

21 March 2023

Form 2

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	<b>374 Rosherville Road METUNG Lot 1 PS 727610</b>
The application is for a permit to:	<b>Buildings and Works for a Dwelling</b>
The applicant for the permit is:	<b>Crowther &amp; Sadler Pty Ltd</b>
The application reference number is:	<b>54/2023/P</b>
You may look at the application and any documents that support the application on the website of the responsible authority.	<b>(Intentionally blank)</b>

This can be done anytime by visiting the following website:

<https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ♦ be sent to the Responsible Authority in writing,
- ♦ include the reasons for the objection, and
- ♦ state how the objector would be affected.

The Responsible Authority will not decide on the application before:	<b>Subject to applicant carrying out notice</b>
--	---

**If you object, the Responsible Authority will tell you its decision.**

Please note submissions received will be made available for inspection and may be made available to other parties in accordance with the Planning & Environment Act 1987. If you have concerns about this, please contact the East Gippsland Shire Council's Planning Office.

## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 3

VOLUME 11876 FOLIO 784

Security no : 124103859796V  
Produced 10/02/2023 03:39 PM

### LAND DESCRIPTION

Lot 1 on Plan of Subdivision 727610T.  
PARENT TITLE Volume 11191 Folio 054  
Created by instrument PS727610T 09/05/2017

### REGISTERED PROPRIETOR

Estate Fee Simple  
Sole Proprietor

### ENCUMBRANCES, CAVEATS AND NOTICES

]

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AL983190P 25/06/2015

### DIAGRAM LOCATION

SEE PS727610T FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 374 ROSHERVILLE ROAD METUNG VIC 3904

### ADMINISTRATIVE NOTICES

NIL

DOCUMENT END

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# PLAN OF SUBDIVISION

PS 727610T  
EDITION 1

## LOCATION OF LAND

**PARISH :** BUMBERRAH | BUMBERRAH  
**TOWNSHIP :** ——— | METUNG  
**SECTION :** ——— | M  
**CROWN ALLOTMENT :** 79B, PART OF 79 & 79A & PART OF FORMER GOVT ROAD | IA (PART)  
**CROWN PORTION :** ———  
**TITLE REFERENCE :** VOL III91 FOL 054  
**LAST PLAN REFERENCE :** LOT 2 - PS628968Y  
**POSTAL ADDRESS : (At time of subdivision)** 705A METUNG ROAD METUNG, 3904  
**MGA94 Co-ordinates (of approx centre of land in plan)** E 575 160 ZONE: 55  
N 5807 660 GDA 94

## COUNCIL CERTIFICATION AND ENDORSEMENT

**COUNCIL NAME:** EAST GIPPSLAND SHIRE COUNCIL

## NOTATIONS

**DEPTH LIMITATION** 15.24 METRES BELOW THE SURFACE  
APPLIES TO CA 79A, IA & FORMER GOVT ROAD ONLY

**Survey:** This plan is/is not based on survey.  
To be completed where applicable.  
This survey has been connected to permanent marks no(s)  
In Proclaimed Survey Area No.

**STAGING** This is/is not a staged subdivision.  
Planning Permit No. 218/2014/P

DIMENSIONS SHOWN UNDERLINED ARE NOT THE RESULT OF THIS SURVEY  
THE AREA OF LOT 3 IS BY DEDUCTION FROM TITLE

## VESTING OF ROADS AND/OR RESERVES

IDENTIFIER	COUNCIL/BODY/PERSON
NIL	NIL

## EASEMENT INFORMATION

**LEGEND:** A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	DRAINAGE	2	PS625175D	LOT 1 ON PS625175D AND EAST GIPPSLAND SHIRE COUNCIL
E-2	POWERLINE	14	PS628968Y	SPI ELECTRICITY PTY LTD

**Crowther & Sadler** Pty. Ltd.  
**LICENSED SURVEYORS & TOWN PLANNERS**  
182 MACLEOD STREET, BAIRNSDALE, VIC., 3875  
TELEPHONE (03) 6162 6011

LICENSED SURVEYOR ..... PAUL ANTHONY DWYER .....

DIGITALLY SIGNED BY LICENSED SURVEYOR: DATE / /

REF 15390

VERSION 1

SHEET 1 OF 2 SHEETS

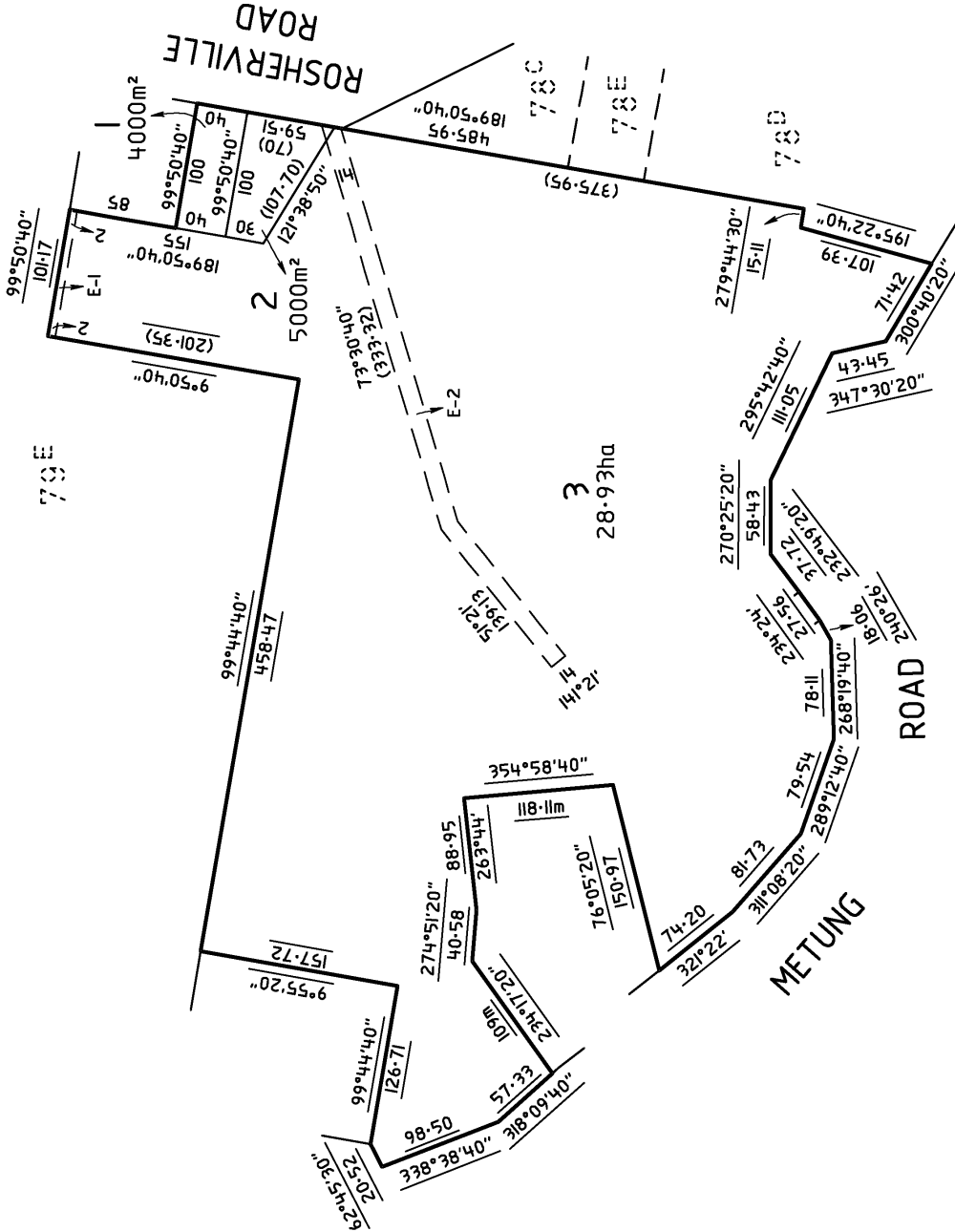
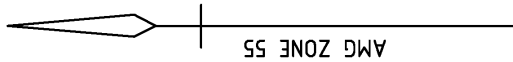
ORIGINAL SHEET SIZE A3

PLAN REGISTERED  
TIME: 2:21 pm  
DATE: 09/05/2017

Tarek Mahmoud  
Assistant Registrar of Titles

Printed 21/03/2023

PS 727610T







## Plan of Subdivision PS727610T Certification of plan by Council (Form 2)

SUBDIVISION (PROCEDURES) REGULATIONS 2011

SPEAR Reference Number: S059049J

Plan Number: PS727610T

Responsible Authority Name: East Gippsland Shire Council

Responsible Authority Permit Ref. No.: 218/2014/P

Responsible Authority Certification Ref. No.: PS727610T

Surveyor's Plan Version: 1

### Certification

☒ This plan is certified under section 6 of the Subdivision Act 1988

### Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988

☐ Has not been made at Certification

Digitally signed by Council Delegate: Sarah McLaughlin

Organisation: East Gippsland Shire Council

Date: 11/02/2015

**ADVERTISED**  
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## PLANNING AND ENVIRONMENT REGULATIONS 1988

Form 9.1

LODGED BY: ENGEL & PARTNERS PTY  
109 MAIN STREET  
BAIRNSDALE  
CODE: 0392C

TITLES OFFICE USE ONLY

**APPLICATION BY A RESPONSIBLE  
AUTHORITY under Section 181 Planning  
and Environment Act 1987 for ENTRY  
OF A MEMORANDUM OF AGREEMENT  
under Section 173 of the Act.**

The Responsible Authority under the Planning Scheme having entered into an Agreement with the parties named for the land described requires that a memorandum of the Agreement be entered on the Certificate(s) of Title to the land referred to

**LAND** CERTIFICATE OF TITLE VOLUME 11191 FOLIO 054

**ADDRESS OF THE LAND** 705A Metung Road Metung

**RESPONSIBLE AUTHORITY** EAST GIPPSLAND SHIRE COUNCIL of 273 MAIN STREET  
BAIRNSDALE 3875

**PLANNING SCHEME** EAST GIPPSLAND PLANNING SCHEME

**AGREEMENT DATE**

**AGREEMENT WITH**

EDWIN ROBERT SMITH and VICKY ANNE SMITH

A copy of the Agreement is attached to this Application.

Signature for the Responsible Authority.....

Name of Officer..... Sarah McLaughlin, Senior Planner

Date..... 16/06/2015

Printed 21/03/2023

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**AL983190P**



Date 15 / 06 / 2015

**Agreement under section 173  
of the Planning and Environment Act 1987**  
Subject Land: Part of 705A Metung Road, Metung

East Gippsland Shire Council  
and

Edwin Robert Smith and Vicky Anne Smith

AL983190P



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## Agreement under section 173 of the Planning and Environment Act 1987

Dated 15 / 06 / 2015

### Parties

Name	East Gippsland Shire Council
Address	273 Main Street, Bairnsdale, Victoria
Short name	Council

Name	Edwin Robert Smith and Vicky Anne Smith
Address	705A Metung Road, Metung, Victoria
Short name	Owner

### Background

- A. Council is the responsible authority for the Planning Scheme.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land.
- C. Council issued the Planning Permit requiring the Owner to enter into this Agreement providing for the matters set out in condition 3 of the Planning Permit.

### The Parties agree

#### 1. Definitions

In this Agreement unless the context admits otherwise:

**Act** means the *Planning and Environment Act 1987*.

**Agreement** means this Agreement and includes this Agreement as amended from time to time.

**Current Address** means:

- (a) for Council, the address shown on page one of this Agreement, or any other address listed on Council's website; and



- (b) for the Owner, the address shown on page one of this Agreement or any other address provided by the Owner to Council for any purpose relating to the Subject Land.

**Current Email** means:

- (a) for Council, feedback@egipps.vic.gov.au, or any other email address listed on Council's website; and
- (b) for the Owner, any email address provided by the Owner to Council for the express purpose of electronic communication regarding this Agreement.

**Lot** means a lot created by a subdivision of the Subject Land whether in accordance with the Planning Permit or otherwise.

**Owner** means the person registered or entitled from time to time to be registered as proprietor of an estate in fee simple of the Subject Land and includes a mortgagee-in-possession.

**Owner's obligations** includes the Owner's specific obligations and the Owner's further obligations.

**Party or Parties** means the Parties to this Agreement but does not include a person who has transferred or otherwise disposed of all of their interests in the Subject Land.

**Planning Permit** means planning permit no.218/2014/P, as amended from time to time, issued on 22 December 2014, authorising the subdivision of the Subject Land in accordance with plans endorsed by Council.

**Planning Scheme** means the East Gippsland Planning Scheme and any other planning scheme that applies to the Subject Land.

**Subject Land** means part of the land situated at 705A Metung Road Metung being part of the land referred to in certificate of title volume 11191 folio 054 and more particularly being Lot 3 on the Endorsed Plan and any reference to the Subject Land includes any Lot created by the subdivision of the Subject Land or any part of it.

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## 2. Interpretation

In this Agreement unless the context admits otherwise:

- 2.1 the singular includes the plural and vice versa;
- 2.2 a reference to a gender includes all genders;
- 2.3 a reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law;
- 2.4 any agreement, representation, warranty or indemnity by 2 or more persons (including where 2 or more persons are included in the same defined term) binds them jointly and severally;
- 2.5 a term used has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act, it has the meaning as defined in the Act;
- 2.6 a reference to an Act, regulation or the Planning Scheme includes any Act, regulation or amendment amending, consolidating or replacing the Act, regulation or Planning Scheme;

**AL983190P**



- 2.7 the Background forms part of this Agreement;
- 2.8 the Owner's obligations take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land; and
- 2.9 any reference to a clause, page, condition, attachment or term is a reference to a clause, page, condition, attachment or term of this Agreement.

---

### **3. Purposes of Agreement**

The Parties acknowledge and agree that the purposes of this Agreement are to:

- 3.1 give effect to the Planning Permit and the Development Permit; and
- 3.2 achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

---

### **4. Reasons for Agreement**

The Parties acknowledge and agree that Council entered into this Agreement for the following reasons:

- 4.1 Council would not have issued the Planning Permit without the condition requiring this Agreement; and
- 4.2 the Owner has elected to enter into this Agreement in order to take the benefit of the Planning Permit.

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### **5. Agreement required**

The Parties agree that this Agreement will continue to be required unless Council confirms in writing that it is no longer required.

---

### **6. Owner's specific obligations**

#### **6.1 Further subdivision**

Notwithstanding anything in the Planning Scheme, the Owner must not subdivide the Subject Land into more than 3 Lots.

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### **7. Owner's further obligations**

#### **7.1 Notice and registration**

The Owner must bring this Agreement to the attention of all prospective occupiers, purchasers, lessees, licensees, mortgagees, chargees, transferees and assigns.

#### **7.2 Further actions**

The Owner:



- 7.2.1 must do all things necessary to give effect to this Agreement;
- 7.2.2 consents to Council applying to the Registrar of Titles to record this Agreement on the certificate of title of the Subject Land in accordance with section 181 of the Act; and
- 7.2.3 agrees to do all things necessary to enable Council to do so, including:
  - (a) sign any further agreement, acknowledgment or document; and
  - (b) obtain all necessary consents to enable the recording to be made.

### 7.3 Council's costs to be paid

The Owner must pay to Council within 14 days after a written request for payment, Council's costs and expenses (including legal expenses) relating to this Agreement, including:

- 7.3.1 preparing, drafting, finalising, signing, recording and enforcing this Agreement;
- 7.3.2 preparing, drafting, finalising and recording any amendment to this Agreement; and
- 7.3.3 preparing, drafting, finalising and recording any document to give effect to the ending of this Agreement.

### 7.4 Interest for overdue money

- 7.4.1 The Owner must pay to Council interest in accordance with section 227A of the *Local Government Act 1989* on any amount due under this Agreement that is not paid by the due date.
- 7.4.2 If interest is owing, Council will apply any payment made to interest and any balance of the payment to the principal amount.

---

## 8. Agreement under section 173 of the Act

Without limiting or restricting the respective powers to enter into this Agreement, and insofar as it can be so treated, this Agreement is made as a deed in accordance with section 173 of the Act.

---

## 9. Owner's warranties

The Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

---

## 10. Successors in title

Until such time as a memorandum of this Agreement is recorded on the certificate of title of the Subject Land, the Owner must require successors in title to:

- 10.1 give effect to this Agreement; and
- 10.2 enter into a deed agreeing to be bound by the terms of this Agreement.



AL983190P



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## **11. General matters**

### **11.1 Notices**

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

- 11.1.1 personally on the other Party;
- 11.1.2 by leaving it at the other Party's Current Address;
- 11.1.3 by posting it by prepaid post addressed to the other Party at the other Party's Current Address; or
- 11.1.4 by email to the other Party's Current Email.

### **11.2 No waiver**

Any time or other indulgence granted by Council to the Owner or any variation of this Agreement or any judgment or order obtained by Council against the Owner does not amount to a waiver of any of Council's rights or remedies under this Agreement.

### **11.3 Severability**

If a court, arbitrator, tribunal or other competent authority determines that any part of this Agreement is unenforceable, illegal or void then that part is severed with the other provisions of this Agreement remaining operative.

### **11.4 No fettering of Council's powers**

This Agreement does not fetter or restrict Council's power or discretion to make decisions or impose requirements or conditions in connection with the grant of planning approvals or certification of plans subdividing the Subject Land or relating to use or development of the Subject Land.

### **11.5 Inspection of documents**

A copy of any planning permit, document or plan referred to in this Agreement is available for inspection at Council offices during normal business hours upon giving the Council reasonable notice.

### **11.6 Governing law**

This Agreement is governed by and is to be construed in accordance with the laws of Victoria.

---

## **12. Commencement of Agreement**

This Agreement commences on the date specified on page one or if no date is specified on page one, the date the Planning Permit was issued.

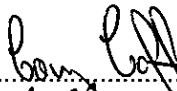

AL983190P



## Signing Page

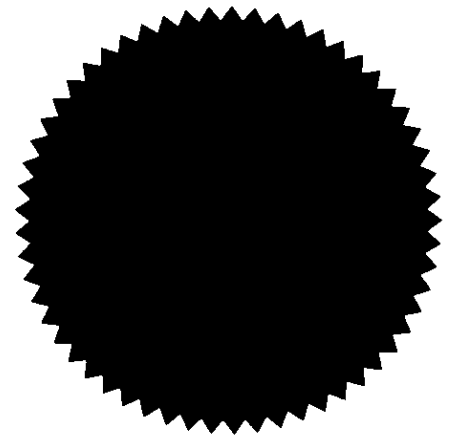
Signed, sealed and delivered as a deed by the Parties.

The Common Seal of the East Gippsland Shire Council was hereunto affixed on the 15<sup>th</sup> day of June 2015, in the presence of:

  
.....  
  
.....

Chief Executive

Witness



Signed Sealed and Delivered by Edwin Robert Smith in the presence of:

} x E R Smith  
.....

x Julie D Messenger  
.....  
Witness

Signed Sealed and Delivered by Vicky Anne Smith in the presence of:

} x V Smith  
.....

x Julie D Messenger  
.....  
Witness

## Planning Report

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Buildings and Works (Dwelling)  
374 Rosherville Road, Metung

Our reference – 20347

February 2023



FS 520900



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	Dwelling Plans ( <i>Meticon Pty Ltd.</i> )	
	Bushfire Hazard Site Assessment (Version 1)	
	Bushfire Management Plan (Version 1)	
	GRA waiver ( <i>Chris O'Brien &amp; Company</i> )	
	Copy of Title (Lot 1 on PS727610T)	

*Note: Applicable Planning Application fee is \$1,330.20*

## 1. Introduction

This Planning Report is prepared in support of proposed buildings and works (dwelling) at 374 Rosherville Road, Metung. The Report addresses the provisions of the Low Density Zone, Environmental significance Overlay 1-63, Significant Landscape Overlay 3, Design and Development Overlay 11, Erosion Management Overlay and Bushfire Management Overlay as contained within the East Gippsland Planning Scheme.



*Aerial image of the subject land and immediate environs (Source: IntraMaps)*



## 2. Subject Land & Surrounding Context

Formally known as Lot 1 on PS727610 or more commonly known as 374 Rosherville Road, Metung the subject land is a regular shaped lot consisting of 4000 square metres.

The land falls from the east (Rosherville Road) to the west of the property towards a natural watercourse located on the western property. Having a frontage to Rosherville Road of 40 metres the land shares an existing vehicle crossing with the southern neighbouring property. Rosherville Road is a sealed rural road with gravel shoulders and table drains.

The subject land is currently vacant with introduced grasses and enjoys benefits from connection to reticulated sewer.



*View of subject land from Rosherville Road*

To the north of the land is a similar sized allotment developed with a single storey contemporary dwelling, south of the land is a vacant parcel of low density residential zoned land and east of the subject land are properties recently developed for the purposes of a dwellings.



*View of properties east side of Rosherville Road opposite the subject land.*

West and south-west of the land is an undulating larger land parcel developed with a dwelling and associated outbuildings accessed from Metung Road. The property incorporates patches of vegetation particularly within the watercourses on the land.



*View southern neighbouring property*

The subject land is located within the northern Low Density Residential Zoned precinct of Metung within reasonable distance to Metung Primary School, passive recreational areas and the Metung Village.

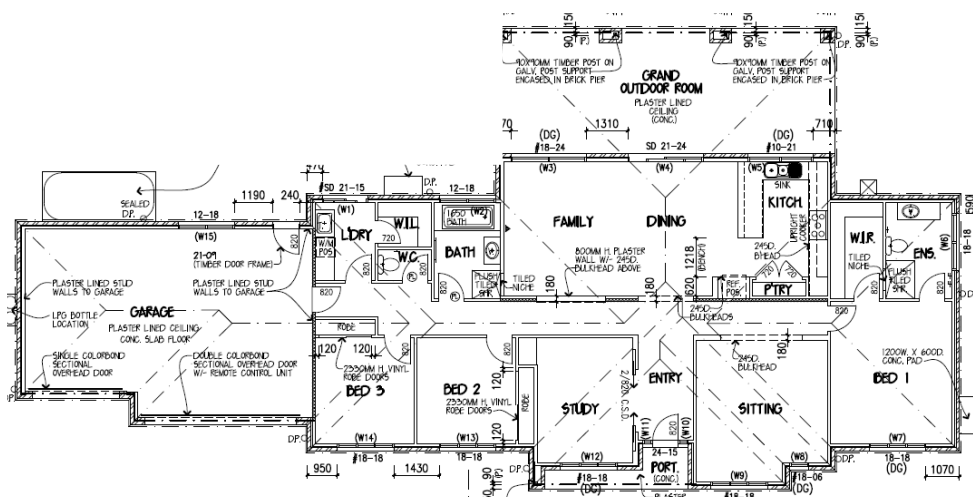
### 3. The Application & Proposal

It is proposed to develop a single storey dwelling on the subject land within the eastern section of the property. The proposed frontage setbacks from Rosherville Road vary from 20 metres to 22.88 metres, the dwelling will be setback 4.7m from the northern boundary and 5.31m from the southern boundary.

To address the fall and crossfall on the land earthworks will need to be undertaken to provide for a flat pad and construction of the dwelling on a concrete slab.

The dwelling has a building footprint of 294m<sup>2</sup> and includes three bedrooms, sitting room, study, laundry, bathroom and open plan family/dining/kitchen (including the development of an outdoor room). The dwelling will be serviced by a double garage and storage area.

The dwelling will be constructed with a combination of materials including brickwork, fibre cement sheet (rendered), aluminium window frames, timber doors and Colorbond roller doors and roofing.



*Floor Plan of proposed dwelling*

Planning approval is required pursuant to the following Clauses of the East Gippsland Planning Scheme:

- **Clause 42.03-2 Significant Landscape Overlay 3 – a permit is required to construct a building.**
- **Clause 44.01-2 Erosion Management Overlay – a permit is required for earthworks greater than one metre in depth.**
- **Clause 44.06-2 Bushfire Management Overlay – a permit is required construct a building associated with an accommodation use.**

Please note that no planning approval is required under the provisions of the Vegetation Protection Overlay, as no vegetation is proposed to be removed.

#### 4. Cultural Heritage

Pursuant to Regulation 7 of the *Aboriginal Heritage Regulations 2018*, a CHMP is required for an activity if:

- all or part of the activity area for the activity is in an area of cultural heritage sensitivity; and*
- all or part of the activity is a high impact activity*



*Cultural Heritage Sensitivity Mapping (Source: VicPlan)*

The subject land is not contained within an area of cultural heritage sensitivity and the construction of a single dwelling is not classified as being a high impact activity. Therefore, there is no mandatory requirement to provide a CHMP in support of the application.



## 5. Planning Policy

### 5.1 Planning Policy Framework

The development of a vacant Low Density Zoned parcel of land assists to reinforce settlement boundaries, limits urban sprawl and assists with population growth as sought by strategies contained in Clause 11.01-1S Settlement.

The development supports strategies identified within Clause 11.01-1L-01 East Gippsland Settlements consolidating the Metung township area, wastewater can be managed via sewer and supports residential infill.

Developing a dwelling on a vegetation devoid land parcel will provide the opportunity for future landowners to landscape the property adding to the landscape setting of Metung described in Clause 11.03-4L-04 Metung.

Water Bodies and Wetlands at Clause 12.03 will be maintained by the proposed development, with the dwelling supported by sewer connection.

Partly located within the Bushfire Management Overlay the application has had consideration to Clause 13.02-1S Bushfire Planning. Consideration of the landscape setting and site context has been assessed identifying that the bushfire risk can be mitigated to an acceptable level.

Clause 15.01-2S Building Design objective is to achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support sustainable development. Addressing the strategies that underpin the objective the dwelling will:

- The dwelling being of single storey and incorporating articulated facades respects the local context of the developing Low Density Residential area.
- The dwelling will positively address Rosherville Road respecting the streetscape.
- Setbacks to neighbouring properties have been incorporated to minimise adverse amenity implications.
- Rainwater from the building will be collected for reuse on the property and the dwelling will be connected to sewer.
- The large land parcel and setbacks proposed from boundaries provides for landscaping opportunities (while respecting bushfire constraints).

Provision of a dwelling on a vacant parcel of Low Density Residential Zoned land increases the proportion of housing in established urban areas and reduces the share of housing in greenfield and fringe areas consistent with Clause 16.01-1S Housing Supply.

As sought by Clause 18.02-4S Roads and Clause 18.02-4L-01 Road the use of the sharded vehicle crossover between the southern property and subject land minimises access and egress points to the local road (Rosherville Road).

## 5.2 Municipal Planning Strategy

The Municipal Planning Strategy context advises that the Lakes and Coastal sub-region (which Metung is located within) has the highest population density of the Shire. As such the development of a dwelling on this vacant residential zoned property assists to accommodate the population growth within the Township.

Clause 02.03-1 Settlement and Housing – Coastal Settlements – Metung identifies the town as a key destination for visitors to the Gippsland Lakes system and a significant boating hub with a strong residential community. Residential development within a residential precinct will in part assist with the strong residential community.

The development will be connected to sewer, provides for rainwater harvesting to be reused on site and provides for landscaping opportunities assisting to maintain Environment and Landscape Values at Clause 02.03-2.

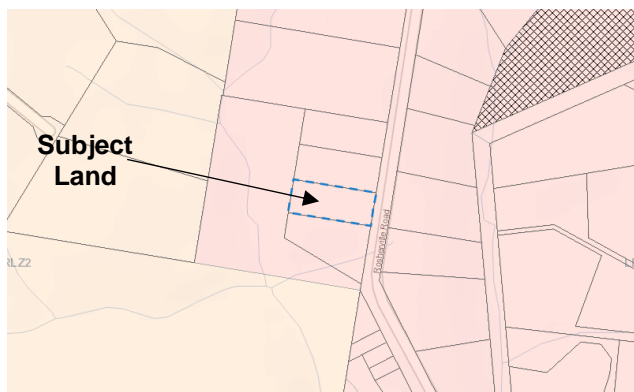
As sought by Clause 02.03-3 Environmental Risks and Amenity the application is supported with a geotechnical risk assessment that advises the erosion risk on the land and associated with the proposed dwelling development is low.

A review of the proposed development informs that it is entirely consistent with East Gippsland Strategic Framework Plan, as Metung is a coastal settlement where growth is supported.

## 6. Planning Elements

### 6.1 Low Density Residential Zone

The subject land is located within the Low Density Residential Zone.



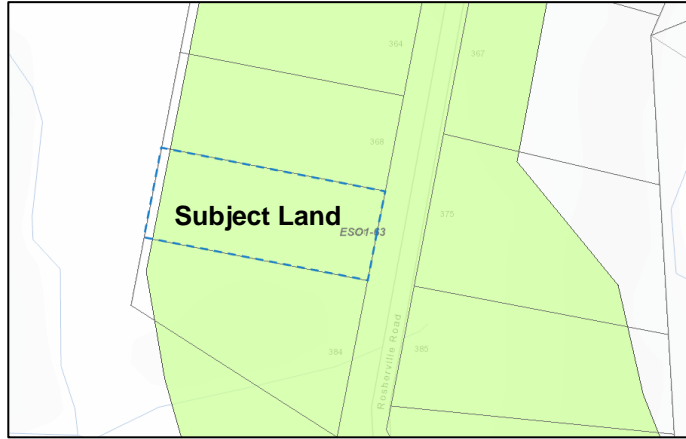
*Planning scheme zone mapping (Source: VicPlan)*

The application does not trigger a requirement to obtain a planning permit to use the land or develop the land for the purposes of a dwelling.

In accordance with Clause 32.03-2 the proposed dwelling will be connected to reticulated sewerage, reticulated potable water supply and reticulated electricity supply.

## 6.2 Environmental Significance Overlay 1-63

The majority of the subject land is contained within the Environmental Significance Overlay 1-63.



Planning scheme overlay mapping (Source: VicPlan)

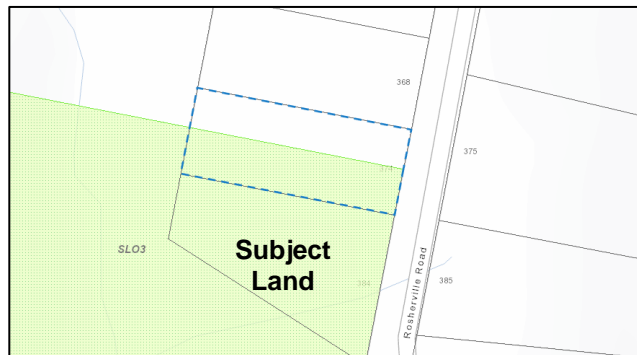
Schedule 1 to the overlay is East Gippsland Sites of Biological Significance. ESO1-63 is the Rosherville Road Corridor and the statement of environmental significance is a wildlife corridor.

We are of the view that in accordance with Schedule 1 to the overlay a permit is not required as the development is being undertaken on land not supporting the listed environmental values.

We support this view as the road reserve does not contain a wildlife corridor, no vegetation is proposed to be removed and the subdivision that created the subject land was recently considered. Furthermore, at the time of subdivision the planning application was referred to DELWP. DELWP did not raise any concerns that development of the land would have an adverse effect on the environmental values listed in the schedule and did not otherwise impose any other requirements.

## 6.3 Significant Landscape Overlay 3

The southern part of the property is located within the Significant Landscape Overlay 3.



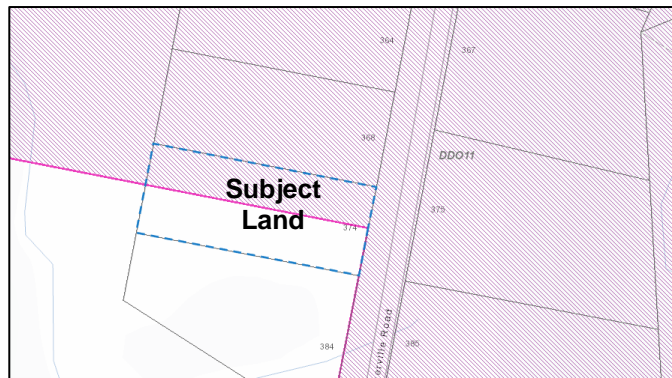
Planning scheme overlay mapping (Source: VicPlan)

Schedule 3 to the overlay is the Metung and Lakes Entrance Hills. The subject land is devoid of vegetation with the exception of introduced grasses. The development of a single storey dwelling within this modified environment will not detract from the surrounding character of the area. Existing vegetation within private properties and coastal reserve areas will assist to screen the dwelling from the water's edge and the landscaped background will minimise visual intrusion.

The proposed dwelling is of a size and scale consistent with other dwellings within the surrounding landscape. The dwelling will not be highly visible from the lake system (if at all) and will not impact significant view lines.

#### 6.4 Design and Development Overlay 11

The northern part of the subject land is encompassed within the Design and Development Overlay 11.

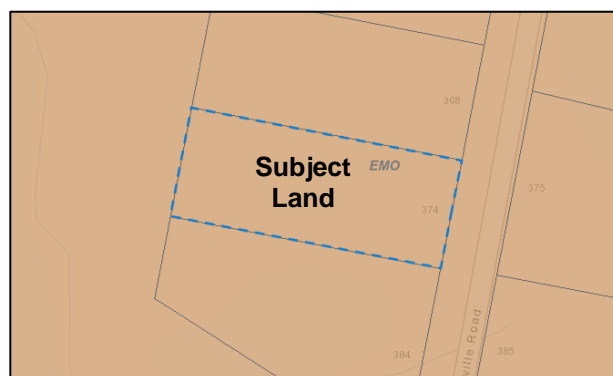


Planning scheme overlay mapping (Source: VicPlan)

Schedule 11 to the overlay is Residential Development in Coastal Settlements. In this case a permit is not required in accordance with the provisions as the building height is less than 7.5 metres, the building footprint is less than 300 square metres and the slope of the land where the works are to be carried out is less than 15 per cent.

#### 6.5 Erosion Management Overlay

The whole of the land is contained within the Erosion Management Overlay.



Planning scheme overlay mapping (Source: VicPlan)

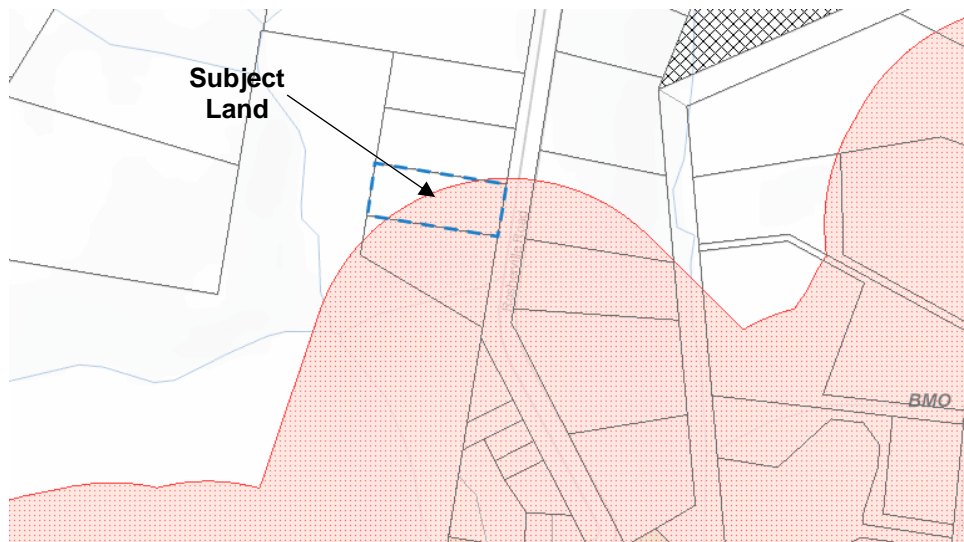
The subject land does not contain any areas of erosion or instability having a contiguous grass cover.

The Schedule of the Overlay informs that a Geotechnical Risk Assessment must accompany an application. Unless a suitably qualified and experienced geotechnical practitioner demonstrates to the satisfaction of the responsible authority that a geotechnical risk assessment is not relevant to the assessment of an application, the responsible authority may reduce or waive the requirement for a geotechnical risk assessment.

A Geotechnical Risk Assessment has been undertaken by *Chris O'Brien and Company* and advises that the erosion risk on the land and associated with the proposed development is low.

## 6.6 Bushfire Management Overlay

Part of the subject land is located within the Bushfire Management Overlay.



Planning scheme overlay mapping (Source: VicPlan)

The proposed dwelling meets the relevant purposes of the overlay as the risk to life and property from bushfire can be reduced to an acceptable level.

In accordance with Clause 44.06-3 the application is supported by a bushfire hazard site assessment and a bushfire management statement.

An assessment of the proposed dwelling against the requirements of Clause 53.02 of the planning scheme has been undertaken.

### CLAUSE 53.02-3 DWELLINGS IN EXISTING SETTLEMENTS – BUSHFIRE PROTECTION OBJECTIVE

#### Objective

To specify bushfire design and construction measures for a single dwelling or alteration and extension to an existing dwelling that reduces the risk to life and property to an acceptable level.

#### Approved Measures

##### AM 1.1

A building is sited to ensure the site best achieves the following:

- The maximum separation distance between the building and the bushfire hazard.
- The building is in close proximity to a public road.
- Access can be provided to the building for emergency service vehicles.

#### Response:

**The dwelling has been positioned at the eastern end of the property, with new driveway to be developed to the south-east of the property.**

**Earthworks will be undertaken to provide for a single level flat pad upon which the dwelling will be located assisting emergency personal to provide active protection.**

**The proposed driveway provides occupants and emergency services vehicles easy and convenient access.**

##### AM 1.2

A building provides the defendable space in accordance with Table 1 Columns A, B, C, D or E and Table 6 to Clause 53.02-5. Adjoining land may be included as defendable space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space.

A building is constructed to the bushfire attack level:

- That corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-5, or
- The next lower bushfire attack level that corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-5 where all the following apply.
  - A private bushfire shelter (a Clause 10c building within the meaning of the Building Regulations 2006) is constructed on the same land as the dwelling.
  - A minimum bushfire attack level of BAL 12.5 is provided in all circumstances.

##### AM 1.2

#### Response:

**Within the surrounding 150 metre assessment area a large proportion of the land is considered to be low-threat having regard for the residential context however, there is an area of vegetation classified as *Scrub* to the south and west (downslope). Land to the north and east comprises low threat vegetation with established residential properties.**

**The vegetation with *Scrub* classification is approximately 59.5m south of the proposed dwelling separated from the subject land by a residential zoned property. The separation distance exceeds the required minimum separation distance of 43 meters for a Downslope >15-20 as prescribed by Column A in Table 1 to Clause 53.02-5.**



The vegetation with **Scrub** classification adjoins the western boundary, approximately 65 metres from the dwelling site. Column A under Table 1 to Clause 53.02-5 prescribes a separation distance of 43m from Scrub on a Downslope >15-20.

The defendable space is prescribed within the Bushfire Management Plan to the property boundary having regard for the surrounding low threat vegetation and to maximise protection to the building.

Vegetation within the property is current maintained in a low fuel condition. Continued management of vegetation throughout the property will not impose an unreasonable burden on the landowner.

Table 1 to Clause 53.02-5 prescribes that defendable space be provided for 50 metres or to the property boundaries, whichever is the lesser for low-threat vegetation with minimum construction standard of BAL 12.5

#### AM 1.3

A building is provided with:

- A static water supply for fire fighting and property protection purposes specified in Table 4 to Clause 53.02-5. The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies.
- Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5.

#### Response:

Given the site is 4,000m<sup>2</sup> in area the accompanying Bushfire Management Plan prescribes the need for a static water supply of 10,000 litres with fire authority fittings.

There are no design and construction requirements for access, in accordance with Table 5 to Clause 53.02-5, given the length of access is less than 30m.

The assessment concludes that the risk to people and property can be reduced to an acceptable level.

## 7. Conclusion

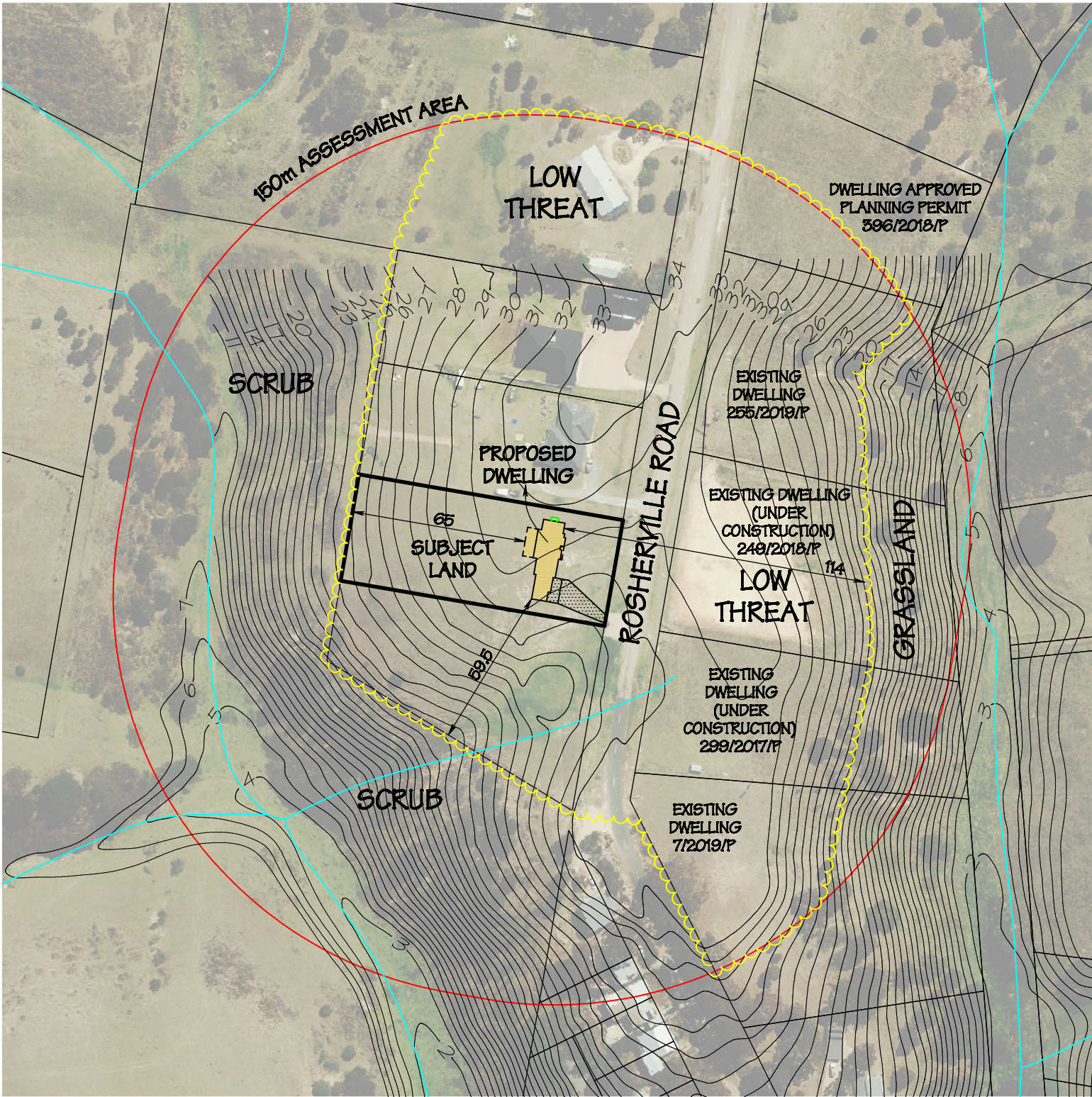
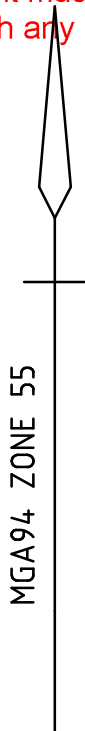
The proposed buildings and works for the construction of a dwelling at 374 Rosherville Road, Metung is considered to accord with all relevant provisions of the Low Density Zone, Significant Landscape Overlay 3, Erosion Management Overlay and Bushfire Management Overlay of the East Gippsland Planning Scheme. The proposal is consistent with Planning Policy Framework and Municipal Planning Statement and has been designed to ensure the risk to occupants is reduced to an acceptable level.

For these reasons we respectfully request that Council consider the merits of the application favourably and resolve to issue a Planning Permit.



BUSHFIRE HAZARD  
SITE ASSESSMENT

PARISH OF BUMBERRAH  
CROWN ALLOTMENT 79 (PART)  
  
LOT 1 ON PS727610T



BAL-12.5	NORTH	EAST	SOUTH	WEST
SLOPE	N/A	N/A	>15-20° DOWNSLOPE	>15-20° DOWNSLOPE
VEG TYPE	LOW THREAT	LOW THREAT	SCRUB	SCRUB
SEPARATION DISTANCES*	50m/PB	50m/PB	43m	43m

\*SEPARATION DISTANCES DERIVED FROM  
TABLE 1 COLUMN A CLAUSE 53.02-5

**Crowther & Sadler** Pty. Ltd.  
LICENSED SURVEYORS & TOWN PLANNERS  
152 MACLEOD STREET, BAIRNSDALE, VIC., 3875  
P. (03) 5162 5011 E. [contact@crowthersadler.com.au](mailto:contact@crowthersadler.com.au)

MARCO LISPERGUER & TATIANA BASILE  
374 ROSHERVILLE ROAD, METUNG

SCALE (SHEET SIZE A3)

SURVEYORS REF.

1 : 2000

20347

VERSION 1 - DRAWN 21/01/2023



# CHRIS O'BRIEN & COMPANY PTY LTD

## CONSULTING CIVIL & STRUCTURAL ENGINEERS

Reference No: B23027

**Project No: 190123**

31/01/2023

Crowther & Sadler Pty Ltd  
P.O. Box 722  
BAIRNSDALE Vic 3875

Attn: Aaron Hollow

Email: [aaron@crowthersadler.com.au](mailto:aaron@crowthersadler.com.au)

Dear Aaron,

**RE: Proposed Dwelling  
374 Rosherville Road, Metung.**

Chris O'Brien & Company Pty Ltd have been engaged by Aaron Hollow of Crowther & Sadler Pty Ltd to determine whether or not a full Geotechnical risk assessment report is required for a proposed dwelling at 374 Rosherville Road, Metung Vic 3904. Earthworks > 1m is proposed for the allotment. An erosion management overlay exists over the property.

The purpose of this letter is to determine if the works to be carried out on this site will be a risk to the surrounding environment and is to be used in the planning application process only. This letter is not a soil classification report and shall not be used for this purpose.

Information contained in this letter is from a visual inspection of the site and based on information supplied to Chris O'Brien & Company Pty Ltd on the work to be completed on the site.

The site was inspected by Andrew Powell on the 31<sup>st</sup> January 2023.

The allotment is located on the west side of Rosherville Road. The allotment had an excellent cover of grass and no visible signs of erosion occurring were found. The allotment was clear of any vegetation. The allotment falls from north to the south east with falls of up to 1 in 15 observed on the site. Access to the site is from Rosherville Road to the west. All services are available to the site from Rosherville Road. Photos from our site inspection are attached to the end of this report.

It is intended to construct a dwelling on the allotment which will require earthworks greater than 1m in depth to create a flat building platform. Batters created from the earthworks will be either stabilised by topsoiling and re grassing or retained by structures. Cut batters which are to be stabilised must not be steeper than 1 in 1.5 and fill batters must not be steeper than 1 in 2. During any earthworks silt fences must be placed above the south and western allotment boundaries to protect downslope properties and asset's from any silt run

**Crowther & Sadler Pty Ltd**

Proposed Dwelling, 374 Rosherville Road, Metung

Project No. 190123

Page 2 of 6

off and these silt fences must remain in place for the full period of construction. Should this be completed then we expect no environmental risks from the work to be undertaken.

Earthworks for the dwelling footings will only require minor earthworks and as long as silt fences are placed as require above we expect no environmental risks from this work.

Storm water created from the proposed dwelling will be directed to the legal point of discharge via an underground drainage system with no environmental risks expected from this source.

We therefore suggest that a full geotechnical risk assessment report is not required for this development. As long as the above conditions in regards to silt fencing are strictly adhered to and remain in place as specified, we anticipate no environmental risks with the work to be undertaken.

Should you need to clarify anything, please contact the Andrew Powell on 0402384596

Yours faithfully,



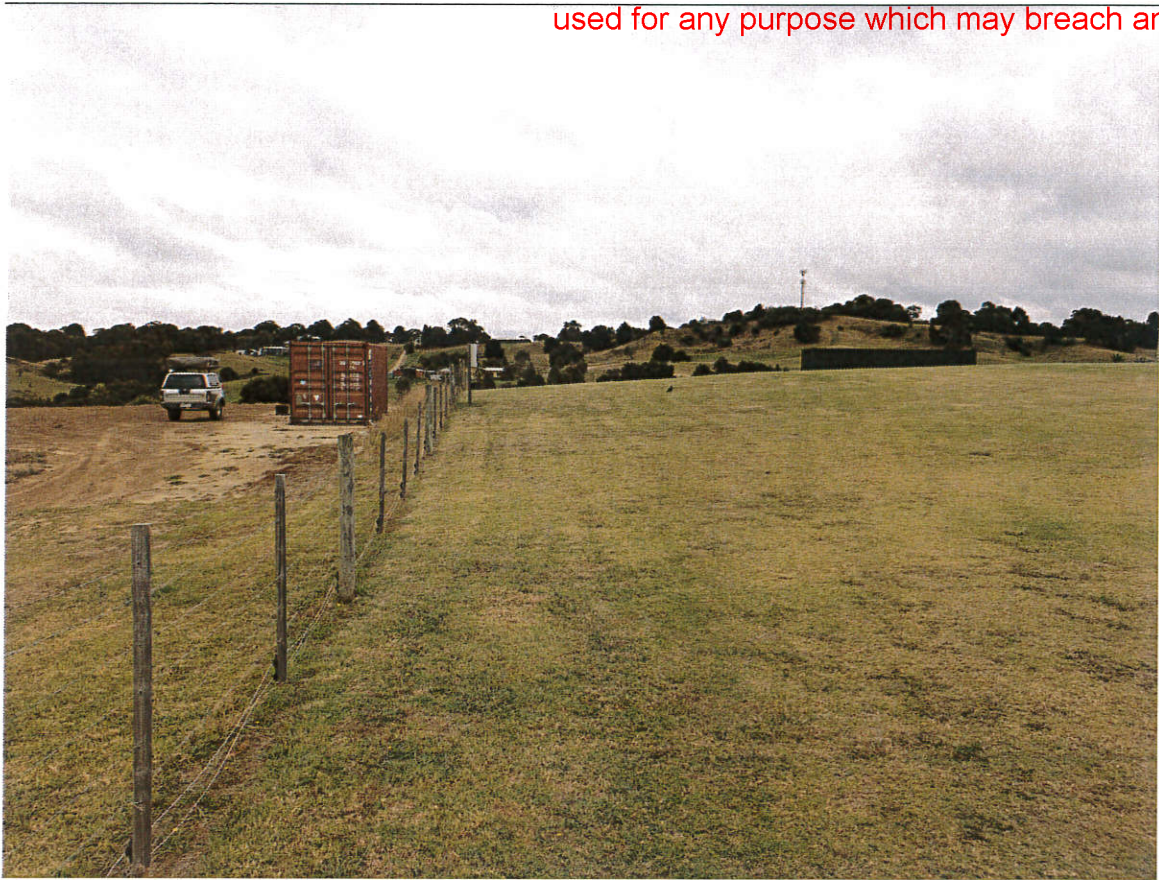
**Andrew Powell Assoc.Dip (Civil)**  
for CHRIS O'BRIEN & COMPANY PTY LTD



Photos below show the existing layout of the site.

















MANAGEMENT OF VEGETATION WITHIN THE AREA OF DEFENDABLE SPACE SHOWN

VEGETATION (AND OTHER FLAMMABLE MATERIALS) WILL BE MODIFIED AND MANAGED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS;

- GRASS MUST BE SHORT CROPPED AND MAINTAINED DURING THE DECLARED FIRE DANGER PERIOD.
- ALL LEAVES AND VEGETATION DEBRIS MUST BE REMOVED AT REGULAR INTERVALS DURING THE DECLARED FIRE DANGER PERIOD.
- WITHIN 10m OF A BUILDING, FLAMMABLE OBJECTS MUST NOT BE LOCATED CLOSE TO THE VULNERABLE PARTS OF THE BUILDING.
- PLANTS GREATER THAN 10 CENTIMETRES IN HEIGHT MUST NOT BE PLACED WITHIN 3m OF A WINDOW OR GLASS FEATURE OF THE BUILDING.
- SHRUBS MUST NOT BE LOCATED UNDER THE CANOPY OF TREES.
- INDIVIDUAL AND CLUMPS OF SHRUBS MUST NOT EXCEED 5m<sup>2</sup> IN AREA AND MUST BE SEPARATED BY AT LEAST 5m.
- TREES MUST NOT OVERHANG OR TOUCH ANY ELEMENTS OF THE BUILDING.
- THE CANOPY OF TREES MUST BE SEPARATED BY AT LEAST 5m.
- THERE MUST BE A CLEARANCE OF AT LEAST 2m BETWEEN THE LOWEST TREE BRANCHES AND GROUND LEVEL.

WATER SUPPLY

PRIOR TO OCCUPANCY OF A DWELLING, INSTALL 10,000 LITRES OF EFFECTIVE WATER SUPPLY FOR FIRE FIGHTING PURPOSES THAT MUST COMPLY WITH THE FOLLOWING REQUIREMENTS MUST;

- BE STORED IN AN ABOVE GROUND WATER TANK CONSTRUCTED OF CONCRETE OR METAL.
- ALL FIXED ABOVE-GROUND WATER PIPES AND FITTINGS REQUIRED FOR FIRE FIGHTING PURPOSES MUST BE MADE OF CORROSIVE RESISTANT METAL.
- INCLUDE A SEPARATE OUTLET FOR OCCUPANT USE.
- INCORPORATE A SEPARATE BALL OR GATE VALVE (BRITISH STANDARD PIPE (BSP) 65mm) AND COUPLING (64 mm CFA 3 THREAD PER INCH MALE FITTING).
- BE LOCATED WITHIN 60m OF THE OUTER EDGE OF THE APPROVED BUILDING.
- THE OUTLET/S OF THE WATER TANK MUST BE WITHIN 4m OF THE ACCESSWAY AND BE UNOBSTRUCTED.
- BE READILY IDENTIFIABLE FROM THE BUILDING OR APPROPRIATE IDENTIFICATION SIGNAGE TO THE SATISFACTION OF CFA MUST BE PROVIDED.
- ANY PIPEWORK AND FITTINGS MUST BE A MINIMUM OF 65 mm (EXCLUDING THE CFA COUPLING).

CONSTRUCTION

THE CONSTRUCTION OF A DWELLING MUST BE DESIGNED & CONSTRUCTED TO A MINIMUM BUSHFIRE ATTACK LEVEL BAL-12.5 IN ACCORDANCE WITH AS 3959-2018



MARCO LISPERGUER & TATIANA BASILE  
374 ROSHERVILLE ROAD, METUNG

**Crowther & Sadler** Pty. Ltd.  
LICENSED SURVEYORS & TOWN PLANNERS  
152 MACLEOD STREET, BAIRNSDALE, VIC., 3875  
P. (03) 5152 5011 E. [contact@crowthersadler.com.au](mailto:contact@crowthersadler.com.au)

FILENAME: Y:\20000-20999\20300-20399\20347 Marco Lisperguer & Tatiana Basile\20347 BMP V1.pro

BUSHFIRE MANAGEMENT PLAN

PARISH OF BUMBERRAH  
CROWN ALLOTMENT 79 (PART)  
LOT 1 ON PS127610T

PLAN REF.

20347

VERSION 1 - DRAWN 31/01/2023

SCALE (SHEET SIZE A3)

1 : 800





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**CUT/ FILL AREAS:**  
NOTE: AREAS ARE TAKEN FROM THE CUT LINE TO THE OUTER EDGE OF THE CUT BATTER AND FILL APRON.  
CUT: 353 SQM  
FILL: 225 SQM  
**GARDEN AND SITING REQUIREMENTS**  
>650M2 - 35% OF THE ALLOTMENT  
3667 M2 > 1400 M2 COMPLIES

**CONSTRUCTION DRAWINGS** ...6-Feb-23...  
The Owner acknowledges that these are the final plans as varied, and supersede any prior plans signed.  
**No further variations permitted**  
Signed.....  
Date.....

**ACCESS TRACK**  
CUSTOMER TO SUPPLY AND MAINTAIN A 4M WIDE WITH 4 HIGH CLEARANCE ACCESS TRACK WITH A MIN 100MM THICK 60MM NOM BALLAST ROCK BASE TOP DRESSED WITH 50MM OF CRUSHED ROCK - SUITABLE FOR 20 TONNE TRUCK.  
TO HAVE TURNING AREA AT DWELLING AND TO BE MAINTAINED AS PER SITE SUPERVISORS INSTRUCTIONS  
**BUSHFIRE PROTECTION (BAL125):**  
PROPOSED DWELLING TO BE CONSTRUCTED IN ACCORDANCE WITH BUSHFIRE REQUIREMENTS (BAL 125) A.5.3.9.5.9  
PROVISION OF ANTI PONDING DEVICE/BOARD AS PER NCC 2019 PART 3.5.2.5 WHERE APPLICABLE

**SLAB STEP DOWNS:**  
THE FOLLOWING STEP DOWNS ARE TAKEN FROM F.F.L. OF HOUSE SLAB:-  
GARAGE: 135MM  
PORTICO: 135MM  
O/DOOR ROOM 135MM

**GENERAL NOTE:**  
COMPLIANCE WITH NCC 2019  
COMPLIANCE WITH NCC 2019 CLAUSE 3.8.7.2  
COMPLIANCE WITH NCC 2019 CLAUSE 3.8.7.3  
COMPLIANCE WITH NCC 2019 CLAUSE 3.12.3.3

**ROOF DRAINAGE**  
GUTTERS AND DOWNPIPES TO BE IN ACCORDANCE WITH A.5.3.5.00

**TEMPORARY DOWNPIPES**  
TEMPORARY DOWNPIPE SOCKS TO BE USED DURING CONSTRUCTION UNTIL DOWNPIPES ARE CONNECTED TO PREVENT PONDING NEXT TO THE SLAB

**TEMPORARY FENCING:**  
BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)

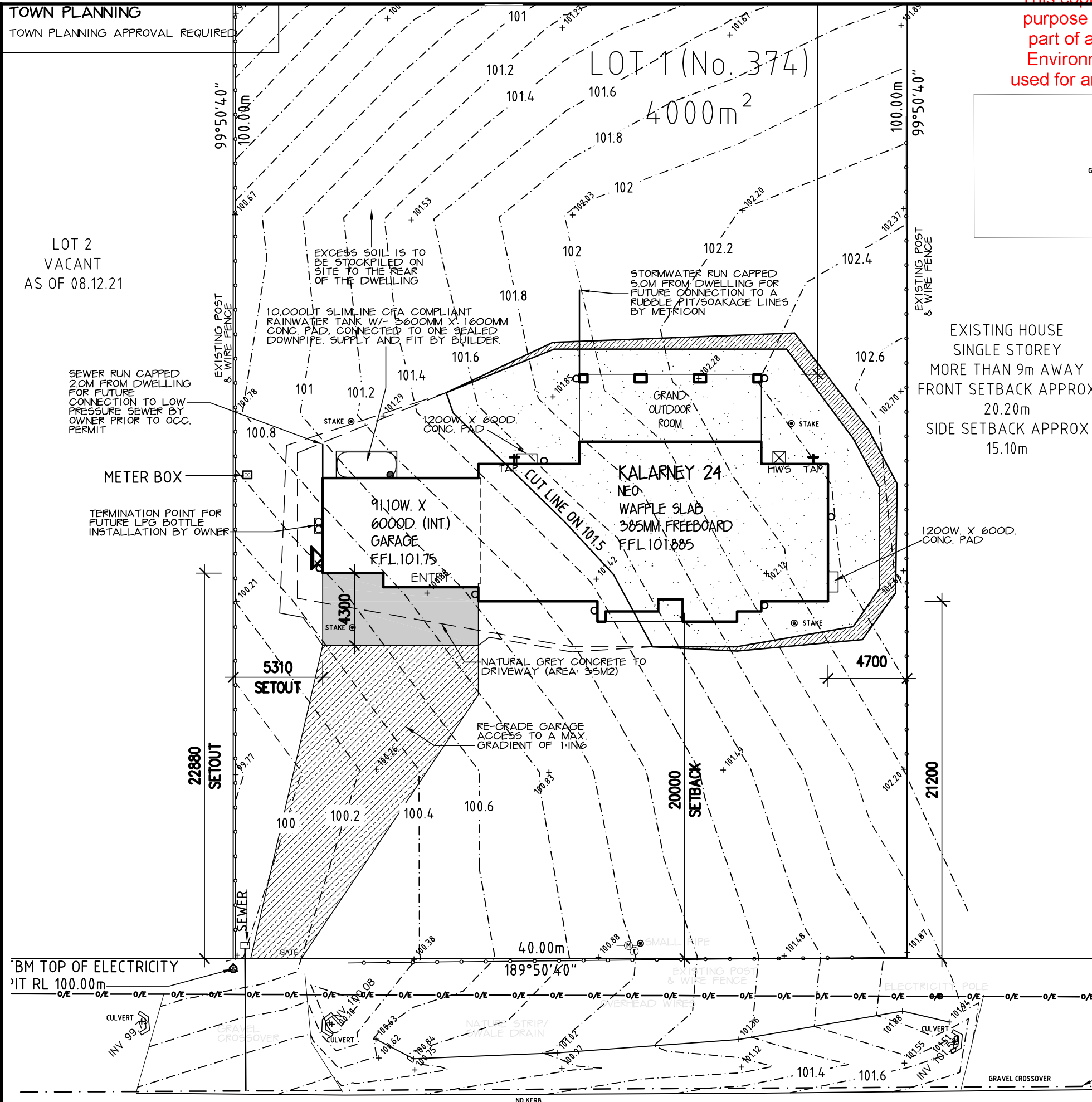
**TERMITE PROTECTION:**  
PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.5.3.6.6.0.1

**6 STAR ENERGY RATING:**  
DWELLING TO COMPLY W/- THE REQUIREMENTS OF 6 STAR ENERGY RATING.

**RESCODE NOTES:**  
SITING WILL BE SUBJECT TO FULL RESCODE GUIDELINES FOR BUILDING APPROVAL AND CONSEQUENTLY, SITINGS MAY DIFFER FROM OWNERS ORIGINAL REQUEST TO ACCOMMODATE RESCODE REQUIREMENTS.

OWNER TO PROVIDE 1.8M H SCREENING PRIOR TO CERTIFICATE OF OCCUPANCY TO COMPLY WITH REG. 4.19 (C OF O MAY BE ISSUED CONDITIONAL)

**TOWN PLANNING**  
TOWN PLANNING APPROVAL REQUIRED  
LOT 2  
VACANT  
AS OF 08.12.21



**LESS THAN 10KM FROM BREAKING SURF**  
ALL BUILDING COMPONENTS ARE IN ACCORDANCE WITH SECTION 5 OF AS3700-2011 W/ CLASS R4 BRICK TIES DUE TO BEING 10KM OF A SURF COAST

SITE AREA: 4000 SQM
BUILDING AREA: 244 SQM
SITE COVERAGE: 6 %
PERMEABILITY: 92 %
WIND SPEED: 40 M/S

**EXCAVATION NOTES:**  
EXCAVATE APPROX. 1050MM ON R.L. 101.5 & SPREAD FILL OVER REMAINING BUILDING AREA TO LEVEL.  
EXCAVATIONS TO START MIN. 1100MM FROM EDGE OF BUILDING AND TO BE BATTERED AS PER ENGINEERS REPORT.

**IMPORTANT NOTE:**  
SITE CUTS ARE SUBJECT TO PERMIT APPROVAL & NOT TO BE USED BY ANY OTHER CONTRACTORS OTHER THAN METRICON HOMES P/L

**SITE EXCAVATIONS:**  
ALL SITE EXCAVATIONS AND/ OR RETAINING WALLS ARE TO BE A MINIMUM OF 200MM FROM ANY BOUNDARY.

**STORMWATER DESIGN AND PLACEMENT**  
AS PER ENGINEERS DESIGN.  
REFER INTRAX JOB NO: 179175  
FOR FURTHER INFORMATION  
SOIL CLASS: M

<b>LEGEND:</b>	○ DOWN PIPE LOC.
EXCAVATION HATCH	● SEALED DOWN PIPE
BATTER HATCH	▽ METER BOX LOC.
ACCESS CUT HATCH	⊠ GAS METER (PROVIDE BOLLARDS IF REQUIRED)
BUILDING ENVELOPE HATCH	⊙ SEWER TIE
	○ TREES TO BE REMOVED
	— STORMWATER DRAIN
	— SEWER DRAIN

INTRAX SURVEY DATE: 8/12/21  
CONTOUR INTERVALS: 200 MM  
LEVELS TO ARBITRARY DATUM

**SITE PLAN**  
**metricon**  
501 Blackburn Road, Mount Waverley Vic 3149  
P.O. Box 857, Mount Waverley Vic 3149  
Telephone 03 9915 5555 Fax 03 9222 5144

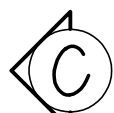
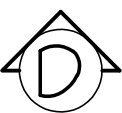
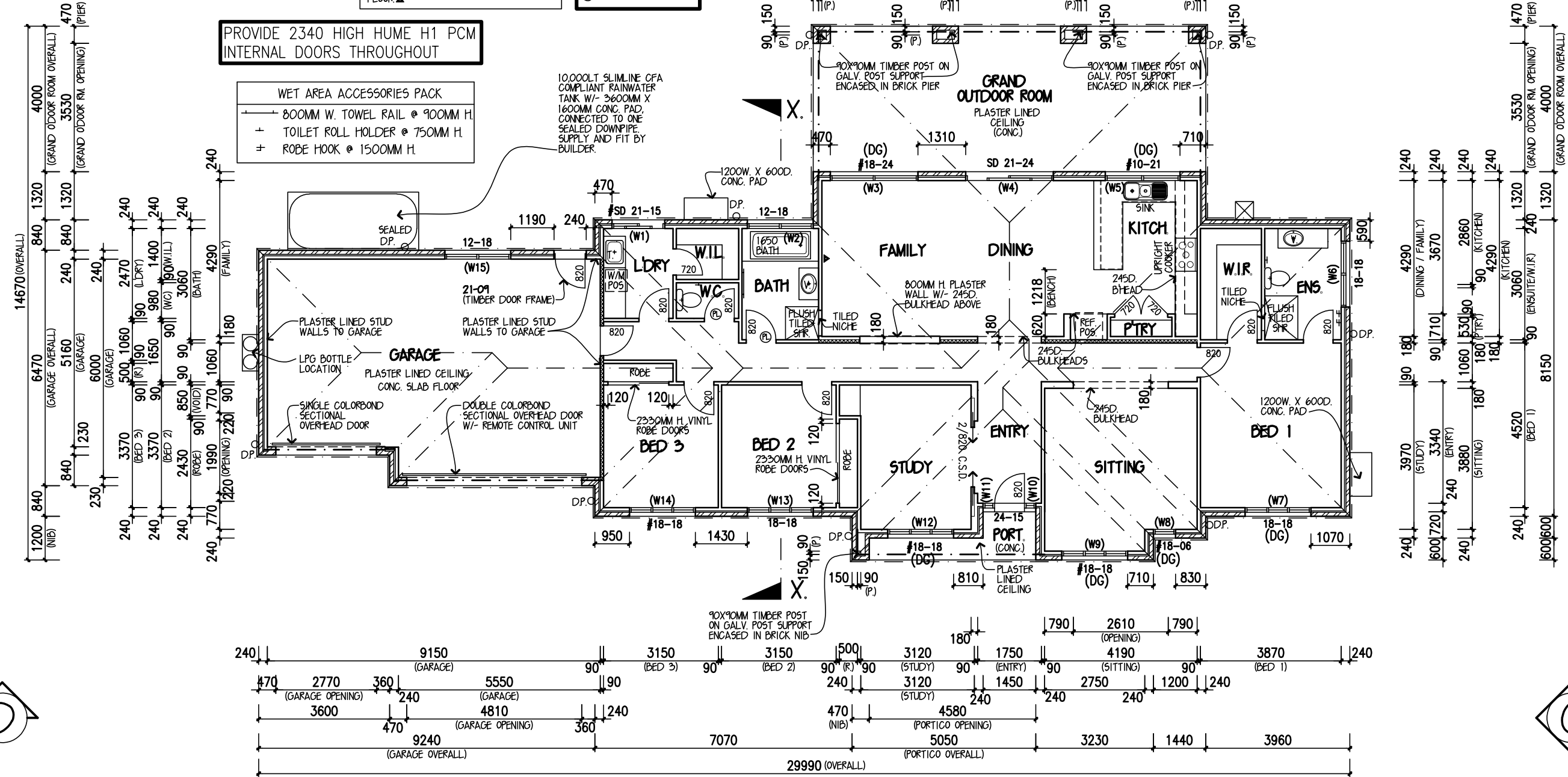
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**OWNER:**  
MR M. LISPERGUER & MS T. BASILE  
LOT 1 (NO. 374) ROSHERVILLE ROAD  
**METUNG**

JOB: 740487	DRAWN: PDR
DATE: 29/08/22	CHECKED: SC
SCALE: 1:250	SHEET: 1B OF 8
VIC ROADS: 690 D2	



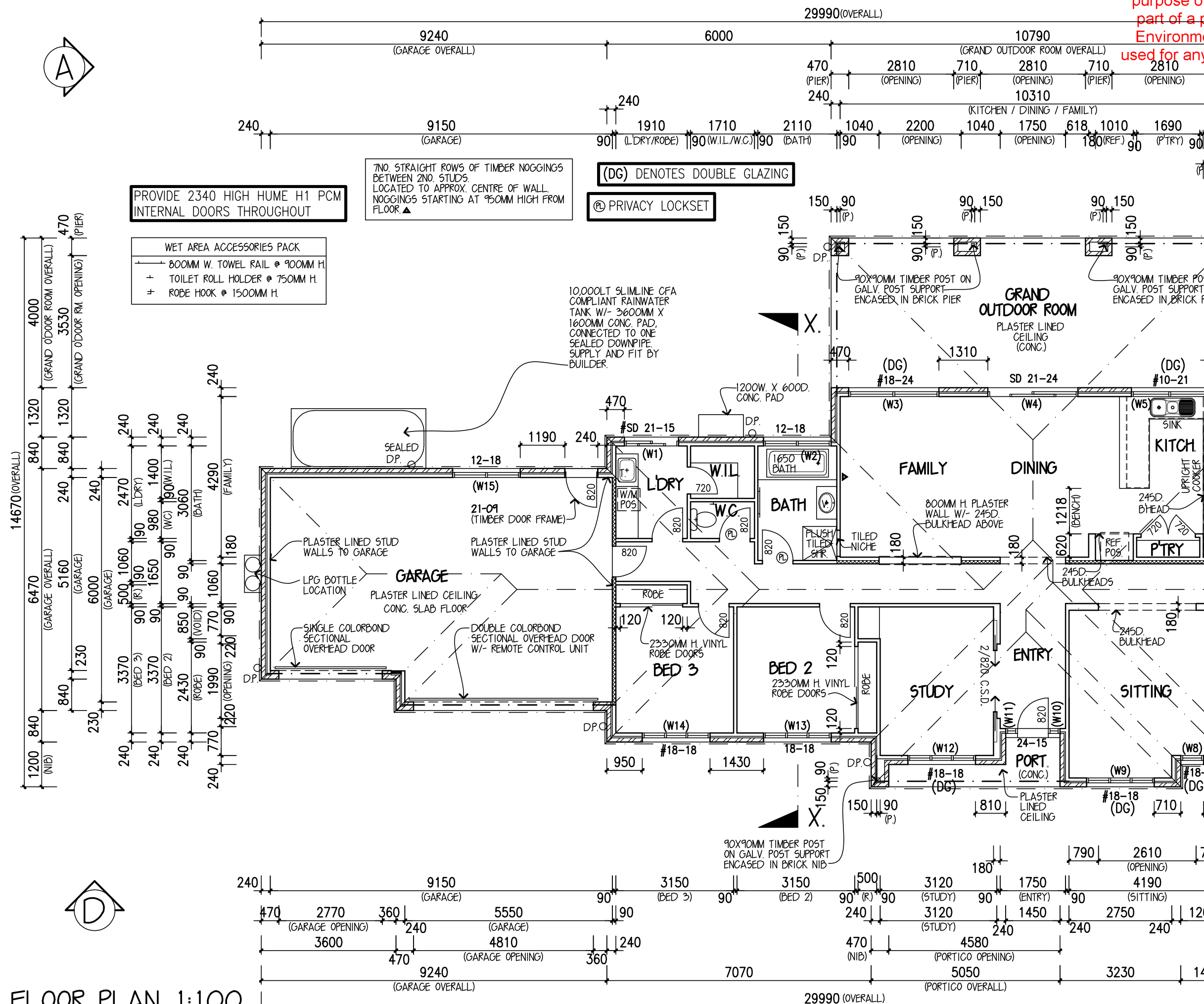
**CONSTRUCTION DRAWINGS** 6-Feb-23  
The Owner acknowledges that these are the final plans as varied, and supersede any prior plans signed.  
**No further variations permitted**  
Signed.....  
Date.....



FLOOR PLAN 1:125

<div>NOTES:</div> <ul style="list-style-type: none"><li>*WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.</li><li>*WINDOW SIZES SHOWN ARE SUPPLIERS FRAME SIZES.</li><li>*ALL GLAZING TO COMPLY WITH A.S. 1288-2006 GLASS IN BUILDINGS, A.S. 2047-2014 WINDOWS IN BUILDINGS &amp; A.S. 4055-2012 FOR WINDLOADING.</li><li>*GARAGE ROOF TO BE TIED DOWN MIN. 1200 INTO BRICKWORK WITH HOOP IRON STRAPS.</li><li>*ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH NCC 3.8.3</li><li>*EXTERNAL PLIABLE MEMBRANES TO COMPLY WITH &amp; BE INSTALLED IN ACCORDANCE WITH NCC 3.8.7.2 &amp; AS/NZS 4200.1 &amp; AS 4200.2</li><li>*ALL EXHAUST FANS TO COMPLY W/-NCC 3.8.7.3</li></ul>		<div>FRAMING NOTES:</div> <ul style="list-style-type: none"><li>*CENTRE ALL WINDOWS &amp; DOORS INTERNALLY TO ROOM (UNLESS OTHERWISE NOTED)</li><li>*PROVIDE 2NO. 90X45 JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL <b>S-TYP-DOOR-01</b></li><li>*ENSURE RETURN AIR GRILLE &amp; VOID IS CLEAR OF TRUSS &amp;/OR FRAMING CONSTRUCTION.</li></ul> <div>LEGEND:</div> <div><div>XXXX</div>LOAD BEARING WALL</div> <div><div>XXXX</div>WALL UNDER STAIR TO BE BUILT AFTER STAIR</div> <div><div>XXXX</div>70MM STUD WALL</div> <div><div>XXXX</div>12MM PLY BOARD FIXED TO STUD W/PLASTER OVER INCREASE WIND RATING AS PER AS2047 TO NOMINATED GLAZING PANELS</div> <div><div>#</div></div>		<div>AREAS:</div> <table><tr><td>GRD FLR:</td><td>18915 SQM</td><td>GARAGE:</td><td>57.69 SQM</td></tr><tr><td></td><td></td><td>PORTICO:</td><td>4.07 SQM</td></tr><tr><td></td><td></td><td>O'DOOR RM.:</td><td>43.16 SQM</td></tr><tr><td></td><td></td><td></td><td></td></tr><tr><td>SUBTOTAL:</td><td>18915 SQM</td><td>TOTAL:</td><td>294.07 SQM</td></tr><tr><td></td><td>20.36 SQM</td><td></td><td>31.65 SQM</td></tr></table>		GRD FLR:	18915 SQM	GARAGE:	57.69 SQM			PORTICO:	4.07 SQM			O'DOOR RM.:	43.16 SQM					SUBTOTAL:	18915 SQM	TOTAL:	294.07 SQM		20.36 SQM		31.65 SQM	<div>DESIGN: KALARNEY 24</div> <div>FACADE: NEOCEILING: 25, L</div> <div>GARAGE: DOUBLELOCATION: F</div> <div>FLOOR PLAN</div> <div>VFSKAL24NEOS1</div> <div>METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTION IS FORBIDDEN AND WILL BE PROSECUTED.</div>		<div><div>FREEDOM</div><div>m</div><div>metricon</div></div> <div>BY METRICON</div> <div>501 Blackburn Rd. Mount Waverley VIC 3149, P.O. Box 857, Mount Waverley VIC 3149 Tel: 03 9915 5555 Fax: 03 9222 5144 Building Practitioner Reg. No. CDB-U52967 A.C.N. 005108752 © COPYRIGHT 2009 REPRODUCTION FORBIDDEN Unauthorised use, reproduction or adaptation is forbidden and will be prosecuted.</div>		<div>OWNER: MR M. LISPERGUER &amp; MS T. BASILE</div> <div>LOT 1 (NO. 374) ROSHERVILLE ROAD</div> <div>METUNG</div> <div>JOB NO: 740487DATE: 15/09/22</div> <div>F.C.DATE:MST VER: P DD MM YYYY</div> <div>PERMIT No:</div> <div>DRAWN:PGTCHKED:SHEET: 2 of 9</div>	
GRD FLR:	18915 SQM	GARAGE:	57.69 SQM																																
		PORTICO:	4.07 SQM																																
		O'DOOR RM.:	43.16 SQM																																
SUBTOTAL:	18915 SQM	TOTAL:	294.07 SQM																																
	20.36 SQM		31.65 SQM																																









- \* WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE, FLLOOR PLAN DIMENSIONS ARE FRAME SIZE ONLY
- \* WINDOW SIZES SHOWN ARE SUPPLIERS FRAME SIZES.
- \* ALL GLAZING TO COMPLY WITH A.S. 2288-2006 CLASS IN BUILDINGS, A.S. 2047-2014 WINDOWS IN BUILDINGS & A.S. 1055-2012 FOR WINDLOADING
- \* GARAGE ROOF TO BE SET DOWN MIN. 1200 INTO BRICKWORK WITH HOOP IRON STRAPS.
- \* ALL WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH NCC 3.8.3
- \* EXTERNAL PLIABLE MEMBRANES TO COMPLY WITH & BE INSTALLED IN ACCORDANCE WITH NCC 3.8.7.2 & AS/NZS 4200.1 & AS 4200.2
- \* ALL EXHAUST FANS TO COMPLY W/-NCC 3.8.7.3

**\*FRAMING NOTES:**

- \* CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNLESS OTHERWISE NOTED)
- \* PROVIDE 2X6, 90X45 JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL **S-TYP-DOOR-01**
- \* ENSURE RETURN AIR GRILLE & VOID IS CLEAR OF TRUSS &/OR FRAMING CONSTRUCTION.

**LEGEND:**

	LOAD BEARING WALL
	WALL UNDER STAIR TO BE BUILT AFTER STAIR
	70MM STUD WALL
	12MM PLY BOARD FIXED TO STUD W/PLASTER OVER
#	INCREASE WIND RATING AS PER AS2047 TO NOMINATED GLAZING PANELS

**CONSTRUCTION  
DRAWINGS** 6-Feb-23

The Owner acknowledges that these are the final plans as varied, and supersede any prior plans signed.  
**No further variations permitted**

Signed.....  
Date.....

DESIGN: **KALARNEY 24**  
FACADE: **NEO** CEILING: **25, L**  
GARAGE: **DOUBLE** LOCATION: **F**

FLOOR PLAN  
VF5KAL24NEOS1

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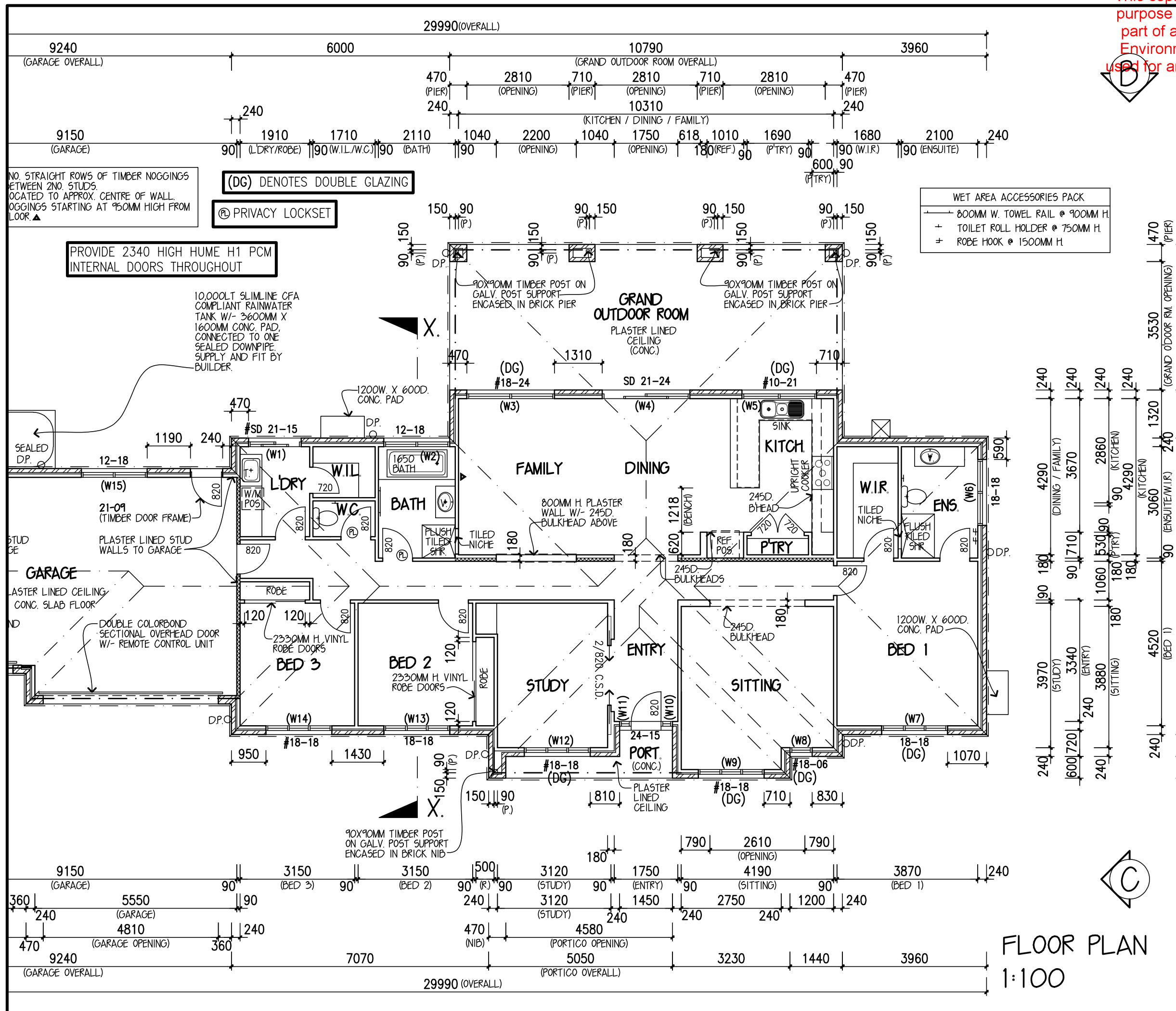
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501 Blackburn Rd. Mount Waverley VIC 3149  
P.O. Box 857, Mount Waverley VIC 3149  
Tel: 03 9915 5555 Fax: 03 9222 5144  
Building Practitioner Reg. No. CDB-U52967 A.C.N. 005108752  
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OWNER: MR M. LISPERGUER & MS T. BASILE  
LOT 1 (NO. 374) ROSHERVILLE ROAD  
METUNG

JOB NO:	740487	DATE:	15/09/22
F.C.DATE:		MST VER:	P DD MM YY
PERMIT No:			
DRAWN: PGT	CHKD:	SHEET: 2A of 9	

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Signed.....  
Date.....

DESIGN: **KALARNEY 24**  
FACADE: **NEO** CEILING: **25, L**  
GARAGE: **DOUBLE** LOCATION: **F**

**FLOOR PLAN**  
**VF5KAL24NE051**

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JOB NO: **740487** DATE: **15/09/22**  
F.C.DATE: MST VER: **P DD MM YYY**  
PERMIT No:  
DRAWN: **PGT** CHKD: SHEET: **28** of **9**

**FLOOR PLAN**  
**1:100**

**IMPORTANT NOTE:**  
REFER TO FACADE DETAIL  
REF. NO. **S-TYP-HARC-01**

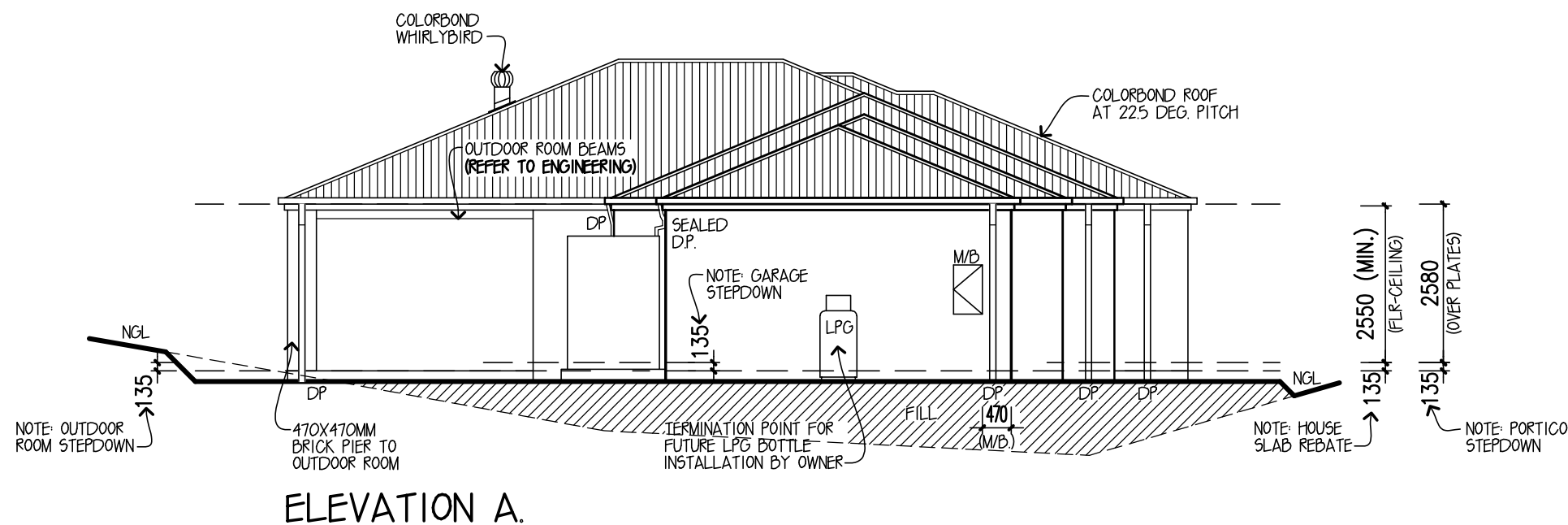
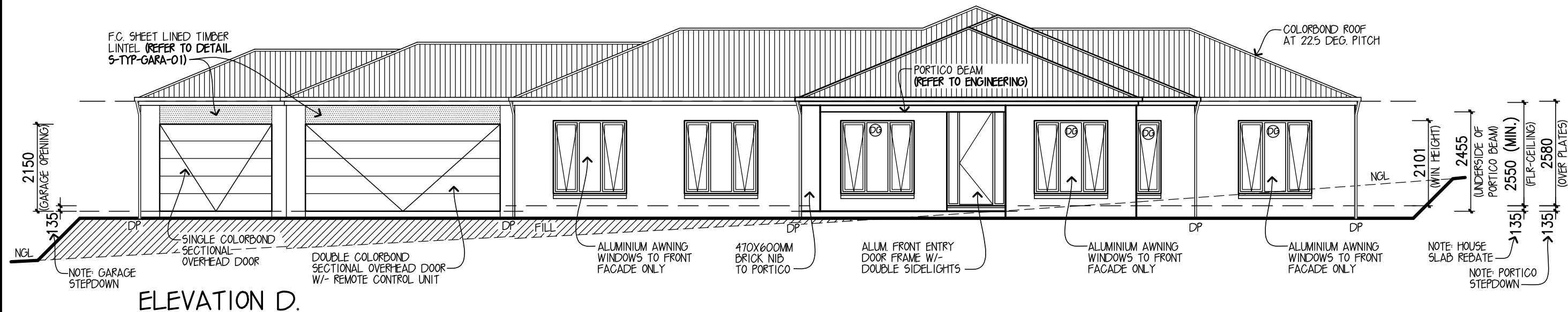
**DOUBLE GLAZING**

**IMPORTANT NOTE:**  
PROVIDE ALUM. MESH INSECT SCREENS  
TO ALL OPENABLE WINDOWS & SLIDING  
DOORS.

**IMPORTANT NOTE:**  
REFER TO COLOUR SCHEDULE  
DOCUMENT FOR ALL MANUFACTURER  
DETAILS AND COLOUR FINISHES.

PROVIDE BRICKWORK ABOVE FRONT  
ELEVATION WINDOWS. F.C. SHEET TO  
BE ABOVE FRONT ENTRY DOOR  
FRAME & ABOVE THE GARAGE DOOR  
OPENING (UNLESS NOTED  
OTHERWISE).

PROVIDE BRICKWORK ABOVE ALL  
SIDE AND REAR ELEVATION WINDOWS  
& DOORS (UNLESS NOTED  
OTHERWISE).



**ELEVATIONS 1:100**

**NOTES:**

- \*WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS UNQ.
- \*ALL GLAZING TO COMPLY WITH A.S. 1288-2006 GLASS IN BUILDINGS, & WITH A.S. 4065-2012 FOR WINDLOADING. WINDOWS TO COMPLY WITH A.S. 2047-2014.
- \*WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
- \*WINDOWS TO COMPLY WITH N.C.C. 3.9.2.6 & 3.9.2.7
- \*GUTTER AND DRAINAGE SYSTEM TO COMPLY WITH A.S. 3500
- \*IF EXTERNAL RENDER IS SUPPLIED BY METRICON, THE RENDER PROCESS IS TO BE APPLIED OVER THE CAULKED ARTICULATION JOINTS AS PER METRICON STANDARD PRACTICES.
- \*SARKING TO ROOF TO BE INSTALLED AS PER NCC3.5.2.4
- \*ANTI-FONDING DEVICE/BOARD TO BE INSTALLED AS PER NCC 3.5.2.5 TO TILED SARKED ROOFS W/-PITCH LESS THAN 20° & TILED ROOFS W/- NO EAVES (REFER S-TYP-ROOF-06)

**CONSTRUCTION DRAWINGS ...6-Feb-23...**

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**No further variations permitted**

Signed.....

Date.....

VARIATIONS(V), RE-PREPS(R), AMENDMENTS(A):

No:	Date:	Drawn:	Chkd:	No:	Date:	Drawn:	Chkd:
A01	15/09/22	PGT	--	-			
FC	13/12/22	IM2	--	-			
-				-			
-				-			
-				-			

DESIGN: **KALARNEY 24**

FACADE: **NEO** CEILING: **25, L**

GARAGE: **DOUBLE** LOCATION: **F**

**ELEVATIONS**

**VF5KAL24NEOS1**

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OWNER: **MR M. LISPERGUER & MS T. BASILE**  
**LOT 1 (NO. 374) ROSHERVILLE ROAD**  
**METUNG**

JOB NO: **740487** DATE: **15/09/22**

F.C. DATE: MST VER: **P DD MM YYYY**

PERMIT No:

DRAWN: **PGT** CHKD: SHEET: **3** of **9**



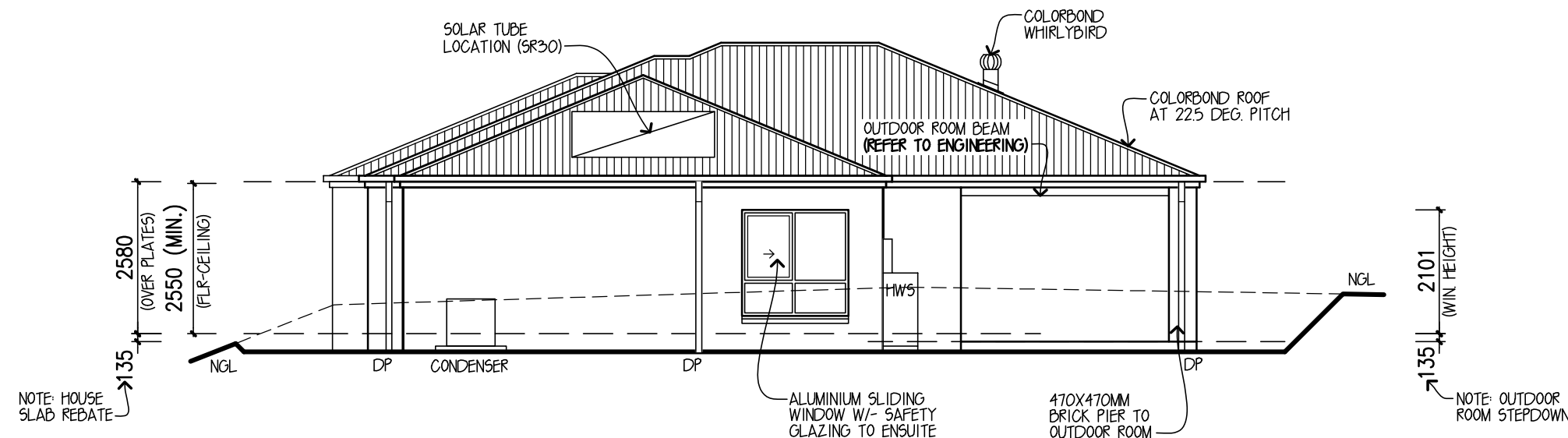
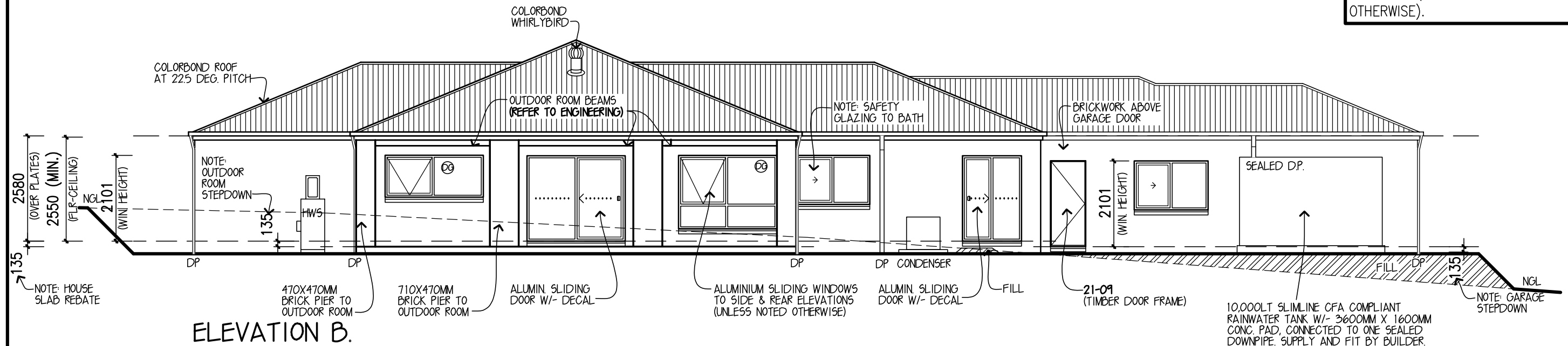
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DOUBLE GLAZING

IMPORTANT NOTE:  
PROVIDE ALUM. MESH INSECT SCREENS TO ALL OPENABLE WINDOWS & SLIDING DOORS.

IMPORTANT NOTE:  
REFER TO COLOUR SCHEDULE DOCUMENT FOR ALL MANUFACTURER DETAILS AND COLOUR FINISHES.

PROVIDE BRICKWORK ABOVE ALL SIDE AND REAR ELEVATION WINDOWS & DOORS (UNLESS NOTED OTHERWISE).



ELEVATIONS 1:100

NOTES:

- \*WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS UNQ.
- \*ALL GLAZING TO COMPLY WITH AS. 1288-2006 GLASS IN BUILDINGS, & WITH AS. 4065-2012 FOR WINDLOADING. WINDOWS TO COMPLY WITH AS. 2047-2014.
- \*WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST CORRESPONDING BRICK COURSE.
- \*WINDOWS TO COMPLY WITH N.C.C. 3.9.2.6 & 3.9.2.7
- \*GUTTER AND DRAINAGE SYSTEM TO COMPLY WITH AS. 3500
- \*IF EXTERNAL RENDER IS SUPPLIED BY METRICON, THE RENDER PROCESS IS TO BE APPLIED OVER THE CAULKED ARTICULATION JOINTS AS PER METRICON STANDARD PRACTICES.
- \*SARKING TO ROOF TO BE INSTALLED AS PER NCC3.5.2.4
- \*ANTI-PONDING DEVICE/BOARD TO BE INSTALLED AS PER NCC 3.5.2.5 TO TILED SARKED ROOFS W/-PITCH LESS THAN 20° & TILED ROOFS W/- NO EAVES (REFER S-TYP-ROOF-06)

**CONSTRUCTION DRAWINGS** 6-Feb-23

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No further variations permitted

Signed.....

Date.....

DESIGN: KALARNEY 24

FACADE: NEO CEILING: 25, L

GARAGE: DOUBLE LOCATION: F

ELEVATIONS

VF5KAL24NEOS1

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LOT 1 (NO. 374) ROSHERVILLE ROAD  
**METUNG**

JOB NO: 740487 DATE: 15/09/22

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PERMIT No:

DRAWN: PGT CHKED: SHEET: 4 of 9

Printed 21/03/2023

Page 42 of 48



BUSHFIRE REQUIREMENTS  
BAL-125

WALLS

- \* 4.5MM THICK (NOM) FIBRE CEMENT SHEET INFILLS ABOVE SIDE AND REAR ELEVATION WINDOWS AND DOORS.
- \* ALL LIGHTWEIGHT CLAD AREAS (WHERE INCLUDED) TO BE MINIMUM 4.5MM THICK FIBRE CEMENT BASED PRODUCT.
- \* STANDARD WEATHERWRAP TO WALLS TO REMAIN.

VENTS & WEEPHOLES

- \* PROVIDE WEEPA HIGH PERFORMANCE BUSHFIRE WEEPHOLE WITH STAINLESS STEEL GUARDS .
- \* ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED TO PREVENT GAPS GREATER THAN 3MM.

WINDOWS

- \* PROVIDE A MINIMUM OF 4MM TOUGHENED GLASS TO WINDOWS AND SIDELIGHTS WITHIN 400MM OF A HORIZONTAL SURFACE. NOTE: EXTERNAL PANE OF DOUBLE GLAZED WINDOWS TO BE A MINIMUM OF 4MM TOUGHENED.
- \* PROVIDE ALUMINIUM FRAMED SCREENS WITH ALUMINIUM MESH TO ALL OPENABLE WINDOWS (OPENABLE SECTION ONLY). NOTE: THIS ITEM INCLUDES ALUMINIUM FRAMED SCREENS TO OPENABLE TIMBER WINDOWS (WHERE APPLICABLE).
- \* ALL STANDARD WINDOW AND DOOR HARDWARE COMPLIES
- \* STANDARD MERANTI TIMBER FRAMED WINDOWS COMPLY

EXTERNAL DOORS

- \* PROVIDE A MINIMUM OF 4MM TOUGHENED GLASS TO GLAZED BI-FOLD DOORS AND SLIDING DOORS. NOTE: LAMINATED GLASS DOES NOT COMPLY.
- \* WEATHERSTRIPS TO THE BOTTOM OF EXTERNAL HINGED DOORS (THIS ONLY APPLIES TO DOORS THAT DO NOT HAVE A FULLY SEALED FRAME).
- \* GARAGE DOORS
- \* PROVIDE EMBER SEALS TO COLORBOND SECTIONAL DOORS AND ROLLER DOORS (WHERE INCLUDED). NOTE: TIMBER GARAGE DOORS AND/OR WINDOW PANELS DO NOT COMPLY.
- \* STANDARD GARAGE EXTERNAL HINGE DOOR TO BE UPGRADED.
- \* EXTERNAL DOORS 35MM SOLID TIMBER OR NON-COMBUSTIBLE KICK PLATE OUTSIDE TO 400MM ABOVE THRESHOLD.
- \* PROVIDE FLYSCREEN TO LAUNDRY TIMBER HINGE DOOR IF APPLICABLE
- \* STANDARD MERANTI TIMBER SLIDING & BI-FOLD DOORS COMPLY
- \* STANDARD MERANTI TIMBER FRAMED DOORS COMPLY

WATER & GAS SUPPLY PIPES ABOVE GROUND

- \* METAL DRAINAGE VENT PIPES WITH METAL MESH TO OPENINGS.

ROOFING

- \* PROVIDE ROOF SARKING TO ENTIRE ROOF AREA INCLUDING THE RIDGE AND EXTEND INTO GUTTERS AND VALLEYS.
- \* PROVIDE MULTITEL TO HIPs, RIDGES, GUTTERLINES & VALLEYS
- \* PROVIDE COLORBOND WHIRLY BIRD WITH EMBER GUARDS TO ROOF.
- \* PROVIDE ANTI-PONDING BOARDS TO PERIMETRE IF TILED ROOFS.
- \* PROVIDE STORM SEAL TO ROOF VALLEYS. NOTE: THIS ITEM APPLIES TO TILED ROOFS ONLY.
- \* VERANDAHs SEPARATED FROM THE MAIN ROOF SPACE (WHERE INCLUDED) BY AN EXTERNAL WALL MUST HAVE A METAL ROOF.
- \* THE ROOF/WALL JUNCTION SHALL BESEALED, TO PREVENT OPENINGS GREATER THAN 3MM.

ROOF PENETRATIONS

- \* ROOF PENETRATIONS, INCLUDING ROOF LIGHTS, ROOF VENTILATORS, ROOF MOUNTED EVAPORATIVE COOLING UNITS, AERIALS, VENT PIPES AND SUPPORTS FOR SOLAR COLLECTORS, SHALL BE ADEQUATELY SEALED AT THE ROOF TO PREVENT GAPS GREATER THAN 3MM. THE MATERIAL USED TO SEAL THE PENETRATION SHALL BE NON COMBUSTIBLE.
- \* OPENINGS IN VENTED ROOF LIGHTS, ROOF VENTILATORS OR VENT PIPES SHALL BE FITTED WITH EMBER GUARDS MADE FROM A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2MM, MADE FROM CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM.
- \* EVAPORATIVE COOLING UNITS SHALL BE FITTED WITH BUTTERFLY CLOSERS AT OR NEAR THE CEILING LEVEL OR THE UNIT SHALL BE FITTED WITH NON-COMBUSTIBLE COVERS WITH A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE SIZE OF 2MM MADE OF CORROSION RESISTANT METAL BRONZE OR ALUMINIUM.
- \* PROVIDE UPGRADE TO STANDARD CHROMAGEN SOLAR HOT WATER UNIT (GAS OR ELECTRICAL) TO COMPLY WITH BUSHFIRE REQUIREMENTS (BAL 125, BAL 19 AND BAL 29) INCLUDING:
  - UV AND TEMPERATURE RESISTANT SOLAR DEKTITE (SOLADEK) IN LIEU OF STANDARD DEKTITE.
  - SOLAR ARMAFLEX IN LIEU OF STANDARD ARMAFLEX.
  - IF A GAS BOOSTER HAS BEEN PROVIDED, REPLACE THE FLEXIBLE CONNECTOR BETWEEN THE TANK AND THE BOOSTER WITH HALF-INCH COPPER LINE.
  - PROTECTIVE HOUSING TO THE PUMP AND CONTROLLER.
  - SOLAR COLLECTORS TO BE SEALED AT THE ROOF TO PREVENT GAPS GREATER THAN 3MM.
  - ALL WATER AND GAS CONNECTIONS TO BE METAL.

EAVES, LININGS, FACIAS & GABLES

- \* EAVES, LININGS, FACIAS & GABLES TO HAVE A GAP NO GREATER THAN 3MM.
- \* STANDARD PVC STRIPS TO EAVES TO REMAIN (WHERE INCLUDED).
- \* GABLES TO BE LINED WITH A MINIMUM 4.5MM THICK (NOM) FIBRE CEMENT SHEET.

ENERGY EFFICIENCY

NOTE: DESIGN MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY RATING, DEPENDING ON SITING.

PROVIDED IN THE PLANS:

DOOR SEALS – Sill seals to external hinged doors (incl. garage internal access door)

WINDOWS – Shall be weather stripped

DRAFT EXCLUSION – Reflective sisalation weather wrap with taped horizontal and vertical joints. Sealed gaps around windows and external doors to be installed in accordance with NCC 3.5.4.6 & AS/NZS 2904.

EXHAUST FANS – Draft prevention to exhaust fans, to relevant building codes.

CEILING INSULATION – R4.0 w/- R2.5 Batts to external perimeter excludes, Outdoor Room, Verandah, Portico and Garage.

WALL INSULATION – R2.0 Batts to all external walls incl. house/garage walls and house/roof space walls, R2.0 Batts to Garage walls.

FIRST FLOOR INSULATION – R4.0 Batts to floor area above Portico & Verandah.R4.1 Batts to Garage & Outdoor room

DOWNLIGHTS – All downlights to be sealed.

GENERAL NOTES:

- \* ALL STEPS & STAIRS TO HAVE A 240mm MIN. & 355mm MAX TREAD WITH A 100mm MIN. & 130mm MAX RISE.
- \* ALL EXTERNAL DOORS TO BE MINIMUM 1800mm HIGH & MUST COMPLY WITH N.C.C. 3.9.1.
- \* BALUSTRADE IN ACCORDANCE WITH N.C.C. 3.9.2. TO BE INSTALLED WHERE INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE FINISHED GROUND LEVEL.
- \* PROVIDE CAVITY FLASHING & WEEP HOLES ABOVE LOWER STOREY OPENINGS.
- \* WATERPROOFING OF WET AREAS TO COMPLY WITH A.S. 3740 &/OR N.C.C. 3.8.1.2

- \* SUB-FLOOR VENTILATION IN ACCORDANCE WITH N.C.C. 3.4.1. TO BE PROVIDED TO SUSPENDED TIMBER FLOOR.
- \* ALL GLAZING TO COMPLY WITH A.S. 1288-2006 GLASS IN BUILDINGS, & WITH A.S. 4055-2012 FOR WINDLOADING.

\*FRAMING NOTES:  
TIMBER ROOF TRUSSES TO MANUFACTURERS COMPUTATIONS AND LAYOUTS.

- \* ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH A.S. 1684.2-2010 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS STRUCTURAL COMPUTATIONS.

- \* ALUMINIUM WINDOW AND DOOR FRAMES BY 'SOUTHERN STAR ALUMINIUM WINDOWS AND DOORS'. TIMBER WINDOWS AND DOOR FRAMES BY 'CANTERBURY TIMBER WINDOWS AND DOORS'.

DESIGN: KALARNEY 24

FACADE: NEO CEILING: 25, L

GARAGE: DOUBLE LOCATION: F

SECTION

VF5KAL24NE051

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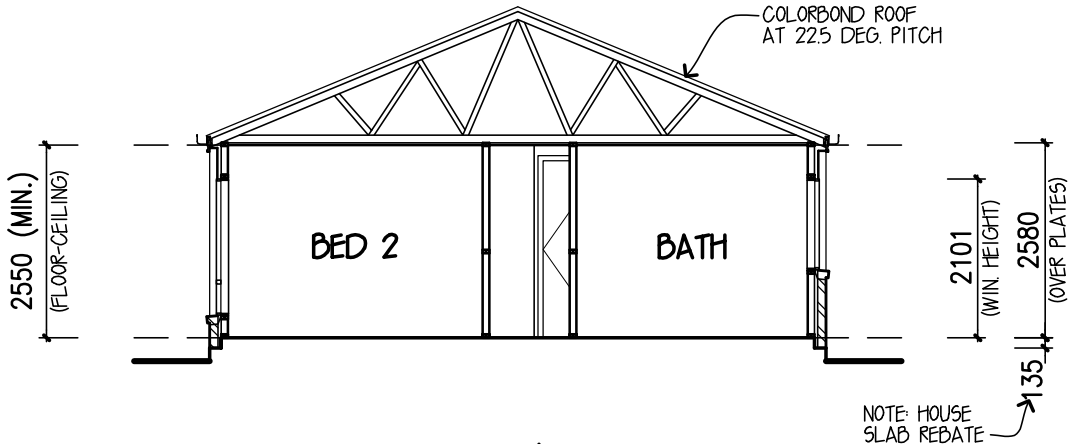
OWNER: MR M. LISPERGUER & MS T. BASILE  
LOT 1 (NO. 374) ROSHERVILLE ROAD  
METUNG

JOB NO: 740487 DATE: 15/09/22

F.C.DATE: MST VER: P DD MM YYY

PERMIT No:

DRAWN: PGT CHKED: SHEET: 5 of 9



NOTE: REFER ENGINEER'S FOOTING DESIGN.

SECTION X-X

SITE CLASSIFICATION: M  
(REFER SOIL REPORT NO. 179175)

SECTION 1:100

CONSTRUCTION  
DRAWINGS ...13-Dec-22...

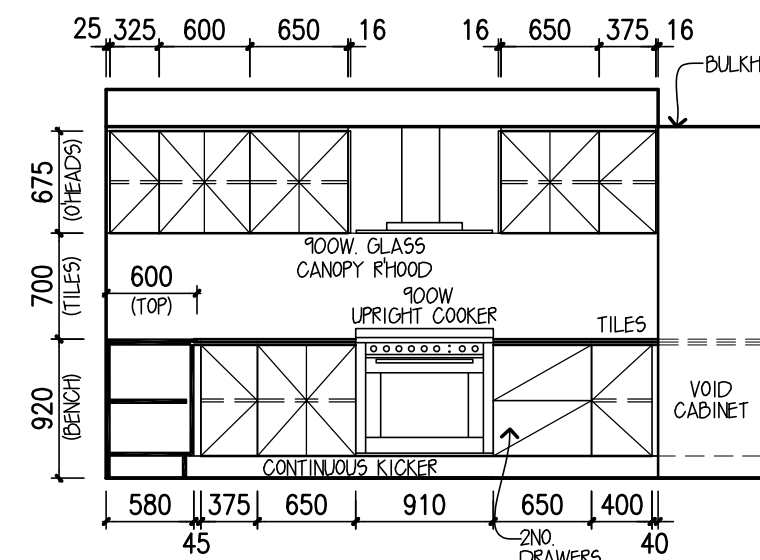
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Date.....

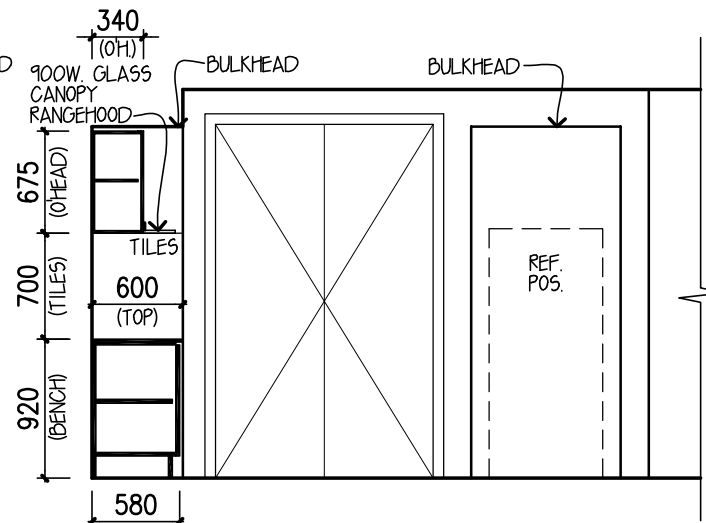


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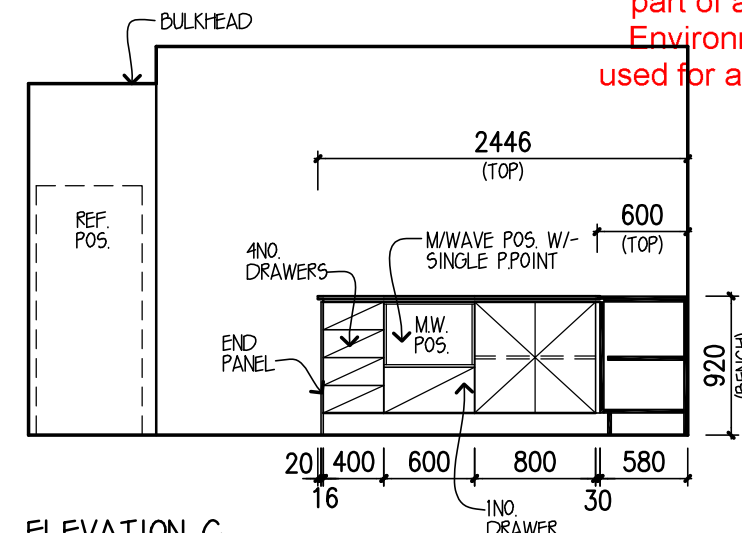


ELEVATION A  
KITCHEN

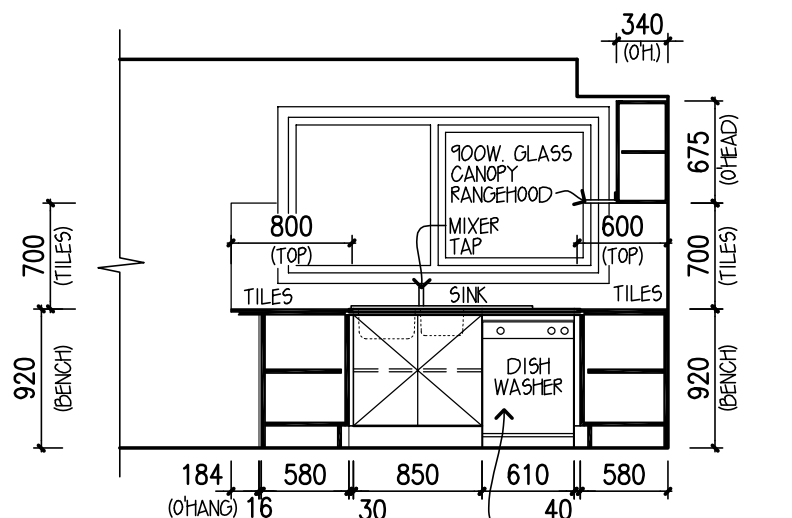
RANGEHOOD INSTALLED AS PER  
MANUFACTURERS SPECIFICATIONS



ELEVATION B

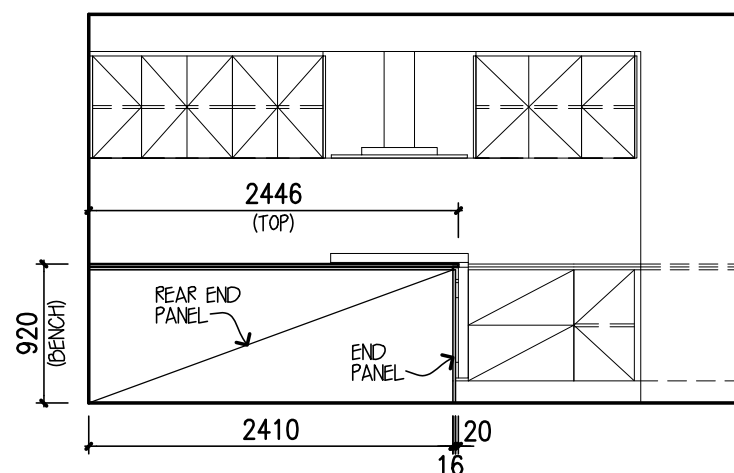


ELEVATION C



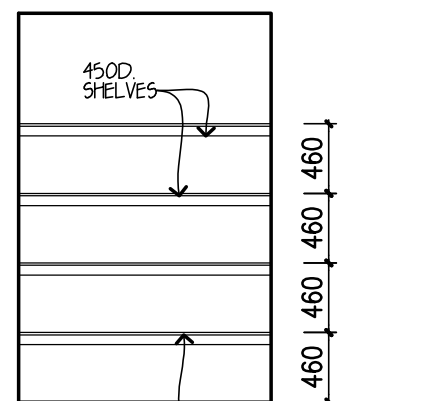
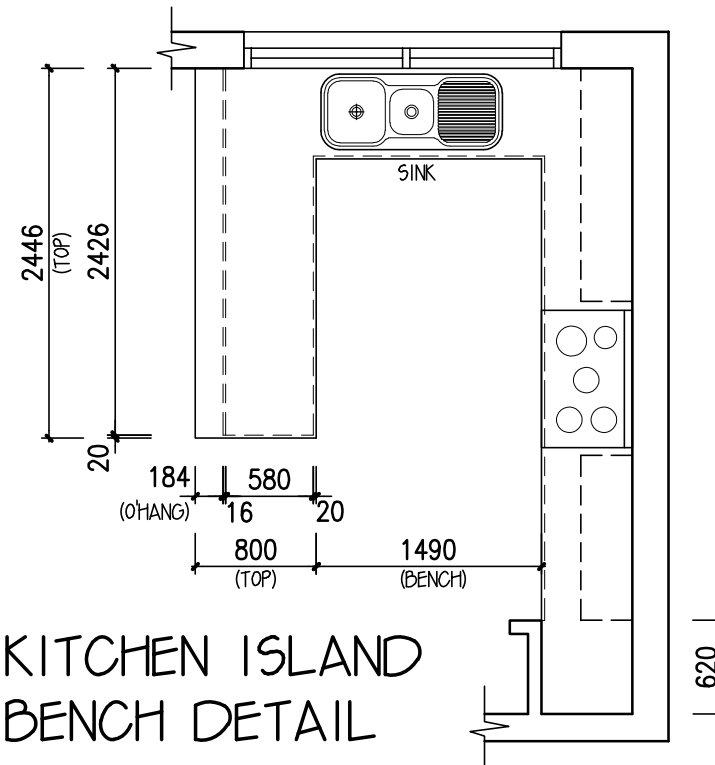
ELEVATION D  
KITCHEN

NOTE: DISHWASHER WITH COLD  
WATER POINT & PRESSURE  
LIMITING VALVE.



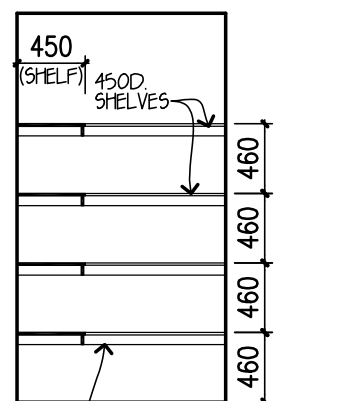
ELEVATION A (REAR OF ISLAND BENCH)

KITCHEN ISLAND  
BENCH DETAIL



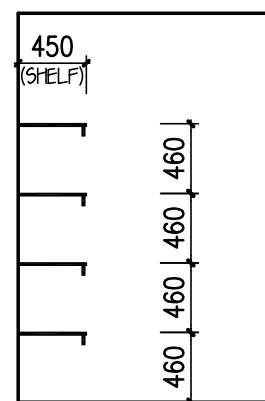
ELEVATION B  
PANTRY

16MM SHELVES WITH 16MM  
FRONT RAILS (REFER  
DETAIL 0-TYP-KITC-01)

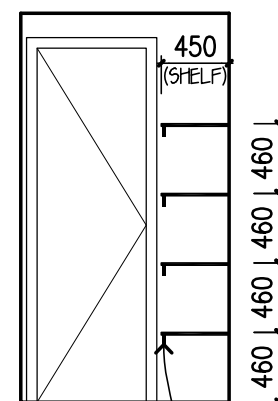


ELEVATION A  
W.I.L

16MM SHELVES WITH 16MM  
FRONT RAILS (REFER  
DETAIL 0-TYP-KITC-01)

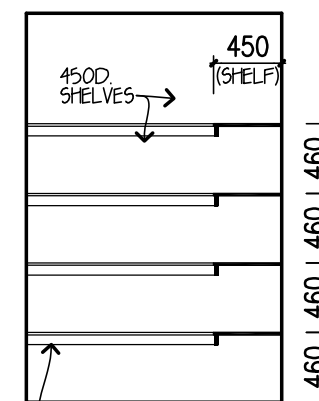


ELEVATION B



ELEVATION C

16MM SHELVES WITH 16MM  
FRONT RAILS (REFER  
DETAIL 0-TYP-KITC-01)



ELEVATION D

16MM SHELVES WITH 16MM  
FRONT RAILS (REFER  
DETAIL 0-TYP-KITC-01)

INTERNALS 1:50

**CONSTRUCTION  
DRAWINGS ...13-Dec-22...**  
The Owner acknowledges that these are the  
final plans as varied, and supersede any prior  
plans signed.  
**No further variations permitted**  
Signed.....  
Date.....

DESIGN: **KALARNEY 24**

FACADE: **NEO** CEILING: **25, L**

GARAGE: **DOUBLE** LOCATION: **F**

**INTERNAL ELEVATIONS**  
**VF5KAL24NE051**

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**FREEDOM** **m**  
metricon

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P.O. Box 857, Mount Waverley VIC 3149  
Tel: 03 9915 5555 Fax: 03 9222 5144  
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OWNER: **MR M. LISPERGUER & MS T. BASILE**  
**LOT 1 (NO. 374) ROSHERVILLE ROAD**  
**METUNG**

JOB NO: **740487** DATE: **15/09/22**

F.C.DATE: MST VER: **P DD MM YYY**

PERMIT No:

DRAWN: **PGT**

CHKD:

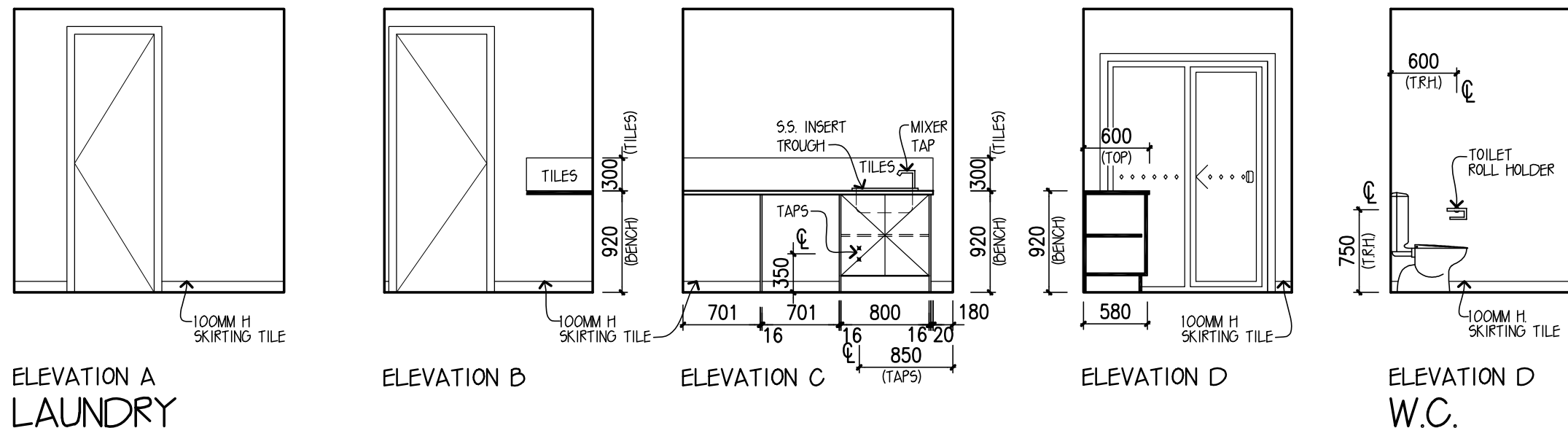
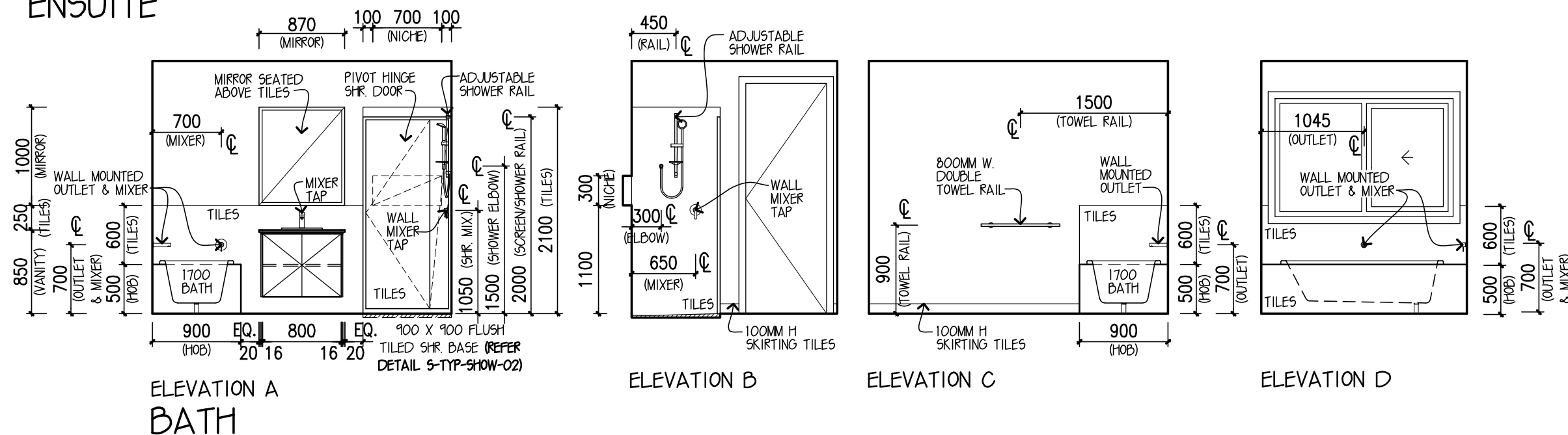
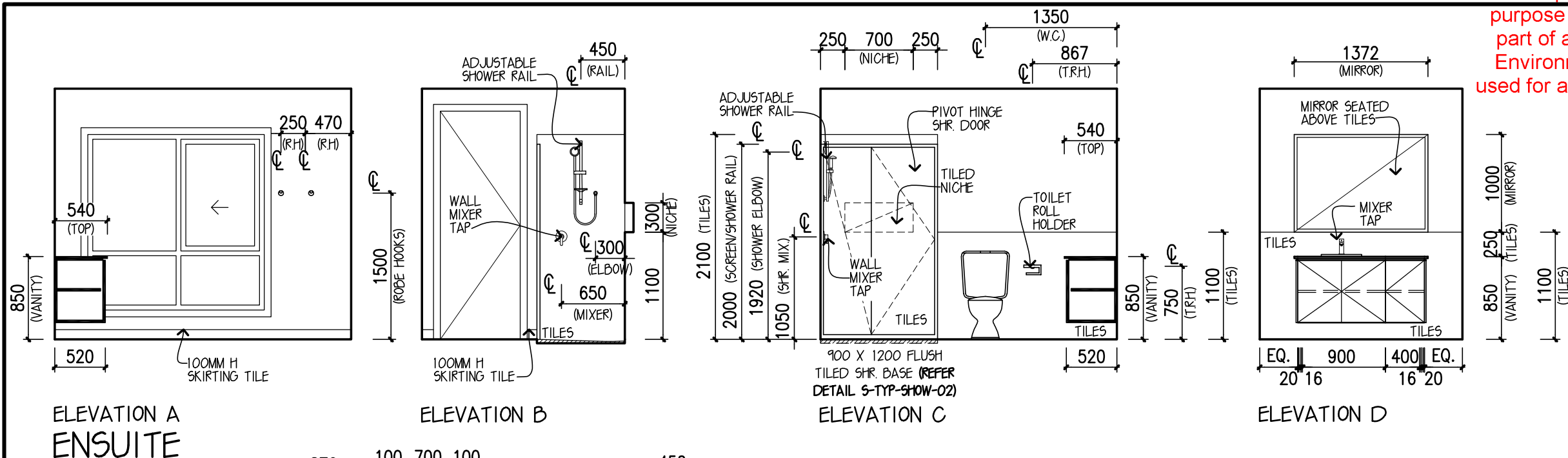
SHEET: **7** of **9**

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INTERNALS 1:50

### CONTRACT DRAWINGS

The owner(s) acknowledge these are the plans referred to in the Building Agreement.

Dated:.....

Signed:.....

Signed:.....

DESIGN: **KALARNEY 24**

FACADE: **NEO** CEILING: **25, L**

GARAGE: **DOUBLE** LOCATION: **F**

**INTERNAL ELEVATIONS**  
**VF5KAL24NE051**

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**METUNG**

JOB NO: **740487** DATE: **15/09/22**

F.C. DATE: MST VER: **P DD MM YYY**

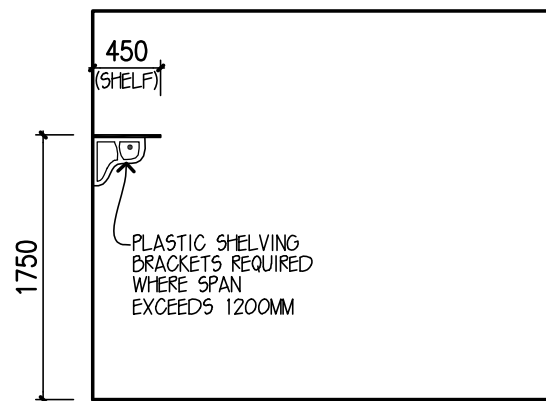
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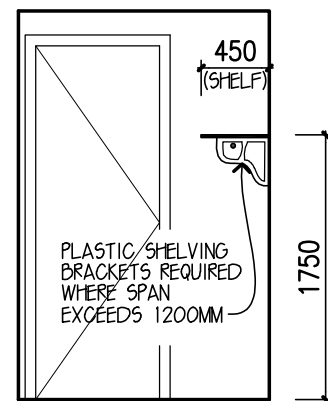
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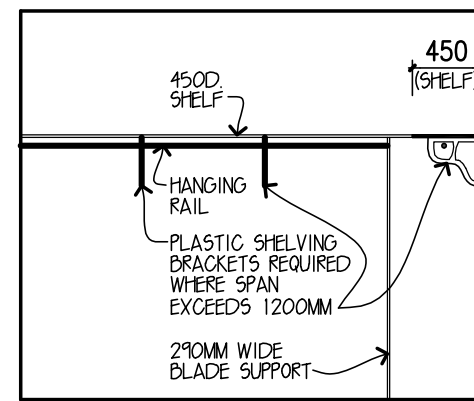
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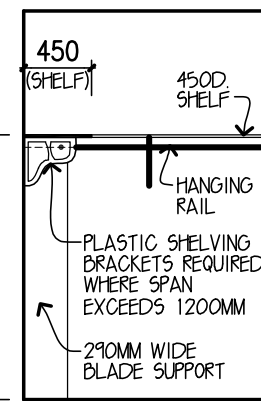
ELEVATION A  
W.I.R.



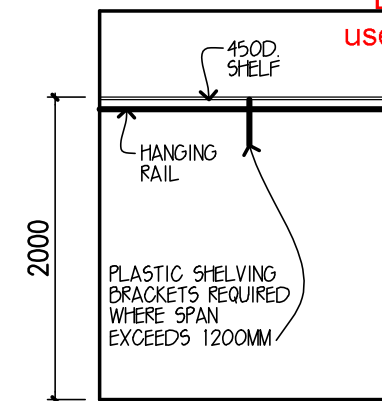
ELEVATION B



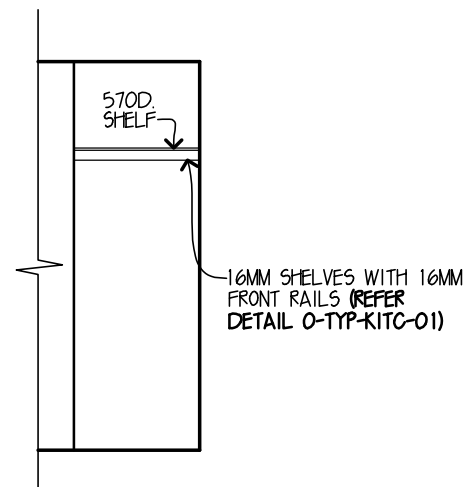
ELEVATION C



ELEVATION D

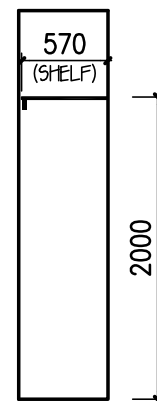


BED'S 2 & 3  
ROBE (TYPICAL)



ELEVATION C

STUDY



ELEVATION B

INTERALS 1:50

\* TILE & CURBOARD DIMENSIONS ARE APPROXIMATE ONLY & MAY BE ALTERED TO SUIT MODULAR SIZES  
\* INTERNAL DIMENSIONS INDICATED ARE TAKEN FROM PLASTER  
\* INTERNAL HEIGHT DIMENSIONS ARE TAKEN FROM THE FINISHED SLAB LEVEL, FLOOR COVERINGS ARE NOT ACCOUNTED FOR.  
\* ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE  
\* SHOWER SCREEN HEIGHTS ARE INDICATIVE ONLY AND WILL ALTER DEPENDING ON SHOWER BASE CONSTRUCTION METHODS

\* BENCHTOPS MAY HAVE A JOIN DEPENDANT ON LENGTH & CONFIGURATION, POSITIONED AT THE MANUFACTURERS DISCRETION.  
\* ISLAND BENCH BACK PANELS WILL HAVE A JOIN POSITIONED AT THE MANUFACTURERS DISCRETION

**CONTRACT DRAWINGS**

The owner(s) acknowledge these are the plans referred to in the Building Agreement.

Dated:.....

Signed:.....

Signed:.....

DESIGN: **KALARNEY 24**

FACADE: **NEO** CEILING: **25, L**

GARAGE: **DOUBLE** LOCATION: **F**

**INTERNAL ELEVATIONS**  
**VF5KAL24NE051**

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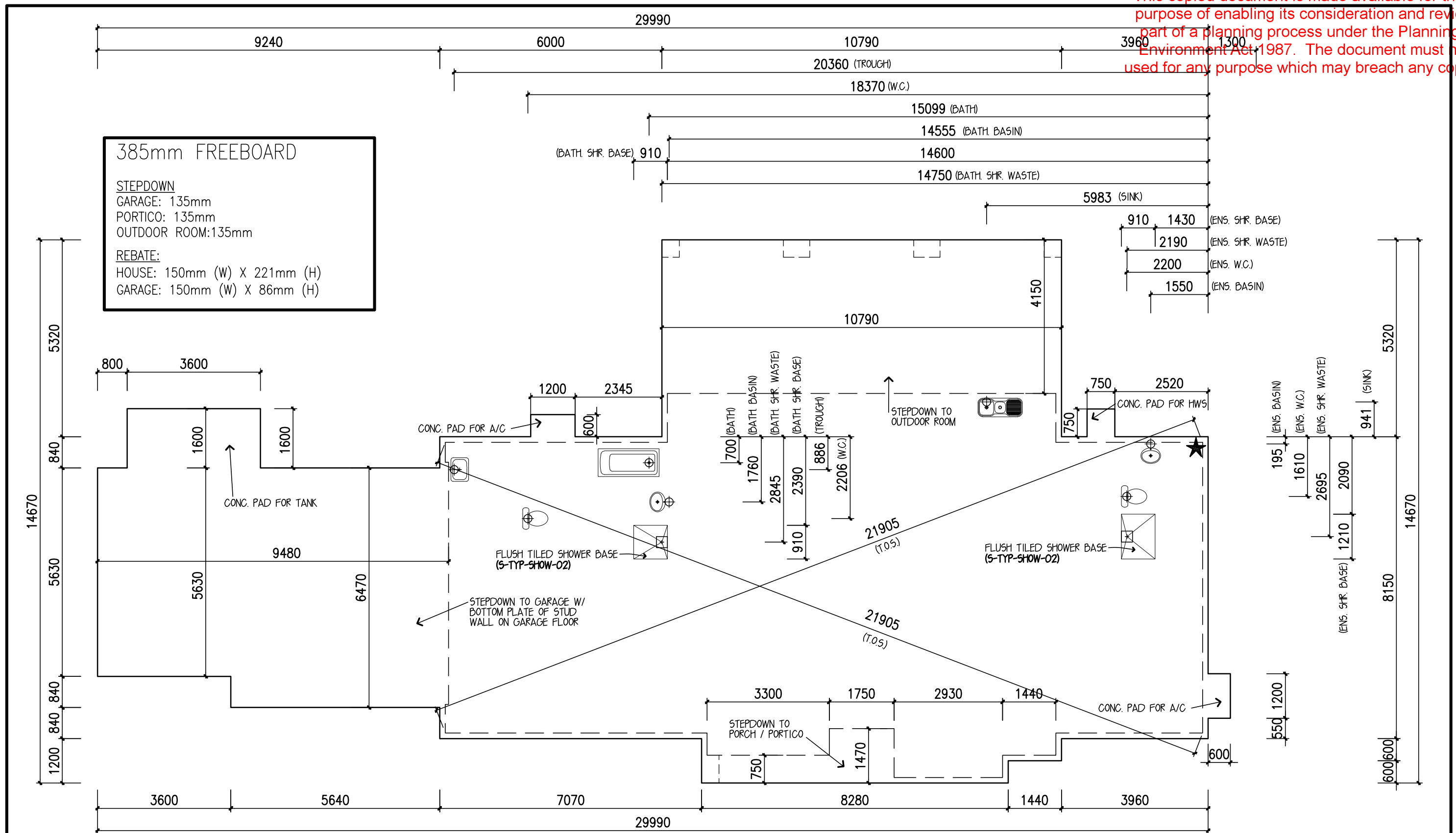
F.C.DATE: MST VER: **P DD MM YYY**

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FOR CONSTRUCTION PURPOSES ONLY

SLAB LAYOUT PLAN 1:100

<p>★ START POINT FOR ALL EXTERNAL DIMENSIONS (IDEAL START POINT TO BE TAKEN FROM REAR CORNER OF THE LONGEST RUN OF WALL)</p> <p>⊕ INDICATES WASTE LOCATION (DIMENSION FOR EXACT LOCATIONS)</p> <p>⊗ 300X300MM BOXING TO CENTRE REAR OF SHOWER</p> <p>⊙ INDICATES PLUMBING &amp; ELECTRICAL CONDUIT FOR ISLAND BENCH (DIMENSION FOR EXACT LOCATIONS)</p>	<p>DESIGN: <b>KALARNEY 24</b></p> <p>FACADE: <b>NEO</b> CEILING: <b>25, L</b></p> <p>GARAGE: <b>DOUBLE</b> LOCATION: <b>F</b></p> <p><b>SLAB LAYOUT PLAN</b></p> <p><b>VF5KAL24NEOS1</b></p> <p>METRICON HOMES OWNS COPYRIGHT IN THIS DRAWING. UNAUTHORISED USE, REPRODUCTION OR ADAPTION IS FORBIDDEN AND WILL BE PROSECUTED.</p>	<p><b>FREEDOM</b>   <b>m</b> <small>metricon</small></p> <p>BY METRICON</p> <p>501 Blackburn Rd. Mount Waverley VIC 3149, P.O. Box 857, Mount Waverley VIC 3149 Tel: 03 9915 5555 Fax: 03 9222 5144 Building Practitioner Reg. No. CDB-U52967 A.C.N. 005108752 © COPYRIGHT 2009 REPRODUCTION FORBIDDEN Unauthorised use, reproduction or adaptation is forbidden and will be prosecuted.</p>	<p>OWNER: <b>MR M. LISPERGUER &amp; MS T. BASILE</b></p> <p><b>LOT 1 (NO. 374) ROSHERVILLE ROAD</b></p> <p><b>METUNG</b></p> <p>JOB NO: <b>740487</b> DATE: <b>15/09/22</b></p> <p>F.C. DATE: <b>15/09/22</b> MST VER: <b>P DD MM YYYY</b></p> <p>PERMIT No: <b>15/09/22</b></p> <p>DRAWN: <b>PGT</b> CHKED: <b>PGT</b></p>
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