

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	48 Wrights Close MALLACOOTA 3892 Lot: 9 PS: 542291
The application is for a permit to:	Buildings and Works for a Dwelling
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2024.51.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ♦ **be made to the Responsible Authority in writing,**
- ♦ **include the reasons for the objection, and**
- ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to applicant giving notice
---	---

If you object, the Responsible Authority will tell you its decision.



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 11047 FOLIO 392

Security no : 124112352658Y
Produced 02/02/2024 03:58 PM

LAND DESCRIPTION

Lot 9 on Plan of Subdivision 542291M.
PARENT TITLE Volume 11006 Folio 541
Created by instrument PS542291M 07/01/2008

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS542291M FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AX502770D (E)	DISCHARGE OF MORTGAGE	Registered	30/11/2023
AX502771B (E)	TRANSFER	Registered	30/11/2023
AX502772Y (E)	MORTGAGE	Registered	30/11/2023

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 48 WRIGHTS CLOSE MALLACOOTA VIC 3892

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END



Imaged Document Cover Sheet

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Document Identification	PS542291M
Number of Pages (excluding this cover sheet)	2
Document Assembled	02/02/2024 15:58

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PLAN OF SUBDIVISION		STAGE No.	LTO USE ONLY	PLAN NUMBER	
			EDITION 1	PS 542290M	
LOCATION OF LAND		COUNCIL CERTIFICATION AND ENDORSEMENT			
PARISH: MALLACOOTA		COUNCIL NAME: EAST GIPPSLAND SHIRE COUNCIL REF: 163/2006/CRT			
TOWNSHIP: _____		1. This plan is certified under Section 6 of the Subdivision Act 1988.			
SECTION: _____		2. This plan is certified under Section 11(7) of the Subdivision Act 1988.			
CROWN ALLOTMENT: 27 ^B (PART)		Date of original certification under Section 6 3 / 4 / 2007			
CROWN PORTION: _____		3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.			
TITLE REFERENCES: VOL FOL		OPEN SPACE			
LAST PLAN REFERENCE: LOT A - PS542290P		(i) A requirement for public open space under Section 18 Subdivision Act 1988 has / has not been made.			
POSTAL ADDRESS: WRIGHTS CLOSE, MALLACOOTA, 3892		(ii) The requirement has been satisfied.			
MGA 84 CO-ORDINATES: E 741 700 N 5840 870 ZONE: 55		(iii) The requirement is to be satisfied in stage			
		Council Delegate			
		Council seal			
		Date / /			
		Re-certified under Section 11(7) of the Subdivision Act 1988			
		Council Delegate			
		Council seal			
		Date 5 / 6 / 2007			
VESTING OF ROADS AND/OR RESERVES					
IDENTIFIER	COUNCIL/BODY/PERSON				
RI ROAD RESERVE No. 1	EAST GIPPSLAND SHIRE COUNCIL EAST GIPPSLAND SHIRE COUNCIL				
		NOTATIONS			
		STAGING This is / is not a staged subdivision Planning Permit No 324/2004/P			
		DEPTH LIMITATION 15.24 METRES BELOW THE SURFACE			
LOTS 1 TO 4 INCLUSIVE & 14 TO 18 INCLUSIVE HAVE BEEN OMITTED FROM THIS PLAN LOT A CONSISTS OF 2 PIECES					
SURVEY: THIS PLAN IS / IS NOT BASED ON SURVEY THIS SURVEY IS CONNECTED TO PERMANENT MARK No(s)					
EASEMENT INFORMATION					
LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)					
RECEIVED <input checked="" type="checkbox"/>					
DATE 4 / 01 / 08					
LTO USE ONLY					
STATEMENT OF COMPLIANCE / EXEMPTION STATEMENT					
TIME 9:44 am					
DATE 7 / 01 / 08					
ORSK Assistant Registrar of Titles					
SHEET 1 OF 2 SHEETS					
Crownther & Sadler Pty. Ltd. LICENSED SURVEYORS & TOWN PLANNERS 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875 TELEPHONE (03) 5162 5011		LICENSED SURVEYOR PAUL ANTHONY DWYER SIGNATURE DATE 15 / 5 / 07 REF 11621 VERSION 7			Printed 5/03/2024 DATE 5 / 6 / 2007 COUNCIL DELEGATE SIGNATURE ORIGINAL SHEET SIZE A3

DATE 5/6/07
COUNCIL DELEGATE SIGNATURE

LICENSED SURVEYOR PAUL ANTHONY DWYER
SIGNATURE DATE 15/5/67
REF 11621 VERSION 7

ORIGINAL	SHEET SIZE
SCALE	A3

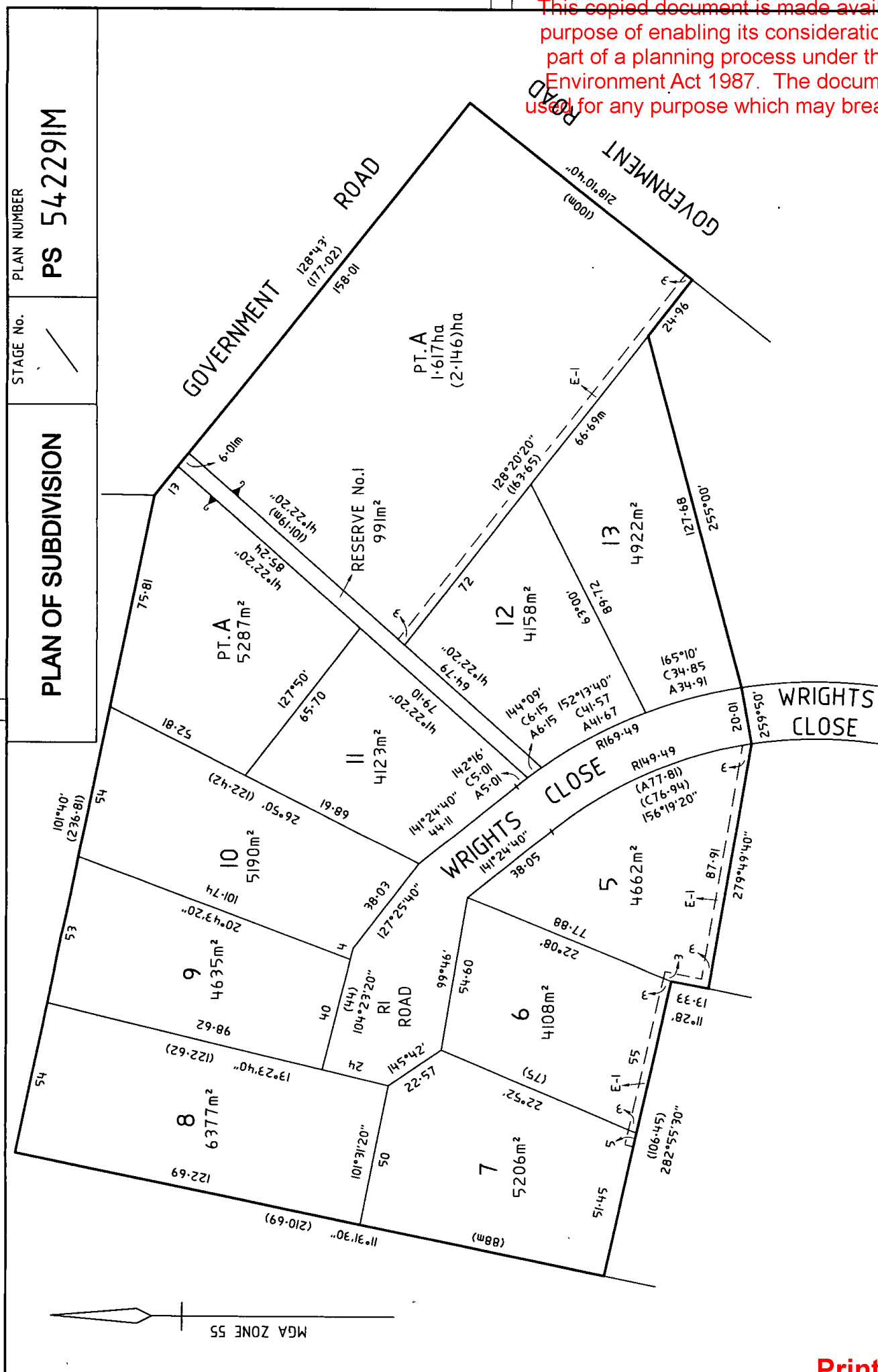
SCALE

12.5 0 12.5 25 37.5 50 62.5

LENGTHS ARE IN METRES

- Growthner & Sadler Pty. Ltd.
LICENSED SURVEYORS & TOWN PLANNERS
 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875
 TELEPHONE (03) 5162 5011

Printed 5/03/2024
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APPLICATION FOR PLANNING PERMIT

DEVELOPMENT OF A DWELLING

48 WRIGHTS CLOSE, MALLACOOTA

BEN SIMPSON

REF: 23136

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APPENDIX

A	Copy of Title and Plan of Subdivision
B	Proposed Development Plans
C	Bushfire Management Report

DOCUMENT REVISION

1	Draft Report	DAC	06/02/2024
2	Final Report	CMC	12/02/2024



1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of Ben Simpson, the owner of land and the applicant for this planning permit application for the development of a dwelling at 48 Wrights Close, Mallacoota.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

Address	48 Wrights Close, Mallacoota
Site Description	Lot 9 on Plan of Subdivision 542291M
Title Particulars	Vol 11047 Fol 392
Site Area	4,635m ²
Proposal	Development of a Dwelling
Planning Scheme	East Gippsland Planning Scheme
Zone	Low Density Residential Zone
Overlays	Bushfire Management Overlay Design and Development Overlay – Schedule 12 Vegetation Protection Overlay – Schedule 8
Aboriginal Cultural Heritage	Identified as an area of Cultural Heritage Sensitivity
Permit Triggers	Clause 44.06 Bushfire Management Overlay – Permit Requirement Clause 43.02 Design and Development Overlay – Permit Requirement
Notice	Exempt from notice at Clause 44.06-7
Referrals	CFA
Work Authority Licence	Not Applicable
Planning Scheme requirements	Municipal Planning Strategy – Clause 02 Settlement – Coastal settlements – Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Planning Policy Framework – Clause 10 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Bushfire Planning – Clause 13.02-1S Built environment and heritage – Clause 15 Housing – Clause 16 Design and Development Overlay - Clause 43.02 Bushfire Management Overlay – Clause 44.01 Decision guidelines – Clause 65

2. SITE CONTEXT

Site

The subject site is located at 48 Wrights Close, Mallacoota. A copy of the Title and Plan of Subdivision is contained in **Appendix A**.

The site is regular in shape with a total area of approximately 4,635m² and contains an existing portable dwelling and shipping containers. The portable dwelling and shipping containers will be removed prior to construction of the proposed dwelling.

The site is relatively flat in nature and contains some scattered vegetation, mostly on boundaries. Details of the site are depicted in the photographs provided below.

Access to the subject site is existing via a gravel driveway along the southern boundary connecting directly to Wrights Close. Wrights Close is a bitumen sealed road with informal grass verges and a footpath along the northern side, traversing in an east to west direction.

The subject site in relation to Mallacoota as well as the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2**.



Figure 1 – Locality Plan – 48 Wrights Close, Mallacoota (source: mapshare.vic.gov.au)

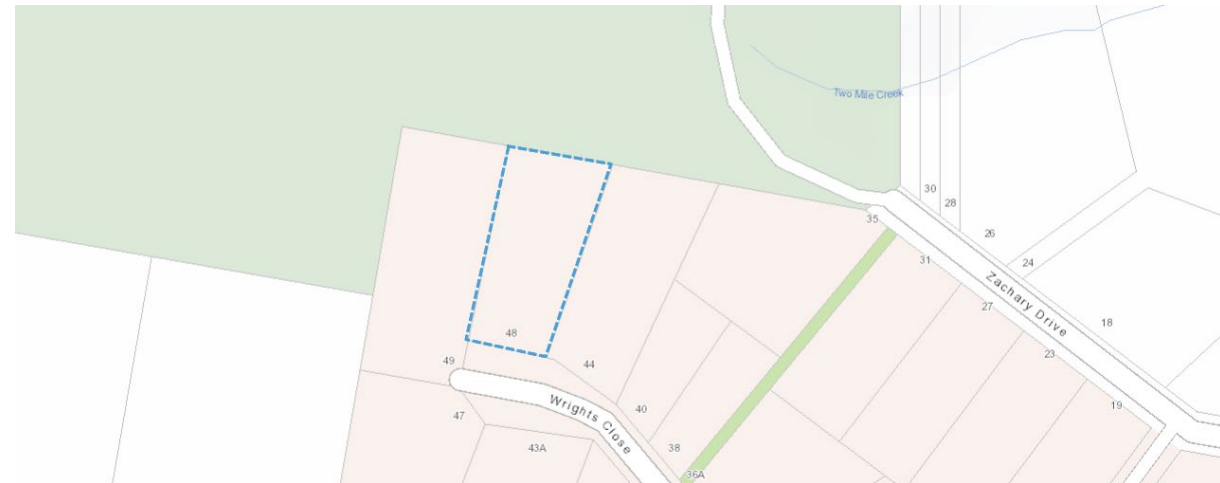


Figure 2 – Locality Plan – 48 Wrights Close, Mallacoota (source: mapshare.vic.gov.au)

Surrounds

The land in this locality is public land and land developed with low density residential development.

Adjoining the northern boundary of the subject site is public land (Public Conservation and Resource Zone) containing dense vegetation, adjoining the eastern and western boundaries is land containing residential dwellings and associated facilities and adjoining the southern boundary is Wrights Close and further residential development.

The site is located northwest of the central business district of Mallacoota.

Mallacoota is a small seaside holiday town located 143.7 kilometres east of Orbost in the far eastern area of the East Gippsland Shire. Mallacoota has a suitable level of community and commercial services and facilities to support the existing residential component.

The subject site in relation to Mallacoota is shown in the aerial photograph below.



Photograph 1 – Aerial Photograph of the subject site and surrounding land
 – 48 Wrights Close Mallacoota (source: dpi.vic.gov.au)
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Photograph 2 – Subject site at 48 Wrights Close, Mallacoota.



Photograph 4 – Existing temporary dwelling on subject site facing north-west along the eastern boundary.



Photograph 6 – Existing shed and containers facing south-west.



Photograph 3 – Existing driveway access to subject site.



Photograph 5 – Existing shed and greenhouse on subject site facing south-east showing proposed dwelling location.



Photograph 7 – Subject site facing west along northern boundary showing proposed dwelling location.



Photograph 8 – Subject site facing north along western boundary showing existing containers, shed and greenhouse.



Photograph 10 – Subject site facing south from northern boundary.



Photograph 12 – Subject site facing west along northern boundary showing existing greenhouse and proposed dwelling location.



Photograph 9 – Subject site facing east towards dwelling at 44 Wrights Close, Mallacoota.



Photograph 11 – Subject site facing west towards dwelling at 49 Wrights Close, Mallacoota.



Photograph 13 – Property to the east of the subject land at 44 Wrights Close, Mallacoota.



Photograph 14 – Property to the west of the subject land at 49 Wrights Close, Mallacoota.



Photograph 16 – Wrights Close to the south of the subject land and property at 43A Wrights Close Mallacoota.



Photograph 18 – Wrights Close facing south-east.



Photograph 15 – Wrights Close to the south of the subject land and property at 47 Wrights Close Mallacoota.



Photograph 17 – Wrights Close court bowl facing west.

3. THE PROPOSAL

This application seeks approval for development of a dwelling. The proposed development plans are contained in **Appendix B**.

The proposed dwelling will be located in the northern portion of the subject site and will have a setback of approximately 25 metres to the northern boundary, 7.8 metres to the eastern boundary, 59.47 metres to the southern boundary being Wrights Close and 9.3 metres to the western boundary.

It is noted the existing portable dwelling and shipping containers on site will be removed prior to construction of the proposed dwelling.

The total building footprint will be approximately 480m² including the garage and carport. The overall height of the proposed dwelling is 5.2 metres.

The finished materials of the proposed dwelling including the garage and carport will include Colorbond cladding and roof sheeting in the Colorbond colour Monument. A visual description of the proposed colour is provided to the right.

Vehicle access to the site is existing via a gravel driveway entering from the southern boundary directly from Wrights Close. The existing driveway will be extended to the location of the proposed dwelling and include an 8 metre radius turning circle.

The proposal will connect to all available services including reticulated water, sewerage, electricity, telecommunications and the existing road network.

No vegetation removal will be required to facilitate the proposed dwelling and no extensive earthworks that will exceed 1 metre in depth are required.



Figure 3 – Floor plan – A1 Building Design and Drafting

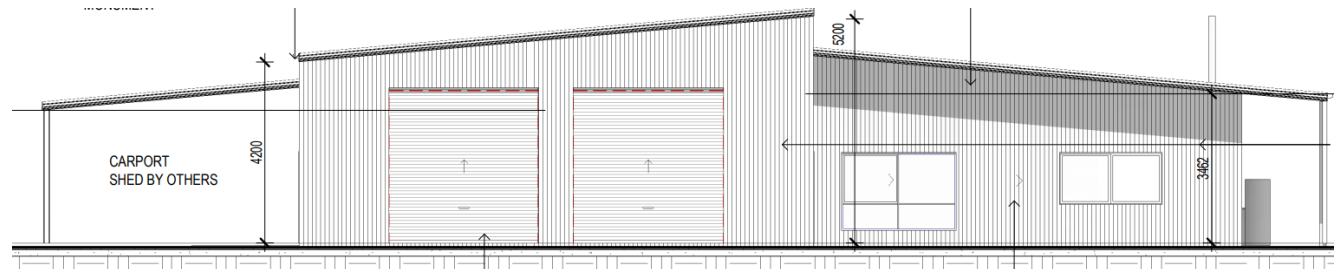


Figure 4 – South elevation – A1 Building Design and Drafting

4. ZONES AND OVERLAYS

Low Density Residential Zone

The purpose of the Low Density Residential Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for low-density residential development on lots which, in the absence of reticulated sewerage, can treat and retain all wastewater.

An extract of the Low Density Residential Zone map is provided to the right in **Figure 5**.

Clause 32.03-2 provides a permit is not required to develop land with a dwelling provided all of the conditions set out in Clause 32.03-2 are met. The proposed dwelling meets all of the requirements and as such a planning permit is not required under the provisions of the Low Density Residential Zone. This is not addressed further.

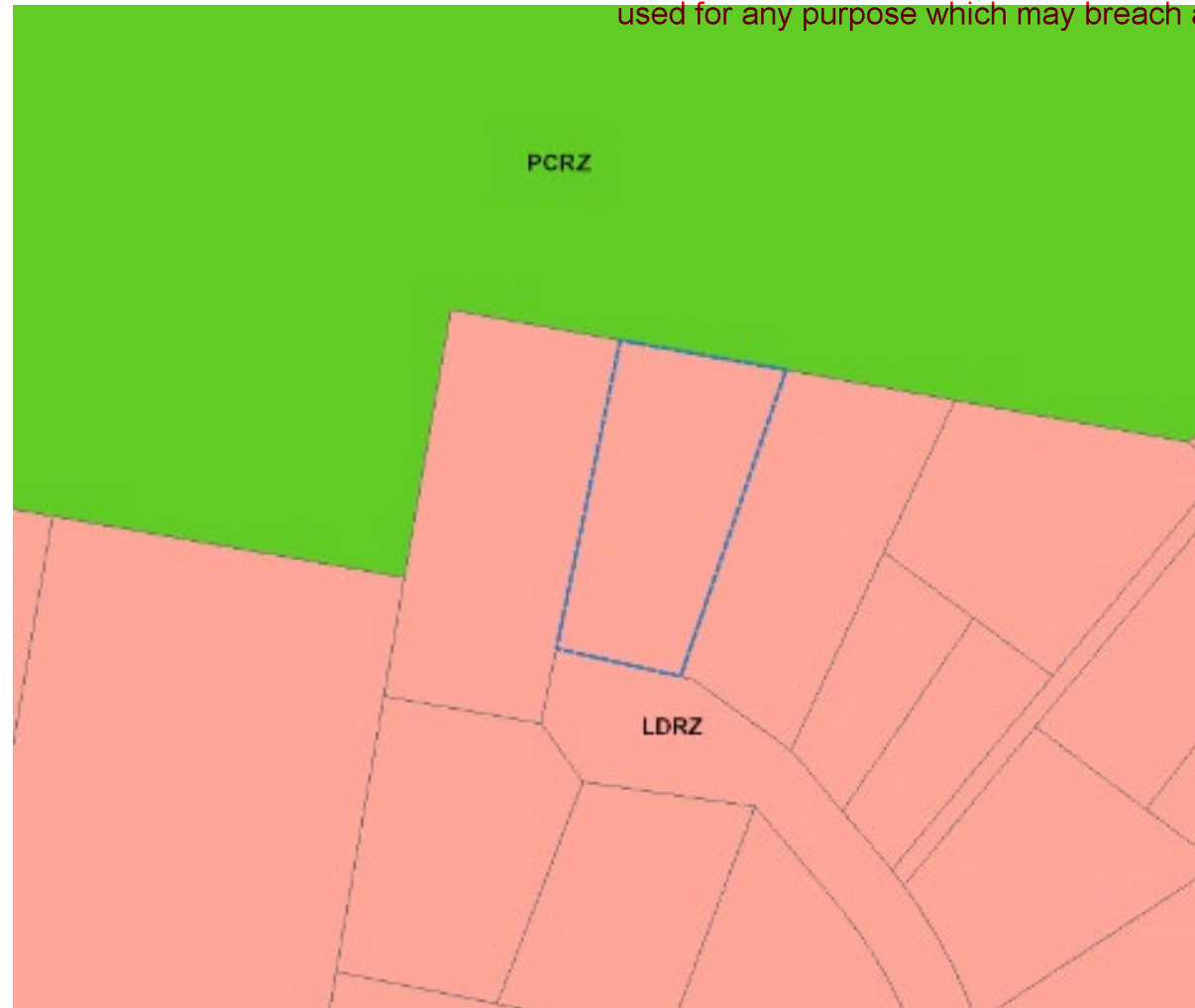


Figure 5 – Low Density Residential Zone – (source - mapshare.vic.gov.au)

Bushfire Management Overlay

The purpose of the Bushfire Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
- To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.
- To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

An extract of the Bushfire Management Overlay map is provided to the right in **Figure 6**.

Clause 44.06-2 provides a permit is required to construct a building or construct or carry out works associated with accommodation.

Clause 44.06-4 provides an application must meet the requirements of Clause 53.02 unless the application meets all of the requirements specified in a schedule to this overlay.

A schedule to this overlay must specify substitute approved measures, additional alternative measures and additional or substitute decision guidelines for the purposes of Clause 53.02. There is no schedule applicable to the subject site.

The proposed dwelling requires planning approval under the provisions of the Bushfire Management Overlay and Clause 53.02-3.1 and as such the relevant decision guidelines are addressed below in Section 5. A Bushfire Management Report is contained in **Appendix C**.



Figure 6 – Bushfire Management Overlay – (source - mapshare.vic.gov.au)

Design and Development Overlay – Schedule 12

The purpose of the Design and Development Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

An extract of the Design and Development Overlay map is provided to the right in **Figure 7**.

Clause 43.02-2 – Buildings and works provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is required for a building height greater than 7.5 metres, for a development where the slope of land exceeds 15 percent and where the total building footprint is greater than 300m².

The proposed dwelling will not exceed the height or the slope of the land however the total building footprint will exceed 300m² and as such a permit is required. The relevant decision guidelines are addressed in Section 5 of this submission.

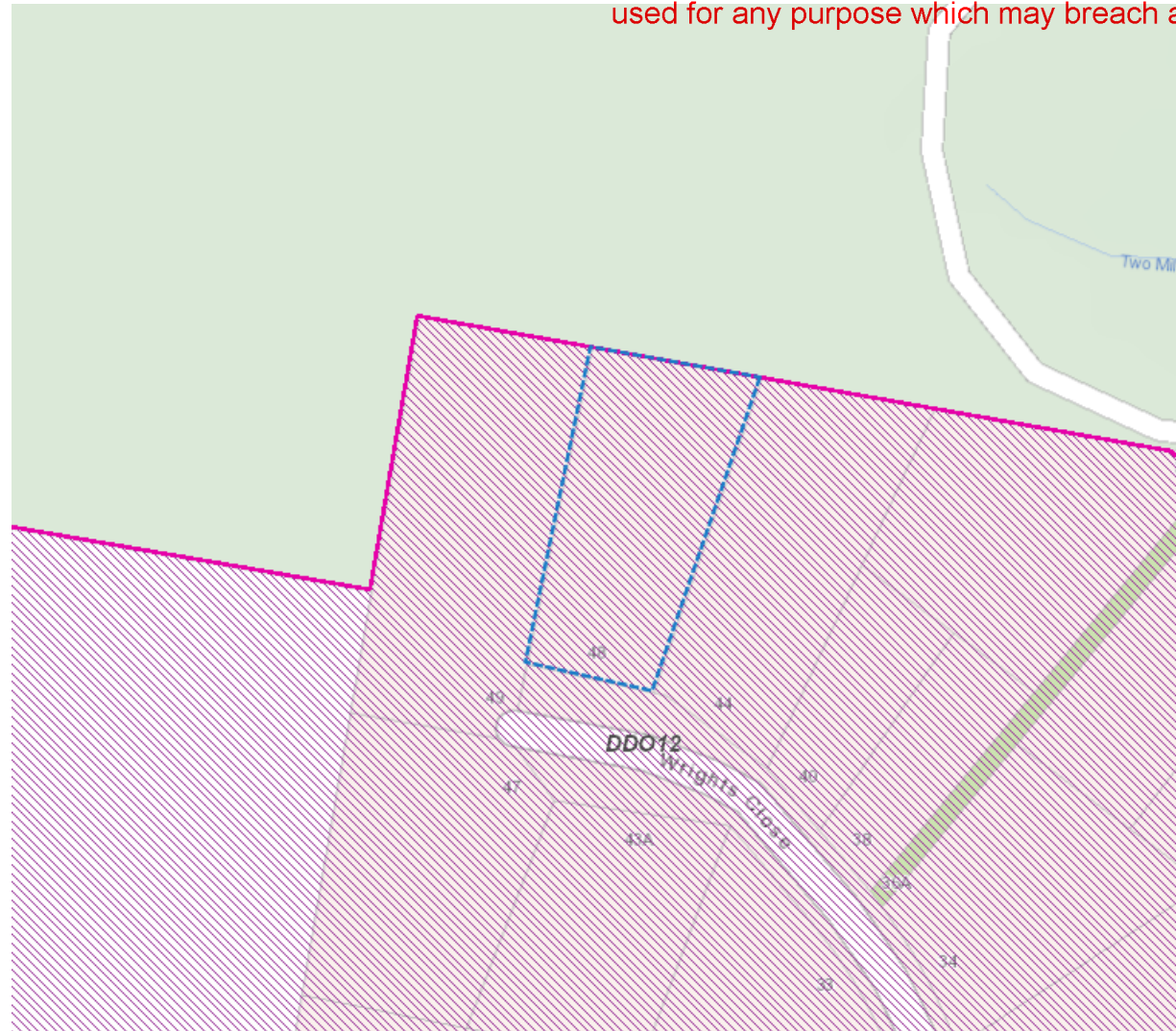


Figure 7 – Design and Development Overlay Schedule 12 – (source - mapshare.vic.gov.au)

Design and Development Overlay – Schedule 12 continued:

Schedule 12 to the Design and Development Overlay relates to Residential Development in Coastal Settlements: Mallacoota and contains the following design objectives:

All areas

- To protect and manage the township character of coastal settlements.
- To ensure that the height and visual bulk of new development is compatible with the coastal neighbourhood setting.
- To ensure that new development is designed to minimise visual impacts on the natural landscape.
- To ensure that new development is visually and physically integrated with the site and surrounding landscape.
- To ensure that new development is sited and designed to be visually unobtrusive through and above the surroundings tree canopy when viewed from nearby streets, lakes, coastal areas, or other distant viewpoints.
- To protect the vegetated character of the landscape, particularly where it is a dominant visual and environmental feature.

- To conserve and enhance views to the Inlet from public places in the town centre character area.

The subject site is not within a character zone area. An extract of the character zones from the Mallacoota Urban Design Framework is provided below at **Figure 8**.

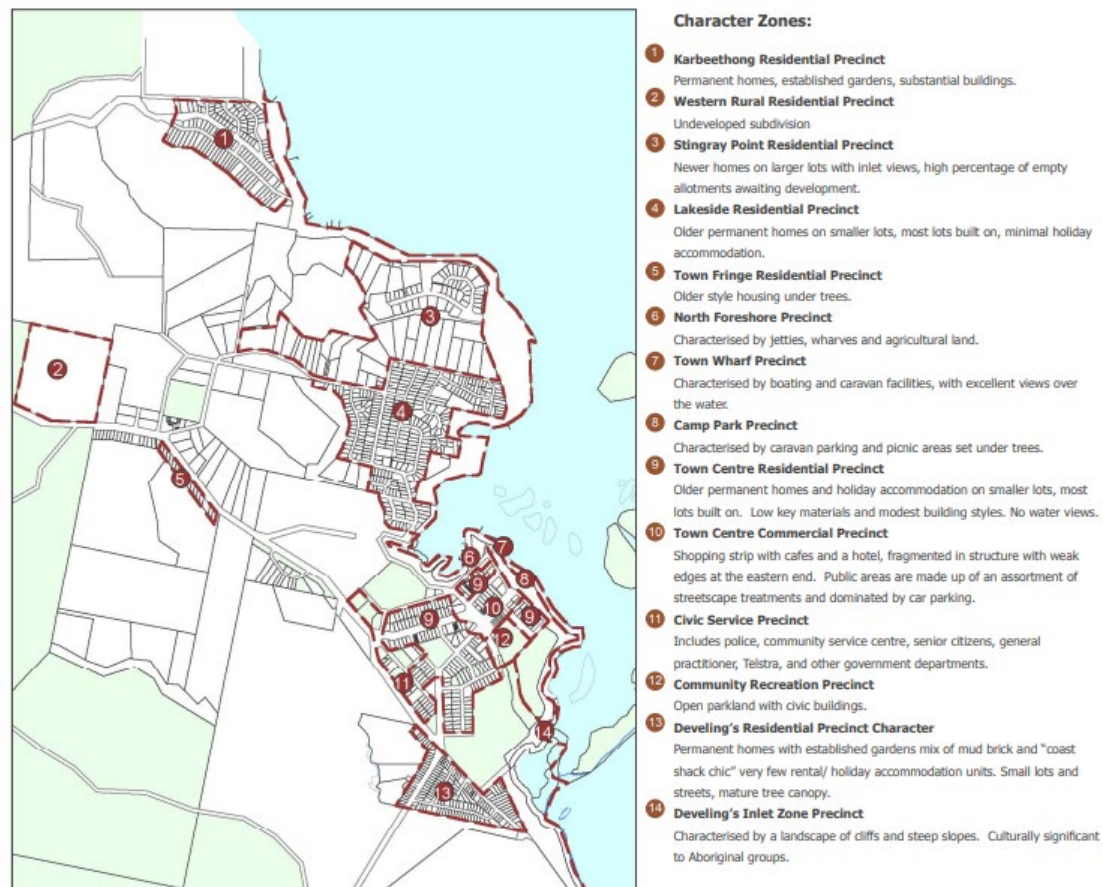


Figure 8 – Extract – Character Zones – Mallacoota Urban Design Framework –

(source - eastgippsland.vic.gov.au)

Vegetation Protection Overlay – Schedule 8

The purpose of the Vegetation Protection Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas of significant vegetation.
- To ensure that development minimises loss of vegetation.
- To preserve existing trees and other vegetation.
- To recognise vegetation protection areas as locations of special significance, natural beauty, interest and importance.
- To maintain and enhance habitat and habitat corridors for indigenous fauna.
- To encourage the regeneration of native vegetation.

An extract of the Vegetation Protection Overlay Map is provided to the right in **Figure 9**.

The proposal is not seeking to remove, destroy or lop any vegetation. As such a permit is not required under the provisions of the Vegetation Protection Overlay. This is not addressed further.

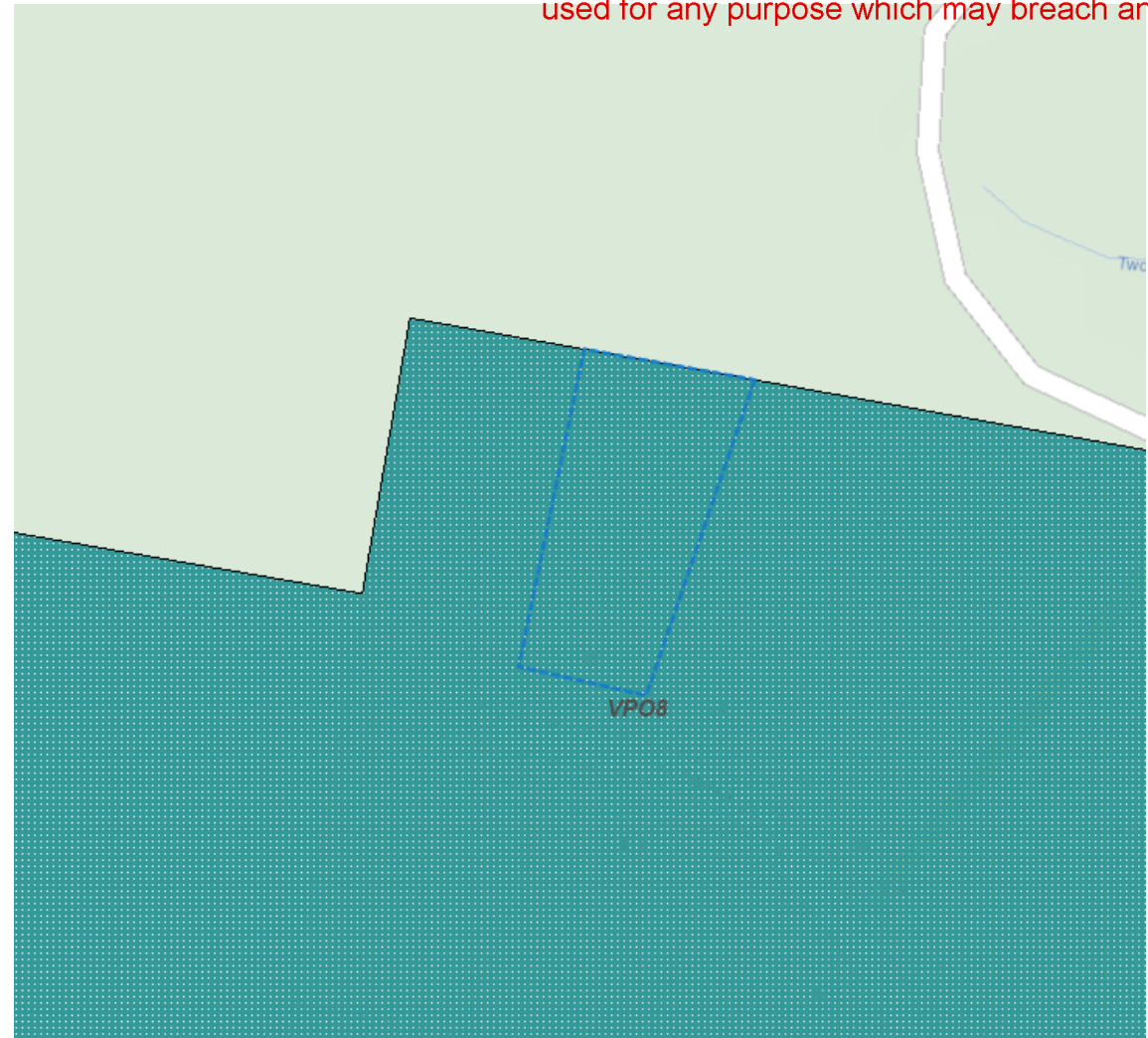


Figure 9 – Vegetation Protection Overlay – (source - mapshare.vic.gov.au)

Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is recognised as being within an area of Aboriginal Cultural Heritage Sensitivity.

The proposed development of a dwelling is an exempt activity and as such a Cultural Heritage Management Plan is not required.

An extract of the Aboriginal Cultural Heritage map is provided to the right in **Figure 10**.

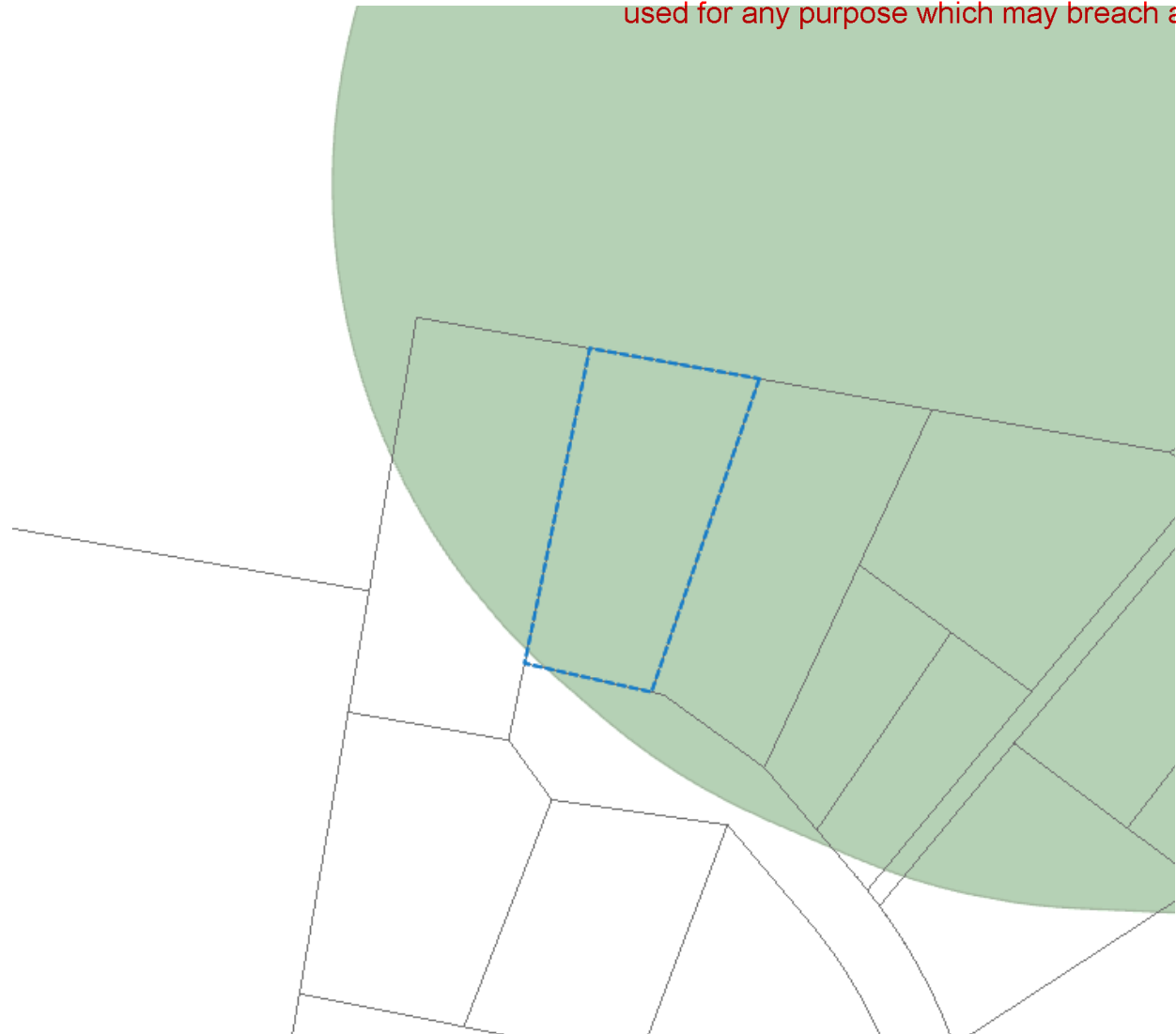


Figure 10 – Aboriginal Cultural Heritage Map – (source - mapshare.vic.gov.au)

5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate residential dwelling that can be respectful of the existing surrounding development and the environment.
- The proposal will contribute to a high standard of environmental sustainability, urban design and amenity by designing the dwelling to meet the constraints of the land reducing any potential negative environmental implications as sought to achieve by the relevant clauses including **Clause 02.03** and **Clause 11**.
- **Clause 02.03-1** identifies Mallacoota as a coastal settlement. Mallacoota, in the far east of the Shire, is a very popular holiday location and a retirement area, a base for eco-tourism and the centre of the abalone industry in eastern Victoria.
- The proposed dwelling will connect to all available services and infrastructure including reticulated water, sewerage, electricity, telecommunications and a good quality road network.
- The proposal meets the objectives of **Clause 16** by providing for a new dwelling within an existing, mostly developed low density residential area that will in turn support housing for the community.
- **Clauses 02.03-3, 13.01-15** and **44.06-8** requires consideration of bushfire hazards and implications as a result of any proposed development. A Bushfire Management Report is provided in **Appendix C** which concludes the subject site can achieve a BAL 29 rating. All approved bushfire protection measures have been incorporated into the proposal including appropriate access with an 8 metre diameter turning circle appropriate for emergency service vehicles, defensible space to a distance of 50 metres around the dwelling or to the property boundaries, whichever is lesser and a 10,000 litre water tank dedicated for CFA purposes. **Clause 44.06-4** provides the application must meet the requirements of **Clause 53.02**. All of the approved measures set out in Clause 53.02-3 have been incorporated into the proposal and it is concluded the risks associated with bushfire can be reduced to an acceptable level.
- The proposal is consistent with the decision guidelines of the Design and Development Overlay at **Clause 43.02-6** which seeks to identify areas which are affected by specific requirements relating to the design and built form of new development.
- The proposed dwelling will result in an appropriate development that will be used for residential purposes. The proposed development will be located in the northern portion of the site and will have appropriate setbacks from the boundaries.
- The subject site and proposed development is well setback from the nearby waterway to the east being Mallacoota Inlet. The proposed development is unlikely to be visible from the water due to the existing surrounding development and the topography of the area.
- The proposed colour of the dwelling has been selected to ensure the development is not visually obtrusive and will be well integrated with the surrounding development and environment. The proposed colour is low reflective and muted in toning. A visual description of the proposed colour is provided in Section 3 of this submission.
- The area contains dwellings and associated buildings of various styles and heights.
- **Schedule 11** refers to residential development in coastal settlements.

- The application is seeking approval for the development of a dwelling. The roof form of the proposed development will be below the prevailing tree canopy. No additional planting is proposed particularly given the risks associated with bushfire existing on the site. Some earthworks will be required to create a level building surface, however, will be minimal and not exceed 1 metre in depth. No vegetation is required to be removed to facilitate the proposed dwelling.
- This submission has addressed the decision guidelines of **Clause 65**, and the proposed development supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
- Access to the site is existing and will be extended to include an eight metre radius turning circle to accommodate emergency service vehicles as indicated on the proposed development plans. There will be no negative impact on the existing road network. The increased traffic as a result of the proposal is unlikely to generate any negative impact on the existing road network.
- The site is identified as being susceptible to bushfire hazards. A Bushfire Management Report is contained in **Appendix C** that concludes the risks associated with bushfire can be reduced to an acceptable level.
- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.

6. CONCLUSION

This submission is in support of a planning permit application for the development of a dwelling at 48 Wrights Close, Mallacoota.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed development is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Design and Development Overlay and the Bushfire Management Overlay.
- The hazards associated with bushfire can be reduced to an acceptable level.
- The design of the building is complementary to the existing surrounding development and is consistent with the character of the area.

It is requested that a planning permit be granted for this development.

Development Solutions Victoria

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Bushfire Planning Report Version No.1 (Including Bushfire Management Statement)

Lot 9 PS542291
48 Wrights Close, Mallacoota 3892
January 26th, 2024.

Euca Planning Pty Ltd

PO Box 570, Warragul 3820.

Phone: 0418 597 662 Email: info@eucaplanning.com.au

Director & Principal Consultant: Deanne Smith

Qualifications/Accreditations:

- Masters of Planning (Professional) – Deakin University
- Postgraduate Diploma in Bushfire Planning and Management – The University of Melbourne (2017)
- Graduate Diploma of Applied Science (Agricultural Studies) – Charles Sturt University
- Graduate Certificate in Public Sector Management – Flinders University
 - Bachelor of Science – University of Melbourne (1996)
- Memberships
 - Member of Planning Institute of Australia (MPIA)
- Corporate Bronze Member of Fire Protection Association of Australia

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Requirements detailed in this document do not guarantee survival of the buildings or the occupants. The client is strongly encouraged to develop and practice a bushfire survival plan.

Information and assistance including a template for a Bushfire Survival Plan is provided as part of the 'Fire Ready Kit' available through the CFA website at www.cfa.vic.gov.au or through your local CFA Regional office.

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Version Control

	Name	Date Completed	Comments
Field Assessment	Courtney Campbell	17 January 2024	
Mapping	Kelly Hedley	23 January 2024	
Draft	Frances Granada	18 January 2024	
Draft Report	Kelly Hedley	23 January 2024	
Final	Deanne Smith	26 January 2024	

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Executive Summary

This report has been prepared to accompany a planning permit application for a new dwelling at 48 Wrights Close, Mallacoota. The site is within the Bushfire Management Overlay (BMO) and is required to demonstrate that the development has regard for the surrounding bushfire hazards.

This report presents a comprehensive assessment of the hazards and suggests mitigation measures to improve the protection of life and property for the new dwelling at 48 Wrights Close, Mallacoota. The site is within the Low Density Residential Zone (LDRZ) and as such can elect to undertake a Pathway 1 application to meet the objectives and approval measures of Clause 53.02 of the East Gippsland Shire Planning Scheme.

This report includes the following components:

- A **Clause 13.02-1S assessment** considering the intent of the East Gippsland Shire Planning Scheme.
- A **Bushfire Hazard Site Assessment** considering localised hazards, defensible space and the bushfire attack level.
- A **Bushfire Management Statement** detailing the design response to the relevant approval measures in Clause 53.02 from the East Gippsland Shire Planning Scheme.
- The **Bushfire Management Plan** that responds to the site and the proposed development, including the standard CFA permit conditions.

The development site is located in the township area of the Mallacoota. The proposed development is on a lot that is vacant. The immediate surrounds of the development area can be classified as forest and low threat vegetation. The Bushfire Management Statement demonstrates that the defensible space objectives can be met for a site classification with a BAL of 29. Water supply will be provided; and access for emergency services vehicles will be available from Wrights Close.

Due to the proximity to the forest the proposed development is expected to be affected by moderate level of ember attack and moderate radiant heat in the event of a bushfire. Achieving a separation of Column C and BAL of 29 is deemed appropriate considering the distance that can be established from the vegetation. The siting of the proposal achieves the best separation from the hazard providing flexibility in how the front of the lot is used in the future.

The site can meet the approval measures within Clause 53.02 for a separation from the hazard of Column C, BAL of 29 based on an FFDI of 100 and a flame temperature of 1090K.

1.0 Introduction

This Bushfire Planning Report has been prepared to enable the applicant to respond to the requirements of Clause 44.06 Bushfire Management Overlay (BMO) (known from this point on as Clause 44.06), and in accordance with the application requirements of Clause 53.02 – Bushfire Protection: Planning Requirements (known from this point on as 53.02).

The statement contains these components:

- A **Clause 13.02-1S assessment** considering the intent of the East Gippsland Shire Planning Scheme.
- A **bushfire hazard site assessment** including a plan that describes the bushfire hazard within 150 metres of the proposed development. The description of the hazard has been prepared in accordance with Section 2.2.3 to 2.2.5 of *AS3959:2018 Construction of buildings in bushfire prone areas (Standards Australia)* and is supported by photographs to assist in describing the bushfire hazard.
- A **bushfire management statement (BMS)** describing how the proposed development responds to the requirements of Clause 44.06 and 53.02.
- A **bushfire management plan (BMP)** that responds to the site and the proposed development, including the standard CFA permit conditions.

1.1 Application Details

Municipality	East Gippsland Shire Council
Title description	Lot 9 PS542291
Overlays	Bushfire Management Overlay (BMO) Design and Development Overlay – Schedule 12 (DDO12) Vegetation Protection Overlay – Schedule 8 (VPO8)
Zoning	Low Density Residential Zone (LDRZ)

1.2 Site Description

Site shape	Irregular rectangular
Site Dimensions	The property has a road frontage to Wrights Close of approximately 40 metres, and a property depth of approximately 98.62 metres and 101.74 metres.
Site area	Approximately 4635m ²
Existing use and siting of buildings and works on and near the land	Vacant site
Existing vehicle arrangements	From Wrights Close
Nearest fire hydrant	Not applicable
Private bushfire shelter	Not proposed
Any other site features relevant to bushfire risk	Forest abutting northern boundary and extending to the immediate and surrounding area associated with Croajingolong National Park and Mallacoota State Forest and modified vegetation in the greater landscape associated with rural residential living.

1.3 Site Location

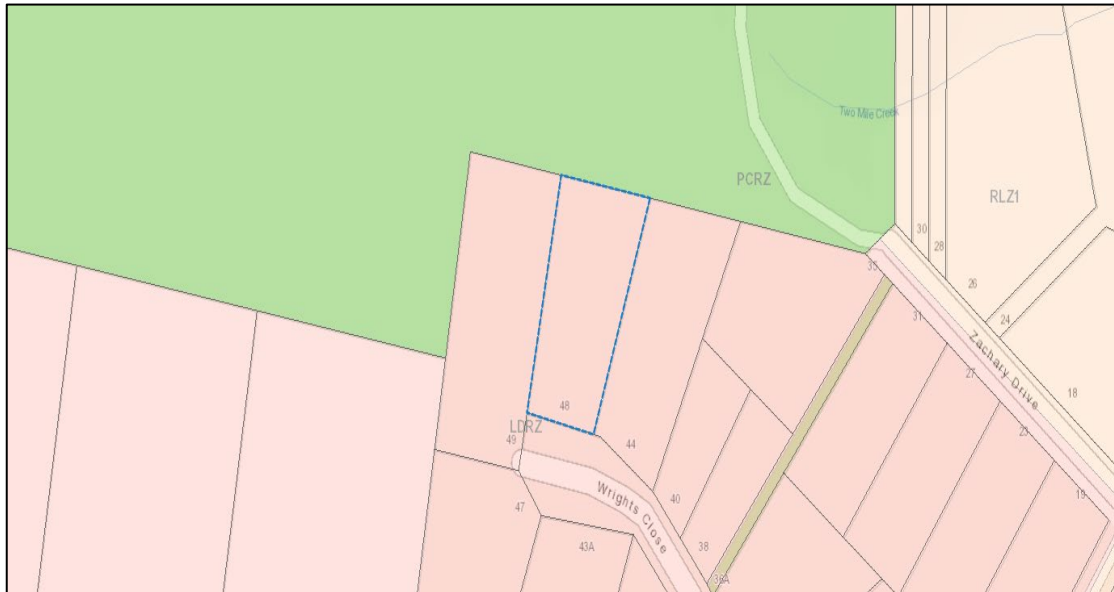


Figure One – The property of 48 Wrights Close Mallacoota is within the blue dotted lines (VicPlan, 2024).

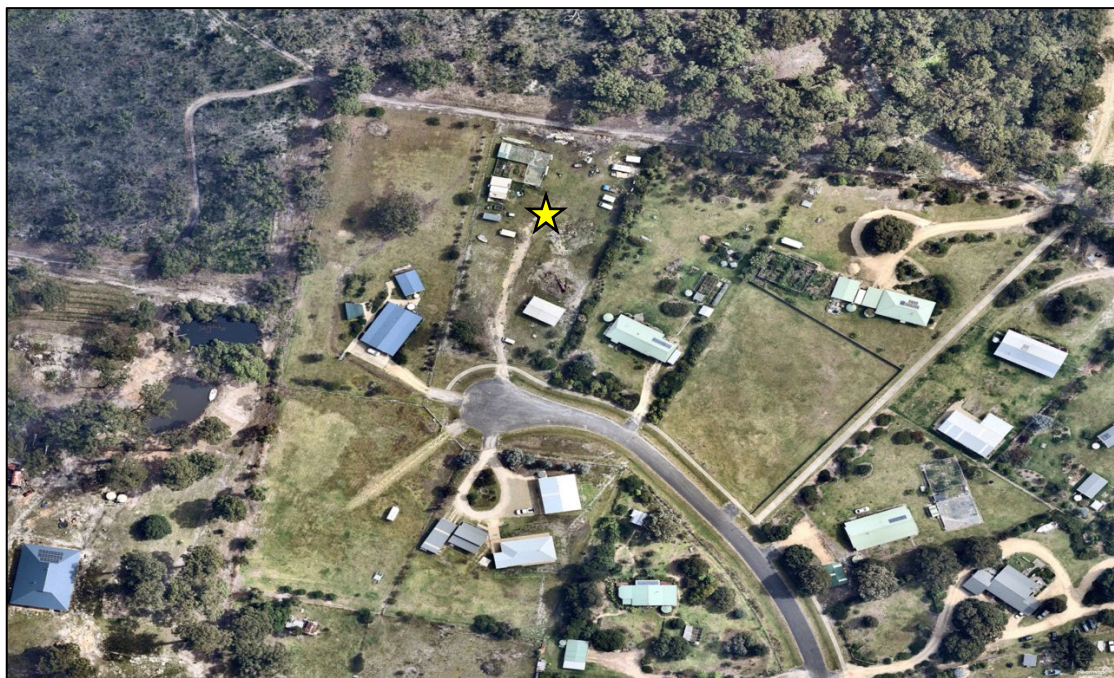


Figure Two – 48 Wrights Close Mallacoota (Near Maps, 2024).

2.0 Planning Policy Framework

2.1 Planning Policy Framework

Clause 71.02-3 (integrated decision making) of the Planning Scheme has been recently amended and provides that:

Planning authorities and responsible authorities should endeavour to integrate the range

of policies relevant to the issues to be determined and balance conflicting objectives in favour of net community benefit and sustainable development for the benefit of present and future generations. However, in bushfire affected areas, planning authorities and responsible authorities must prioritise the protection of human life over all other policy considerations.

Clause 13.02-1S (Bushfire) of the Planning Scheme applies to all decision making and seeks to:

*To strengthen the resilience of settlements and communities to bushfire through **risk-based planning** that prioritises the protection of human life.*

[Emphasis added]

Clause 13.02-1S includes a number of strategies to achieve that objective. Broadly these strategies include:

- prioritising the protection of human life;
- requiring a robust assessment of the bushfire hazard and risk assessment before any strategic or statutory decision is made; and
- directing population growth and new settlements to low risk locations.

Importantly in relation to the protection of human life, clause 13.02-1S includes the following requirements:

Give priority to the protection of human life by:

- *Prioritising the protection of human life over all other policy considerations.*
- *Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.*
- *Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision-making at all stages of the planning process.*

In relation to Bushfire hazard identification and assessment, clause 13.02-1S includes the following relevant requirements:

Identify bushfire hazard and undertake appropriate risk assessment by:

- *Applying the best available science to identify vegetation, topographic and climatic conditions that create a bushfire hazard.*
- *Considering the best available information about bushfire hazard including the map of designated bushfire prone areas prepared under the Building Act 1993 or regulations made under that Act.*
- *Considering and assessing the bushfire hazard on the basis of:*
 - *Landscape conditions - meaning conditions in the landscape within 20 kilometres (and potentially up to 75 kilometres) of a site;*

- *Local conditions - meaning conditions in the area within approximately 1 kilometre of a site;*
- *Neighbourhood conditions – meaning conditions in the area within 400 metres of a site; and*
- *The site for the development.*
- *Consulting with emergency management agencies and the relevant fire authority early in the process to receive their recommendations and implement appropriate bushfire protection measures.*
- *Ensuring that strategic planning documents, planning scheme amendments, planning permit applications and development plan approvals properly assess bushfire risk and include appropriate bushfire protection measures.*
- *Not approving development where a landowner or proponent has not satisfactorily demonstrated that the relevant policies have been addressed, performance measures satisfied or bushfire protection measures can be adequately implemented.*

Importantly in relation to settlement planning, clause 13.02-1S includes the following requirements:

Plan to strengthen the resilience of settlements and communities and prioritise protection of human life by:

- *Directing population growth and development to low risk locations, being those locations assessed as having a radiant heat flux of less than 12.5 kilowatts/square metres under AS 3959-2009 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2009).*
- *Ensuring the availability of, and safe access to, areas assessed as a BAL-LOW rating under AS 3959-2009 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2009) where human life can be better protected from the effects of bushfire.*
- *Ensuring the bushfire risk to existing and future residents, property and community infrastructure will not increase as a result of future land use and development.*
- *Achieving no net increase in risk to existing and future residents, property and community infrastructure, through the implementation of bushfire protection measures and where possible reduce bushfire risk overall.*
- *Assessing and addressing the bushfire hazard posed to the settlement and the likely bushfire behaviour it will produce at a landscape, settlement, local, neighborhood and site scale, including the potential for neighborhood-scale destruction.*
- *Assessing alternative low risk locations for settlement growth on a regional, municipal, settlement, local and neighborhood basis.*
- *Not approving any strategic planning document, local planning policy, or planning scheme amendment that will result in the introduction or*

intensification of development in an area that has, or will on completion have, more than a BAL-12.5 rating under AS 3959-2009.

In relation to use and development control in a Bushfire Prone area, clause 13.02-1S includes the following relevant requirements:

Use and development control in a Bushfire Prone Area In a bushfire prone area designated in accordance with regulations made under the Building Act 1993, bushfire risk should be considered when assessing planning applications for the following uses and development:

... Accommodation

When assessing a planning permit application for the above uses and development:

- *Consider the risk of bushfire to people, property and community infrastructure.*
- *Require the implementation of appropriate bushfire protection measures to address the identified bushfire risk.*
- *Ensure new development can implement bushfire protection measures without unacceptable biodiversity impacts.*

When these strategies are read together it is clear that any future development would be required to provide a considered assessment of the bushfire risk. As such, the development must ensure it responds to bushfire risk. The purpose of this report is to undertake such an assessment for the site including an assessment of the likely fire behaviour and the risk to future residents. It is acknowledged that this site is subject to the Bushfire Management Overlay and Parts 3 to 5 of this report specifically address the application requirements of Clause 44.06 and 53.02 of the East Gippsland Planning Scheme.

In the context of strategic planning decisions, these strategies need to be read as on balance and consider the *'net increase in risk to existing and future residents'*. As it relates to the objectives at Clause 13.02-1S of the Planning Scheme, it is necessary to ensure that the protection of human life is prioritised when decisions are made. However the strategies listed at Clause 13.02-1S in the Planning Scheme are not 'mandatory requirements' and it is not necessary to 'tick every box'. It is more important to ensure that decisions are consistent with the State policy objectives and build resilient communities.

2.2 Planning Policy Framework Assessment

2.2.1 Objective

Clause 13.02-1S seeks to *'strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life'*.

2.2.2 Application

The policy must be applied to all planning and decision making under the Planning and Environment Act 1987 relating to land which is within a designated bushfire prone area; or subject to a Bushfire Management Overlay.

Bushfire Prone Area and Bushfire Management Overlay

The planning proposal area is included in the Bushfire Prone Area (BPA). As described in Planning Advisory Note 46 (2013), the BPA is a building regulation tool that identifies where moderate bushfire hazard can be expected. It applies to areas subject to the BMO, and to areas that experience a lower head fire intensity modelled to be between 4,000kW/m and 30,000kW/m. This level of hazard informs areas declared as bushfire prone in the building system. Areas at the upper end of the bushfire intensity range (that is 28,000kW/m and above and referred to as BHL1b) are considered, where appropriate, for applying the BMO based on the advice of the relevant fire authority. The land is contained in the BMO. The entire planning proposal site is subject to the BPA and the BMO. The greater area in Mallacoota is also in the BPA and BMO reflecting the moderate to high bushfire hazard that can be expected from the vegetation connecting to the settlement.

In December 2017, Clause 13.02-1S of the East Gippsland Planning Scheme was amended to specifically refer to Bushfire Prone Areas and to strengthen the consideration of bushfire risk in all planning decisions. As the site is fully contained within the Bushfire Prone Area, the minimum level of construction for all dwellings is BAL 12.5, and this bushfire risk must be considered.

2.2.3 Strategies

Protection of human life

<i>Give priority to the protection of human life by:</i>	<i>Response</i>
Prioritising the protection of human life over all other policy considerations	<ul style="list-style-type: none"> - This proposal provides for a new dwelling that responds to the risk of bushfire through siting and construction. - The proposal can be undertaken in a manner that provides safety to the future the development site and existing residents.
Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.	<ul style="list-style-type: none"> - The lot has existed for many years and is part of a residential area with many lots containing established dwellings and outbuildings. The abutting areas of the development site with existing dwellings and outbuildings are within low density residential and general residential lots and rural living parcels. - Existing dwellings exist neighbouring and adjacent to this development site and the new dwelling is sited in an area of the site that is substantially cleared.

	<p>The overall design can respond to the public land by setback from the boundaries and establishment of defensible space between the new dwelling and the boundary.</p> <ul style="list-style-type: none"> - The existing road network facilitates safe egress towards the established Murrumbidgee Townships. - Access and egress are facilitated from Wrights Close.
Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision-making at all stages of the planning process.	<ul style="list-style-type: none"> - An application to develop land needs to articulate how the design responds to the identified bushfire risk. - The new dwelling has been designed and sited to respond to bushfire with the assessment of the bushfire risk being undertaken to ensure the new dwelling maximises the separation from the hazard and achieves a radiant heat exposure no greater than 29kW/m².

Bushfire hazard identification and assessment

<i>Identify bushfire hazard and undertake appropriate risk assessment by:</i>	<i>Response</i>
Applying the best available science to identify vegetation, topographic and climatic conditions that create a bushfire hazard.	<ul style="list-style-type: none"> - The East Gippsland Planning Scheme relies on the planning proposal to respond to bushfire based on current assessment methods. - Clauses 13.02-1S, 44.06 and 53.02 are to be considered for proposal. - Clause 71.02-3 <i>Integrated Decision Making</i> strengthens the importance of bushfire planning as an appropriate tool to reconcile potential conflicts in design and vision. - The assessment method aligns with AS3959-2018 and is provided in this report (see Section 4).
Considering the best available information about bushfire hazard including the map of designated bushfire prone areas prepared under the Building Act 1993 or regulations made under that Act.	<ul style="list-style-type: none"> - Consistent with the revised Clause 13.02-1S, the planning proposal responds to the Bushfire Prone Area and the Bushfire Management Overlay. - This report demonstrates that sufficient setbacks from the vegetation can be achieved to meet Column C of Table 1 of Clause 53.02,

	<p>which is an appropriate benchmark for this development.</p> <ul style="list-style-type: none"> - Detailed design and consideration of the development application is reinforced by the preliminary planning drawings.
Applying the Bushfire Management Overlay in planning schemes to areas where the extent of vegetation can create an extreme bushfire hazard	<ul style="list-style-type: none"> - The BMO does apply to this land recognising that the land is in an area of high bushfire hazard. The BMO is addressed in Sections 3 to 5 of this report.
<p>Considering and assessing the bushfire hazard on the basis of:</p> <ul style="list-style-type: none"> • Landscape conditions - meaning the conditions in the landscape within 20 kilometres and potentially up to 75 kilometres from a site; • Local conditions - meaning conditions in the area within approximately 1 kilometre from a site; • Neighbourhood conditions - meaning conditions in the area within 400 metres of a site; and, • The site for the development 	<ul style="list-style-type: none"> - In light of the recent changes to Clause 13.02 and the addition of this assessment requirement, an assessment is provided in Section 3.0 of this report. - As it is a new dwelling in an established area the site conditions are considered through the Bushfire Hazard Site Assessment. - The landscape considerations show that BAL29 is sufficient in this neighbourhood.
Consulting with emergency management agencies and the relevant fire authority early in the process to receive their recommendations and implement appropriate bushfire protection measures.	<ul style="list-style-type: none"> - It is expected that this development would be referred to CFA for consideration as it is in the Bushfire Management Overlay.
Ensuring that strategic planning documents, planning scheme amendments, planning permit applications and development plan approvals properly assess bushfire risk and include appropriate bushfire protection measures	<ul style="list-style-type: none"> - The content of this report provides a solid foundation for the design and subsequent approval of the planning proposal, with regard to bushfire risk. - Assessing the site-based bushfire risk and including appropriate bushfire protection measures (e.g. managed land, BALs, separation from the hazard) enables the achievement of the direction of the Planning Scheme.
Not approving development where a landowner or proponent has not satisfactorily demonstrated that the relevant policies have been addressed, performance measures satisfied, or bushfire protection measures can be adequately implemented.	<ul style="list-style-type: none"> - This element of the revised Clause 13.02-1S is the most important element and empowers the Responsible Authority to not approve a permit application until it is satisfied with the bushfire protection measures being implemented. - This report demonstrates that the

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	Risk of bushfire should not be a reason for refusal.
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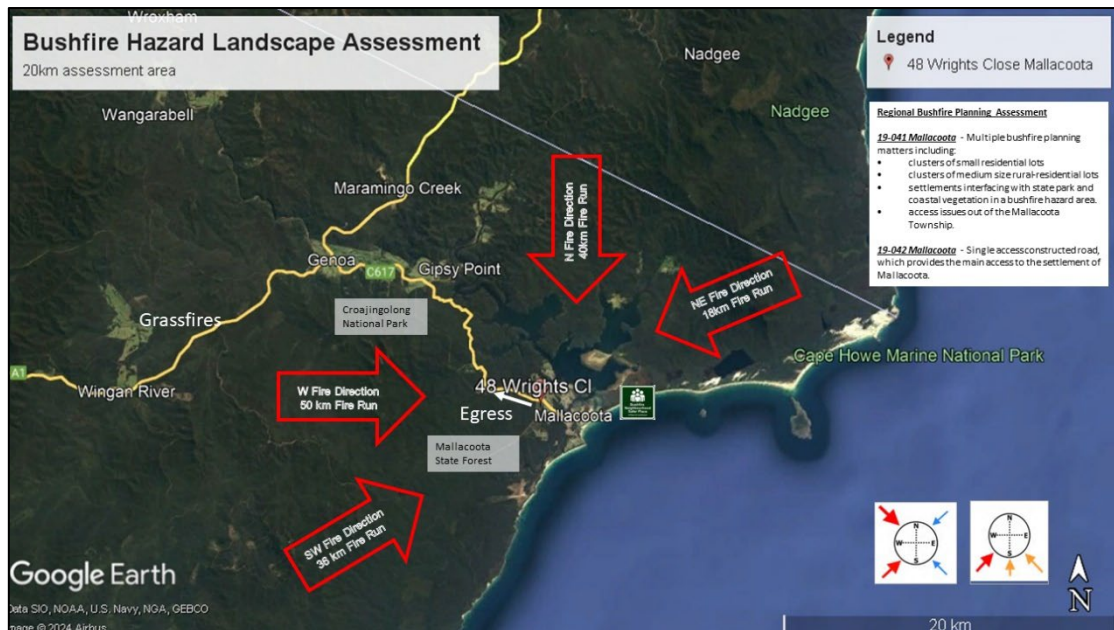


Figure Three (above) – Bushfire Hazard Landscape Assessment.

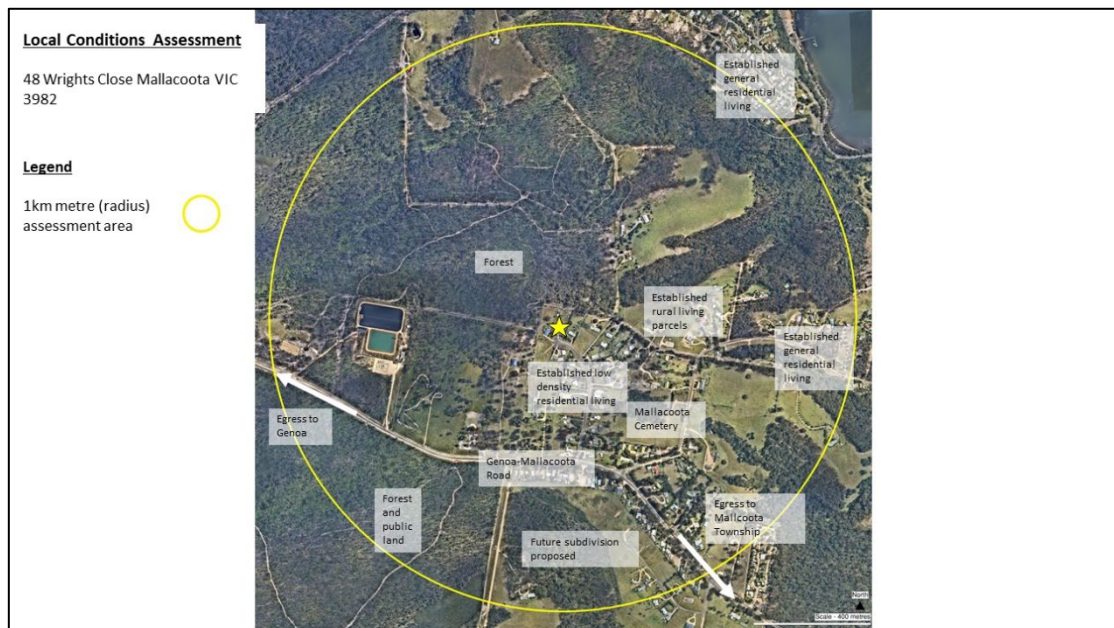


Figure Four (above) – Local conditions, within 1km radius in all directions of 48 Wrights Close Mallacoota.



Figure Five (above) – Neighbourhood conditions, within 400m radius in all directions of 48 Wrights Close Mallacoota.

Settlement Planning

<i>Plan to strengthen the resilience of settlements and communities and prioritise protection of human life by:</i>	<i>Response</i>
Directing population growth and development to low-risk locations, being those locations assessed as having a radiant heat flux of less than 12.5 kilowatts/square metres under AS3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2009).	- The new dwelling has a siting that has been assessed as having a radiant heat flux of less than 29kW/m ² under AS3959-2018.
Ensuring the availability of, and safe access to, areas assessed as a BAL-LOW rating under AS3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2009) where human life can be better protected from the effects of bushfire.	<ul style="list-style-type: none"> - The nature of the settlement of Mallacoota, provides ready access with a 4-minute drive to areas of the Mallacoota township that constitute BAL-LOW. - There is a Neighbourhood Safer Place located at Mallacoota Foreshore Holiday Park Waterfront area between boat ramp and Captain Stevenson's Point and is a 6-minute drive.
Ensuring the bushfire risk to existing and future residents, property and community infrastructure will not increase as a result of future land use and development.	- The establishment and maintenance of defensible space will accompany the approval of a new dwelling.
Achieving no net increase in risk to	- The new dwelling will implement the

existing and future residents, property and community infrastructure, through the implementation of bushfire protection measures and where possible reduce bushfire risk overall.	current regulations pertaining to bushfire construction. This measure has been implemented in the design of the building and will be carried out through to the completion of the building.
Assessing and addressing the bushfire hazard posed to the settlement and the likely bushfire behaviour it will produce at a landscape, settlement, local, neighbourhood and site scale, including the potential for neighbourhood-scale destruction.	<ul style="list-style-type: none"> - In light of the recent changes to Clause 13.02 and the addition of this assessment requirement, an assessment is provided in Section 3.0 and 4.0 of this report. - As it is a new dwelling in the BMO on the East Gippsland, site condition is applied and best consider through the Bushfire Hazard Site Assessment methodology. - Landscape, local and neighbourhood conditions are also applied and configured in figures three, four and five of this report.
Assessing alternative low risk locations for settlement growth on a regional, municipal, settlement, local and neighbourhood basis.	<ul style="list-style-type: none"> - The new dwelling is in a vacant lot in an establishing settlement. - The abutting areas of the development site with existing dwellings and outbuildings are within low density residential and general residential lots and rural living parcels.
Not approving any strategic planning document, local planning policy, or planning scheme amendment that will result in the introduction or intensification of development in an area that has, or will on completion have, more than a BAL-12.5 rating under AS3959-2018.	<ul style="list-style-type: none"> - The proposal is a statutory planning application only.

Areas of high biodiversity conservation value

Ensure settlement growth and development approvals can implement bushfire protection measures without unacceptable biodiversity impacts by discouraging settlement growth and development in bushfire affected areas that are of high biodiversity conservation value.

Assessment of the development

- The siting of the new dwelling is sited in a cleared area, requiring no removal of vegetation.

Use and development control in a Bushfire Prone Area

In a bushfire prone area designated in accordance with regulations made under the Building Act 1993, bushfire risk should be considered when assessing planning applications for accommodation.

Assessment of the proposal's response: As the proposal is to develop a dwelling, and 'dwelling' is a nested term in the 'single dwelling' of Clause 13.02-1S is relevant.

When assessing a planning permit application for the above uses and development:	Response
Consider the risk of bushfire to people, property and community infrastructure.	Consistent with Clause 13.02-1S, Clause 53.02 of the Scheme has been used as a guide and is supported by a landscape analysis that demonstrates that the risk to people, property and the asset can be appropriately mitigated by its inherent design features in this specific location – specifically siting, separation from the hazard, building construction, and defensible space.
Require the implementation of appropriate bushfire protection measures to address the identified bushfire risk.	The new dwelling provides a siting that achieves Column C separation from the hazard to the north, and the design of the new dwelling is in accordance with BAL29 of AS3959.
Ensure new development can implement bushfire protection measures without unacceptable biodiversity impacts.	- The siting of the new dwelling is sited in a cleared area, requiring no removal of vegetation.

2.2.4 Policy Guidelines

Planning must consider as relevant:	Response
Any relevant approved State, regional and municipal fire prevention plan.	Fire prevention measures of the East Gippsland Shire Municipal Fire Prevention Plan ensure the roadsides and the fire breaks in the area are managed. Management of the public land occurs as part of the township protection.
AS3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2009).	This is relevant through the derivation of Bushfire Attack Levels and is considered when referring to BAL29.
Building in bushfire-prone areas - CSIRO & Standards Australia (SAA HB36-1993, May 1993).	This is the handbook to AS3959 and does not need to be considered directly by the planning proposal. 2018 is the current standard.
Any Bushfire Prone Area map prepared under the Building Act 1993 or regulations made under that Act.	The updated Bushfire Prone Area map has been considered in this report.

3.0 Bushfire Hazard Site Assessment

The Bushfire Hazard Site Assessment (Figure Six, larger in Appendix One) includes a plan that describes the bushfire hazard within 150 metres of the proposed development. The description of the hazard is prepared in accordance with AS3959:2018 Construction of buildings in bushfire prone areas (Standards Australia) excluding paragraph (a) of section 2.2.3.2 (Vegetation exclusions).



Figure Six – Bushfire Hazard Site Assessment.

3.1 Vegetation

The vegetation in the broader landscape is predominantly forest, and damp forest inland to the north-west and south-west associated with the Croajingolong National Park and Mallacoota State Forest (see Figure 7).

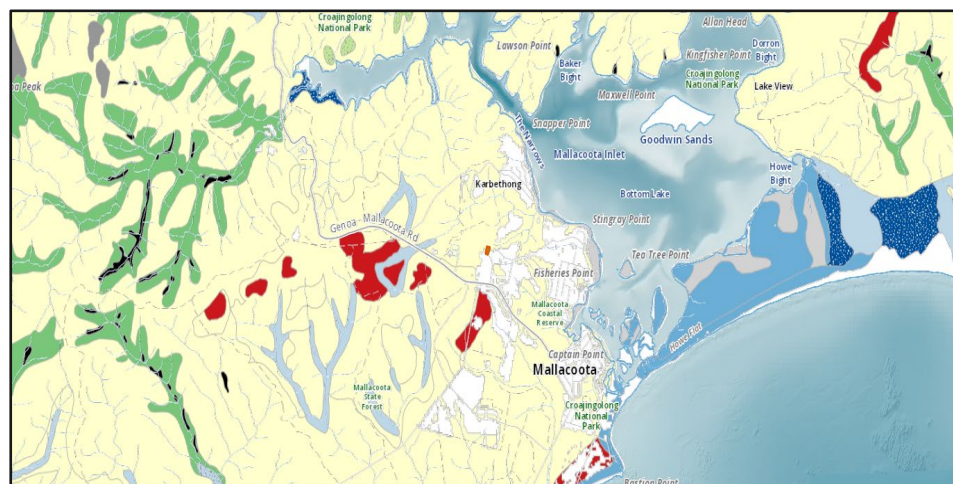


Figure Seven – NatureKit Map of surrounds with subject site central to the image showing, Lowland Forest (pale orange), Heathlands (deep red), Riparian Forest (blue), Coastal Saltmarsh (light purple), Damp Forest (green), Rainforests (black), Estuarine Wetland (deep blue with white dash).

The vegetation within the 150-metre assessment area was classified according to AS3959:2018, Technical Guide: Planning Permit Applications Bushfire Management Overlay (i.e DELWP 2017) and the Overall Fuel Hazard Assessment Guide (DSE, 2010).

The Standard AS3959 approach uses a generalised description of vegetation based on the AUSLIG Australian Natural Resources Atlas" No.7 Native Vegetation classification system. According to this method, vegetation can be classified into seven categories. Each category indicates a particular type of fire behaviour and these categories or classifications are then used to determine bushfire intensity.

Vegetation Classification: Forest

AS3959:2018 Definition:

Open forest – Trees 10-30 m high; 30-70% foliage cover (may include understorey of sclerophyllous low trees and tall scrubs or grass). Typically dominated by eucalypts.

Site Description:

The development site has forest immediate to the north, that continues in all directions in the surrounding and greater landscape associated with the Croajingolong National Park and Mallacoota State Forest. The forest to the north is of flat land and 25 metres from the new dwelling. The forest to the east is of flat land and 48 metres, and forest to the west is of flat land and 53 metres from the siting of the new dwelling. The forest in all directions excluding south is within the assessment area of 150 metres.



Image – Looking north towards the forest from the centre of the lot (left) and looking in a north-west direction from the corner of the lot towards the forest (right) (Source: site inspection).

Vegetation Classification: Low threat vegetation

AS3959:2018 Definition:

2.2.3.2 Exclusions – Low threat vegetation and non-vegetated areas

The following vegetation shall be excluded from a BAL assessment:

- a. Vegetation of any type that is more than 100 m from the site*
- b. Single areas of vegetation less than 1 ha in area and not within 100 m of other areas of vegetation being classified vegetation.*
- c. Multiple areas of vegetation less than 0.25 ha in area and not within 20 m of the site, or each other or of other areas of vegetation being classified vegetation.*
- d. Strips of vegetation less than 20 m in width (measured perpendicular to the elevation exposed to the strip of vegetation) regardless of length and not within 20 m of the site or each other, or other areas of vegetation being classified vegetation.*
- e. Non-vegetated areas, that is, areas permanently cleared of vegetation, including waterways, exposed beaches, roads, footpaths, buildings and rocky outcrops.*
- f. Vegetation regarded as low threat due to factors such as flammability, moisture content or fuel load. This includes grassland managed in a minimal fuel condition, mangroves and other saline wetlands, maintained lawns, golf courses (such as playing areas and fairways), maintained public reserves and parklands, sporting fields, vineyards, orchards, banana plantations, market gardens (and other non-curing crops), cultivated gardens, commercial nurseries, nature strips and windbreaks.*

NOTES:

- 1. Minimal fuel condition means there is insufficient fuel available to significantly increase the severity of the bushfire attack (recognizable as short-cropped grass for example, to a nominal height of 100 mm).*
- 2. A windbreak is considered a single row of trees used as a screen or to reduce the effect of wind on the leeward side of the trees.*

Site Description

The development site has low threat vegetation located to the neighbouring and adjacent lots. The majority of lots are managed near the existing dwellings and outbuildings with typical garden and grass underplanting. Wrights Close is identified as non-vegetated area and is a well-maintained asphalt road, providing egress from the development site.



Image – Looking down Wrights Close towards Genoa-Mallacoota Road (left) and looking at adjacent properties to the south (right) (Source: site inspection).

3.2 Topography

The topography of the site is mostly flat land. The immediate surroundings incline to the north-west and decline to the south-east before dispersing gently dispersing in all directions to a lower elevation.

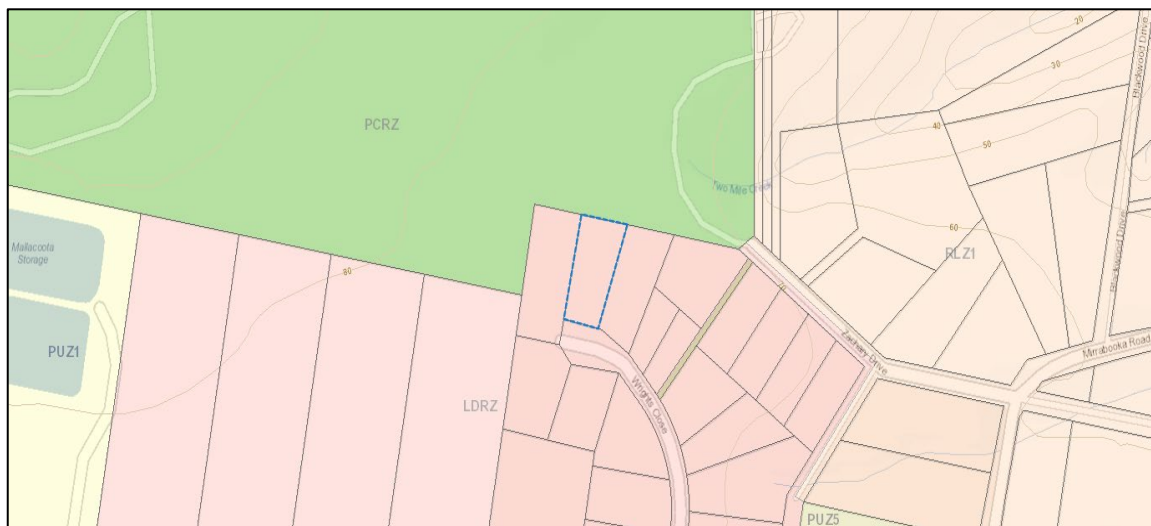


Figure Eight – Topography of 48 Wrights Close Mallacoota and the area around the site (VicPlan, 2024).

3.3 Separation and Bushfire Attack Level for the Proposed Development

The bushfire attack level (BAL) is a means of measuring the severity of a building's potential exposure to ember attack, radiant heat and direct flame contact, using increments of radiant heat expressed in kilowatts per meter squared. The BAL is also the basis for establishing the requirements for construction to improve protection of building elements from attack by

bushfire. The maximum separation from the hazard determines siting, and all attempts should be made to derive the greatest separation.

The highest BAL determines the construction requirements for the dwelling. A reduction of one BAL level may be applied if facades of the house are shielded from the bushfire hazard.

The BAL for this site has been calculated using a Forest Fire Danger Index (FFDI) of 100 and a Flame Temperature of 1090K. These parameters are in accordance with the risk parameters set in Clause 53.02.

Table 1 – BAL Assessment (without creation of defensible space)

Orientation	Classified vegetation	Slope under classifiable vegetation	Separation distance	Separation from the hazard achieved
North	Forest	Flat land	25 metres	Column C 25 metres
East	Forest	Flat land	45 metres	Column B 35 metres
	Low threat vegetation	Not applicable	Not applicable	BAL12.5
South	Low threat vegetation	Not applicable	Not applicable	BAL12.5
West	Forest	Flat land	53 metres	Column A 48 metres
	Low threat vegetation	Not applicable	Not applicable	BAL12.5

Table 2 – BAL determination – with implementation of defensible space for Column C of Table 1 to Clause 53.02 (BAL29)

Orientation	Highest threat vegetation	Slope under classifiable vegetation	Defendable space required
North	Forest	Flat land	BAL29 25 metres
East	Low threat vegetation	Not applicable	50 metres or to the property boundary, whichever is the lesser
South	Low threat vegetation	Not applicable	50 metres or to the property boundary, whichever is the lesser
West	Low threat vegetation	Not applicable	50 metres or to the property boundary, whichever is the lesser

The BAL determination has been made based on the following assumptions:

- The neighbouring and adjacent lots, and neighbourhood setting in the immediate and greater landscape contain existing buildings, dwellings and outbuildings and maintained garden and lawn reflecting low threat vegetation, and presumably continue in this manner.
- The vegetation on site will be managed to defensible space requirements.

- Defendable space of 50 metres around the building or to the property boundary, whichever is the lesser will be applied to every direction.
- The siting of the new dwelling provides for a Column A separation from the hazard to the north, derived from 'Column C, Forest, 25 metres, flat land' and increased for the 'low threat vegetation' default.
- The dwelling is part of a shed, and its siting enables flexibility in the future use of the front of the lot.
- Given the presence of forest in the immediate and greater landscape, it is appropriate and achievable for the new dwelling to meet the requirements of BAL29.

4.0 Bushfire Management Plan

A Bushfire Management Plan is provided below, Figure Nine and larger in Appendix Two for endorsement with the planning permit.

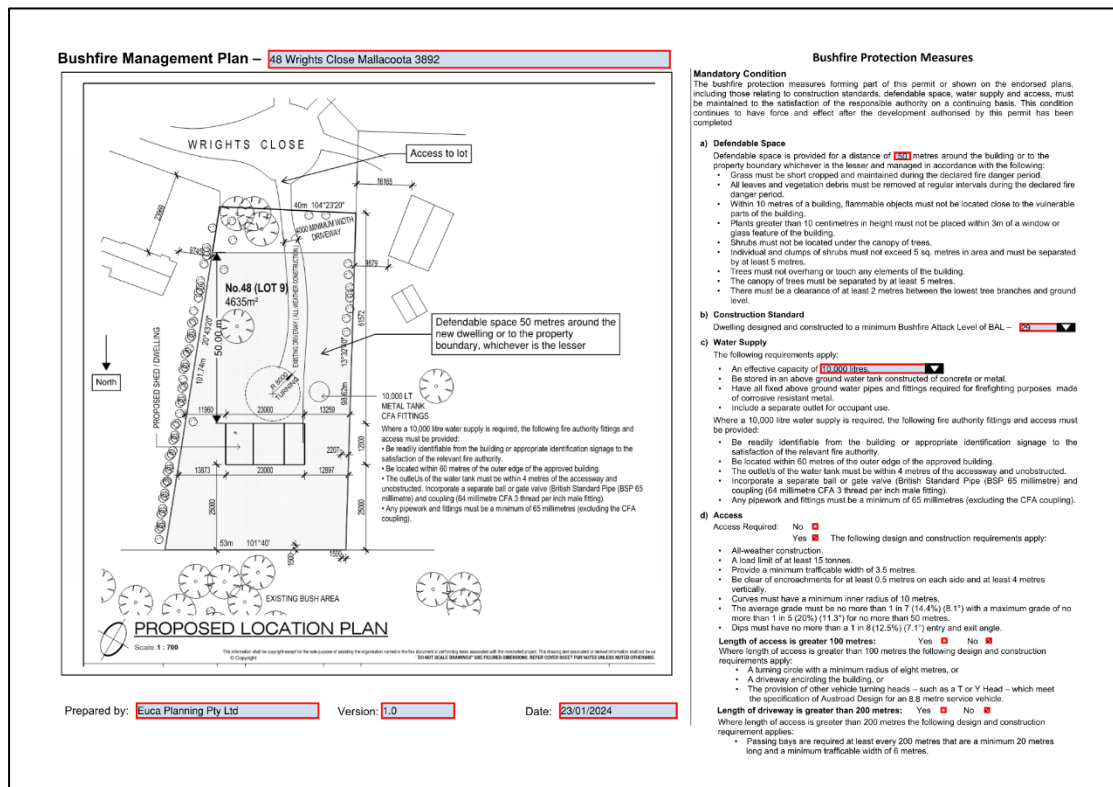


Figure Nine – Bushfire Management Plan.

4.1 Proposed Planning Permit Conditions

The following are the expected planning permit conditions.

- The Bushfire Management Plan [Ver.1 23/01/2024], included in the Bushfire Management Statement prepared by Euca Planning P/L, must be endorsed to form part of the permit and must not be altered unless otherwise agreed in writing by the CFA and the Responsible Authority
- The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the

responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

4.2 Design Response Against Clause 53.02

A selection of the sub clauses and associated objectives, approved measures (AM), alternative measures (AltM) and decision guidelines applies to this application. Table 3 details which clauses are relevant to this application and the following pages demonstrate how the requirements have been met for each relevant standard.

Table 3 – Relevant Subclauses

Clause	Approved Measure	Achieved	Justification
Clause 53.02-3 Dwelling in existing settlements – Bushfire protection objective	AM 1.1	Applicable	The siting of the new dwelling is sited to the rear of the lot, in a substantially cleared area and to achieve its best defensible space to the hazard to the north. Firefighting vehicles can easily access the new dwelling and water supply from Wrights Close.
	AM 1.2	Applicable	The new dwelling is provided with the defensible space in accordance with Table 1 to Clause 53.02-5 and Table 6.
	AM 1.3	Applicable	The new dwelling will be provided with a static water supply for firefighting and property protection purposes specified in Table 4 to Clause 53.02-5, located south-west of the new dwelling and is within 4 metres of access and 60 metres of each point of the new dwelling.
Clause 53.02-4.1 Landscape, siting and design objectives	AM 2.1	Not applicable	The dwelling is in an existing settlement as described in Clause 53.02.
	AM 2.2	Not applicable	The dwelling is in an existing settlement as described in Clause 53.02.
	AM 2.3	Not applicable	The dwelling is in an existing settlement as described in Clause 53.02.
Clause 53.02-4.2 Defendable space and construction objectives	AM 3.1	Not applicable	
	AM 3.2	Not applicable	
	AltM 3.3	Not applicable	
	AltM 3.4	Not applicable	
	AltM 3.5	Not applicable	
Clause 53.02-4.3 Water supply and access objectives	AM 4.1	Applicable	The land is connected to mains water. The new dwelling will be provided with a new static water

			supply by a concrete or metal water tank located the south-west of the new dwelling that has a minimum of 10,000 litres of water. Turning is made available near the new dwelling and water supply, and access via Wrights Close.
	AM 4.2	Not applicable	
Clause 53.02-4.4 Subdivision objectives	AM 5.1	Not applicable	
	AM 5.2	Not applicable	
	AM 5.3	Not applicable	
	AM 5.4	Not applicable	
	AltM 5.5	Not applicable	

Clause 53.02-3 Dwellings in existing settlements - Bushfire Protection objective

To specify bushfire design and construction measures for a single dwelling or alteration and extension to an existing dwelling that reduces the risk to life and property to an acceptable level.

Approved Measure	Requirement
AM 1.1	<p>A building is sited to ensure the site best achieves the following:</p> <ul style="list-style-type: none"> • The maximum separation distance between the building and the bushfire hazard • The building is in close proximity to a public road • Access can be provided to the building for emergency services vehicles. <p>Response: The development site is an existing lot in a residential area close to the township of Mallee. The land is vacant and abuts low density residential and established lots with dwellings and outbuildings; this extends to the surrounding areas containing general residential lots and rural living parcels. The new dwelling is to be located to the rear of the lot enabling future flexibility in the front of the lot. The dwelling is part of a shed and has been setback from the rear boundary to achieve Column C separation. Wrights Close is a well-maintained road that provides egress to the development site and connects to the main road of Mallee-Mallee Road, which is the main road providing egress to Mallee township and surrounding areas. Access can be provided to the new dwelling and water supply for firefighting vehicles from Wrights Close.</p>
AM 1.2	<p>A building provides the defendable space in accordance with Column A, B, C, D or E of Table 1 to Clause 53.02-3 and Table 6 to Clause 53.02-3. Adjoining land may be included as defendable space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space.</p> <p>A building is constructed to the bushfire attack level:</p>

- That corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-3, or
- The next lower bushfire attack level that corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-3 where all of the following apply:
 - A private bushfire shelter (a Class 10c building within the meaning of the Building Regulations 2006) is constructed on the same land as the dwelling.
 - A minimum bushfire attack level of BAL12.5 is provided in all circumstances.
 -

Response: The development site is vacant, and the siting of the new dwelling is sited in a substantially cleared area, requiring minimal if any removal of vegetation. A Column C and BAL29 has been chosen based on the separation distance from the new dwelling and forest in the north. Defendable space of 50 metres will be applied in all directions or to the property boundary, whichever is the lesser, as default with low threat vegetation present in the 150 metre assessment area and is an enhancement to the Column C, 25 metres.

AM 1.3

A building is provided with:

- A static water supply for firefighting and property protection purposes specified in Table 4 to Clause 53.02-3. The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for firefighting water supplies.
- Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-3.

Response: The new dwelling will be provided with a new static water supply by a concrete or metal water tank located the south-west of the new dwelling that has a minimum of 10,000 litres of water. Firefighting vehicles can access the property from Wrights Close and will be able to access within 4 metres of the water supply outlet via an all-weather construction driveway. Turning for firefighting vehicles is made available near the new dwelling and water supply.

5.0 References

Standards Australia (2018) Construction of Buildings in Bushfire Prone Areas. Standards Australia, North Sydney, NSW.

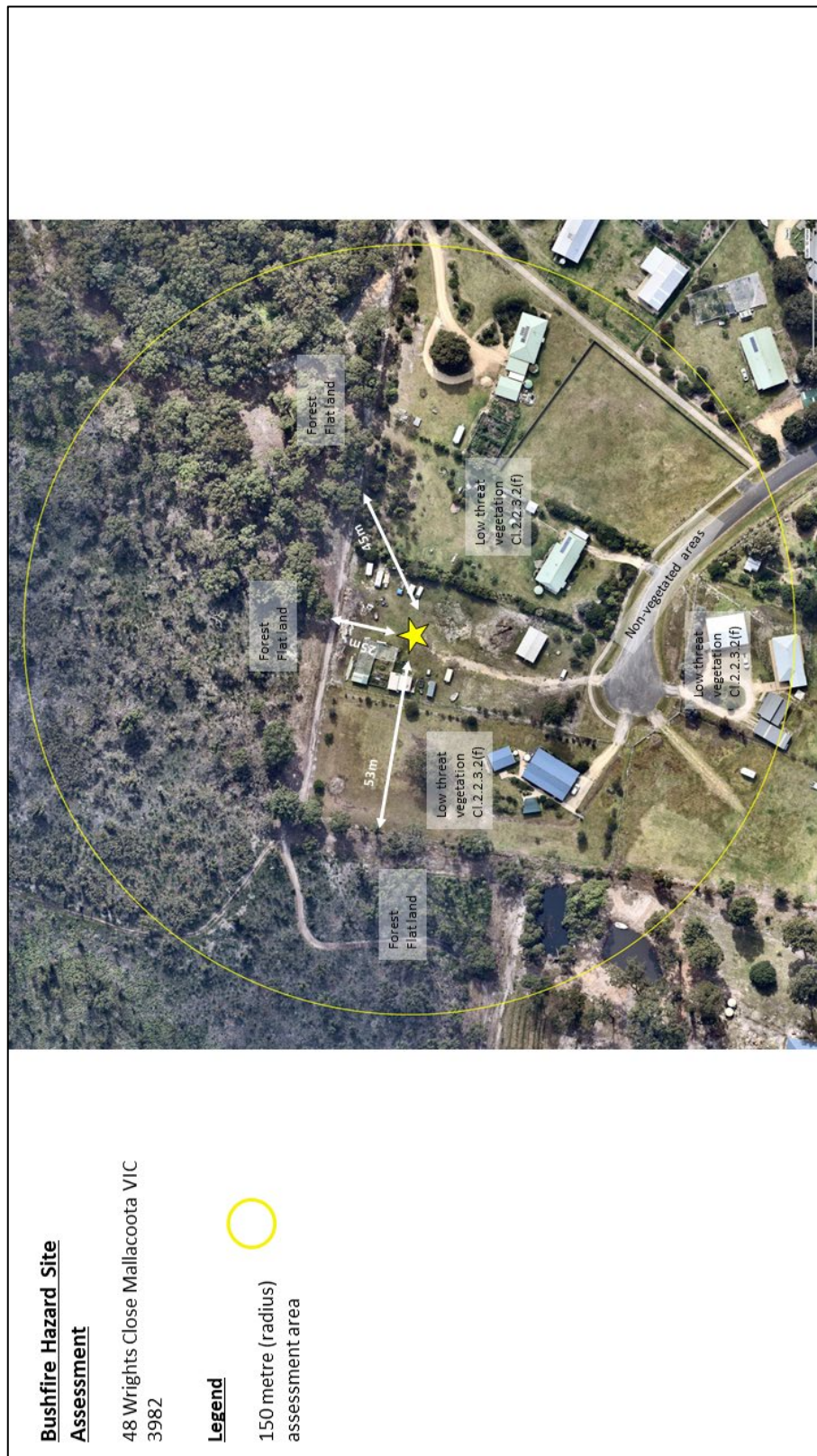
The State of Victoria Department of Environment, Land, Water and Planning (2024) NatureKit.

The State of Victoria (2024) VicPlan

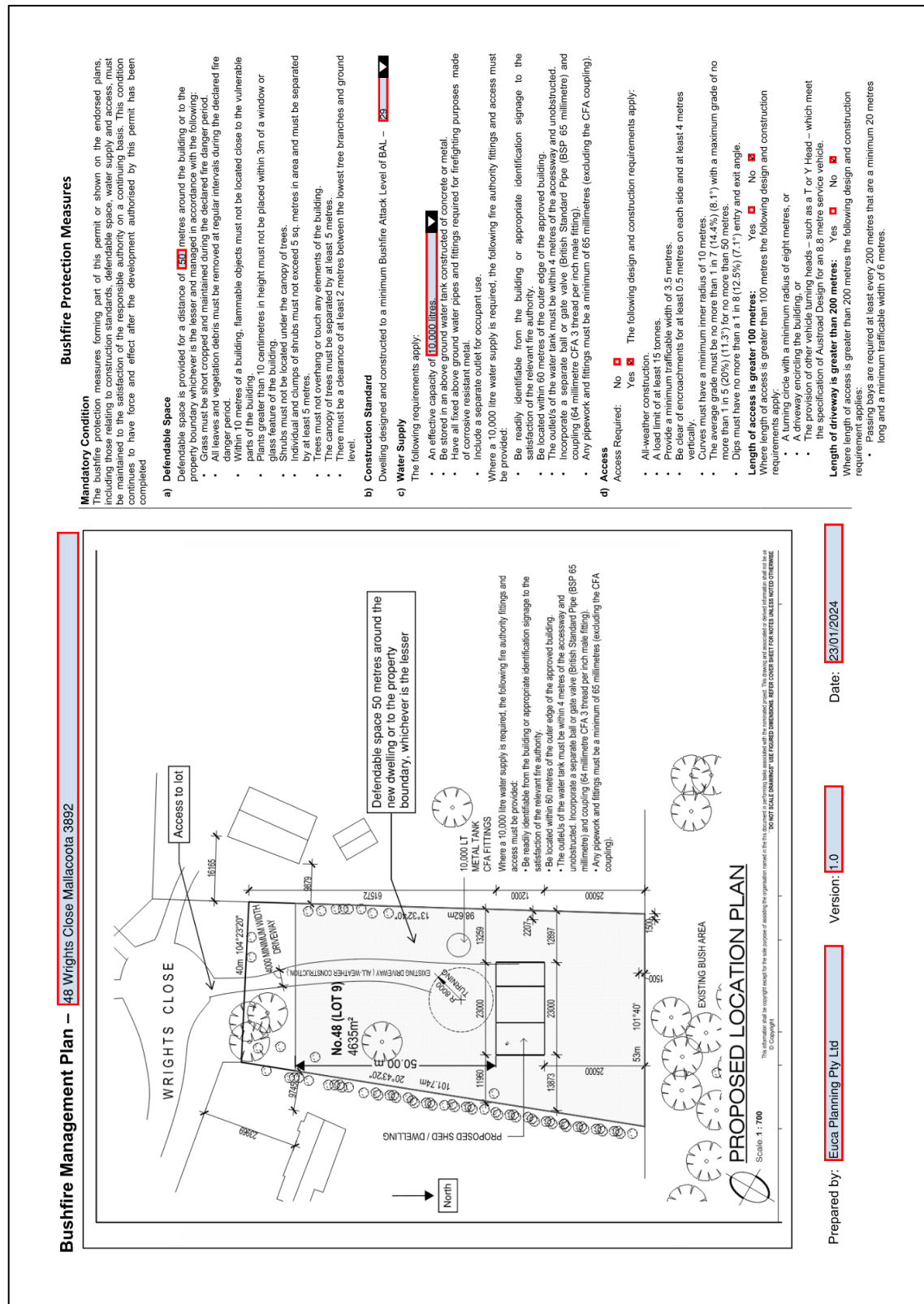
The State of Victoria Technical Guide: Planning Permit Applications Bushfire Management Overlay (DELWP 2017)

6.0 Appendices

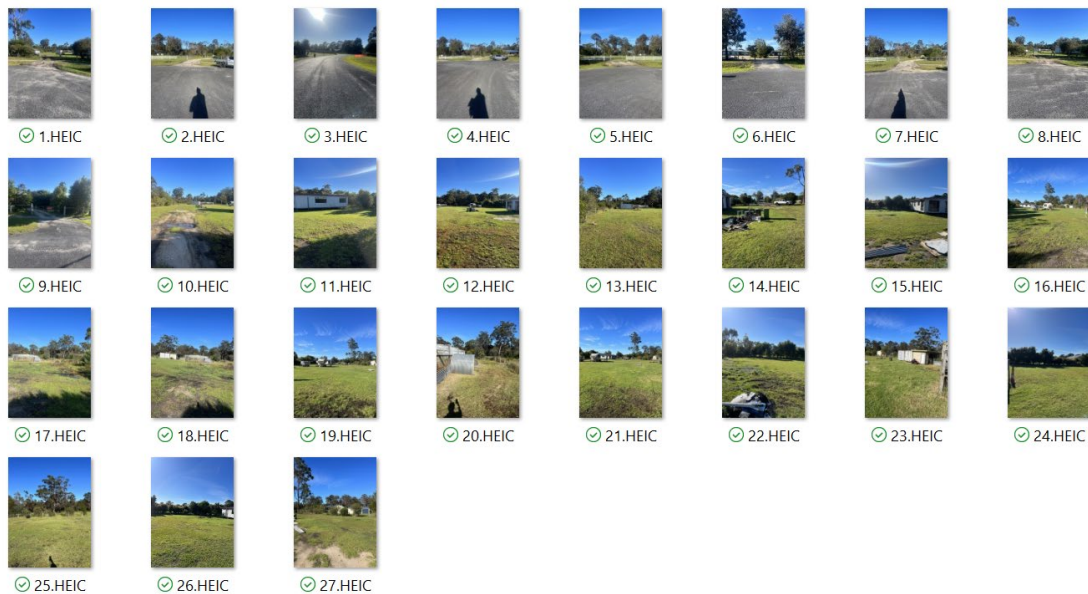
Appendix One - Bushfire Hazard Site Assessment



Appendix Two – Bushfire Management Plan



Appendix Three – Site Inspection Photos

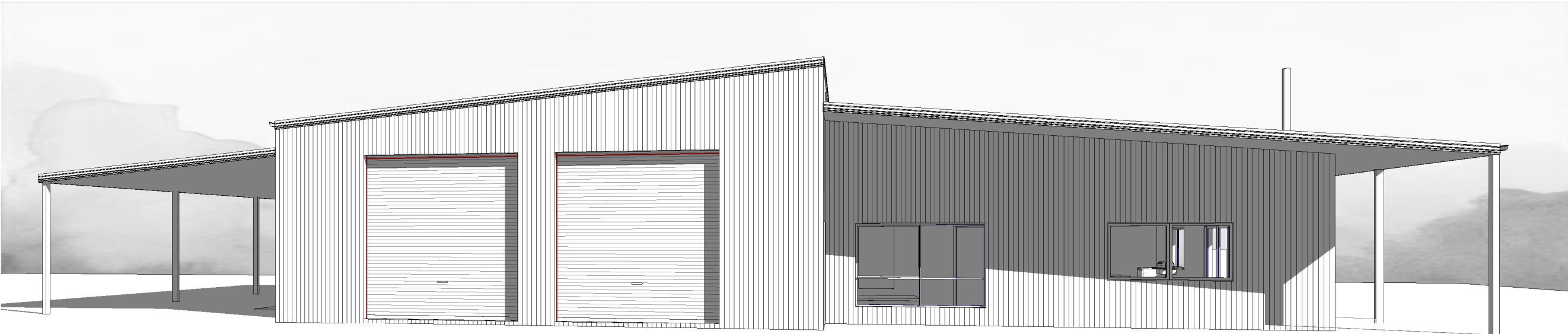


SITE CLASSIFICATION: *
IN ACCORDANCE WITH AS2870-2011
WIND CLASSIFICATION: N*
IN ACCORDANCE WITH AS4055-2012

PROPOSED NEW RESIDENCE / SHED

48 WRIGHTS CLOSE MALLACOOTA

BEN SIMPSON & GEORGIA LOFTS



Australian Standard AS 3959
BAL-29 -high risk

SUB-FLOOR SUPPOERT:
ENSLURE BY EXTERNAL WALL OR BY STEEL, BRONZE OR ALUMINIUM MESH, NON COMBUSTABLE SUPPORTS WHERE THE SUBFLOOR IS UNENCLOSED OR NATURALLY FIRE RESISTANT TIMBER.

FLOOR:
CONCRETE SLAB ON GROUND OR ENCLOSE BY EXTERNAL WALL OR PROTECTION OF UNDERSIDE WITH A NON COMBUSTABLE MATERIAL SUCH AS FIBRE CEMENT SHEET OR BE NON-COMBUSTABLE OR BE TESTED FOR BUSHFIRE RESISTANCE TO AS 1530.8.1

EXTERNAL WALLS:
NON-COMBUSTABLE MATERIAL (MASONRY, BRICK VENEER, MUD BRICK, AERATED CONCRETE, CONCRETE), TIMBER FRAMED, STEEL FRAMED WALLS SARKED ON THE OUTSIDE AND CLAD WITH 6mm FIBRE CEMENT SHEETING OR STEEL SHEETING OR BUSH FIRE RESISTANT TIMBER.

EXTERNAL WINDOWS:
5mm TOUGHENED GLASS WITH OPENABLE PORTION SCREENED AND FRAME OF METAL OR METAL REINFORCED PVC-U, OR BUSHFIRE RESISTING TIMBER AND PORTION WITHIN 400mm OF GROUND, DECK ECT SCREENED.

EXTERNAL DOORS:
SCREENED WITH STEEL, BRONZE OR ALUMINIUM MESH OR NON-COMBUSTABLE, OR 35mm SOILID TIMBER FOR 400mm ABOVE THRESHOLD. METAL OR BUSHFIRE RESISTING TIMBER FRAMED TIGHT-FITTING WITH WEATHER STRIPS AT BASE.

ROOFS:
NON-COMBUSTABLE COVERING, ROOF/WALL JUNCTION SEALED. OPENINGS FITTED WITH NON-COMBUSTABLE EMBER GUARDS. ROOF TO BE FULLY SARKED.

VERANDAS DECKS ECT.:
ENCLOSED SUB-FLOOR SPACE OR NON-COMBUSTABLE OR BUSHFIRE RESISTANT TIMBER SUPPORTS. DECKING TO BE NON-COMBUSTABLE OR BUSHFIRE-RESISTING TIMBER.

BAL 29 TBC
AS. 3959 Construction of Buildings
In Bushfire Prone Areas

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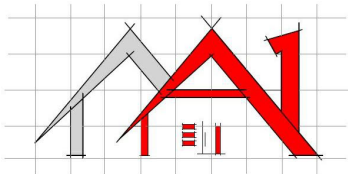
AREA:	m ²	Issue	Amendment	Date	 <div><h2>A1 BUILDING DESIGN AND DRAFTING</h2><p>P.O. Box 529 Bairnsdale Victoria 3875 Mob.: 0438 560 215</p></div>	Date: JANUARY 2024	Title: COVER			
SITE AREA:		-	-	-		A3 Scale:				
HOUSE AREA:		-	-	-		Designed:	Client: BEN SIMPSON & GEORGIA LOFTS			
GARAGE AREA:		-	-	-		Drawn: MEAGHAN GAMBLE DPAD2468				
ALFRESCO / VERANDA:		-	-	-		Plot Date: 2/02/2024 3:26:43 PM	Project: NEW DWELLING 48 WRIGHTS CLOSE MALLACOOTA			
PORCH AREA:		-	-	-		Client Approval Signature:	Job No: 17907	Revision:	A	Drawing No: 0FS Printed 5/0 Page 54
OTHER AREA:		-	-	-			Date:			

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GENERAL NOTES	GN.01- DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY.SITE PLAN MEASUREMENTS IN METERS, ALL OTHER DIMENSIONS IN MILLIMETERS.	GN.08- WINDOW SIZES ARE NORMAL ONLY. ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER.WINDOWS TO BE EASEMENT AROUND
	GN.02- THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFIRM TO THE BUILDING REGULATIONS 2006, THE BUILDING CODE OF AUSTRALIA 2008, AND ALL RELEVANT A.S CODES (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL BY LAWS AND TOWN PLANNING REQUIREMENTS, REPORT ALL DISCREPANCIES TO GAMCORG FOR CLARIFICATION.	GN.09- STORMWATER PIPES IN SIZES NOTED ON PLANS SHALL BE CLASS 6 UPVC S/W LINE LAID AT A MINIMUM GRADE OF 1:100 AND CONNECTED TO LEGAL POINT OF STORMWATER DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY. PROVIDE INSPECTION OPENINGS AT 90 METER CENTERS AND AT CHANGE OF DIRECTION. PROVIDE MINIMUM COVER TO STORMWATER DRAINS AS FOLLOWS- 100mm UNDER SOIL, 50mm UNDER PAVED CONCRETE AREAS, 100mm UNDER REINFORCED CONCRETE OR PAVED DRIVEWAYS, 75mm UNDER REINFORCED CONCRETE DRIVEWAYS.
	GN.03- ALL WORKS SHALL COMPLY WITH BUT NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS: AS 1170 MINIMUM DESIGN LOADS ON STRUCTURES AS 1170.2-2011(R2016) WIND LOADS AS 1170.3-2003 SNOW LOADS AS/NZS 1170 STRUCTURAL DESIGN ACTIONS AS 1288-2006 GLASS IN BUILDINGS- SELECTION AND INSTALLATION. AS 1428 (set) 2010 DESIGN FOR ACCESS AND MOBILITY AS 1428.1-2009 GENERAL REQUIREMENTS FOR ACCESS-NEW BUILDING WORK AS 1428.4-2009 TACTILE GROUND SURFACE INDICATORS FOR THE ORIENTATION OF PEOPLE WITH VISION IMPAIRMENT AS 1562 DESIGN AND INSTALLATION OF SHEET ROOF & WALL CLADDING AS 1562.1-2018 METAL AS/NZS 1668 - 2016 THE USE OF VENTILATION AND AIRCONDITIONING IN BUILDINGS AS 1670 FIRE DETECTION, WARNING, CONTROL AND INTERCOM SYSTEMS AS 1670.1-2018 FIRE AS 1670.3-2018 FIRE ALARM MONITORING AS 1670.4-2018 SOUND SYSTEMS AND INTERCOM SYSTEMS FOR EMERGENCY PURPOSES AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION AS 1684.2-2010 NON-CYCLONIC AREAS AS 1684.3-2010 CYCLONIC AREAS AS 1684.4-2010 SIMPLIFIED-NON-CYCLONIC AREAS AS 1684.1-1999 NATIONAL TIMBER FRAMING CODE AS 1860.2-2006 (R2016) INSTALLATION OF PARTICLE FLOORING AS 1926 SET - 2012 SWIMMING POOL SAFETY AS 1926.1-2012 FENCING FOR SWIMMING POOLS AS 1926.2-2007 (R2016) LOCATION OF FENCING FOR PRIVATE SWIMMING POOLS AS 1926.3-2010 (R2016) WATER RECIRCULATION AND FILTRATION SYSTEMS AS 2047-2014 WINDOWS IN BUILDINGS- SELECTION & INSTALLATION. AS 2049-2002(R2015) ROOF TILES AS 2050-2018 INSTALLATION OF ROOFING TILES AS 2870-2011 RESIDENTIAL SLABS AND FOOTINGS- CONSTRUCTION AS 2904-1995 DAMP-PROOF COURSES AND FLASHINGS. AS/NZS 2918-2018 DOMESTIC SOLID FUEL BURNING APPLIANCES-INSTALLATION AS/NZS 3500.2-2018 SANITARY PLUMBING AND DRAINAGE-ACCEPTASBLE SOLUTIONS AS 3600-2018 CONCRETE STRUCTURES AS 3660.1-2014 TERMITE MANAGEMENT- NEW BUILDING WORK AS 3700- 2018 MASONRY STRUCTURES AS 3740- 2010 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS A.S.3786- 1993 SMOKE ALARMS AS 3798-2007 GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS AS 3959-2018 CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS AS 4055-2012 WIND LOADS FOR HOUSING AS 4072.1-2005 (R2016) COMPONENTS FOR THE PROTECTION OF OPENINGS IN FIRE-RESISTENT SEPARATING ELEMENTS AS 4100-1998 (R2016) STEEL STRUCTURES AS 4256-2006 (R2018) PLASTIC ROOF & WALL CLADDING MATERIALS.	GN.10- INSTALLATION OF SERVICES INCLUDING SEWER OR SEPTIC SYSTEM, ELECTRICITY, WATER, COMMUNICATIONS AND THE LIKE SHALL BE IN ACCORDANCE WITH THE RELEVANT SUPPLY AUTHORITY'S REQUIREMENTS.
	GN.04- THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.	GN.11- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO REVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING OF ANY BUILDING AND ITS FOOTING SYSTEM.
	GN.05- SOIL CLASSIFICATION- ' ' THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT BY - GAMCORG P/L REPORT NO.- FOOTINGS TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT.	GN.12- FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES.
	GN.06- WHERE THE BUILDING(OTHER THAT CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED TO SUB-FLOOR AND PERMITER AREAS IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARD. INCREASED SUBFLOOR CLEARANCE OF 400mm TO UNDERSIDE OF STRUCTURE SHALL BE ADOPTED IN TERMITE AREAS.	GN.13- FOR BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES, AND STEEL LINTELS, ETC. THAT ARE IMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH TABLE 2.2 OF A.S. 3700- 2001 MASONRY STRUCTURES, HOT DIPPED GALV. S/LESS STEEL OR CADMIUM COATED. ADDITIONALLY MASONRY, MORTAR AND BUILT IN COMPONENTS SHALL COMPLY WITH THE DURABILITY REQUIREMENTS OF PART3.4.6 OF THE B.C.A 96 (VOL.1) OR TABLE 5.1 OF A.S.37000-2001 MASONRY STRUCTURES
	GN.07- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES: i) ALL ROOMS- WITHIN 500mm VERTICAL OF THE FLOOR ii) BATHROOMS- WITHIN 1500mm VERTICAL FROM THE BATH BASE. -WITHIN 500mm HORIZONTAL FROM BATH/SHOWER TO SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURES. iii)LAUNDRY- WITHIN 1200mm VERTICAL FROM FLOOR AND/OR WITHIN 300mm VERTICAL TROUGH. iv) DOORWAY- WITHIN 300mm HORIZONTAL FROM ALL DOORS. v) ENSUIT- AS FOOR (ii) SHOWER SCREENS SHALL BE GRADE AS SAFETY GLASS.	GN.14- ALL WET AREAS TO COMPLY WITH B.C.A. PART 3.8 OR A.S 3740 2004 WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, SINKS, TROUGHS AND THE LIKE IF WITHIN 75mm OF THE WALL, PROVIDE AN IMPERVIOUS SUBSTRATE AND SELECT SURFACE FINISH TO FLOORS WITHIN 1500mm OF AN ENCLOSED SHOWER AND TO THE SAME WALLS TO 1800mm ABOVE FLOORS
		GN.15- PROVIDE WALL TILES TO BRICKWORK AT MAXIMUM 600MM CENTERS IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS.
		GN.16- SUB-FLOOR VENTS LOCATED BELOW BEARERS SHALL PROVIDE A RATE OF 7500mm SQ. CLEAR VENTILATION PER 1000mm RUN OF INTERNAL DWARF WALLS.
		GN.17- PROVIDE CLARENCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING.
		GN.18-
		GN.19- STAIR REQUIRMENTS:- (OTHER THAN SPIRAL STAIRS) RISERS- 190mm MAXIMUM, 115mm MINIMUM. GOING- 355mm MAXIMUM, 240mm MINIMUM; PRIVATE STAIRS (250mm FOR PUBLIC STAIRS) NOTE: 2R + 1G = 700mm MAX AND 550mm MIN. RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT. MAX GAP TO OPEN TREADS 125mm. PROVIDE NON-SLIP FINISH OR SUITABLE NON-SLID STRIP TO EDGE OF NOSINGS, ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125mm OR USE CLOSED RISERS. PROVIDE CONTINUOUS HANDRAIL 1000mm MINIMUM HEIGHT TO LANDINGS, BALCONIES AND DECKS WHICH ARE 1000mm OR MORE ABOVE GROUND LEVEL. 865mm MINIMUM HEIGHT HANDRAIL ABOVE STAIR NOSINGS. MAXIMUM OPENINGS BETWEEN BALUSTERS NOT TO EXCEED 125mm.
		GN.20- CONCRETE STUMPS. 100mm SQ. UP TO 1400mm LONG (1 NO.II.D. WIRE) 100mm SQ. 1401mm TO 1800mm LONG (2 NO. H.D. WIRES); 125mm SQ, 1801mm, TO 3000mm. LONG (2 NO. H.D. WIRES). NOTE ALL STUMPS EXCEEDING 1200mm ABOVE GROUND TO BE BRACED
		GN.21- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS
		GN.22- THE BUILDER SHALL ENSURE THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.
		GN.23- 'S' DENOTES LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786 1993. AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1,2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP.
		GN.24- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF GAMCORG FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USED OR RELIES ON THESE PLANS WITHOUT THE DESIGNERS WRITTEN CONSENT DOES SO THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
		GN.25- THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.
		GN.26- THE APPROVAL BY GAMCORG OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORIZATION FOR ITS USE OR A CONTRACT VARIATION. ANY VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING

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AREA:	m²	Issue	Amendment	Date	Date:	JANUARY 2024	Title:	STANDARD NOTES
SITE AREA:		-	-	-	A3 Scale:	1 : 1	Client:	BEN SIMPSON & GEORGIA LOFTS
HOUSE AREA:		-	-	-	Designed:		Project:	NEW DWELLING 48 WRIGHTS CLOSE MALLACOOTA
GARAGE AREA:		-	-	-	Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	17907
ALFRESCO / VERANDA:		-	-	-	Plot Date:	2/02/2024 3:26:43 PM	Revision:	A
PORCH AREA:		-	-	-	Client Approval Signature:		Drawing No:	A00
OTHER AREA:		-	-	-	Date:			



A1 BUILDING DESIGN
AND DRAFTING
P.O. Box 529 Bairnsdale Victoria 3875
Mob.: 0438 560 215

PROPERTY REPORT:**ADDRESS:** 48 WRIGHTS CLOSE MALLACOOTA**LOT:** LOT 9 PS542291**COUNCIL:** EAST GIPPSLAND**COUNCIL PROPERTY No.:** 92638

DOWN PIPE LOCATION AND NUMBER TO BE CONFIRMED BY PLUMBER ON SITE.
STORM WATER CONNECTED TO LEGAL POINT OF DISCHARGE.

SITE LEVELS BY :

ZONES AND OVERLAYS**Zone:**

LOW DENSITY RESIDENTIAL ZONE (LDRZ)

Overlays:

DESIGN AND DEVELOPMENT OVERLAY (DDO)

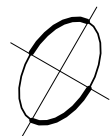
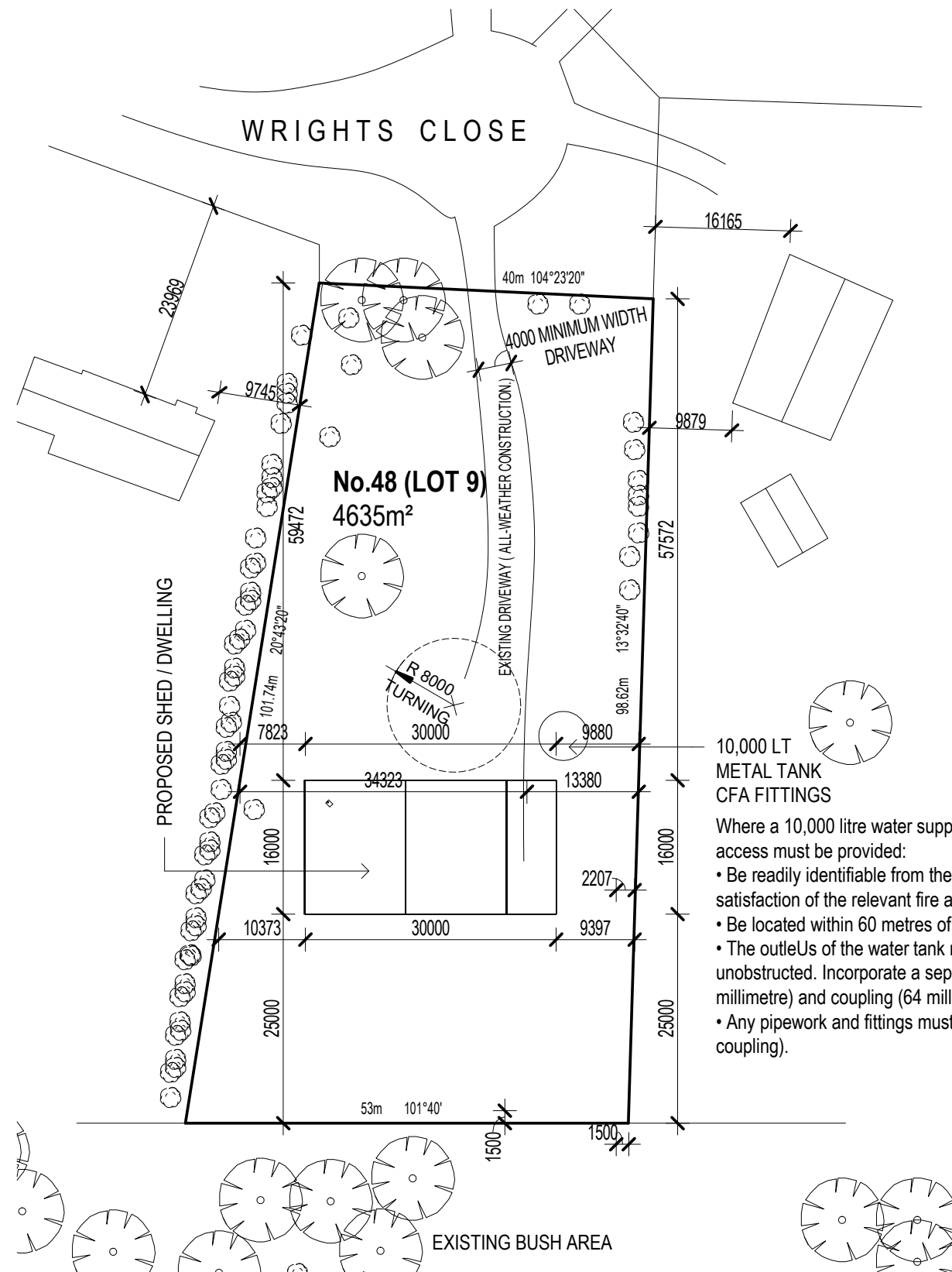
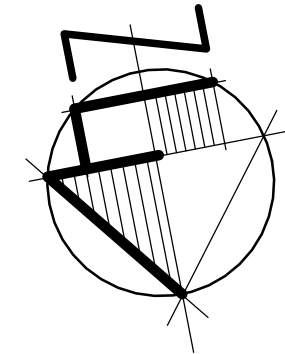
BUSHFIRE MANAGEMENT OVERLAY (BMO)

VEGETATION PROTECTION OVERLAY (VPO)

- ALL STORM WATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL DRAWINGS
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTINGS AND / OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERPINNING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- STORMWATER: 100 DIA. CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1 : 100 AND CONNECTED TO LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000mm C/C AND AT EACH CHANGE OF DIRECTION.

NOTE:

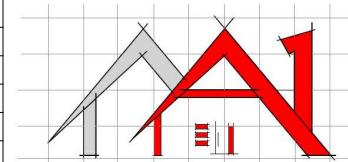
- ALL DOWN PIPES TO BE CONNECTED FROM GUTTERS TO LEGAL POINT OF DISCHARGE
- ALL NEW FRAMING TO COMPLY WITH AS 1684 AND THE BUILDING CODE OF AUSTRALIA 2016(CLASS 1-10 BUILDINGS)
- THE BUILDER AND SUBCONTRACTORS SHALL CHECK ALL DIMENSIONS, SETBACK, LEVELS AND SPECIFICATIONS AND ALL RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE BUILDER FOR CLARIFICATION. THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW / AND OR EXISTING STRUCTURES DURING THE WORKS.
- BUILDER TO VERIFY DIMENSIONS ON SITE PRIOR DEMOLITION / CONSTRUCTION WORKS.

**PROPOSED LOCATION PLAN**

Scale: 1 : 700

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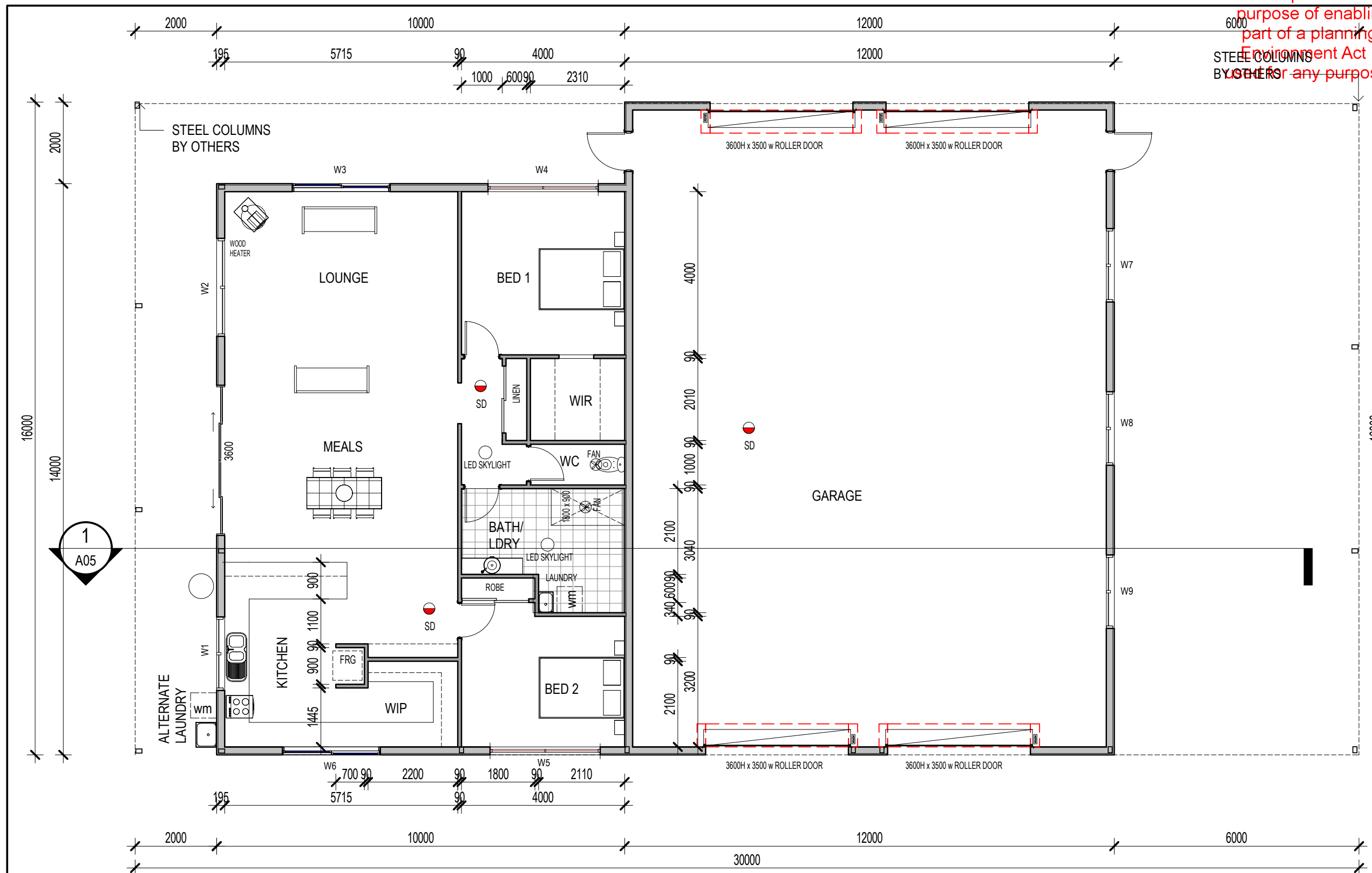
AREA:	m ²	Issue	Amendment	Date
SITE AREA:		-	-	-
HOUSE AREA:		-	-	-
GARAGE AREA:		-	-	-
ALFRESCO / VERANDA:		-	-	-
PORCH AREA:		-	-	-
OTHER AREA:		-	-	-

**A1 BUILDING DESIGN
AND DRAFTING**P.O. Box 529 Bairnsdale Victoria 3875
Mob.: 0438 560 215

Date:	JANUARY 2024	Title: SITE PLAN			
A3 Scale:	1 : 700				
Designed:	Designer	Client: BEN SIMPSON & GEORGIA LOFTS			
Drawn:	MEAGHAN GAMBLE DPAD2468				
Plot Date:	2/02/2024 3:26:44 PM	Project: NEW DWELLING 48 WRIGHTS CLOSE MALLACOOTA			
Client Approval Signature:					
Date:		Job No: 17907	Revision:	A	Drawing No: A01

Printed 5/03/2024

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DENOTES: APPROVED
SMOKE
DETECTOR/ALARM



EXHAUST FAN (SEALED)



DOORS TO SANITARY
COMPARTMENTS MUST BE
OPENABLE, SLIDE OR BE
READILY REMOVABLE
FROM THE OUTSIDE TO
COMPARTMENT UNLESS
THERE IS A CLEAR SPACE
OF 1.2m BETWEEN THE
CLOSEST PAN WITHIN THE
SANITARY
COMPARTMENTS AND THE
NEAREST PART OF THE
DOORWAY. SANITARY
COMPARTMENTS TO
COMPLY WITH BCA
SMOKE DETECTOR / ALARM

Smoke alarms must meet the Australian Standard AS 3786-2013 required by the Building Regulations (the Regulations).
In all new residential buildings, constructed on or after 1 August 1997, the smoke alarms must be connected to the consumer power mains as well as a battery back up.
SMOKE ALARMS TO BE INTERCONNECTED.

DOWN PIPES /
STORMWATER TO
LEGAL POINT OF
DISCHARGE

FLOOR PLAN

Scale.: 1 : 100

TERMITE PROTECTION: PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3660.1

DOWN PIPES / STORMWATER TO
LEGAL POINT OF DISCHARGE

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SITE AREA:		-	-	-
HOUSE AREA:		-	-	-
GARAGE AREA:		-	-	-
ALFRESCO / VERANDA:		-	-	-
PORCH AREA:		-	-	-
OTHER AREA:		-	-	-



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P.O. Box 529 Bairnsdale Victoria 3875
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Date: JANUARY 2024
A3 Scale: 1 : 100
Designed: MJG
Drawn: MEAGHAN GAMBLE DPAD2468
Plot Date: 2/02/2024 3:26:45 PM
Client Approval Signature:

REBATE SLAB EDGE TO
ACCEPT PANEL LIFT
GARAGE DOORS

Title: GROUND FLOOR PLAN

Client: BEN SIMPSON & GEORGIA LOFTS

Project: NEW DWELLING 48 WRIGHTS CLOSE MALLACOOTA

Job No: 17907

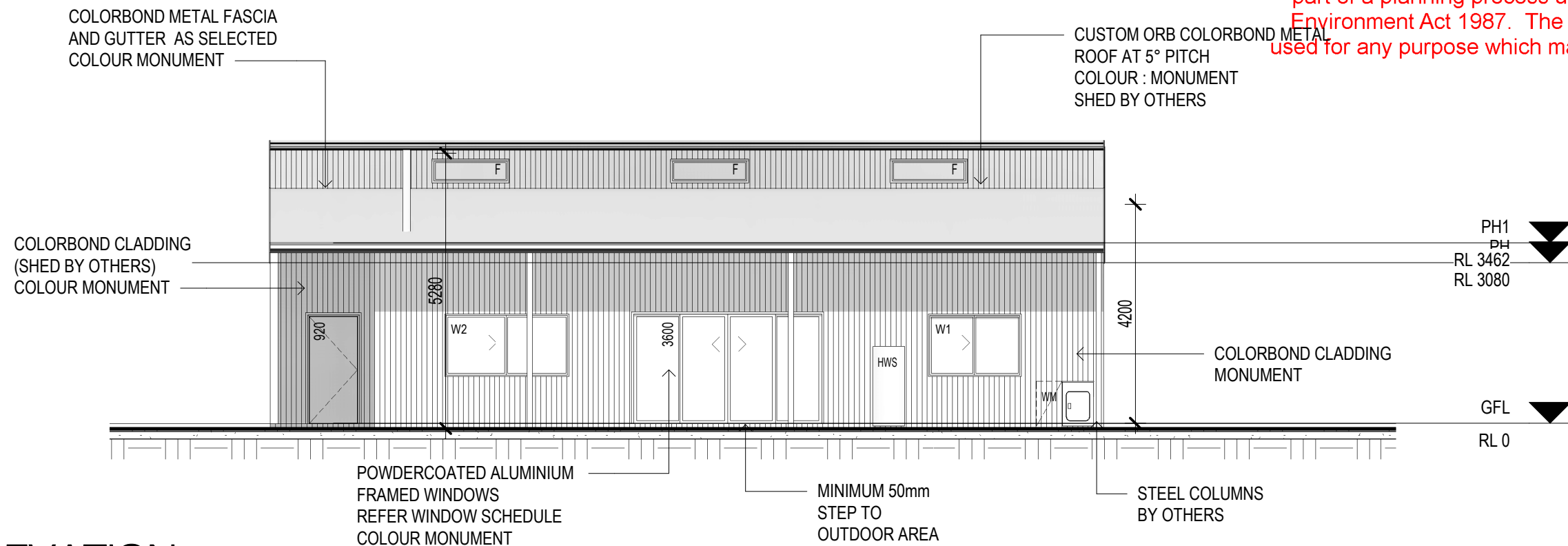
Revision:

A

Drawing No:

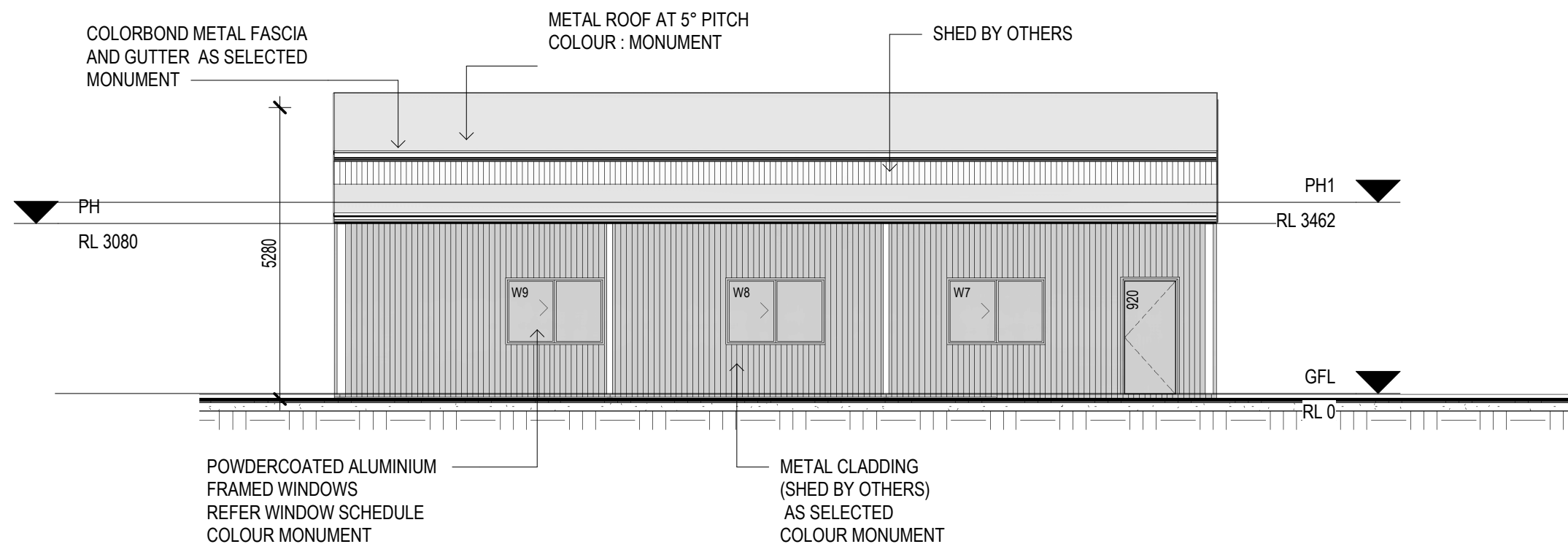
A02

ENTRY DOOR AS SELECTED →



EAST -ELEVATION

Scale.: 1 : 100



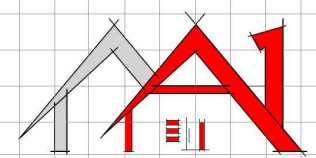
WEST - ELEVATION

Scale.: 1 : 100

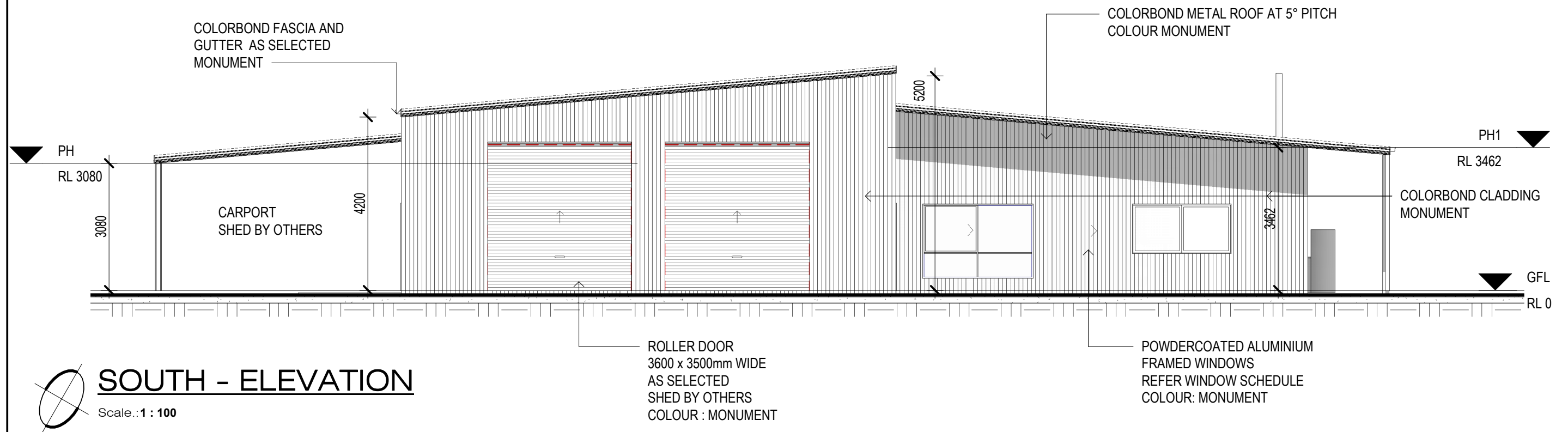
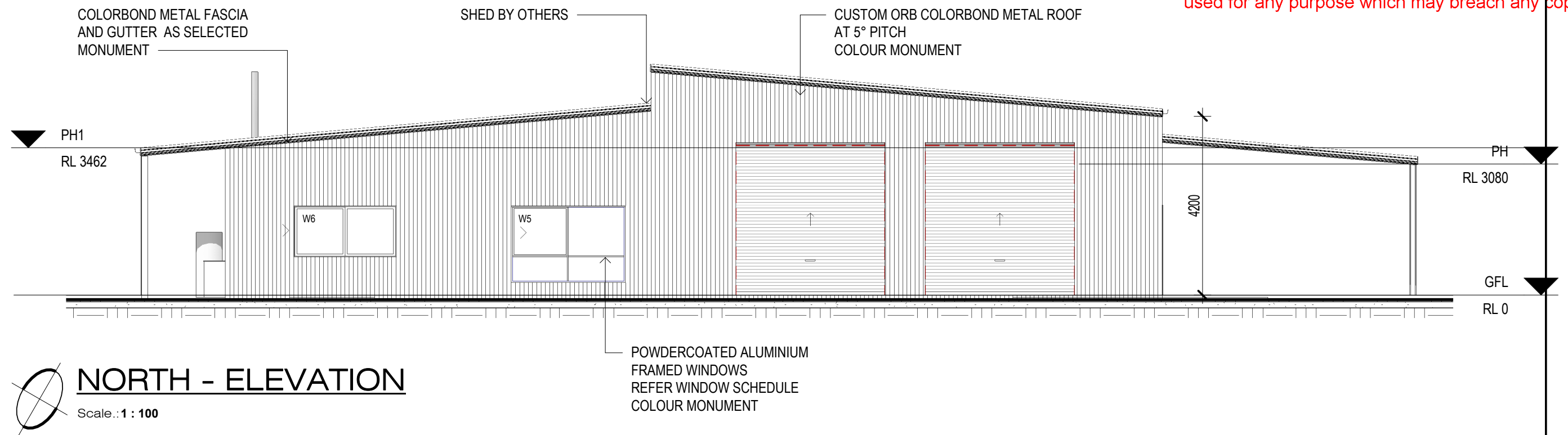
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AREA:	m ²	Issue	Amendment	Date	Date:	JANUARY 2024	Title:	ELEVATIONS
SITE AREA:	-	-	-	-	A3 Scale:	1 : 100	Client:	BEN SIMPSON & GEORGIA LOFTS
HOUSE AREA:	-	-	-	-	Designed:		Project:	NEW DWELLING 48 WRIGHTS CLOSE MALLACOOTA
GARAGE AREA:	-	-	-	-	Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	17907
ALFRESCO / VERANDA:	-	-	-	-	Plot Date:	2/02/2024 3:26:46 PM	Revision:	A
PORCH AREA:	-	-	-	-	Client Approval Signature:		Drawing No:	A03
OTHER AREA:	-	-	-	-		Date:		



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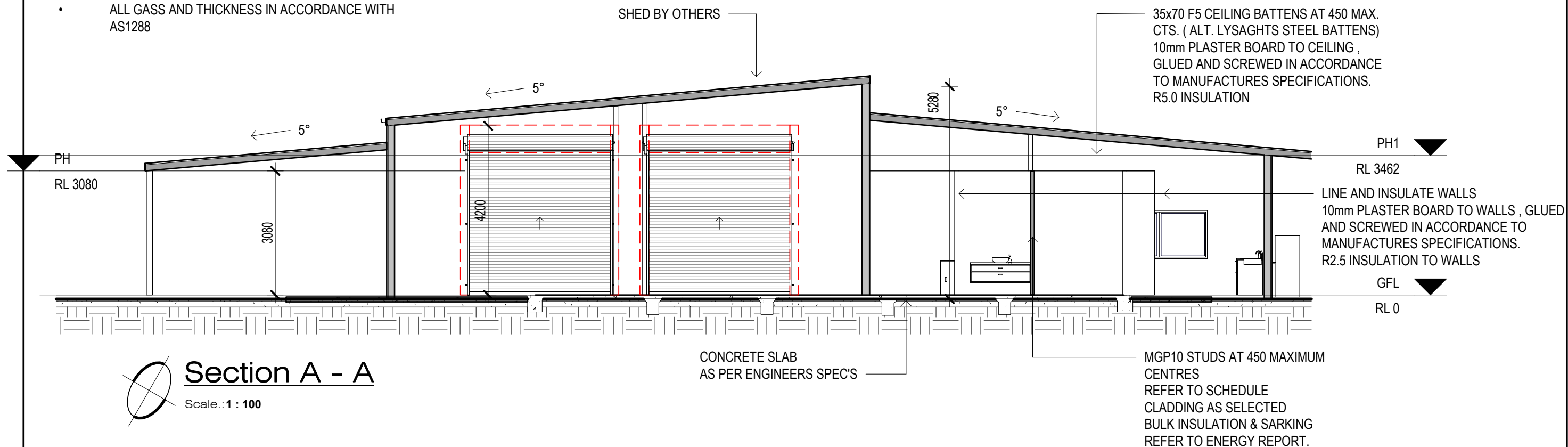
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SITE AREA:		-	-	-		A3 Scale:	1 : 100	Client:				BEN SIMPSON & GEORGIA LOFTS				
HOUSE AREA:		-	-	-		Designed:	Designer	Project:				NEW DWELLING 48 WRIGHTS CLOSE MALLACOOTA				
GARAGE AREA:		-	-	-		Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:				17907	Revision:	A	Drawing No:	A04
ALFRESCO / VERANDA:		-	-	-		Plot Date:	2/02/2024 3:26:47 PM	Printed 5/0				Page 59				
PORCH AREA:		-	-	-		Client Approval Signature:										
OTHER AREA:		-	-	-		Date:										

DOORS AND WINDOWS:

- VERIFY ALL SIZES AND POSITIONS ON SITE PRIOR TO ORDERING AND INSTALLATION OF ALL WINDOWS AND DOORS.
- SIZES OF ALL LINTELS SHALL BE VERIFIED
- ALL GASS AND THICKNESS IN ACCORDANCE WITH AS1288



NOTE : REFER TO ENERGY EFFICIENCY ASSESSMENT & SCHEDULE FOR INSULATION SPECS.

WINDOW NOTES:

ALL GLAZING TO BE IN ACCORDANCE WITH AS.1288
CONTRACTOR TO CONFIRM SIZES WITH OWNERS PRIOR ORDERING AND INSTALLATION.
ALL WINDOWS TO BE SECURELY FLASHED AND SEALED ALL AROUND.
ALL WINDOWS HEAD HEIGHTS TO BE 2100mm ABOVE FFL. UNLESS OTHERWISE NOTED.
ALL OPENING WINDOWS TO BE SUPPLIED WITH MATCHING REMOVABLE FLYSCREENS
ALL INTERNAL DOORS TO BE 2100mm HIGH UNLESS OTHERWISE NOTED.
PROVIDE FLASHING OVER WINDOW, EXTENDING 300mm MIN PAST OPENING AND BUILD INTO JOINT ABOVE LINTEL AND CARRY ACROSS CAVITY & FIX TO STUD WORK - 150mm HIGH MIN.
CONTRACTOR TO CONFIRM ALL LOCKS WITH OWNERS AND ENSURE INSTALLATIONAS PER MANUFACTURES SPECIFICATION.
GRADE 'A' SAFTEY GLASS TO WINDOWS IN WET AREAS TO MEET CURRENT STANDARDS.

WINDOW SCHEDULE

MARK	LOCATION	WINDOW STYLE	HEIGHT	WIDTH	MATERIAL	GLAZING	REMARKS
1	KITCHEN	SLIDING	1200	1800	PC ALUMINIUM - MONUMENT	5mm TOUGHENED GLASS DOUBLE GLAZED	METAL SCREEN
2	LOUNGE	SLIDING	1200	2400	PC ALUMINIUM - MONUMENT	5mm TOUGHENED GLASS DOUBLE GLAZED	METAL SCREEN
3	LOUNGE	SLIDING	1200	2400	PC ALUMINIUM - MONUMENT	5mm TOUGHENED GLASS DOUBLE GLAZED	METAL SCREEN
4	BED 1	SLIDING	1800	2700	PC ALUMINIUM - MONUMENT	5mm TOUGHENED GLASS DOUBLE GLAZED	METAL SCREEN
5	BED 2	SLIDING	1800	2700	PC ALUMINIUM - MONUMENT	5mm TOUGHENED GLASS DOUBLE GLAZED	METAL SCREEN
6	KITCHEN	SLIDING	1200	2400	PC ALUMINIUM - MONUMENT	5mm TOUGHENED GLASS DOUBLE GLAZED	METAL SCREEN
7	GARAGE	SLIDING	1200	1800	PC ALUMINIUM - MONUMENT	5mm TOUGHENED GLASS DOUBLE GLAZED	METAL SCREEN
8	GARAGE	SLIDING	1200	1800	PC ALUMINIUM - MONUMENT	5mm TOUGHENED GLASS DOUBLE GLAZED	METAL SCREEN
9	GARAGE	SLIDING	1200	1800	PC ALUMINIUM - MONUMENT	5mm TOUGHENED GLASS DOUBLE GLAZED	METAL SCREEN
10	HIGHLIGHT - GARAGE	FIXED	450	1500	PC ALUMINIUM - MONUMENT	5mm TOUGHENED GLASS DOUBLE GLAZED	METAL SCREEN
11	HIGHLIGHT - GARAGE	FIXED	450	1500	PC ALUMINIUM - MONUMENT	5mm TOUGHENED GLASS DOUBLE GLAZED	METAL SCREEN
12	HIGHLIGHT - GARAGE	FIXED	450	1500	PC ALUMINIUM - MONUMENT	5mm TOUGHENED GLASS DOUBLE GLAZED	METAL SCREEN

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AREA:	m ²	Issue	Amendment	Date	A1 BUILDING DESIGN AND DRAFTING			
SITE AREA:		-	-	-	 P.O. Box 529 Bairnsdale Victoria 3875 Mob.: 0438 560 215			
HOUSE AREA:		-	-	-				
GARAGE AREA:		-	-	-				
ALFRESCO / VERANDA:		-	-	-				
PORCH AREA:		-	-	-				
OTHER AREA:		-	-	-				
					Date: JANUARY 2024	Title: SECTION & WINDOW SCHEDULE		
					A3 Scale: 1 : 100	Client: BEN SIMPSON & GEORGIA LOFTS		
					Designed:			
					Drawn: MEAGHAN GAMBLE DPAD2468			
					Plot Date: 2/02/2024 3:26:47 PM	Project: NEW DWELLING 48 WRIGHTS CLOSE MALLACOOTA		
					Client Approval Signature:	Job No: 17907	Revision: A	Drawing No: A05
					Date:			

HEIGHTS OF GPO'S

GENERAL - 200mm ABOVE F.F.L.
 KITCHEN - 1100mm ABOVE F.F.L. (BENCH)
 FRIDGE LOCATION - 1100mm ABOVE F.F.L.
 DISHWASHER LOCATION - 750mm ABOVE F.F.L.
 RANGEHOOD LOCATION - 2200mm ABOVE F.F.L.
 COOKTOP LOCATION - 750mm ABOVE F.F.L.
 BATH / EN'S - 1100mm ABOVE F.F.L.
 LAUNDRY - 1100mm ABOVE F.F.L.
 WALL OVEN 15AMP POWER POINT DIRECT WIRED

LIGHT SWITCHES TO BE LOCATED 1100mm ABOVE F.F.L.
 LIGHT SWITCH FOR HEATING UNIT 1500mm ABOVE F.F.L.
 WITHIN CLOSE PROXIMITY OF MANHOLE.

GARAGE REMOTE LOCATIONS:

ROLLER DOOR - LOCATE ON WALL 1800mm ABOVE F.F.L.
 PANEL DOOR - LOCATE ON CEILING 3.20m, C.L. DOOR.

NOTE: LIGHTING COMPLIANCE TO BE CONFIRMED PRIOR TO COST./ FINAL INSP. AS PER BELOW:

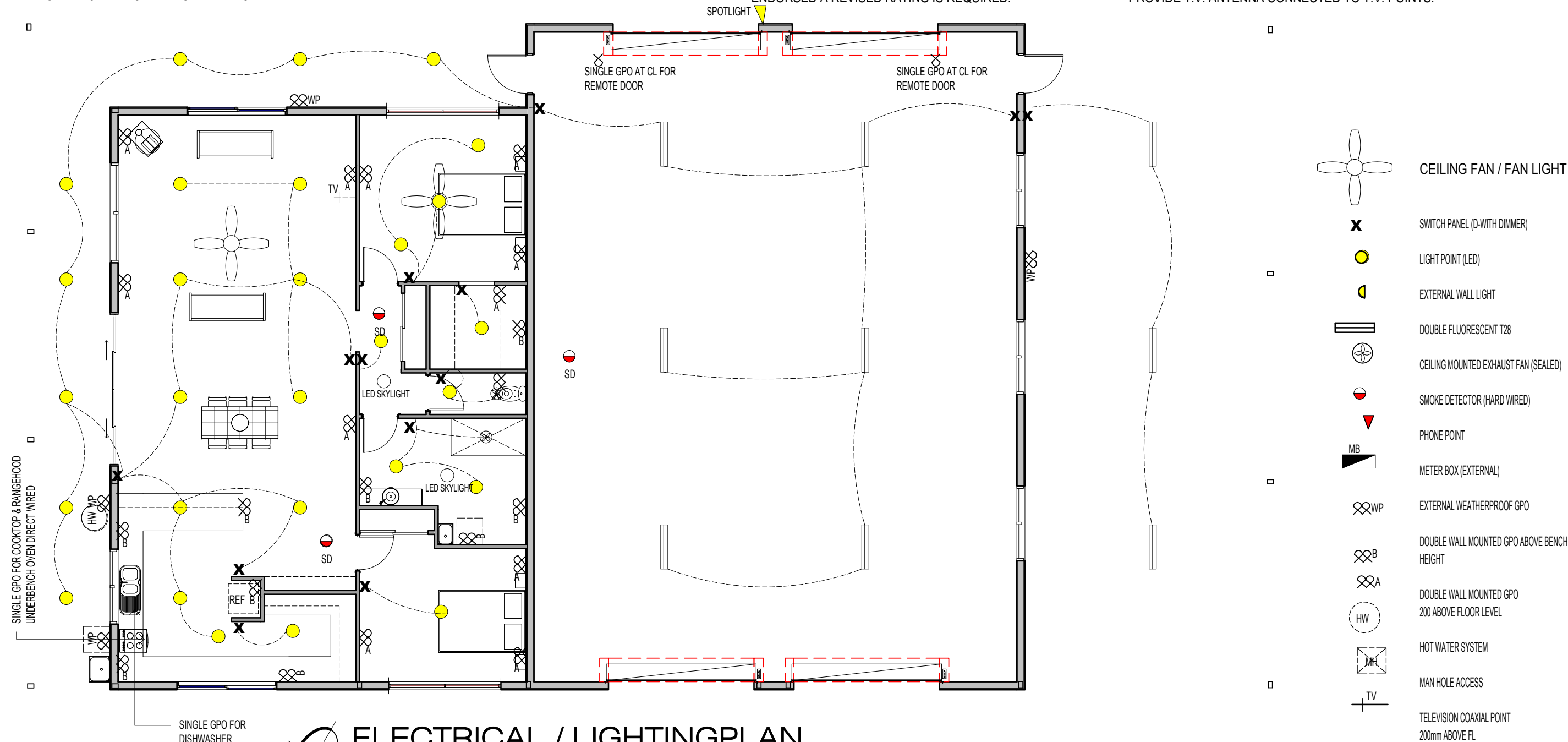
5W/sqm - CLASS 1 BUILDING (RESIDENCE)
 4W/sqm - VERANDAH / BALCONY CLASS 1 BLG.
 3W/sqm - CLASS 10 BUILDING (GARAGE)
 PENETRATIONS TO CEILINGS TO COMPLY WITH PART 3.12.1.2(e)
 IF LIGHTING LAYOUT/DESIGN DIFFERS FROM WHAT ENDORSED A REVISED RATING IS REQUIRED.

LOCATION OF ALL ELECTRICAL POINTS ARE APPROXIMATE ONLY, AND ARE SUBJECT TO POSITIONING OF STRUCTURAL MEMBERS ON THE PLAN.

SOLAR HOT WATER SERVICE INCLUDING SOLAR PANELS INSTALLED AS PER MANUFACTURER'S SPECIFICATION.

PROVIDE TELEPHONE CABLING FROM STREET TO HOUSE.

PROVIDE T.V. ANTENNA CONNECTED TO T.V. POINTS.

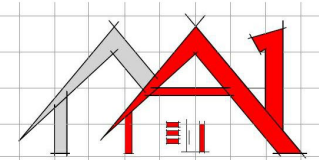


ELECTRICAL / LIGHTING PLAN

Scale: 1 : 100

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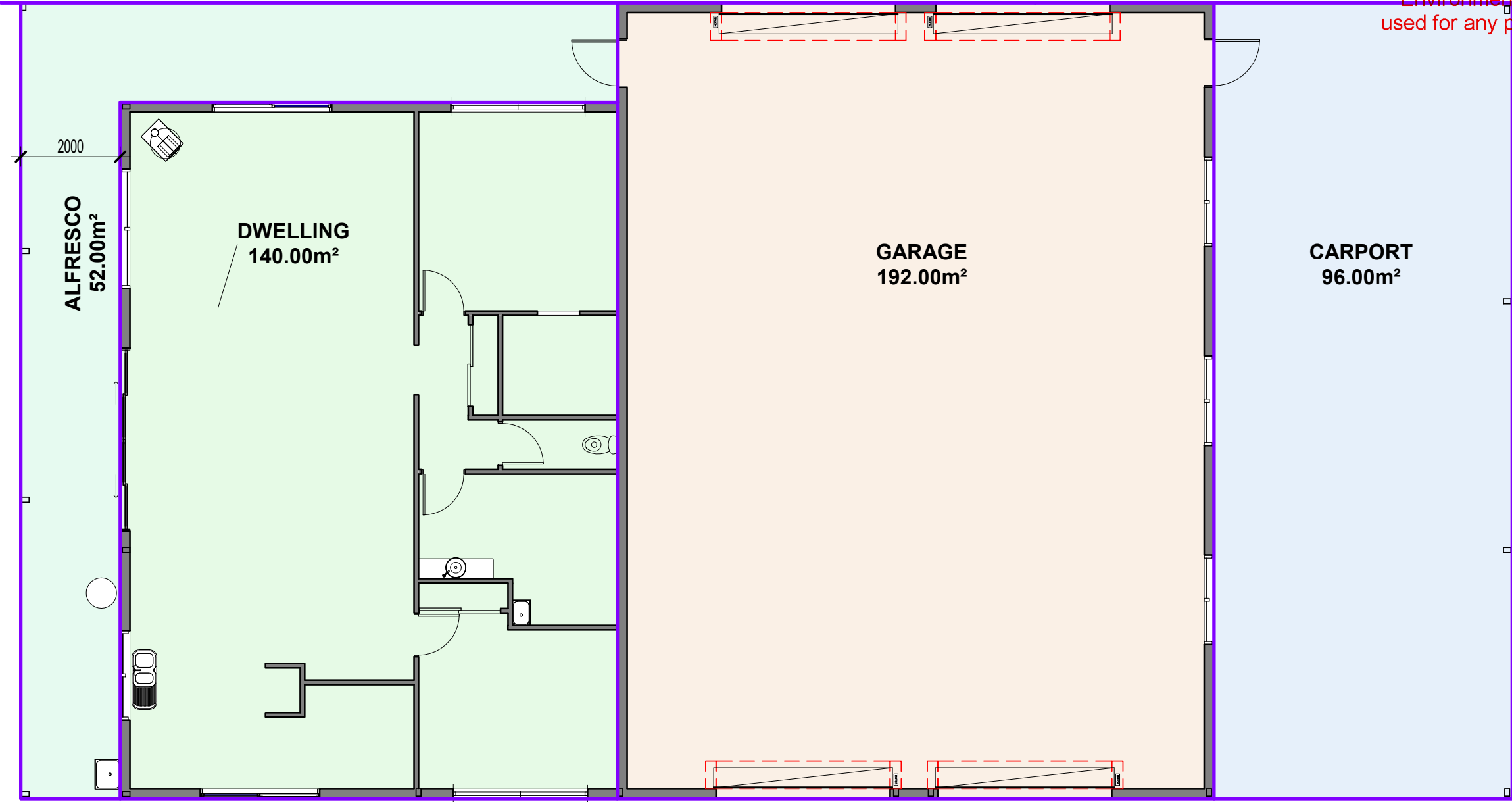
AREA:	m ²	Issue	Amendment	Date
SITE AREA:		-	-	-
HOUSE AREA:		-	-	-
GARAGE AREA:		-	-	-
ALFRESCO / VERANDA:		-	-	-
PORCH AREA:		-	-	-
OTHER AREA:		-	-	-







**A1 BUILDING DESIGN
AND DRAFTING**

P.O. Box 529 Bairnsdale Victoria 3875
 Mob.: 0438 560 215

Date:	JANUARY 2024	Title:	ELECTRICAL PLAN
A3 Scale:	1 : 100	Client:	BEN SIMPSON & GEORGIA LOFTS
Designed:	Designer	Project:	NEW DWELLING 48 WRIGHTS CLOSE MALLACOOTA
Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	17907
Plot Date:	2/02/2024 3:26:48 PM	Revision:	A
Client Approval Signature:		Drawing No:	A06
Date:			



 **AREA PLAN**
Scale.: 1 : 100

-  ALFRESCO
-  CARPORT
-  DWELLING
-  GARAGE

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SITE AREA:	-	-	-	-		A3 Scale: 1 : 100		Client: BEN SIMPSON & GEORGIA LOFTS			
HOUSE AREA:	-	-	-	-		Designed: Designer					
GARAGE AREA:	-	-	-	-		Drawn: MEAGHAN GAMBLE DPAD2468		Project: NEW DWELLING 48 WRIGHTS CLOSE MALLACOOTA			
ALFRESCO / VERANDA:	-	-	-	-		Plot Date: 2/02/2024 3:26:48 PM					
PORCH AREA:	-	-	-	-		Client Approval Signature: <div>Date:</div>		Job No: 17907		Revision: A	Drawing No: A07 Printed 5/0 Page 62
OTHER AREA:	-	-	-	-							

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SPECIFICATIONS

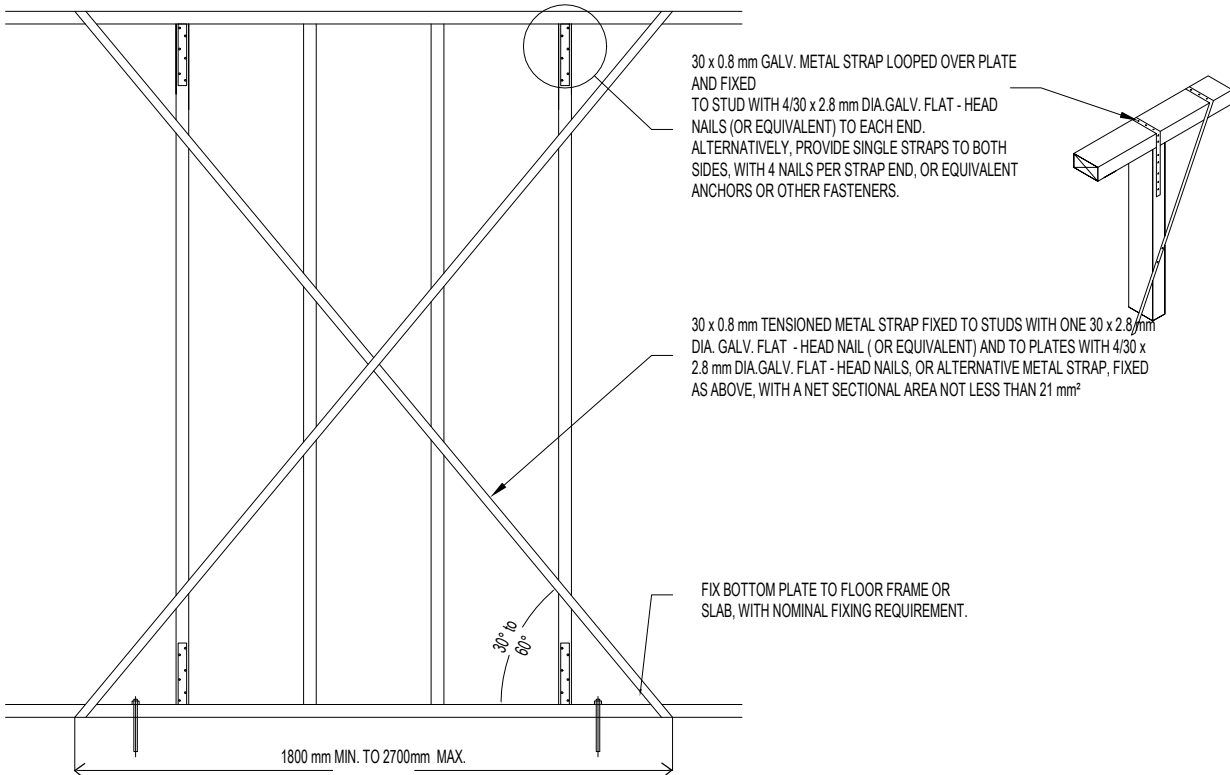
NOTE: ALL FIXINGS FOR STRUCTURE SHALL BE REQUIRED TO BE IN COMPLIANCE WITH THE TIMBER FRAMING CODE AS 1684-2006 FOR WIND FORCES OF CATEGORY N3 (41m/s)

SOIL CLASSIFICATION: CLASS " - " REFER TO SOIL REPORT
STUMPS AND FOOTINGS: REFER TO ENGINEERS DETAILS
FLOOR JOISTS & BEARERS: REFER TO ENGINEERS DETAILS
FLOORING: CONCRETE SLAB - REFER TO ENGINEERS DESIGN AND DOCUMENTATION.
POSTS AND SUPPORTS: REFER TO ENGINEERS COMPUTATIONS
TOP PLATES:
 LOADBEARING: 2/45x90 MGP10 PINE NOT TRENCHED FOR STUDS
 NON-LOADBEARING: 45x90 MGP10 PINE NOT TRENCHED FOR STUDS
BOTTOM PLATES:
 LOADBEARING: 45x90 MGP10 PINE NOT TRENCHED FOR STUDS
COMMON STUDS:
 2725 HIGH MAX.: 90x45 MGP10 PINE AT 450 CTS.
 3040 HIGH MAX.: 90x45 MGP10 PINE AT 450 CTS.
JAMB STUDS:
 2100 MAX.: 2/90x45 F17 KDHW MAX. OPENING 2100
NOTE: PROVIDE DOUBLE STUDS AT ALL CONTROL JOINTS (NOT NAIL-LAMINATED)
NOGGINGS: 2725 - 3040 HIGH STUDS 90x45 MGP10 PINE AT 1000 MAX,CTS.
BRACING: REFER TO DETAILS
LINTELS AND BEAMS: REFER TO ENGINEERS COMPUTATIONS.
RAFTERS:

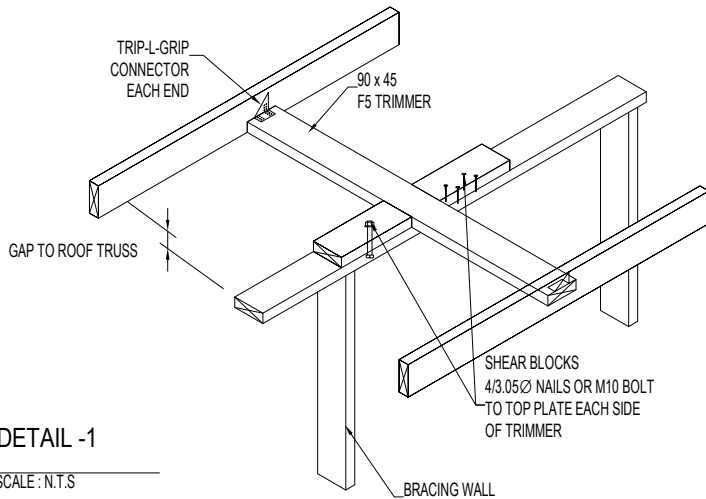
ROOF TRUSS AT 900 MAX CTS (METAL ROOF) AS PER MANUFACTURES SPECS.
RAFTERS : AS PER ENGINEERS COMPUTATIONS

VALLEY BOARDS: 19x200 F8 OBHW AND 19x75 F8 OBHW
ROOF BRACING: REFER TO ENGINEERS DETAILS
ROOF BATTENS: 25x38 F8 OBHW AT 450 CTS (METAL ROOF)
ROOF LINING: CONCRETE TO ENGINEERS DETAILS
INTERNAL LININGS: 10mm PLASTERBOARD TO WALLS AND 9mm COMPRESSED SHEET OR VILLABOARD TO WET AREAS; WATER PROOF TO WET AREAS.
10mm PLASTERBOARD TO INTERNAL CEILINGS
FIX ALL PLASTERBOARD TO FLOOR JOISTS AND TRUSSES VIA "RONDO 301"
METAL BATTENS AT 450 MAXIMUM CENTRES.
REFER TO WINDOW SCHEDULE
TO ALL OPERABLE WINDOWS
TO OWNER'S SELECTION
TO OWNER'S SELECTION
TO OWNER'S SELECTION
INSULATION: R3.5 MIN - BATTS IN NEW ROOF SPACE
R2.4 MIN - BATTS IN ALL NEW EXTERNAL STUD WALLS. / R2 UNDER FLOOR.
REFER TO ENERGY RATING REPORT.
RFL OVER ALL NEW ROOF BATTENS AND AROUND EXTERNAL WALLS.
REFER TO PLANS AND ELEVATIONS FOR TREATMENT OF EXTERNAL FINISHES.

SARKING AND INSULATION:
EXTERNAL FINISHES:



NOTE: NOGGINGS HAVE BEEN OMITTED FOR CLARITY



DETAIL -1

SCALE : N.T.S
BRACING PANEL FIXING DETAIL
WHERE PARALLEL TO ROOF
TRUSSES

IMPORTANT NOTES

1. ALL OTHER BEAMS NOT MENTIONED ABOVE BY OTHERS
2. BUILDER TO CONTACT THIS OFFICE IF CONDITIONS DIFFER THAN WHAT IS SHOWN ABOVE.
3. PROVED DOUBLE STUDS UNDER BEAMS AND / OR LINTELS UNO.
4. ALL DOUBLE TIMBER MEMBERS ARE SPIKED TOGETHER.
5. HOOP IRON BRACING TO BE FIXED TO EVERY RAFTER/FLOOR JOIST (HP).
6. ALL TIMBER FRAMING AND CONNECTION TO COMPLY WITH (N3) WIND CATEGORY COMPLY WITH (N3) WIND CATEGORY REQUIREMENTS AS SPECIFIED IN THE TIMBER REQUIREMENTS AS SPECIFIED IN THE TIMBER FRAMING CODE.
7. ALL LINTELS/BEAMS TO BE RESTRAINED AT EACH END.
8. ALL BRACING NOT SHOWN. SHALL BE IN ACCORDANCE WITH AS1684 BY BUILDER.

NOTE:-

- THE STABILITY OF THE BUILDING DURING CONSTRUCTION IS THE BUILDERS RESPONSIBILITY.
- ALL SITE WELDS TO BE COLD GALV. PAINTED.
- ALL EXPOSED STEELWORK INCLUDING FIXINGS TO BE HOT DIP GALVANISED.
- BUILDER TO FULL PROP & BRACE EXISTING AND NEW STRUCTURES DURING ALL STAGES OF DEMOLITION & CONSTRUCTION.
- ALL OTHER BEAMS AND LINTELS NOT MENTIONED ABOVE BY BUILDER TO AS1684.

BRACING TO EXTERNAL WALLS:-

METAL STRAP CROSS BRACING WB2 TO BE PROVIDED TO ALL WALL GREATER THEN 1800mm IN LENGTH U.N.O OTHER WISE PLYWOOD BRACING MUST BE USED (WB1)

BRACING TO INTERNAL WALLS:-

METAL STRAP CROSS BRACING WB2 TO BE PROVIDED TO ALL WALL GREATER THEN 700 m IN LENGTH U.N.O (REFER WB2 DETAILS)

NOTE: HP DENOTES HOOP IRON BRACING TO BE

FIXED T EVERY RAFTER / JOIST.

WB2:- FIXING TO ROOF TRUSSES AND FLOOR FRAMING

THE TOP OF ALL WB2 UNITS SHALL BE FIXED TO ROOF TRUSSES AND FLOOR FRAMING WITH FRAMING ANCHORS AT ENDS AND 900mm CTS. WITHIN BRACING UNIT. EACH FRAMING ANCHOR SHALL HAVE 6/2.8mm DIA. NAILS TO THE TRUSS BOTTOM CHORD OR JOIST AND TOP PLATE. ALTERNATIVELY PROVIDE FIXING IN ACCORDANCE WITH "DETAIL 1 OR 2" AT EACH END 900mm CTS. WITH BRACING UNITS.

NOTES:-

PLYWOOD: PLYWOOD SHALL BE NAILED TO FRAME USING

30 x 2.8mm Ø GALVANIZED FLATHEAD NAILS OR

HARDBOARD : HARDBOARD SHALL COMPLY WITH AS/NZS 1859.4.

HARDBOARD SHALL BE NAILED TO FRAME USING MINIMUM

25 x 2.8mm Ø GALVANIZED NAILS OR

NAILS SHALL BE LOCATED A MINIMUM OF 10mm FROM THE

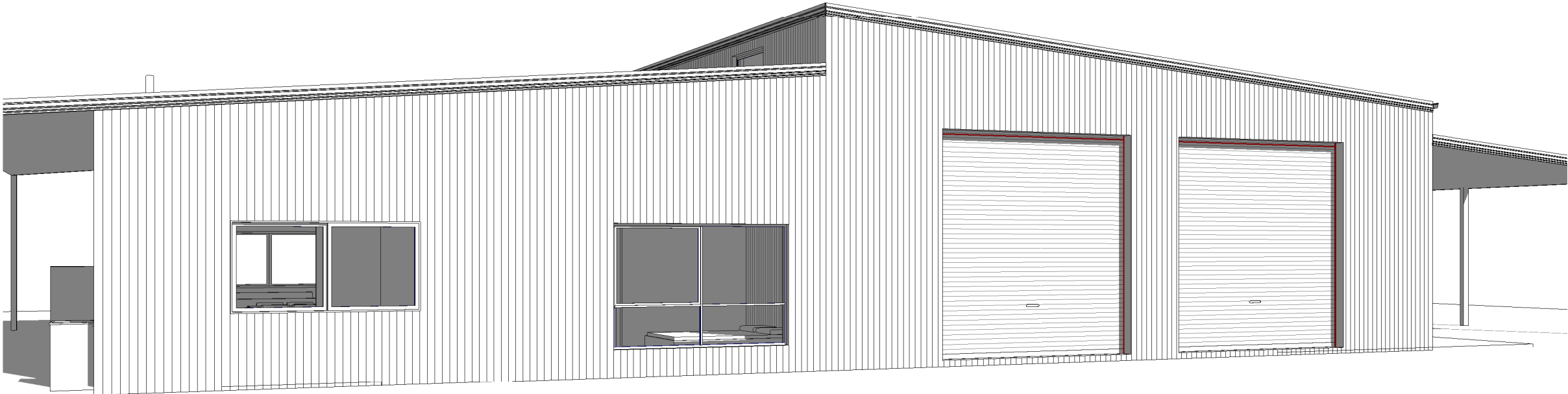
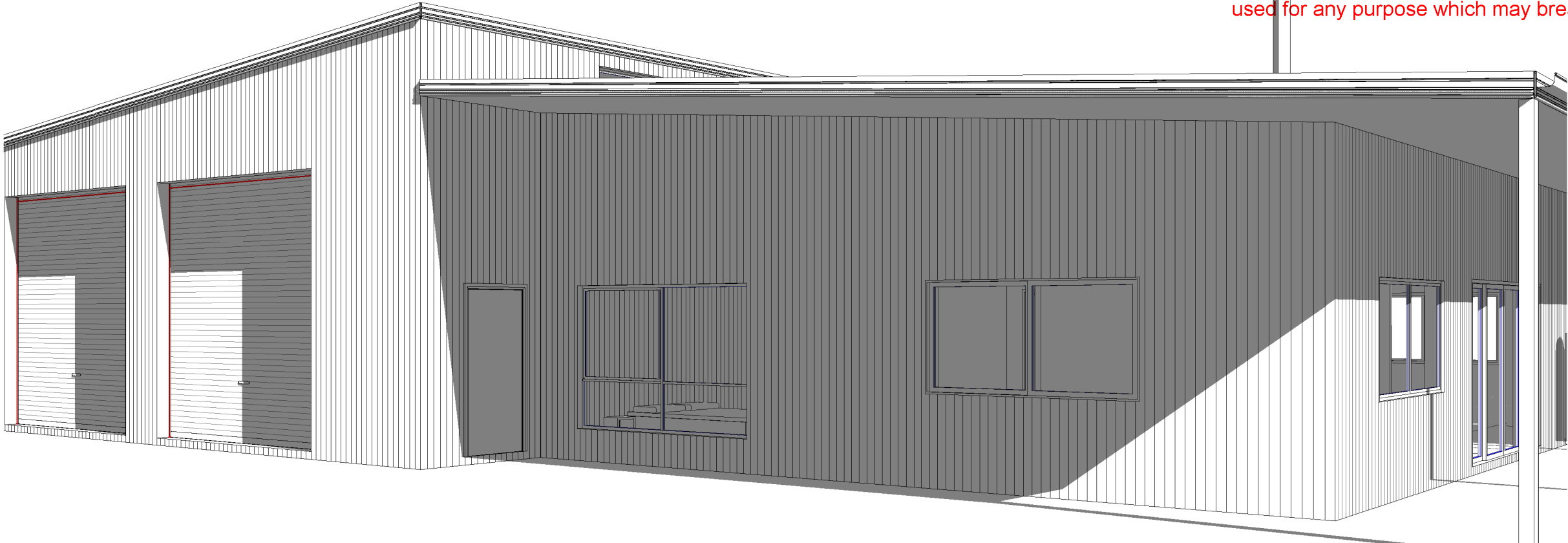
VERTICAL EDGES AND 20mm FROM THE TOP AND BOTTOM

EDGES. PANEL EDGES SHALL BE SUPPORTED BY STUDS.

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AREA:	m²	Issue	Amendment	Date
SITE AREA:		-	-	-
HOUSE AREA:		-	-	-
GARAGE AREA:		-	-	-
ALFRESCO / VERANDA:		-	-	-
PORCH AREA:		-	-	-
OTHER AREA:		-	-	-

 <div>A1 BUILDING DESIGN AND DRAFTING P.O. Box 529 Bairnsdale Victoria 3875 Mob.: 0438 560 215</div>	Date: JANUARY 2024	Title: SPECIFICATIONS			
	A3 Scale: 1 : 100	Client: BEN SIMPSON & GEORGIA LOFTS			
	Designed: Designer	Project: NEW DWELLING 48 WRIGHTS CLOSE MALLACOOTA			
	Drawn: MEAGHAN GAMBLE DPAD2468	Job No: 17907			
	Plot Date: 2/02/2024 3:26:48 PM	Revision: A			
Client Approval Signature:		Date:		Drawing No: A08	



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AREA:	m ²	Issue	Amendment	Date	<div><div><div>A1 BUILDING DESIGN AND DRAFTING</div><div>P.O. Box 529 Bairnsdale Victoria 3875 Mob.: 0438 560 215</div></div></div>	Date: JANUARY 2024	Title: 3D VIEWS			
SITE AREA:		-	-	-		A3 Scale:	Client: BEN SIMPSON & GEORGIA LOFTS			
HOUSE AREA:		-	-	-		Designed: Designer	Project: NEW DWELLING 48 WRIGHTS CLOSE MALLACOOTA			
GARAGE AREA:		-	-	-		Drawn: MEAGHAN GAMBLE DPAD2468				
ALFRESCO / VERANDA:		-	-	-		Plot Date: 2/02/2024 3:26:50 PM				
PORCH AREA:		-	-	-		Client Approval Signature:				
OTHER AREA:		-	-	-		Date:	Job No: 17907	Revision:	A	Drawing No: A09

- All materials and work practices shall comply with, but not limited to the Building Regulations 2018, National Construction Code Series 2019 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.
- Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2019 Building Code of Australia Volume 2.
- All materials and construction practice shall meet the Performance Requirements of the BCA. Where a performance solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.
- Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with:
 - BCA Part 3.6 for Class 1 and 10 Buildings within a design wind speed of not more than N3; and
 - BCA Vol 1 Part B1.4 for Class 2 and 9 Buildings.
- Waterproofing and water resistance of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: Waterproofing of Domestic Wet Areas.
- These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.
- Step sizes (other than for spiral stairs) to be:
 - Risers (R) 190mm maximum and 115mm minimum
 - Going (G) 355mm maximum and 240mm minimum
 - $2R + 1G = 700\text{mm}$ maximum and 550mm minimum
 - with less than 125mm gap between open treads.
- All treads, landings and the like to have a slip-resistance classification of P4 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.
- Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Barriers (other than tensioned wire barriers) to be:
 - 1000mm min. above finished surface level of balconies, landings or the like, and
 - 865mm min. above finished surface level of stair nosing or ramp, and
 - vertical with less than 125mm gap between, and

- commencement of any works. Report all discrepancies to this office for clarification.
- Installation of all services shall comply with the respective supply authority requirements.
- The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
- These plans have been prepared for the exclusive use by the Client of [Insert Drafting Service] ('The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.
- A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.
- The Client and/or the Client's Builder shall not modify or amend the plans without the knowledge and consent of Meaghan Gamble of A1 Building Design & Drafting except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to Meaghan Gamble of A1 Building Design & Drafting .
- The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.
- (soil classification relocated)

- 100 mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction.
- The cover to underground stormwater drains shall be not less than
 - 100mm – under soil
 - 50mm – under paved or concrete areas
 - 100mm – under unreinforced concrete or paved driveways
 - 75mm – under reinforced concrete driveways

Site Bushfire Attack Assessment (simplified method)

Reference document 'AS3959-2018 construction of

- For determination of domestic structures of a height less than or equal to 8.50m
- Building type importance level – [insert importance level from BCA Table 3.11.3a]
- Annual probability of exceedance – [insert probability from BCA Table 3.11.3b]
- Probability factor (k_p) – [insert probability factor from AS1170.4 Table 3.1]
- Hazard factor (Z) for project location – (insert hazard factor for project location from AS1170.4 Table 3.2)
- Hazard at the ($k_p Z$) – [insert $k_p Z$ value from AS1170.4 Table A1]
- Design required – [insert design required from AS1170.4 Table A1]

AREA:	m²	Issue	Amendment	Date	 <div>A1 BUILDING DESIGN AND DRAFTING P.O. Box 529 Bairnsdale Victoria 3875 Mob.: 0438 560 215</div>	Date:	JANUARY 2024	Title: General Notes for Residential Works						
SITE AREA:	-	-	-	-		A3 Scale:		Client: BEN SIMPSON & GEORGIA LOFTS						
HOUSE AREA:	-	-	-	-		Designed:	Designer							
GARAGE AREA:	-	-	-	-		Drawn:	MEAGHAN GAMBLE DPAD2468	Project: NEW DWELLING 48 WRIGHTS CLOSE MALLACOOTA						
ALFRESCO / VERANDA:	-	-	-	-		Plot Date:	2/02/2024 3:26:50 PM							
PORCH AREA:	-	-	-	-		Client Approval Signature:		Job No:		17907	Revision:	A	Drawing No:	A10
OTHER AREA:	-	-	-	-										Printed 5/0 Page 65

Bushfire Management Plan –

Bushfire Protection Measures

Mandatory Condition

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed

a) Defendable Space

Defendable space is provided for a distance of metres around the building or to the property boundary whichever is the lesser and managed in accordance with the following:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

b) Construction Standard

Dwelling designed and constructed to a minimum Bushfire Attack Level of BAL –

c) Water Supply

The following requirements apply:

- An effective capacity of
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.

Where a 10,000 litre water supply is required, the following fire authority fittings and access must be provided:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

d) Access

Access Required: No

Yes The following design and construction requirements apply:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.1°) entry and exit angle.

Length of access is greater 100 metres: Yes No

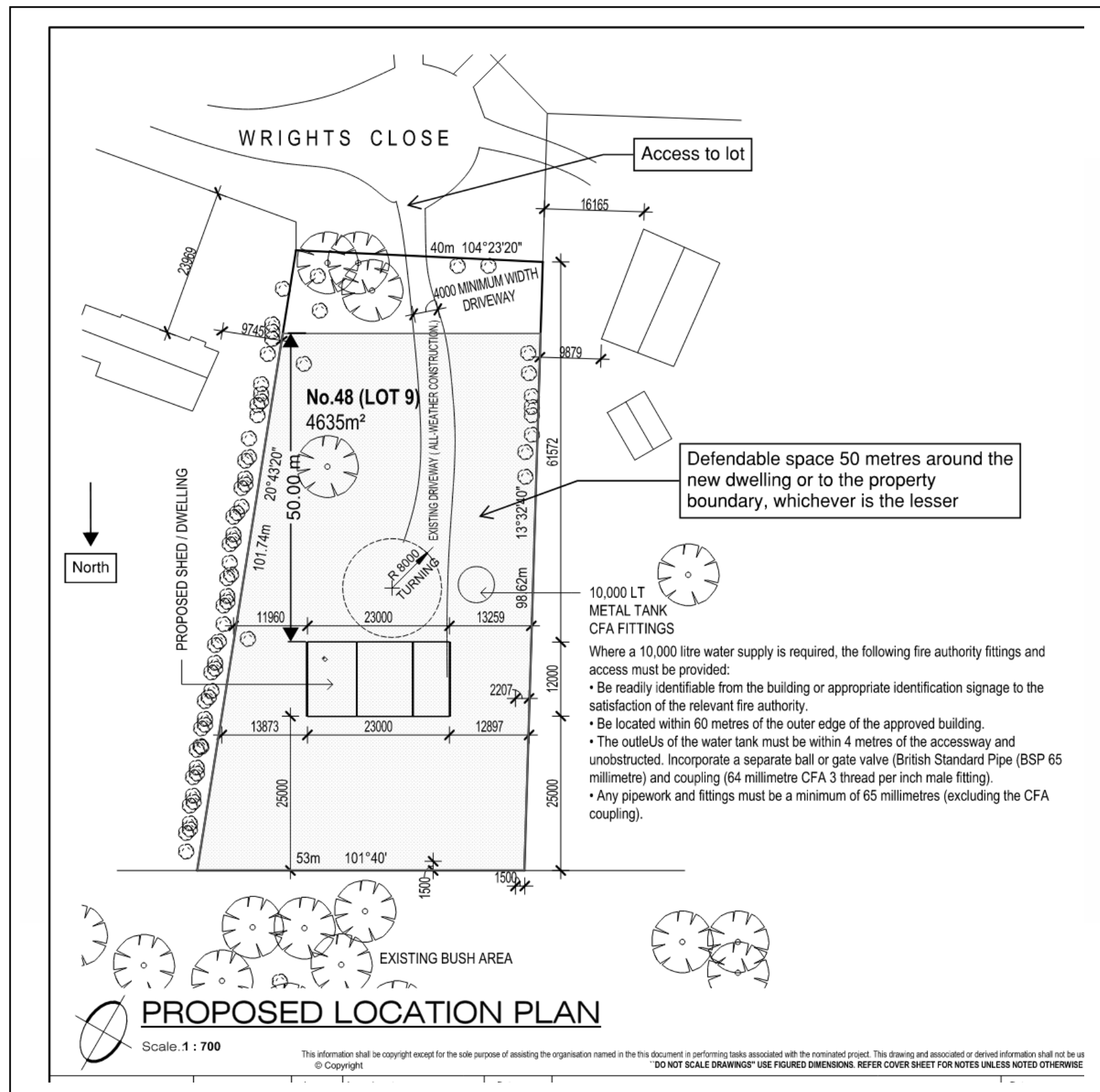
Where length of access is greater than 100 metres the following design and construction requirements apply:

- A turning circle with a minimum radius of eight metres, or
- A driveway encircling the building, or
- The provision of other vehicle turning heads – such as a T or Y Head – which meet the specification of Austroad Design for an 8.8 metre service vehicle.

Length of driveway is greater than 200 metres: Yes No

Where length of access is greater than 200 metres the following design and construction requirement applies:

- Passing bays are required at least every 200 metres that are a minimum 20 metres long and a minimum trafficable width of 6 metres.



Prepared by:

Version:

Date: