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purpose of enabling its consideration and review as

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	120 Roberts Road BUCHAN SOUTH 3885 CP: 165040, Lot: 1 TP: 191985, Lot: 1 TP: 191984
The application is for a permit to:	Two Lot Re-structure and Buildings & Works for a Dwelling
The applicant for the permit is:	Beveridge Williams & Co Pty Ltd
The application reference number is:	5.2024.20.1

You may look at the application and any documents that support the application free of charge at: https://www.eastgippsland.vic.gov.au/building-and-development/advertisedplanning-permit-applications

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must •

- be made to the Responsible Authority in writing,
- include the reasons for the objection, and
- state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:
--

If you object, the Responsible Authority will tell you its decision.

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REGISTER SEARCH STATEMENT (Title Seaked) for இவற்ற இரும் Setwhich may breach அவற்ற property Land Act 1958

VOLUME 09335 FOLIO 975

Security no : 124112217265Q Produced 30/01/2024 10:01 AM

LAND DESCRIPTION

Lot 1 on Title Plan 191984T.
PARENT TITLE Volume 06523 Folio 402
Created by instrument H504723 04/05/1979

REGISTERED PROPRIETOR

Estate Fee Simple Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP191984T FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL
END OF REGISTER SEARCH STATEMENT
Additional information: (not part of the Register Search Statement)
Street Address: 120 ROBERTS ROAD BUCHAN SOUTH VIC 3885

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END

Printed 8/02/2024 Page 2 of 52

Title 9335/975 Page 1 of 1

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parEoTal Planning process 917884 Tthe Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

TITLE PLAN

Location of Land

Parish:

GILLINGALL

Township: Section

Crown Allotment: 7E(PT)

Crown Portion:

Last Plan Reference: LP88615

Derived From: VOL 9335 FOL 975

Depth Limitation: 15.24 m ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON

THIS TITLE PLAN

Description of Land / Easement Information

THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 18/09/2000

VERIFIED: SO'C

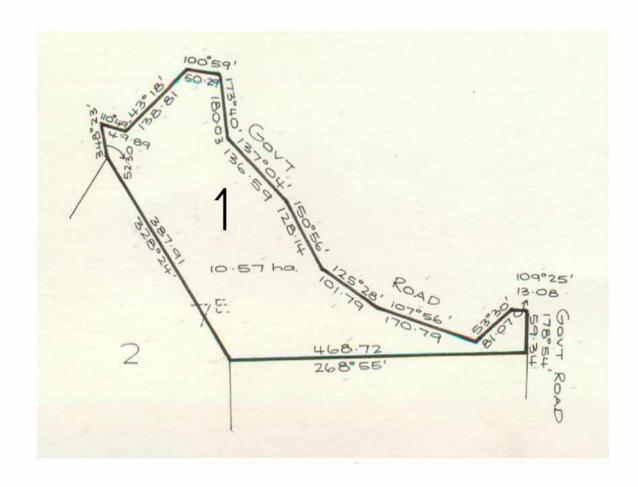


TABLE OF **PARCEL IDENTIFIERS**

WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962

PARCEL 1 = LOT 1 ON LP88615

Printed 8/02/2024

LENGTHS ARE IN METRES

Metres = 0.3048 x Feet Metres = 0.201168 x Links





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VOLUME 09335 FOLIO 976

Security no : 124112217299D Produced 30/01/2024 10:01 AM

LAND DESCRIPTION

Lot 1 on Title Plan 191985R.
PARENT TITLE Volume 06523 Folio 402
Created by instrument H504723 04/05/1979

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
DAVID ERIC MOORE
CHRISTINA LOUISE MOORE both of 120 ROBERTS ROAD BUCHAN SOUTH VIC 3885
AW080522E 19/09/2022

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AW080523C 19/09/2022 NATIONAL AUSTRALIA BANK LTD

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DIAGRAM LOCATION

SEE TP191985R FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

Additional information: (not part of the Register Search Statement)

Street Address: 120 ROBERTS ROAD BUCHAN SOUTH VIC 3885

ADMINISTRATIVE NOTICES

NIL

eCT Control 16089P NATIONAL AUSTRALIA BANK LTD Effective from 19/09/2022

DOCUMENT END

Printed 8/02/2024 Page 4 of 52

Title 9335/976 Page 1 of 1

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Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

TITLE PLAN

Location of Land

GILLINGALL Parish:

Township: Section

Crown Allotment: 7D(PT)

Crown Portion:

Last Plan Reference: LP88616

Derived From: VOL 9335 FOL 976

Depth Limitation: 15.24 m ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON

THIS TITLE PLAN

Description of Land / Easement Information

THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 18/09/2000 VERIFIED: SO'C

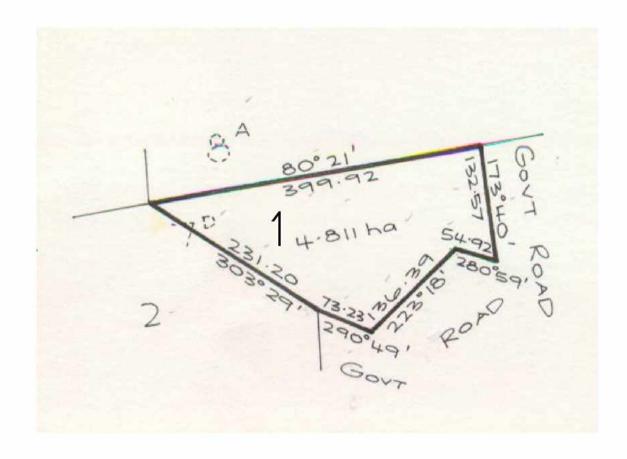


TABLE OF PARCEL **IDENTIFIERS**

WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962

PARCEL 1 = LOT 1 ON LP88616

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VOLUME 09756 FOLIO 724

Security no : 124112217243P Produced 30/01/2024 10:00 AM

LAND DESCRIPTION

Land in Plan of Consolidation 165040T.
PARENT TITLES:
Volume 08847 Folio 970 to Volume 08847 Folio 971
Created by instrument M814335X 07/07/1987

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
DAVID ERIC MOORE
CHRISTINA LOUISE MOORE both of 120 ROBERTS ROAD BUCHAN SOUTH VIC 3885
AW080522E 19/09/2022

ENCUMBRANCES, CAVEATS AND NOTICES

MORTGAGE AW080523C 19/09/2022 NATIONAL AUSTRALIA BANK LTD

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE CP165040T FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-------

Additional information: (not part of the Register Search Statement)

Street Address: 120 ROBERTS ROAD BUCHAN SOUTH VIC 3885

ADMINISTRATIVE NOTICES

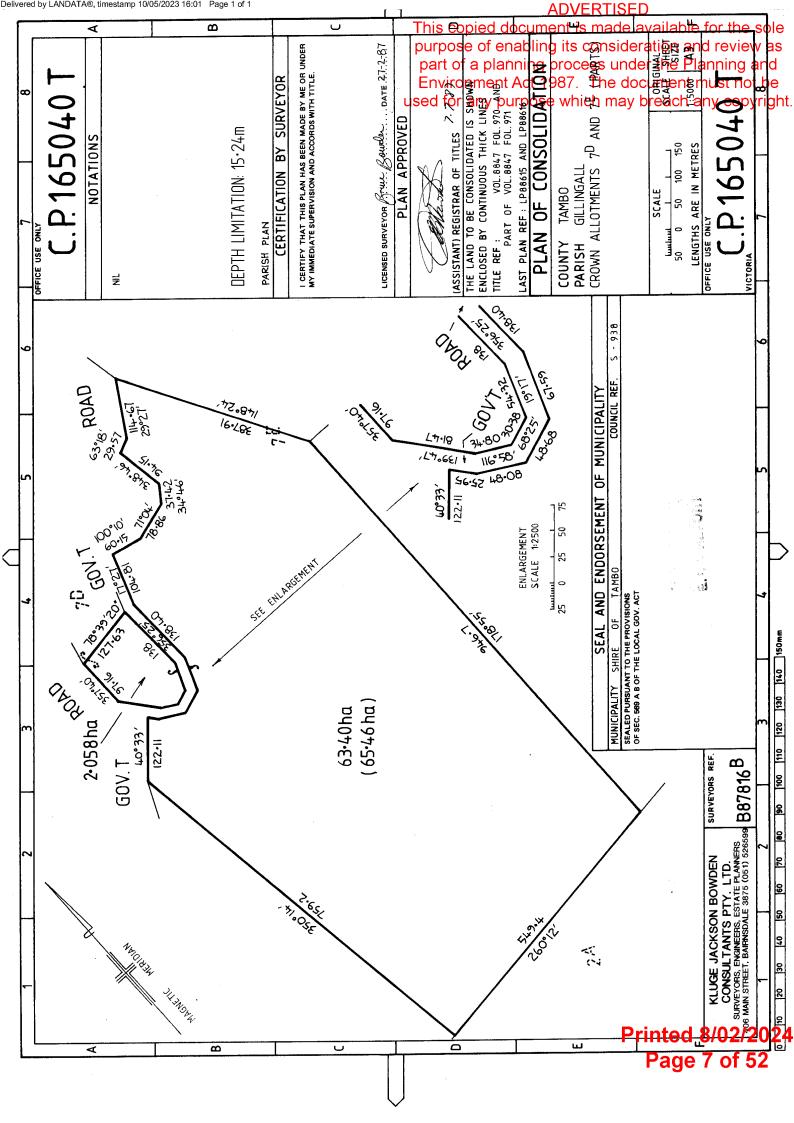
NIL

eCT Control 16089P NATIONAL AUSTRALIA BANK LTD Effective from 19/09/2022

DOCUMENT END

Printed 8/02/2024 Page 6 of 52

Title 9756/724 Page 1 of 1



Beveridge Williams

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Our Reference: 2300624

19 January 2024

Planning Co-ordinator East Gippsland Shire Council PO Box 1618 BAIRNSDALE VIC 3875 ACN 006 197 235 ABN 38 006 197 235

Sale Office PO Box 47 Sale VIC 3875 Tel: (03) 5144 3877

beveridgewilliams.com.au

Dear Sir,

RE: APPLICATION FOR A PLANNING PERMIT - TWO LOT RE-SUBDIVISION OF LAND & CONSTRUCTION OF A DWELLING
120 ROBERTS ROAD, BUCHAN SOUTH
LAND IN PLAN OF CONSOLIDATION 165040T (VOLUME: 09756, FOLIO: 724);
LOT 1 ON TITLE PLAN NO. 191984T (VOLUME: 09335, FOLIO: 975)
LOT 1 ON TITLE PLAN NO. 191985R (VOLUME: 09335, FOLIO: 976)

I refer to the above matter and advise that Beveridge Williams & Co. Pty. Ltd. acts on behalf of David Moore, in relation to the above matter.

David acquired the 3 titles known as 120 Roberts Road, Buchan South, in December 2010 and has grazed livestock across it since. He now wishes to re-subdivide these titles to create two lots. The smaller lot will have area of 2.058 hectares and will comprise a small part at the western end of one of his lots. It is presently alienated from the balance by a road reserve that wraps around it's south and east sides. David's house is located on this part lot and will be alienated from the balance by this re-subdivision.

The other lot will have area of 78.78 hectares formed in an irregular shape across two part lots. David's family wishes to build a new dwelling near the centre of this lot in order to allow them to join him as he retires from farming. This new dwelling will be located more appropriately to monitor livestock grazing across the cleared pastures within the eastern portions of the land.

To achieve this, David has instructed Beveridge Williams & Co. Pty. Ltd. to seek a planning permit that will allow:

- a two-lot re-subdivision of the land in accordance with the proposed plan of subdivision provided at *Figure 1*; and,
- the construction of a dwelling in accordance with the site plan, floorplan and elevations at *Figures 2-4*.

He has based:

- The alignment of the proposed re-subdivision on the advice of Simon Anderson Consulting Pty. Ltd., which has assessed the risk of erosion across the land; and,
- the location of the proposed new dwelling upon advice from Effective Thermal Solutions, which has assessed the risk of a bushfire affecting the land.

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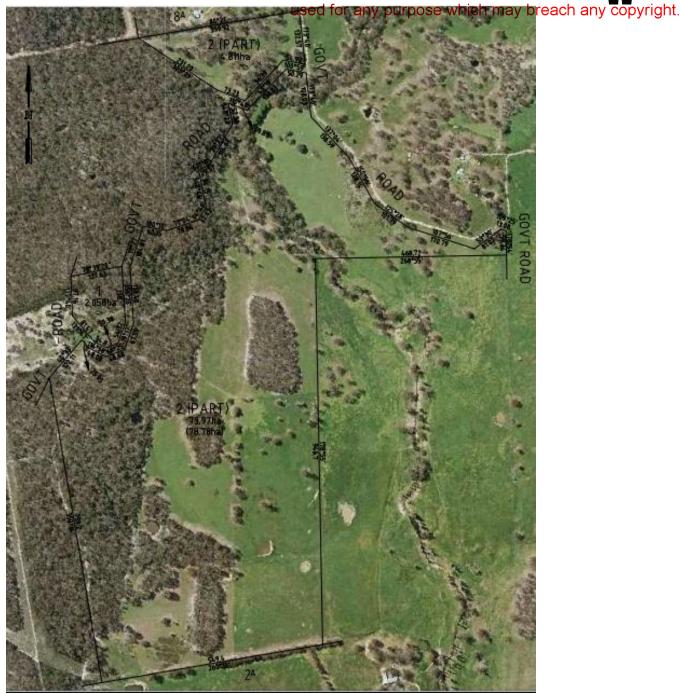


Figure 1: Proposed Plan of Subdivision

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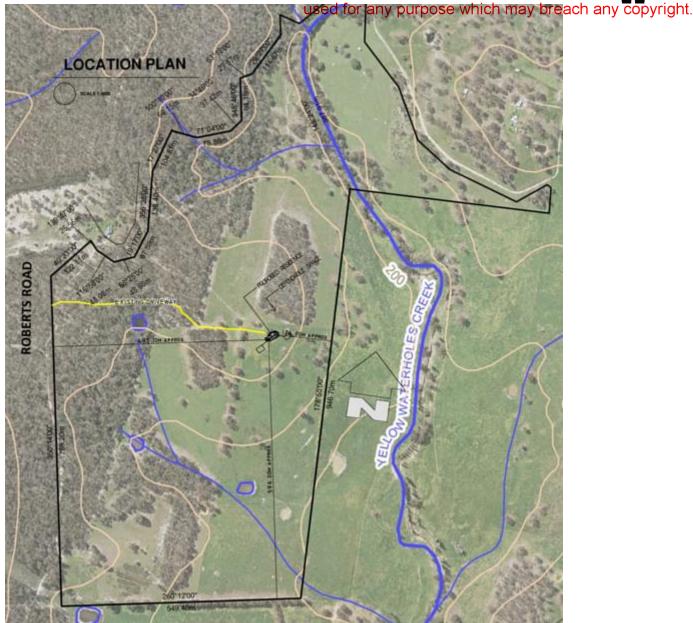


Figure 2: Proposed Site Plan for the new dwelling with the driveway shown yellow

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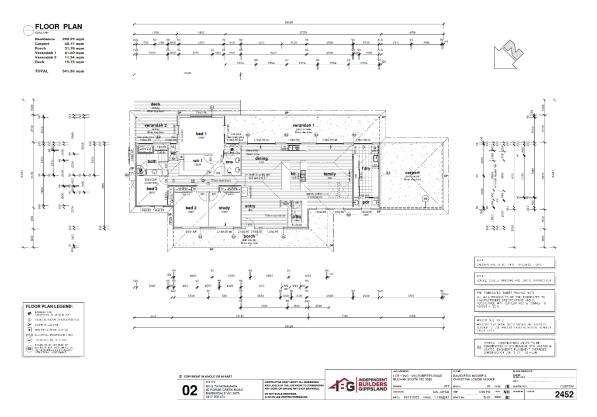


Figure 3: Proposed Floorplan for the new dwelling



Figure 4: Proposed elevations of the new dwelling

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A review of the East Gippsland Planning Scheme for the Fast Gippsland Planning Scheme for the Fa

- Clause 13.02-1\$ (Bushfire planning);
- Clause 14.01-1S (Protection of agricultural land);
- Clause 15.03-2S (Aboriginal Heritage), noting that a two lot re-subdivision and construction of a single dwelling are not considered a high impact activity under the Aboriginal Heritage Regulations 2018. Hence, despite the fact that the subject site has potential sensitivity to aboriginal cultural heritage, this application does not need to be preceded by the preparation of a Cultural Heritage Management Plan:
- Clause 15.01-6S (Design for rural areas);
- Clause 35.07 (Farming Zone), noting that the proposed re-subdivision triggers the need for a planning permit under the provisions of Clause 35.07-2. The construction of a single dwelling on a lot exceeding 40 hectares in the Farming Zone is exempt from the need for a planning permit under Clause 35.07. Hence, the proposed dwelling does not require a planning permit;
- Clause 44.01 (Erosion Management Overlay) noting that building and works associated with the construction of a single dwelling on land that is affected by the Erosion Management Overlay do not trigger the need for a planning permit under Clause 44.01-2, as Point 3.0 to Schedule 1 to Clause 44.01 exempts a single dwelling from the requirement for a planning permit under the Erosion Management Overlay. The subdivision of land affected by the Erosion Management Overlay triggers the need for a planning permit under the provisions of Clause 44.01-5. However, the proposed re-subdivision of land into two lots does not necessitate the preparation of a geotechnical risk assessment as Point 4.0 exempts "an application to subdivide land in a rural zone into two lots" from that application requirement. A letter prepared by Simon Anderson Consulting further confirms that proposal does not trigger excessive erosion risk;
- Clause 44.06 (Bushfire Management Overlay) noting that both the subdivision of land affected by a Bushfire Management Overlay and construction of a dwelling trigger the need for a planning permit under the provisions of Clause 44.06-2. Hence, the proposed re-subdivision and construction of a dwelling require a planning permit under the provisions of the Bushfire Management Overlay; and,
- Clause 65 (Decision Guidelines).

These planning permit triggers are collated in **Table 1**.

Planning Scheme Clause	Permit trigger	
Clause 35.07-2	Subdivision of land in the Farming Zone	
Clause 44.01-5	Subdivision of land affected by the Erosion Management Overlay	
Clause 44.06-2	Subdivision of land affected by the Bushfire Management Overlay	
Clause 44.06-2	Construction of a dwelling on land affected by the Bushfire Management Overlay	

Table 1: Permit Triggers

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The following documents have been included with a fifther the bear included with a fifther the bear

- A Title search statement and title plan for the subject site;
- A Planning Property report for the subject site, which demonstrates the applicable zoning and overlay controls;
- A Site Context Analysis that discusses the nature of land use and development across the subject site, its immediate surrounds and the applicable planning policies;
- A Planning Assessment that discusses the proposal in light of the provisions of the applicable clauses listed above;
- A Bushfire Management Statement prepared by Effective Thermal Solutions addressing the proposal against the provisions of the Bushfire Management Overlay;
- A letter prepared by Simon Anderson Consulting that confirms that the proposed re-subdivision will not create excessive erosion risk; and,
- A Proposed Plan of Subdivision and a set of dwellings designs for endorsement under any permit granted.

A payment in the amount of **\$2,142.75** will be made to East Gippsland Shire Council to cover the applicable fee for an application made under Classes 4 & 19 upon request.

If you require any further information prior to making a decision on this application, please do not hesitate to call me on 03 5144 3877.

Yours Sincerely,

Chris Curnow
Principal Planner
BEVERIDGE WILLIAMS

Address:	120 Roberts Road, Buchan South		
Lot Details:	Lot 1 on TP191985R	Lot 1 on TP191984T	PC165040T
Title Particulars:	Volume: 07618, Folio: 175	Volume: 09335, Folio: 975	Volume: 09756, Folio: 724
Title Restrictions:	None	None	
Heritage:	There is Aboriginal he	eritage sensitivity within 200m of Ye	ellow Waterholes Creek
Soil Type:	Wulgu	ulmerang (WI), which is suitable for	grazing
Area & Shape:	4.811ha, irregular shape	10.57ha, irregular shape	65.46ha, 2 irregular shapes
Topography & watercourses:	Falls east and has an ephemeral tributary of Yellow Waterholes Creek in its southern portion	Falls west towards Yellow Waterholes Creek, which snakes through it from north to south	Falls north and south away from a central plateau with ephemeral tributaries of Yellow Waterholes Creek in its north & south portions.
Zoning:	Farming		
Overlay:	Bushfire Management, Erosion Management		
Improvements:	Fenced, grazed pasture, with no buildings. It contains scattered paddock trees and a stand of native forest along its western perimeter.	Fenced, grazed pasture, with no buildings. There is native vegetation growing along the western side of Yellow Waterholes Creek where it traverses the property and scattered paddock trees.	A single-storey, weatherboard dwelling is located in the southern portion of the smaller, western part of this property. The western half is covered in native forest, while the eastern half is mostly covered in grazed pasture and has 3 dams.

ADJOINING PROPERTIES:

The subject sites collectively abut:

- An unnamed road reserve, which abuts the crooked 2,001 metre long combined north boundaries of PC165040T and Lot 1 on TP191984T and the dog-legged 1,608 metre long combined east boundaries of Lot 1 on TP19185R and Lot 1 on TP191984T for a distance of 192 metres at the north end. This road reserve separates the two parts of PC165040T for a distance of 329 metres and Lot 1 on TP191984T and Lot 1 on TP191985R for a distance of 239 metres. It has a width of 20 metres and accommodates a gravel track that provides access to a handful of houses on the north and east side of the subject site that have street numbers on Estcourts Road. The gravel track does not traverse through the sections of road reserve running between the subject
- 200 Fergusons Road for a distance of 127.63 metres along the north boundary of the smaller western part of PC165040T and the full extent of the 231.2 metre long western boundary of Lot 1 on TP191985R. This property has area of approximately 21.8ha and appears to be vacant of improvements. It is covered in native
- 416 Estcourts Road along the 399.92 metre long northern boundary of Lot 1 on TP191985R. This property has area of approximately 20.6 hectares formed in a rectangular shape. It accommodates a dwelling that is set back approximately 40 metres from the common boundary with the subject site;
- 83 Estcourts Road along the balance of the east boundary and the full extent of the 549.4 metre long south boundary. This property has area of approximately 122 hectares formed in two irregular shaped parcels. It accommodates a dwelling in the centre that is set back approximately 175 metres from the common boundary with the subject site. Yellow Waterholes Creek snakes through it in a north-south direction, with riparian vegetation flanking it. The balance of the land is covered in pasture grass and grazed. The balance of the land is largely cleared with a fall towards the creek. This property gains access via a crossover to Roberts Road; and,
- Crown Allotment 7H, Parish of Gillingall along the southern section of their two sections of west boundary for a distance of 759.2 metres . This property is in a public reserve and is covered with native forest. It contains a number of roads, including Roberts Road and Fergusons Road, which provides practical access to the dwelling on the subject site.

STREETSCAPE VIEW OF THE CROSSOVER TO PC165040T FROM ROBERTS ROAD



VIEW OF THE DWELLING & SHED WITHIN PC165040T



VIEW ALONG YELLOW WATERHOLES CREEK WITHIN LOT 1 ON TP191984T



VIEW OF 2 OF THE DAMS WITHIN PC165040T

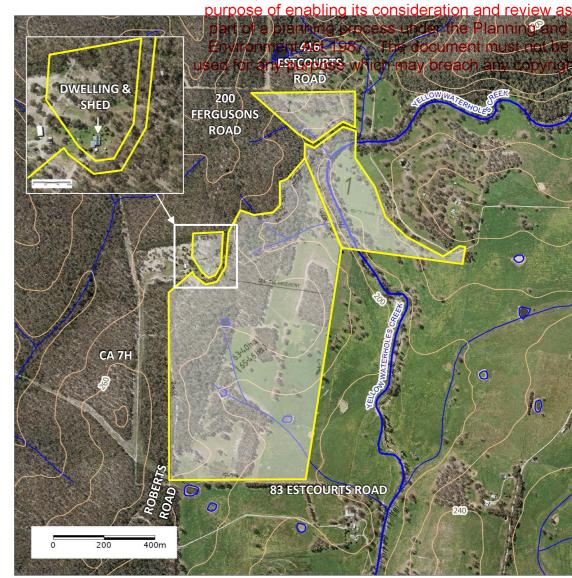


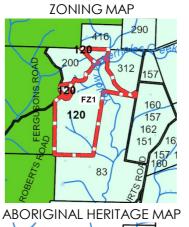
STREETSCAPE VIEW OF THE GATED ENTRY TO 83 ESTCOURTS ROAD

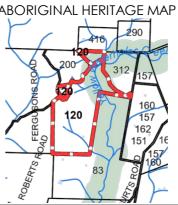


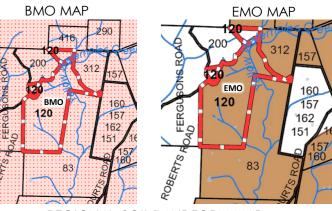


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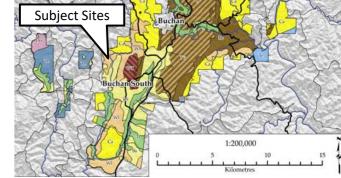








REGIONAL SOIL/LANDFORM MAP



THE PROPOSAL

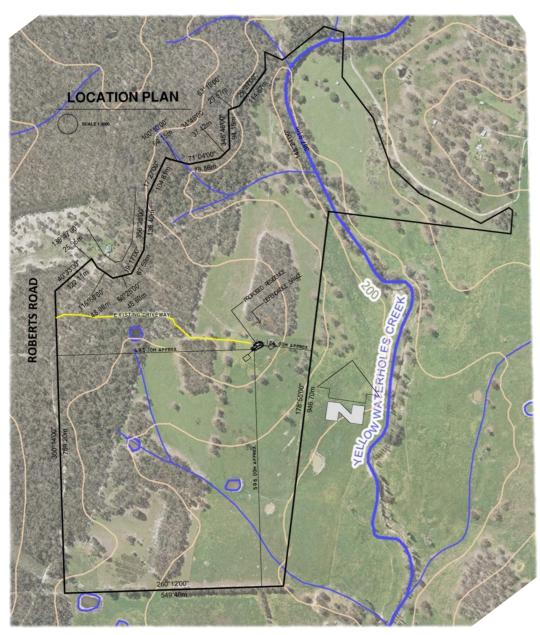
It is proposed to re-subdivide 3 existing land parcels so as to create 2 new lots, i.e. proposed Lot 1 with area of 2.058 hectares and proposed Lot 2 with area of 78.78 hectares formed across two parts.

Proposed Lot 1 is presently part of one of the subject sites that is physically separated from the balance by a road reserve.

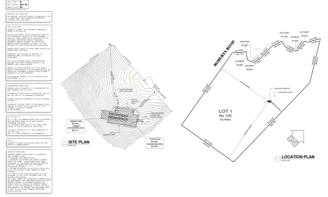
It is also proposed to construct a new dwelling on proposed Lot 2 in order to allow the landowner's family to join him on the farm while he retires in his existing home on Lot 1. This new dwelling is located in a superior position for monitoring of livestock, relative to the location of the existing dwelling, which sits in a mor vegetated area at the west side of the farm.

The proposed new dwelling has been designed to accord with the findings of a bushfire management statement prepared by Effective Thermal Solutions as part of this application.

PROPOSED DWELLING SITE PLAN OVER AN AERIAL PHOTOGRAPH WITH 10m CONTOUR INTERVALS (BROWN LINES) AND DECLARED WATERCOURSES (BLUE LINES) SHOWN



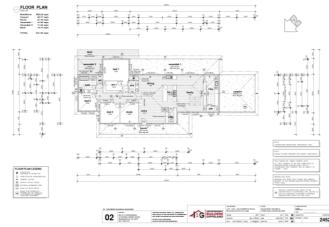
PROPOSED DWELLING SITE PLANS



PROPOSED DWELLING ELEVATIONS

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PROPOSEPHISLANIE GUERNAMENTO Made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be 2 (PART) be a support of the suppo ROAD 105 2 (PART)



Planning Policy Framework

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The proposal involves the re-subdivision of three existing lots to create two new lots that will provide a superior farming outcome. The existing dwelling that sits on a small part lot at the western tringe of the land is inappropriately located to monitor the activity of livestock on the land. Hence, a new dwelling is proposed on the large vacant farming particle of a particle of the land is inappropriately located to monitor the activity of livestock on the land. Hence, a new dwelling is proposed on the large vacant farming particle of a particle of the land is inappropriately located to monitor the activity of livestock on the land. Hence, a new dwelling is proposed on the large vacant farming particle of a particle of the land is inappropriately located to monitor the activity of livestock on the land. Hence, a new dwelling is proposed on the large vacant farming particle of the land is inappropriately located to monitor the activity of livestock on the land. Hence, a new dwelling is proposed on the large vacant farming particle of the land is inappropriately located to monitor the activity of livestock on the land. Hence, a new dwelling is proposed on the large vacant farming particle of the land is inappropriately located to monitor the activity of livestock on the land. Hence, a new dwelling is proposed on the large vacant farming particle of the land is inappropriately located to monitor the activity of livestock on the land is inappropriately located to monitor the activity of livestock on the land is inappropriately located to monitor the activity of livestock on the land is inappropriately located to monitor the activity of livestock on the land is inappropriately located to monitor the activity of livestock on the land is inappropriately located to monitor the activity of livestock on the land is inappropriately located to monitor the activity of livestock on the land is inappropriately located to monitor the activity of livestock on the land is in

In this manner, the proposed re-subdivision and construction of a new dwelling will satisfy:

- Clause 13.02-15, insofar as it will not lead to a circumstance whereby future residents of either the existing or proposed dwelling suffer an unacceptable risk in the event of a bushfire;
- Clause 14.01-15, insofar as it will improve the capacity of the property to be used for productive agriculture by locating the new dwelling in a superior position for monitoring livestock, relative to the location of the existing dwelling. This can be achieved without losing an excessive amount of land to productive agriculture or, through the use of appropriate building setbacks, disrupting the use of adjoining land for agriculture;
- Clause 15.01-6, insofar as the new dwelling will not be a dominant visual element in the landscape or disrupt the use of adjoining land for agriculture.

The purpose of the zone and overlays

The proposed re-subdivision and new dwelling have been designed to satisfy the purpose of the Farming Zone by:

- Improving the agricultural capacity of the land by providing a more appropriately located human presence to ensure superior livestock management outcomes; and,
- Positioning the new house and boundaries so as to avoid impacts upon farming activity on adjoining properties.

The proposed development has been designed to satisfy the purpose of the **Erosion Management Overlay** by minimising soil disturbance through the location of new boundaries and the proposed new dwelling on portions of the land that are relatively flat and remote from declared watercourses so as to avoid excessive earthworks or the risk of tunnel erosion. Similarly, the proposal will not necessitate or create additional vegetation removal exemptions. Advice from Simon Anderson Consulting suggests that these measures will effectively mitigate erosion risk.

The proposed development has been designed to satisfy the purpose of the **Bushfire Management Overlay** by aligning the new boundaries and locating the new dwelling in a manner that will allow the ongoing of appropriate areas of defendable space and access. This will ensure that the risk to life and property in a bushfire is minimised to a satisfactory extent.

Any matter required to be considered in the zone, overlay or other provision

The proposal is designed to respond to the decision guidelines at Clause 44.01-8 by:

- According with the advice prepared by Simon Anderson Consulting, which found that the proposed re-subdivision will not exacerbate erosion risk;
- Avoiding the need to remove any existing vegetation, or creating any new vegetation removal exemptions;
- Eliminating a boundary that ran through a declared watercourse.

The proposal is designed to respond to the decision guidelines at Clause 44.06-8 by:

- Aligning the proposed boundaries in a way that will allow appropriate maintenance of defendable space around the existing and proposed new dwelling;
- Locating the proposed new dwelling and its access in portion of the land where the risk of bushfire can be appropriately managed; and,
- Complying with the recommendations of the Bushfire Management Statement prepared to accompany this application.

Orderly Planning

The proposal is for the re-subdivision of three lots into two and construction of a new dwelling that will provide an ideal location for more intense agriculture on the larger farm lot being created. The dwelling and new boundaries have been designed to mitigate bushfire and erosion risk to a satisfactory degree. Council has consistently granted planning permits in similar circumstances. Hence, approval of the proposal will represent a consistent, or orderly approach to planning.

The effect on the amenity of the area

The proposed re-subdivision and new dwelling have been designed and located to avoid creating impacts upon the amenity of adjoining properties through the use of appropriate setbacks.

Factors likely to cause or contribute to land degradation, salinity or reduce water quality;

The proposed re-subdivision will eliminate a boundary across a watercourse. The proposed new dwelling is located on relatively flat land with ample setbacks from declared watercourses. So, the potential risks to soil and water quality are mitigated through design.

Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site

Runoff from the roof of the dwelling will be directed to a rainwater tank to allow re-use as a potable supply and/or for fire-fighting purposes. So, stormwater quality will be maintained.

The extent and character of native vegetation and the likelihood of its destruction.

No vegetation removal is required to facilitate the proposed development.

Whether native vegetation is to be or can be protected, planted or allowed to regenerate.

No vegetation removal is required to facilitate the proposed development.

Flood, erosion or bushfire risk.

The site is recognised as being susceptible to erosion & bushfire. These risks are mitigated in the manner described above & in the advice from Simon Anderson Consulting & Effective Thermal Solutions...

The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.

The site of the proposed new dwelling will allow ample space for vehicle parking as well as the loading and unloading of vehicles in association with the site's proposed agricultural use.

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Beveridge Williams

Address 120 ROBERTS ROAD, BUCHAN SOUTH

Version: 1

Reference: 2300624

The suitability of the land for subdivision

ADVERTISED

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used for any purpose which may breach any copyright.

This copied document is made available for the sole The proposed re-subdivision reduces the number of lots from 3 to 2 in the Farming Zone. Insodoing, it provides a better farming outcome. Hence, the land is unitable left for about the number of lots from 3 to 2 in the Farming Zone. Insodoing, it provides a better farming outcome. Hence, the land is unitable left for about the number of lots from 3 to 2 in the Farming Zone. Insodoing, it provides a better farming outcome. Hence, the land is unitable left for about the number of lots from 3 to 2 in the Farming Zone. Insodoing, it provides a better farming outcome. part of a planning process under the Planning and The existing use and possible future development of the land and nearby land.

The surrounding land is all zoned for Farming or conservation. The proposed re-subdivision does not disrupt it's potential.

The availability of subdivided land in the locality, and the need for the creation of further lots.

The purpose of the re-subdivision is not related to the sale of the property.

The effect of development on the use or development of other land which has a common means of drainage.

The proposed re-subdivision removes a boundary over a declared watercourse. So, it improves common drainage outcomes.

The subdivision pattern having regard to the physical characteristics of the land including existing vegetation.

The proposed re-subdivision removes a boundary through native vegetation. So, it eliminates vegetation removal exemptions. Hence, it is an improvement upon the existing layout.

The density of the proposed development.

The proposed re-subdivision reduces the density from 3 lots to 2 lots, which is appropriate in a farming area.

The area and dimensions of each lot in the subdivision.

These are shown on the plan opposite.

The layout of roads having regard to their function and relationship to existing roads.

The proposed re-subdivision retains access to Roberts Road for proposed lots.

The movement of pedestrians and vehicles throughout the subdivision and the ease of access to all lots.

The proposed re-subdivision retains access for pedestrians to both lots.

The provision and location of reserves for public open space and other community facilities.

The proposed re-subdivision does not include an area of public open space. Given its agricultural nature, this is appropriate.

The staging of the subdivision.

The proposed subdivision is not going to be staged.

The design and siting of buildings having regard to safety and the risk of spread of fire.

As shown opposite, each proposed lot can accommodate a dwelling that enjoy ample boundary setbacks to avoid leading to an unacceptable risk of spreading fire.

The provision of off-street parking.

As shown opposite, each proposed lot retains ample space to accommodate provisions for off-street parking.

The provision and location of common property.

No common property is proposed or required.

The functions of any body corporate.

Not applicable.

The availability and provision of utility services, including water, sewerage, drainage, electricity and gas.

Proposed Lot 2 is of a size that connection to electricity is not necessary. Proposed Lot 1 will retain its existing services.

If the land is not sewered and no provision has been made for the land to be sewered, the capacity of the land to treat and retain all sewage and sullage within the boundaries of each lot.

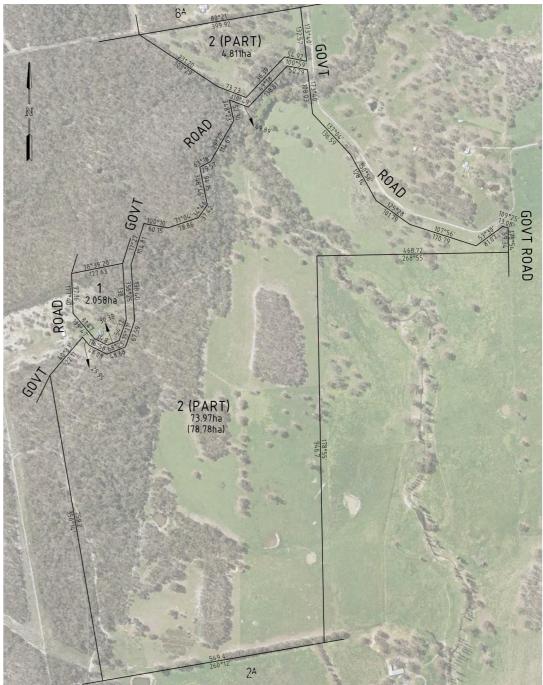
Both proposed lots retain ample space to allow compliant on-site wastewater management.

Whether, in relation to subdivision plans, native vegetation can be protected through subdivision & siting of open space areas.

As discussed previously, no native vegetation removal will be necessitated by the proposed re-subdivision.

The impact the development will have on the current and future development and operation of the transport system.

The proposed re-subdivision won't create new lots. So, it won't add any additional vehicle movements onto Roberts Road.





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BUSHFIRE MANAGEMENT STATEMENT

Proposed Re-Subdivision and a New Dwelling in a Bushfire Management Overlay

Construction to BAL 29

120 Roberts Road, Buchan South 5 December, 2023

PREPARED FOR:		
Client Name	David & Christina Moore	
Address	c/- Beveridge Williams, 45 Macalister Street, Sale, 3850	
Telephone Number	03 5144 3877	

PREPARED BY:		
Consultant Name	Bruce St Clair	
Consultant Signature	BROWN	
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SUMMARY

Effective Thermal Solutions was engaged by Beveridge Williams to undertake a Bushfire Attack Level assessment and prepare a Bushfire Management Statement for the proposed re-subdivision and a new dwelling at 120 Roberts Road, Buchan South.

The existing holding is zoned Farming Zone and is almost 83ha. The proposal is to excise the existing dwelling and the surrounding 2ha to become Lot 1. The remaining land will be 78ha and become Lot 2. A new, centrally located dwelling is proposed for Lot 2.

This document details fire related threats to the proposed development and includes responses to legislative requirements regarding development in areas covered by the Bushfire Management Overlay.

Bushfire Management Statement Requirements

The proposed development is a re-subdivision and Planning Clause 53.02-4.4 (Pathway 3) is applicable.

Development requirements are as follows:

- The site is undulating and contains an existing dwelling. The western side of the lot is remnant vegetation and the eastern side is primarily open, grassy farmland
- The whole site is covered by the high-risk Bushfire Management Overlay
- The land to the west of the site is zoned PCRZ, the land to the north, east and south is zoned Farming Zone
- The proposed building envelope for a future build on Lot 1 has forest, flat or upslope to the north and the defendable space of 25m for construction to Bushfire Attack Level (BAL) 29 is contained within the existing/proposed boundaries
- Proposed Lot 2 has limited potential building sites/envelopes due to the need for access off Roberts Road and the surrounding properties to the east.
- The applicant has identified a centrally located, level site that will contain an extended area of defendable space – out from 32m to at least 50m, due to the landscape risk, for construction of BAL 29
- The existing dwelling has a nearby static water supply of at least 20,000L in a concrete water tank for use by emergency services, that will be fitted with CFA tank fittings or be replaced by a steel 10,000L water supply
- Access requirements for emergency services on Lot 2 are compliant for gradient with the existing access to be upgraded and the creation of the final section of the access to the proposed new dwelling. Three passing bays will be required.
- A separate Outbuilding Submission will be provided for the proposed shed.



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Disclaimer:

Effective Thermal Solutions has taken the necessary steps to ensure that an accurate document has been prepared, but no liability is accepted for any damages or loss incurred as a result of reliance placed upon the report or its contents. Bruce St Clair visited the site on 4 April, 2023. Requirements detailed in this document do not guarantee survival of the building or the occupants. The client is strongly encouraged to develop and practice a bushfire survival plan.

Definitions, Abbreviations and Acronyms:

AS 3959 - Australian Standard 3959-2018 Construction of Buildings in Bushfire Prone Areas

Clause - relates to a specific piece of legislation within the Planning Scheme

CFA - Country Fire Authority

FRV - Fire Rescue Victoria

BAL - Bushfire Attack Level

BMO - Bushfire Management Overlay

BMS - Bushfire Management Statement

Defendable Space - an area of modified vegetation to mitigate the impact of a bushfire

Method 1 - refers to the methodology in AS 3959 for determining a BAL

Method 2 - refers to methodology in AS 3959 for determining a site specific BAL

Pathway 1 - refers to an application pathway in Planning Clause 53.02

Pathway 2 - refers to an application pathway in Planning Clause 53.02

Pathway 3 - refers to an application pathway in Planning Clause 53.02

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Introduction

Application Pathways

Pathway One - Dwellings in Existing Settlements

Clause 53.02-3 applies to an application to construct a single dwelling or construct or carry out works associated with a single dwelling if all of the following requirements are met:

- The land is zoned Neighbourhood Residential Zone; General Residential Zone; Residential Growth Zone; Urban Growth Zone; Low Density Residential Zone; Township Zone; or Rural Living Zone
- There is only one dwelling on the lot
- The application meets all of the approved measures contained in Clause 53.02-3

Pathway Two - All Other Buildings and Works

Clause 53.02-4 applies to all other buildings and works, including an application that does not meet all of the approved measures in Clause 53.02-3

Pathway Three - Subdivisions

Clause 53.02-4.4 contains the requirements for subdivisions

PROPOSAL:

This submission is to support a planning permit application for a proposed re-subdivision on an 83ha lot in a Farming Zone. The report demonstrates that suitable building sites/envelopes are available for each proposed lot. The entire site is under the high-risk Bushfire Management Overlay. The main threat vegetation to a build into the future on Lot 1 has been identified as forest that is flat or upslope to the north. The required area of defendable space for lot 1 for future construction to BAL 29 can be contained within the lot's boundaries to all elevations. The main threat vegetation to the centrally located, proposed new build on lot 2 is forest that is downslope at >0-5 degrees to the west and the required defendable space for construction to BAL 29 has been extended out from 32m to 50m due to the landscape risk. The existing 550m long access track through Lot 2 will be upgraded and include three passing bays.

Date of Visit	4 April, 2023.
Summary of Proposal	A re-subdivision and a new dwelling in a Farming Zone.
Pathway from PN65	Pathway 3 and AS 3959-2018 Method 1.
Access Requirements Met	Yes, via an up-graded track.
Defendable Space Met	Yes.
Proposed BAL Construction	BAL 29 for future builds on both lots
Native Vegetation Removal	None

This Bushfire Management Statement (BMS) responds to Clauses 13.02, 44.06 and 53.02 in the Victorian Planning Provisions. This BMS is in two parts:

Part 1: Site description, locality description and hazard assessment

Part 2: Bushfire Management Plan for proposed Lot 1 (page 14) and Lot 2 (pages 15 & 16) and a Bushfire Management Statement (page 17) describe how the development responds to Clauses 13.02, 44.06 & 53.02.

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Relevant Standards

Standard	Applicable	Justification for N/A Results
13.02 – Bushfire	Yes	
44.06 – Bushfire Management Overlay	Yes	
53.02 - Bushfire Planning	Yes	
- 53.02-4.4 Subdivision Objectives		
- Approved Measure 5.1	No	
- Approved Measure 5.2	Yes	
- Approved Measure 5.3	No	
- Approved Measure 5.4	Yes	

Response to Clause 13.02-1 - Environmental Risk - Bushfire

Strategy	Consideration
Protection of Human Life	
Give priority to the protection of human life by:	Other applicable policy <i>considerations</i> have not influenced the development proposal above the priority to protect human life.
Prioritising the protection of human life over all other policy considerations.	The proposed development will comprise of population growth. The existing dwelling is set in open lawn areas with scattered trees. There is also a static 10,000L plus
Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire. Declarate the arthur probability of the protection of the p	water supply in the adjacent concrete tank that will be fitted with CFA fittings. Proposed Lot 1 also identifies a future building site/envelope and an appropriate area of defendable space within the lot's boundaries. Proposed Lot 2 is 78ha in area and the applicant has identified a preferred building envelope with an area of extended defendable space (from the required 32m out to 50m) for construction to BAL 29.
 Reduce the vulnerability of communities to bushfire through the consideration of bushfire risk in decision making at all stages of the planning process. 	Details within this report demonstrate the proposed development has considered the implication of bushfire risk. The proposal reduces the vulnerability of the inhabitants.



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Strategy

Bushfire Hazard Identification & Assessment

Identify bushfire hazard and undertake appropriate risk assessment by:

- Applying the best available science to identify vegetation, topographic and climatic conditions that create a bushfire hazard.
- Considering the best available information about bushfire hazard including the map of designated bushfire prone areas prepared under the Building Act 1993 or regulations made under the Act
- Applying the Bushfire
 Management Overlay in planning
 schemes to areas where the
 extent of vegetation can create an
 extreme bushfire hazard.
- Consulting with emergency management agencies and the relevant fire authority early in the process to receive their recommendations and implement appropriate bushfire protection measures.
- Ensuring that strategic planning documents, planning scheme amendments, planning permit applications and development plan approvals properly assess bushfire risk and include appropriate bushfire protection measures.
- Not approving development where a landowner or proponent has not satisfactorily demonstrated that the relevant policies have been addressed, performance measures satisfied or that the bushfire protection measures can be adequately implemented.

The hazard has been identified in accordance with the commonly accepted methodologies of AS 3959-2018 Construction of Buildings in Bushfire Prone Areas, guidance provided in the technical guide Planning Permit Applications – Bushfire Management Overlay, additional CFA guidance for high risk landscapes, and guidance for assessing and responding to bushfire risk at Clause 13.02 in Planning Advisory Note 68 Bushfire State Planning Policy Amendment VC140.

The CFA & FRV have not been contacted about this proposal. Beveridge Williams has spoken to the Shire regarding the status of Roberts Road.

All of the proposed bushfire protection measures are commensurate with the risk and can be implemented and maintained on an ongoing basis.

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Locality and Site Description

Application Requirements

With regards to this application, there are three application requirements set out in Planning Clause 53.02. These are :

- A Bushfire Hazard Landscape Assessment including a plan that describes the bushfire hazard of the general locality more than 150 metres from the site. Photographs or other techniques may be used to assist in describing the bushfire hazard. This requirement does not apply in the case of a new dwelling in a Township Zone that includes all of the approved measures specified in 53.02; and
- A Bushfire Hazard Site Assessment including a plan that describes the bushfire hazard within 150 metres of the proposed development. The description of the hazard must be prepared in accordance with Sections 2.2.3 to 2.2.5 of Australian Standard 3959: 2018 Construction of Buildings in Bushfire Prone Areas, excluding paragraph (a) of Section 2.2.3.2. Photographs or other techniques may be used to assist in describing the bushfire hazard; and
- A Bushfire Management Statement (BMS) describing how the proposed development responds to the requirements of the clause and Clause 44.06. If the application proposes an alternative measure, the bushfire managements statement must explain how the alternative measure meets the relevant objective. If in the opinion of the responsible authority any part of these requirements is not relevant to the assessment application, the responsible authority may waive, vary or reduce the requirement.

The Site

Site Shape, Dimensions, Size and Planning Controls		
The shape of the site is:	Irregular	
Dimensions of the site :	Various	
The site's total area :	Approximately 83ha	
The zoning of the site is:	Farming Zone	
The overlays that apply to the site are:	The sites are subject to a : • Bushfire Management Overlay BMO • Erosion Management Overlay EMO	
Exist	ing Use and Development on the Site	
The current use of the site :	The site is used for domestic and farming purposes	
The buildings or works located on the site are:	The site is fenced and contains an established dwelling in the northern section of the site, with shedding, fenced paddocks and associated infrastructure	
Existing Access Arrangements		
The main vehicle access to the site is provided from:	Roberts Road is a gravel road off gravel Buchan Road South and then the sealed Bruthen-Buchan Road.	



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Roads and access within the site:	Roberts Road forms the western boundary of the site and is a well-formed gravel access to the existing dwelling.			
Existing Vegetation				
Describe the vegetation on the site, including the type, location, extent:	The area around the house is neat and tidy and managed and maintained lawn areas with scattered mature trees but no understorey. The 83ha site is undulating, with remnant vegetation on the western side and open, grassy paddocks on the eastern side.			
	Other			
Describe other features and constraints on the site that may be relevant to bushfire hazard & may influence future use and development of the site:	The BMO extends across the whole site due to the potential ember attack and radiant heat from a landscape fire to the north and west. The area was impacted by fire in the summer of 2019/2020.			

The Locality and Surrounding Land

Existing Use and Development on Adjacent Sites					
Describe the land and existing land uses in all directions around the subject land:	Roberts Road forms the western boundary and immediately beyond the road is remnant vegetation, zoned PCRZ. There are large, grassy farming (FZ) lots are to the north, east and south. Nearby are established dwellings to the east and south.				
Access to Infrastructure and Existing Road Networks					
Describe the infrastructure and constraints on the site:	The site has access to power but relies on tank water and a septic system.				
Landscape					
Describe the surrounding landscape	The site is in and elevated, gently undulating landscape, surrounded by large tracts of remnant vegetation.				
Other Characteristics					
Other features in the area relevant to bushfire hazard?	The fires of summer 2019/2020 impacted on the surrounding area and the township of Buchan. Some bushfire mitigation works are scheduled for the area. A Neighbourhood Safer Place/Place of Last Resort is at the Buchan Oval.				

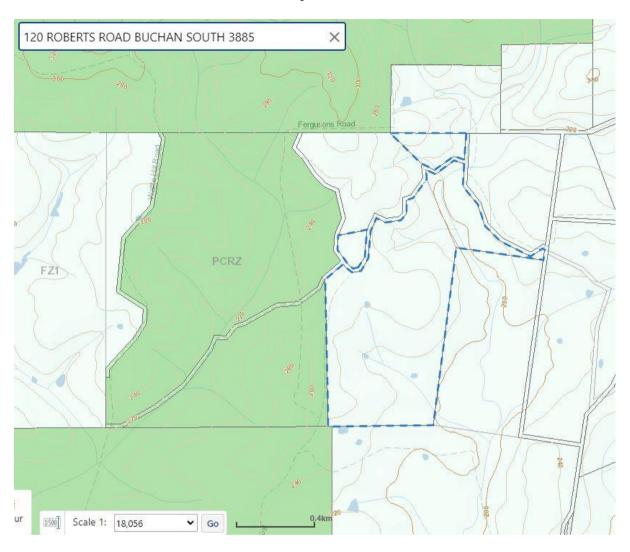




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Site with Contours of VicPlan

Site with Contours of VicPlan



Planned Bushfire Mitigation Works in the Region 2022-2025



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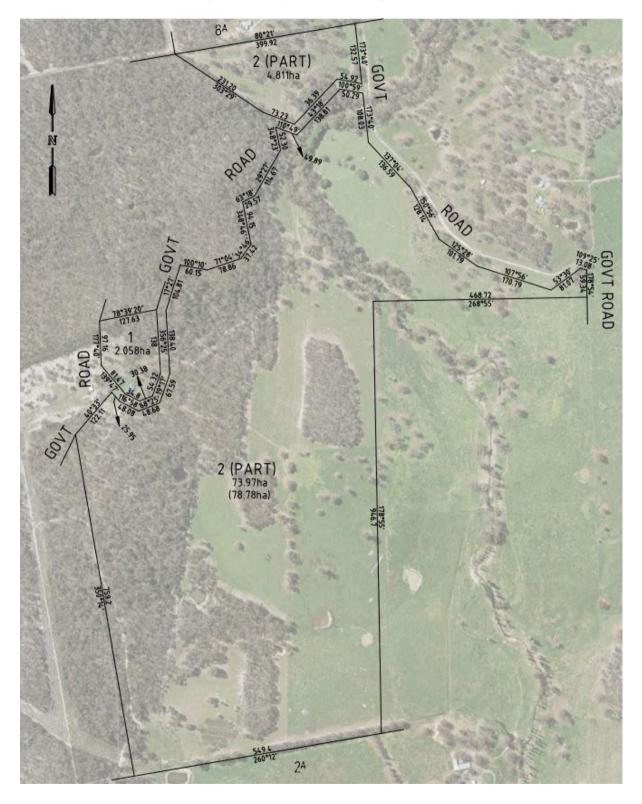
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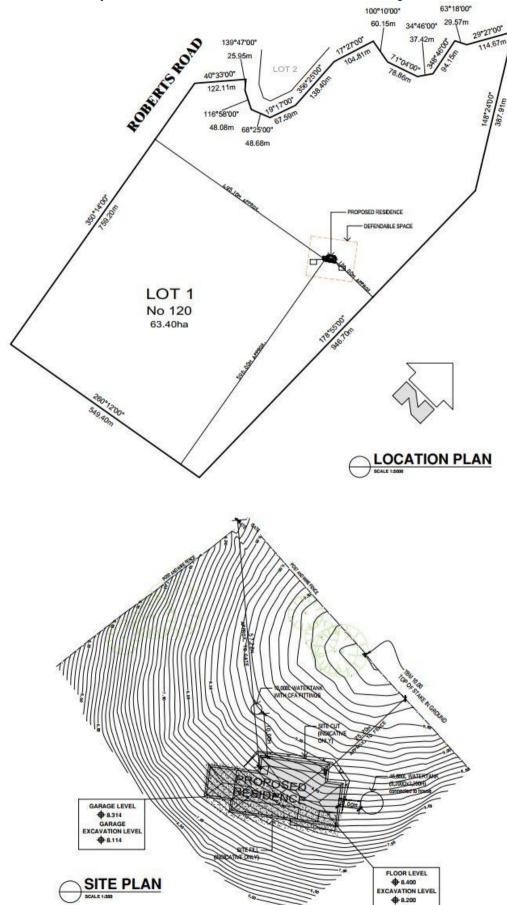
Proposed Plan of Subdivision 464 the Size which may breach any copyright. Image courtesy of Beveridge Williams





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Proposed Location and Sites Prafor and Press of Malich may breach any copyright.



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Aerial View of the Edificial peurpose which may breach any copyright.

Scale 1cm = 450 metres



Dominant wind directions in summer







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Bushfire Hazard Landscape Assessment any purpose which may breach any copyright.

The landscape risk of a site is an important consideration and it is the combination of a number of elements in the surrounding landscape, including the extent of the vegetation, the area available to a landscape fire, the main landscape features, the steepness of the terrain, accessibility to low threat areas and the quality of the road networks around the site. The topography (or slope) of the land is particularly important as it influences the rate of spread and intensity of a fire. Fire burns faster uphill, as flames and radiant heat pre-heat the vegetation ahead of the fire and for every 10 degree of slope fires will double in speed.

The rural hamlet of Buchan South is situated to the south of Buchan. The surrounding land is suited to dairy farming and forestry with the Snowy River National Park to the northeast and the Timbarra River South and the Dawson-Murrindal Nature Conservation Reserves to the north, the Tara Range Park to the southeast and the Mt Elizabeth Nature Conservation Reserve to the west. The nearest main towns are Nowa Nowa to the south and Orbost to the east.

The site comprises of remnant forest and open grassland. Immediately to the west and northwest of Roberts Road and the existing dwelling is remnant vegetation zoned PCRZ. NatureKit identifies the continuous remnant vegetation as EVC 16 - Lowland Forest or EVC 21 – Scrubby Dry Forest. Both are identified as eucalypt forest.

There is potential for the site to suffer ember attack from potential fire runs to the north and northwest during the wind directions associated with our summer. Damaging bushfires in Victoria typically start on a hot, dry, windy day. The topography of the wider landscape and the fuel loads may contribute to a severe landscape bushfire under certain climatic conditions, similar to what occurred in 2019. On extreme fire weather days winds are typically northerly and push a fire front in a southerly direction. At some point the high-pressure system will be pushed across the State from the introduction of a cold change (low pressure system). It is the arrival of this cold front that often causes the a firefront's size and intensity to increase. The introduction of the cold front usually creates westerly or south-westerly winds and turns the flank (the edge) of the existing fire into a head fire and pushes it in an easterly direction.

The site would be impacted by a significant ember attack launched from the vegetation to the north, northwest or southwest as there is potential for embers to spot well ahead of a fire front and sections of the surrounding vegetation and grassland to ignite, possibly threatening the subject site and surrounding properties.

The landscape is considered to be closest to Broader Landscape Type 3 where the type and extent of vegetation located more than 150m from the site may result in neighbourhood scale destruction as it interacts with the bushfire hazard on or close to the sites. The bushfire can approach from more than one direction and access to places that provide shelter from bushfire is not certain.

The proposal has alternative egress options to the east and south and even to the north, through adjoining properties. Owners of properties that may be impacted have immediate access to the Place of Last Resort at the Buchan Oval or using the local road network to seek safety.



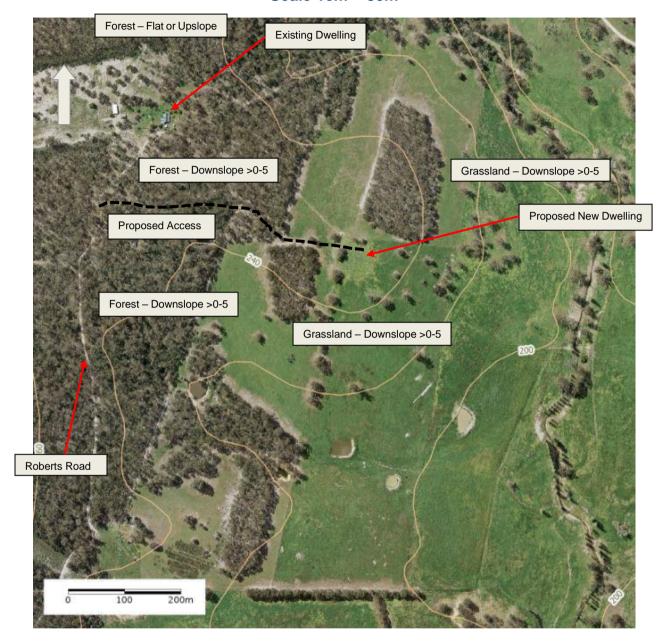


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Bushfire Hazard Site Assessment

Aerial Image Courtesy Beveridge Williams Scale 1cm = 80m



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Bushfire Management Statement

53.02-4.4 Subdivision Objectives

The objective is to provide lots that are capable of being developed in accordance with the objectives of Clause 53.02.

To specify at the subdivision stage bushfire protection measures to develop a lot with a single dwelling on land zoned for residential or rural residential purposes.

Approved Measure 5.2 Proposed Lots 1 & 2.

Requirement

An application to subdivide land zoned for residential or rural residential purposes must be accompanied by a plan that shows:

- Each lot satisfies the approved measure in AM 2.1
- A building envelope for a single dwelling on each lot that complies with AM 2.2 and provides defendable space in accordance with:
 - Columns A or B of Table 2 to Clause 53.02-5 for a subdivision that creates 10 lots or more; or
 - Columns A, B or C of Table 2 to Clause 53.02-5 for a subdivision that creates less than 10 lots
 - The bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02-5 must be noted on the building envelope
- Defendable wholly contained within the boundaries of the proposed subdivision
- Defendable space may be shared between lots within the subdivision.

 Defendable space for a lot may utilize communal areas, such as roads, where that land can meet the requirements for defendable space
- Vegetation management requirements in accordance with Table 6 to implement and maintain the defendable space required under this approved measure
- Water supply and access that complies with AM 4.1

Response and Justification

Proposed Lots 1 & 2 : Land and vegetation within 150m of the proposed development and beyond was examined (where possible) to determine classifiable vegetation as described in AS 3959 (Australian Standard 2018) and low threat and modified vegetation as prescribed in Planning Clause 53.02. The classification system is not directly analogous to Ecological Vegetation Classes (EVC's) but uses a generalized description of vegetation based on AUSLIG (Australian Natural Resources Atlas – Native Vegetation) classification system. The classification is based on the mature state of the vegetation and the likely fire behaviour that it will generate.

The Bushfire Attack Level (BAL) is a means of measuring the severity of a building's potential exposure to ember attack, radiant heat and direct flame contact, using increments of radiant heat expressed in kilowatts/m2. The BAL is also the basis for establishing the requirements for construction to improve protection of building elements from attack by bushfire. Building construction and design can be used to minimize the impact of ember attack and radiant heat on a building and construction requirements for buildings relating to a calculated BAL are prescribed in AS 3959-2018. The BAL for this development has been calculated using a "Forest Fire Danger Index" (FFDI) of 100 and a Flame Temperature of 1090K. Appropriate construction helps the building to withstand the potential exposure from a bushfire as the fire front passes. The highest BAL to an elevation usually determines the construction requirements for the whole dwelling.

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Building construction and design can be used to minimize the limpset which be attacked and copyright. radiant heat on a building. Construction requirements for buildings relating to a calculated BAL are prescribed in AS 3959-2018. The materials and design of a building can be used to prevent the accumulation of debris and entry of embers. Appropriate construction helps the building to withstand the potential exposure from a bushfire as the fire front passes. The defendable space and building construction mitigate the effect of flame contact, radiant heat and embers on buildings.

Approved Measure 2.1

Requirement

The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.

Response and Justification:

The site comprises primarily of remnant vegetation on the western side and open, grassy farmland on the eastern side. Proposed lot 1 contains the existing dwelling set in a managed lawn area and proposed lot 2 has a centrally located preferred building envelope on a rise surrounded by grassland. The whole site is within the high-risk Bushfire Management Overlay. Roberts Road is the western boundary and beyond the road is remnant vegetation zoned PCRZ. To the north, east and south of the site is open, grassy farmland, zoned FZ.

Approved Measure 2.2

Requirement

A building is sited to ensure the site best achieves the following:

- The maximum separation distance between the building and the bushfire hazard
- The building is in close proximity to a public road
- Access can be provided to the building for emergency services

Response and Justification:

Roughly half of site is open and grassy farmland. Proposed lot 1 can provide a large potential building envelope for future construction for BAL 29. The main threat vegetation within 150m of the existing dwelling is forest that is upslope to the north.

Proposed Lot 1 will be around 2ha in area and the lot has managed and maintained lawn areas and scattered mature trees. Frontage with Roberts Road and a short, convenient access for emergency vehicles. The potential building site/envelope for future development on Lot 1 is centrally located and to the north of the existing dwelling. The slope under the threat vegetation to the north is flat or upslope and the required defendable space for future construction to BAL 29 from Table 2 Column C for forest that is flat or upslope is 25m. The Bushfire Management Plan on page 14 illustrates the defendable space extending out to 25m and it must be managed to the defendable space conditions as noted on page 14.

Proposed lot 2 is around 78ha in area but has limited potential building sites/envelopes for future development due to the surrounding properties and remnant vegetation in the western half of the site. The applicant has identified a centrally located position on a rise as the preferred site. The main threat vegetation is forest to the west that is downslope at >0-5 degrees and the required defendable space for construction to BAL 29 is 32m. However, due to the landscape risk, the applicant will extend the defendable space out to at least 50m. This area of defendable space can be contained within the boundaries of the proposed lot. The Bushfire Management Plan on page 15 illustrates the defendable space extending out to 50m and it must be managed to the defendable space conditions as noted on pages 15 & 16 or in the Appendix.

Approved Measure 4.1

Requirements



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A building used for a dwelling (including all extension) of the second with a dwelling of the copyright. dependent person's unit, industry, office or retail premises is provided with:

- A static water supply for fire-fighting and property protection purposes specified in Table 4 to Clause 53.02-5
- Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5

The water supply may be in the same concrete or metal tank as other water supplies provided that a separate outlet is reserved for fire-fighting water supplies.

Response and Justification

Lot 1: The existing dwelling on proposed lot 1 has a 10,000L plus, static water supply in a concrete tank that is adjacent to the existing dwelling and the level, gravel driveway provides convenient access for emergency services. The domestic supply is contained in another water tank. Roberts Road finishes near the existing dwelling. Proposed lot 1 has an existing access of around 20m in length and is compliant with the access conditions within the BMP on page 14. Any future development on proposed lot 1 will require a 10,000L static water supply in a steel or concrete tank for emergency services and a compliant access driveway.

Lot 2: The new dwelling on proposed lot 2 will have a 10,000L, static water supply in a concrete or steel tank that is within 60m of the proposed dwelling and located adjacent to the new outbuilding and turning circle. The proposed long access off Roberts Road has some minor (but compliant) undulations, and the route will be upgraded to ensure that it is compliant for Table 5. The applicant can provide images of the proposed access. Given its 550m length, the access will require three passing bays and will need to be compliant with the access conditions within the BMP on pages 15 & 16. There are alternative emergency egress points to the east, south and north neighbouring properties.

Approved Measure 5.4

Requirements

A subdivision manages the bushfire risk to future development from existing or proposed landscaping, public open space and communal areas.

Response and Justification

This is a re-subdivision and a proposed new dwelling. Appropriate distances for set back from the threat vegetation and defendable space exist and are achievable for any development.

Future Dwelling BAL and Defendable Space Requirements for Lot 1

Orientation	Threat Vegetation	Slope under Vegetation	Distance to Vegetation	Defendable Space Width	BAL Level
North	Forest	Flat or Upslope	40m	25m	BAL 29
East	Forest	Flat or Upslope	40m	25m	BAL 29
South	Forest	Flat or Upslope	30m	25m	BAL 29
West	Forest	Flat or Upslope	75m	25m	BAL 29

Future Dwelling BAL and Defendable Space Requirements for Lot 2

. ataro 2 monthig 2/12 and 2 ordinadolo opado 110 quit omonto 10: 20: 2						
Orientation	Threat Vegetation	Slope under Vegetation	Distance to Vegetation	Defendable Space Width	BAL Level	
North	Forest	Downslope >0-5	50m	50m	BAL 29	
East	Grassland	Flat or Upslope	20m	50m	BAL 29	
South	Grassland	Downslope >0-5	20m	50m	BAL 29	
West	Forest	Downslope >0-5	85m	50m	BAL 29	

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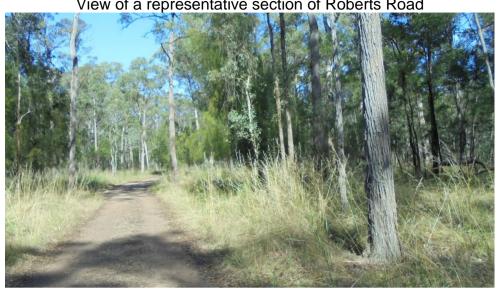
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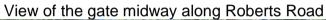


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Photos of the Site and Surrounds

View of a representative section of Roberts Road







View of the existing dwelling and static CFA water supply in a concrete tank



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View of the side yard for the



View from the rear fence of the existing dwelling to the north



View from lot 2's proposed building envelope to the north



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View from lot 2's proposed building enveloper to the weash may breach any copyright.



View from lot 2's proposed building envelope to the south



View from lot 2's proposed building envelope to the west



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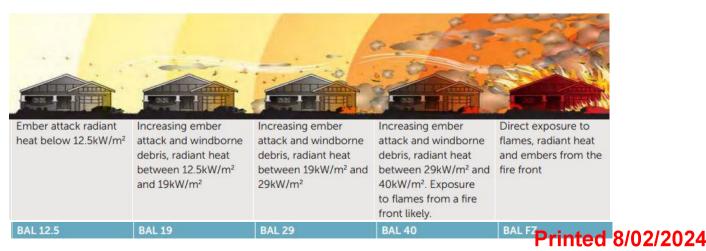
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Appendix

Appendix A - BAL's Explained

Bushfire Attack Level (BAL)	Risk Level	Construction elements are expected to be exposed to	Comment
BAL-Low	VERY LOW: There is insufficient risk to warrant any specific construction requirements but there is still some risk.	No specification.	At 4kW/m² pain to humans after 10 to 20 seconds exposure. Critical conditions at 10kW/m² and pain to humans after 3 seconds. Considered to be life threatening within 1 minute exposure in protective equipment.
BAL-12.5	LOW: There is risk of ember attack.	A radiant heat flux not greater than 12.5 kW/m²	At 12.5kW/m ² standard float glass could fail and some timbers can ignite with prolonged exposure and piloted ignition.
BAL-19	MODERATE: There is a risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to radiant heat.	A radiant heat flux not greater than 19 kW/m²	At 19kW/m² screened float glass could fail.
BAL-29	HIGH: There is an increased risk of ember attack and burning debris ignited by windborne embers and a likelihood of exposure to an increased level of radiant heat.	A radiant heat flux not greater than 29 kW/m²	At 29kW/m² ignition of most timbers without piloted ignition after 3 minutes exposure. Toughened glass could fail.
BAL-40	VERY HIGH: There is a much increased risk of ember attack and burning debris ignited by windborne embers, a likelihood of exposure to a high level of radiant heat and some likelihood of direct exposure to flames from the fire front.	A radiant heat flux not greater than 40 kW/m²	At 42kW/m² ignition of cotton fabric after 5 seconds exposure (without piloted ignition).
BAL- FZ (i.e. Flame Zone)	EXTREME: There is an extremely high risk of ember attack and a likelihood of exposure to an extreme level of radiant heat and direct exposure to flames from the fire front.	A radiant heat flux greater than 40 kW/m²	At 45kW/m ² ignition of timber in 20 seconds (without piloted ignition).





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Appendix B - Vegetation Management Regarder Enterprise which may breach any copyright.

As per Table 6 to Clause 53.02-5

Defendable space is to be provided and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period
- Within 10 metres of the building, flammable objects must not be located close to the vulnerable parts of the building
- Plants greater than 10 centimetres in height must not be placed within 3 metres of a window or glass feature of the building
- Shrubs must not be located under the canopy of trees
- Individual and clumps of shrubs must not exceed 5 square metres in area and must be separated by at least 5 metres
- Trees must not overhang or touch any elements of the building
- The canopy of trees must be separated by at least 5 metres
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level

Defendable Space

Defendable space is an area of land around a building where vegetation is modified and managed to reduce the effects of flame contact, radiant heat and embers associated with bushfire. Flame contact, radiant heat and embers are the way a bushfire attacks a building.





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Appendix C - Water Supply Requirementsed for any purpose which may breach any copyright.

As per Table 4 from Clause 53.02-5

Lot sizes (square meters)	Hydrant available	Capacity (litres)	Fire authority fittings and access required
Less than 500	Not applicable	2,500	No
500-1,000	Yes	5,000	No
500-1,000	No	10,000	Yes
1,001 and above	Not applicable	10,000	Yes

Fire Authority Requirements

Lots with an area of less than 500m2 in area require a **2,500L** water supply stored in an above ground water tank constructed of metal or concrete, but there are no access requirements for emergency vehicles, nor are CFA fittings required.

Lots between 500m2 and 1,000m2 in area require a **5,000L** water supply stored in an above ground water tank constructed of metal or concrete, when there is a fire hydrant within 120 metres of the rear of the dwelling (not as the crow flies). No access requirements for emergency vehicles, nor are CFA fittings required. If there is no nearby hydrant available, a **10,000L** water supply is required.

Unless otherwise agreed in writing by the relevant fire authority, the water supply must:

- Be an effective capacity of 5,000L
- Be stored in an above ground water tank constructed of metal or concrete
- Have all fixed above ground water pipes and fittings required for fire-fighting purposes, made of corrosive resistant metal
- Include a separate outlet for occupant use

Where a **10,000L** water supply is required, as is the case here for the existing and proposed dwellings, fire authority fittings and access must be provided as follows:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority
- Be located with 60 metres of the outer edge of the approved building
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed
- Incorporate a separate ball or gate valve (British Standard Pipe BSP 65mm) and coupling (64mm CFA 3 thread per inch male fitting)
- Any pipework and fittings must be a minimum of 65mm (excluding the CFA coupling)

The water supply may be provided in the same water tank as other water supplies, provided they are separated with different outlets. See figure below illustrating signage and an example of outlets where fire-fighting water will be in the same tank as water for other use.

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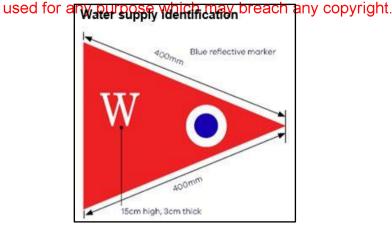
Shared water tank

35,000 litres

Domestic Water

10,000 litres
Firefighting Water

Firefighting Domestic

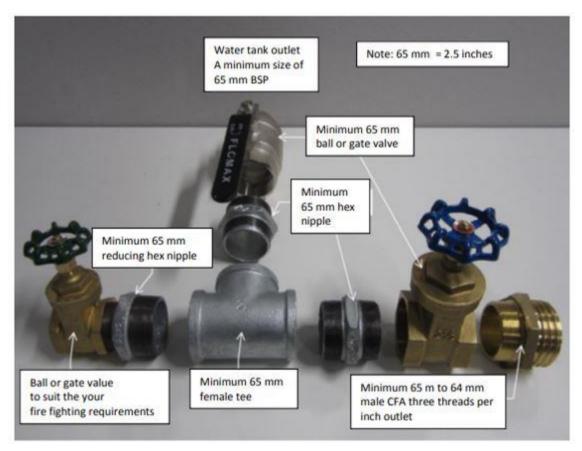


CFA Fittings

If specified within Table 4 to Clause 53.02-5 (when the fire brigade requires access to your water supply), CFA's standard BMO permit conditions require the pipe work, fittings and tank outlet to be a minimum of 64mm.

65mm BSP (British Standard Pipe) is the most common size available. A 65mm fitting is the equivalent to the old 21/2 inch. A 65mm (21/2 inch) fitting exceeds CFA's requirements and will therefore comply with CFA's standard permit conditions for the BMO.

The diagram below shows some common tank fittings available at most plumbing suppliers that meet the connection requirements. It includes a 65mm tank outlet, two 65mm ball or gate valves with a 65mm male to a 64mm CFA 3 threads per inch male coupling. This is a special fitting that allows the CFA fire truck to connect to the water supply. An additional ball or gate valve will provide access to the water supply for the resident of the dwelling.





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Appendix D – Access Requirements

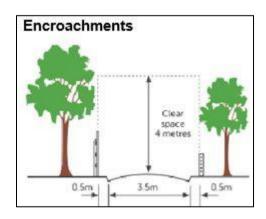
Lots less than 500m2 in area do not require any access conditions to be met.

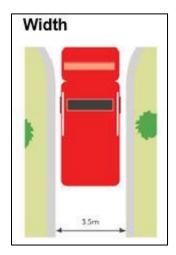
Driveways less than 30 metres long have no specific requirements unless access to the water supply outlet for emergency services is required, in which case fire authority vehicles should be able to get within 4 metres of the water supply outlet and unobstructed.

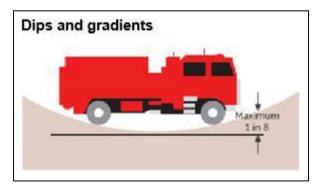
Access between 30m and 100m in length

Where the length of the access is greater than 30 metres the following design and construction requirements apply (the length of access should be measured from a public road to either the building or the water supply outlet, whichever is longer)

- Emergency vehicles using the access provided to get within 4 metres of the water supply outlet
- All weather construction and a load limit of at least 15 tonnes
- Provide a minimum trafficable width of 3.5 metres
- Be clear of encroachments for at least 0.5 metre on each side and at least 4 metres vertically
- A cleared area of 0.5 metre is required to allow for the opening of vehicle doors along driveways
- Curves must have a minimum inner radius of 10 metres
- The average grade must be no more than 1 in 7 (14.4% or 8.1 degrees) with a maximum grade of no more than 1 in 5 (20% or 11.3 degrees) for no more than 50 metres
- Dips must have no more than a 1 in 8 (12.5% or 7.1 degrees) entry and exit angle







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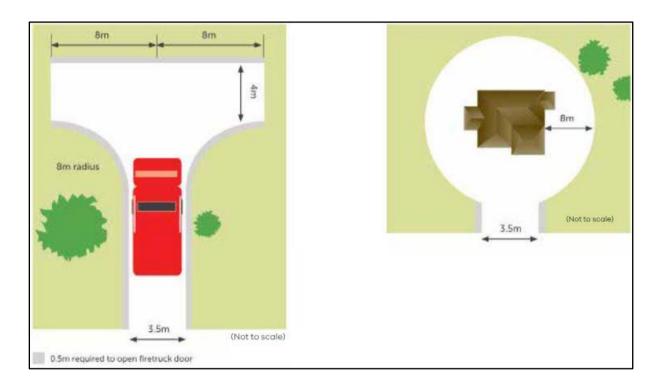
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Access between 100m and 200m in length used for any purpose which may breach any copyright. In addition to the 30m-100m requirements above, a turning area for fire fighting vehicles must be provided close to the building by one of the following:

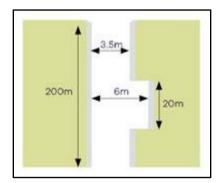
- · A turning circle with a minimum radius of 8 metres
- A driveway encircling the dwelling
- The provision of other vehicle turning heads such as a Y or T head which meet the Specification of Austroad Design for an 8.8 metre service vehicle



Access greater than 200m in length

In addition to the requirements above, passing bays are required at least every 200 metres and are:

- A minimum of 20 metres long
- With a trafficable width of 6 metres









P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266

P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065



23 May 2023

Beveridge Williams PO Box 1799 Bairnsdale VIC 3875

Att: Penny Kronk

Dear Penny,

Re: Proposed Two Lot Subdivision (Restructure) 120 Roberts Rd, Buchan South

After having visited the above mentioned property, I request a Geotechnical Risk Assessment report waiver for the planning application of the above mentioned development. The reasons for the waiver are as follows;

- There is no construction to take place on the properties as a result of the proposed two (2) lot subdivision/restructure and therefore no risk attached.
- 2. There is negligible geotechnical risk attached to rural fence construction if required for restructuring to two (2) lots.
- The site is situated on a rolling low hill system with areas of Shrubby Dry Forest and more than 50% previously cleared and used for grazing.
- Natural soils of the site (early Tertiary Sediments; gravelly loams, to fine sandy loams overlying stiff clays) will have adequate strength and stability for any future dwelling slabs & footings.
- The current title structure of the subject site comprises 4 separate parcels across 3 separate titles. The proposed subdivision will reduce the number of entitlements down to two,
 - a. Excise the existing dwelling from Land in PC 165040T onto its own parcel.
 - Consolidate the balance of this title with 2 other titles to the north being Lot 1 on TP 191984T and Lot 1 on TP 191985R.
- The Boundary re-structure/reduction down to two (2) lots poses no additional risk to the existing site. Any future
 works associated with dwellings would be protected by Building Code of Australia, Australian Standards, Building
 and Planning Permit requirements, and normal construction practice.

If you have any further queries please don't hesitate to contact me.

Yours faithfully

Simon Anderson CPEng MIEAust Chartered Professional Engineer NPER-3 No 930355 BCC No EC-1711

438102 gra letter

SOIL TYPE: M
BAL RATING: BAL 29
WIND CLASS: N3

RESCODE SITE ANALYSIS:

NO RESCODE ANALYSIS NEEDED AS DWELLING IS ON A LARGE BLOCK WITH ADJOINING PROPERTIES FURTHER THAN 9.0M AWAY.

SITE PLAN NOTE:

BUILDER TO VERIFY ALL BOUNDARY DIMENSIONS PRIOR TO SETTING OUT.

NO BUILDING WORKS ARE TO ENCROACH OVER THE TITLE BOUNDARY INCLUSIVE OF ANY EQUIPMENT USED ON, OVER, UNDER OR IN AIR SPACE OF THE ADJOINING PROPERTIES WITHOUT OBTAINING ADJOINING OWNERS CONSENT VIA PROTECTION WORKS NOTICES PURSUANT TO PART 7 OF THE BUILDING ACT 1993 & BUILDING REGULATION 602.

DRAINER MUST REFER TO START WORK NOTICE FOR SEWER POINT LOCATION.

SEWERAGE AND SULLAGE TO CONNECT TO SEWERAGE MAIN AS DIRECTED BY LOCAL AUTHORITIES.

SITE TO BE SCRAPED LEVEL OVER PROPOSED BUILDING AREA WITH FINISHED GROUND TO BE GRADED AWAY FROM BUILDING.

BEFORE & DURING CARRYING OUT OF BUILDING WORK & EXCAVATIONS, THE ALLOTMENT SHOULD BE FENCED OR OTHERWISE GUARDED AGAINST BEING A DANGER TO LIFE OR PROPERTY.

THE MAXIMUM GRADIENT OF THE DRIVEWAY SHALL NOT EXCEED 1:5.

STORMWATER DRAIN NOTE:

PROVIDE 90mm DIAMETER P.V.C STORMWATER PIPE WITH MINIMUM FALL OF 1:100.

STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY & WILL BE LAID AT THE DRAINERS' DISCRETION.

PROVIDE SELECTED DOWNPIPES AT 12.0m MAXIMUM CENTRES.

DISCHARGE TO LEGAL POINT OF DISCHARGE (LPOD), UNABLE TO VERIFY EXACT LOCATION OF LPOD. ASSUMED LOCATION ? CORNER. TO BE ADVISED.

CUT TO RL ?

CUT TO BE 1.0m MINIMUM FROM EDGE OF BUILDING AND BATTERED BACK AT 45° MAX. UNLESS

OTHERWISE INDICATED.
CUT OUTSIDE HOUSE LINE TO FALL AWAY FROM
HOUSE TO TOE OF BATTER BY 75mm MIN.

AG DRAIN TO BASE OF CUT AND CONNECTED TO SILT PIT = (S)
SILT PIT TO BE CONNECTED TO STORMWATER.

NOTE:

BUILDER TO CHECK EXCAVATION LEVELS ON SITE PRIOR TO COMMENCEMENT.

TERMITE PROTECTION

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS3660.1-2001.

WITH AS3660.1—2001.
THE BUILDER AND OWNER SHALL:

1. NEGOTIATE AN OPTION FOR TERMITE CONTROL WITHIN THE CODE. THE BUILDER SHALL MAKE AVAILABLE TO THE OWNER INFORMATION WRITTEN FOR THE CONSUMER RELATING TO TERMITE PROTECTION OPTIONS.

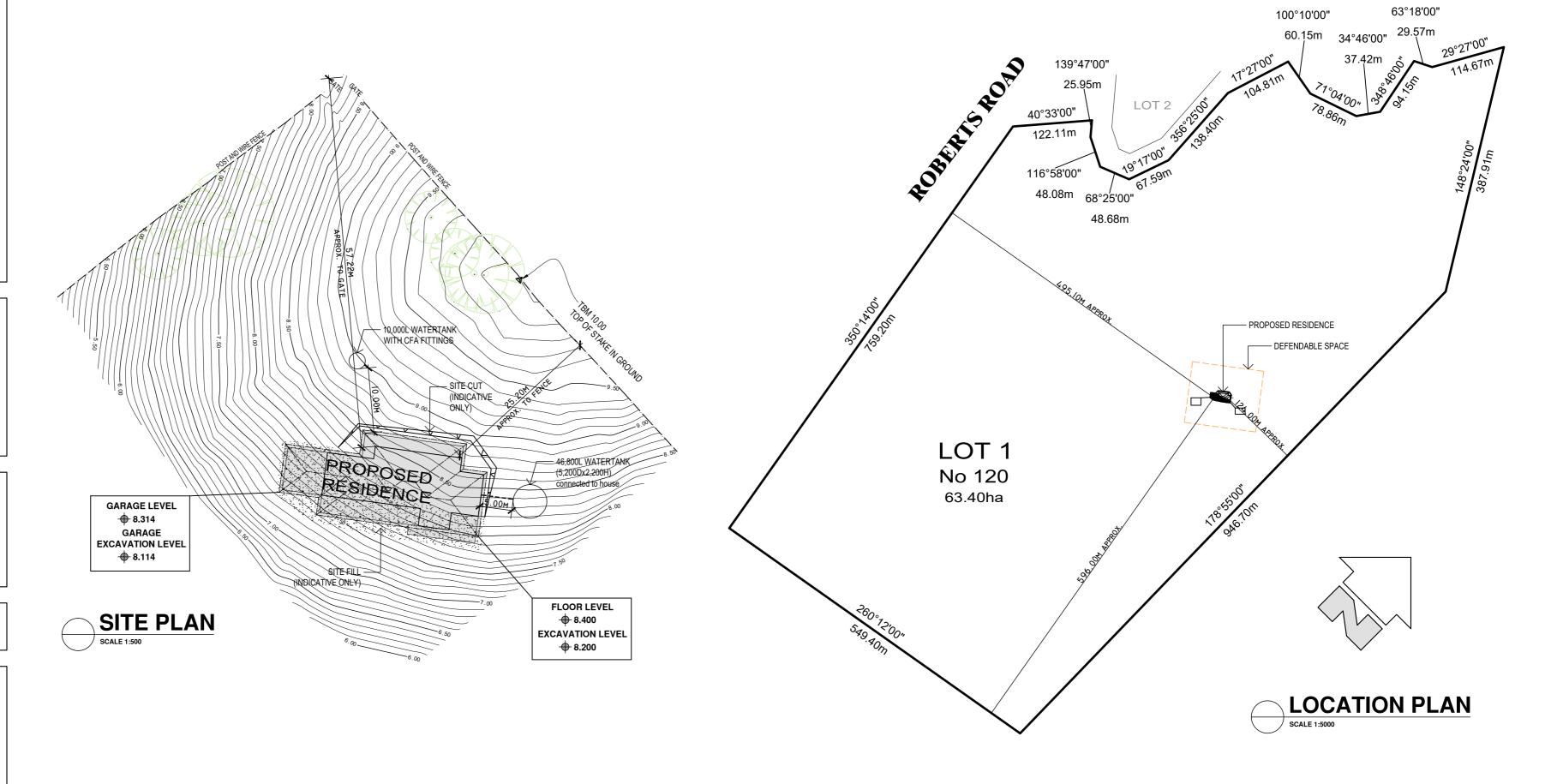
2. RECORD IN WRITING THE SELECTED OPTION AND EACH EACH RETAIN A COPY SIGNED BY BOTH

3. A COPY OF THE OPTION SELECTED IS TO BE PROVIDED TO THE LOCAL AUTHORITY WITH THE BUILDING APPLICATION.

THE HOME OWNER AND SUBSEQUENT OWNERS SHALL BE RESPONSIBLE FOR ARRANGING INSPECTIONS BY A TRAINED PERSON AT MAXIMUM INTERVALS OF TWELVE MONTHS. SHOULD THE CURRENT OWNER WISH TO SELL THE RESIDENCE, IT SHALL BE THEIR RESPONSIBILITY TO PROVIDE THE NEW OWNER WITH A COPY OF THE SIGNED TERMITE PROTECTION OPTION ADOPTED.

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01

BUILDER:
BG & TH MCNAMARA
40 FORGE CREEK ROAD
BAIRNSDALE VIC 3875
0417 908 474

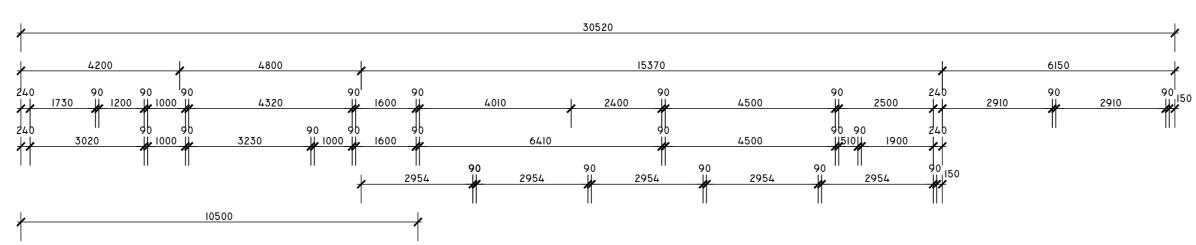
CONTRACTOR MUST VERIFY ALL DIMENSIONS
AND LEVELS AT THE JOB PRIOR TO COMMENCING
ANY WORK OR MAKING ANY SHOP DRAWINGS.
DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.

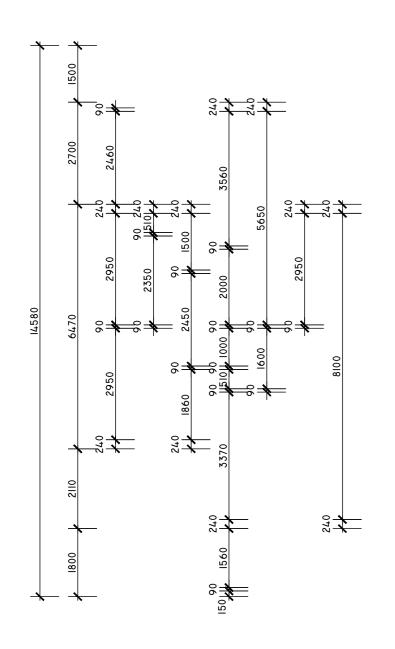


		DBERTS ROAD IC 3385	CLIENT: DAVID ERIC MOORE & CHRISTINA LOUISE MOORE			PLANS APPROVED: CLIENT SIGNATURE: Printed 8/02 DATE: Page 45 of			_	
DRAWN:		JRT	SHEET:	01	CODE:	ΙB				
CHECKED	:	DA - DPAD	TIME:	4:56 PM	TYPE:	NH	REVISION:	JOB No:	2452	
DATE:	16/11/2023	SCALE: AS SHOWN	DRAFT No:	D-02	ISSUE:	BI			2432	

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FLOOR PLAN LEGEND:

S SMOKE DETECTOR (INTERCONNECTED)

EXHAUST FAN
 (DISCHARGE TO OUTSIDE AIR)

MH MANHOLE (CEILING ACCESS)

MSB ELECTRICAL METERBOARD (TBD) (hws) SOLAR HOT WATER SERVICE

BEAMS TO BE DESIGNED BY ENGINEER, BUT NOT LIMITED TO, AS DETERMINED BY ENGINEERS STRUCTURAL ASSESSMENT.

DP DOWNPIPE LOCATION

FLOOR PLAN

200.23 sqm

40.77 sqm

31.76 sqm

41.50 sqm

11.34 sqm 15.75 sqm

341.35 sqm

Residence

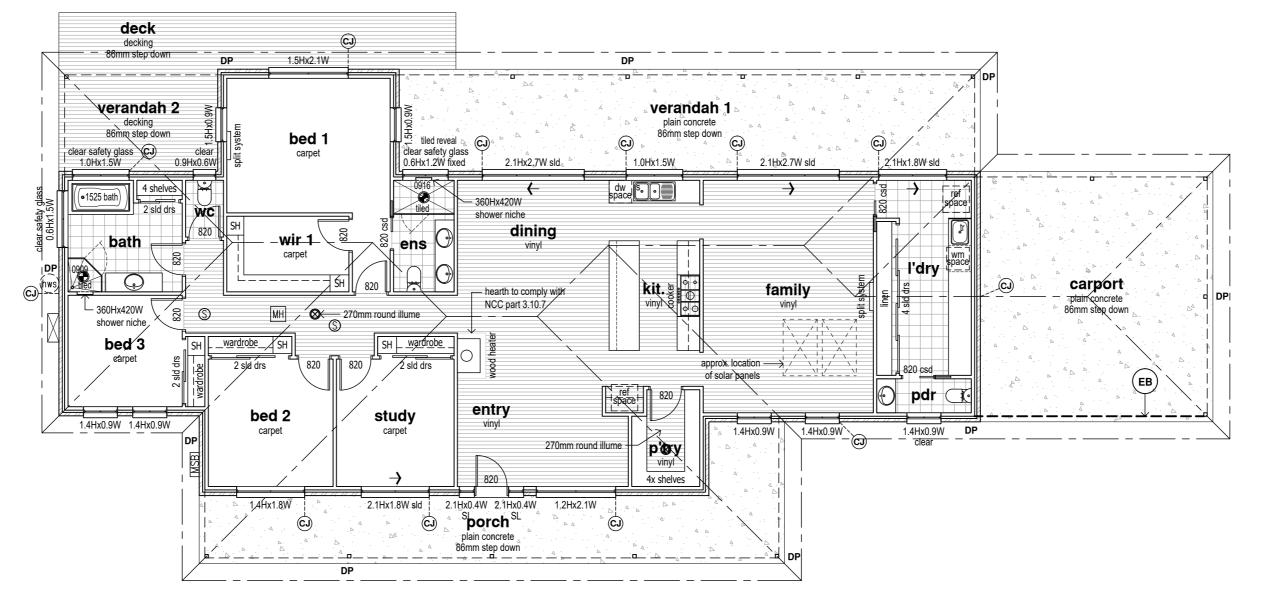
Verandah 1 Verandah 2

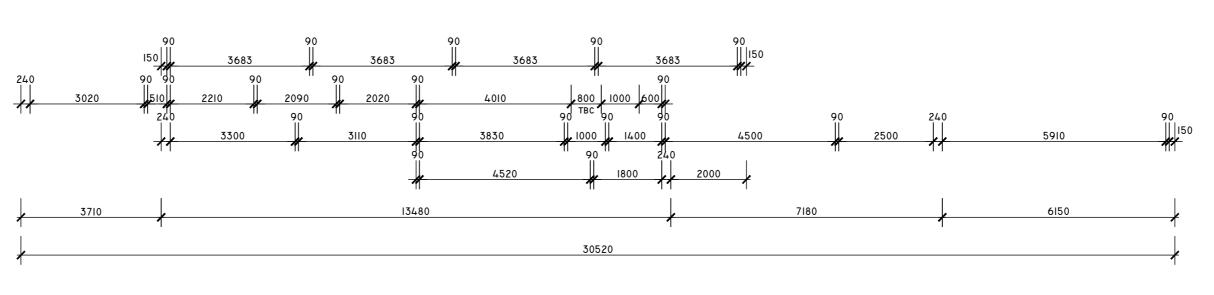
Carport

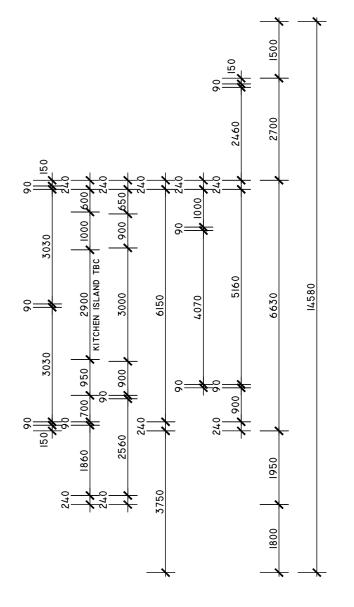
Porch

Deck

TOTAL







CAESARSTONE BENCHTOPS THROUGHOUT UNO.

DOUBLE GLAZED WINDOWS AND DOORS THROUGHOUT.

PRE-FABRICATED TIMBER FRAMING NOTE:

ALL WALL FRAMING TO BE PRE-FABRICATED TO MANUFACTURERS SPECIFICATIONS AND IN ACCORDANCE WITH CURRENT NCC & COMPLY TO AS1684 - 2010.

WINDOW SIZE NOTE:

NOTE:

WINDOWS AND DOOR SIZES SHOWN ARE NOMINAL. BUILDER TO USE WINDOW MANUFACTURERS NEAREST STOCK SIZES.

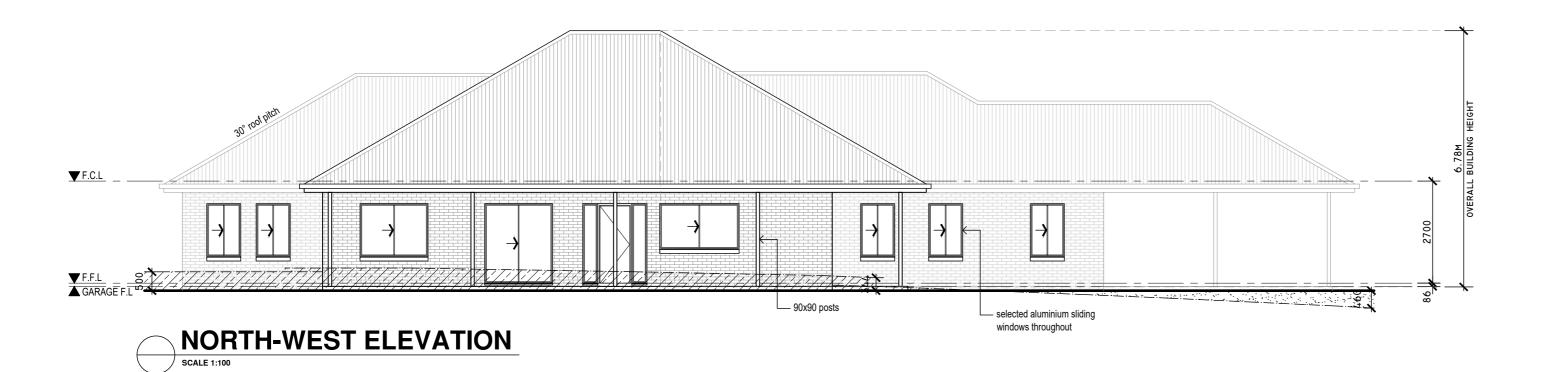
VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700 & AS4773. ENGINEER'S PLACEMENT OVERRIDES CONSTRUCTION JOINTS ON THIS PLAN.



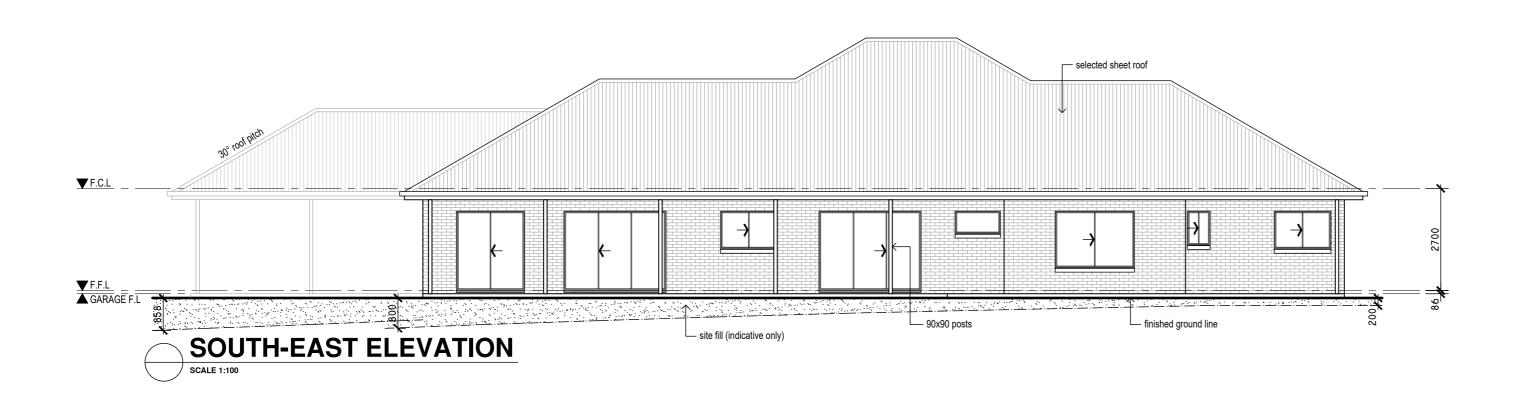




B ADDRESS:		CLIENT:			PLANS APPROVED:				
OT 1 (NO. 120) RO		DAVID ERIC MOORE &			CLIENT SIGNATURE	<u>:</u>	Printed 8/02	202	
JCHAN SOUTH V	IC 3385	CHRISTINA LOUISE MOORE			DATE: Page 46			52	
AWN:	JRT	SHEET:	02	CODE:	IB	DESIGN TY	PE:	CUSTOM	
ECKED:	DA - DPAD	TIME:	4:56 PM	TYPE:	NH	REVISION:	JOB No:	2452	
TE: 16/11/2023	scale: 1:100@A2	DRAFT No:	D-02	ISSUE:	ВІ			2452	



\rightarrow site cut (indicative only) - natural ground line at deck **NORTH-EAST ELEVATION SOUTH-WEST ELEVATION** - natural ground line at verandah SCALE 1:100 - natural ground line at carport



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PROVIDE STRUCTURAL BRACING IN ACCORDANCE WITH AS1684 - 2010.

PRE-FABRICATED TIMBER FRAMING NOTE:

ALL WALL FRAMING TO BE
PRE-FABRICATED TO MANUFACTURERS
SPECIFICATIONS AND IN ACCORDANCE
WITH CURRENT NCC & COMPLY TO
AS1684 - 2010.

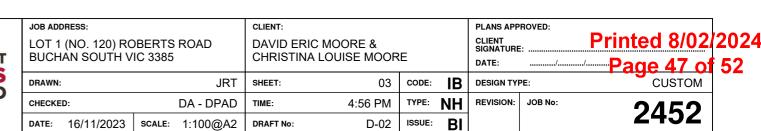
WINDOW SIZE NOTE:

WINDOWS AND DOOR SIZES SHOWN ARE NOMINAL. BUILDER TO USE WINDOW MANUFACTURERS NEAREST STOCK SIZES.

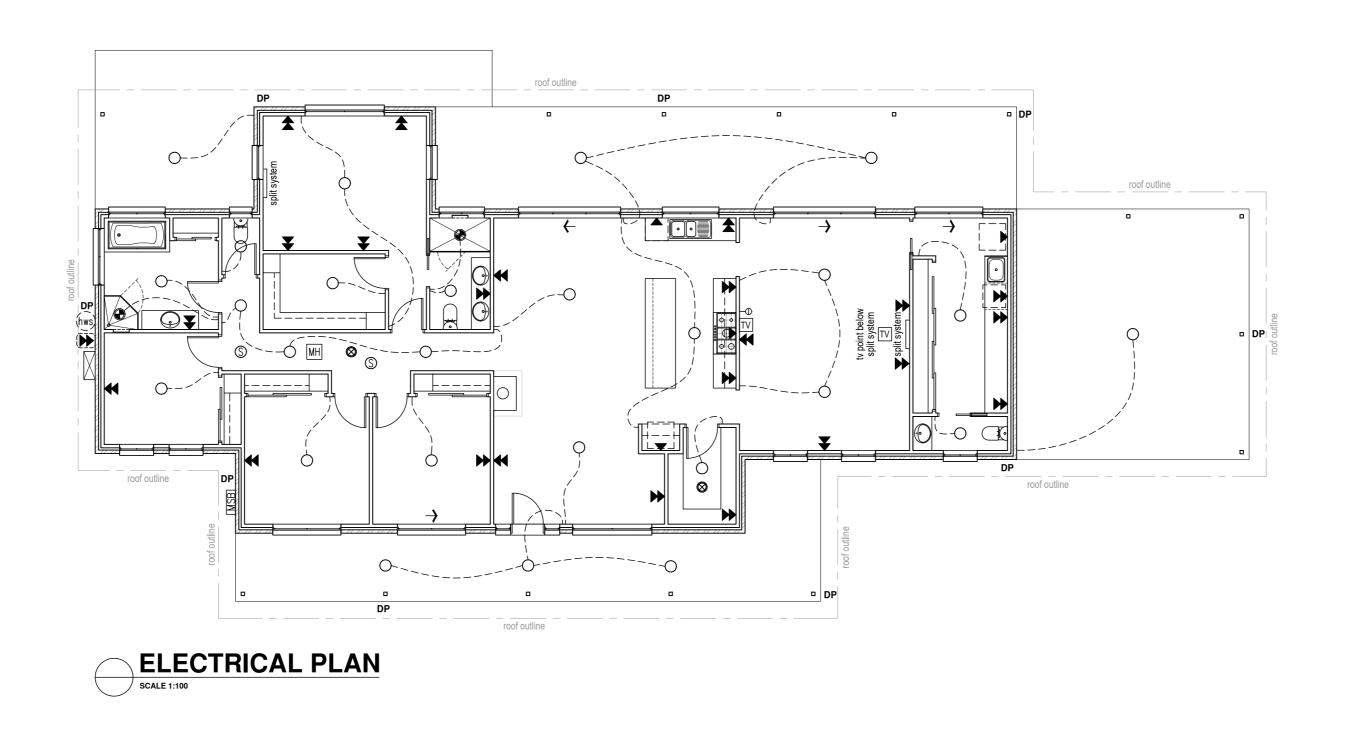
WEEP HOLES TO BRICKWORK MUST BE PROVIDED IN THE COURSE IMMEDIATELY ABOVE ANY DAMP PROOF COURSE OR FLASHING AT CTRS. NOT EXCEEDING 1.2m.

VERTICAL CONSTRUCTION JOINTS
TO BE CONSTRUCTED IN
ACCORDANCE WITH AS3700 &
AS4773. ENGINEER'S PLACEMENT
OVERRIDES CONSTRUCTION JOINTS
ON THIS PLAN.

© COPYRIGHT IN WHOLE OR IN PART GIPPSLAND BUILDER: CONTRACTOR MUST VERIFY ALL DIMENSIONS BG & TH MCNAMARA 40 FORGE CREEK ROAD AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. BAIRNSDALE VIC 3875 DO NOT SCALE DRAWINGS. 0417 908 474 ALWAYS USE WRITTEN DIMENSIONS.



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ELECTRICAL LEGEND:

0	LIGHT POINT	-8888-	TRACK LIGHTING	•	EXHAUST FAN)—	TELECOMMUNICATIONS POINT	Û	DOOR BELL
\otimes	DOWNLIGHT POINT	₿	MOVEMENT SENSOR FOR LIGHT	(\$)	SMOKE DETECTOR INTERCONNECTED	\times	CEILING FAN		SPLIT SYSTEM
D	WALL MOUNTED LIGHT POINT	600	TASTIC COMBINATION	Н	DUCTED HEATING OUTLET (GUIDE ONLY)	W	FAN & LIGHT COMBINATION		SPLIT SYSTEM CONDENSOR
	STAIR LIGHT 450MM ABOVE FFL	◀	SINGLE POWER POINT	С	DUCTED COOLING OUTLET (GUIDE ONLY)	200			
\Diamond	EX. FLOOD LIGHT POINT	4	DOUBLE POWER POINT	MH	MANHOLE (CEILING ACCESS POINT)	-O TAP	GARDEN TAP		
\oplus	PENDANT		EX. WEATHERPROOF DOUBLE POWER POINT	[MSB]	ELECTRICAL METERBOARD	–Φ DATA	DATA POINT		
□	FLUORESCENT LIGHT POINT	(EX. WEATHERPROOF SINGLE POWER POINT	TV	TELEVISION POINT	(hws)	HOT WATER SYSTEM		

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Environment Act 1987. The document must not be Bushfire Management Plan for Lot 1, 120 Roberts Road, Buchan South. Version 1 of 5.12.2023. Scale 1cm=25m, Prepared by ETS copyright.

Mandatory Condition The bushfire protection measures forming part of this permit, or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

Defendable Space

Defendable space for at least 25m to all elevations to be maintained to these conditions:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period
- Within 10 metres of the building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3 ms of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees. Trees must not overhang or touch any elements of the building.
- Individual and clumps of shrubs must not exceed 5 square metres in area and must be separated by at least 5 metres.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Construction Requirements

Any future dwelling designed and constructed to a minimum Bushfire Attack Level of BAL 29

Access Requirements

The future driveway is around 50 metres in length. As such these conditions apply:

- Emergency vehicles using the access provided to get within 4 metres of the water supply outlet
- All weather construction and a load limit of at least 15 tonnes and provide a minimum trafficable width of 3.5 metres
- Be clear of encroachments for at least 0.5 metre on each side and at least 4 metres vertically
- Curves must have a minimum inner radius of 10 metres
- The average grade must be no more than 1 in 7 (14.4% or 8.1 degrees) with a maximum grade of no more than 1 in 5 (20% or 11.3 degrees) for no more than 50 metres
- Dips must have no more than a 1 in 8 (12.5% or 7.1 degrees) entry and exit angle

Water Requirements

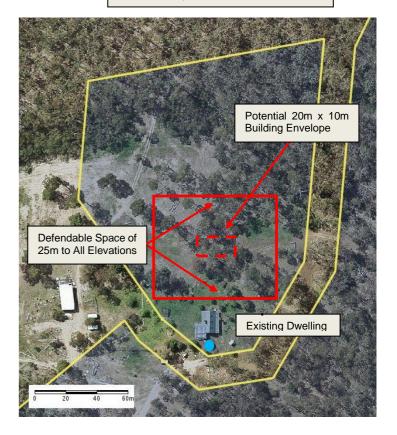
The following requirements apply:

- An effective capacity of 10,000L and be stored in an above ground water tank constructed of metal
- · Have all fixed above ground water pipes and fittings required for fire-fighting purposes, made of corrosive resistant metal
- Include a separate outlet for occupant use

The following fire authority fittings and access must be provided:

- · Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority
- Be located with 60 metres of the outer edge of the approved building
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed
- Incorporate a separate ball or gate valve (BSP 65mm) and coupling (64mm CFA 3 thread per inch male fitting)
- Any pipework and fittings must be a minimum of 65mm (excluding the CFA coupling)

Defendable Space of 25m to All Elevations



Defendable Space

Dwelling



CFA Water Tank



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Bushfire Management Plan for Lot 2 120 Roberts Road, Buchan South. Version 1 of 5.12.2023. Scale 1cm=20m. Prepared by ETS.

Mandatory Condition The bushfire protection measures forming part of this permit, or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

Defendable Space

Defendable space extended out for at least 50m to all elevations to be maintained to these conditions:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period
- Within 10 metres of the building, flammable objects must not be located close to the vulnerable parts
 of the building.
- Plants greater than 10 centimetres in height must not be placed within 3 metres of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 square metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Construction Requirements

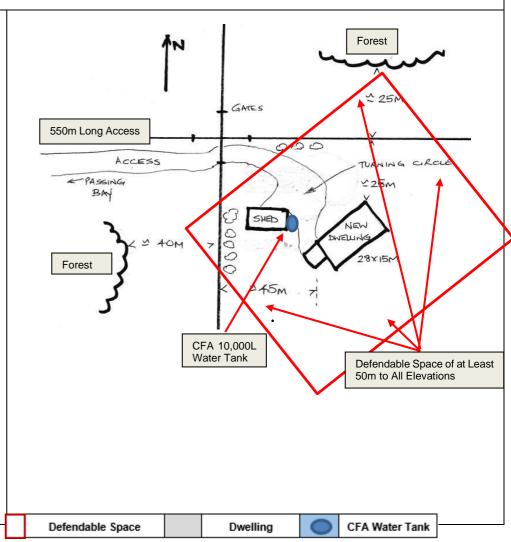
Dwelling designed and constructed to a minimum Bushfire Attack Level of BAL 29

Access Requirements

The proposed access driveway is around 550 metres in length. As such these conditions apply:

- Emergency vehicles using the access provided to get within 4 metres of the water supply outlet
- All weather construction and a load limit of at least 15 tonnes and provide a minimum trafficable width
 of 3.5 metres
- Be clear of encroachments for at least 0.5 metre on each side and at least 4 metres vertically
- Curves must have a minimum inner radius of 10 metres
- The average grade must be no more than 1 in 7 (14.4% or 8.1 degrees) with a maximum grade of no more
 - than 1 in 5 (20% or 11.3 degrees) for no more than 50 metres
- Dips must have no more than a 1 in 8 (12.5% or 7.1 degrees) entry and exit angle

Page 2 Follows





Page 2

- A turning area for fire fighting vehicles must be provided close to the building by one of the following:
- A turning circle with a minimum radius of 8 metres, or a driveway encircling the dwelling or the
 provision of other vehicle turning heads such as a Y or T head which meet the Specification of
 Austroad Design for an 8.8 metre service vehicle
- Passing bays must be provided at least every 200 metres
- Passing bays must be a minimum of 20 metres long and with a minimum trafficable width of 6 metres

Water Requirements

The following requirements apply:

- An effective capacity of 10,000L and be stored in an above ground water tank constructed of metal
- Have all fixed above ground water pipes and fittings required for fire-fighting purposes, made of corrosive resistant metal
- Include a separate outlet for occupant use

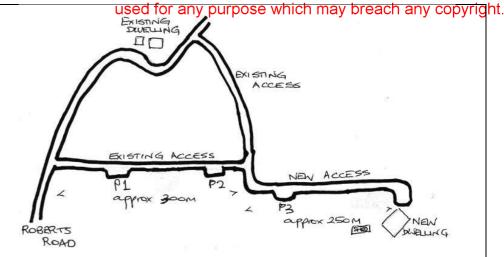
The following fire authority fittings and access must be provided:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority
- Be located with 60 metres of the outer edge of the approved building
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed
- Incorporate a separate ball or gate valve (British Standard Pipe 65mm) and coupling (64mm CFA 3 thread per inch male fitting)
- Any pipework and fittings must be a minimum of 65mm (excluding the CFA coupling)

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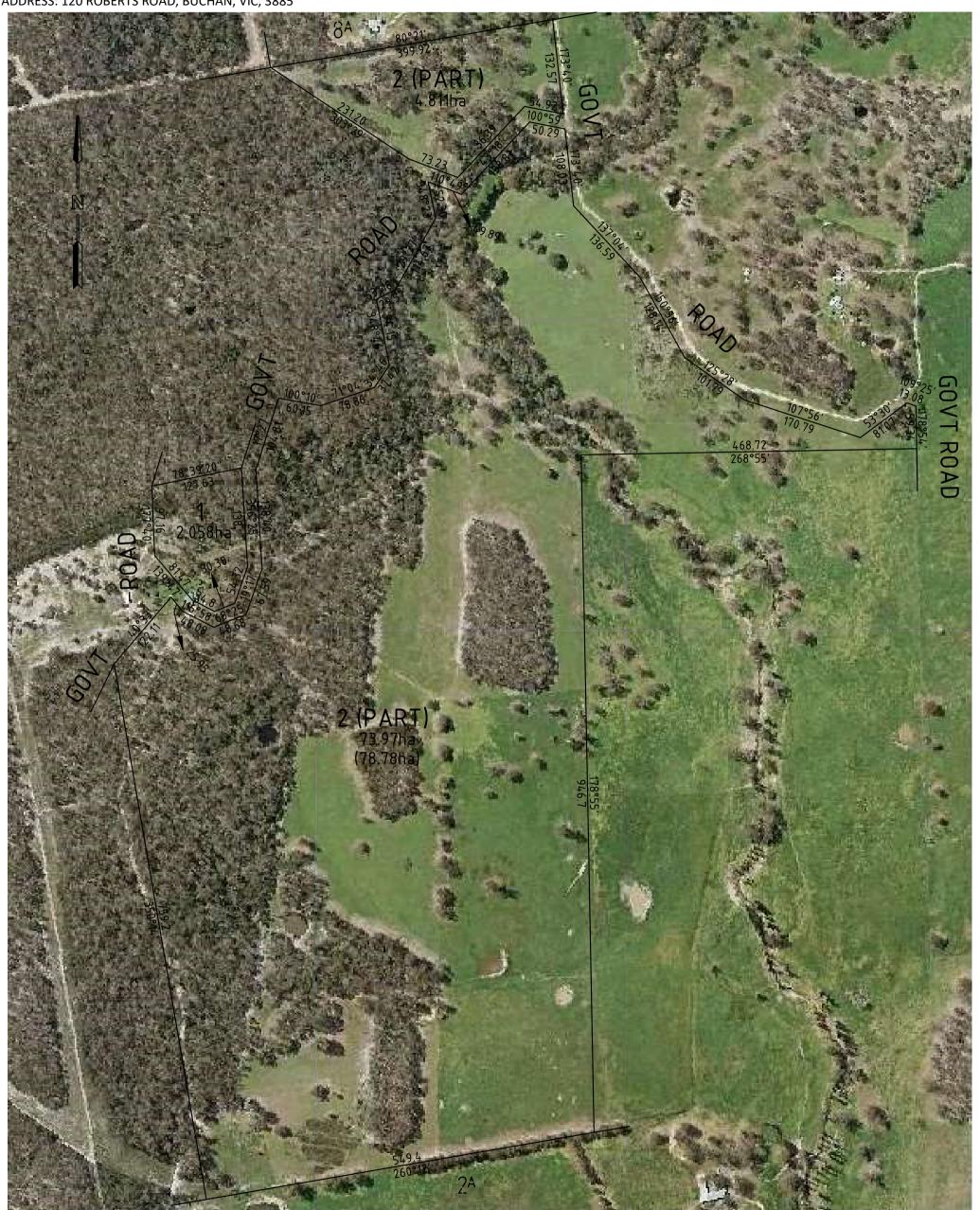


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PARISH OF GILLINGALL CROWN ALLOTMENT 7^D AND 7^E (PARTS)

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LAST PLAN REF: LP 165040T, TP 191984T, TP 191985R
TITLE REF: VOL. 9335 FOL. 975 & VOL.9335 FOL. 976 & VOL. 9756 FOL. 724
ADDRESS: 120 ROBERTS ROAD, BUCHAN, VIC, 3885





SURVEYORS REF 2300624

SCALE 1:5000

100 150 LENGTHS ARE IN METRES

ORIGINAL SHEET SHEET 1 OF 1 SIZE: A Printed 8/02/2024

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