

## Form 2

**NOTICE OF AN APPLICATION FOR PLANNING PERMIT**

|  |  |
|--|--|
| <b>The land affected by the application is located at:</b> | <b>77 Roadknight Street LAKES ENTRANCE 3909<br/>Lot: 23 LP: 30775</b>  |
| <b>The application is for a permit to:</b>                 | <b>Buildings and Works for the replacement of an existing dwelling</b> |
| <b>The applicant for the permit is:</b>                    | <b>Development Solutions Victoria Pty Ltd</b>                          |
| <b>The application reference number is:</b>                | <b>5.2024.36.1</b>   |

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ♦ **be made to the Responsible Authority in writing,**
- ♦ **include the reasons for the objection, and**
- ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

|   |   |
|---|---|
| <b>The Responsible Authority will not decide on the application before:</b> | <b>Subject to applicant giving notice</b> |
|---|---|

If you object, the Responsible Authority will tell you its decision.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**

Page 1 of 3

VOLUME 08083 FOLIO 658

Security no : 124112339587G

Produced 02/02/2024 11:49 AM

**LAND DESCRIPTION**

Lot 23 on Plan of Subdivision 030775.  
PARENT TITLE Volume 07714 Folio 008  
Created by instrument 2603897 11/11/1953

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Joint Proprietors

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE LP030775 FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 77 ROADKNIGHT STREET LAKES ENTRANCE VIC 3909

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 21210T WARREN GRAHAM AND MURPHY PTY LTD  
Effective from 17/08/2021

DOCUMENT END



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| Document Identification                         | <b>LP030775</b>         |
| Number of Pages<br>(excluding this cover sheet) | <b>1</b>                |
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PLAN OF SUBDIVISION  
OF PART OF CROWN ALLOTMENT 52  
TOWNSHIP OF LAKES ENTRANCE  
PARISH OF COLQUHOUN

COUNTY OF TAMBO

VOL. 7714 FOL. 008

Measurements are in Feet & inches

Conversion Factor

FEET x 0.3048 = METRES

COLOUR CODE

E-1 = BLUE

R1 = BROWN

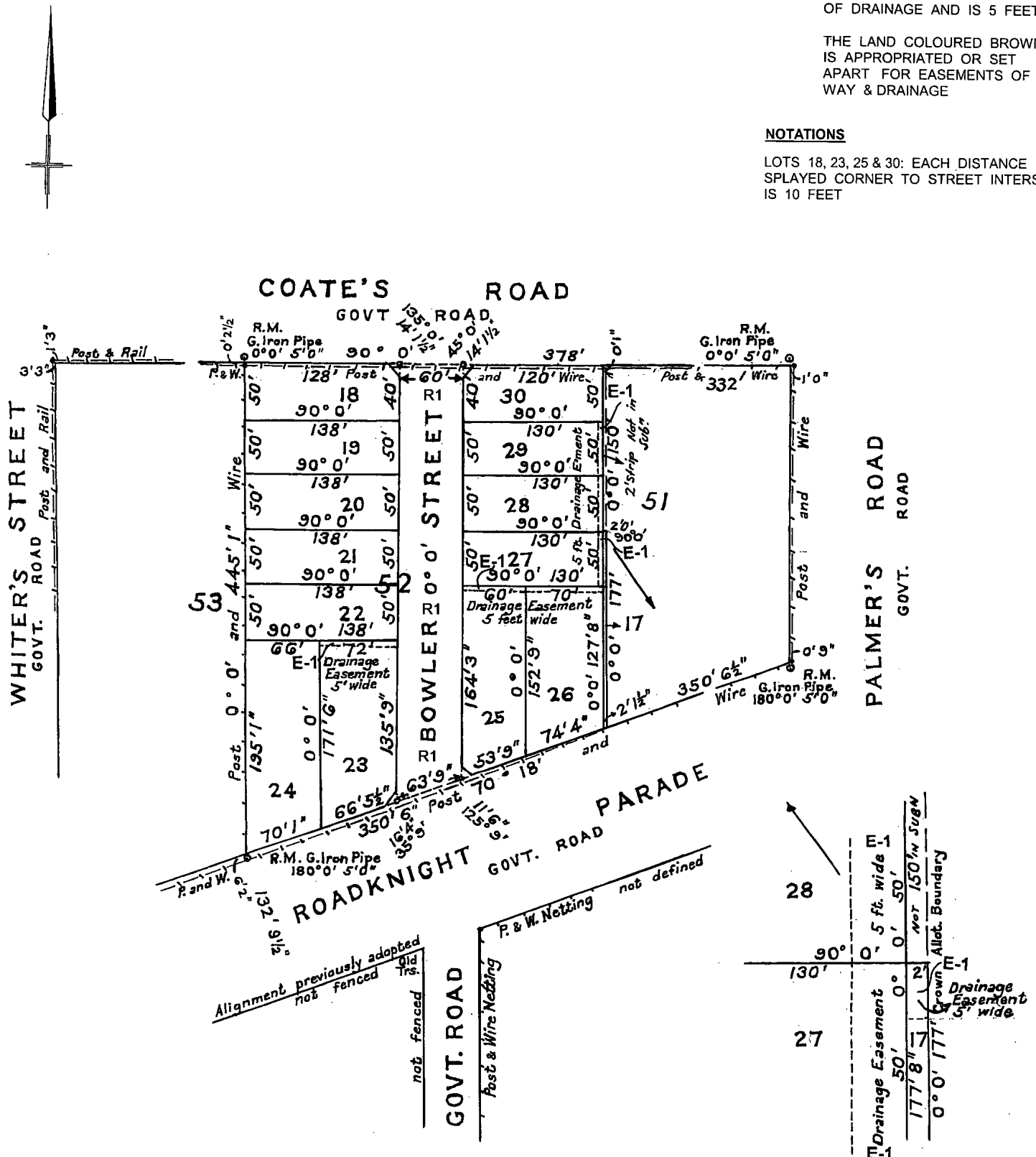
APPROPRIATIONS

THE LAND COLOURED BLUE  
IS APPROPRIATED OR SET  
APART FOR EASEMENTS  
OF DRAINAGE AND IS 5 FEET WIDE

THE LAND COLOURED BROWN  
IS APPROPRIATED OR SET  
APART FOR EASEMENTS OF  
WAY & DRAINAGE

NOTATIONS

LOTS 18, 23, 25 & 30: EACH DISTANCE FROM  
SPRAYED CORNER TO STREET INTERSECTION  
IS 10 FEET





FEB  
20  
24

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APPLICATION FOR PLANNING PERMIT

# DEVELOPMENT OF A REPLACEMENT DWELLING

77 ROADKNIGHT STREET, LAKES ENTRANCE

SHANE AND KERRY SPROULE

REF: 24005

Printed 5/03/2024

Page 5 of 30

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## APPENDIX

- A Copy of Title and Plan of Subdivision
- B Proposed Development Plans

## DOCUMENT REVISION

|   |              |     |            |
|---|--------------|-----|------------|
| 1 | Draft Report | DAC | 05/02/2024 |
| 2 | Final Report | CMC | 06/02/2024 |





## 1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of Shane and Kerry Sproule, the owners of land and the applicants for this planning permit application for the development of a replacement dwelling at 77 Roadknight Street, Lakes Entrance.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

|                                     |   |
|-------------------------------------|---|
| <b>Address</b>                      | <b>77 Roadknight Street, Lakes Entrance</b>   |
| <b>Site Description</b>             | Lot 23 on Plan of Subdivision 030775  |
| <b>Title Particulars</b>            | Vol 08083 Fol 658   |
| <b>Site Area</b>                    | 1,056.57m <sup>2</sup>  |
| <b>Proposal</b>                     | Development of a Replacement Dwelling   |
| <b>Planning Scheme</b>              | East Gippsland Planning Scheme  |
| <b>Zone</b>                         | General Residential Zone – Schedule 1 (GRZ1)  |
| <b>Overlays</b>                     | Design and Development Overlay – Schedule 13 (DDO13)<br>Erosion Management Overlay (EMO)  |
| <b>Aboriginal Cultural Heritage</b> | Identified as an area of Cultural Heritage Sensitivity  |
| <b>Permit Triggers</b>              | Clause 43.02-2 Design and Development Overlay - Buildings and Works   |
| <b>Notice</b>                       | Exempt from notice at Clause 44.01-7  |
| <b>Referrals</b>                    | No referrals required   |
| <b>Work Authority Licence</b>       | Not Applicable  |
| <b>Planning Scheme requirements</b> | Municipal Planning Strategy – Clause 02<br>Settlement – Coastal settlements – Clause 02.03-1<br>Environmental and landscape values – Clause 02.03-2<br>Environmental risks and amenity – Clause 02.03-3<br>Built environment and heritage – Clause 02.03-5<br>Planning Policy Framework – Clause 10<br>Settlement – Clause 11<br>Environmental and landscape values – Clause 12<br>Environmental risks and amenity – Clause 13<br>Built environment and heritage – Clause 15<br>Housing – Clause 16<br>Design and Development Overlay - Clause 43.02<br>Decision guidelines – Clause 65 |

## 2. SITE CONTEXT

### Site

The subject site is located at 77 Roadknight Street, Lakes Entrance. A copy of the Title and Plan of Subdivision is contained in **Appendix A**. The title is not affected by any restrictive covenants or agreements. There is an existing drainage easement along the northern boundary.

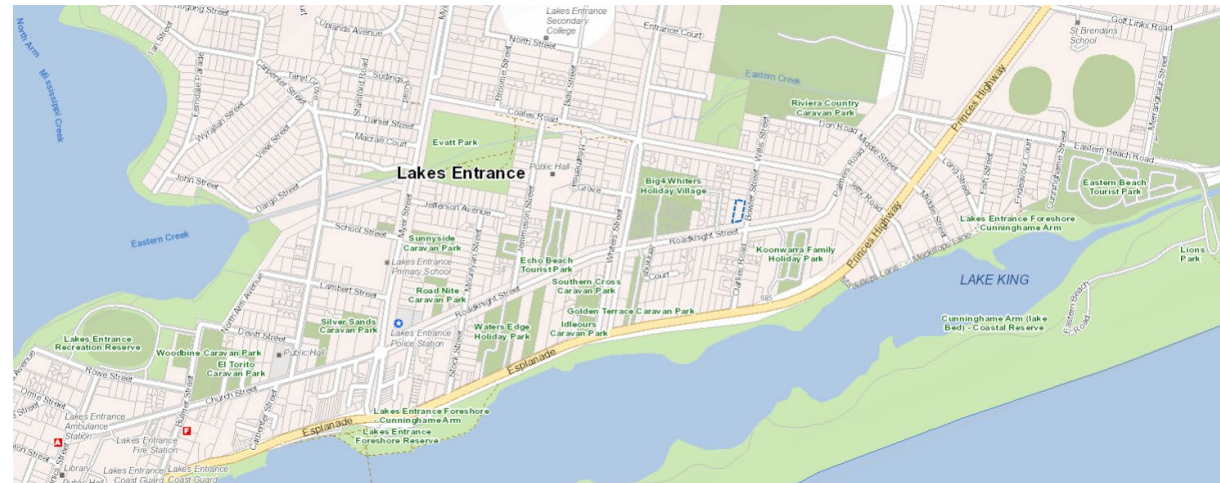
The site is irregular in shape with a total area of approximately 1,056.57 square metres and contains an existing single storey dwelling and an outbuilding that is under construction.

The subject site is relatively flat in nature and does not contain any vegetation. Details of the site are depicted in the photographs provided below.

Access is existing via a gravel crossover and concrete driveway directly from Roadknight Street along the southern boundary.

Roadknight street is a sealed bitumen road containing gravel shoulders and grassed swale drains traversing in an east to west direction. Roadknight Street adjoins Bowler Street in the southeastern corner of the subject site. Bowler Street is a bitumen road with kerb and channel traversing in a north to south direction.

The subject site in relation to Lakes Entrance as well as the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2**.



**Figure 1 – Locality Plan – 77 Roadknight Street, Lakes Entrance (source: mapshare.vic.gov.au)**



**Figure 2 – Locality Plan – 77 Roadknight Street, Lakes Entrance (source: mapshare.vic.gov.au)**

## Surrounds

The land in this locality is predominantly residential land. The subject site is approximately 2.1 kilometres from the central business district of Lakes Entrance.

Adjoining the northern and western boundaries of the subject site is land containing existing residential dwellings and associated facilities. Adjoining the eastern boundary is Bowler Street and Lakes Entrance Beach Huts. Adjoining the southern boundary is Roadknight Street and further residential development.

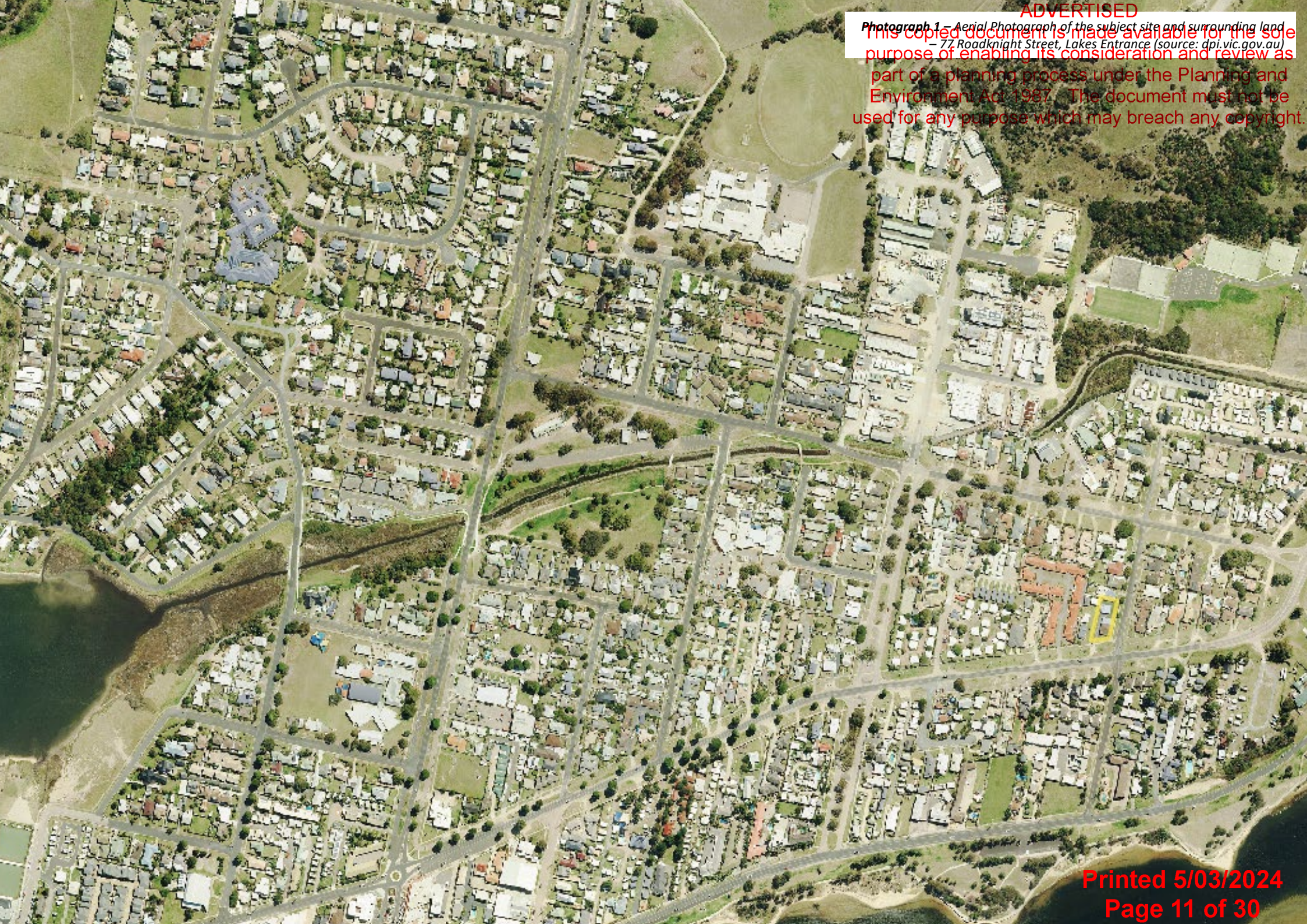
Lakes Entrance is a coastal township located on the Princes Highway approximately 40 kilometres southeast of Bairnsdale. Lakes Entrance offers a range of community and commercial services and facilities. A larger suite of services and facilities is available further afield in Bairnsdale.

The subject site in relation to Lakes Entrance is shown in the aerial photograph below.





Photograph 1 – Aerial Photograph of the subject site and surrounding land  
 – 77 Roadknight Street, Lakes Entrance (source: dpi.vic.gov.au)  
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**Photograph 2** – Subject site at 77 Roadknight Street, Lakes Entrance.



**Photograph 4** – Existing dwelling on subject site facing north.



**Photograph 6** – Subject site facing north along eastern boundary.



**Photograph 3** – Existing driveway access to subject site.



**Photograph 5** – Existing dwelling on subject site facing south.



**Photograph 7** – Existing outbuilding currently under construction on subject site facing north.





**Photograph 8** – Existing outbuilding on subject site facing north.



**Photograph 10** – Existing outbuilding facing north.



**Photograph 12** – Neighbouring property at 79 Roadknight Street, Lakes Entrance.



**Photograph 9** – Subject site facing north along the western boundary.



**Photograph 11** – Neighbouring property adjoining the northern boundary at 3 Bowler Street, Lakes Entrance.



**Photograph 13** – Property directly opposite subject site at 76 Roadknight Street, Lakes Entrance.





**Photograph 14** – Roadknight Street facing east.



**Photograph 16** – Bowler Street facing north.



**Photograph 18** – Intersection adjoining Roadknight Street and Bowler Street.



**Photograph 15** – Roadknight Street facing west.



**Photograph 17** – Bowler Street facing south.

### 3. THE PROPOSAL

This application seeks approval for development of a replacement dwelling. The proposed development plans are contained in **Appendix B**.

The proposed dwelling will be located in the southern portion of the subject site with a setback of approximately 19.25 metres from the northern boundary, 2 metres from the eastern boundary being Bowler Street, 6.8 metres from the southern boundary being Roadknight Street and 1.2 metres from the western boundary save for the garage which will have a 200mm setback from the western boundary.

The proposed dwelling will have a total building footprint of approximately 407.21m<sup>2</sup> including the verandah and alfresco area. The dwelling will be a single storey dwelling and the overall proposed height is 7.1 metres.

The dwelling will be finished with a combination of face brickwork in a red/ brown tone, horizontal James Hardie Scyon Stria cladding with a painted finish in the colour night sky and trims will be Colorbond sheeting in the colour Night Sky. The roof will be finished with selected roof tiles in a dark / black tone. An extract from the plans indicating the

proposed site plan and an artist impression is provided below and within **Appendix B**.

Vehicle access to the site is existing however will be upgraded as indicated on the proposed development plans. A concrete crossover and driveway will be provided directly from Roadknight Street along the southern boundary. It is noted Roadknight Street is identified as a Transport 2 Zone.

The proposed replacement dwelling will connect to all available services including reticulated water, sewerage, electricity, telecommunications and the existing road network. There is an existing 1.52 metre wide drainage easement along the northern boundary.

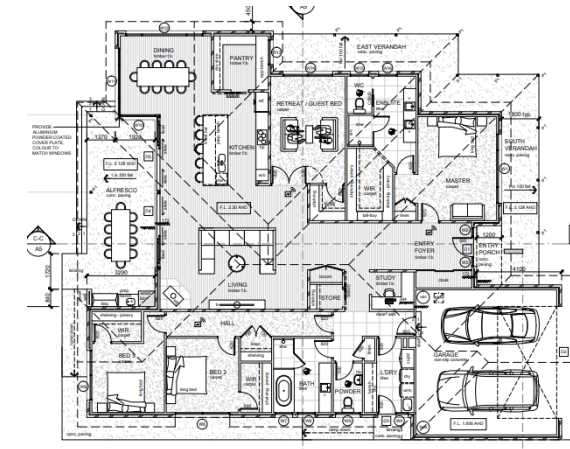


Figure 3 – Floor Plan – Sands Building Design

Figure 4 – Southwest elevation – Sands Building Design

#### 4. ZONES AND OVERLAYS

##### General Residential Zone – Schedule 1

The purpose of the General Residential Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

An extract of the General Residential Zone Map is provided to the right in **Figure 5**.

Clause 32.08-2 of the General Residential Zone provides a permit is not required to use land for a dwelling. Clause 32.08-5 provides a permit is required to construct or extend one dwelling on a lot less than 300 square metres. The subject site exceeds 300 square metres and as such a permit is not required. This is not addressed further.

It is noted Roadknight Street is identified as a Transport Zone 2 being the Principal Road Network. The existing access will be upgraded as indicated on the proposed development plans. No new access is proposed.

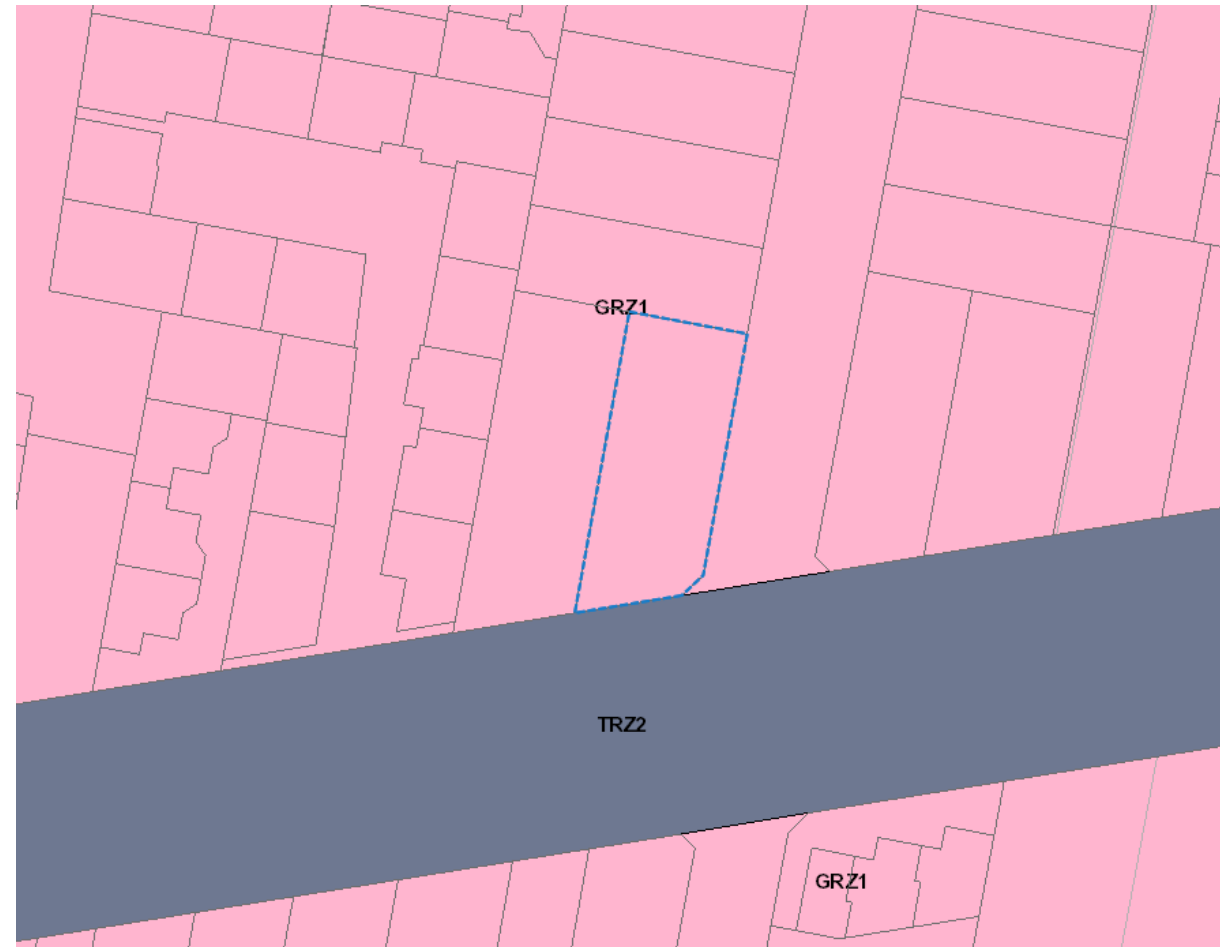


Figure 5 – Zoning Map – (source - mapshare.vic.gov.au)



## Design and Development Overlay – Schedule 13

The purpose of the Design and Development Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

An extract of the Design and Development Overlay map is provided to the right in **Figure 6**.

Clause 43.02 provides a permit is required to construct a building or construct or carry out works. The Schedule provides in 2.0 no permit is required for a building less than 7.5 metres high, development on land where the total building area does not exceed 300m<sup>2</sup> and development where the slope of land does not exceed 15 percent.

The proposed dwelling will be under 7.5 metres high from natural surface level and the slope of land does not exceed 15 percent however the total building footprint will exceed 300m<sup>2</sup> and as such a permit is required and the relevant decision guidelines are addressed in Section 5.

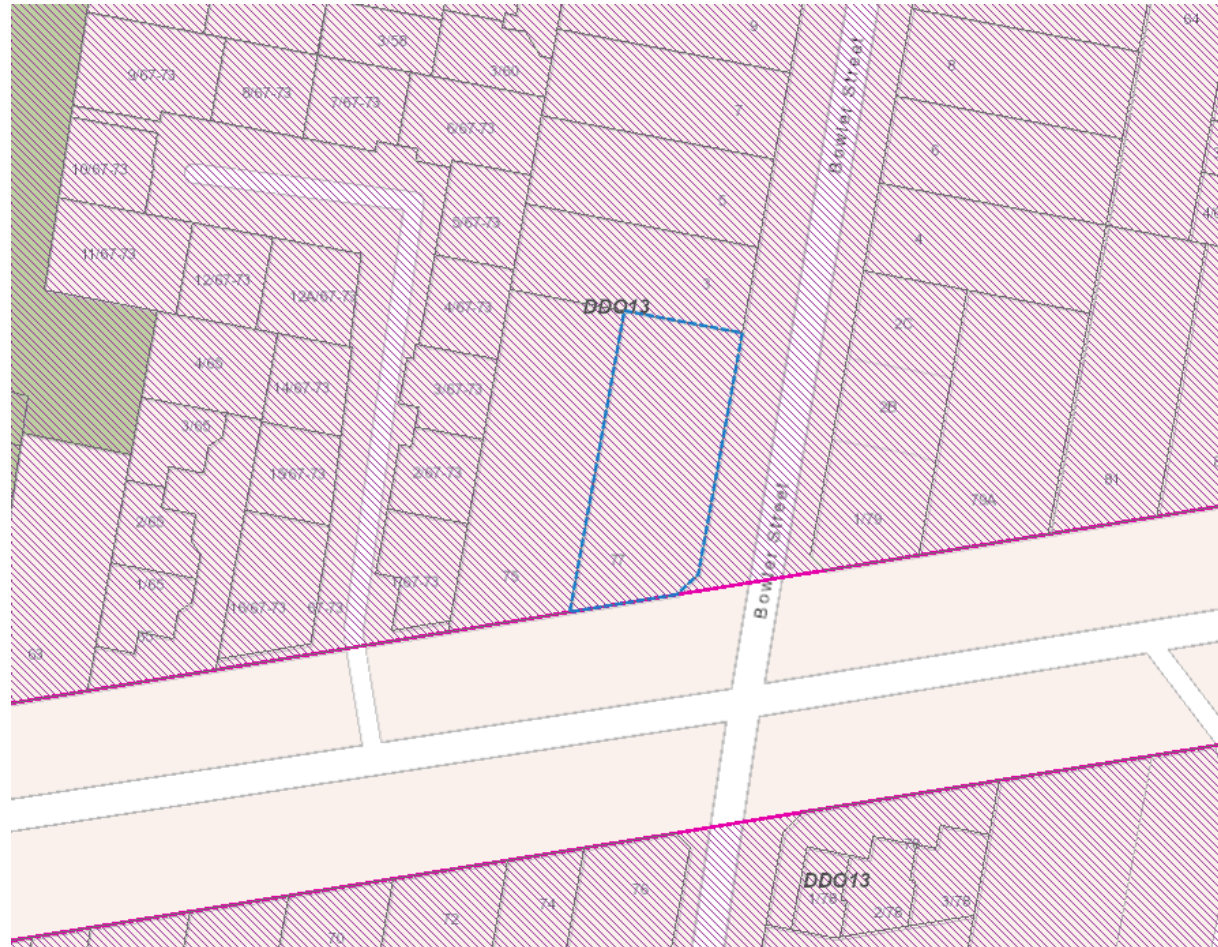


Figure 6 – Design and Development Overlay – (source - mapshare.vic.gov.au)

## Design and Development Overlay – Schedule 13 continued:

Schedule 13 to the Design and Development Overlay relates to Residential Development in Coastal Settlements: Lakes Entrance and contains the following design objectives:

### **All areas**

- *To protect and manage the township character of coastal settlements.*
- *To ensure that the height and visual bulk of new development is compatible with the coastal neighbourhood setting.*
- *To ensure that new development is designed to minimise visual impacts on the natural landscape.*
- *To ensure that new development is visually and physically integrated with the site and surrounding landscape.*
- *To ensure that new development is sited and designed to be visually unobtrusive through and above the surrounding tree canopy when viewed from the public realm, lakes, coastal areas, or other distant viewpoints.*
- *To protect the vegetated character of the landscape, particularly where it is a dominant visual and environmental feature.*

- *To maintain the generally small mass of buildings in the landscape.*

### **Inner residential (area 7)**

- *To support intensification while protecting and managing the older character of the area.*



## Erosion Management Overlay

The purpose of the Erosion Management Overlay is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.*

An extract of the Erosion Management Overlay map is provided to the right in **Figure 7**.

Clause 44.01-2 provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is not required for the development of a dwelling. As such a permit is not required under the provisions of the Erosion Management Overlay, this is not addressed further.



**Figure 7** – Erosion Management Overlay – (source - mapshare.vic.gov.au)

## Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is recognised as being within an area of Aboriginal Cultural Heritage Sensitivity.

The development of a replacement dwelling is considered an exempt activity, and as such a Cultural Heritage Management Plan is not required.

An extract of the Aboriginal Cultural Heritage Map is provided to the right in **Figure 8**.



Figure 8 – Aboriginal Cultural Heritage Map – (source - mapshare.vic.gov.au)

## 5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate replacement dwelling that can be respectful of the existing surrounding development and the environment.
- The proposal will contribute to a high standard of environmental sustainability, urban design and amenity by designing the replacement dwelling to meet the constraints of the land reducing any potential negative environmental implications as sought to achieve by the relevant clauses including **Clause 02.03** and **Clause 11**.
- **Clause 02.03-1** identifies Lakes Entrance as a growth area town and encourages development on fully serviced residential land. The proposed replacement dwelling will connect to all available services and infrastructure including reticulated water, sewerage, electricity, telecommunications and a good quality road network.
- **Clause 13.04-25** requires consideration of erosion and landslip. The subject site and proposed replacement dwelling is within an area identified as being susceptible to erosion. All preventative measures will be undertaken during the construction phase of the proposed development to ensure no erosion hazards occur.
- The proposal meets the objectives of **Clause 16** by providing for a new modern dwelling within an existing, mostly developed residential area that will in turn support housing for the community.
- The proposal is consistent with the decision guidelines of the Design and Development Overlay at **Clause 43.02-6** which seeks to identify areas which are affected by specific requirements relating to the design and built form of new development.
- The proposed replacement dwelling will result in an appropriate development that will be used for residential purposes. The proposed development will be located in the southern portion of the site and will have appropriate setbacks from the boundaries.
- The proposed colours of the dwelling have been selected to ensure the development is not visually obtrusive and will be well integrated with the surrounding development and environment. The proposed colours are low reflective and muted in toning. A visual description of the proposed colours is provided in Section 3 of this submission.
- The area contains dwellings and associated buildings of various styles and heights.
- **Schedule 13** refers to residential development in coastal settlements: Lakes Entrance. The subject site is within area 7.
- The application is seeking approval for the development of a replacement dwelling. The roof form of the proposed development will be below the prevailing tree canopy. No additional planting is proposed beyond basic landscape garden particularly given the bushfire prone nature of the area. No extensive earthworks are proposed that will exceed 1 metre in depth and no vegetation removal is required.
- This submission has addressed the decision guidelines of **Clause 65**, and the proposed replacement dwelling supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
- Access to the site is existing and will be upgraded as indicated on the proposed development plans, there will be no negative impact on the existing road network.

- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.



## 6. CONCLUSION

This submission is in support of a planning permit application for the development of a replacement dwelling at 77 Roadknight Street, Lakes Entrance.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed replacement dwelling is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Design and Development Overlay and the Erosion Management Overlay.
- The erosion risks can be reduced to an acceptable level.
- The design of the building is complementary to the existing surrounding development and is consistent with the character of the area.

It is requested that a planning permit be granted for this development.

**Development Solutions Victoria**

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## DRAWING SCHEDULE

### ARCHITECTURAL DRAWINGS

|     |  |
|-----|--|
| A1  | EXISTING CONDITIONS / DEMOLITION SITE PLAN |
| A2  | SITE PLAN                                  |
| A2a | AREA ANALYSIS                              |
| A3  | FLOOR PLAN, ROOF PLAN & DETAILS            |
| A4  | ELEVATIONS                                 |
| A5  | SECTIONS                                   |

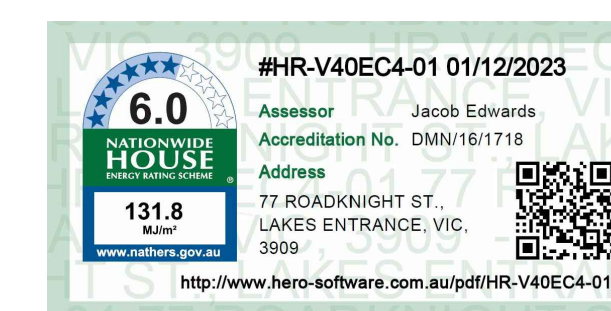


IMAGE WAS DEVELOPED AT CONCEPT STAGE AND MAY VARY FROM FINAL DESIGN

# SPROULE RESIDENCE

SUBJECT SITE : NO. 77 ROADKNIGHT ST. LAKES ENTRANCE

CLIENT : SHANE & KERRY SPROULE



DESIGNER :



ACN 127 480 942  
P.O. Box 1735  
309 Main St, Bairnsdale 3875  
P. 03 51 52 7200  
F. 03 5152 7211  
E. clinton@sandsbd.com.au  
E. reini@sandsbd.com.au

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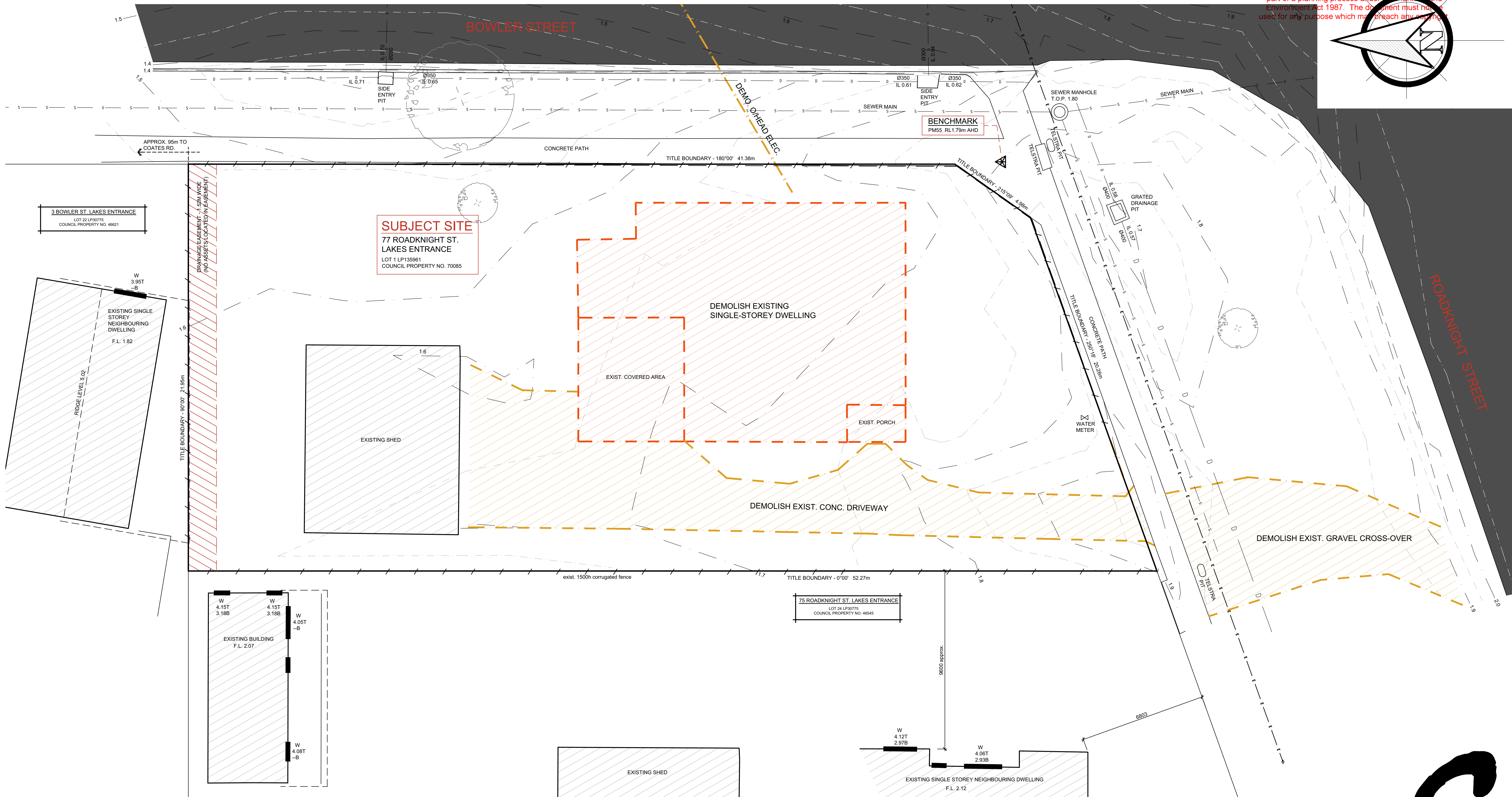
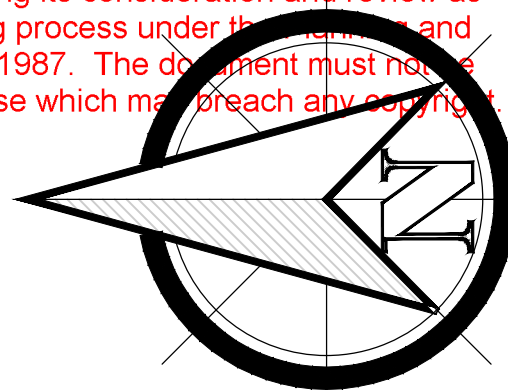
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PLANNING ISSUE  
Job No. 22810

ISSUE DATE - 24/01/24

Printed 5/03/2024  
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## DEMOLITION NOTES

### 1. DEMOLISHED MATERIALS

#### GENERAL

Demolition works to be in accordance with 2018 Victorian Building Regulations Part 7, Division 3 (117), AS2601 and Safework Australia Code of Practice.

Removal: Except for items to be recovered for re-use in the works, or delivery to the owner and materials to be recycled in the works, take possession of demolished materials and remove them from the site. do not burn or bury demolished materials on the site. prevent spillage of demolished materials in transit.

Recycling: Where possible, dismantle building components for off site recycling.

Services: Disconnect all services as required prior to demolition, construction & sitework. seal and/or cap all redundant supply/waste pipes.

Redundant cabling, piping, demolished building materials and rubble to be removed from site unless nominated for storage or re-use.

### 1. SUPPORT

#### TEMPORARY SUPPORT

Existing buildings: Contractor to ensure stability of existing structure during demolition & construction works, provide bracing and props as required.

### 2. PROTECTION

#### PROTECTION OF WORKS NOTICE

Refer to the relevant Building Surveyor if a protection of works notice is required.

#### HOARDING AND EXCLUSION FENCING

Provide hoarding, exclusion fencing and signage as required to ensure safety to the public staff and workers during demolition and construction.

#### ENCROACHMENT

General: Prevent the encroachment of demolished materials onto adjoining property, including public places.

#### WEATHER PROTECTION

General: If walls or roofs are opened for alterations and additions, or the surfaces of adjoining buildings are exposed, provide temporary covers to prevent water penetration. provide covers to protect existing plant equipment and materials intended for re-use.

### SECURITY

General: If walls or roofs are opened for alterations or additions, provide security against unauthorised entry to the building.

#### HAZARDOUS MATERIALS REMOVAL

STANDARD: To AS 2601 clause 1.6.2.

#### MAKING GOOD

Care is to be taken to ensure no damage to adjacent surfaces and structures during demolition.

Make good any damage arising out of demolition work.

### ASBESTOS

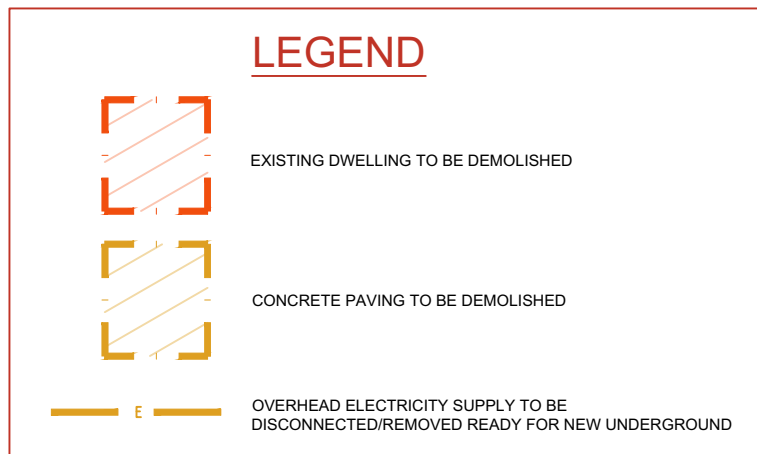
- Builder to establish if any asbestos products are to be demolished.
- Any Asbestos products to be removed shall be in accordance with Occupational Health & Safety Act, Work Health and Safety Regulations, Safework Australia Code of Practice and other relevant authorities.
- For more information visit [www.worksafe.vic.gov.au](http://www.worksafe.vic.gov.au) or contact worksafe advisory service ph: 1800 136 089.
- For information on disposal or what to do in case of accidents contact: EPA Information Centre ph: 1300 372 842

### SITE SAFETY AND SECURITY:

CONTRACTOR / BUILDER TO UNDERTAKE A SAFETY AND RISK ASSESSMENT OF THE PROPOSED CONSTRUCTION SITE PRIOR TO COMMENCEMENT OF ANY WORKS AND ESTABLISH AN APPROVED TEMPORARY EXCLUSION SAFETY SECURITY FENCE / HOARDING IN ACCORDANCE WITH AS 4687, 2018 VICTORIAN BUILDING REGULATIONS PART 7, DIVISION 2 (116), BUILDING SURVEYOR AND RELEVANT AUTHORITIES.

## EXISTING CONDITIONS / DEMOLITION SITE PLAN

SCALE - 1:100



### WARNING!

BEWARE OF UNDERGROUND SERVICES

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVIDED ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UNDERGROUND SERVICES.

### LEVEL NOTE:

SITE FEATURE SURVEY PROVIDED BY FREEMAN LAND SURVEYING - PREPARED DECEMBER 2016. LEVELS ARE TO AHD.

### BOUNDARY NOTE:

TITLE BOUNDARIES ARE APPROXIMATE ONLY. FOR EXACT LOCATION & BEARINGS CONSULT A LICENSED SURVEYOR FOR A RE-ESTABLISHMENT SURVEY

### NO GO ZONES - OVERHEAD ELECTRICAL POWER LINES

WORKSITE IS NEAR OVERHEAD ELECTRICAL POWER LINES. BEFORE ANY WORK COMMENCES, YOU MUST FOLLOW THE RELEVANT NO GO ZONE SAFETY PROCEDURES SET OUT BY WORKSAFE VICTORIA.

FURTHER INFORMATION AND CHECKLISTS FOR UNDERTAKING WORK NEAR OVERHEAD OR UNDERGROUND ASSETS ARE AVAILABLE AT: [WWW.OSIS.VIC.GOV.AU/INDUSTRY/NOZONE.HTML](http://WWW.OSIS.VIC.GOV.AU/INDUSTRY/NOZONE.HTML) AND [WWW.WORKCOVER.VIC.GOV.AU](http://WWW.WORKCOVER.VIC.GOV.AU)



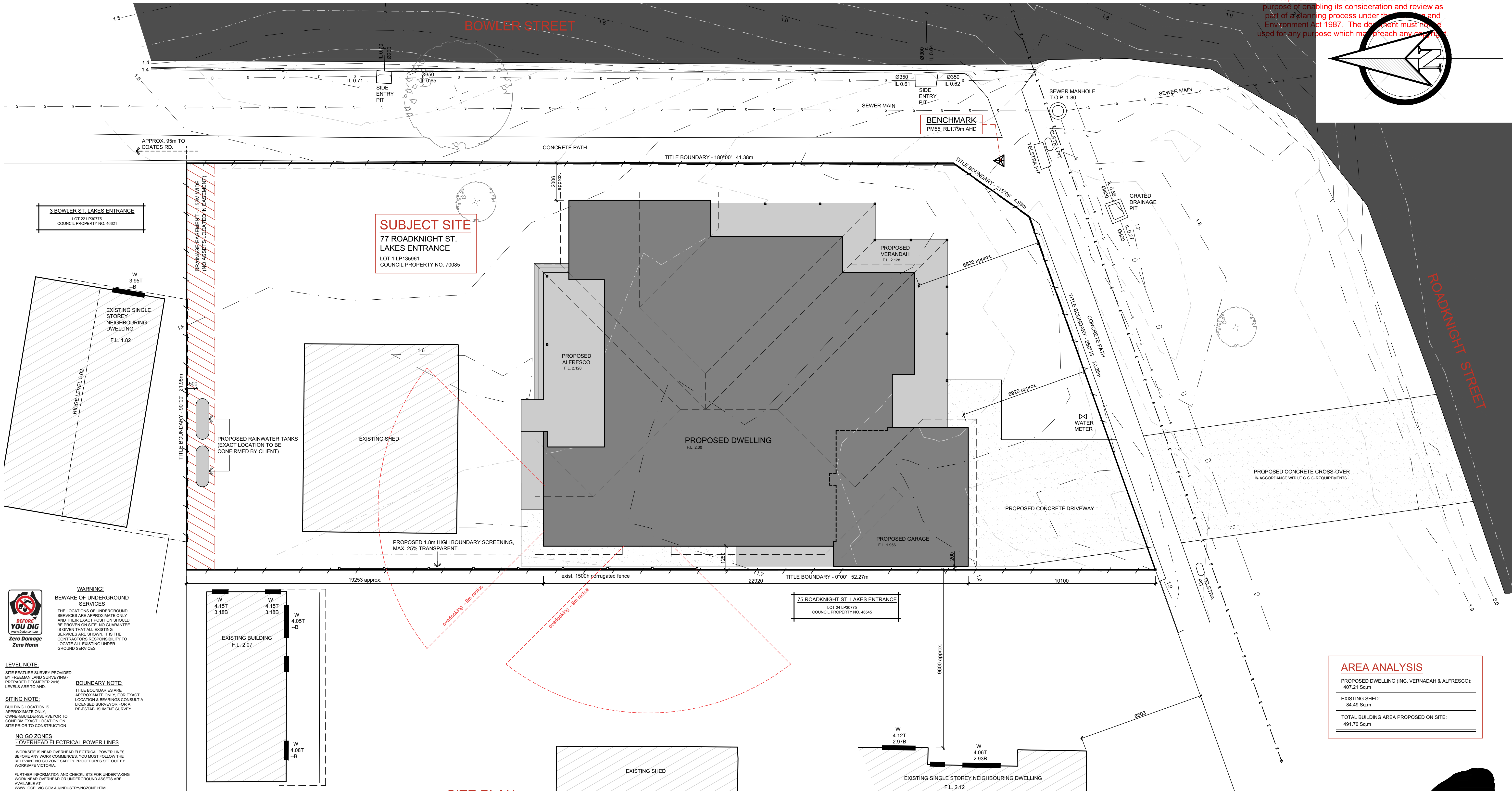
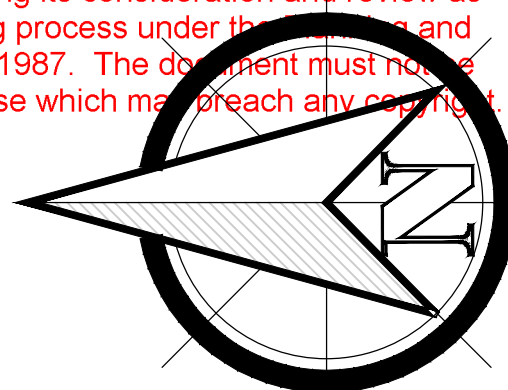
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SPROULE RESIDENCE  
77 ROADKNIGHT ST.  
LAKES ENTRANCE  
CLIENT SHANE & KERRY SPROULE  
JOB NO. 22810  
DATE 24/01/24  
DESIGNED BY CDP-AD 58137  
DRAWN BY FN  
DESCRIPTION EXIST. CONDITION/DEMO. PLAN  
ISSUE  
SCALE 1:100  
DRAWING NO.

Printed 5/03/2024  
Page 25 of 30





| AREA ANALYSIS                                 |             |
|---|-------------|
| PROPOSED DWELLING (INC. VERNADAH & ALFRESCO): | 407.21 Sq.m |
| EXISTING SHED:                                | 84.49 Sq.m  |
| TOTAL BUILDING AREA PROPOSED ON SITE:         | 491.70 Sq.m |

## GENERAL NOTES:-

### 1. General

- 1.1 Written dimensions take precedence over scale, all dimensions are in millimetres U.N.O.
- 1.2 Materials and work practices shall comply with but not limited to Building Regulations 2018, National Construction Codes Series 2019 Building Code of Australia Vol 2 and all relevant current Australian Standards
- 1.2.2 Unless otherwise specified, the term BCA 2019 shall refer to National Construction Codes Series 2019 Building Code of Australia Vol. 2
- 1.3 These plans shall be read in conjunction with any relevant structural and/or civil engineering computations and drawings related to this project.
- 1.4 The builder shall take all steps necessary to ensure the stability of new and existing structures during all works.
- 1.5 The builder & subcontractors to verify all levels, dimensions, setbacks and specifications and all other relevant documentation prior to commencement of works. Report all discrepancies to this office for clarification.
- 1.6 All previously issued drawings marked preliminary shall now be considered void
- 1.7 Exact set out of residence to be determined on site and shall be verified by Owner, Builder and Building surveyor

### 2. Footings

- 2.1 Soil classification to AS 2870. Refer Engineers Soil Report.
- 2.2 Concrete to be N20 grade unless noted otherwise.
- 2.3 Dimensions and Reinforcements shown are minimum requirements of AS2870.1.
- 2.4 The owners attention is drawn to Appendix A of AS2870.1. "Performance Requirements and Foundation Maintenance".
- 2.5 Footings not to encroach title boundaries and easement lines.

### 3. Termite Treatment

- 3.1 Where required termite treatment to comply with BCA 2019 Part 3.1.3. and in accordance with A.S.1694 or A.S.3360

### 4. Drainage

- 4.1 Stormwater, spoon and sub-soil drains shall be taken to legal point of discharge.
- 4.2 Sewer or septic system shall be in accordance with the relevant authority requirements.
- 4.3 The Builder and Subcontractors shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and / or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system
- 4.4 The Builder to provide sub soil drainage ie.100mm socked agi drain at the base (up-slope) of all retaining walls and at the base of footings where there is a possibility of water to enter under building or slab. Agi drains to be connected to legal point of discharge.

### 5. Brickwork

- 5.1 Provide wall ties to brickwork at maximum 600mm ctrs. in each direction and within 300mm of articulation joints.
- 5.2 Spacing of wall ties to top and sides of openings to be halved.
- 5.3 In areas less than 1km from sea or in heavy industrial areas wall ties shall be either:- Galvanised sheet steel min. 2 600 or Galvanised wire min. 470g/m<sup>2</sup>, or Grade 316 stainless steel, or Engineered polymer ties.
- 5.4 Provide cavity flashing and weep holes in accordance with BCA 2019 Vol. 2, Part 3.3.4 and AS4773

### 6. Timber

- 6.1 Provide sub-floor ventilation to timber floors to achieve 6000sq.mm/metre run of perimeter wall in accordance with BCA 2019 Vol. 2, Part 3.4.1 table 3.4.1.1.
- 6.2 Provide minimum clearance from underside of bearer to finished ground level of 400mm
- 6.3 Design wind classification: Refer Structural Engineers drawings
- 6.4 All timber sizes, wall and roof framing, fixing and bracing shall be in accordance with AS 1684.1 - AS 1684.4 2010 Residential timber-framed construction manuals parts 1-4 and TPC Timber Framing Span Tables 2010.

### 7. Wet Areas

- 7.1 All wet areas to comply with BCA 2019 Vol 2 Part 3.8 and AS 3740. Wall finishes shall be impervious to height of 1800mm above floor level to shower enclosures and 150mm above baths, basins, sinks and troughs if within 75mm of the wall.

### 8. Building Fabric

- 8.1 Minimum R value of element as per BCA 2019 Vol 2 Vic Table 2:
  - Floors R1.0
  - External walls R2.5
  - Roof or ceiling R4.0
- 8.2 Any Sarking must have a flammability index of not more than 5.
- 8.3 All sarking and insulation to be approved vapour permeable in accordance with AS/NZ 4200.1

### 9. Doors, Windows & Glazing

- 9.1 All glass and glazing to conform with BCA 2019 Vol 2 part 3.6. and AS1288
- 9.2 Window sizes and type are nominal and may vary according to selected manufacturer. Site measure prior to fabrication.
- 9.3 Provide safety glass to shower screens & windows over baths in accordance with A.S.1288
- 9.4 All doors, windows, gaps & cracks to be sealed
- 9.5 All external doors to be weather stripped
- 9.6 All external doors and windows to be installed to manufacturers specification and flashed all round
- 9.6 Refer to Energy Raters thermal assessment and BAL Assessment for further information and special glazing requirements.

### 10. Smoke Detectors

- 10.1 Smoke detectors to be installed as per BCA 2019 Vol 2 Part 3.7.2 and to comply with AS5786, hard wired to electric mains with battery back-up.

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### 12. Driveways and Excavations

- 12.1 New driveways and crossovers to be in accordance with local requirements and owner/builder shall obtain relevant permits prior to commencement of work.

- 12.2 Any excavations, extent and position of any fill or stockpiling to be verified on site with Owner/Builder

### 13. Stairs, Steps & Balustrades

- 13.1 Stairs and steps maximum riser(R) 190mm, minimum riser(R) 115mm, maximum going(G) 355mm, minimum going (G) 240mm, slope relationship (2R+G) minimum head room above nosing of stair 2000mm, Maximum 125mm vert. gap between treads on stringer stairs.
- 13.2 Handrail to minimum 955mm above nosing of stairs and 1050mm above balconies and landings with maximum 125mm between rails or balustrades (except wire balustrades refer 13.3). Provide balustrades where balconies or landings exceeds 1000mm above adjacent finished surface level.
- 13.3 Wire balustrade construction to comply with BCA 2019 Volume 2 Part 3.9.2.3 for Class 1 and 10 buildings and BCA 2019, Volume 1 Part D2.16 for other Classes of buildings

### 14. Stormwater & Roof Drainage

- 14.1 All roofing, gutters, downpipes, drainage etc. to be installed in accordance with BCA 2019 Volumes 2 & 3 and AS3500
- 14.2 Exact number of downpipes to be determined on site by Builder, Plumber and Owner.
- 14.3 Builder to ensure that a downpipe is located within 1200mm of an internal roof valley or provide slotted spouting or gutters (overflow)
- 14.4 Valley gutters on a roof less than 12.5 degrees -- must be designed as a box gutter with a minimum width of 300mm.
- 14.5 Stormwater line to be laid to a minimum grade of 1:100 and connected to the legal point of discharge. Provide inspection openings @ 9000mm C/C and at each change of direction.
- The cover to underground stormwater drains shall not be less than:
  - 100mm under soil
  - 50mm under paved or concrete areas
  - 100mm under unreinforced concrete or paved driveways
  - 75mm under reinforced concrete driveways

### 15. Rescode

- 15.1 Building and siting to comply with current Rescode, designer to be notified if any discrepancies are found by surveyor/builder/owner prior to construction or any site works

### 16. Energy Efficiency

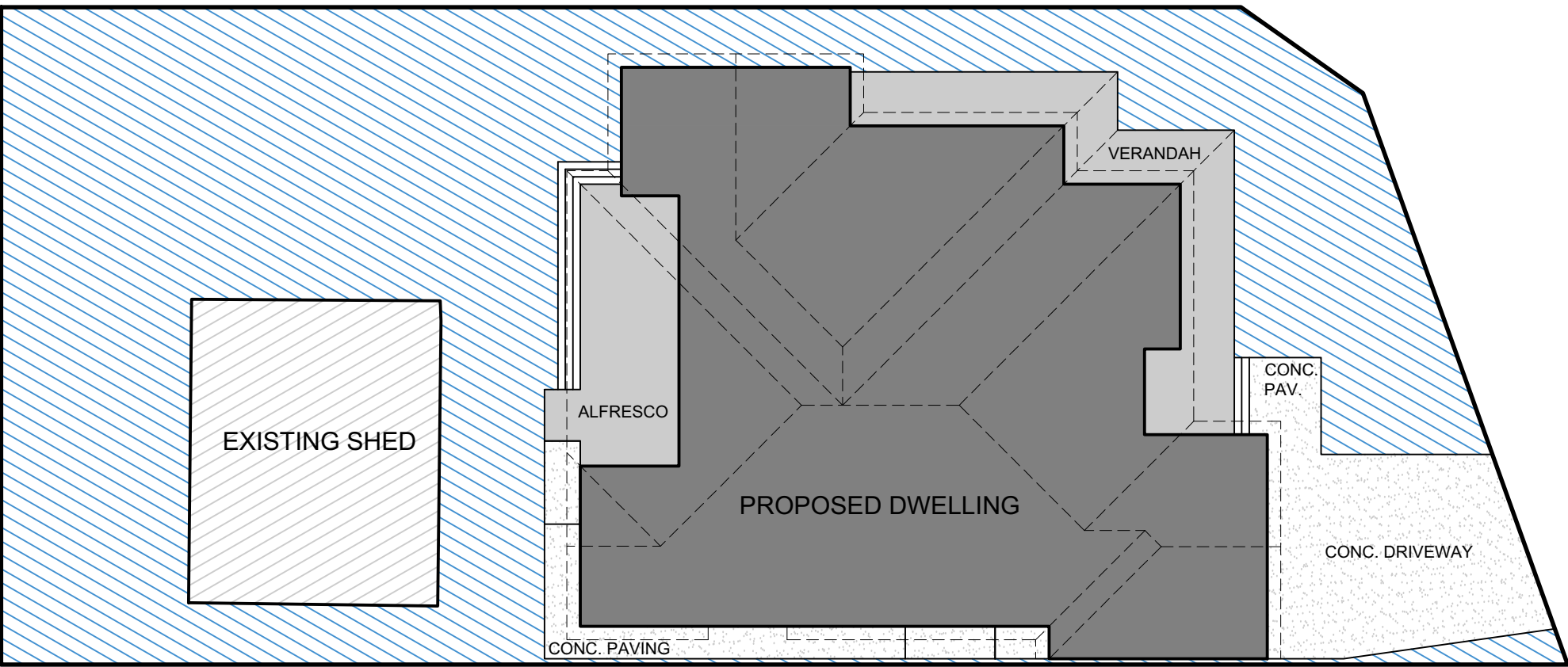
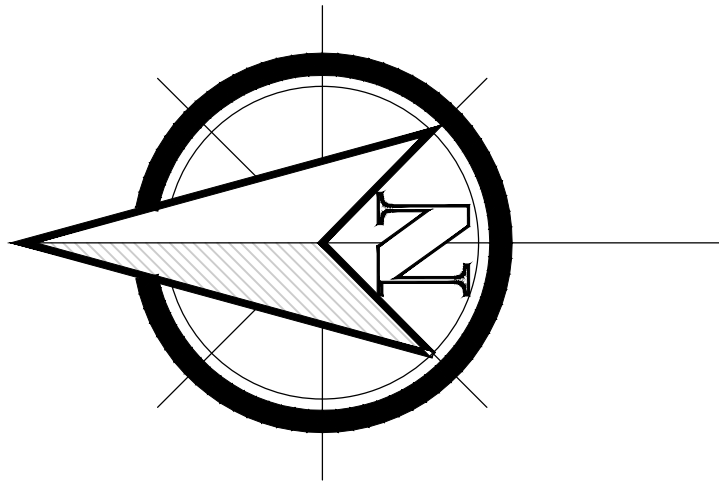
- 16.1 Unless permitted otherwise all designs shall be constructed in accordance with the approved plans as provided and stamped by the accredited energy rater without alteration
- 16.2 If a rainwater tank is installed to comply with energy rating requirements, the rainwater tank must have a minimum capacity of 2,000 litres, have a catchment area from a roof of at least 50sq.m and be connected to all sanitary flushing systems within a building
- 16.3 If a solar water heater is installed to comply with energy rating requirements, the solar water heater must achieve an energy performance of 60% solar gain. Refer SEAV website for a list of solar water heaters which comply.



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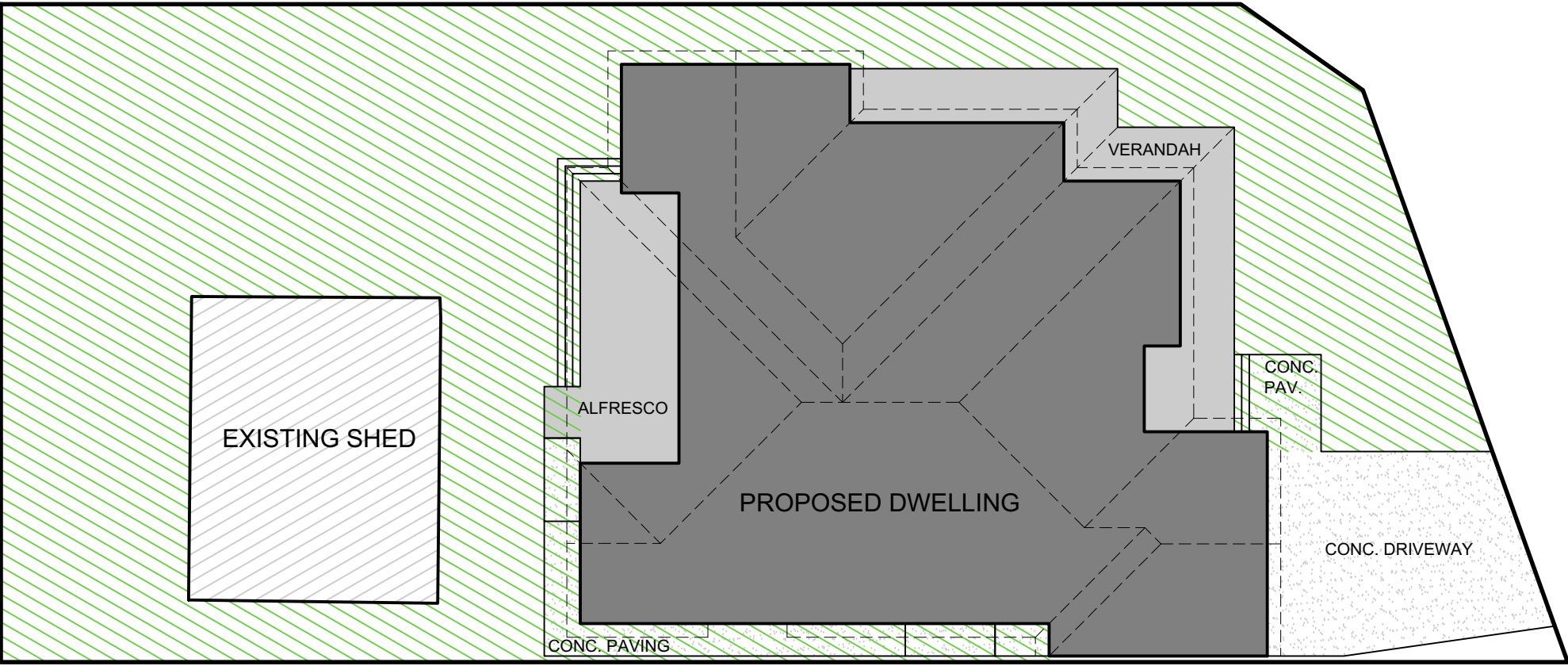






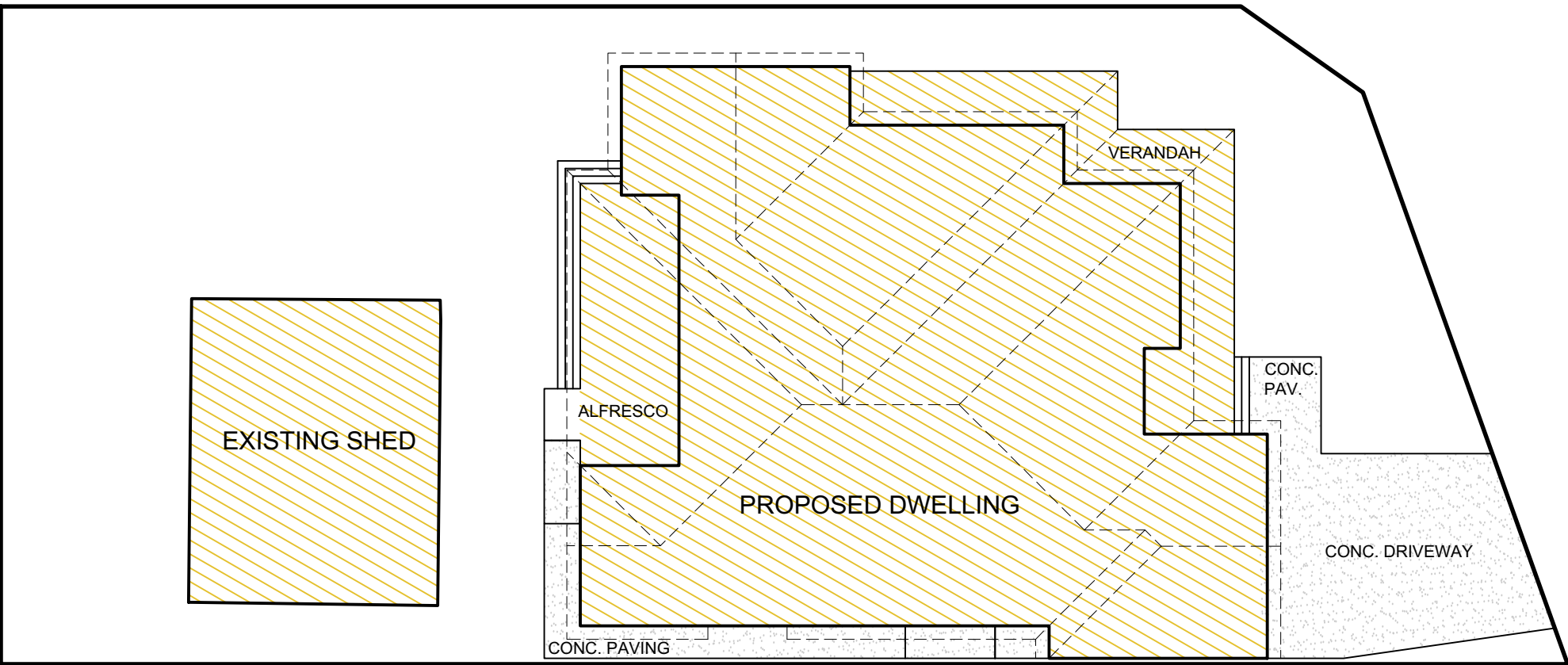
PERMEABILITY ANALYSIS

|                           |              |         |
|---------------------------|--------------|---------|
| SITE                      | 1056.57 Sq.m |         |
| PERMEABLE AREA (20% MIN.) | 465.95 Sq.m  | 44.10 % |



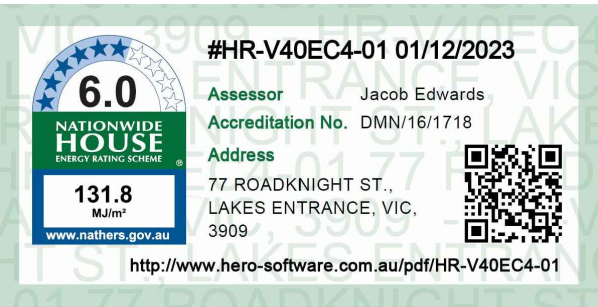
GARDEN AREA ANALYSIS

|                        |              |         |
|------------------------|--------------|---------|
| SITE                   | 1056.57 Sq.m |         |
| GARDEN AREA (35% MIN.) | 501.85 Sq.m  | 47.50 % |



SITE COVERAGE ANALYSIS

|                          |              |         |
|--------------------------|--------------|---------|
| SITE                     | 1056.57 Sq.m |         |
| SITE COVERAGE (50% MAX.) | 491.71 Sq.m  | 46.54 % |



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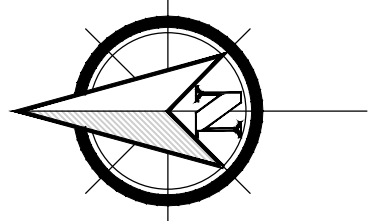


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SPROULE RESIDENCE  
77 ROADKNIGHT ST.  
LAKES ENTRANCE  
CLIENT SHANE & KERRY SPROULE  
JOB NO. 22810  
DATE 24/01/24  
DESIGNED BY CDP-AD 58137  
DRAWN BY FN  
DESCRIPTION AREA ANALYSIS  
ISSUE  
SCALE 1:200  
DRAWING NO.





## LEGEND

dw DISHWASHER  
hp HOT PLATE, PROVIDE RANGEHOOD OVER THAT VENTS TO OUTSIDE AIR  
ref REFRIGERATOR, PROVIDE WATER CONNECTION FOR ICEMAKER  
s SELECTED STAINLESS STEEL SINK  
shw SOLID FUEL HEATER  
shw SHOWER - POLYMARBLE BASE  
shw SOAP NICHE REBATED IN WALL  
tr TROUGH  
tv TELEVISION, PROVIDE TELEPHONE POINT  
v VANITY  
wm WASHING MACHINE  
wo WALL OVEN  
90 x 90 RDP T F 7 (N3) POST TO STRUCTURAL ENGINEERS DETAIL

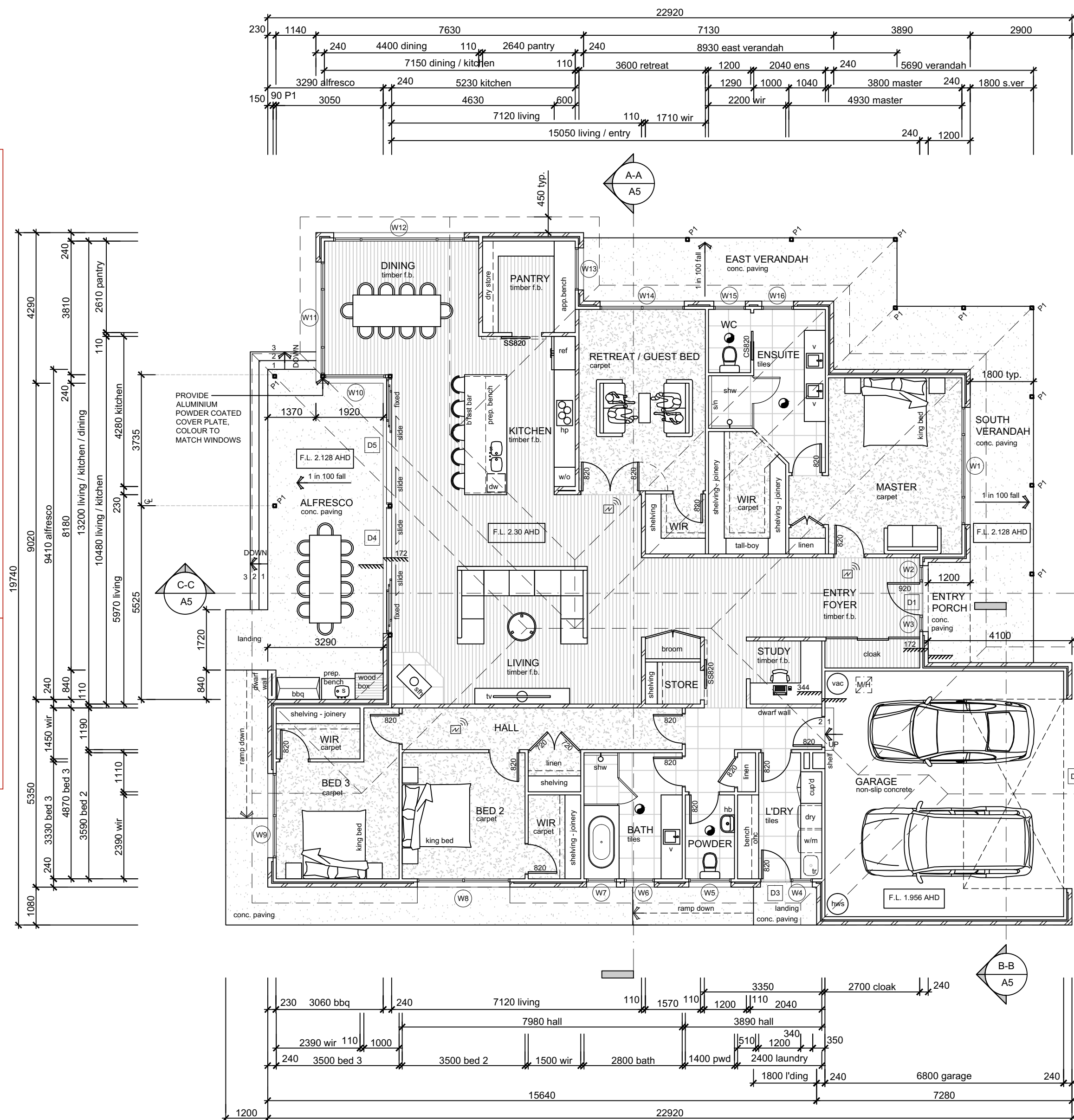
F.L. 10.00 FLOOR LEVEL

W19 WINDOW NUMBER  
D4 DOOR NUMBER  
MANHOLE  
MECHANICAL VENTILATION  
STANDARD APPROVED SMOKE ALARM, HARD WIRED TO ELECTRIC MAINS WITH BATTERY BACK-UP TO AS 3788 INSTALLED AS PER BCA V4 2 PART 3.7.2

## AREA ANALYSIS

GARAGE 53.33 Sq.m 5.74 SQUARES  
DWELLING 278.61 Sq.m 29.99 SQUARES  
TOTAL DWELLING 331.94 Sq.m 35.73 SQUARES

EAST & SOUTH VDAH 45.07 Sq.m  
ALFRESCO 32.27 Sq.m  
L'DRY PATIO 1.94 Sq.m



## FLOOR PLAN

SCALE - 1:100

### FLOOD PROTECTION NOTE:

IN ACCORDANCE WITH EAST GIPPSLAND CATCHMENT MANAGEMENT AUTHORITY ADVICE  
THE GARAGE MUST BE CONSTRUCTED FROM FLOOD RESISTANT MATERIALS UP TO THE NOMINAL FLOOD PROTECTION LEVEL (NPL) OF 2.3 METRES AHD  
ALL ELECTRICAL OUTLETS MUST BE FIXED ABOVE THE NOMINAL FLOOD PROTECTION LEVEL (NPL) OF 2.3 METRES AHD

CONNECT TO STORMWATER  
LEGAL POINT OF DISCHARGE  
IN ACCORDANCE WITH  
E.G.S.C. REQUIREMENTS

### ROOF TRUSS NOTE:

TRUSS MANUFACTURER TO ALLOW  
11kg/m2 FOR SOLAR PANELS

## ROOF PLAN

SCALE - 1:100

THIS COPIED DOCUMENT IS MADE AVAILABLE FOR THE SOLE PURPOSE OF ENABLING ITS CONSIDERATION AND REVIEW AS PART OF A PLANNING PROCESS UNDER THE PLANNING AND ENVIRONMENT ACT 1987. THE DOCUMENT MUST NOT BE USED FOR ANY PURPOSE WHICH MAY BREACH ANY LEGISLATION.

## ROOM LEGEND

SUGGESTED LOCATION OF 800 DOWNPIPES  
SUGGESTED LOCATION OF 800 DOWNPIPE & SPREADER  
DENOTES SUGGESTED LOCATION OF 800 STORMWATER PIPE

### PART V2.6.1 OF BCA (NCC) - ENERGY EFFICIENCY

TO ENSURE COMPLIANCE, ONE OF THE TWO FOLLOWING OPTIONS MUST BE IMPLEMENTED

**OPTION 1** A RAINWATER TANK RECEIVING RAINFALL FROM A MINIMUM CATCHMENT AREA OF 50 SQUARE METRES AND HAVING A MINIMUM CAPACITY OF 2000 LITRES CONNECTED TO ALL TOILETS IN THE BUILDING FOR THE PURPOSE OF SANITARY FLUSHING - PLUMBING WORK MUST COMPLY WITH THE PLUMBING REGULATIONS 2018

**OPTION 2** A SOLAR WATER HEATER SYSTEM  
THE PLUMBING REGULATIONS ALLOWS 2 DIFFERENT OPTIONS OF WATER HEATED SYSTEMS TO CHOOSE FROM:  
1) A GAS BOOSTED SOLAR WATER HEATER, OR  
2) A HEAT PUMP WATER HEATER (IF IT IS NOT CONNECTED TO THE MAINS ELECTRICITY SUPPLY).

WHERE A SOLAR WATER HEATER SYSTEM IS USED AND IT INCORPORATES BOOSTER HEATING AND RETICULATED GAS SUPPLY IS AVAILABLE FOR CONNECTION TO THE BUILDING, THE SOLAR WATER HEATER SYSTEM MUST BE GAS BOOSTED.

WHERE A HEAT PUMP WATER HEATER IS INSTALLED, NO PART OF THE HEATER THAT IS CAPABLE OF HEATING WATER IS TO BE CONNECTED TO MAINS ELECTRICITY.

IN EITHER CASE (OPTION 1 OR 2), DOCUMENTATION MUST BE PROVIDED TO THE RELEVANT BUILDING SURVEYOR (RBS) TO ENSURE COMPLIANCE.

### WALL THICKNESS:

INTERNAL WALL THICKNESS DIMENSIONS HAVE BEEN OBTAINED FROM PLAN FOR CLARITY. ALL INTERNAL WALLS TO BE 90mm U.N.O.

### TIMBER FRAMING NOTE

ALL TIMBER FRAMING, BRACING AND JOINTS SHALL COMPLY WITH AS 1684 2010 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION MANUALS.

### WARNING!

BEWARE OF UNDERGROUND SERVICES

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVIDED ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UNDERGROUND SERVICES.



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**SANDS BUILDING DESIGN**  
CLIENT SHANE & KERRY SPROULE  
JOB NO. 22810  
DATE 24/01/24  
DESIGNED BY CDP-AD 58137  
DRAWN BY FN  
DESCRIPTION FLOOR PLAN, ROOF PLAN, DETAILS  
ISSUE 1:100, 1:5  
SCALE  
DRAWING NO.

Printed 5/03/2024  
Page 28 of 30

| WINDOW SCHEDULE |             |           |           |               |         |         |              |             |  |
|-----------------|-------------|-----------|-----------|---------------|---------|---------|--------------|-------------|--|
| NO.             | MANUF.      | TYPE      | STYLE     | NOM. SIZE     | ORIENT. | ROOM    | CLADDING     | HEAD HEIGHT | NOTES  |
| W1              | AS SELECTED | ALUMINIUM | AWNING    | 2200H x 3340W | S       | MASTER  | BRICK VENEER | 2400        |  |
| W2              | AS SELECTED | ALUMINIUM | FIXED     | 2400H x 450W  | S       | ENTRY   |              |             |  |
| W3              | AS SELECTED | ALUMINIUM | FIXED     | 2400H x 450W  | S       | ENTRY   |              |             |  |
| W4              | AS SELECTED | ALUMINIUM | AWNING    | 1500H x 600W  | W       | LAUNDRY |              |             |  |
| W5              | AS SELECTED | ALUMINIUM | AWNING    | 1500H x 1200W | W       | POWDER  |              |             |  |
| W6              | AS SELECTED | ALUMINIUM | AWNING    | 2200H x 850W  | W       | BATH    |              |             |  |
| W7              | AS SELECTED | ALUMINIUM | AWNING    | 1700H x 850W  | W       | BATH    |              |             |  |
| W8              | AS SELECTED | ALUMINIUM | AWNING    | 1500H x 2640W | W       | BED 2   |              |             |  |
| W9              | AS SELECTED | ALUMINIUM | AWNING    | 2400H x 2400W | N       | BED 3   |              |             |  |
| W10             | AS SELECTED | ALUMINIUM | FIXED     | 2400H x 1740W | W       | DINING  |              |             |  |
| W11             | AS SELECTED | ALUMINIUM | AWNING    | 2400H x 3210W | N       | DINING  |              |             |  |
| W12             | AS SELECTED | ALUMINIUM | AWNING    | 2400H x 3720W | E       | DINING  |              |             |  |
| W13             | AS SELECTED | ALUMINIUM | FIXED     | 1500H x 1200W | S       | PANTRY  |              |             |  |
| W14             | AS SELECTED | ALUMINIUM | AWNING    | 2200H x 2400W | E       | RETREAT |              |             |  |
| W15             | AS SELECTED | ALUMINIUM | AWNING    | 2200H x 900W  | E       | ENSUITE |              |             |  |
| W16             | AS SELECTED | ALUMINIUM | AWNING    | 2200H x 900W  | E       | ENSUITE |              |             |  |
| DOOR SCHEDULE   |             |           |           |               |         |         |              |             |  |
| NO.             | MANUF.      | TYPE      | STYLE     | NOM. SIZE     | ORIENT. | ROOM    | CLADDING     | HEAD HEIGHT | NOTES  |
| D1              | AS SELECTED | ALUMINIUM | SWING     | 2400H x 920W  | S       | ENTRY   | BRICK VENEER | 2400        |  |
| D2              | AS SELECTED | PANELIFT  | SECTIONAL | 2700H x 5400W | S       | GARAGE  |              | 2700        | PROVIDE EasyRise® AUTOMATIC DOOR OPENER<br>HEAD HEIGHT FROM GARAGE F.L.<br>PROVIDE RAVEN WEATHER SEAL<br>PROVIDE 20mm REBATE IN SLAB |
| D3              | AS SELECTED | ALUMINIUM | SWING     | 2400H x 820W  | W       | LAUNDRY |              | 2400        |  |
| D4              | AS SELECTED | ALUMINIUM | STACKER   | 2400H x 3600W | N       | LIVING  |              |             |  |
| D5              | AS SELECTED | ALUMINIUM | STACKER   | 2400H x 3600W | N       | KITCHEN |              |             |  |

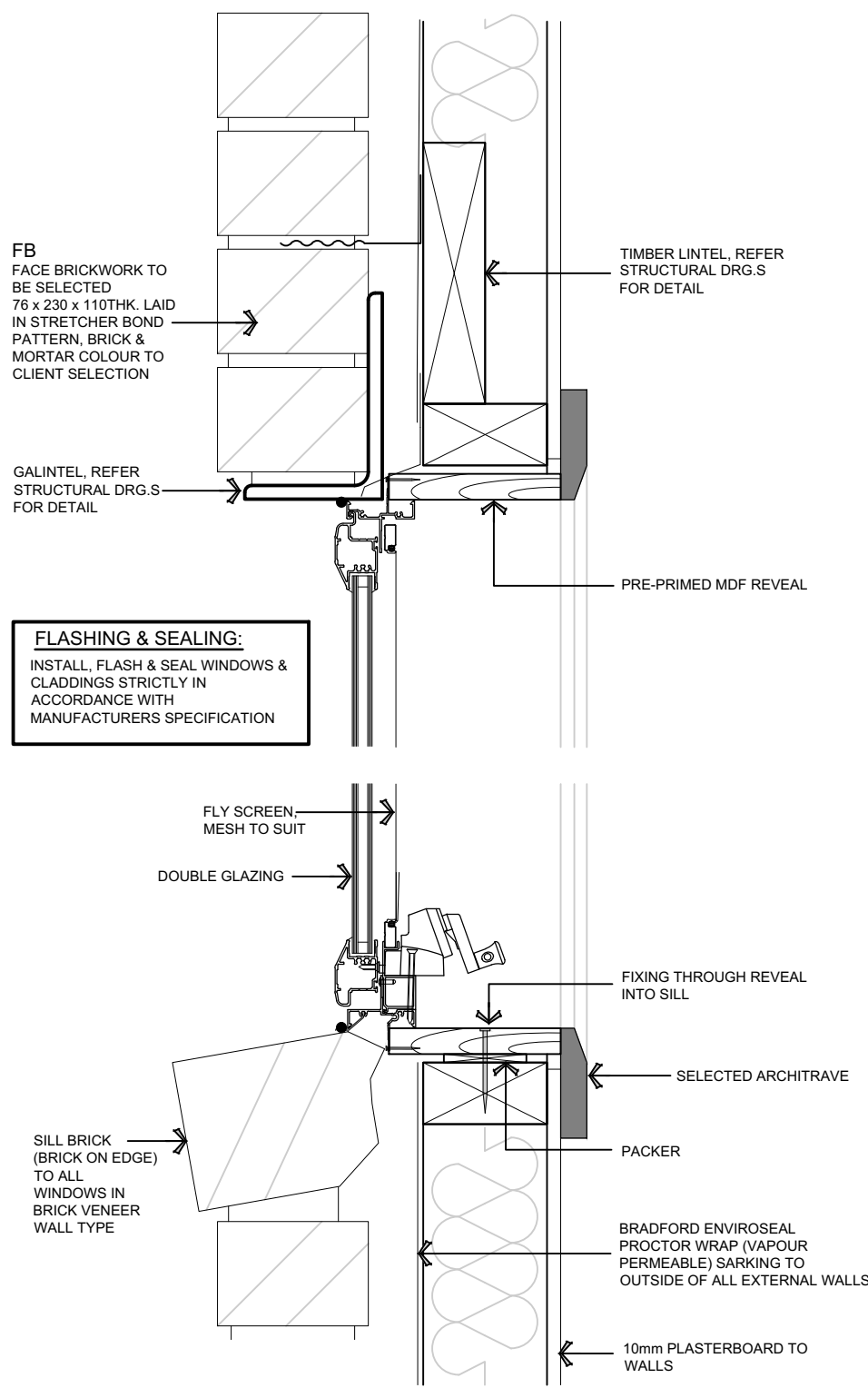
### NOTES

ALL WINDOWS & DOORS MUST BE SITE MEASURED PRIOR TO ORDERING & FABRICATION  
ALL GLAZING TO COMPLY WITH AS 1288  
ALL WINDOWS, DOORS & ACCESSORIES TO BE IN ACCORDANCE WITH ENERGY RATER'S REPORT  
ALL WINDOW & DOOR SECTIONS TO BE ALUMINIUM FRAMED, DOUBLE GLAZED  
ALL FRAMES TO BE POWDERCOAT FINISH, COLOUR TO BE SELECTED BY CLIENT

INSTALL & FLASH ALL WINDOWS TO MANUF. SPEC.  
PROVIDE FLY SCREENS TO ALL EXTERNAL WINDOWS AND DOORS U.N.O.

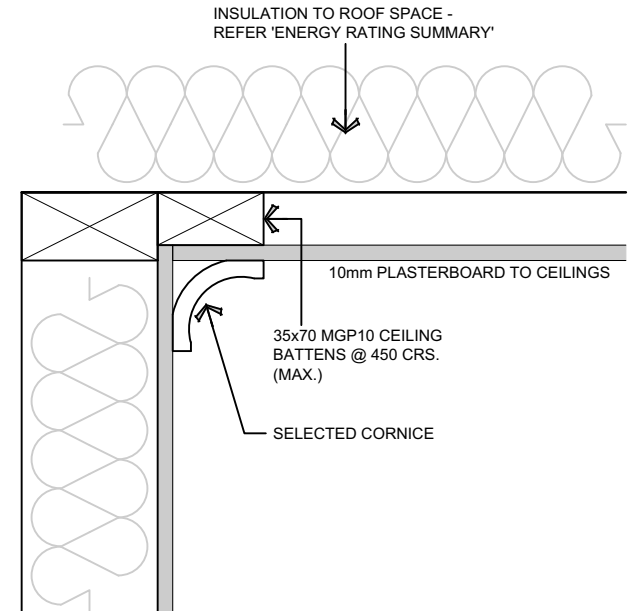
ALL INTERNAL DOORS DENOTED ON PLAN AS 3007 TO BE 820W x 2400H x 35THK, AS SELECTED BY CLIENT  
ANY DISCREPANCIES BETWEEN WINDOW/DOOR SCHEDULE AND WORKING DRAWINGS TO BE REPORTED TO SANDS BUILDING DESIGN PRIOR TO ORDERING AND/OR FABRICATION

| ENERGY RATING SUMMARY   |  |
|---|--|
| RATING<br>6.0 STARS   | CERTIFICATE NO.<br>HR-V40EC4-01  |
| TOTAL ENERGY<br>131.8 MJ/m2   | DATE<br>01/12/2023   |
| ACCREDITED ENERGY RATER<br>FRATER CONSULTING SERVICES 60 8891 8928<br>JACOB EDWARDS DMN/181718                                    | SOFTWARE<br>Hero 3.1.5.6   |
| ASSESSOR'S REFERENCE<br>FCS 55866   |  |
| BUILDING ELEMENT  | SPECIFICATION  |
| FLOOR   | R-2  |
| WALLS   | R-2.5 MINIMUM ADDED WALL INSULATION WITH BRADFORD ENVIROSEAL PROCTOR WRAP (VAPOUR PERMEABLE) SARKING TO OUTSIDE OF ALL EXTERNAL WALLS (INSULATION IN GARAGE OPTIONAL)<br>R-2.5 BULK INSULATION TO INTERNAL WALLS ABUTTING GARAGE & WET AREAS |
| CEILINGS  | R6.0 MINIMUM ADDED CEILING INSULATION (GARAGE OPTIONAL)  |
| WINDOWS   | ALL WINDOWS TO BE ALUMINIUM FRAMED DOUBLE GLAZED, WITH MINIMUM VALUES AS LISTED:<br>AWNING: U-VALUE: 3.00 & SHGC 0.47<br>FIXED: U-VALUE: 3.00 & SHGC 0.54<br>SLIDING: U-VALUE: 3.00 & SHGC 0.54<br>HINGED: U-VALUE: 3.00 & SHGC 0.47         |
| WALL COLOUR   | MEDIUM TONING  |
| ROOF COLOUR   | MEDIUM TONING  |
| LIGHTING  | -IN A CLASS 1 BUILDING (WITHIN THE BUILDING), SW/M2 MAXIMUM<br>-ON A VERANDAH OR BALCONY ATTACHED TO THE CLASS 1, 4 W/M2 MAXIMUM<br>-IN A CLASS 10 BUILDING (GARAGE/SHED) SW/M2 MAXIMUM  |
| AIR LEAKAGE   | -IF USED, DOWNLIGHTS ARE TO BE SEALED (FITTED WITH SHROULDS)<br>-SELF SEALING EXHAUST FANS<br>-WINDOWS AND SLIDING DOORS ARE TO BE FITTED WITH WEATHER STRIP<br>-GAPS & CRACKS AROUND DOORS, WINDOWS AND SERVICE PENETRATIONS ARE SEALED     |
| NOTES: -<br>THIS SUMMARY IS TO BE READ IN STRICT CONJUNCTION WITH THE ENERGY RATING REPORT PREPARED BY FRATER CONSULTING SERVICES |  |



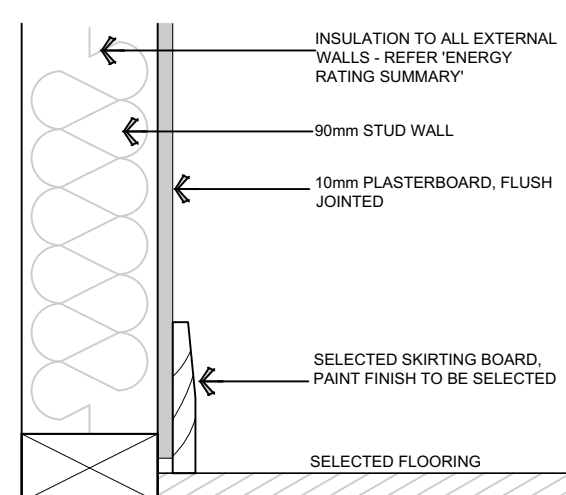
## TYPICAL WINDOW DETAIL - BRICK VENEER

SCALE - 1:5



## CEILING DETAIL (TYP. THROUGHOUT)

SCALE - 1:5



## SKIRTING DETAIL (TYP. THROUGHOUT)

SCALE - 1:5



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LAKES ENTRANCE  
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DRAWN BY FN  
DESCRIPTION ELEVATIONS  
ISSUE  
SCALE 1:100  
DRAWING NO.

Printed 5/03/2024  
Page 29 of 30

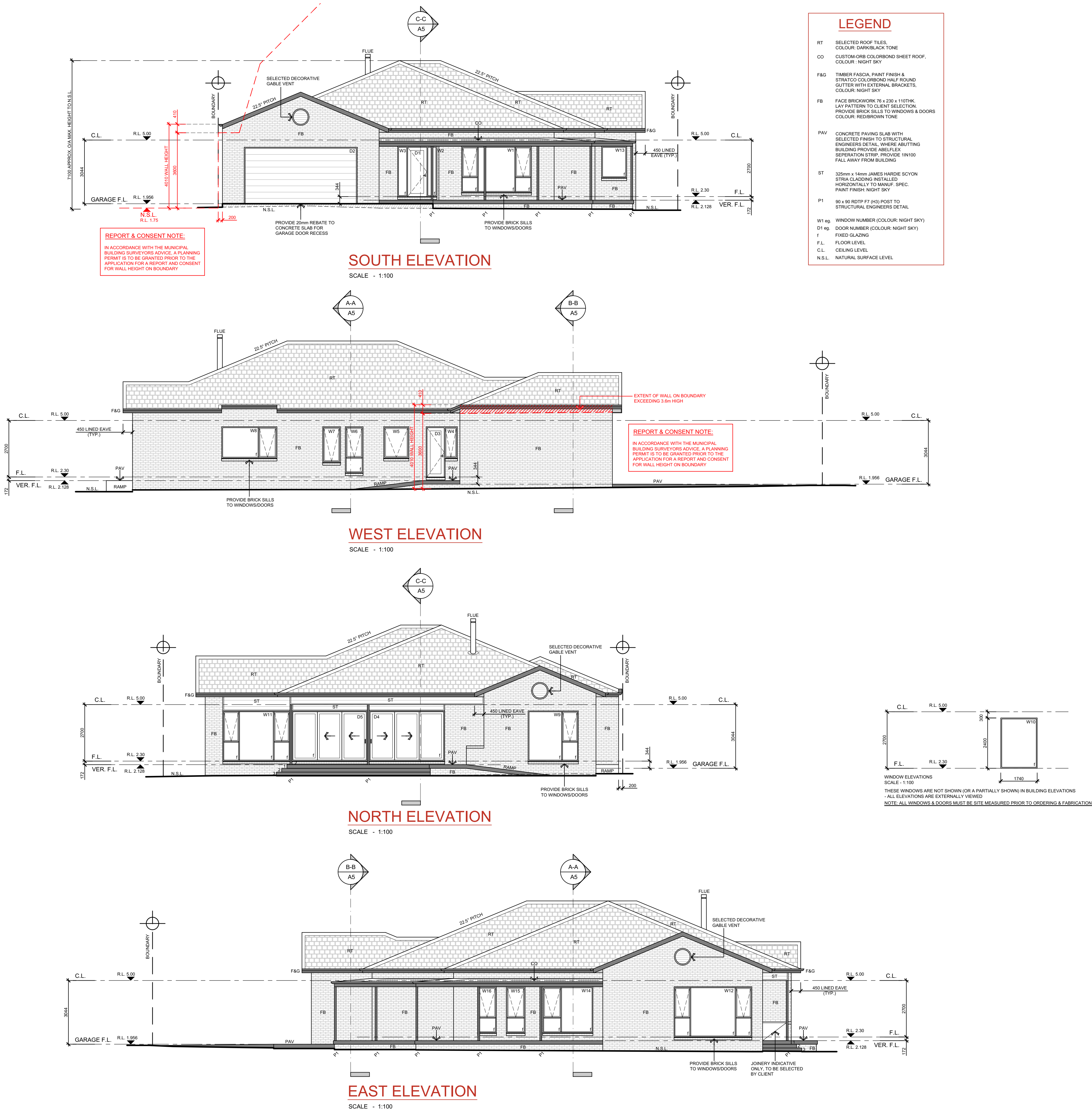
| WINDOW SCHEDULE |             |           |        |               |         |         |             |             |       |  |  |
|-----------------|-------------|-----------|--------|---------------|---------|---------|-------------|-------------|-------|--|--|
| NO.             | MANUF.      | TYPE      | STYLE  | NOM. SIZE     | ORIENT. | ROOM    | CLADDING    | HEAD HEIGHT | NOTES |  |  |
| W1              | AS SELECTED | ALUMINIUM | AWNING | 2200H x 3340W | S       | MASTER  | BRICK VENER | 2400        |       |  |  |
| W2              | AS SELECTED | ALUMINIUM | FIXED  | 2400H x 450W  | S       | ENTRY   |             |             |       |  |  |
| W3              | AS SELECTED | ALUMINIUM | FIXED  | 2400H x 450W  | S       | ENTRY   |             |             |       |  |  |
| W4              | AS SELECTED | ALUMINIUM | AWNING | 1500H x 600W  | W       | LAUNDRY |             |             |       |  |  |
| W5              | AS SELECTED | ALUMINIUM | AWNING | 1500H x 1200W | W       | POWDER  |             |             |       |  |  |
| W6              | AS SELECTED | ALUMINIUM | AWNING | 2200H x 850W  | W       | BATH    |             |             |       |  |  |
| W7              | AS SELECTED | ALUMINIUM | AWNING | 1700H x 850W  | W       | BATH    |             |             |       |  |  |
| W8              | AS SELECTED | ALUMINIUM | AWNING | 1500H x 2640W | W       | BED 2   |             |             |       |  |  |
| W9              | AS SELECTED | ALUMINIUM | AWNING | 2400H x 2400W | N       | BED 3   |             |             |       |  |  |
| W10             | AS SELECTED | ALUMINIUM | FIXED  | 2400H x 1740W | W       | DINING  |             |             |       |  |  |
| W11             | AS SELECTED | ALUMINIUM | AWNING | 2400H x 3210W | N       | DINING  |             |             |       |  |  |
| W12             | AS SELECTED | ALUMINIUM | AWNING | 2400H x 3720W | E       | DINING  |             |             |       |  |  |
| W13             | AS SELECTED | ALUMINIUM | FIXED  | 1500H x 1200W | S       | PANTRY  |             |             |       |  |  |
| W14             | AS SELECTED | ALUMINIUM | AWNING | 2200H x 2400W | E       | RETREAT |             |             |       |  |  |
| W15             | AS SELECTED | ALUMINIUM | AWNING | 2200H x 900W  | E       | ENSUITE |             |             |       |  |  |
| W16             | AS SELECTED | ALUMINIUM | AWNING | 2200H x 900W  | E       | ENSUITE |             |             |       |  |  |

| DOOR SCHEDULE |             |           |           |               |         |         |             |             |   |  |  |
|---------------|-------------|-----------|-----------|---------------|---------|---------|-------------|-------------|---|--|--|
| NO.           | MANUF.      | TYPE      | STYLE     | NOM. SIZE     | ORIENT. | ROOM    | CLADDING    | HEAD HEIGHT | NOTES   |  |  |
| D1            | AS SELECTED | ALUMINIUM | SWING     | 2400H x 920W  | S       | ENTRY   | BRICK VENER | 2400        |   |  |  |
| D2            | AS SELECTED | PANELIFT  | SECTIONAL | 2700H x 5400W | S       | GARAGE  |             | 2700        | PROVIDE Easyfit® AUTOMATIC DOOR OPENER<br>HEAD HEIGHT FROM GARAGE F.L.<br>PROVIDE RAVEN WEATHER SEAL<br>PROVIDE 20mm REBATE IN SLAB |  |  |
| D3            | AS SELECTED | ALUMINIUM | SWING     | 2400H x 820W  | W       | LAUNDRY | BRICK VENER | 2400        |   |  |  |
| D4            | AS SELECTED | ALUMINIUM | STACKER   | 2400H x 3600W | N       | LIVING  |             |             |   |  |  |
| D5            | AS SELECTED | ALUMINIUM | STACKER   | 2400H x 3600W | N       | KITCHEN |             |             |   |  |  |

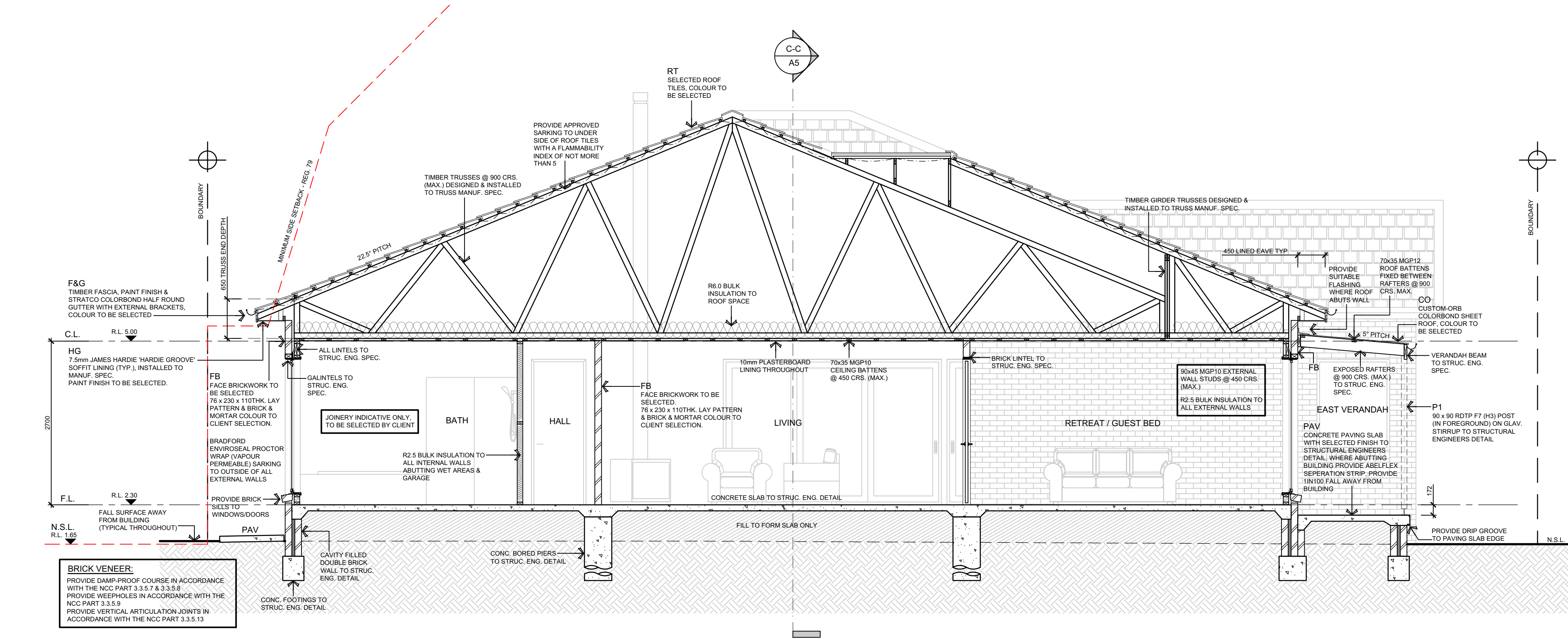
**NOTES**  
ALL WINDOWS & DOORS MUST BE SITE MEASURED PRIOR TO ORDERING & FABRICATION  
ALL GLAZING TO COMPLY WITH AS 1288  
ALL WINDOWS, DOORS & ACCESSORIES TO BE IN ACCORDANCE WITH ENERGY RATER'S REPORT  
ALL WINDOW & DOOR SECTIONS TO BE ALUMINIUM FRAMED, DOUBLE GLAZED  
ALL FRAMES TO BE POWDERCOAT FINISH, COLOUR TO BE SELECTED BY CLIENT  
INSTALL & FLASH ALL WINDOWS TO MANUF. SPEC.  
PROVIDE FLY SCREENS TO ALL EXTERNAL WINDOWS AND DOORS U.O.D.  
ALL INTERNAL DOORS DENOTED ON PLAN AS 'I20' TO BE 920W x 2340H x 35THK. AS SELECTED BY CLIENT  
ANY DISCREPANCIES BETWEEN WINDOW/DOOR SCHEDULE AND WORKING DRAWINGS TO BE REPORTED TO SANDS BUILDING DESIGN PRIOR TO ORDERING AND/OR FABRICATION



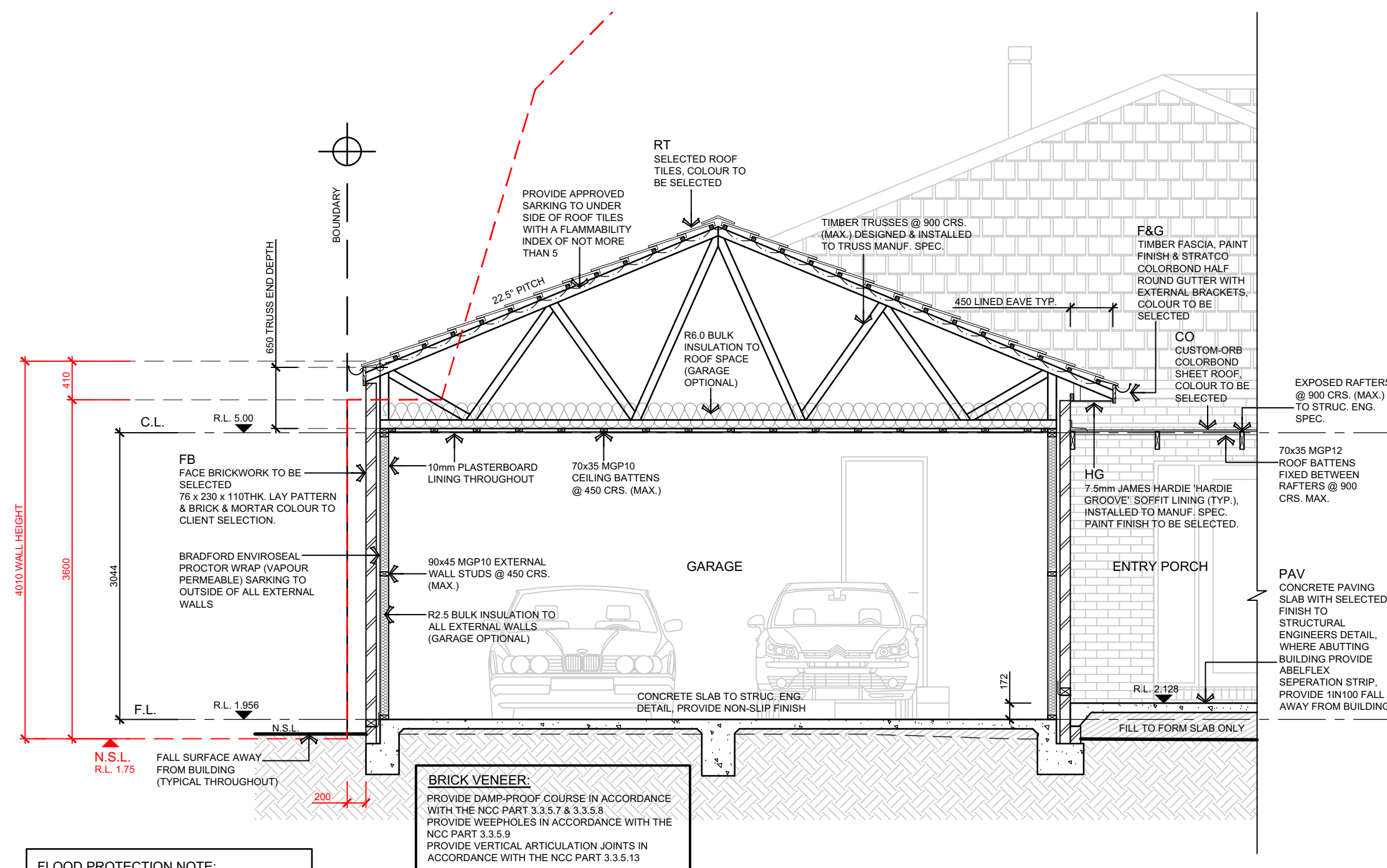
| ENERGY RATING SUMMARY   |   |
|---|---|
| RATING<br>6.0 STARS   | CERTIFICATE NO.<br>HR-V40EC4-01   |
| TOTAL ENERGY<br>131.8 MJ/m2   | DATE<br>01/12/2023  |
| ACCREDITED ENERGY RATER<br>FRATER CONSULTING SERVICES 03 8691 6626<br>JACOB EDWARDS DMN1617118                                    | SOFTWARE<br>Hero 3.1.0.6  |
| ASSESSOR'S REFERENCE<br>FCS 55886   |   |
| BUILDING ELEMENT  | SPECIFICATION   |
| FLOOR   | -   |
| WALLS   | R2.5 MINIMUM ADDED WALL INSULATION WITH BRADFORD ENVIROSEAL PROCTOR WRAP (VAPOUR PERMEABLE) BARKING TO OUTSIDE OF ALL EXTERNAL WALLS (INSULATION IN GARAGE OPTIONAL)<br>R2.5 BULK INSULATION TO INTERNAL WALLS ABUTTING GARAGE & WET AREAS  |
| CEILINGS  | R6.0 MINIMUM ADDED CEILING INSULATION (GARAGE OPTIONAL)   |
| WINDOWS   | ALL WINDOWS TO BE ALUMINIUM FRAMED DOUBLE GLAZED, WITH MINIMUM VALUES AS LISTED:<br>AWNING U-VALUE: 3.60 & SHGC 0.47<br>FIXED U-VALUE: 3.60 & SHGC 0.54<br>SLIDING U-VALUE: 3.60 & SHGC 0.54<br>HINGED U-VALUE: 3.60 & SHGC 0.47            |
| WALL COLOUR   | MEDIUM TONING   |
| ROOF COLOUR   | MEDIUM TONING   |
| LIGHTING  | - IN A CLASS 1 BUILDING (WITHIN THE BUILDING), SWIM2 MAXIMUM<br>- ON A VERANDAH OR BALCONY ATTACHED TO THE CLASS 1, 4 WIM2 MAXIMUM<br>- IN A CLASS 1 BUILDING (GARAGE/SHED), SWIM2 MAXIMUM  |
| AIR LEAKAGE   | - IF USED, DOWNLIGHTS ARE TO BE SEALED (FITTED WITH SHROUDS)<br>- SELF SEALING EXHAUST FANS<br>- WINDOWS AND SLIDING DOORS ARE TO BE FITTED WITH WEATHER STRIP<br>- GAPS & CRACKS AROUND DOORS, WINDOWS AND SERVICE PENETRATIONS ARE SEALED |
| NOTES:<br>- THIS SUMMARY IS TO BE READ IN STRICT CONJUNCTION WITH THE ENERGY RATING REPORT PREPARED BY FRATER CONSULTING SERVICES |   |



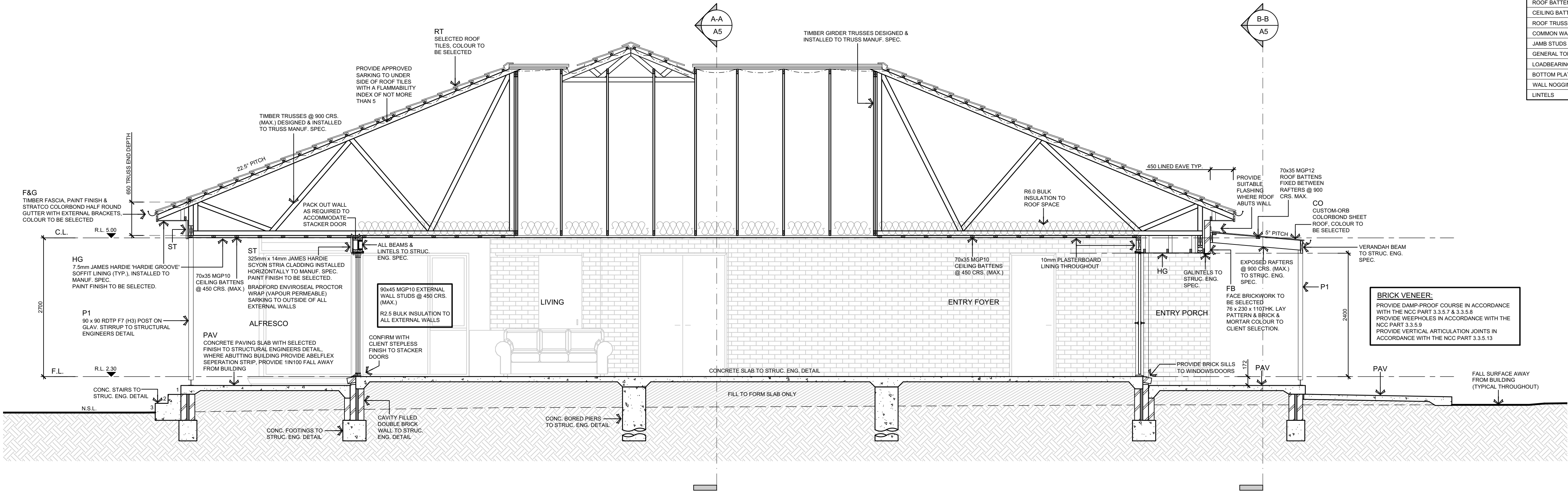




SECTION A-A  
SCALE - 1:50



SECTION B-B  
SCALE - 1:50



SECTION C-C  
SCALE - 1:50

**FLOOD PROTECTION NOTE:**  
IN ACCORDANCE WITH EAST GIPPSLAND CATCHMENT MANAGEMENT AUTHORITY ADVICE:  
THE GARAGE MUST BE CONSTRUCTED FROM FLOOD RESISTANT MATERIALS UP TO THE NOMINAL FLOOD PROTECTION LEVEL (NFL) OF 2.3 METRES AHD.  
ALL ELECTRICAL OUTLETS MUST BE FIXED ABOVE THE NOMINAL FLOOD PROTECTION LEVEL (NFL) OF 2.3 METRES AHD.

| TIMBER FRAMING SCHEDULE  |   |              |            |                       |
|--|---|--------------|------------|-----------------------|
| ALL TIMBER FRAMING, BRACING AND HOLD-DOWN DETAILS SHALL COMPLY WITH AS 1684 2010 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION MANUALS AND STRUCTURAL ENGINEERS SPECIFICATIONS. |   |              |            |                       |
| WIND CLASSIFICATION: N2<br>REFER STRUCTURAL ENGINEERING  | SOIL CLASSIFICATION: CLASS S<br>REFER SOIL REPORT |              |            |                       |
| ROOF CLADDING: SHEET   | ROOF PITCH: 22.5°, 5°                             |              |            |                       |
| DESCRIPTION  | SIZE mm W x H                                     | STRESS GRADE | CENTRES mm | MAX. HEIGHT / SPAN mm |
| ROOF BATTENS   | 70x35   | MGP12        | 900        | 900 SPAN              |
| CEILING BATTENS  | 70x35   | MGP10        | 450        | 900 SPAN              |
| ROOF TRUSSES   | REFER MANUF.                                      | MGP10        | 900        |                       |
| COMMON WALL STUDS  | 90x35   | MGP10        | 450        | 3000 HEIGHT MAX.      |
| JAMB STUDS   | 290x45  | MGP10        |            | 3000 HEIGHT MAX.      |
| LOADBEARING TOP PLATES   | 290x45  | MGP10        |            |                       |
| BOTTOM PLATES  | 90x45   | MGP10        |            |                       |
| WALL NOGGINGS  | 90x35   | MGP10        | 1350       |                       |
| LINTELS  | REFER STRUCTURAL ENGINEERS DRAWINGS               |              |            |                       |



| ENERGY RATING SUMMARY  |   |
|--|---|
| RATING<br>6.0 STARS  | CERTIFICATE NO.<br>HR-V40EC4-01   |
| TOTAL ENERGY<br>131.6 MJ/m <sup>2</sup>  | DATE<br>01/12/2023  |
| ACCREDITED ENERGY RATER<br>FRATER CONSULTING SERVICES 03 9691 9828<br>JACOB EDWARDS DMN/1611718                                  | SOFTWARE<br>Hero 3.1.0.6  |
| ASSESSOR'S REFERENCE<br>FCS 55969  |   |
| BUILDING ELEMENT   | SPECIFICATION   |
| FLOOR  |   |
| WALLS  | R2.5 MINIMUM ADDED WALL INSULATION WITH BRADFORD ENVIROSEAL PROCTOR WRAP (VAPOUR PERMEABLE) SARKING TO OUTSIDE OF ALL EXTERNAL WALLS INSULATION IN GARAGE OPTIONAL<br>R2.5 BULK INSULATION TO INTERNAL WALLS ABUTTING GARAGE & WET AREAS    |
| CEILINGS   | R8.0 MINIMUM ADDED CEILING INSULATION (GARAGE OPTIONAL)   |
| WINDOWS  | ALL WINDOWS TO BE ALUMINIUM FRAMED DOUBLE GLAZED, WITH MINIMUM VALUES AS LISTED:<br>AWNING: U-VALUE: 3.60 & SHGC 0.47<br>FIXED: U-VALUE: 3.60 & SHGC 0.54<br>SLIDING: U-VALUE: 3.60 & SHGC 0.54<br>HINGED: U-VALUE: 3.60 & SHGC 0.47        |
| WALL COLOUR  | MEDIUM TONING   |
| ROOF COLOUR  | MEDIUM TONING   |
| LIGHTING   | - IN A CLASS 1 BUILDING (WITHIN THE BUILDING), 5W/M <sup>2</sup> MAXIMUM<br>- ON A VERANDAH OR BALCONY ATTACHED TO THE CLASS 1.4 WM <sup>2</sup> MAXIMUM<br>- IN A CLASS 10 BUILDING (GARAGES/SHEDS) 30W/M <sup>2</sup> MAXIMUM             |
| AIR LEAKAGE  | - IF USED, DOWNLIGHTS ARE TO BE SEALED (FITTED WITH SHROUDS)<br>- SELF SEALING EXHAUST FANS<br>- WINDOWS AND SLIDING DOORS ARE TO BE FITTED WITH WEATHER-STRIP<br>- GAPS & CRACKS AROUND DOORS, WINDOWS AND SERVICE PENETRATIONS ARE SEALED |
| NOTES:-<br>THIS SUMMARY IS TO BE READ IN STRICT CONJUNCTION WITH THE ENERGY RATING REPORT PREPARED BY FRATER CONSULTING SERVICES |   |

**WARNING!**  
BEWARE OF UNDERGROUND SERVICES

THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL EXISTING UNDER GROUND SERVICES.



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SPROULE RESIDENCE  
77 ROADKNIGHT ST.  
LAKES ENTRANCE  
CLIENT SHANE & KERRY SPROULE  
JOB NO. 22810  
DATE 24/01/24  
DESIGNED BY CDP-AD 58137  
DRAWN BY FN  
DESCRIPTION SECTIONS  
ISSUE PLANNING  
SCALE 1:50  
DRAWING NO.