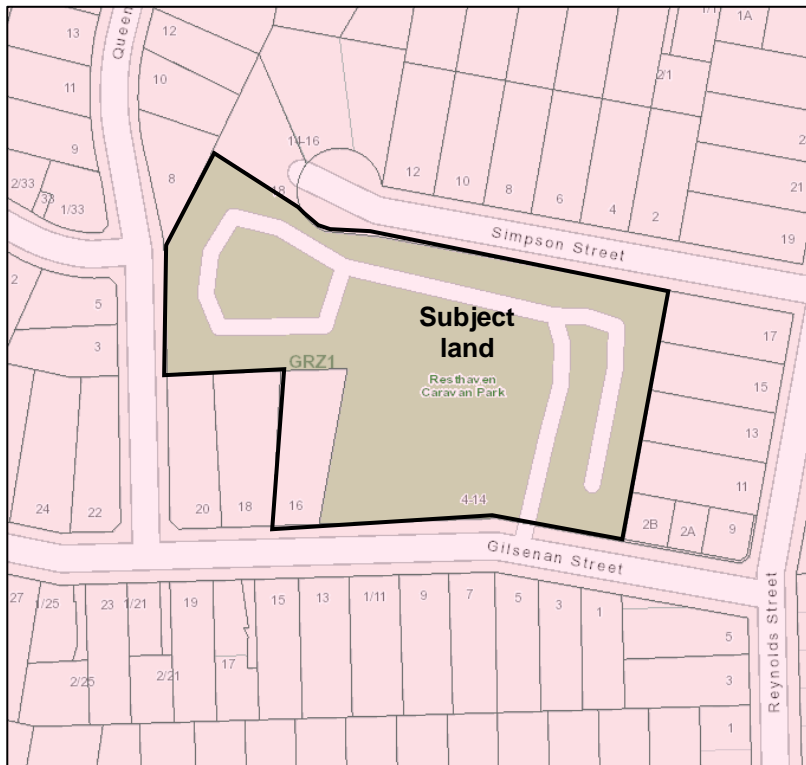
The relevant strategic direction for Paynesville within Clause 02.03-5 Built environment and heritage, is maintaining the human scale, village feel and character of Paynesville. The proposed cabins having a smaller building footprint and being single storey in height will complement the scale of built form within the surrounding neighbourhood.

Council strategic directions contained within Clause 02.03-7 Transport and Infrastructure, will be complemented by the proposal with the subject land being connected to reticulated sewerage and providing different accommodation that can be utilised by an aging population.

6. Planning Elements

6.1 General Residential Zone

The subject land is contained within the General Residential Zone under the East Gippsland Planning Scheme.



Planning scheme zone mapping (Source: VicPlan)

The proposed use and development is considered to satisfy the purposes of the General Residential Zone. The proposal is considered to be consistent with the Planning Policy Framework and Municipal Planning Strategy as described under 5.1 and 5.2 above. The proposed buildings respect the existing neighbourhood character providing smaller scale buildings consistent with the existing development on the land. The proposal will further contribute to a diversity of housing types and allows housing growth in an established in Paynesville.

In accordance with Clause 32.08-12 the application is accompanied by plans drawn to scale and dimensioned which show:

- Site shape, size, dimensions and orientation.
- The siting and use of existing neighbouring buildings and proposed buildings.
- The building form and scale.
- Setbacks to property boundaries of the proposed cabins.

It is considered that the likely effects, if any, on adjoining land would be minimal:

- Noise levels will be no more than other residential properties.
- Traffic movements from the additional cabins can easily be accommodated within the existing local road network.
- Light spill will be contained on the subject land with low level lighting of the expanded caravan park.
- The orientation of the subject land is advantageous allowing for cabins and the immediate surrounds to gain good solar access.
- Connections to reticulated sewerage, water, electricity and telecommunications are available to the property.

Decision Guidelines

The proposed development is consistent with the decision guidelines in so far as:

- Strong support is found within the Planning Policy Framework and the Municipal Planning Strategy.
- The proposed use and development is consistent with the purposes of the zone.
- There are no objectives or decision guidelines specified in the schedule to the General Residential Zone.
- There will be no impact to existing rooftop solar energy systems on dwellings on adjoining lots.

6.2 Car Parking

In accordance with Clause 52.06 - 2 before a new use commences car parking must be provided.

Where a use of land is not specified in Table 1 of Clause 52.06-6 car parking spaces must be provided to the satisfaction of the responsible authority. Camping and caravan park is not specified in Table 1.

The proposed site can all accommodate one car parking space. Given that a two bedroom dwelling is required to provide one car space it is considered that sufficient car parking for the proposed buildings will be provided onsite.

The Infrastructure Design Manual (IDM) advises for purposes of road design that residential allotments create 10 vehicle movements per day. Gilsenan Street is categorised as an access street which has the capacity to accommodate 0 – 2500 vehicle movements a day.

There are 37 established dwellings that rely on Gilsenan Street for access which equates to an average of 370 vehicle movements per day. The existing caravan park includes 54 annuals and residents which if the same average of vehicle movements was applied, generates 540 vehicle movements per day, and the proposed development would add an average of 160 vehicle movements per day.

The total combined daily vehicle movements from properties in Gilsenan Street is calculated to be 1070 vehicle movements which will be below the capacity of 2,500 vehicle movements for Gilsenan Street as prescribed by the IDM.



Image of Gilsenan Street looking east



Image of Gilsenan Street looking west

6.3 Stormwater Management

Clause 53.18 Stormwater Management in Urban Development seeks to ensure that stormwater in urban development mitigates the impacts on the environment, property and public safety.

An application to construct a building or carry out works must meet the objectives and should meet the standards of Clauses 53.18-5 and 53.18-6.

A STORM Rating Report accompanies the application and demonstrates that the use of rainwater tanks and raingardens are able to manage stormwater discharge and improve water quality currently entering into the municipal drainage system.

Proposed site works can be undertaken in a manner that controls sediment runoff into the drainage system through the use of sediment fencing.

Existing stormwater connections can be temporarily cut off to ensure stormwater entering the drainage system remains free from contaminants.

6.4 Residential Tenancies Regulations 2020

The Residential Tenancies (Caravan Parks and Moveable Dwelling Registration and Standards) Regulations 2020 outlines numerous requirements associated with caravan parks.

To assist with achieving compliance CFA Guidelines have been developed and are referred to in the Regulations.

The CFA Guidelines contain objectives to be achieved, performance measures which can allow for an alternative situation that can be considered and prescriptive provisions which automatically achieve the performance measures and objective.

All prescriptive provisions are met by the proposal. Regulation 20 governs firefighter access and fire separation. The proposed cabin layout will achieve the required 1.2 metre clearance firefighters require for access around each cabin and is provided with a surface that is suitably trafficable.

Fire separation between the cabins will meet the minimum 2.0 metre requirement and will have a 2.1 metre height clearance.

Fire vehicle access has been designed to ensure Regulation 20 and the prescriptive measure is met with driveway curves having a minimum inner radius of 10 metres. As the land is relatively flat grades will be easily achieved and there will be no dips.

The accessway will have a minimum trafficable width of four metres, will have a load limit of at least 15 tonnes, will be of all weather construction and a "T" head at the end of the new accessway

The existing reticulated fire hydrant system will be extended to comply with Regulation 19 allowing all cabins to be provided coverage no greater distance than 120 metres.

7. Conclusion

The proposed use and development of a caravan and camping park at 4 – 14 & 16 Gilsenan Street, Paynesville is considered to accord with all relevant provisions of the General Residential Zone and relevant planning provisions of the East Gippsland Planning Scheme. The proposal is consistent with Planning Policy Framework and Municipal Planning Strategy, will provide diverse and affordable housing and has been designed to complement the adjoining properties.

For these reasons we respectfully request that Council consider the merits of the application favourably and resolve to issue a Planning Permit.



STORM Rating Report

TransactionID: 0
 Municipality: EAST GIPPSLAND
 Rainfall Station: BAIRNSDALE
 Address: 4-14 & 16
 Gilsenan Street
 Paynesville
 VIC
 Assessor: Aaron Hollow
 Development Type: Other
 Allotment Site (m2): 2,316.00
 STORM Rating %: 122

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Road	350.00	Raingarden 300mm	1.00	0	67.80	0.00
Site 4	45.50	Rainwater Tank	2,000.00	1	120.00	97.90
Site 5	47.50	Rainwater Tank	2,000.00	1	120.00	97.90
Sites 1-3, 15 and 16	297.50	Rainwater Tank	10,000.00	10	136.00	90.70
Sites 6-10	230.00	Rainwater Tank	10,000.00	10	168.00	82.80
Sites 11-14	226.00	Rainwater Tank	8,000.00	8	142.30	89.20

Date Generated: 25-Mar-2024

Program Version: 1.0.0

SITE PLAN

PARISH OF BAIRNSDALE
 CROWN ALLOTMENT 141 (PART)

LOT 2 ON LP122516
 LOT 2 ON PS438845



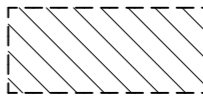
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SCALE (SHEET SIZE A2)	SURVEYORS REF.
1 : 250	20778 VERSION 4 - DRAWN 20/03/2024
EQUINOX PROPERTY GROUP 4-14 & 16 GILSEMAN STREET, PAYNESVILLE	
Crowther & Sadler Pty. Ltd. LICENSED SURVEYORS & TOWN PLANNERS 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875 P. (03) 5162 8011 E. contact@crowthersadler.com.au	
FILENAME: Y:\20000-20999\20700-20799\20778 Equinox Property Group\2024\Site Plan\4.pro Printed 14/05/2024 Page 26 of 44	

BUILDING ENVELOPE PLAN

PARISH OF BAIRNSDALE
 CROWN ALLOTMENT 141 (PART)

LOT 2 ON LP122516
 LOT 2 ON PS438845



NOTATIONS	
	- DENOTES BUILDING ENVELOPE
SCALE (SHEET SIZE A2)	SURVEYORS REF.
1 : 250	20778 VERSION 3 - DRAWN 22/03/2024
EQUINOX PROPERTY GROUP 4-14 & 16 GILSENAN STREET, PAYNESVILLE	
Crowther & Sadler Pty. Ltd. LICENSED SURVEYORS & TOWN PLANNERS 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875 P. (03) 5162 8011 E. contact@crowthersadler.com.au	
FILENAME: Y:\20000-20999\20700-20799\20778 Equinox Property Group 20778 Building Envelope V3.pro	

DESIGN RESPONSE PLAN

PARISH OF BAIRNSDALE
 CROWN ALLOTMENT 141 (PART)

LOT 2 ON LP122516
 LOT 2 ON PS438845



MGA2020 ZONE 55

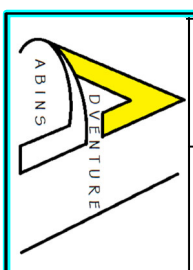
GILSENAN STREET

NOTATIONS

SCALE (SHEET SIZE A2)	SURVEYORS REF.
1 : 250	20778
	VERSION 2 - DRAWN 22/03/2024

EQUINOX PROPERTY GROUP
 4-14 & 16 GILSENAN STREET, PAYNESVILLE

Crowther & Sadler Pty. Ltd.
 LICENSED SURVEYORS & TOWN PLANNERS
 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875
 P. (03) 5162 8011 E. contact@crowthersadler.com.au



ADVENTURE CABINS Pty.Ltd.
 13 Holloway Cct Botanic Ridge 3977, Vic
 Ph. 03 8738 0126.
 ABN: 58 647 786 294 ACN: 647 786 294

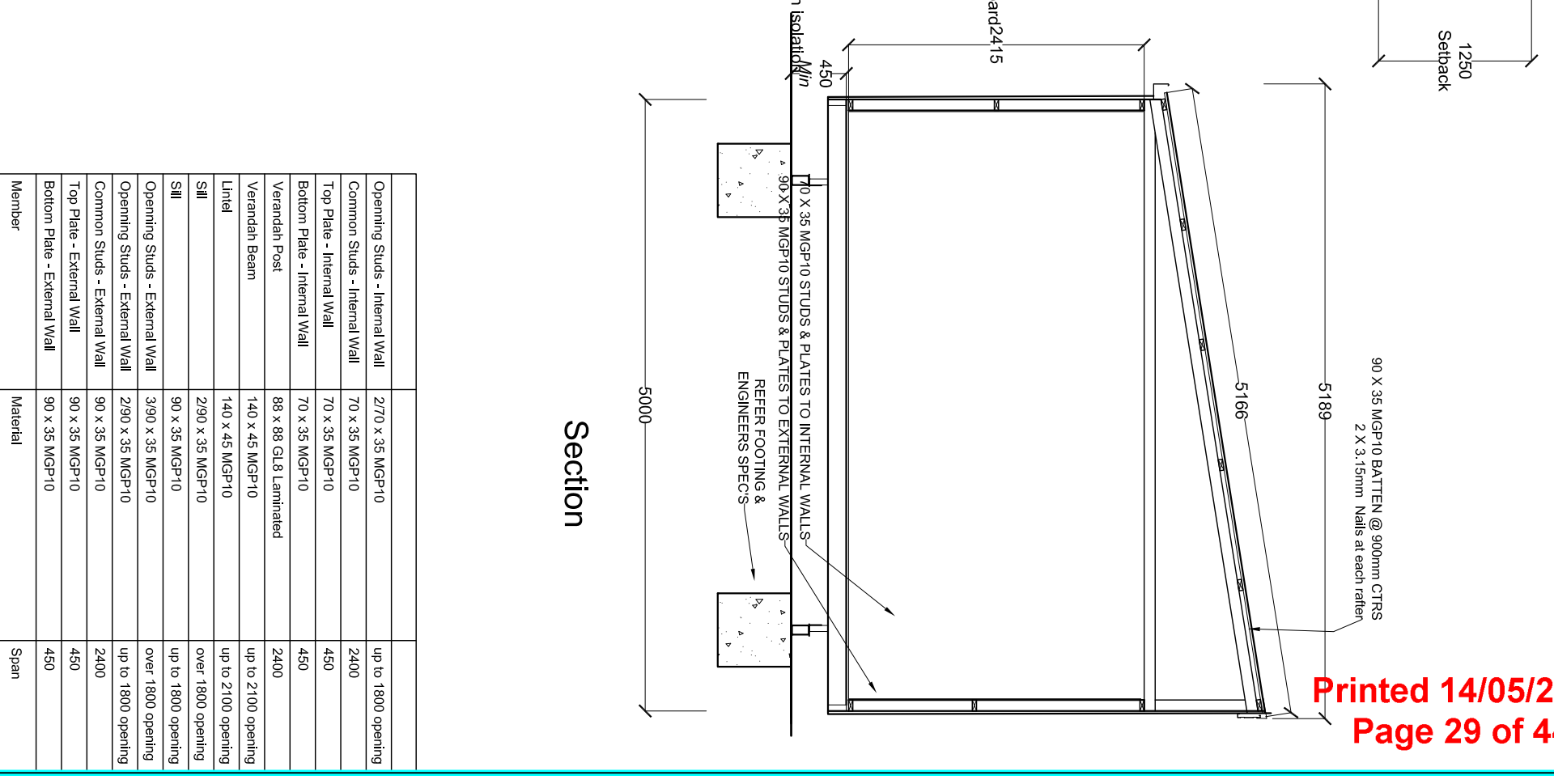
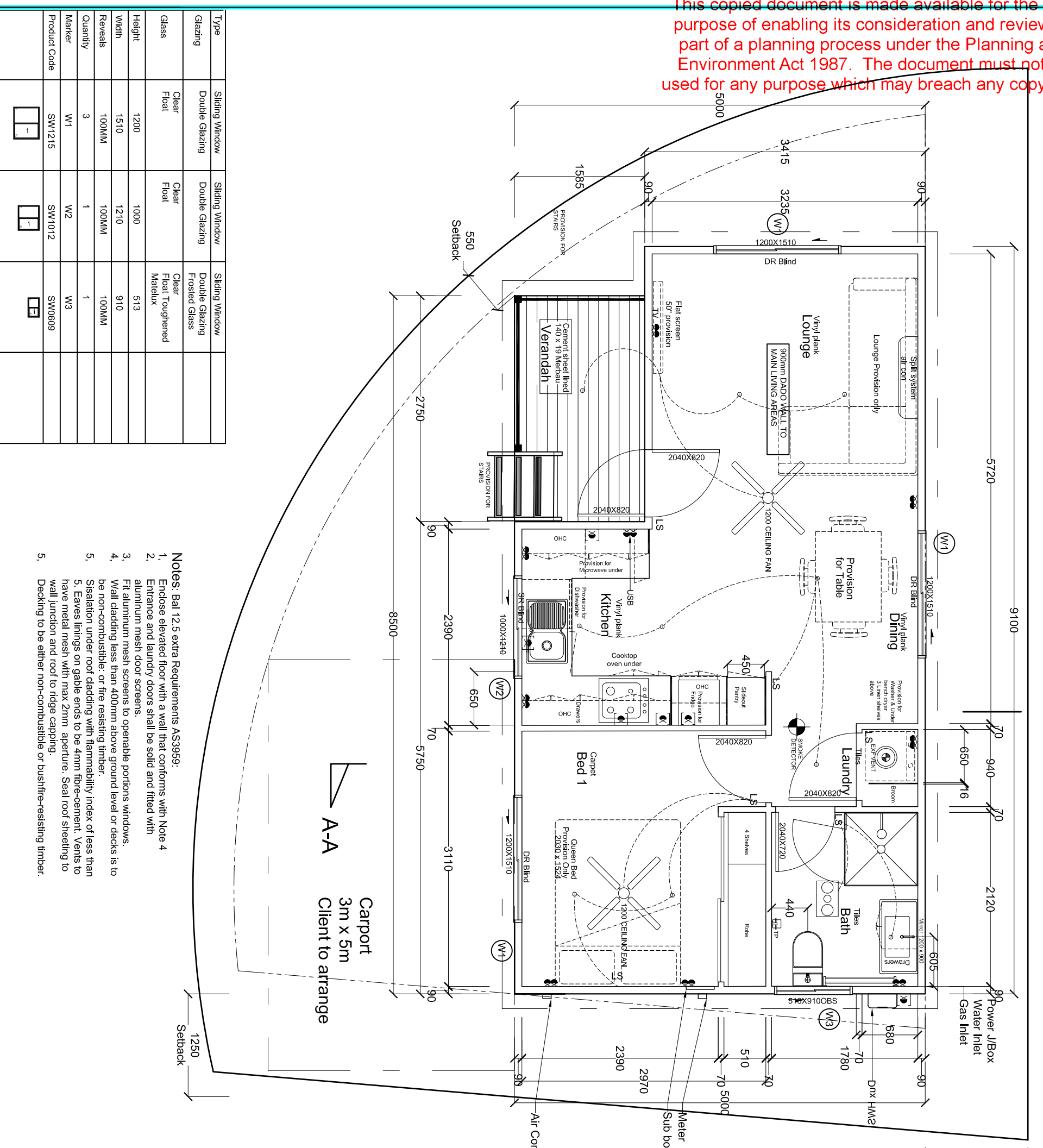
Issue No: **A**

9.1m x 5.0m Custom single Bedroom Cabin
 Paynesville Holiday Park - Site 4
 4-14 Gilsenan St, Paynesville Vic 3880

Scale: **1:50**

Drawn By: **LM**
 Date: **05/03/24**

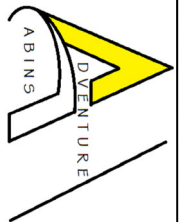
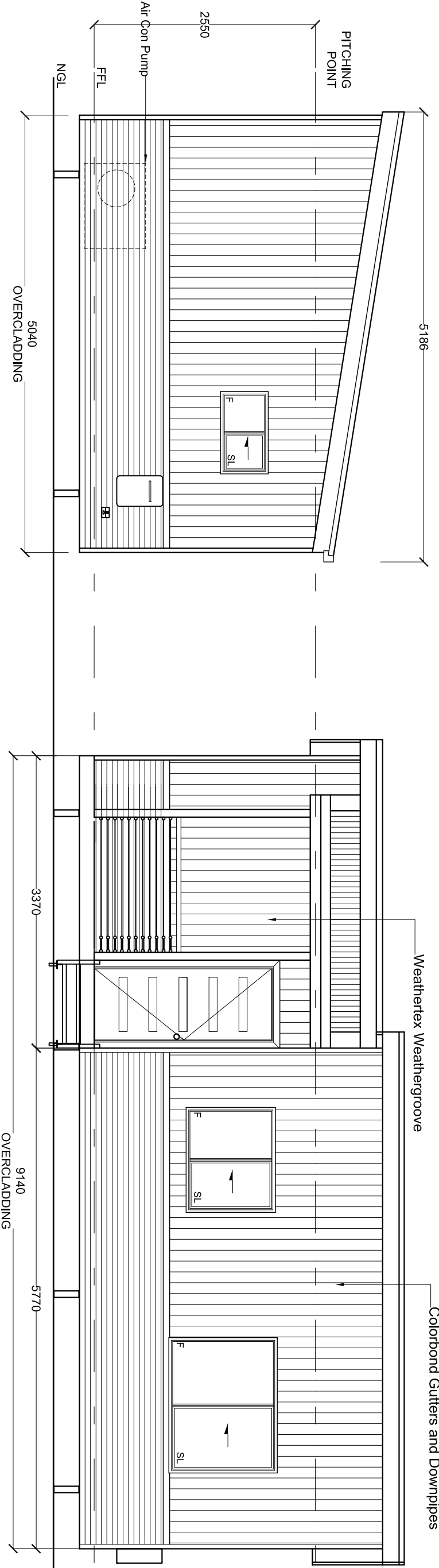
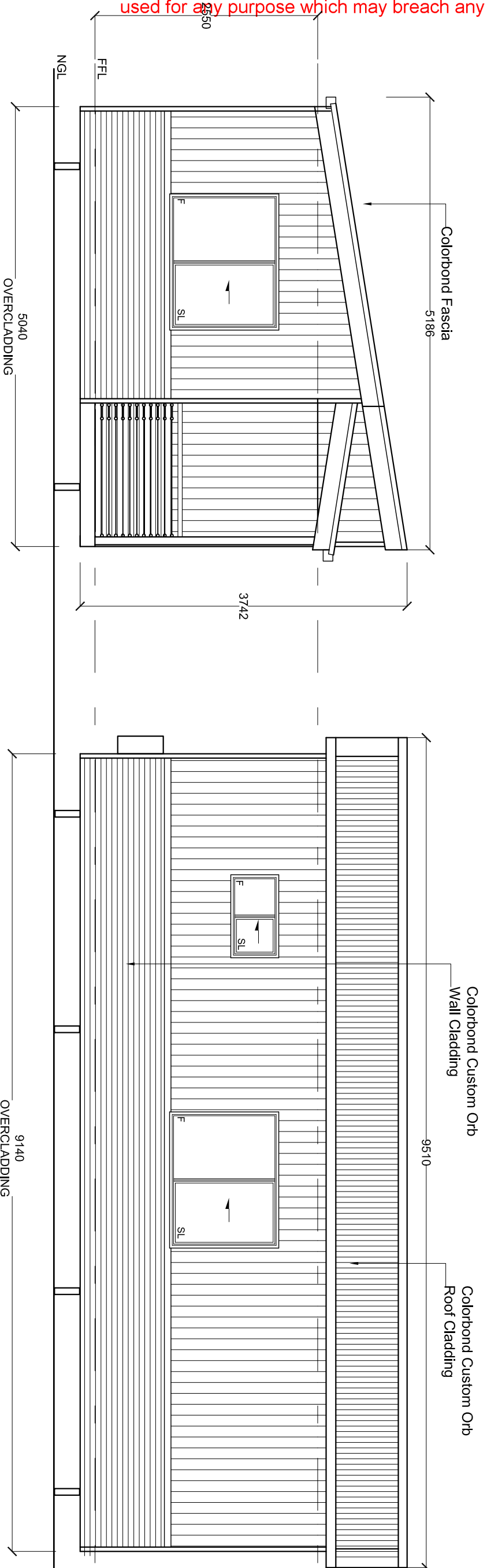
Dwg No: **Q050324-01**
 Title: **Floor Plan**



Type	Sliding Window	Sliding Window	Sliding Window
Glazing	Double Glazing	Double Glazing	Double Glazing
Glass	Clear Float	Clear Float	Clear Float Toughened Matelux
Height	1200	1000	513
Width	1510	1210	910
Reveals	100MM	100MM	100MM
Quantity	3	1	1
Marker	W1	W2	W3
Product Code	SW1215	SW1012	SW0609

- Notes:** Bal 12.5 extra Requirements AS3959:
1. Enclose elevated floor with a wall that conforms with Note 4
 2. Entrance and laundry doors shall be solid and fitted with aluminum mesh door screens.
 3. Fit aluminum mesh screens to operable portions windows.
 4. Wall cladding less than 400mm above ground level or decks is to be non-combustible; or fire resisting timber.
 5. Sisalation under roof cladding with flammability index of less than 5. Eaves linings on gable ends to be 4mm fibre-cement. Vents to have metal mesh with max 2mm aperture. Seal roof sheathing to wall junction and roof to ridge capping.
 5. Decking to be either non-combustible or bushfire-resisting timber.

Member	Material	Span
Opening Studs - Internal Wall	2/70 x 35 MGP10	up to 1800 opening
Common Studs - Internal Wall	70 x 35 MGP10	2400
Top Plate - Internal Wall	70 x 35 MGP10	450
Bottom Plate - Internal Wall	70 x 35 MGP10	450
Verandah Post	88 x 88 GL8 Laminated	2400
Verandah Beam	140 x 45 MGP10	up to 2100 opening
Lintel	140 x 45 MGP10	up to 2100 opening
Sill	2/90 x 35 MGP10	over 1800 opening
Sill	90 x 35 MGP10	up to 1800 opening
Opening Studs - External Wall	3/90 x 35 MGP10	over 1800 opening
Opening Studs - External Wall	2/90 x 35 MGP10	up to 1800 opening
Common Studs - External Wall	90 x 35 MGP10	2400
Top Plate - External Wall	90 x 35 MGP10	450
Bottom Plate - External Wall	90 x 35 MGP10	450



ADVENTURE CABINS Pty.Ltd.
 13 Holloway Cct Botanic Ridge 3977, Vic
 Ph. 03 8738 0126.
 ABN: 58 647 786 294 ACN: 647 786 294

Issue No: **A**

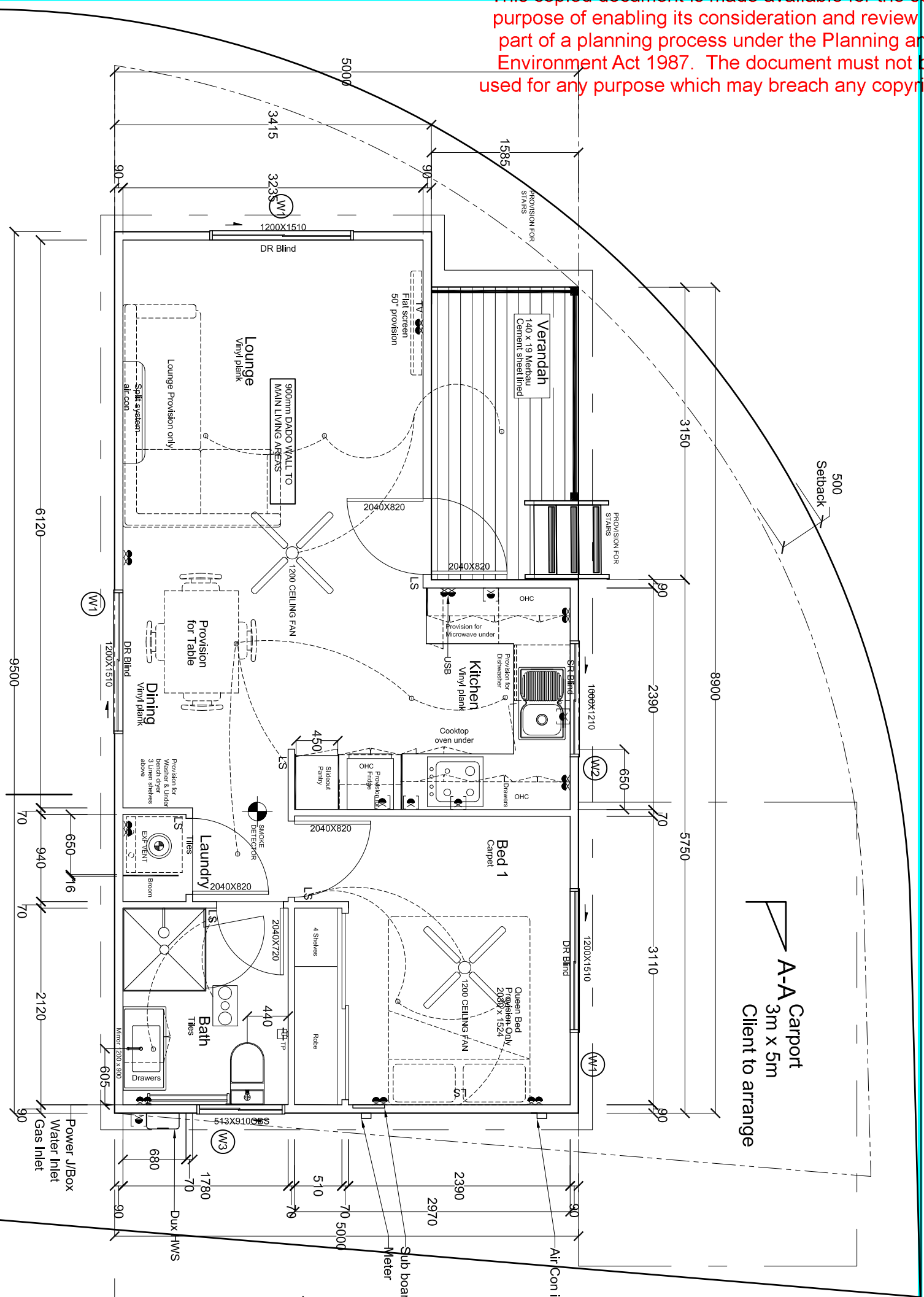
Notes:
9.1m x 5m Custom single Bedroom Cabin
 Paynesville Holiday Park - Site 4
 4-14 Gilsenan St, Paynesville Vic 3880

Scale: **1:50**

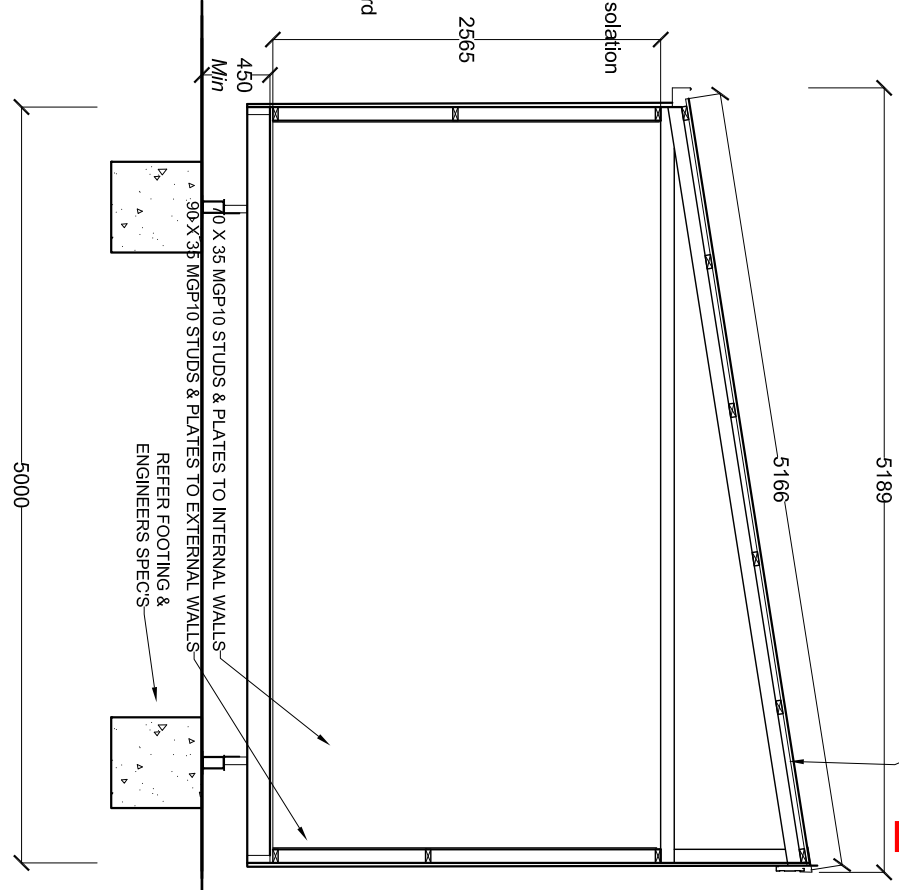
Drawn By: **LM**
 Date: **06/03/24**

Dwg No: **Q050324-02**
 Title: **Elevations**

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A-A
Carport
3m x 5m
Client to arrange



Section

Type	Sliding Window	Double Glazing	Sliding Window	Double Glazing	Sliding Window	Double Glazing
Glazing	Clear Float	Clear Float	Clear Float	Clear Float	Clear Float	Clear Float
Height	1200	1000	1000	1000	1000	513
Width	1510	1210	1210	1210	1210	910
Reveals	100MM	100MM	100MM	100MM	100MM	100MM
Quantity	3	1	1	1	1	1
Marker	W1	W2	W3	W3	W3	W3
Product Code	SW1215	SW1012	SW0609	SW0609	SW0609	SW0609

- Notes:** Bal 12.5 extra Requirements AS3959:
1. Enclose elevated floor with a wall that conforms with Note 4
 2. Entrance and laundry doors shall be solid and fitted with aluminum mesh door screens.
 3. Fit aluminum mesh screens to operable portions windows.
 4. Wall cladding less than 400mm above ground level or decks is to be non-combustible, or fire resisting timber.
 5. Sisalation under roof cladding with flammability index of less than 5. Eaves linings on gable ends to be 4mm fibre-cement. Vents to have metal mesh with max 2mm aperture. Seal roof sheathing to wall junction and roof to ridge capping.
 5. Decking to be either non-combustible or bushfire-resisting timber.

Member	Material	Span
Opening Studs - Internal Wall	2/70 x 35 MGP10	up to 1800 opening
Common Studs - Internal Wall	70 x 35 MGP10	2400
Top Plate - Internal Wall	70 x 35 MGP10	450
Bottom Plate - Internal Wall	70 x 35 MGP10	450
Verandah Post	88 x 88 GL8 Laminated	2400
Verandah Beam	140 x 45 MGP10	up to 2100 opening
Lintel	140 x 45 MGP10	up to 2100 opening
Sill	2/90 x 35 MGP10	over 1800 opening
Sill	90 x 35 MGP10	up to 1800 opening
Opening Studs - External Wall	3/90 x 35 MGP10	over 1800 opening
Opening Studs - External Wall	2/90 x 35 MGP10	up to 1800 opening
Common Studs - External Wall	90 x 35 MGP10	2400
Top Plate - External Wall	90 x 35 MGP10	450
Bottom Plate - External Wall	90 x 35 MGP10	450

ADVENTURE CABINS Pty.Ltd.
13 Holloway Cct Botanic Ridge 3977, Vic
Ph. 03 8738 0126.
ABN: 58 647 786 294 ACN: 647 786 294

Issue No: **A**

9.5m x 5.0m Custom single Bedroom Cabin
Paynesville Holiday Park - Site 5
4-14 Gilsenan St, Paynesville Vic 3880

Notes:
This drawing remains the property of Adventure Cabins Pty Ltd

Scale: **1:50**

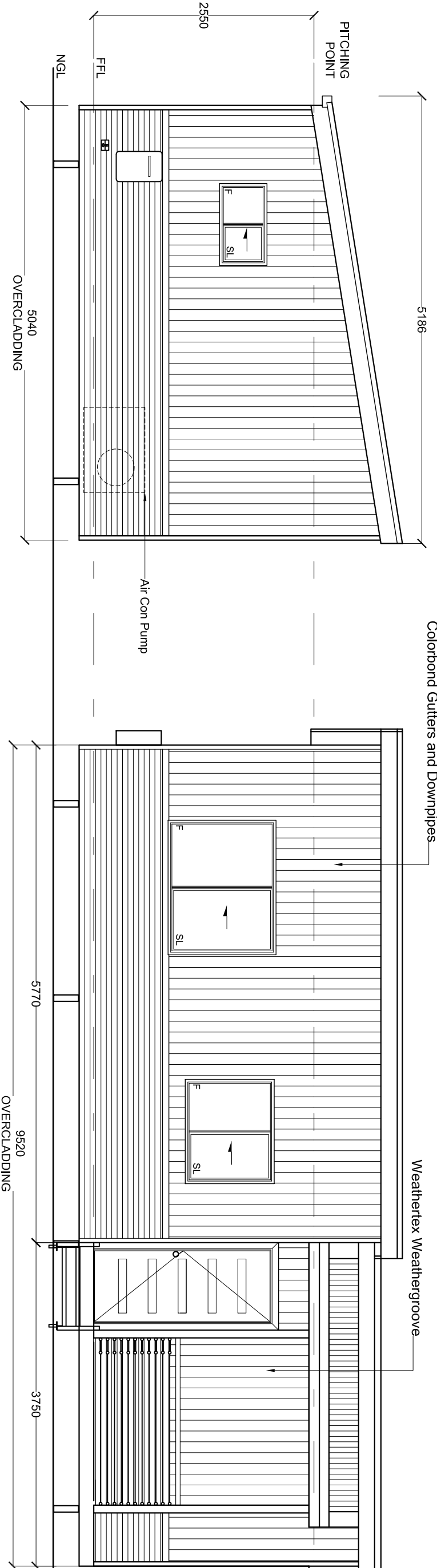
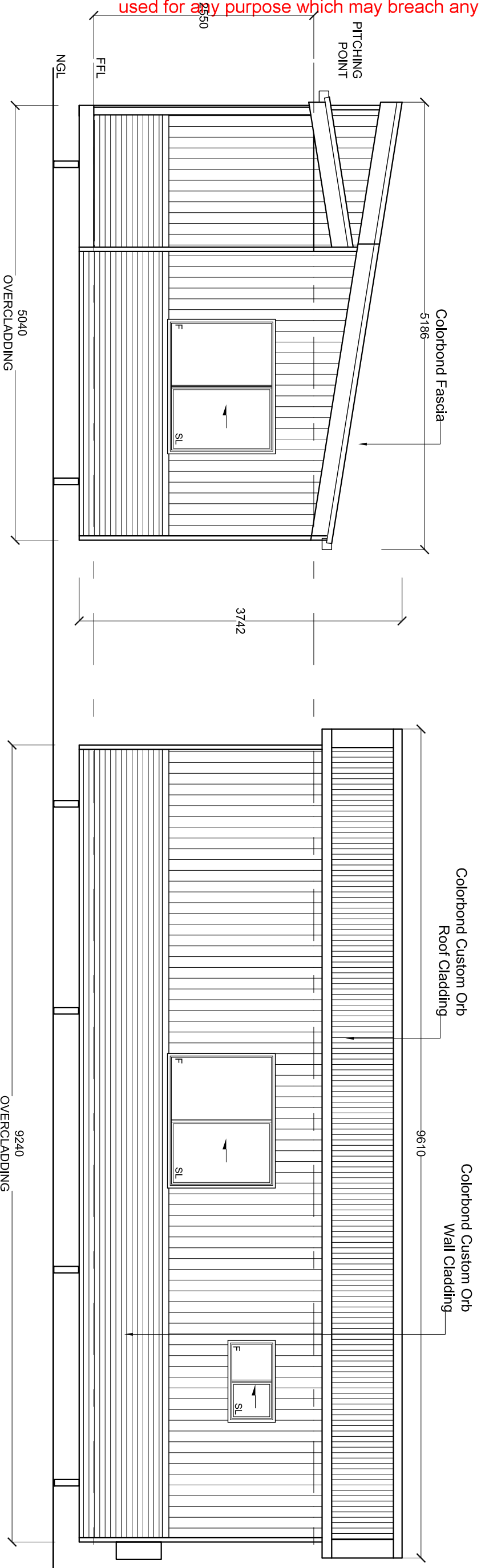
Drawn By: **LM**

Date: **06/03/24**

Dwg No: **Q040324-01**

Title: **Floor Plan**

90 X 35 MGP10 BATTEN @ 900mm CTRS
2 X 3.15mm Nails at each rafter

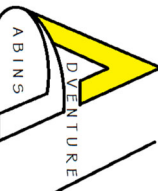


Rear Elevation

Front Elevation

Side Elevation

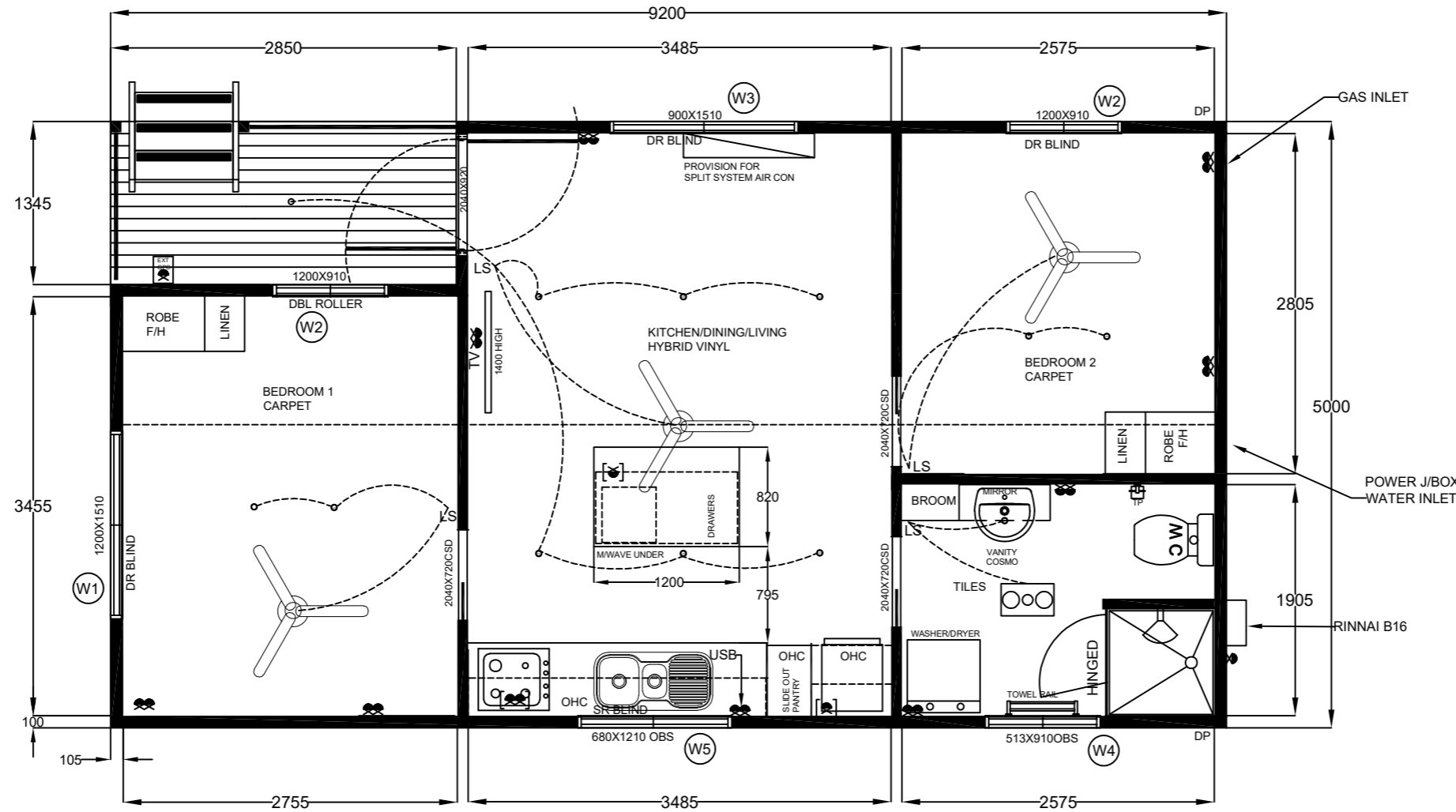
Side Elevation

 <p>ADVENTURE CABINS Pty.Ltd. 13 Holloway Cct Botanic Ridge 3977, Vic Ph. 03 8738 0126. ABN: 58 647 786 294 ACN: 647 786 294</p>	Issue No:	<p>9.5m x 5m Custom single Bedroom Cabin Paynesville Holiday Park - Site 5 4-14 Gilsenan St, Paynesville Vic 3880</p>	Scale:	<p>Drawn By: LM Date: 06/03/24</p>	<p>Dwg No: Q040324-02 Title: Elevations</p>
	A		Notes:		

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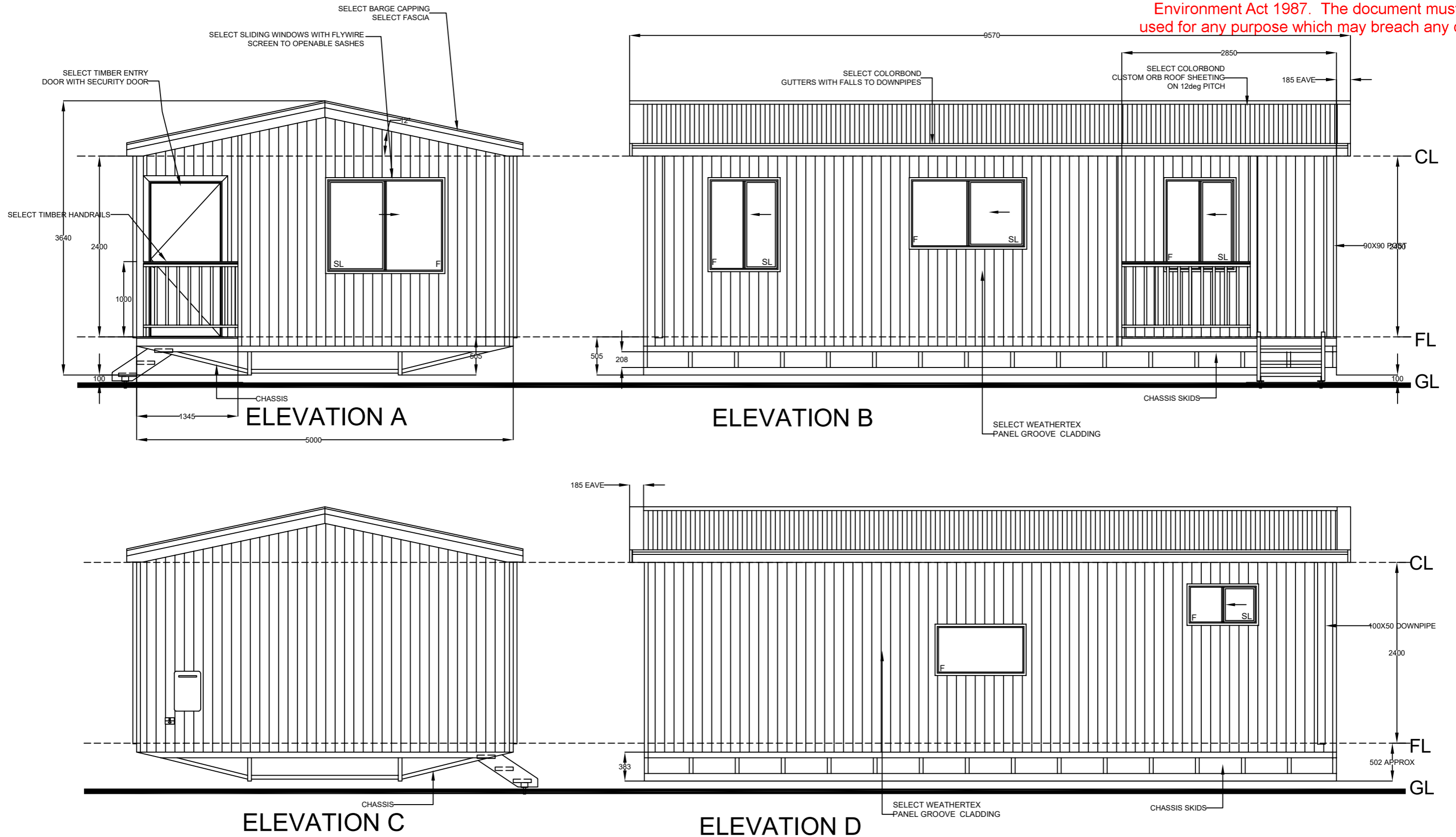
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SIDE RAILS 140 X 45 MPG10 2 @ 4200mm, 2 @ 5400mm
 ROOF BALCONY 12 Deg VAULTED TRUSS VERTICAL



Type	Sliding Window	Sliding Window	Sliding Window	Sliding Window	Fixed Window
Glazing	Single Glazing	Single Glazing	Single Glazing	Single Glazing Frosted Glass	Single Glazing Frosted Glass
Glass	Clear Float	Clear Float	Clear Float	Clear Float Toughened Matelux	Clear Float Toughened Matelux
Height	1200	1200	900	513	680
Width	1510	910	1510	910	1210
Reveals	103MM	98MM	98MM	98MM	98MM
Quantity	1	2	1	1	1
Marker	W1	W2	W3	W4	W5
Product Code	SW1215	SW1209	SW0915	SW0609	

Design By: CP	Project #: 30L211	Project Title: FLOORPLAN 9.2M X 5M - RELOCATABLE BUILDING	Stage: SALE	GERVALE HOMES PTY LTD OFFICE LOCATIONS MELBOURNE: 20-24 NINA LINK, DANDENONG SOUTH, VICTORIA, 3175 NAGAMBIE: 36 BALLANTYNES ROAD, NAGAMBIE, VICTORIA, 3608 CONTACT T: (03) 8792 2074 E: INFO@GERVALEHOMES.COM.AU
Date: 26/02/24	Issue #: A	Scale: 1:50	Client: Equinox Group	 Printed 14/05/2024 Page 33 of 44
Notes: This drawing should be used in conjunction with individual specification sheets				

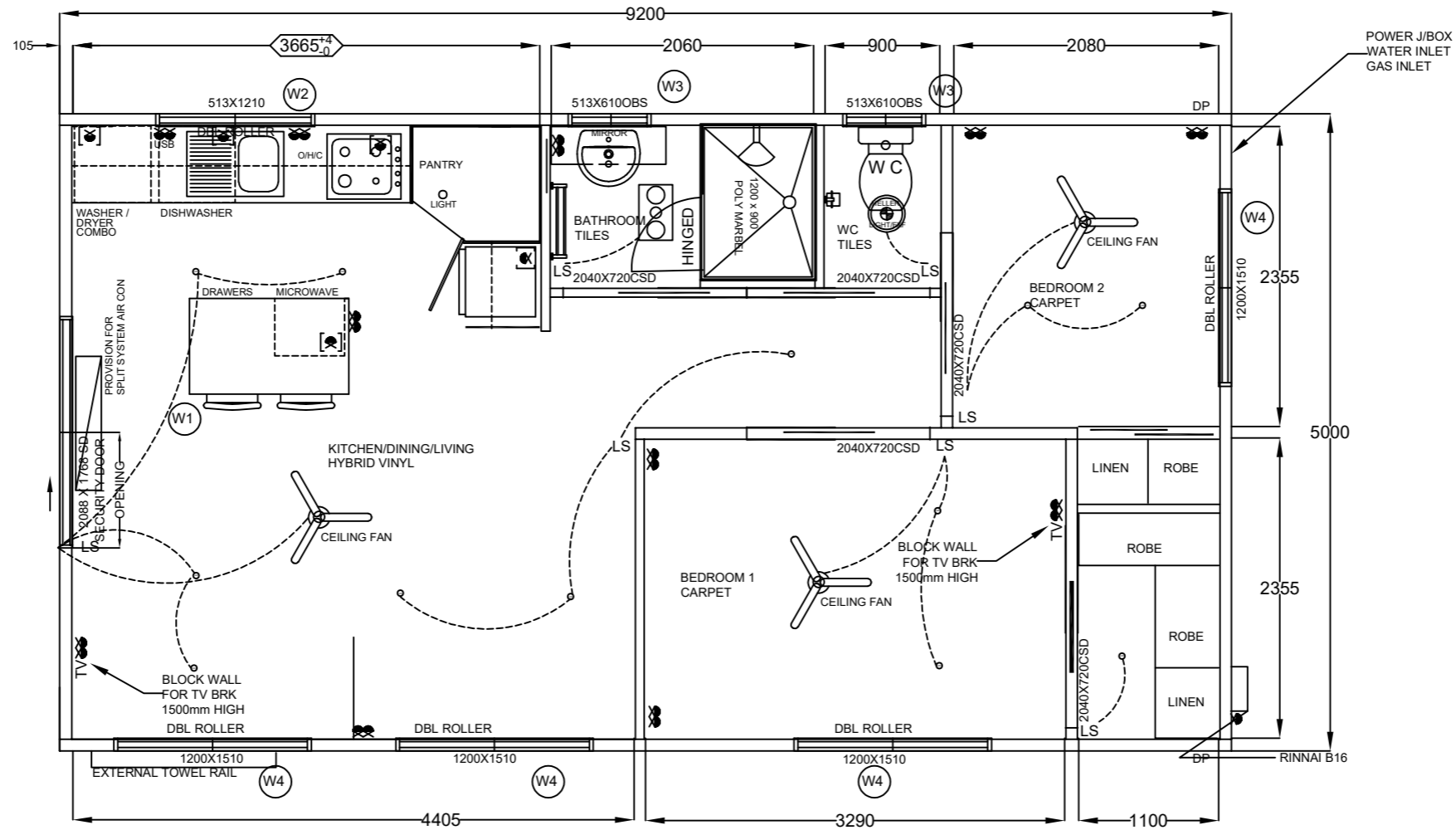


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Date: 26/02/24	Issue #: A	Scale: 1:50	Client: Equinox Group		
Notes: This drawing should be used in conjunction with individual specification sheets					

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SIDE RAILS 140 X 45 MGP10 4 @ 6000mm

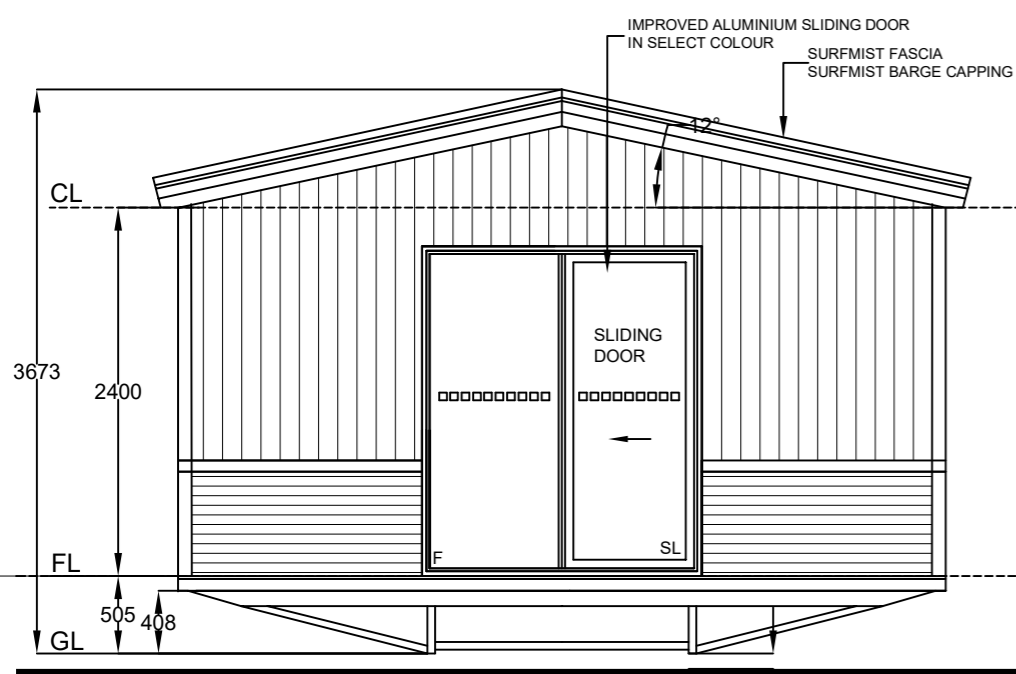
ROOF 12 DEG VAULTED TRUSS
BALCONY STAINLESS STEEL KEBELS



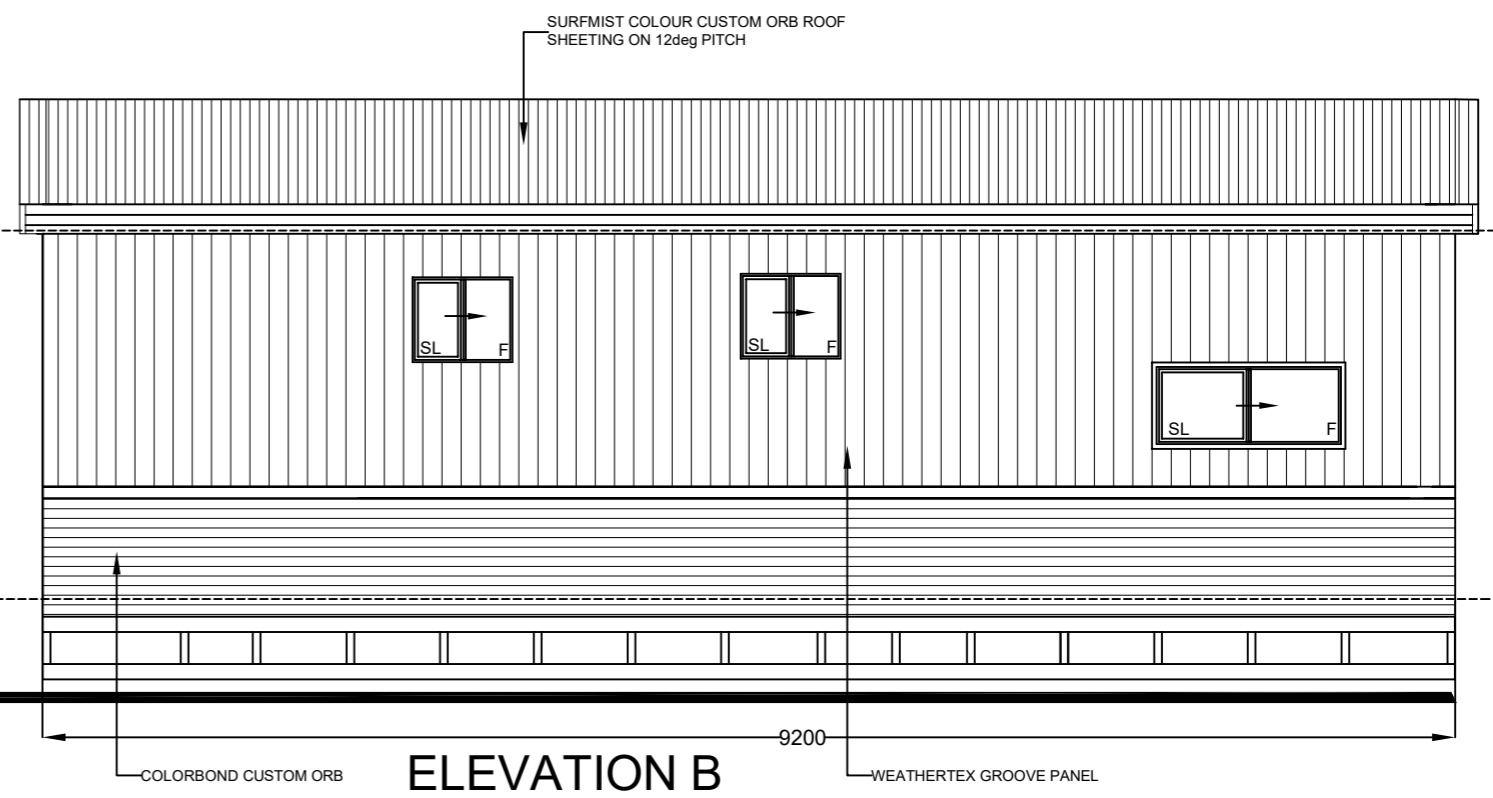
Type	Sliding Door	Sliding Window	Sliding Window	Sliding Window
Glazing	Single Glazing	Single Glazing	Single Glazing Frosted Glass	Single Glazing
Glass	Clear Float	Clear Float	Clear Float Toughened Matelux	Clear Float
Height	2088	513	513	1200
Width	1768	1210	610	1510
Reveals	103mm	98mm	98mm	98mm
Quantity	1	1	2	4
Marker	W1	W2	W3	W4

Design By: CP	Project #: 30L212	Project Title: FLOORPLAN 9.2M X 5M - RELOCATABLE BUILDING	Stage: SALE	GERVALE HOMES PTY LTD OFFICE LOCATIONS MELBOURNE: 20-24 NINA LINK, DANDENONG SOUTH, VICTORIA, 3175 NAGAMBIE: 36 BALLANTYNES ROAD, NAGAMBIE, VIC, 3608 CONTACT T: (03) 8792 2074 E: INFO@GERVALEHOMES.COM.AU
Date: 26/02/24	Issue #: A	Scale: 1:50	Client: EQUINOX GROUP	 Printed 14/05/2024 Page 35 of 44
Notes: This drawing should be used in conjunction with individual specification sheets				

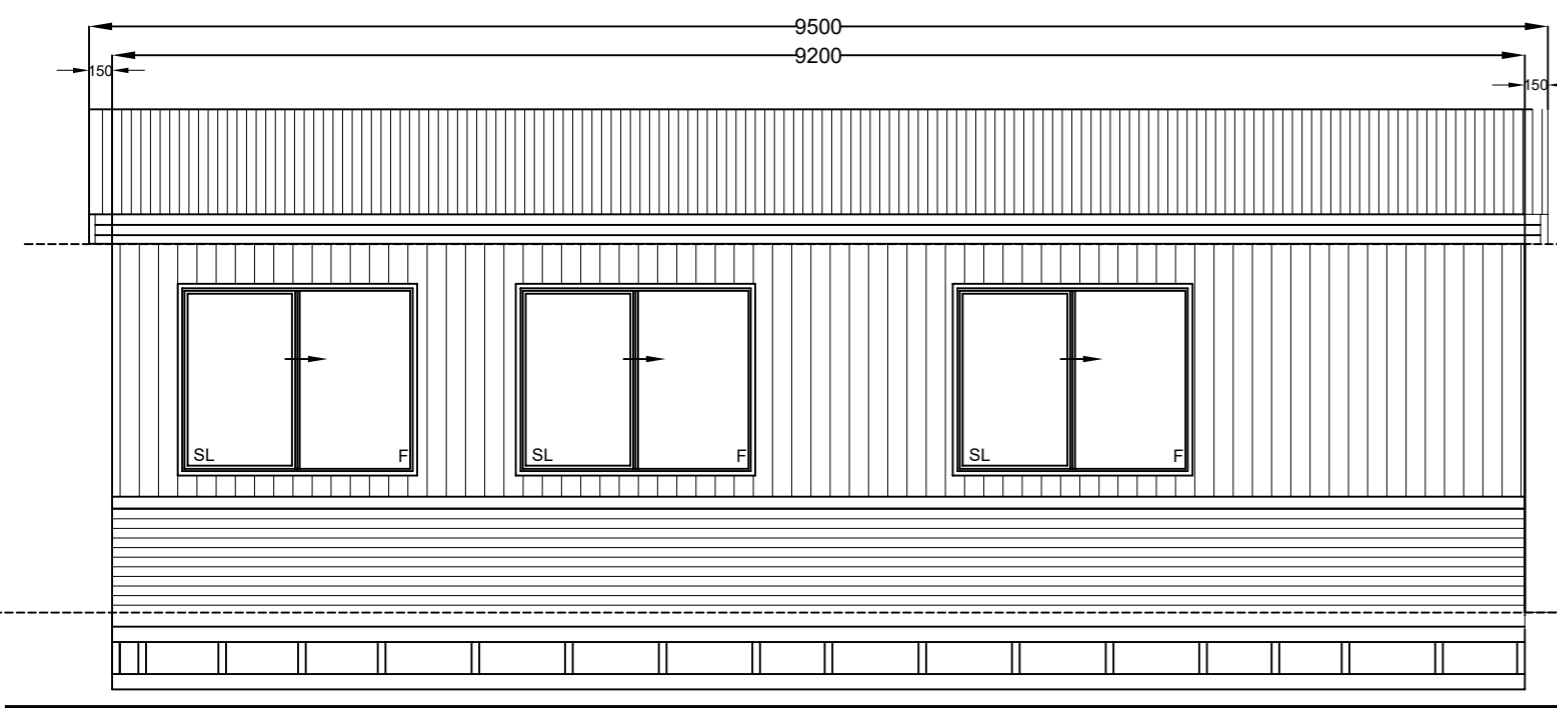
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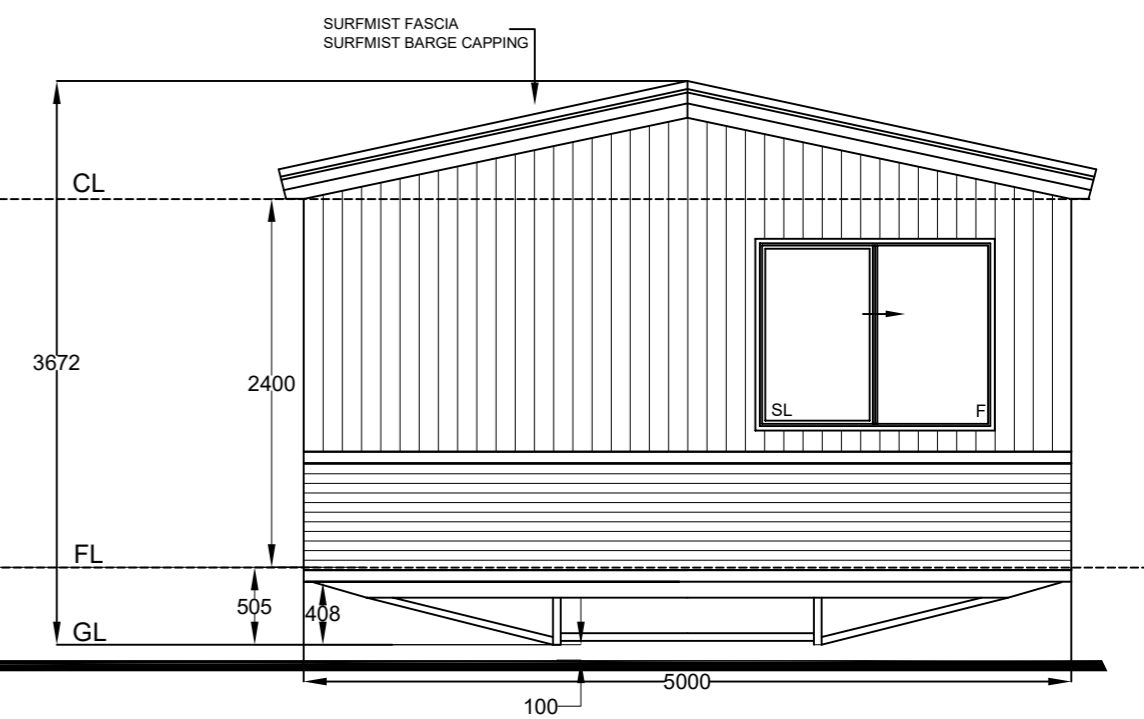
ELEVATION A




ELEVATION B



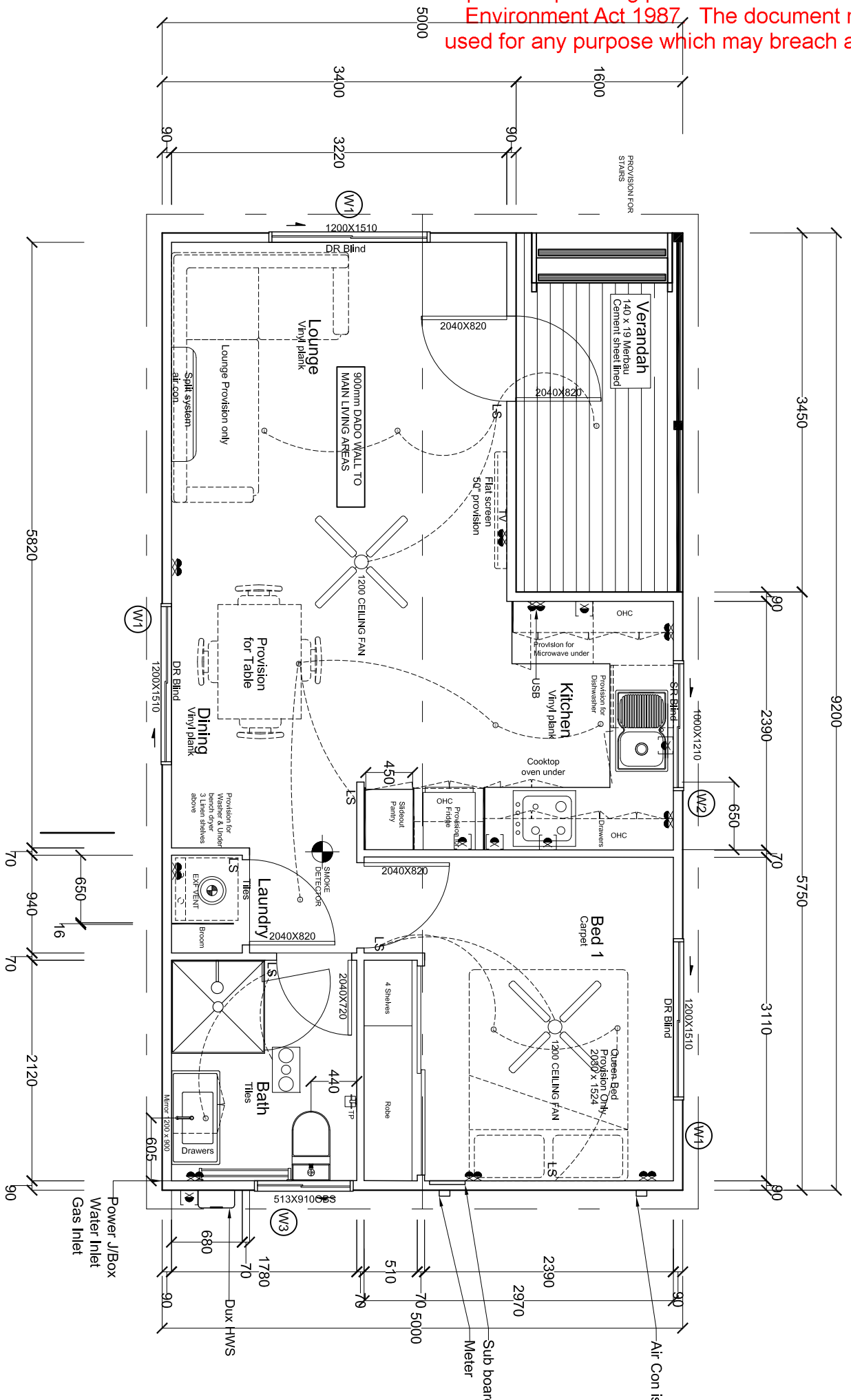
ELEVATION C



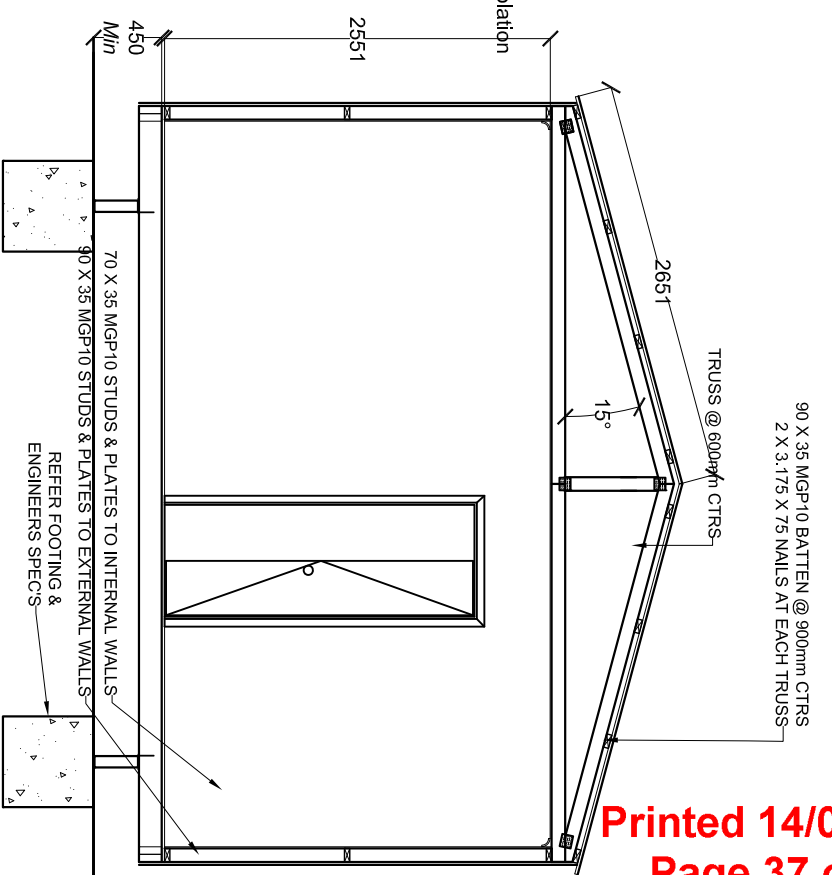
ELEVATION D

Design By: CP	Project #: 30L212-03	Project Title: ELEVATIONS 9.2M X 5M - RELOCATABLE BUILDING	Stage: SALE	GERVALE HOMES PTY LTD OFFICE LOCATIONS MELBOURNE: 20-24 NINA LINK, DANDENONG SOUTH, VICTORIA, 3175 NAGAMBIE: 36 BALLANTYNES ROAD, NAGAMBIE, VIC, 3608 CONTACT T: (03) 8792 2074 E: INFO@GERVALEHOMES.COM.AU	 Printed 14/05/2024 Page 36 of 44
Date: 26/02/24	Issue #: A	Scale: 1:50	Client:		
Notes: This drawing should be used in conjunction with individual specification sheets					

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A-A



2550mm High Ceilings

- Notes: Bal 12.5 extra Requirements AS3959:
1. Enclose elevated floor with a wall that conforms with Note 4
 2. Entrance and laundry doors shall be solid and fitted with aluminum mesh door screens.
 3. Fit aluminum mesh screens to openable portions windows.
 4. Wall cladding less than 400mm above ground level or decks is to be non-combustible, or fire resisting timber.
 5. Sisalation under roof cladding with flammability index of less than 5. Eaves linings on gable ends to be 4mm fibre-cement. Vents to have metal mesh with max 2mm aperture. Seal roof sheathing to wall junction and roof to ridge capping.
 5. Decking to be either non-combustible or bushfire-resisting timber.

Type	Sliding Window	Sliding Window	Sliding Window
Glazing	Single Glazing	Single Glazing	Single Glazing
Glass	Clear Float	Clear Float	Clear Float Toughened Metalux
Height	1200	1000	513
Width	1510	1210	910
Reveals	100MM	100MM	100MM
Quantity	3	1	1
Marker	W1	W2	W3
Product Code	SW1215	SW1012	SW0609

Issue No:	Notes:
A	9.2m x 5.0m Custom single Bedroom Cabin Paynesville Holiday Park - site 63 4-14 Gilsenan St, Paynesville Vic 3880

Scale:	Drawn By:	Date:	Dwg No:
1:50	LM	07/03/24	Q080324-01

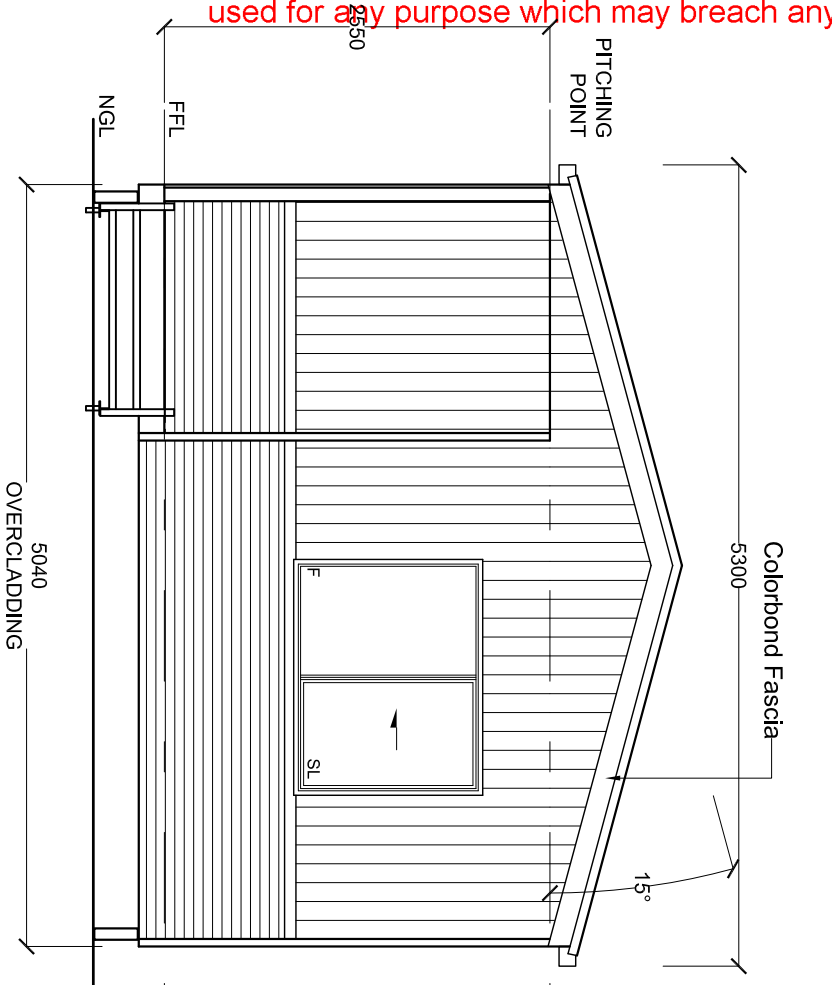
Member	Material	Span
Opening Studs - Internal Wall	2/70 x 35 MGP-10	up to 1800 opening
Common Studs - Internal Wall	70 x 35 MGP-10	2400
Top Plate - Internal Wall	70 x 35 MGP-10	450
Bottom Plate - Internal Wall	70 x 35 MGP-10	450
Verandah Post	88 x 88 GL8 Laminated	2400
Verandah Beam	140 x 45 MGP-10	up to 2100 opening
Lintel	140 x 45 MGP-10	up to 2100 opening
Sill	2/90 x 35 MGP-10	over 1800 opening
Sill	90 x 35 MGP-10	up to 1800 opening
Opening Studs - External Wall	3/90 x 35 MGP-10	over 1800 opening
Opening Studs - External Wall	2/90 x 35 MGP-10	up to 1800 opening
Common Studs - External Wall	90 x 35 MGP-10	2400
Top Plate - External Wall	90 x 35 MGP-10	450
Bottom Plate - External Wall	90 x 35 MGP-10	450
Member	Material	Span

ADVENTURE CABINS Pty.Ltd.
13 Holloway Cct Botanic Ridge 3977, Vic
Ph. 03 8738 0126.
ABN: 58 647 786 294 ACN: 647 786 294

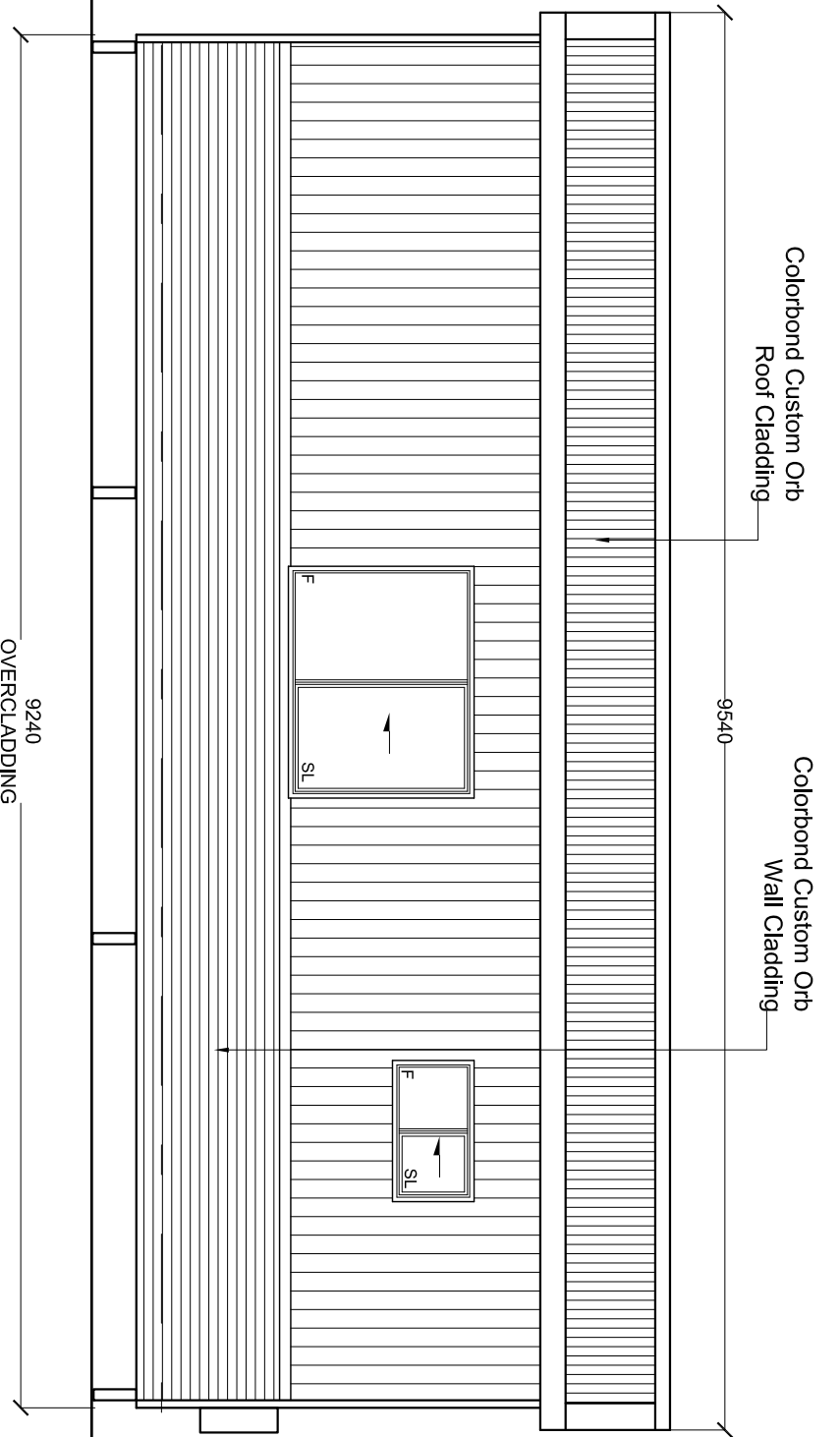
Issue No: A
Notes: 9.2m x 5.0m Custom single Bedroom Cabin
Paynesville Holiday Park - site 63
4-14 Gilsenan St, Paynesville Vic 3880
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Scale: 1:50
Drawn By: LM
Date: 07/03/24
Dwg No: Q080324-01
Title: Floor Plan

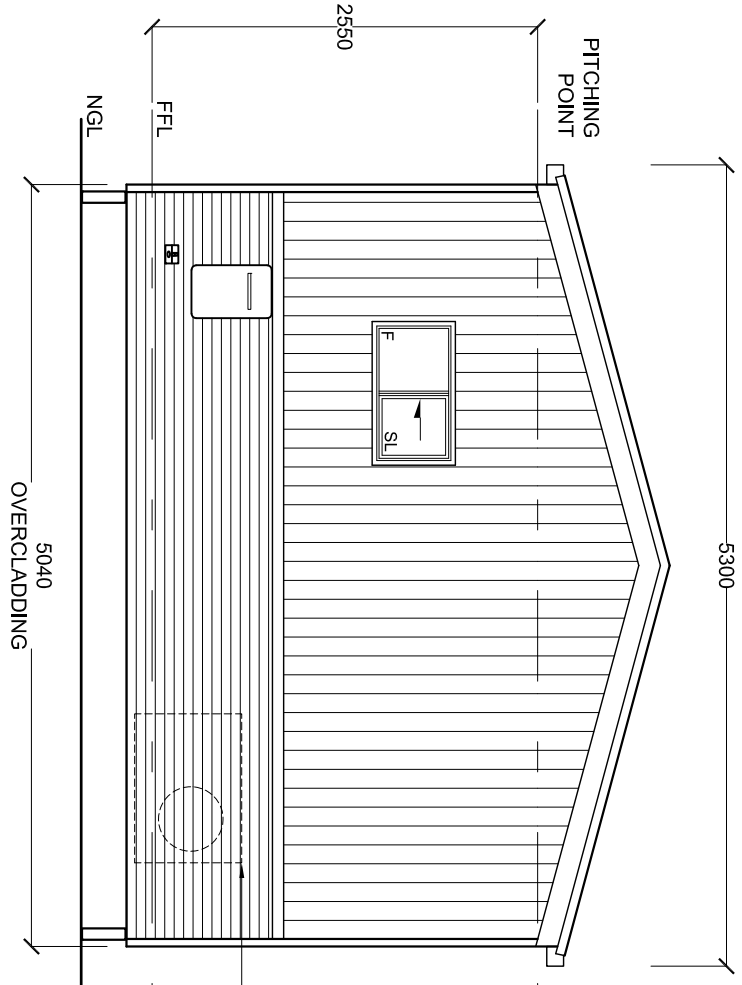
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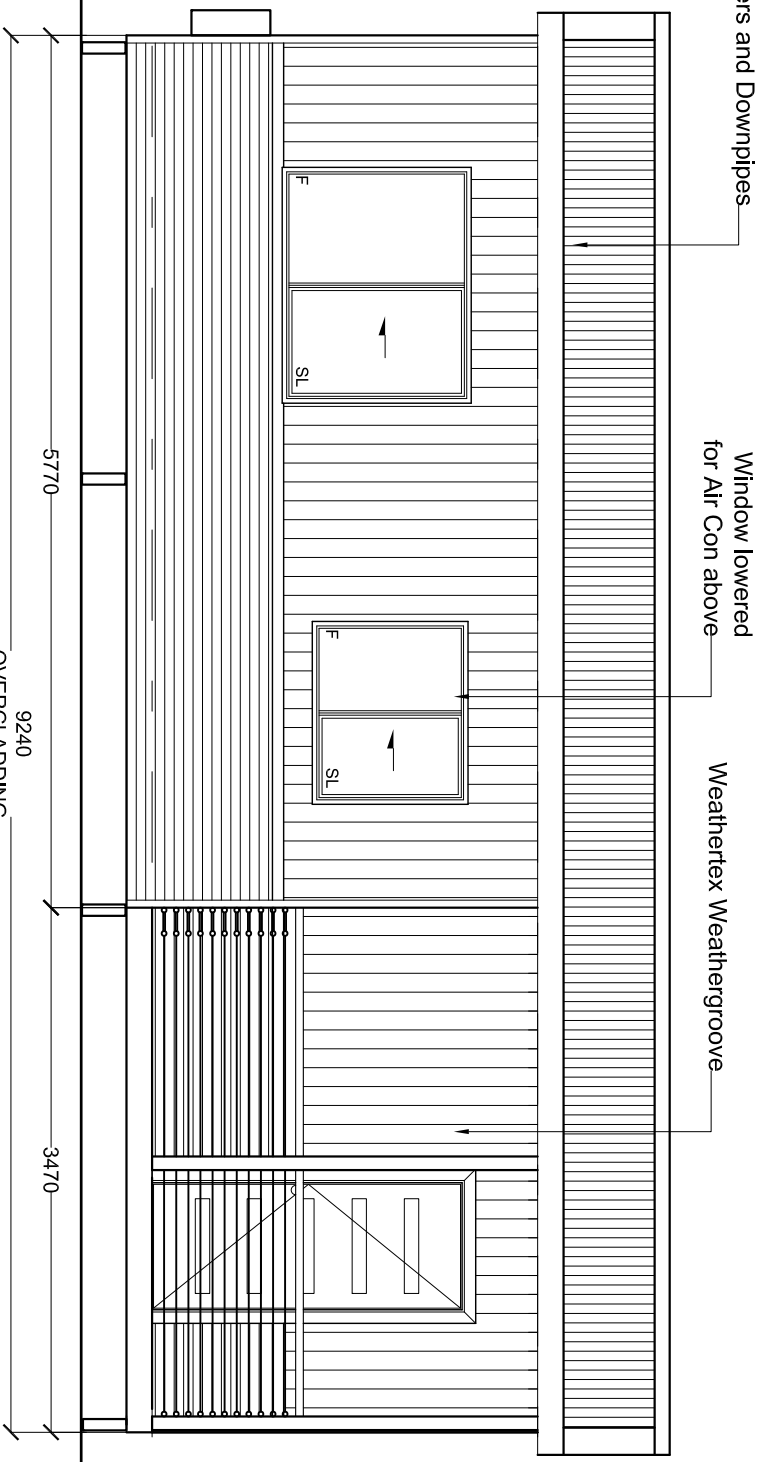
Front Elevation



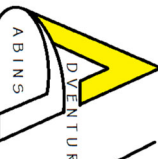
Side Elevation



Rear Elevation



Side Elevation



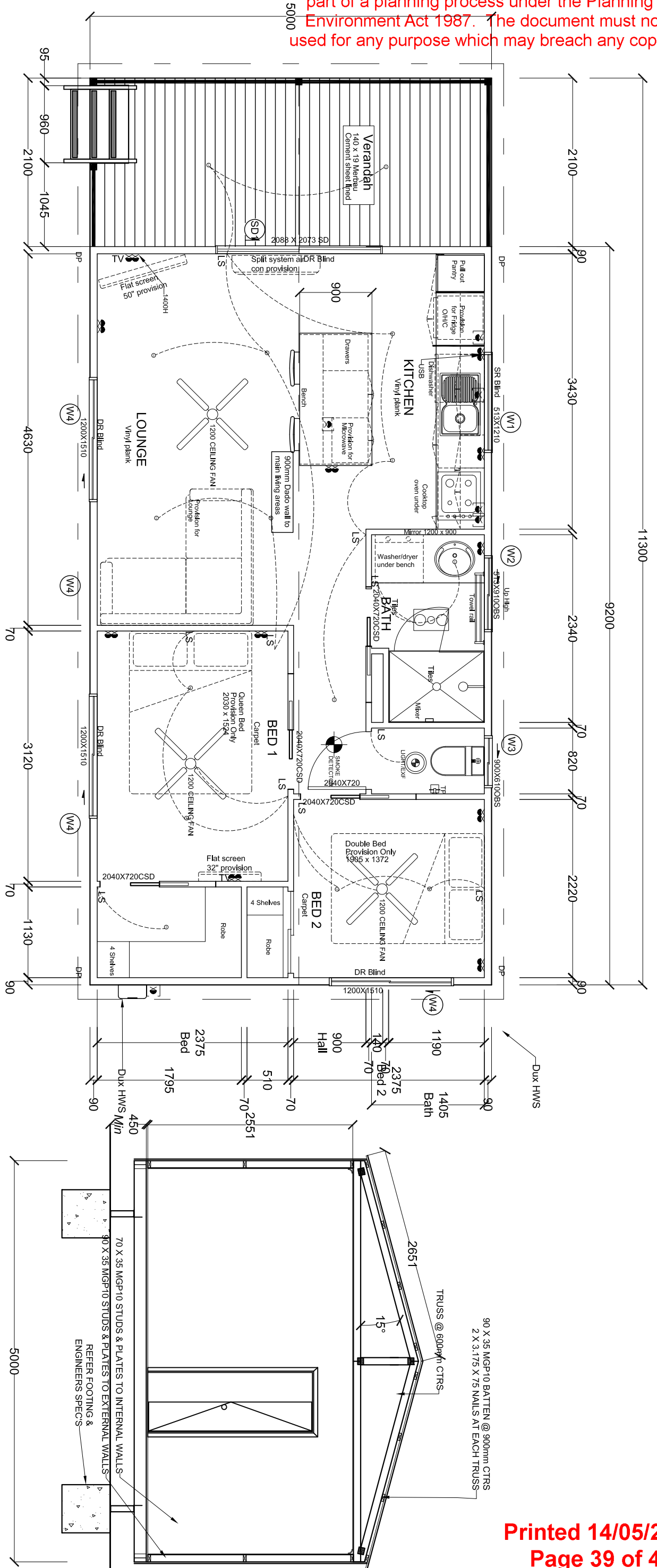
ADVENTURE CABINS Pty.Ltd.
 13 Holloway Cct Botanic Ridge 3977, Vic
 Ph. 03 8738 0126.
 ABN: 58 647 786 294 ACN: 647 786 294

Issue No: A	Notes: 9.2m x 5m Custom single Bedroom Cabin Paynesville Holiday Park - Site 63 4-14 Gilsenan St, Paynesville Vic 3880

This drawing remains the property of Adventure Cabins Pty Ltd

Scale: 1:50	Drawn By: LM	Dwg No: Q080324-02
Date: 07/03/24		Title: Elevations

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Type	Sliding Door	Fixed Window	Sliding Window	Sliding Window	Sliding Window
Glazing	Single Glazing	Single Glazing	Single Glazing Frosted Glass	Single Glazing Frosted Glass	Single Glazing
Glass	Clear Float Toughened	Clear Float Toughened	Clear Float Toughened Matelux	Clear Float Toughened Matelux	Clear Float
Height	2088	513	513	900	1200
Width	2073	1210	910	610	1510
Reveals	103mm	103mm	103mm	103mm	103mm
Quantity	1	1	1	1	3
Marker	SD1	W1	W2	W3	W4
Product Code	SD20RH	SW0612	SW0609	SW0906	SW1215

- Notes: Bal 12.5 extra Requirements AS3959:**
1. Enclose elevated floor with a wall that conforms with Note 4
 2. Entrance and laundry doors shall be solid and fitted with aluminum mesh door screens.
 3. Fit aluminum mesh screens to operable portions windows.
 4. Wall cladding less than 400mm above ground level or decks is to be non-combustible; or fire resisting timber.
 5. Sisalation under roof cladding with flammability index of less than 5. Eaves linings on gable ends to be 4mm fibre-cement. Vents to have metal mesh with max 2mm aperture. Seal roof sheeting to wall junction and roof to ridge capping.
 5. Decking to be either non-combustible or bushfire-resisting timber.

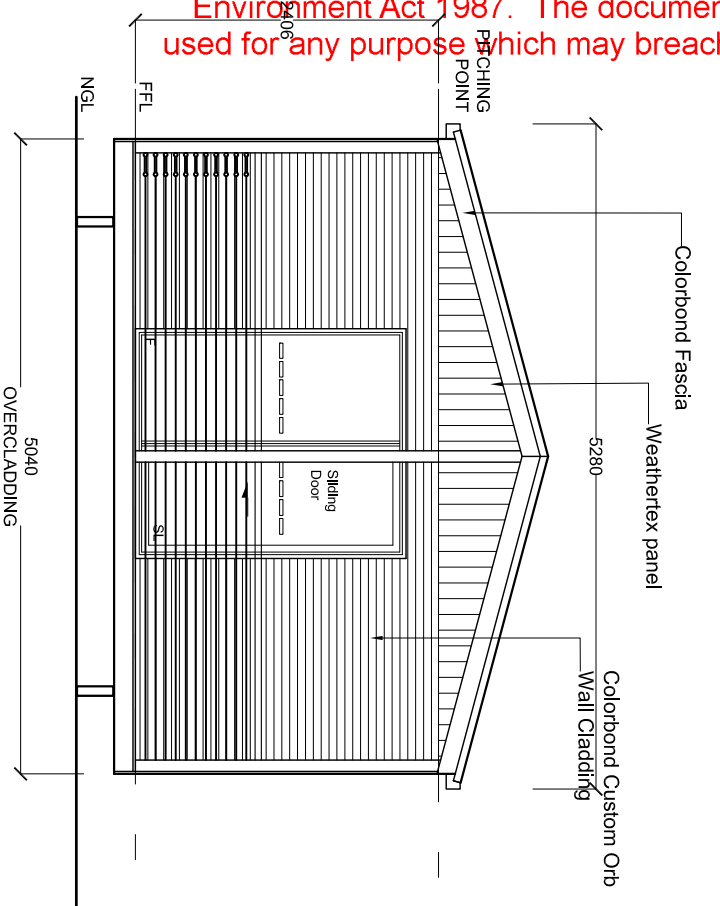
Opening	Material	Span
Opening Studs - Internal Wall	270 x 35 MGP10	up to 1800 opening
Common Studs - Internal Wall	70 x 35 MGP10	2400
Top Plate - Internal Wall	70 x 35 MGP10	450
Bottom Plate - Internal Wall	70 x 35 MGP10	450
Verandah Post	88 x 88 GL8 Laminated	2700
Verandah Beam	140 x 45 MGP10	up to 2100 opening
Lintel	190 x 45 MGP10	up to 2800 opening
Lintel	140 x 45 MGP10	up to 1800 opening
Sill	290 x 35 MGP10	over 1800 opening
Sill	90 x 35 MGP10	up to 1800 opening
Opening Studs - External Wall	390 x 35 MGP10	over 1800 opening
Opening Studs - External Wall	290 x 35 MGP10	up to 1800 opening
Common Studs - External Wall	90 x 35 MGP10	2400
Top Plate - External Wall	90 x 35 MGP10	450
Bottom Plate - External Wall	90 x 35 MGP10	450
Member	Material	Span

ADVENTURE CABINS Pty.Ltd.
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 Ph. 03 8738 0126.
 ABN: 58 647 786 294 ACN: 647 786 294

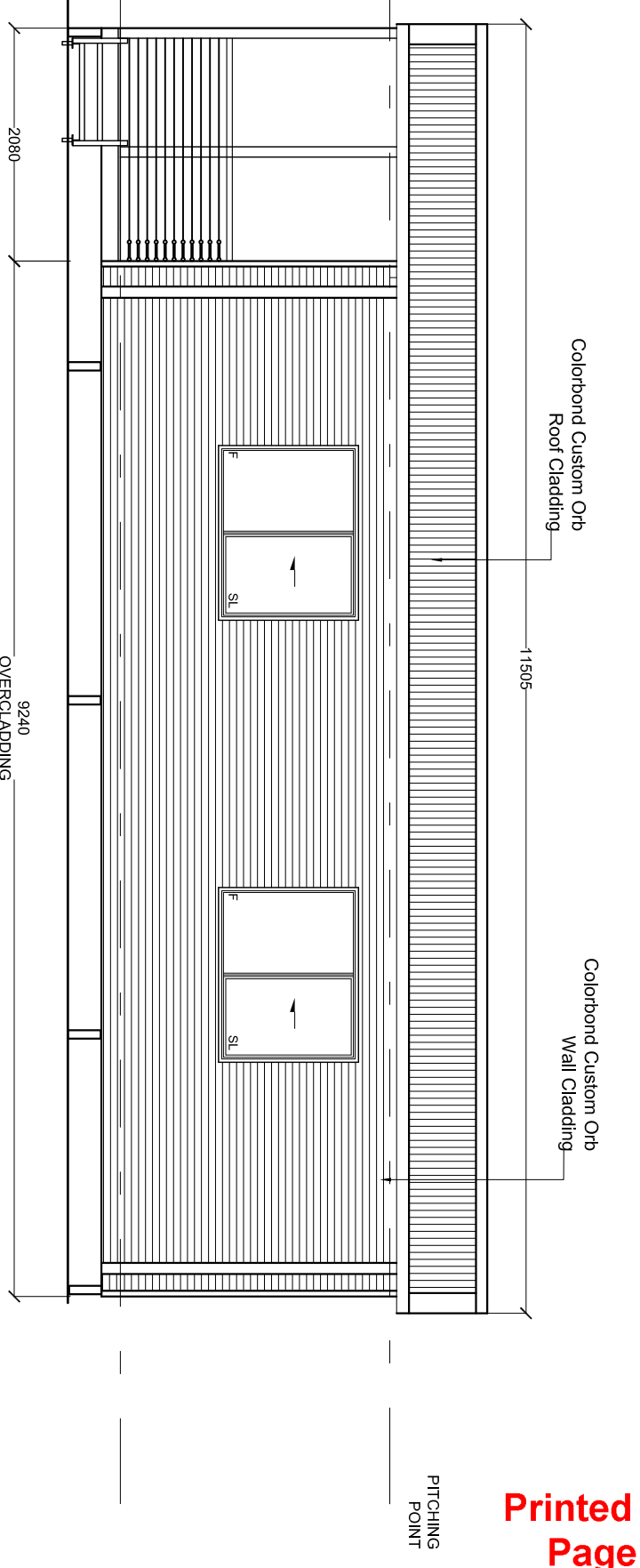
11.3m x 5.0m Custom 2 bedroom villa unit
 Paynesville Holiday Park - Site 7
 4-14 Gilsenan St, Paynesville Vic 3880

Issue No: **A**
 Scale: **1:50**
 Drawn By: **LM**
 Date: **05/03/24**
 Title: **Floor plan**
 Dwg No: **Q060324-01**

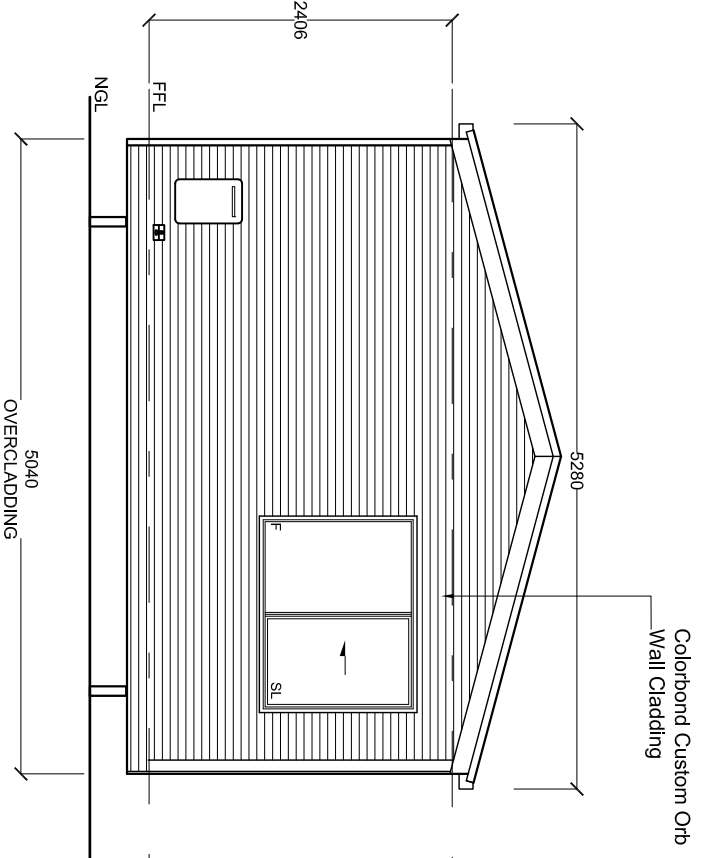
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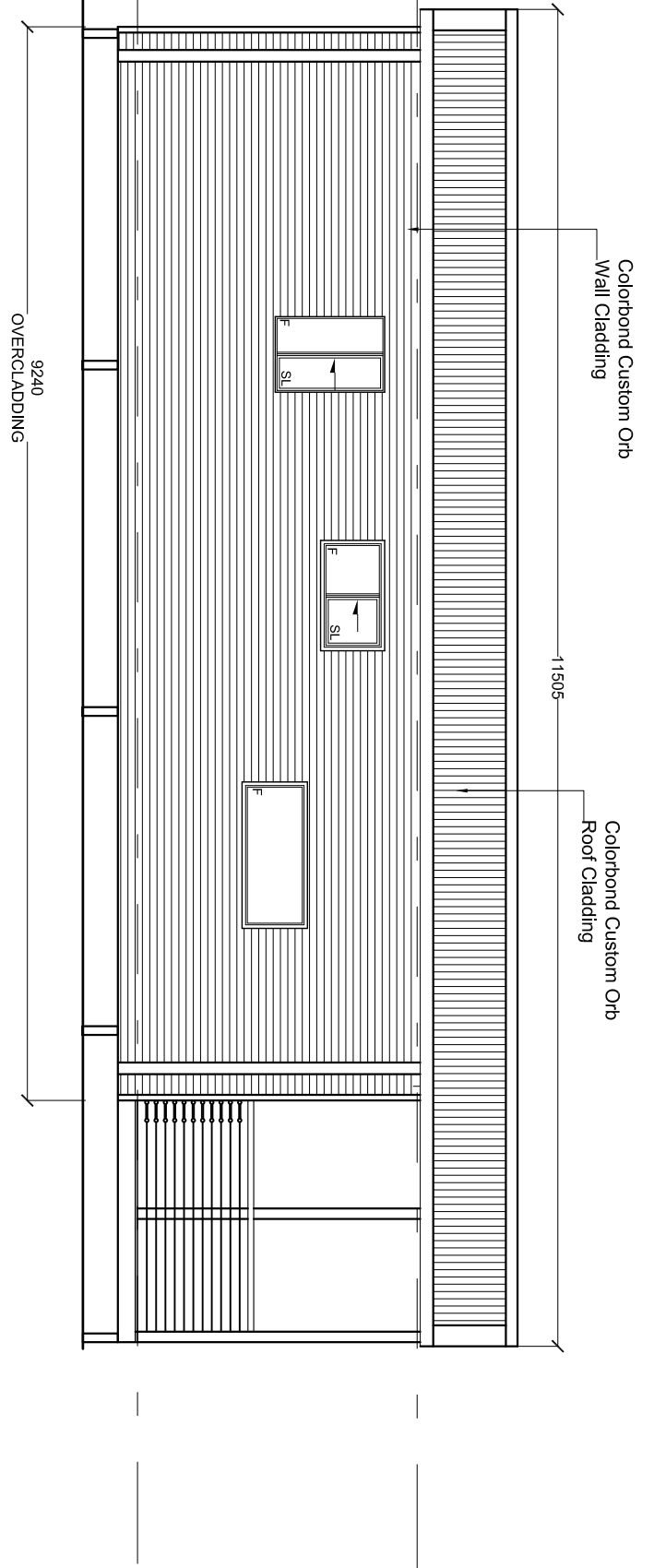
Front Elevation



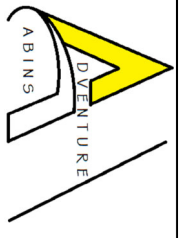
Side Elevation



Rear Elevation



Side Elevation



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Issue No: A

Notes:
11.3m x 5.0m Custom 2 bedroom villa unit
 Paynesville Holiday Park - Sites 7 & 62
 4-14 Gilsenan St, Paynesville Vic 3880
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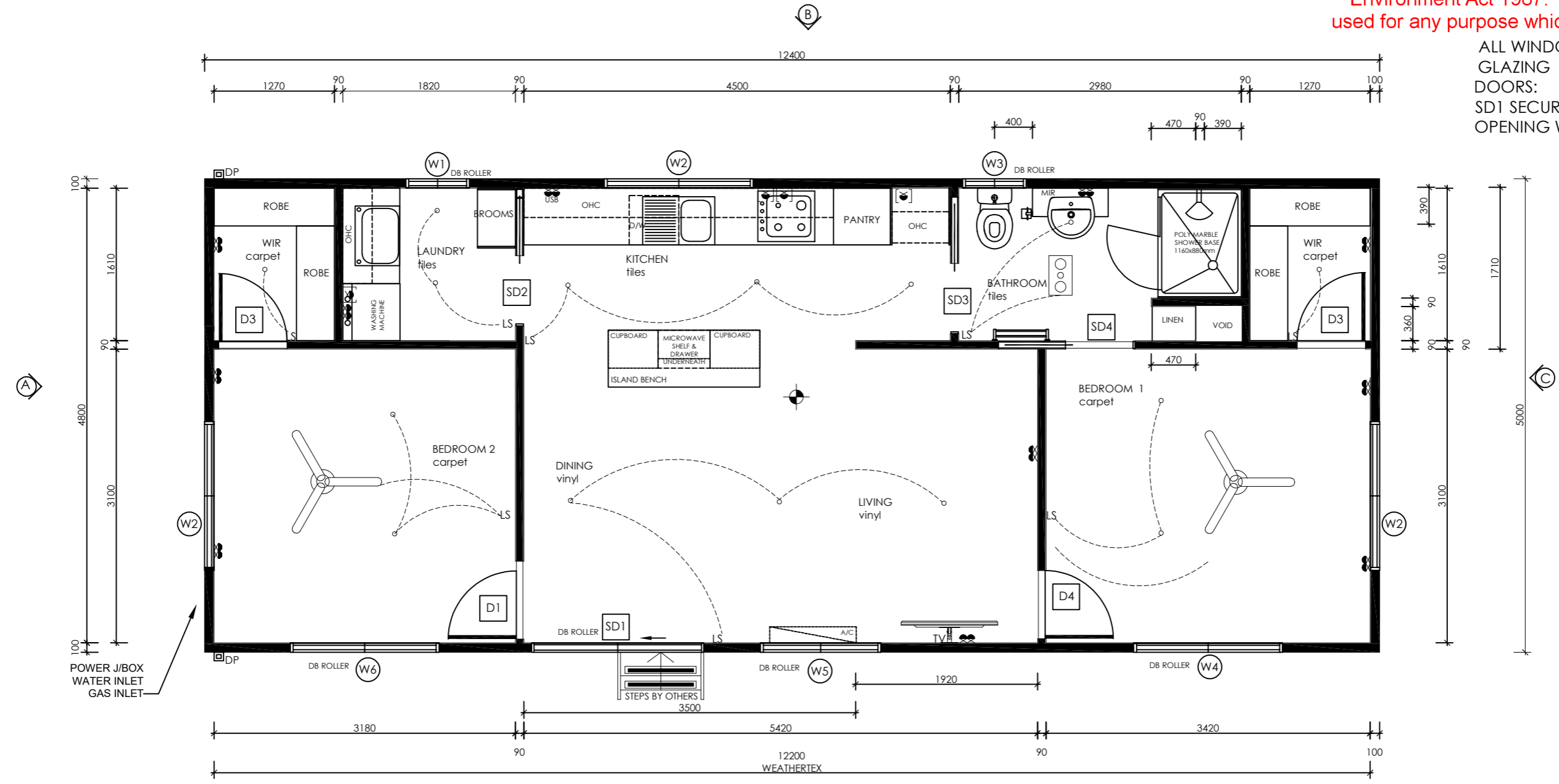
Scale: 1:60

Drawn By: LM
Date: 03/09/21

Dwg No: Q060324-02
Title: Elevations

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ALL WINDOWS TO HAVE SINGLE GLAZING
DOORS:
SD1 SECURITY DOOR ON RHS OPENING WITH DOUBLE ROLLER BLINDS



DENOTES CHECK DIMENSIONS

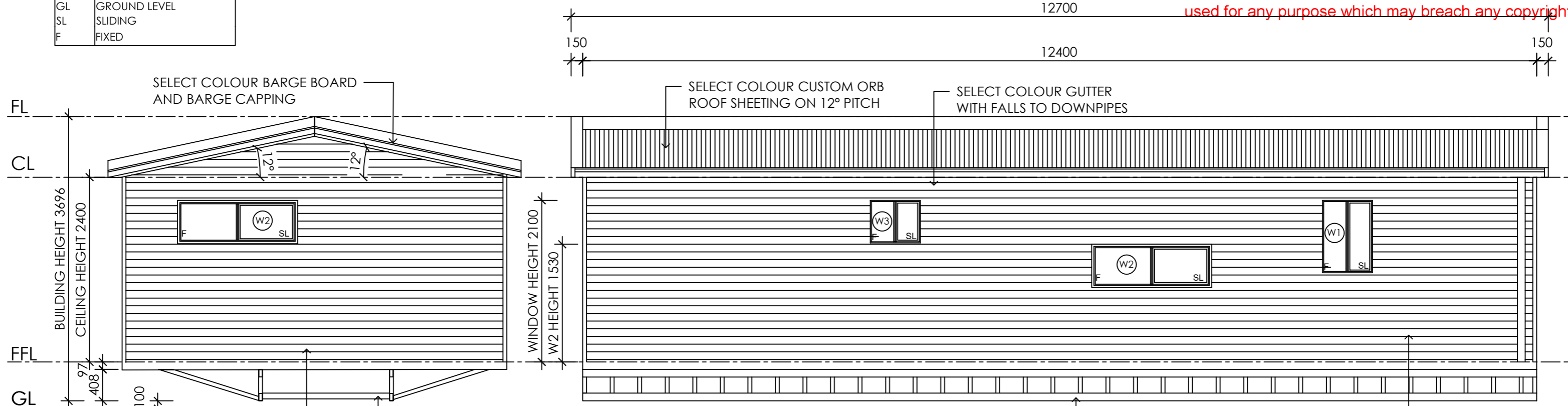
Type	DOOR SCHEDULE				WINDOW SCHEDULE				
	Sliding Door	Cavity Sliding Door	Hinged Door	Hinged Door	Sliding Window	Sliding Window	Sliding Window	Sliding Window	Sliding Window
Glazing	Single Glazing	-	-	-	Single Glazing	Single Glazing	Single Glazing	Single Glazing Frosted Glass	Single Glazing
Glass	Clear Float	-	-	-	Clear Float	Clear Float	Clear Float	Clear Float Toughened Matelux	Clear Float
Height	2088mm	2088mm	2040mm	2040mm	900mm	1200mm	513mm	513mm	900mm
Width	1768mm	720mm	820mm	720mm	610mm	1510mm	1510mm	610mm	1210mm
Reveals	103mm	-	-	-	98mm	98mm	98mm	98mm	98mm
Quantity	1	3	1	3	1	2	3	1	1
Marker	SD1	SD2 + SD3 + SD4	D2	D1 + D3 + D4	W1	W4+W6	W2	W3	W5



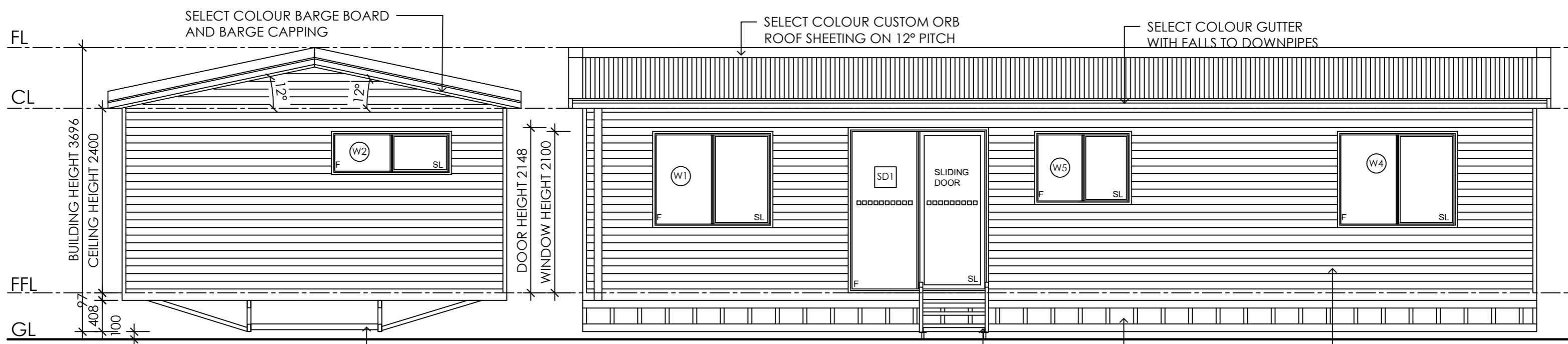
Design By: CP	Project #: 41L064	Project Title: FLOORPLAN 12.4M X 5M - RELOCATABLE BUILDING	Stage: SALE	GERVALE HOMES PTY LTD OFFICE LOCATIONS MELBOURNE: 20-24 NINA LINK, DANDENONG SOUTH, VICTORIA, 3175 NAGAMBIE: 36 BALLANTYNES ROAD, NAGAMBIE, VICTORIA, 3608 CONTACT T: (03) 8792 2074 E: INFO@GERVALEHOMES.COM.AU	
Date: 26/02/24	Issue #: A	Scale: 1:50	Client: Equinox Group		
Notes: This drawing should be used in conjunction with individual specification sheets		Printed 14/05/2024 Page 41 of 44			

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LEGEND	
FL	FINISHED LEVEL
CL	CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
GL	GROUND LEVEL
SL	SLIDING
F	FIXED



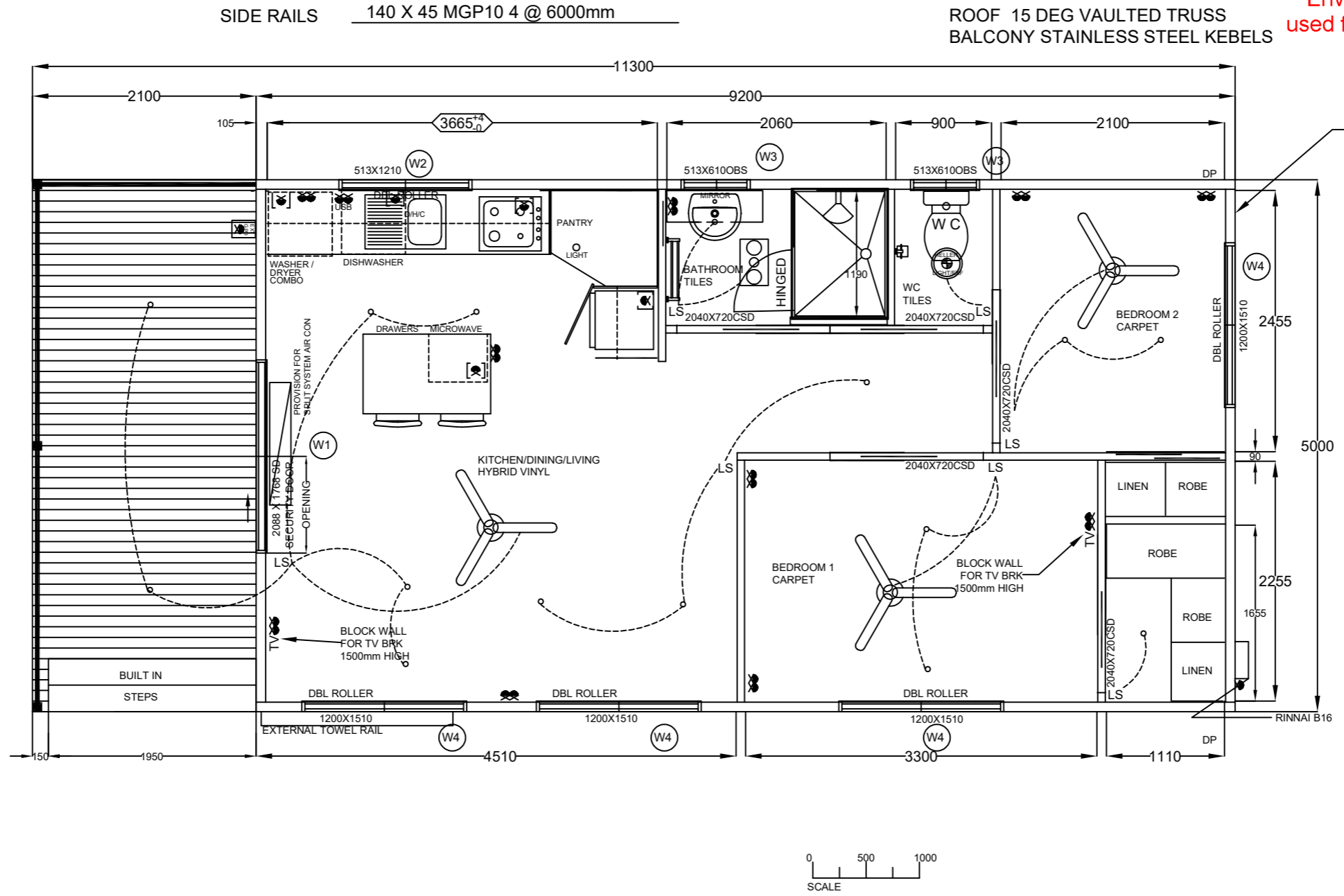
ELEVATION A: WEATHERTEX GROOVE PANEL, CHASSIS SKIDS, 5000 width.
 ELEVATION B: CHASSIS SKIDS, COLOURBOND CUSTOM ORB.



ELEVATION C: CHASSIS SKIDS, 5000 width.
 ELEVATION D: STAIRS BY OTHERS, CHASSIS SKIDS, WEATHERTEX GROOVE PANEL.

Design By: CP	Project #: 41L064-03	Project Title: ELEVATION	Stage: SALES	GERVALE HOMES PTY LTD OFFICE LOCATIONS MELBOURNE: 20-24 NINA LINK, DANDENONG SOUTH, VICTORIA, 3175 NAGAMBIE: 36 BALLANTYNES ROAD, NAGAMBIE, VICTORIA, 3608 CONTACT T: (03) 8792 2074 E: INFO@GERVALEHOMES.COM.AU	<p>Printed 14/05/2024 Page 42 of 44</p>
Date: 26/02/24	Issue #: A	Scale: 1:50	Client: Equinox Group		
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Type	Sliding Door	Sliding Window	Sliding Window	Sliding Window
Glazing	Single Glazing	Single Glazing	Single Glazing Frosted Glass	Single Glazing
Glass	Clear Float	Clear Float	Clear Float Toughened Matelux	Clear Float
Height	2088	513	513	1200
Width	1768	1210	610	1510
Reveals	103mm	98mm	98mm	98mm
Quantity	1	1	2	4
Marker	W1	W2	W3	W4

Design By: CP	Project #: 37L068
Date: 26/02/24	Issue #: A
Scale: 1:50	
Notes: This drawing should be used in conjunction with individual specification sheets	

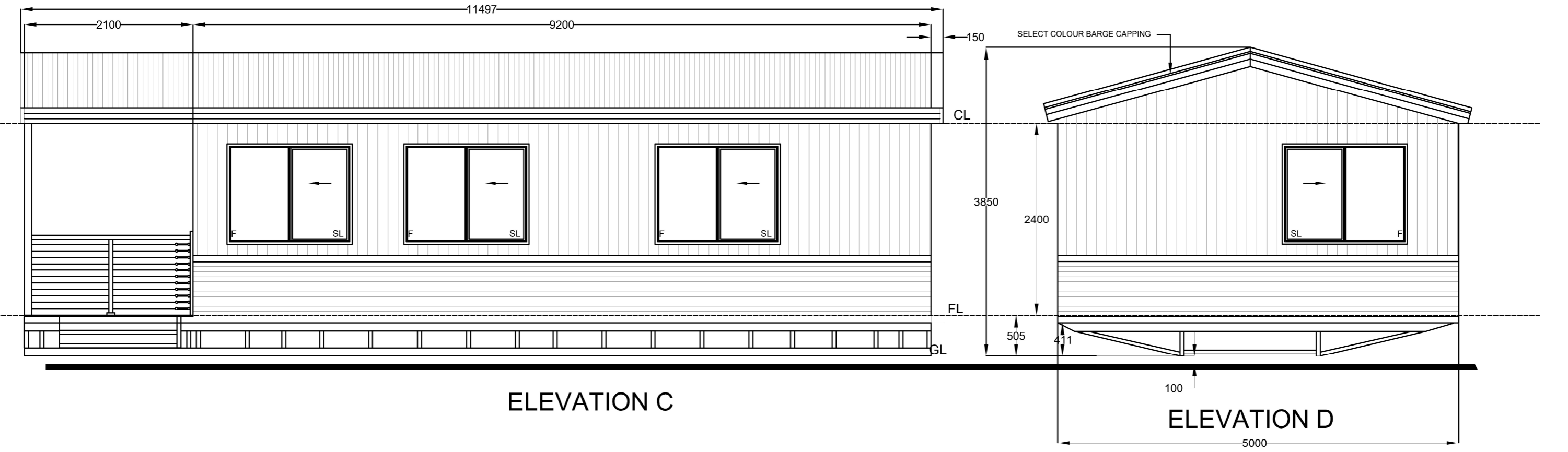
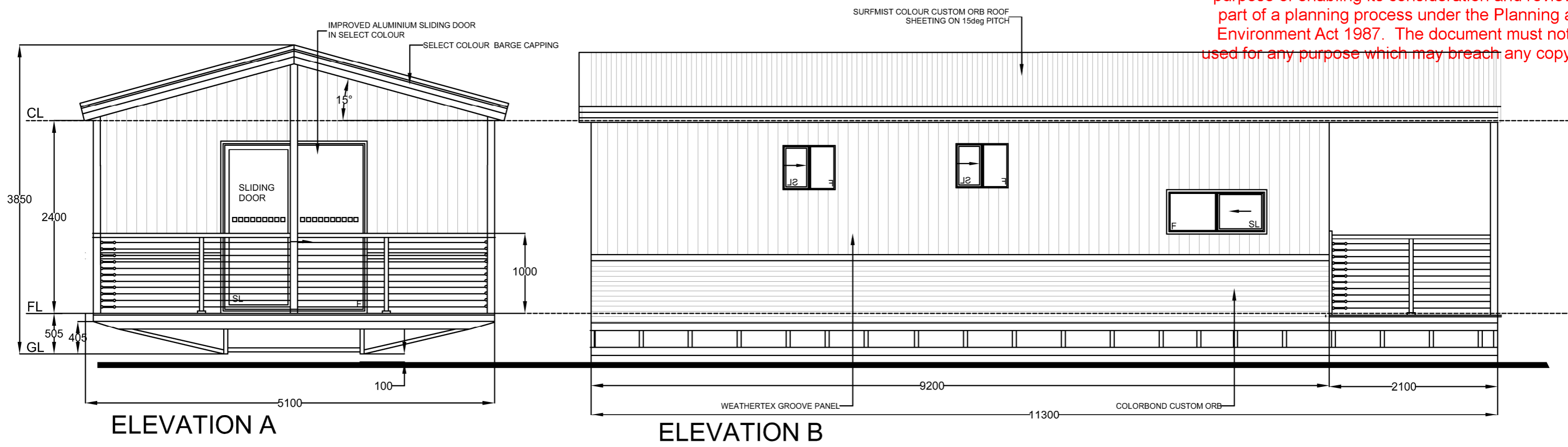
Project Title: FLOORPLAN 11.3M X 5M - RELOCATABLE BUILDING
Client: Equinox Group


Stage: SALE

GERVALE HOMES PTY LTD
 OFFICE LOCATIONS
 MELBOURNE: 20-24 NINA LINK, DANDENONG SOUTH, VICTORIA, 3175
 NAGAMBIE: 36 BALLANTYNES ROAD, NAGAMBIE, VICTORIA, 3608
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Design By: CP	Project #: 37L068-03	Project Title: ELEVATION 11.3M X 5M - RELOCATABLE BUILDING	Stage: SALES	GERVALE HOMES PTY LTD OFFICE LOCATIONS MELBOURNE: 20-24 NINA LINK, DANDENONG SOUTH, VICTORIA, 3175 NAGAMBIE: 36 BALLANTYNES ROAD, NAGAMBIE, VICTORIA, 3608 CONTACT T: (03) 8792 2074 E: INFO@GERVALEHOMES.COM.AU	 Printed 14/05/2024 Page 44 of 44
Date: 26/02/24	Issue #: A	Scale: 1:50	Client: Equinox Group		
Notes: This drawing should be used in conjunction with individual specification sheets					