26 May 2023

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	**65 Bon Accord Road WALPA Lot 1 TP 558275**
The application is for a permit to:	**Use and Development of a Rural Worker Accommodation**
The applicant for the permit is:	**Bonaccord Ingram Pty Ltd**
The application reference number is:	**155/2023/P**
You may look at the application and any documents that support the application on the website of the responsible authority.	**(Intentionally blank)**

This can be done anytime by visiting the following website:
https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- **be sent to the Responsible Authority in writing,**
- **include the reasons for the objection, and**
- **state how the objector would be affected.**

The Responsible Authority will not decide on the application before:	**Subject to applicant carrying out notice**

If you object, the Responsible Authority will tell you its decision.

Please note submissions received will be made available for inspection and may be made available to other parties in accordance with the Planning & Environment Act 1987. If you have concerns about this, please contact the East Gippsland Shire Council's Planning Office.

BONACCORD
Quality Produce Co.
BAIRNSDALE

2 May 2023

East Gippsland Shire Council
Planning Department

Att: Martin Richardson / Robert Pringle

Dear Martin and Robert,

Re: Proposed Worker Accommodation

Please find enclosed the planning issue drawings for our proposed worker accommodation located at 65 Bonaccord Road Walpa. As we have discussed in our previous meetings and correspondence over the past year, we are finding it extremely challenging in providing adequate accommodation for our seasonal workforce.

Our proposed plan involves the renovation and extension of an existing 3 bedroom dwelling that is currently occupied by our workers. The intended maximum occupancy of this proposed building is 12 persons, with the change of use from a class 1a building to a class 1b building.

The dwelling will be under the management and maintenance of Bonaccord and is located 500m from our main office and packing shed facility. We are aware of the constraints and concerns surrounding flooding on the Lindenow Flats. In the event of flooding, we diligently monitor river heights upstream, and provide our workers with regular updates and alerts regarding flood warnings statuses, road closures and evacuations. We possess the necessary resources to evacuate staff, move them to higher ground and provide alternative accommodation if required.

We would like to assure you that we are willing to work closely with you to address any concerns or conditions you may have.

Please feel free to contact either myself or Ross if you wish to discuss the application further.

Kind Regards,

Anita Feather

ABN 54 150 956 031
95 Bon Accord Road, Walpa, Victoria 3875
Phone: (03) 51571332 Email: sales@bonaccord.net

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 09338 FOLIO 899

Security no : 124105776966Q
Produced 02/05/2023 03:06 PM

LAND DESCRIPTION

Lot 1 on Title Plan 558275H.
PARENT TITLE Volume 02955 Folio 824
Created by instrument H552676 08/06/1979

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
BONACCORD INGRAM PTY LTD
AL427673X 17/10/2014

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP558275H FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

----------END OF REGISTER SEARCH STATEMENT----------

Additional information: (not part of the Register Search Statement)

Street Address: 65 BON ACCORD ROAD WALPA VIC 3875

DOCUMENT END

Imaged Document Cover Sheet

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	**Plan**
Document Identification	**TP558275H**
Number of Pages (excluding this cover sheet)	**1**
Document Assembled	**02/05/2023 15:07**

The document is invalid if this cover sheet is removed or altered.

TITLE PLAN

EDITION 1 | TP 558275H

Notations

Location of Land

Parish: COONGULMERANG
Township:
Section:
Crown Allotment: 55
Crown Portion:
SUBDIVISION A (PT), B (PT)
Last Plan Reference: LP 4173
Derived From: VOL 9338 FOL 899
Depth Limitation: NIL

ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN

Description of Land / Easement Information

ENCUMBRANCES REFERRED TO

As to the land shown marked A- - - - - -
THE EASEMENT to State Electricity - - --
Commission of Victoria created by - - --
Instrument 2150036- - - - - - - - - - --

THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT
COMPILED: 06/07/2000
VERIFIED: MP

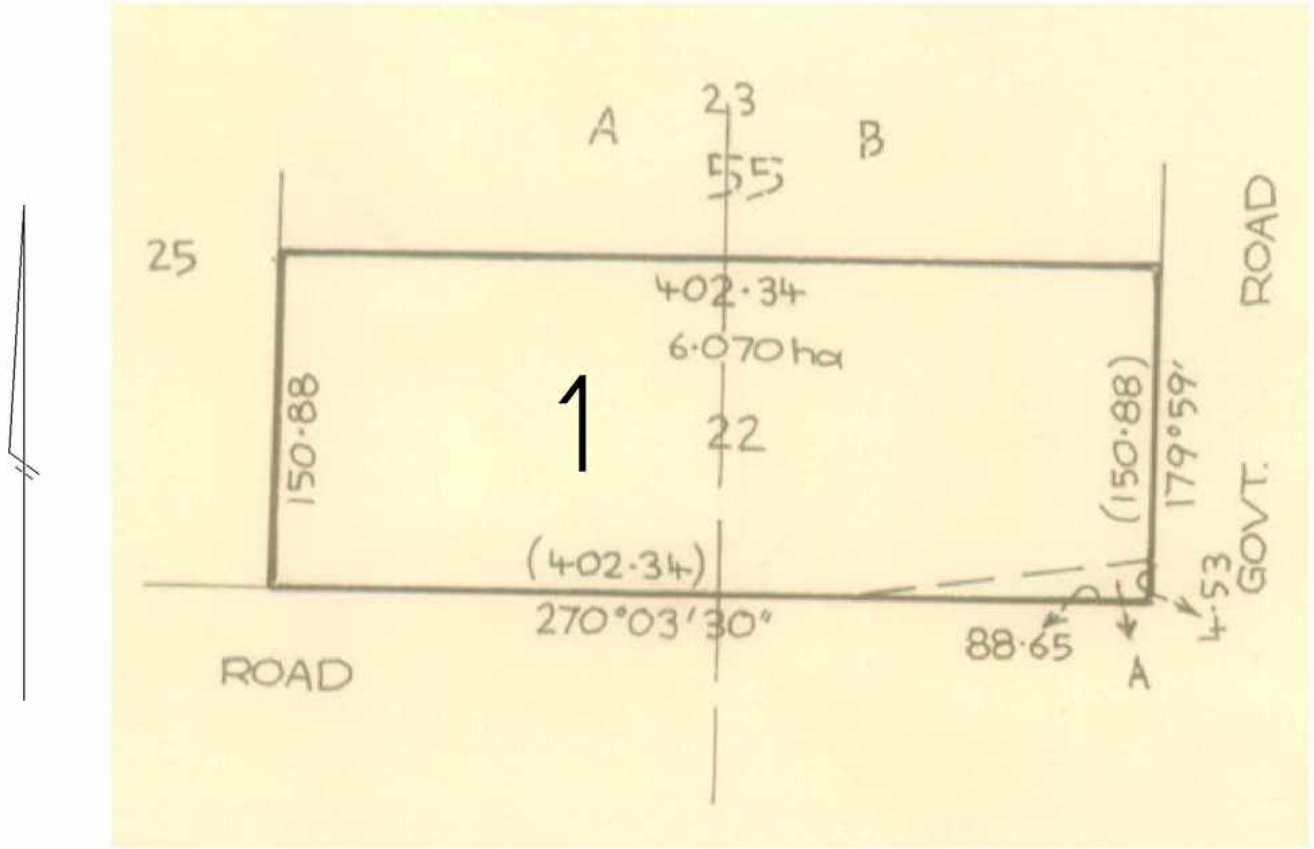


TABLE OF PARCEL IDENTIFIERS
WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962
PARCEL 1 = LOT 22 ON LP 4173

LENGTHS ARE IN METRES	Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 1 of 1 sheets

PLANNING PROPERTY REPORT

From www.planning.vic.gov.au at 02 May 2023 03:13 PM

PROPERTY DETAILS

Address:	**65 BON ACCORD ROAD WALPA 3875**
Lot and Plan Number:	**Lot 1 TP558275**
Standard Parcel Identifier (SPI):	**1\TP558275**
Local Government Area (Council):	**EAST GIPPSLAND**
Council Property Number:	**2141**
Planning Scheme:	**East Gippsland**
Directory Reference:	**Vicroads 83 H6**

www.eastgippsland.vic.gov.au

Planning Scheme - East Gippsland

UTILITIES

Rural Water Corporation:	**Southern Rural Water**
Urban Water Corporation:	**East Gippsland Water**
Melbourne Water:	**Outside drainage boundary**
Power Distributor:	**AUSNET**

STATE ELECTORATES

Legislative Council:	**EASTERN VICTORIA**
Legislative Assembly:	**GIPPSLAND EAST**

OTHER

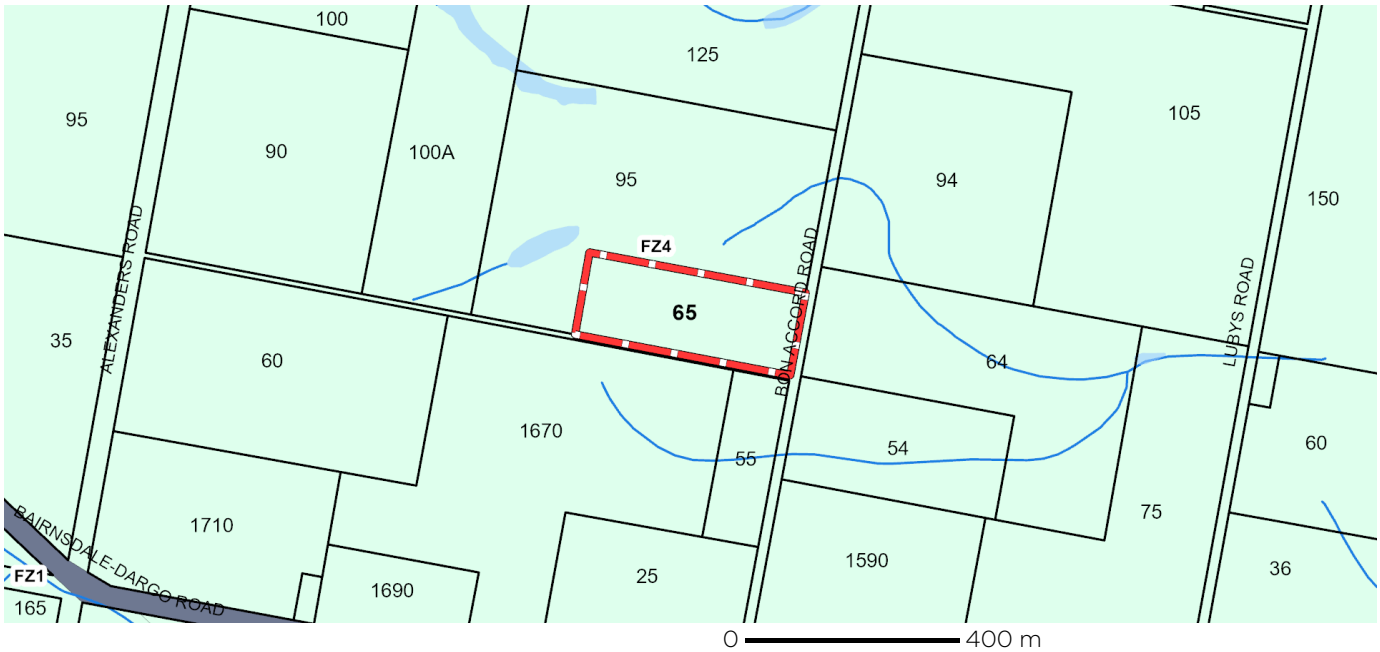
Registered Aboriginal Party:	**Gunaikurnai Land and Waters Aboriginal Corporation**

View location in VicPlan

Planning Zones

FARMING ZONE (FZ)

FARMING ZONE - SCHEDULE 4 (FZ4)

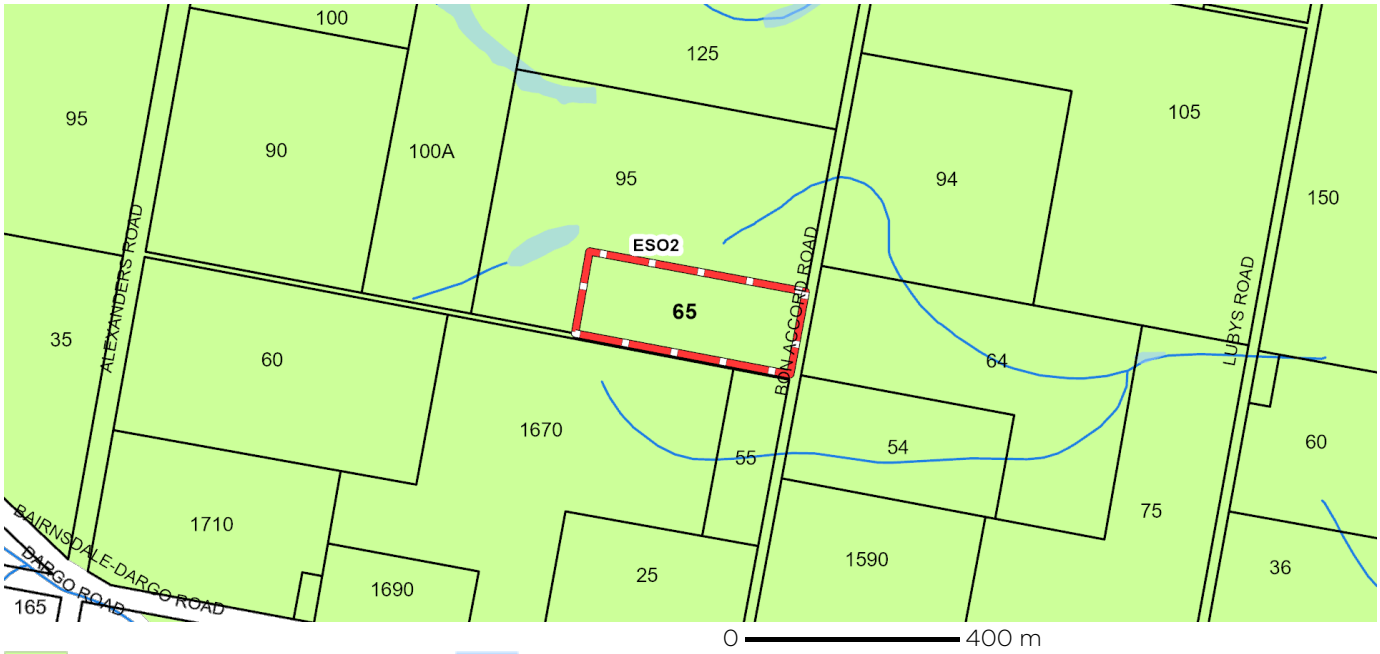


Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

PLANNING PROPERTY REPORT

Planning Overlays

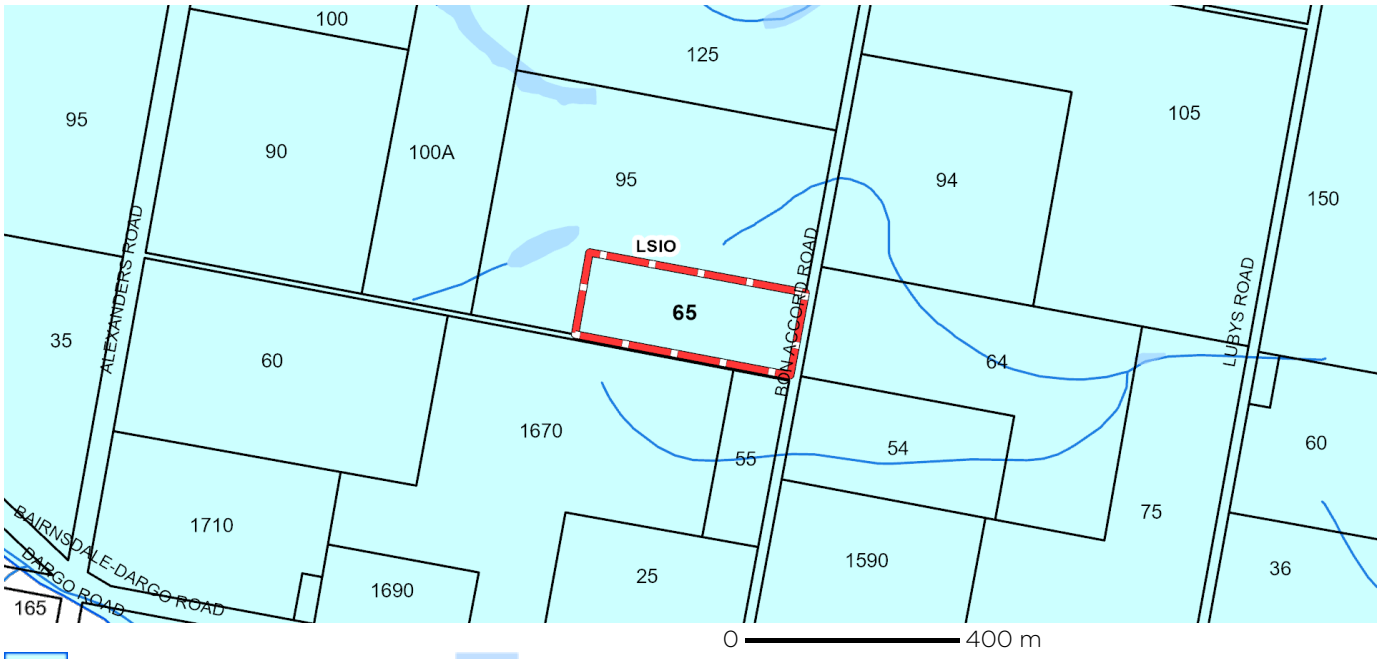
ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)
ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 2 (ESO2)



ESO - Environmental Significance Overlay | Water area | Water course

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

LAND SUBJECT TO INUNDATION OVERLAY (LSIO)
LAND SUBJECT TO INUNDATION OVERLAY SCHEDULE (LSIO)



LSIO - Land Subject to Inundation Overlay | Water area | Water course

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

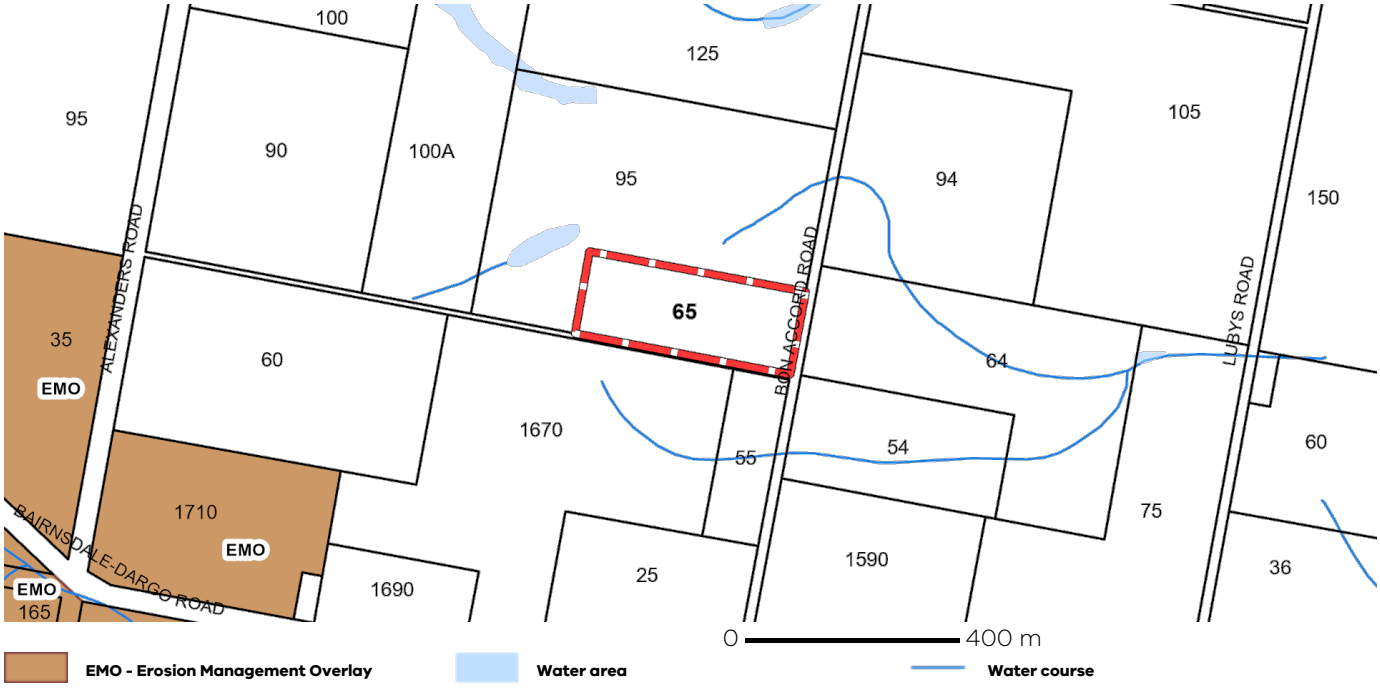
PLANNING PROPERTY REPORT

Planning Overlays

OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

EROSION MANAGEMENT OVERLAY (EMO)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

Further Planning Information

Planning scheme data last updated on 27 April 2023.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.
This report provides information about the zone and overlay provisions that apply to the selected land.
Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting https://www.planning.vic.gov.au

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the ***Planning and Environment Act 1987.***
It does not include information about exhibited planning scheme amendments, or zonings that may abut the land.
To obtain a Planning Certificate go to Titles and Property Certificates at Landata - https://www.landata.vic.gov.au

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit https://mapshare.maps.vic.gov.au/vicplan

For other information about planning in Victoria visit https://www.planning.vic.gov.au

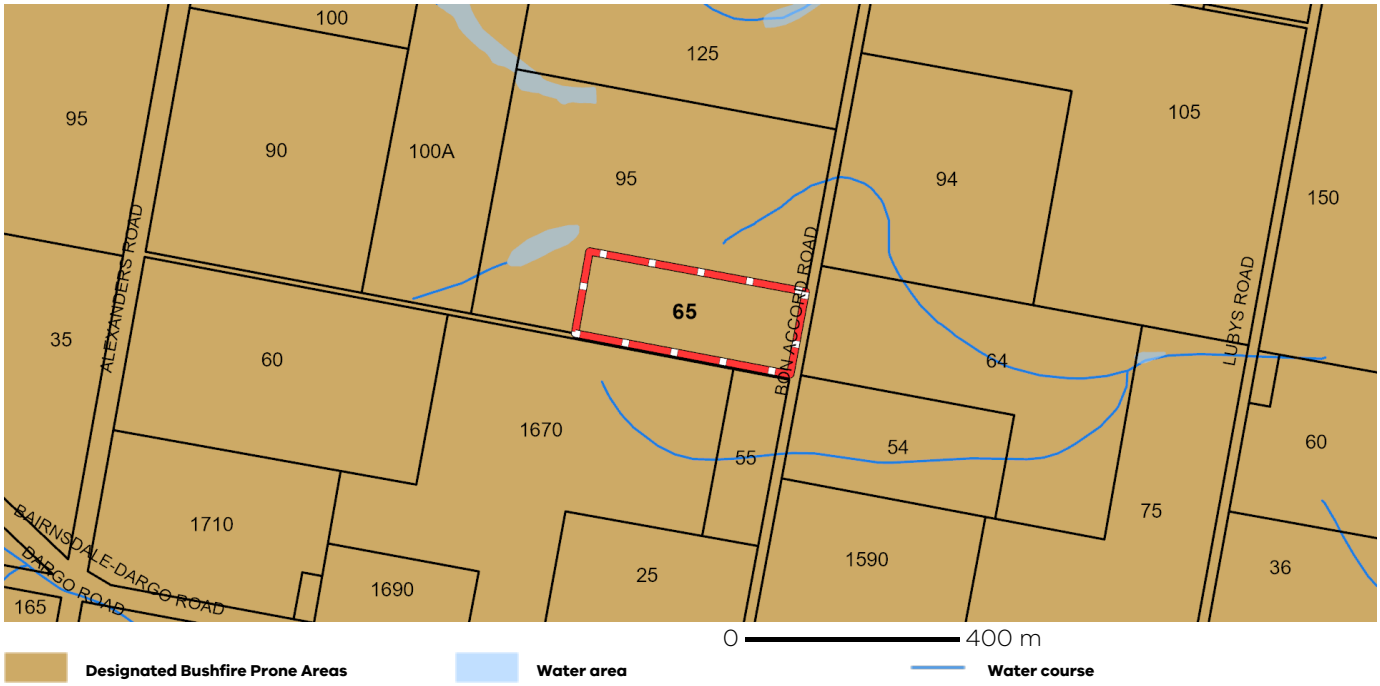
PLANNING PROPERTY REPORT

Designated Bushfire Prone Areas

This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at https://mapshare.vic.gov.au/vicplan/ or at the relevant local council.

Create a BPA definition plan in VicPlan to measure the BPA.

Information for lot owners building in the BPA is available at https://www.planning.vic.gov.au.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website https://www.vba.vic.gov.au. Copies of the Building Act and Building Regulations are available from http://www.legislation.vic.gov.au. For Planning Scheme Provisions in bushfire areas visit https://www.planning.vic.gov.au.

Native Vegetation

Native plants that are indigenous to the region and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see Native Vegetation (Clause 52.17) with local variations in Native Vegetation (Clause 52.17) Schedule

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Information Management system https://nvim.delwp.vic.gov.au/ and Native vegetation (environment.vic.gov.au) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit NatureKit (environment.vic.gov.au)

Site Assessment for Wastewater Disposal
for a new accommodation facility at
65 Bon Accord Road - Walpa

INTRODUCTION

The property owners, being Bonaccord Ingram Pty Ltd wish to refurbish an existing cottage into an on-farm accommodation facility to house seasonal workers for their horticulture operations. Their existing farming zoned (FZ) property is located at No. 65 Bon Accord Road near Walpa. Town Planning approval is required to allow the establishment of an accommodation facility on the allotment. Reticulated Sewerage is not available to the land, so on-site wastewater disposal will be required for the proposed building works.

THE LAND

The subject site is located on the west side of Bon Accord Road about 0.6 km north of the Bairnsdale Dargo Road, and 1.5 km west of the locality of Walpa. The proposed building site is within Lot 1 TP558275, which has a 151 metre long frontage to Bon Accord Road and an area of 6.07 hectares. Bon Accord Road is constructed with a bituminous sealed pavement and formed table drains.

SITE CONDITIONS

The subject lot is cleared open crop land and slopes slightly to the south and west, but contains a slight rise that extends out from the road about mid-way along the frontage. The land is currently being used for horticulture (being vegetable growing), and contains an existing weatherboard cottage together with a small farm storage shed that is set back about 10 metres from the road.

The refurbishment of the existing cottage into a farm worker accommodation facility is proposed. The plans provided indicate that the majority of the existing three bedroom dwelling, other than the front veranda and front wall, will be demolished and replaced with a larger, six bedroom building. An existing vehicular driveway that leads directly to a concrete pad to the north side of the existing cottage will be retained, but a specific area for the parking and/or storage of vehicles has not been shown.

The plans show that the accommodation facility will comprise of six bedrooms (each accommodating two people) at the front half of the building, together with bathrooms, laundry and kitchen/living area across the rear half of the refurbished building.

The building works will be constructed using a concrete slab on ground. It is anticipated that just the demolition works followed by the removal of topsoil will be needed to level the site, which will be slightly elevated compared with the surrounding vegetable plots. An existing underground electricity supply from overhead wires and poles along the east side of the road will most likely be utilised for the refurbished worker accommodation facility.

DRAINAGE

The proposed building site is adequately drained, because of its slightly elevated location, and also due to the underlying loamy soils. A water table was not encountered in any of the bores, which extended to almost 1.5 metres in depth. The average annual rainfall for the site is 650 mm (based on BOM records for Lindenow) with this being generally well distributed throughout the year.

The flooding potential of the site is a consideration, given that the lot is within the floodplain of the Mitchell River. The proponent has consulted the EGCMA, who have offered the following information;-

- The estimated flood level from a 1% AEP flood event is 25.0 metres AHD, while the building site is situated at about 26.1 metres AHD
- The building site and surrounding land immediately to the north is not subject to inundation from a 1% AEP flood event
- less that 50% of the lot under consideration is susceptible to flooding from a 1% AEP flood event

SITE INVESTIGATION

The wastewater disposal from the existing three bedroom cottage appears to comprise of a septic tank followed by subsoil absorption trenches within the slightly elevated part of the site just to the west (rear) of the house. Although this system has most likely effectively disposed of all wastewater from the cottage, it clearly will not be adequate for the wastewater generated from the proposed worker accommodation facility.

The identification and investigation of an area that is suitable for the on-site disposal of domestic wastewater is required. The land immediately to the south and west of the building site is up to 1.0 metres lower in elevation compared with the house site, and are less suitable for wastewater disposal.

A potentially suitable wastewater Land Application Area (LAA) situated to the north has been investigated. The preferred area will be clear of the building siteworks and the existing driveway, and can be readily fenced off to exclude livestock grazing. However, the LAA is likely to encroach onto the existing cultivated and irrigated crop land. The vegetable rows generally extend towards the west within the paddock.

The soil profile at the building site and surrounds have been investigated with regard to its suitability for on-site wastewater disposal. The soils consistently encountered in the general area consist of dark brown loamy topsoil to a depth of about 500 - 600 mm, overlaying brown/tan silty loam for a considerably greater depth. The Bairnsdale Geological Map SJ 55-7 describes the area as Quaternary Holocene age flood plain deposits, comprised of gravel, sand, silt, minor clay. The samples taken confirm this description.

SITE ASSESSMENT

The site and soil parameters have been determined, and the wastewater loading has been estimated in order to assess the range of wastewater disposal options that are available for the site.

Several hand augured boreholes and an excavated test pit have been dug to determine the soil profile, but soil percolation testing was not carried out. The Design Soil Percolation Rate has been estimated, based on a visual assessment of the underlying soils, and reference to Tables 4.2A1 – A4 of AS1547. The very silty/loamy soils encountered have been classified as Soil Category 3 – Loams, moderately well drained and moderately structured, with a K_{sat} (indicative permeability) of 1.5 – 3.0 m/day.

- A Design Loading Rate (DLR) of 15 mm/day has been adopted for subsoil absorption trenches (from Table 4.2A1)
- A Design Irrigation Rate (DIR) of 28 mm/week has been adopted for subsurface irrigation of secondary treated wastewater (from Table 4.2A4)

- There is sufficient depth of sandy loam topsoil and subsoil to allow for the installation of subsoil absorption trenches or a subsurface irrigation layout within the preferred area.

The assessment is based on a design wastewater volume of 150 litres/person/day, in accordance with Table 4.1 - EPA Code 891.4, this being for a household with standard water saving fixtures – reliable water supply. This wastewater loading is also required for hotels, motels and guest houses, as well as for a fully serviced campground. The plans show that the new accommodation facility will contain six bedrooms, while the proponent has advised that the facility will be capable of accommodating a maximum of 12 persons.

A design wastewater flow of 1800 litres/day is appropriate for the proposed accommodation facility and for a maximum of 12 occupants.

Significant environmental features of the site.

Feature	Description
Annual rainfall	700 mm based on Bureau of Meteorology – Mitchell River (Glenaladale) Climate Station (085270)
Annual Pan Evaporation	1350 mm based on Bairnsdale Water Board Climate Station 084100
Exposure	The preferred site is slightly graded to the north west but will have good exposure to the sun and prevailing winds
Landform	Linear planar
Slope	The preferred LAA is graded at less than 1% towards the north.
Fill	All soil profiles at the site were considered natural with no fill. The area has been cleared and extensively cultivated
Rocks	No naturally occurring rock outcrops are present on the site.
Surface Water	There are no defined waterways within the immediate vicinity.
Flood Potential	The building site and immediate surrounds of the site are just clear of the 1 in 100 ARI year flood zone.
Groundwater	No groundwater was found on site within the 1.5 m depth of augured boreholes, ground water is not expected to come within several metres of the soil surface.
Stormwater run-on and upslope seepage	There is minimal risk of stormwater run-on, this being due to the loamy soils and the site topography. Runoff from the adjacent road and driveway is currently redirected to the south by a shallow table drain within the road reserve, and overflow from new rainwater tanks can be directed away from the LAA.
Site drainage & subsurface drainage	The soil permeability has been estimated to be adequate for sub-soil absorption/transpiration trenches, or by subsurface irrigation.
Recommended setback distances	All setback distances recommended by EPA Publication 891.4 Onsite Wastewater Management - Code of Practice has been taken into account and can be complied with, providing that the wastewater layout is carefully planned.

LAND CAPABILITY ASSESSMENT

A Land Capability Assessment has been carried out for the proposed accommodation facility in accordance with Appendix 1 of EPA Publication 746 - Land Capability Assessment for On-site Domestic Wastewater Management, and the results are summarised below.

Land Features	Land Capability Class Rating	Comments
Site drainage/runoff	2 (good)	The LAA is gently graded and well drained, and not adversely affected by runoff from higher land
Flood/inundation potential	2 (good)	The site is not subject to inundation
Slope (%)	1 (very good)	Land slopes are slightly graded
Landslip	1 (very good)	No landslip present
Seasonal Water Table	1 (very good)	Perched water table not present, and not likely
Rainfall (mm/year)	3 (fair)	Approximately 700 mm/year Not critical for sub-surface irrigation, and accounted for in the Water Budget calculations
Pan Evaporation (mm/year)	3 (fair)	Not critical for sub-surface irrigation; accounted for in the Water Budget calculations
Soil Profile Characteristics	**Land Capability Class Rating**	**Comments**
Soil structure	2 (good)	Moderately structured loams, containing some vegetative matter; suitable for sub-surface irrigation.
Soil profile depth	2 (good)	Loams of sufficient depth will allow for the installation of trenches or sub-surface irrigation pipes
Sodicity; Shrinkage; Emerson Test (dispersion)		Not applicable for loams and sands
Percolation (mm/hour)	2 (good)	120 mm/hour (estimated) soil percolation rate 1.5 m/day (estimated) soil permeability
Stoniness (%)	1 (very good)	No stones or rocks encountered
Salinity	2 (good)	EC1:5 (measured) – 60 µS/cm ECe – <80 mS/m (non-saline) No visual signs of salinity

The issue of climate (rainfall & evaporation) has ranked in the 3 (fair) category, in accordance with the LCA assessment matrix, and requires further consideration as shown below.

Climatic Factors (refer AS 1547 - Table 4.2 B1)

- Rainfall is generally well-distributed throughout the year
- The wastewater disposal site faces the north west and will not be shaded by the building works, and is exposed to prevailing winds.

WASTEWATER DISPOSAL OPTIONS

Two wastewater disposal options have been considered for the subject property, as follows:-

Conventional subsoil absorption trenches

Using conventionally constructed subsoil absorption trenches together with two standard septic tanks has been considered, since there (theoretically) is sufficient area available within the farm paddock to install the required 180 lineal metres of 700 mm wide subsoil absorption trench. The water balance that has been carried out to shows that a minimum Land Application Area (LAA) of 660 m^2 is required, while the area occupied by the trenches will be about 700 m^2, based on a 3.0 metre trench spacing and 30 metre long trenches.

The wastewater trench layout will be problematic, since there is minimal land slope available, and the absorption trenches will need to cross the existing irrigation pipes and will not be aligned with the orientation of the crop rows. Further, a substantial setback of at least 30 metres is recommended between the outer edge of the wastewater trench layout and the nearest rows of vegetable crop.

Secondary treatment

Installing a secondary wastewater treatment system together with subsurface irrigation of treated wastewater has also been considered, because the required 660 m^2 of irrigation area can be neatly fitted in at the north side with minimal encroachment into the crop land. The area at the rear of the building site is available for the installation of an AWTS plant, providing that this area is fenced to exclude vehicular traffic.

Options Assessment

There are advantages with using a septic tank and installing wastewater absorption trenches, these being simplicity and reliability as well as lower installation cost and lesser maintenance requirements. Subsoil absorption/transpiration trenches are usually relatively easy to install and maintain, but in this instance, their layout (and buffer area) will occupy a relatively large area of the highly productive crop land that surrounds the building site.

The installation of a secondary wastewater treatment system (AWTS) is considered to be the most suitable for the site, although it will have a higher installation cost and ongoing operating costs. But, this system can be installed with minimal impact to the cropping land.

RECOMMENDATIONS

Site analysis and the Land Capability Assessment have indicated that the site is suitable for disposal of domestic wastewater using a self contained AWTS together with sub-surface irrigation of secondary treated wastewater

- Install an EPA accredited AWTS that has a capacity of at least 1800 litres of wastewater per day
- Install a subsurface irrigation layout of minimum area of 660 m^2

Some site specific preparation works will need to be carried out to enable the irrigation layout to be installed at the preferred location, as follows:-

- shorten the length of the adjacent vegetable rows
- adjust the sprinkler watering system to ensure that the wastewater area is unaffected by irrigation water
- allow sufficient width to install a new track at the headland of the vegetable rows
- place loamy topsoil (imported, or from the shortened vegetable rows) to level the wastewater field, then provide nominal slope to the north west to improve surface drainage
- cultivate heavily compacted parts of the wastewater field prior to installing the subsurface irrigation layout

CONSTRUCTION DETAILS

The layout and levels of the wastewater plumbing pipes, the aerated wastewater treatment plant (AWTS), and sub-surface irrigation pipes should be planned by the plumber prior to the commencement of any building site works.

The aerated wastewater treatment plant (AWTS) must be installed and maintained in accordance with the EPA Code of Practice-Small Wastewater Treatment Plants 1997 and manufactured in accordance with the Australian Standard AS 1546.3:2001 - Onsite Domestic Wastewater Treatment Units (AWTS). The plant must have a minimum capacity of 1800 litres/day for the new worker accommodation facility.

The installation of the irrigation system must be carried out in accordance with a system design to be prepared by the manufacturer and in accordance with EPA Guidelines for Wastewater Irrigation. The establishment of a dedicated area for the irrigation of treated wastewater is required. The proponent may vary the location of the Land Application Area, given that a consistent soil profile exists across the available area.

The wastewater field should be suitably marked or fenced off to ensure that it is not driven over by vehicles or used for the storage of materials or equipment. Stormwater flows from the proposed building must be discharged at a point well clear of the treated wastewater disposal site (preferably to the south west) and runoff from driveways and paths must be directed away from the subsurface irrigation site.

Topsoil and fill material excavated from the site works must not be disposed of by spreading over the wastewater irrigation field.

The Land Application Area must not be grazed by livestock. The installation of fencing is recommended, with a minimum setback of 5 metres from the perimeter of the irrigation field.

MANAGEMENT PROGRAM

Most of the relevant site constraints indicate that on-site wastewater disposal of secondary treater wastewater from an accredited AWTS will generally be suitable, subject to controls. Accordingly the Wastewater Management Program requires careful planning, adherence to specifications and adequate supervision.

The relevant Standard Performance measures are as follows: -

- System design shall be in accordance with EPA Publication 891.4 – On-Site Wastewater Management
- The location of the required AWTS plant must be carefully planned following the setting out for the new accommodation facility
- Setback distances to be as specified in EPA Publication 891.4 - Table 4.2
- Dispose of stormwater from buildings, paving, driveways and impervious surfaces well away from the wastewater irrigation field.
- Carry out thorough topsoiling and revegetation of disturbed soils
- Retain exposure to wind and sun

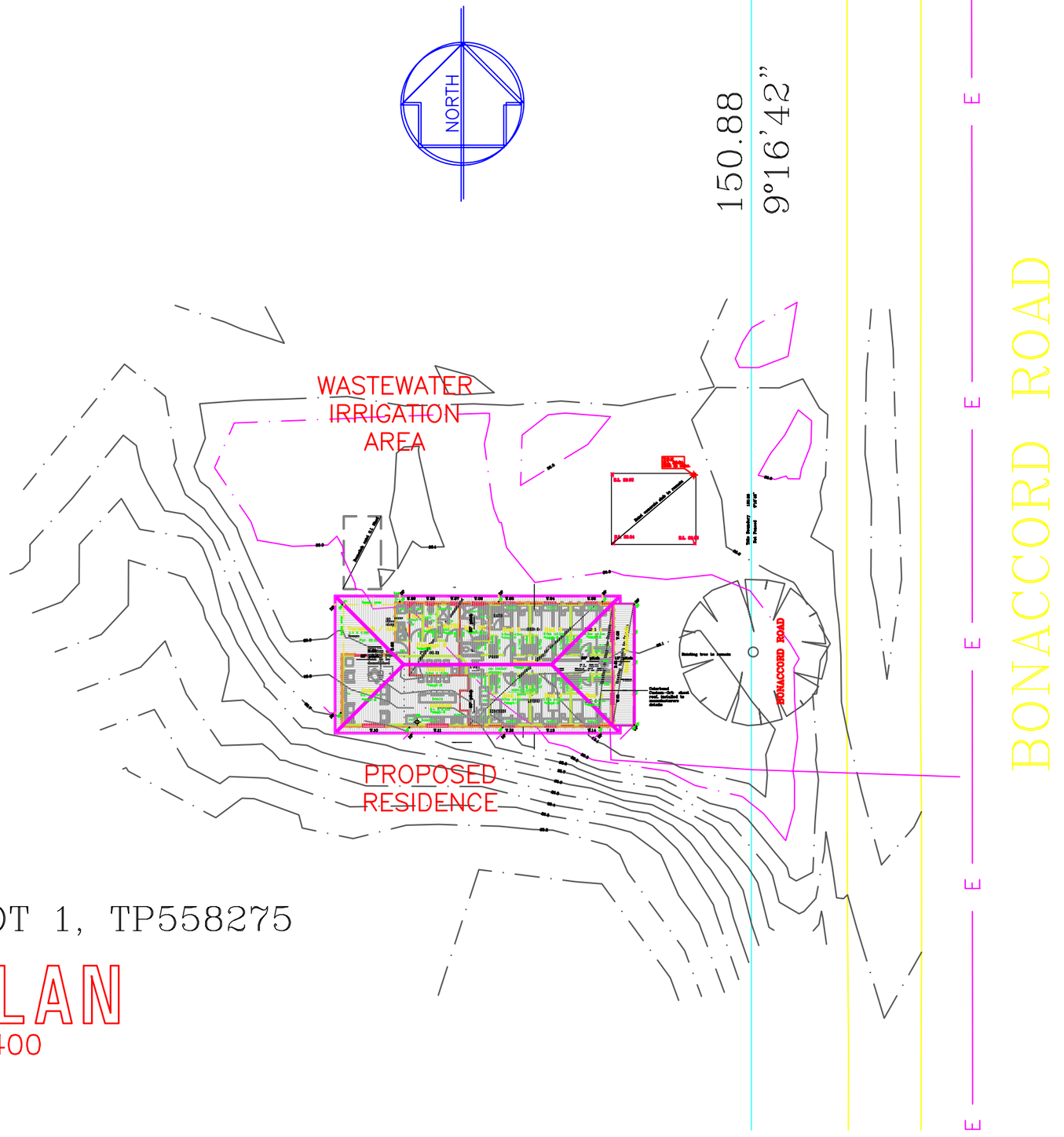
REFERENCES

Australian Standard AS 1547 - On-Site Domestic Wastewater Management
EPA Publication 891.4 – Code of Practice – Onsite Wastewater Management, 2017
EPA Certificate of Approval CA 1.1/03 (septic tanks)
Sydney Catchment Authority - Designing and Installing On-Site Wastewater Systems

ON SITE WASTEWATER DISPOSAL SYSTEM

WATER BUDGET - 65 Bon Accord Road, Walpa

Design Wastewater Flow	Q	1800	litres/day												
Design DIR	DIR	28	mm/week	DIR = Design Irrigation Rate			Table 4.2A4								
Daily DIR	P	4.0	mm/day				(underlying silts - imperfectly drained)								
Land Application Area	A	660	m^2												
Crop Coefficient	C	0.7		mostly grass											
Retained Rainfall	Rf	0.9		loamy topsoil, undulating											
Rainfall Data			mm/month	Mitchell River		(site 085270 Mitchell River at Glenaladale)									
Evaporation Data			mm/day	Bairnsdale		(site 84100 Bairnsdale Waterboard)									
Parameter	Symbol	Formula	Units	January	February	March	April	May	June	July	August	September	October	November	December	**YEAR**
Days in Month	D		days	31	28	31	30	31	30	31	31	30	31	30	31	365
Rainfall	R		mm/month	53.2	54.0	54.9	66.5	35.7	63.6	46.0	43.8	48.4	63.8	85.2	66.6	**699.4**
Evaporation	E_d		mm/day	6.4	5.8	4.4	2.9	1.7	1.4	1.5	2.1	3.1	4.0	5.1	6.0	
Evaporation	E		mm/month	198	162	136	87	53	42	47	65	93	124	153	186	**1346.5**
Crop Coefficient	C			0.7	0.7	0.7	0.6	0.5	0.45	0.4	0.45	0.55	0.65	0.7	0.7	
grass		100%		0.7	0.7	0.7	0.6	0.5	0.45	0.4	0.45	0.55	0.65	0.7	0.7	
trees and shrubs		0%		0.8	0.8	0.8	0.8	0.8	0.8	0.8	0.8	0.8	0.8	0.8	0.8	
OUTPUTS																
Evaporation/Transpiration	ET	E*C	mm/month	139	114	95	52	26	19	19	29	51	81	107	130	**862**
Percolation	B	P*D	mm/month	124	112	124	120	124	120	124	124	120	124	120	124	**1460**
Total Outputs	T_o	ET + B	mm/month	263	226	219	172	150	139	143	153	171	205	227	254	**2322**
INTPUTS																
Retained Rainfall	Rr	R*Rf	mm/month	48	49	49	60	32	57	41	39	44	57	77	60	**614**
Wastewater Application	W	Q*D/A	mm/month	85	76	85	82	85	82	85	85	82	85	82	85	**995**
Total Inputs	T_i	Rr + W	mm/month	132	125	134	142	117	139	126	124	125	142	158	144	**1609**
WASTEWATER STORAGE																
Carryover				0	0	0	0	0	0	0	0	0	0	0	0	
Storage for month	S	T_i - T_o	mm/month	-130	-101	-86	-31	-34	0	-17	-29	-46	-63	-69	-110	-713
Cumulative Storage	M		mm	0	0	0	0	0	0	0	0	0	0	0	0	
Maximum Storage	N		mm	0												
Total Storage Volume		N*A	litres	104												
Area required for no storage		Q*D/(To-Rr)	m^2	260	285	328	481	472	661	551	490	423	379	359	287	



LOT 1, TP558275

SITE PLAN

SCALE 1:400

PROPERTY BOUNDARIES ARE APPROXIMATE ONLY. FOR EXACT LOCATION CONSULT A LICENSED SURVEYOR FOR A RE-ESTABLISHMENT SURVEY

STREETER
Civil Engineering
Services Pty Ltd

OFFICE LOCATION
81-101 BROOKS ROAD
BRUTHEN

P.O.BOX 126
BRUTHEN VIC 3885

PHONE (03) 5157 5362
MOBILE 0409 575362

DESIGNED	N STREETER
DRAWN	N STREETER
CHECKED	N STREETER
APPROVED	
DESIGN FILENAME	CIVILCAD V5.7 236850
PLOT FILENAME	AUTOCAD 2000 236850.dwg
PROJECT	SITE INVESTIGATION NO. 65 BON ACCORD ROAD – WALPA
CLIENT	BON ACCORD INGRAM PTY LTD
DRAWING SCALES	1:400
DATE	APRIL 2023
REVISION	C
DRAWING NO.	236850

STREETER CIVIL ENGINEERING SERVICES Pty. Ltd.
Consulting Civil Engineer (A.C.N. 072 946 760)
81 – 101 Brooks Road Bruthen
email: streetercivil@bigpond.com
P O Box 126 Bruthen VIC 3885
Tel: 5157 5362

SITE CLASSIFICATION REPORT – NEW ACCOMMODATION FACILITY
NO. 65 BON ACCORD ROAD, WALPA
JOB NUMBER- 236850 DATE: 11 APRIL 2023

GENERAL
This Soil Investigation consists of the drilling of 2 boreholes on the proposed site area using a hand auger. Disturbed soil samples collected have been subjected to visual examination and classification. The Borelogs, showing soil profiles are recorded on page SR2 as attached and forming part of this report. Bore locations are shown on site plan page SR3.

SITE DESCRIPTION
The property owners, being Bonaccord Ingram Pty Ltd wish to refurbish an existing cottage into an on-farm accommodation facility to house seasonal workers for their horticulture operations. Their existing farming zoned (FZ) property is located at No. 65 Bon Accord Road near Walpa.

The subject site is located on the west side of Bon Accord Road about 0.6 km north of the Bairnsdale Dargo Road, and 1.5 km west of the locality of Walpa. The proposed building site is within Lot 1 TP558275, which has a 151 metre long frontage to Bon Accord Road and an area of 6.07 hectares. Bon Accord Road is constructed with a bituminous sealed pavement and formed table drains.

The subject lot is cleared open crop land and slopes slightly to the south and west, but contains a small rise that extends out from the road about mid-way along the frontage. The land is currently being used for horticulture (being vegetable growing), and contains an existing weatherboard cottage together with a small farm storage shed that is set back about 10 metres from the road.

The refurbishment of the existing cottage into a farm worker accommodation facility is proposed. The plans provided indicate that the majority of the existing three bedroom dwelling, other than the front veranda and front wall, will be demolished and replaced with a larger, six bedroom residence. An existing vehicular driveway that leads directly to a concrete pad to the north side of the existing cottage will be retained, but a specific area for the parking and/or storage of vehicles has not been shown.

The plans show that the accommodation facility will comprise of six bedrooms (each accommodating two people) at the front half of the building, together with bathrooms, laundry and kitchen/living area across the rear half of the refurbished building. The building works will be constructed using a concrete slab on ground. It is anticipated that just the demolition works followed by the removal of topsoil will be needed to level the site, which will be slightly elevated compared with the surrounding vegetable plots. An existing underground electricity supply from overhead wires and poles along the east side of the road will most likely be utilised for the refurbished worker accommodation facility.

The soil profile at the building site and surrounds have been investigated. The soils consistently encountered in the general area consist of dark brown loamy topsoil to a depth of about 500 - 600 mm, overlaying brown/tan silty loam for a considerably greater depth.

DRAINAGE
The proposed building site is adequately drained, because of its slightly elevated location, and also due to the underlying loamy soils. A water table was not encountered in any of the bores, which extended to almost 1.5 metres in depth. The average annual rainfall for the site is 690 mm (based on BOM records for Glenaladale) with this being generally well distributed throughout the year.

The flooding potential of the site is a consideration, given that the lot is within the floodplain of the Mitchell River. The proponent has consulted the EGCMA, who have offered the following information;-

- The estimated flood level from a 1% AEP flood event is 25.0 metres AHD, while the building site is situated at about 26.1 metres AHD
- The building site and surrounding land immediately to the north is not subject to inundation from a 1% AEP flood event
- less than 50% of the lot under consideration is susceptible to flooding from a 1% AEP flood event

GEOLOGY
The Bairnsdale Geological Map SJ 55-7 describes the area as Quaternary Holocene age flood plain deposits, comprised of gravel, sand, silt, minor clay. The samples taken confirm this description.

SITE CLASSIFICATION
Samples from bores show that the classification of the site to be **MODERATELY REACTIVE (M)** in accordance with AS 2870.1 -2011 **"RESIDENTIAL SLABS AND FOOTINGS".**
NOTE: These classifications are based on limited bores and should conditions vary after site excavation then the classification should be reassessed.

RECOMMENDATIONS **MODERATELY REACTIVE (M) SITES**
It is recommended that basic footing details be in accordance with Section 3 of AS 2870.1 -2011 for soil Class M and that pad footings and concrete stumps be in accordance with AS 1684 – Residential Timber Framing Construction Manuals.

These classifications are based on limited bores and should conditions vary after site excavation then the classification should be reassessed. Disturbed areas resulting from the demolition and site clean-up works must be neatly excavated and backfilled with site sourced or imported fill material, and mechanically compacted to achieve a compaction ratio of 95% relative dry density.

Generally, it is recommended that all trees growing within a distance of 1.5 times their mature height of the building works should be removed. It is unlikely that the existing mature tree at the front of the building site will be removed, since the front of the existing cottage will be retained. The foundations for the new building works will need to be designed, including measures to mitigate the risks resulting from seasonal changes in soil moisture due to this tree.

FOUNDING DEPTHS FOR FOOTINGS

STRIP FOOTINGS	600 mm
EDGE BEAMS	200 mm
PADS	600 mm

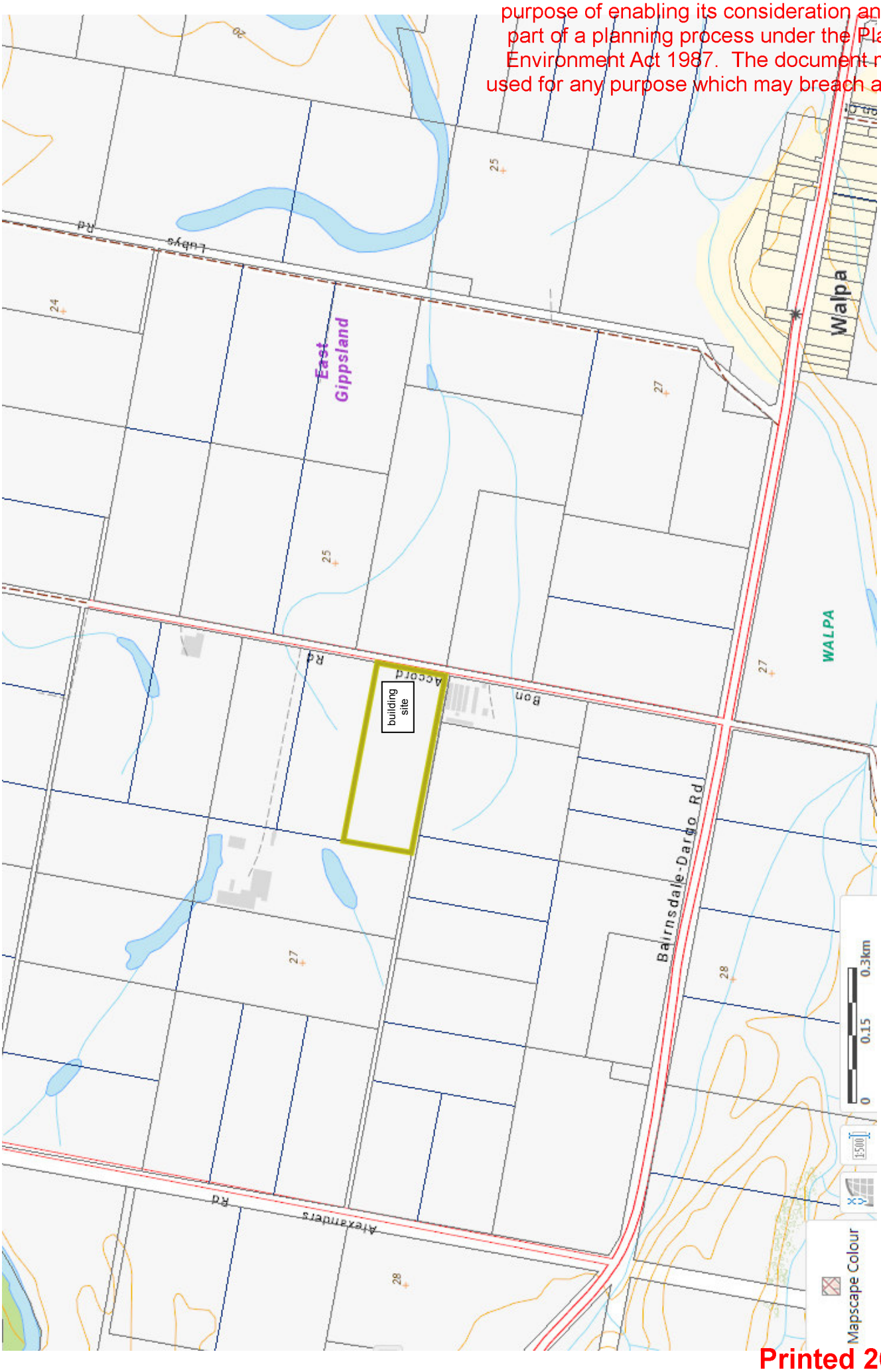
BEARING CAPACITIES
The allowable bearing capacity of the underlying soils will vary, depending on the footing type, location, and founding depth. Generally the underlying clays will have a minimum Bearing Capacity of 100 kPa at 600 mm and 250 kPa. at 1200 mm depth below the natural surface.

STREETER CIVIL ENGINEERING SERVICES Pty Ltd
Consulting Civil Engineer
(A.C.N. 072 946 760)
81-101 Brooks Road Bruthen Victoria. 3885 Correspondence : P.O.Box 126, Bruthen Vic 3885
email: streetercivil@bigpond.com Tel : (03) 5157 5362

Client:	Bonaccord Ingram	**Job No:**	236580
Job:	accommodation facility	**Date:**	11-Apr-23
65 Bon Accord Road		**Design:**	Neil Streeter
Walpa		**Checked:**	Neil Streeter

LOG OF HAND AUGER BORES

BORE No.	DEPTH	DESCRIPTION	REMARKS
S1, S2	0	dark brown loam topsoil; damp	natural soil profile at the building site
	200	brown loam, becoming lighter in colour with depth; loose and becoming firm; damp	
	500	dark brown silt; damp; firm and becoming dense with depth	
	1400	end of bore	
S3, S4	0	dark brown loam topsoil; damp	at the edge of the crop land to the north
	300	dark brown loam, firm; damp	
	600	light brown silt; dry; firm and becoming dense with depth	
	1200	end of bore	



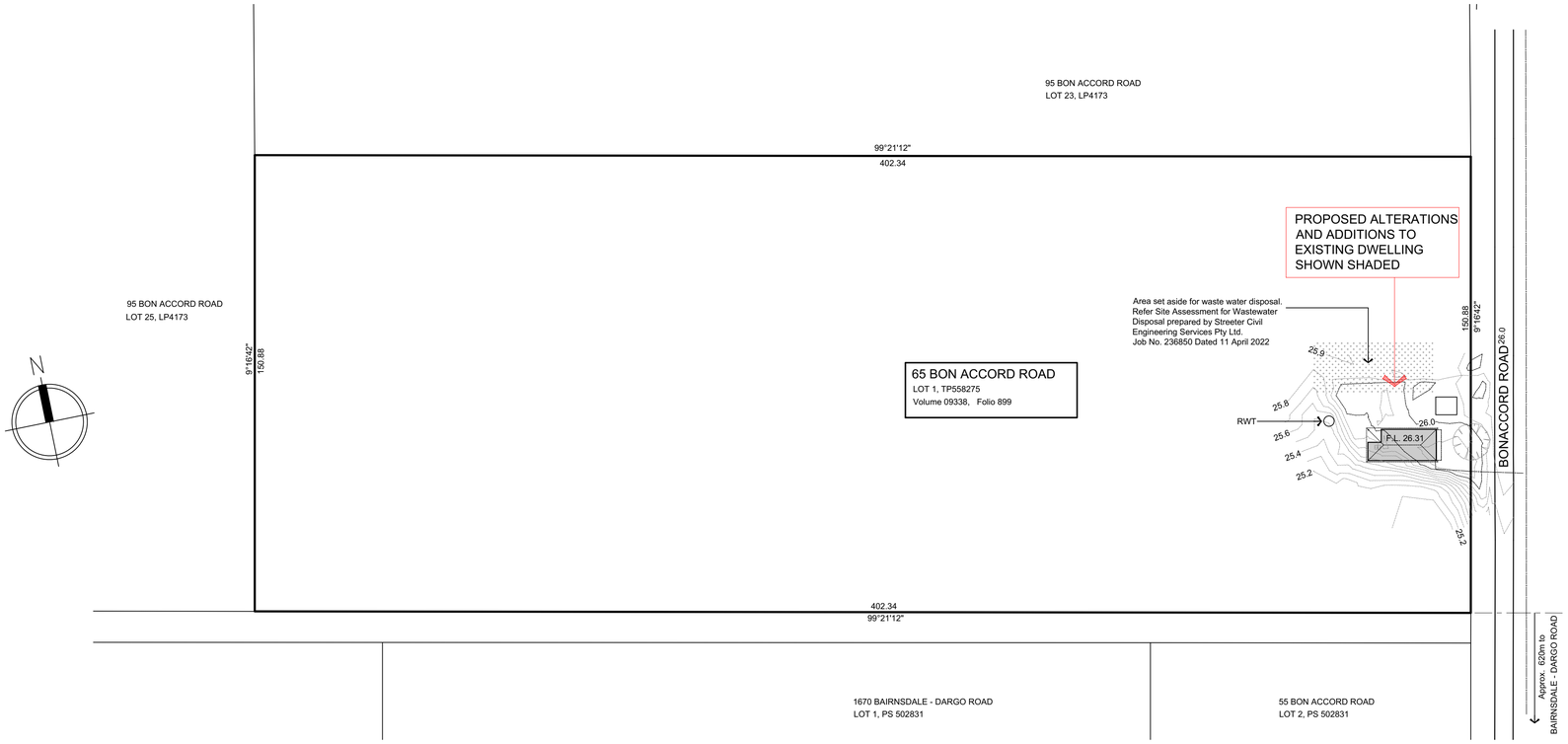
LOCALITY PLAN

STREETER CIVIL ENGINEERING SERVICES Pty. Ltd.-
Consulting Civil Engineer
(A.C.N. 072 946 760)
81 – 101 Brooks Road Bruthen P O Box 126 Bruthen VIC 3885
E-mail: streetercivil@bigpond.com Tel. 5157 5362

Important Notes

1. The previous conclusions are based on limited bores and should conditions on site vary from the bore descriptions variation in footing sizes and depths may be necessary. It is recommended any variations be reported to the engineer.
2. Clays expand and contract because of moisture changes and even relatively stable clays will move appreciably if subject to extreme moisture conditions on the site. The builder is to make the owner aware of the following:
    - Leaking plumbing or blocked drains should be repaired promptly. Garden watering, especially by sprinklers should be controlled to avoid saturation of foundations. Proper garden maintenance should produce year round uniform moisture conditions.
    - Trees and shrubs can cause substantial drying of the soil and associated shrinkage of the clay. This effect is most likely to result in damage when added to the drying from a drought or long dry spell. This problem can be avoided by plating trees at substantial distances from the house. For complete protection against damage, trees should be avoided on reactive clay sites.
3. Some minor cracking, whilst undesirable, will occur in a significant proportion of houses on reactive clays. It is impossible to design a footing system that will completely protect a house under all circumstances.
4. Various construction and architectural details can be adopted to reduce the effect of movement.
    - articulation of brickwork
    - Flexible plumbing connection
    - Surface drainage of allotments to avoid water ponding against or near footings.
    - Subsoil drainage (refer to site plan page SR-3 and specification sheet page SR-1)
5. Any excavations required parallel to the footings should be kept at a suitable distance from the footings to prevent undermining. Service trenches should be filled with natural site clay in order to prevent rapid movement of soil moisture into the backfill.
6. All foundations and site works should be inspected by a competent person to ensure that subsurface conditions and site preparation procedures are in accordance with those outlined in the report. If any doubt exists then this office should be contacted immediately for further advice. We take no responsibility for any consequences arising from footing excavations either shallower or deepened beyond our recommended founding depths without our prior approval.
7. The use of standard footings as presented in AS2870-2011 is only applicable to building works with a loading and a construction style similar that of a residential dwelling as described in section 3.1 of AS2870-2011.

PROPOSED WORKERS ACCOMODATION - ALTERATIONS & ADDITIONS TO EXISTING BUILDING
65 BON ACCORD ROAD, WALPA, VIC. 3875



SITE PLAN

SCALE 1:1000

GENERAL NOTES:-

0. Site Information

0.1 Land Description, Lot 1, TP558275, Volume 09338,Folio 899

0.2 Region: A
Terrain Category: 2
Shielding Classification: No Shielding
Topographic Classification: T1
Wind Classification: N3

0.3 Soil Classification: 'M'
Refer Engineers Soil Report prepared by: Streeter Civil Engineering Services Pty Ltd. Job No. 236850 Dated 11/04/2023

1. General

1.1 Written dimensions take precedence over scale, all dimensions are in millimetres U.N.O.

1.2 Materials and work practices shall comply with but not limited to Building Regulations 2018, National Construction Codes Series 2019 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.

1.2.2 Unless otherwise specified, the term BCA shall refer to National Construction Codes Series 2019 Building Code of Australia Vol. 2.

1.3 These plans shall be read in conjunction with any relevant structural and/or civil engineering computations and drawings related to this project.

1.4 The builder shall take all steps necessary to ensure the stability of new and existing structures during all works.

1.5 The builder & subcontractors to verify all levels, dimensions, setbacks and specifications and all other relevant documentation prior to commencement of works. Report all discrepancies to this office for clarification.

1.6 All previously issued drawings marked preliminary shall now be considered void

1.7 Exact set out of residence to be determined on site and shall be verified by Owner, Builder and Building surveyor

2. Footings

2.1 Soil classification to AS 2870. Refer Engineers Soil Report.

2.2 Concrete to be N20 grade unless noted otherwise.

2.3 Dimensions and Reinforcements shown are minimum requirements of AS2870.1.

2.4 The owners attention is drawn to Appendix A of AS2870.1. "Performance Requirements and Foundation Maintenance".

2.5 Footings not to encroach title boundaries and easement lines.

3. Termite Treatment

3.1 Where required termite treatment to comply with BCA Part 3.1.3. and in accordance with A.S.1694 or A.S.3360

4. Drainage

4.1 Stormwater, spoon and sub-soil drains shall be taken to legal point of discharge.

4.2 Sewer or septic system shall be in accordance with the relevant authority requirements.

4.3 The Builder and Subcontractors shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and / or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system

4.4 The Builder to provide sub soil drainage ie.100mm socked agi drain at the base (up-slope) of all retaining walls and at the base of footings where there is a possibility of water to enter under building or slab. Agi drains to be connected to legal point of discharge.

5. Brickwork

5.1 Provide wall ties to brickwork at maximum 600mm crs. in each direction and within 300mm of articulation joints.

5.2 Spacing of wall ties to top and sides of openings to be halved.

5.3 In areas less than 1km from sea or in heavy industrial areas wall ties shall be either:- Galvanised sheet steel min. Z 600 or
Galvanised wire min. 470g/m2, or
Grade 316 stainless steel, or
Engineered polymer ties.

5.4 Provide cavity flashing and weep holes in accordance with BCA Vol. 2, Part 3.3.4 and AS4773

6. Timber

6.1 Provide sub-floor ventilation to timber floors to achieve 6000sq.mm/metre run of perimeter wall in accordance with BCA Vol. 2, Part 3.4.1 table 3.4.1.1.

6.2 Provide minimum clearance from underside of bearer to finished ground level of 400mm

6.3 Design wind classification: Refer Structural Engineers drawings

6.4 All timber sizes, wall and roof framing, fixing and bracing shall be in accordance with AS 1684.1 - AS 1684.4 2010 Residential timber-framed construction manuals parts 1-4 and TPC Timber Framing Span Tables 2010.

7. Wet Areas

7.1 All wet areas to comply with BCA Vol 2 Part 3.8 and AS 3740. Wall finishes shall be impervious to height of 1800mm above floor level to shower enclosures and 150mm above baths, basins, sinks and troughs if within 75mm of the wall.

8. Building Fabric

8.1 Minimum R value of element as per BCA Vol 2 Vic Table 2 :
Floors R1.0
External walls R2.5
Roof or ceiling R4.0

8.2 Any Sarking must have a flammability index of not more than 5.

8.3 All sarking and sisalation to be approved vapour permeable in accordance with AS/NZ 4200.1

9. Doors, Windows & Glazing

9.1 All glass and glazing to conform with BCA Vol 2 part 3.6. and AS1288

9.2 Window sizes and type are nominal and may vary according to selected manufacturer. Site measure prior to fabrication.

9.3 Provide safety glass to shower screens & windows over baths in accordance with A.S.1288

9.4 All doors, windows, gaps & cracks to be sealed

9.5 All external doors to be weather stripped

9.6 All external doors and windows to be installed to manufacturers specification and flashed all round.

9.6 Refer to Energy Raters thermal assessment and BAL Assessment for further information and special glazing requirements.

10. Smoke Detectors

10.1 Smoke detectors to be installed as per BCA Vol 2 Part 3.7.2 and to comply with AS3786, hard wired to electric mains with battery back-up.

11. Copyright

11.1 © Copyright- These drawings are not to be reproduced in part or whole without express permission from Sands Building Design Pty Ltd.

12. Driveways and Excavations

12.1 New driveways and crossovers to be in accordance with local requirements and owner/builder shall obtain relevant permits prior to commencement of work.

12.2 Any excavations, extent and position of any fill or stockpiling to verified on site with Owner/Builder

13. Stairs, Steps & Balustrades

13.1 Stairs and steps maximum riser(R) 190mm, minimum riser(R) 115mm, maximum going(G) 355mm, minimum going (G) 240mm, slope relationship (2R+G), minimum head room above nosing of stair 2000mm, Maximum 125mm vert. gap between treads on stringer stairs.

13.2 Handrail to minimum 865mm above nosing of stairs and 1050mm above balconies and landings with maximum 125mm between rails or balustrades (except wire balustrades refer 13.3). Provide balustrades where balconies or landings exceeds 1000m above adjacent finished surface level.

13.3 Wire balustrade construction to comply with BCA. 2019 Volume 2 Part 3.9.2.3 for Class 1 and 10 buildings and BCA. Volume 1 Part D2.16 for other Classes of buildings

14. Stormwater

14.1 Exact number of downpipes to be determined on site by Builder, Plumber and Owner

14.2 Builder to ensure that a downpipe is located within 1200mm of an internal roof valley or provide slotted spouting or gutters (overflow)

14.3 Stormwater line to be laid to a minimum grade of 1:100 and connected to the legal point of discharge. Provide inspection openings @ 9000mm C/C and at each change of direction.
The cover to underground stormwater drains shall not be less than:
100mm under soil
50mm under paved or concrete areas
100mm under unreinforced concrete or paved driveways
75mm under reinforced concrete driveways

15. Rescode

15.1 Building and siting to comply with current Rescode, designer to be notified if any discrepancies are found by surveyor/builder/owner prior to construction or any site works

16. Energy Efficiency

16.1 Unless permitted otherwise all designs shall be constructed in accordance with the approved plans as provided and stamped by the accredited energy rater without alteration

16.2 If a rainwater tank is installed to comply with energy rating requirements, the rainwater tank must have a minimum capacity of 2,000 litres, have a catchment area from a roof of at least 50sq.m and be connected to all sanitary flushing systems within a building.

16.3 If a solar water heater is installed to comply with energy rating requirements, the solar water heater must achieve an energy performance of 60% solar gain. Refer SEAV website for a list of solar water heaters which comply.

CLASS 1b BUILDING
(Boarding House, Guest, Hostel or the like.)
In accordance with 2019 BCA Vol. 2. Part A6.1

- 300 Sq.m max. floor area.
- No more than 12 persons accommodated.

FLOOD PROTECTION NOTE:
THE NOMINAL FLOOD PROTECTION LEVEL (NFPL) FOR THIS SITE IS 26.60 AHD (TO BE CONFIRMED). ALL CONSTRUCTION MATERIALS BELOW NFPL TO BE FLOOD RESISTANT MATERIALS.
ALL ELECTRICAL FITTINGS, CHEMICALS AND HIGH HAZARDOUS GOODS TO BE LOCATED ABOVE THE NFPL.

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Zero Damage - Zero Harm

WARNING
BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL EXISTING UNDER GROUND SERVICES.

PLANNING
NOT FOR CONSTRUCTION

DRAWING INDEX

DESCRIPTION	DRG. No.	Rev.
SITE PLAN & NOTES	A1	
FLOOR & ROOF PLANS	A2	
ELEVATIONS	A3	

SITING NOTE:
BUILDING LOCATION IS APPROXIMATE ONLY, OWNER/BUILDER/SURVEYOR TO CONFIRM EXACT LOCATION ON SITE PRIOR TO CONSTRUCTION

BOUNDARY NOTE:
TITLE BOUNDARIES ARE APPROXIMATE ONLY, FOR EXACT LOCATION & BEARINGS REFER

LEVELS NOTE:
LEVELS ARE TO AHD
PREPARED BY FREEMAN LAND SURVEYING
REF. NO. 22398 02 Rev A DATED 05/01/2023

TIMBER FRAMING NOTE
ALL TIMBER FRAMING, BRACING AND HOLD-DOWN DETAILS SHALL COMPLY WITH AS 1684 2010 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION MANUALS. GENERALLY COMMON TIMBER STUDS SHALL BE 90x35 MGP10 & 290x45 MGP10 NEXT TO OPENINGS UNLESS NOTED OTHERWISE.

AREA ANALYSIS

EXISTING BUILDING AREA	126.50 Sq.m
AREA TO BE DEMOLISHED	107.35 Sq.m
ADDITIONS AREA	86.10 Sq.m
TOTAL FLOOR AREA	215.75 Sq.m
VERANDAH & ALFRESCO AREA	35.36 Sq.m
TOTAL ROOF AREA	277.22 Sq.m
SITE AREA	6.0705 Ha.

SANDS BUILDING DESIGN
ACN 127 480 942
P.O. Box 1735
309 Main St, Bairnsdale 3875
P. 03 51 52 7200
F. 03 5152 7211
E. clinton@sandsbd.com.au
E. reini@sandsbd.com.au

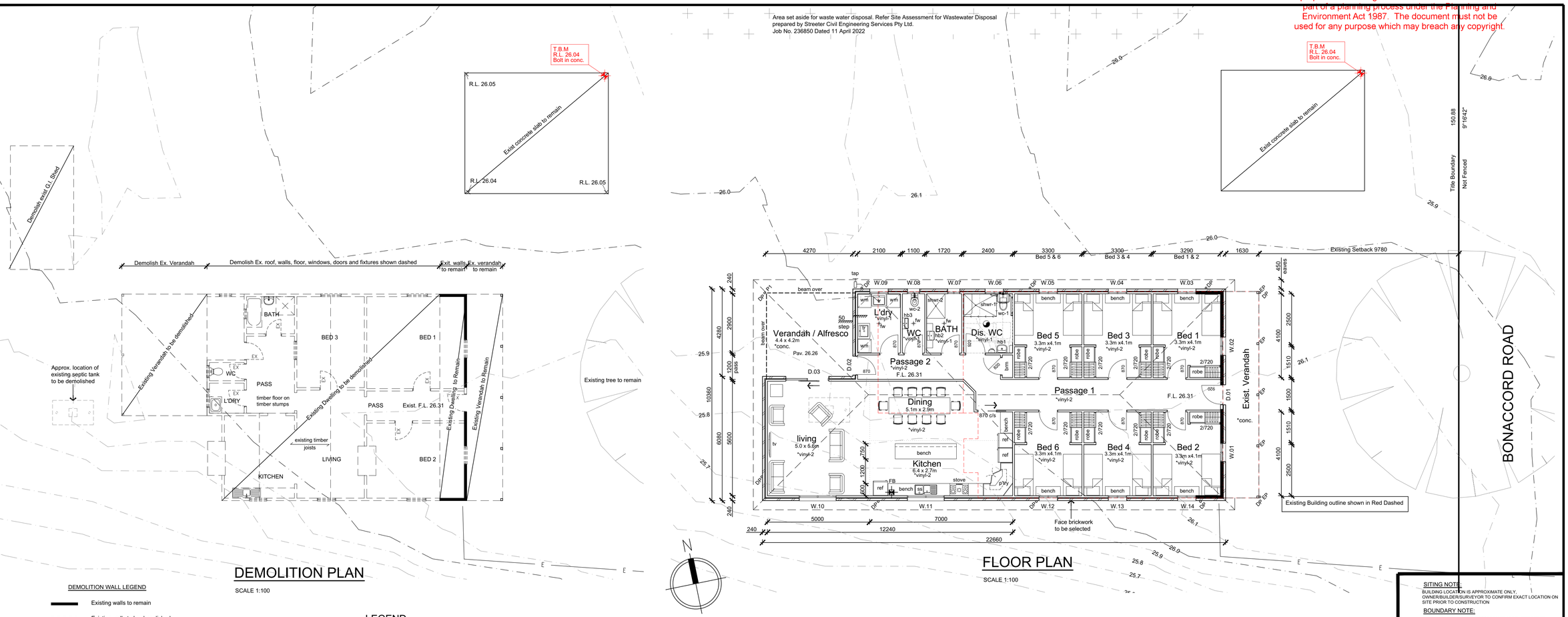
NO.	DATE	REVISION	BY

PROPOSED WORKERS ACCOMMODATION
ALTERATIONS & ADDITIONS TO EXISTING BUILDING
65 BON ACCORD ROAD
WALPA, VIC. 3875

CLIENT	BONACCORD INGRAM P/L
JOB NO.	22816
DATE	21/04/2023
DESIGNED BY	CDP-AD 58137
DRAWN BY	RJS
DESCRIPTION	SITE PLAN
ISSUE	PLANNING
SCALE	1:1000 A1 sheet

DRAWING NO. A1 REVISION

Area set aside for waste water disposal. Refer Site Assessment for Wastewater Disposal prepared by Streeter Civil Engineering Services Pty Ltd.
Job No. 236850 Dated 11 April 2022



DEMOLITION PLAN

SCALE 1:100

DEMOLITION WALL LEGEND

- Existing walls to remain
- Existing walls to be demolished

FLOOR PLAN

SCALE 1:100

DEMOLITION NOTES

1. DEMOLISHED MATERIALS

GENERAL

Removal: Except for items to be recovered for re-use in the works, or delivery to the owner and materials to be recycled in the works, take possession of demolished materials and remove them from the site. do not burn or bury demolished materials on the site. prevent spillage of demolished materials in transit.

Recycling: Where possible, dismantle building components for off site recycling.

Services: Disconnect all services as required prior to demolition, construction & sitework.

seal and/or cap all redundant supply/waste pipes.

Redundant cabling, piping, demolished building materials and rubble to be removed from site unless nominated for storage or re-use.

1. SUPPORT

TEMPORARY SUPPORT

Existing buildings: Contractor to ensure stability of existing structure during demolition & construction works, provide bracing and props as required.

2. PROTECTION

PROTECTION OF WORKS NOTICE

Refer to the relevant Building Surveyor if a protection of works notice is required.

HOARDING AND EXCLUSION FENCING

Provide hoarding, exclusion fencing and signage as required to ensure safety to the public,staff and workers during demolition and construction.

ENCROACHMENT

General: Prevent the encroachment of demolished materials onto adjoining property, including public places.

WEATHER PROTECTION

General: If walls or roofs are opened for alterations and additions, or the surfaces of adjoining buildings are exposed, provide temporary covers to prevent water penetration. provide covers to protect existing plant equipment and materials intended for re-use.

SECURITY

General: If walls or roofs are opened for alterations or additions, provide security against unauthorised entry to the building.

4. HAZARDOUS MATERIALS REMOVAL

STANDARD: To AS 2601 clause 1.6.2.

5. MAKING GOOD

Care is to be taken to ensure no damage to adjacent surfaces and structures during demolition.

Make good any damage arising out of demolition work.

6. ASBESTOS

- Builder to establish if any asbestos products are to be demolished.
- Any Asbestos products to be removed shall be in accordance with Occupational Health & Safety Act 2011, Work Health and Safety Regulations 2011, WorkSafe Victoria and other relevant authorities.
- For more information visit www.worksafe.vic.gov.au or contact worksafe advisory service ph: 1800 136 089
- For information on disposal or what to do in case of accidents contact: EPA Information Centre ph: 1300 372 842

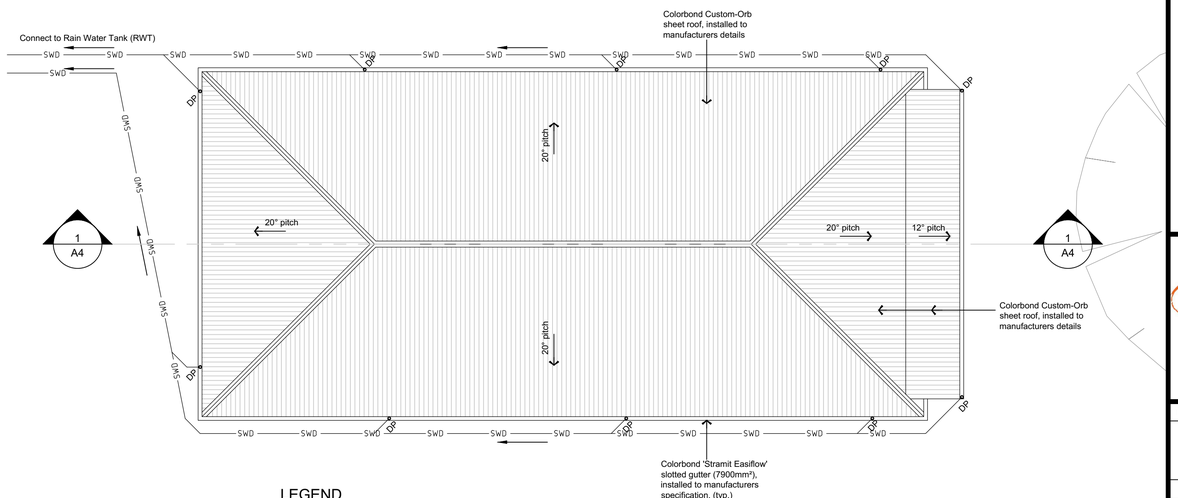
LEGEND

o o'	100x100 SHS Duragal column to Struc. Engs. details.
*conc.	Floor finish to be trowel finished concrete
*Vinyl-1	Selected heavy duty non-slip (P3 or R10) vinyl floor. Provide coving return 100mm up walls and welded at all joints, installed to manufactures specification.
*Vinyl-2	Selected heavy duty non-slip vinyl floor, installed to manufactures specification.
wc-1	Selected disabled toilet suite, in accordance with AS 1428
wc-2	Selected toilet suite.
hb1	Selected disabled hand basin in accordance with AS 1428 provide mirror over.
hb2	Selected hand basin, semi recessed into 1200 wide wall hung joinery provide mirror over.
hb3	Selected narrow wall hung hand basin,1200 wide, provide mirror over.
fw	Floor waste, grade floor to waste
shwr-1	1600 x 1100 step-less shower (*vinyl-1)
shwr-2	1200 x 900 step-less shower (*vinyl-1)
tr	Selected stainless steel laundry trough.
ss	Selected stainless steel double bowl sink
wm (x3)	Washing machine (not in contract)
stove	Selected 900 wide upright electric stove, provide 900 wide range hood over
ref (x3)	Selected 700 wide refrigerator (not in contract)
	Mechanical ventilation in accordance with 2019 BCA Vol. 1. Part F4.5 vent to outside air
vb1	9mm villaboard, installed to manufacturers specification, paint finish, colour to be selected.
PB-PF	10mm plasterboard, installed to manufacturers specification, paint finish, colour to be selected.
o DP	90 Ø PVC Downpipe - Connect to rain water tank.
FB	Fire blanket selected and installed in accordance with AS2444, Section 6.
FE-1	3A:40B (E) 2.7 kg. Dry chemical fire extinguisher mounted 1.2m above floor level supported on wall brackets, identification sign over extinguisher, location, installation, type and signage to AS2444
RWT	Rain Water Tank, to be selected, overflow to be directed away from building, provide concrete headwall with rock beaching.
C.O.S.	Confirm On Site

CLASS 1b BUILDING
(Boarding House, Guest, Hostel or the like.)
In accordance with 2019 BCA Vol. 2. Part A6.1

- 300 Sq.m max. floor area.
- No more than 12 persons accommodated.

BEFORE YOU DIG www.byda.com.au
Zero Damage - Zero Harm



ROOF PLAN

SCALE 1:100

LEGEND

DP o	Suggested location for 90 dia. pvc down pipes. Each downpipe must serve no more than 12.0m of gutter in accordance with 2019 BCA Vol. 2, Part 3.5.3.5
SWD	Suggested location for 90 dia. pvc stormwater pipe U.N.O. laid at 1 in 100 grade. Connect to rain water tank, discharge over flow to concrete headwall with rock beaching.
flow	Direction of flow
RWT	Rain Water Tank, to be selected, overflow to be directed away from building, provide concrete headwall with rock beaching.

WARNING
BEWARE OF UNDERGROUND SERVICES

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PLANNING
NOT FOR CONSTRUCTION

FLOOD PROTECTION NOTE:

THE NOMINAL FLOOD PROTECTION LEVEL (NFPL) FOR THIS SITE IS 26.60 AHD (TO BE CONFIRMED). ALL CONSTRUCTION MATERIALS BELOW NFPL TO BE FLOOD RESISTANT MATERIALS.
ALL ELECTRICAL FITTINGS, CHEMICALS AND HIGH HAZARDOUS GOODS TO BE LOCATED ABOVE THE NFPL.

SITING NOTE:
BUILDING LOCATION IS APPROXIMATE ONLY, OWNER/BUILDER/SURVEYOR TO CONFIRM EXACT LOCATION ON SITE PRIOR TO CONSTRUCTION

BOUNDARY NOTE:
TITLE BOUNDARIES ARE APPROXIMATE ONLY, FOR EXACT LOCATION & BEARINGS REFER

LEVELS NOTE:
LEVELS ARE TO AHD
PREPARED BY FREEMAN LAND SURVEYING
REF. NO. 22398 02 Rev A DATED 05/01/2023

TIMBER FRAMING NOTE
ALL TIMBER FRAMING, BRACING AND HOLD-DOWN DETAILS SHALL COMPLY WITH AS 1684 2010 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION MANUALS. GENERALLY COMMON TIMBER STUDS SHALL BE 90x35 MGP10 & 290x45 MGP10 NEXT TO OPENINGS UNLESS NOTED OTHERWISE.

AREA ANALYSIS

EXISTING BUILDING AREA	126.50 Sq.m
AREA TO BE DEMOLISHED	107.35 Sq.m
ADDITIONS AREA	86.10 Sq.m
TOTAL FLOOR AREA	215.75 Sq.m
VERANDAH & ALFRESCO AREA	35.36 Sq.m
TOTAL ROOF AREA	277.22 Sq.m
SITE AREA	6.0705 Ha.

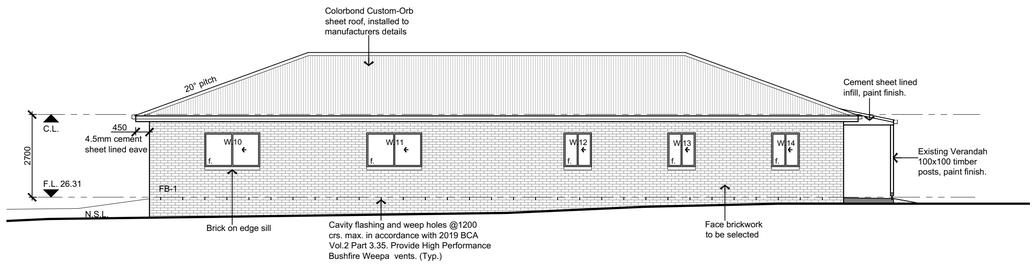
SANDS BUILDING DESIGN
ACN 127 480 942
P.O. Box 1735
309 Main St, Bairnsdale 3875
P. 03 51 52 7200
F. 03 5152 7211
E. clinton@sandsbd.com.au
E. reini@sandsbd.com.au

NO.	DATE	REVISION	BY

PROPOSED WORKERS ACCOMMODATION
ALTERATIONS & ADDITIONS TO EXISTING BUILDING
65 BON ACCORD ROAD
WALPA, VIC. 3875

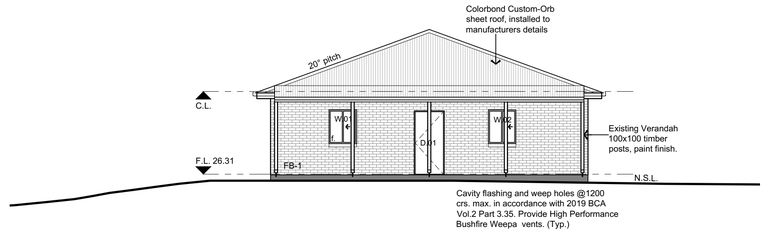
CLIENT	BONACCORD INGRAM P/L
JOB N0.	22816
DATE	21/04/2023
DESIGNED BY	CDP-AD 58137
DRAWN BY	RJS
DESCRIPTION	FLOOR & ROOF PLANS
ISSUE	PLANNING
SCALE	1:100 A1 sheet

DRAWING NO. A2
REVISION



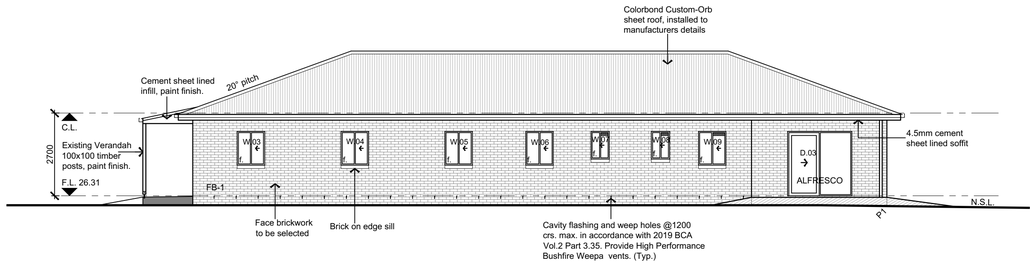
SOUTH ELEVATION

SCALE 1:100



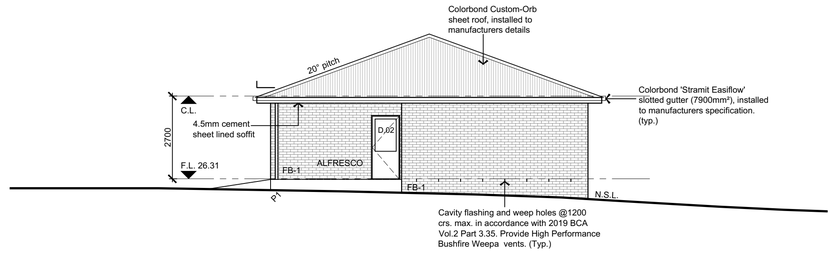
EAST ELEVATION

SCALE 1:100



NORTH ELEVATION

SCALE 1:100



WEST ELEVATION

SCALE 1:100

WINDOW SCHEDULE

NO.	STYLE	NOM. SIZE	GLAZING	ORIENT.	ROOM	FLOOR LEVEL	HEAD HEIGHT	NOTES
W.01	ASW	1100h x 900w	Double Glazed U-value = ... SHGC = ...	East	Bed 2	R.L. 26.31	2100	
W.02	ASW	1100h x 900w		East	Bed 1			
W.03	ASW	1100h x 900w		North	Bed 1			
W.04	ASW	1100h x 900w		North	Bed 3			
W.05	ASW	1100h x 900w		North	Bed 5			
W.06	ASW	1100h x 900w		North	Unisex WC	R.L. 26.31	2100	Opaque glass, provide permanent vent to top of window
W.07	ASW	900h x 600w		North	Bath			
W.08	ASW	900h x 600w		North	WC			
W.09	ASW	1100h x 900w		North	Laundry			
W.10	ASW	1100h x 1800w	Double Glazed U-value = ... SHGC = ...	South	Living	R.L. 26.31	2100	
W.11	ASW	1100h x 1800w		South	Kitchen			
W.12	ASW	1100h x 900w		South	Bed 6			
W.13	ASW	1100h x 900w		South	Bed 4			
W.14	ASW	1100h x 900w		South	Bed 2			
D.01	Solid timber swing door	2040h x 920w		East	Passage 1	R.L. 26.31	2100	Paint finish
D.02	ASD	2100h x 2100w		North	Living			
D.03	Aluminium swing door	2100h x 870w		West	Passage 2			Half lite

CLASS 1b BUILDING

(Boarding House, Guest, Hostel or the like.)
In accordance with 2019 BCA Vol. 2. Part A6.1

- 300 Sq.m max. floor area.
- No more than 12 persons accommodated.

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WINDOW NOTES:

- All glazing to comply to as 1288, Contractor to provide thermal and safety assessment
- U.N.O. Windows to be improved aluminum to be selected by client
- Frame Colour to be selected
  Window sizes are nominal only
- Site measure prior to fabrication
- All external glazing shall be double glazed clear float.
- All external openable windows to be supplied with stainless steel flyscreens
- To be read in conjunction with Energy Rating Report
- Installed to manufacturers specification
- ASW - Aluminium Sliding Window
- ASD - Aluminium Sliding Door

DOOR NOTES:

Internal doors to be 2040 high x _____ width as shown on plan.
solid core, paint finish

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ISSUE	PLANNING
SCALE	1:100 A1 sheet

DRAWING NO. A3
REVISION