

## NOTICE OF AN APPLICATION FOR AN AMENDMENT TO A PLANNING PERMIT

The land affected by the application is located at:	<b>70 Gilsenans Drive METUNG Lot 1A PS 534553</b>
The application is to amend permit number:  By:	<b>5.2019.268.2 (Formally 268/2019/P/A)  Change to the endorsed plans</b>
The applicant for the amendment to the permit is:	<b>Crowther &amp; Sadler Pty Ltd</b>
The application reference number is:	<b>5.2019.268.3</b>
You may look at the application and any documents that support the application on the website of the responsible authority.	<b><i>COVID-19 Omnibus (Emergency Measures) Bill 2020 now modifies the requirement of Form 3 so that Planning documents previously required to be physically available to view at local government offices are now only required to be available for online inspection.</i></b>

This can be done anytime by visiting the following website:

<https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

Any person who may be affected by the proposed amendment to the permit may object or make other submissions to the responsible authority.

An objection must

- ♦ be made to the Responsible Authority in writing,
- ♦ include the reasons for the objection, and
- ♦ state how the objector would be affected.

The Responsible Authority will not decide on the application before:	<b>Subject to the applicant giving notice</b>
--	---

**If you object, the Responsible Authority will tell you its decision.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 11580 FOLIO 927

Security no : 124109881051D  
Produced 18/10/2023 05:17 PM

### LAND DESCRIPTION

Lot 1A on Plan of Subdivision 534553D.  
PARENT TITLE Volume 10930 Folio 613  
Created by instrument PS534553D/D2 30/06/2015

### REGISTERED PROPRIETOR

Estate Fee Simple  
Joint Proprietors  
ALLISON MAREE KLOS  
ALEX RICHARD KLOS both of 1 TRUDI COURT DONVALE VIC 3111  
AU177688V 26/03/2021

### ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT AM071251X 30/07/2015  
Expiry Date 31/12/2030

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

### DIAGRAM LOCATION

SEE PS534553D FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 70 GILSENANS DRIVE METUNG VIC 3904

### ADMINISTRATIVE NOTICES

NIL

eCT Control 22727X EAST GIPPSLAND CONVEYANCING  
Effective from 26/03/2021

### OWNERS CORPORATIONS

The land in this folio is affected by  
OWNERS CORPORATION 1 PLAN NO. PS534553D



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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, history and culture. The Victorian Government extends its respects to their elders, past, present and emerging.

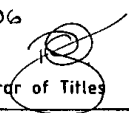
**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

DOCUMENT END

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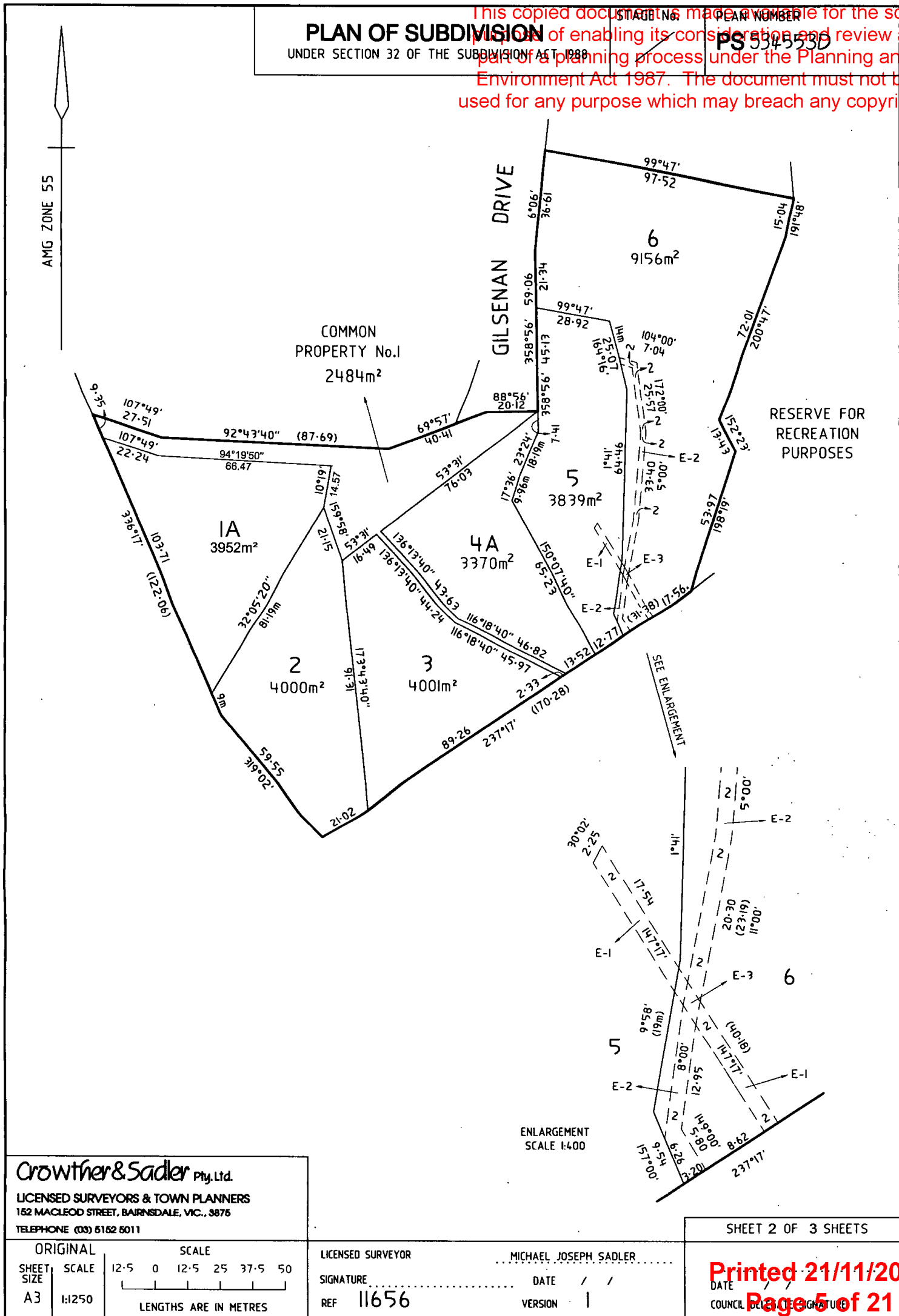
PLAN OF SUBDIVISION				STAGE NO. <del>LTO USE ONLY</del> PLAN NUMBER
<div style="display: flex; justify-content: space-between;"> <span>EDITION 3</span> <span>PS 534553D</span> </div>				
<b>LOCATION OF LAND</b>  <b>PARISH:</b> BUMBERRAH <b>TOWNSHIP:</b> _____ <b>SECTION:</b> _____ <b>CROWN ALLOTMENT:</b> 78 (PART) <b>CROWN PORTION:</b> _____  <b>TITLE REFERENCES:</b> VOL 10276 FOL 479 VOL 10276 FOL 480 VOL 9250 FOL 253  <b>LAST PLAN REFERENCE:</b> LOT 1 ON PS 348997B LOT 2 ON PS 348997B LOT 10 ON PS 118658  <b>POSTAL ADDRESS:</b> 70 GILSENAN DRIVE, (At time of subdivision) METUNG, 3904  <b>AMG CO-ORDINATES:</b> E 575 690 (Of approx. centre of land in plan) N 5807 030 <b>ZONE:</b> 55		<b>COUNCIL NAME:</b> EAST GIPPSLAND SHIRE COUNCIL <b>REF:</b> 82/2005/CRT  1. This plan is certified under Section 6 of the Subdivision Act 1988. <del>2. This plan is certified under Section 11(7) of the Subdivision Act 1988.</del> <del>Date of original certification under Section 6 / /</del> <del>3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.</del>  <b>OPEN SPACE</b> (ii) A requirement for public open space under Section 18 Subdivision Act 1988 <del>has /</del> has not been made. <del>(iii) The requirement has been satisfied.</del> <del>(iii) The requirement is to be satisfied in stage</del> Council Delegate <del>Council seal</del>  Date 5 / 7 / 05 <del>Re-certified under Section 11(7) of the Subdivision Act 1988</del> <del>Council Delegate</del> <del>Council seal</del>  <del>Date / /</del>		
<b>VESTING OF ROADS AND/OR RESERVES</b>				
IDENTIFIER	COUNCIL/BODY/PERSON			
NIL	NIL			
<b>NOTATIONS</b>				
<b>STAGING</b> This is / is not a staged subdivision Planning Permit No 742/2004/P				
<b>DEPTH LIMITATION</b> DOES NOT APPLY				
<div style="border: 1px solid black; padding: 5px; margin: 10px auto; width: 80%;"> <p>LOTS IN THIS PLAN MAY BE AFFECTED BY ONE OR MORE OWNERS CORPORATIONS</p> <p>FOR DETAILS OF ANY OWNERS CORPORATIONS INCLUDING PURPOSE, RESPONSIBILITY, ENTITLEMENT &amp; LIABILITY SEE OWNERS CORPORATION SEARCH REPORT, OWNERS CORPORATION ADDITIONAL INFORMATION AND IF APPLICABLE, OWNERS CORPORATION RULES</p> </div>				
<b>SURVEY:</b> THIS PLAN IS / <del>IS NOT</del> BASED ON SURVEY  THIS SURVEY IS CONNECTED TO PERMANENT MARK No(s) /				
<b>WATERWAY NOTATION:</b> LAND IN THIS PLAN MAY ABUT CROWN LAND THAT MAY BE SUBJECT TO A CROWN LICENCE TO USE				
<b>EASEMENT INFORMATION</b>				<b>LTO USE ONLY</b>
<b>LEGEND</b> A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				<b>STATEMENT OF COMPLIANCE / EXEMPTION STATEMENT</b>  <b>RECEIVED</b> <input checked="" type="checkbox"/>
SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO THE LAND IN THIS PLAN				DATE 24 / 2 / 06
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1 & E-3 E-2 & E-3	DRAINAGE CARRIAGEWAY	2 See Diag	LP 118658 THIS PLAN	LOTS IN LP 118658 LOT 5 on this Plan
<b>LTO USE ONLY</b> PLAN REGISTERED TIME 8 21AM DATE 9 / 3 / 06 Assistant Registrar of Titles 				SHEET 1 OF 3 SHEETS
<b>Crowther &amp; Sadler Pty. Ltd.</b> <b>LICENSED SURVEYORS &amp; TOWN PLANNERS</b> 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875 TELEPHONE (03) 8182 6011		<b>LICENSED SURVEYOR</b> MICHAEL JOSEPH SADLER  <b>SIGNATURE</b> ..... <b>DATE</b> / / <b>REF</b> 10677 <b>VERSION</b> 1		..... <b>DATE</b> 5 / 7 / 05 <b>COUNCIL DELEGATE SIGNATURE</b> ..... ORIGINAL SHEET SIZE A3

# PLAN OF SUBDIVISION

UNDER SECTION 32 OF THE SUBDIVISION ACT 1988

PS 534553D

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**Crowther & Sadler** Pty. Ltd.

LICENSED SURVEYORS & TOWN PLANNERS

152 MACLEOD STREET, BAIRNSDALE, VIC., 3875

TELEPHONE (03) 6162 6011

ORIGINAL	SCALE
SHEET SIZE	12.5 0 12.5 25 37.5 50
A3	1:1250
	LENGTHS ARE IN METRES

LICENSED SURVEYOR

MICHAEL JOSEPH SADLER

SIGNATURE

DATE / /

REF 11656

VERSION 1

SHEET 2 OF 3 SHEETS

Printed 21/11/2023  
DATE  
COUNCIL DEPUTY SIGNATURE

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## RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

**PLAN NUMBER**  
PS534553D

**WARNING: THE IMAGE OF THIS DOCUMENT OF THE REGISTER HAS BEEN DIGITALLY AMENDED.  
NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL DOCUMENT OF THE REGISTER.**

[illegible]

Printed 21/11/2023

Page 6 of 21

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AM071251X

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# Transfer of Land

## Creating an Easement and/or Restrictive Covenant

### Section 45 Transfer of Land Act 1958

Lodged by

Trans Ref 3544435

Name:

WARREN, GRAHAM & MURPHY PTY LTD

Phone:

03-5152 2661

Address:

119 Main Street  
BAIRNSDALE

Reference:

IRC.rv.1009315

743602784

Customer Code: 1716W

The transferor at the direction of the directing party (if any) transfers to the transferee the estate and interest specified in the land described for the consideration expressed-

- together with any easements created by this transfer;
- subject to the encumbrances affecting the land including any created by dealings lodged for registration before the lodging of this transfer; and
- subject to any easements reserved by this transfer or restrictive covenant contained or covenant created pursuant to statute and included in this transfer.

Land: (volume and folio)

Volume 11580 Folio 927

Estate and Interest: (e.g. "all my estate in fee simple")

All our estate in fee simple

Consideration:

\$575,000.00

Transferor: (full name)

JOHN GORDON MILES and JOAN DOROTHY MILES

Transferee: (full name and address including postcode)

GARY DAVID TREWIN and ANITA FAYE TREWIN both of 7 Clifton Terrace, Wy Yung, Vic 3875

Directing Party: (full name)

Creation and/or Reservation of Easement and/or Restrictive Covenant :

"The transferees with the intent that the benefit of this covenant shall until 31 December 2030 be attached to and run at law and in equity with Lots 2 and 3 on PS534553D and that the burden thereof shall be annexed to and run at law and in equity with the land hereby transferred and each and every part thereof and that the same shall be noted and appear as an encumbrance affecting the same DO HEREBY COVENANT with the transferors and other registered proprietor or proprietors for the time being of the said Lots 2 and 3 that the transferees will not allow on the land transferred:

- any building higher than 31 metres AHD (Average Height Datum) when measured from the surface level of the highest point of the building footprint to the eave line; and
- any detached shed which has a floor area more than 48 square metres.

5951308A

Order to Register

Duty Use Only

**T2**

Please register and issue Certificate of Title to

Page 1 of 2

Signed

Customer Code:

**THE BACK OF THIS FORM MUST NOT BE USED**

Land Victoria, 570 Bourke Street, Melbourne, 3000, Phone 8636-2010

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**Page 7 of 21**

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AM071251X

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Dated: 13/7/2015

Execution and attestation:

Signed by JOHN GORDON MILES in the presence of: )

  
JOHN GORDON MILES


Witness: R. Davis

Signed by JOAN DOROTHY MILES in the presence of: )

  
JOAN DOROTHY MILES

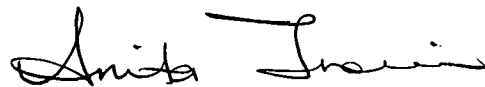
Witness: R. Davis

Signed by GARY DAVID TREWIN in the presence of: )

  
GARY DAVID TREWIN

Witness: R. Davis

Signed by ANITA FAYE TREWIN in the presence of: )

  
ANITA FAYE TREWIN

Witness: R. Davis

5951308A

Order to Register

Duty Use Only

**T2**

Please register and issue Certificate of Title to

Page 2 of 2

Signed

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# Department of Environment, Land, Water & Planning

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## Owners Corporation Search Report

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Produced: 18/10/2023 05:19:29 PM

**OWNERS CORPORATION 1**  
**PLAN NO. PS534553D**

The land in PS534553D is affected by 1 Owners Corporation(s)

### Land Affected by Owners Corporation:

Common Property 1, Lots 1A, 2, 3, 4A.

### Limitations on Owners Corporation:

Unlimited

### Postal Address for Services of Notices:

OCV MANAGEMENT PTY LTD, 101 RATHDOWNE STREET CARLTON VIC 3053

AT708171P 26/10/2020

### Owners Corporation Manager:

NIL

### Rules:

Model Rules apply unless a matter is provided for in Owners Corporation Rules. See Section 139(3) Owners Corporation Act 2006

### Owners Corporation Rules:

NIL

### Additional Owners Corporation Information:

NIL

### Notations:

NIL

### Entitlement and Liability:

NOTE – Folio References are only provided in a Premium Report.

Land Parcel	Entitlement	Liability
Common Property 1	0	0
Lot 1A	10	10
Lot 2	10	10
Lot 3	10	10
Lot 4A	10	10
<b>Total</b>	<b>40.00</b>	<b>40.00</b>



# Department of Environment, Land, Water & Planning

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## Owners Corporation Search Report

Produced: 18/10/2023 05:19:29 PM

**OWNERS CORPORATION 1**  
**PLAN NO. PS534553D**

From 31 December 2007 every Body Corporate is deemed to be an Owners Corporation. Any reference to a Body Corporate in any Plan, Instrument or Folio is to be read as a reference to an Owners Corporation.

Statement End.

Our ref: 20572

19 October 2023

Mr. Robert Pringle  
Statutory Planning Coordinator  
East Gippsland Shire Council  
Via email: [planning@egipps.vic.gov.au](mailto:planning@egipps.vic.gov.au)

Dear Robert,

**Re: Application to Amend Planning Permit 268/2019/P/A  
70 Gilsenans Drive, Metung**

On behalf of our client we are seeking approval of amended plans in accordance with condition 1 and 11 of Planning Permit 268/2019/P. The request for approval of plans is made pursuant to Section 72 of the *Planning and Environment Act 1987*.

The amended plans seek to alter the design of the dwelling. The location of the dwelling is generally consistent with the location previously approved although the setback for the dwelling from the western boundary has been increased to 22.6m, including the balcony. Previously the balcony was to be constructed less than 21m from the western boundary requiring construction to BAL-40.

The increased setback is considered an improved outcome in response to the bushfire hazard and could otherwise be considered under the provisions of secondary consent however, the current dwelling design having a pitched roof will result in a building height greater than 7.5m above ground level. The increased building height introduces an additional primary permit trigger and therefore the amended plans cannot be considered under the provisions of *Secondary consent*.

## Response to Design and Development Overlay

The subject land is contained within the Design and Development Overlay – Schedule 11 (DDO11) which relates to Residential Development in Coastal Settlements.

The purpose of the DDO11 is to protect the character of coastal townships by ensuring the size, height and scale of new developments is in keeping with the surrounding built form and coastal setting. Development should be designed so as to be visually unobtrusive when viewed through surrounding vegetation. Buildings should be set at a height below the surrounding tree canopy and integrated within the site and surrounds.

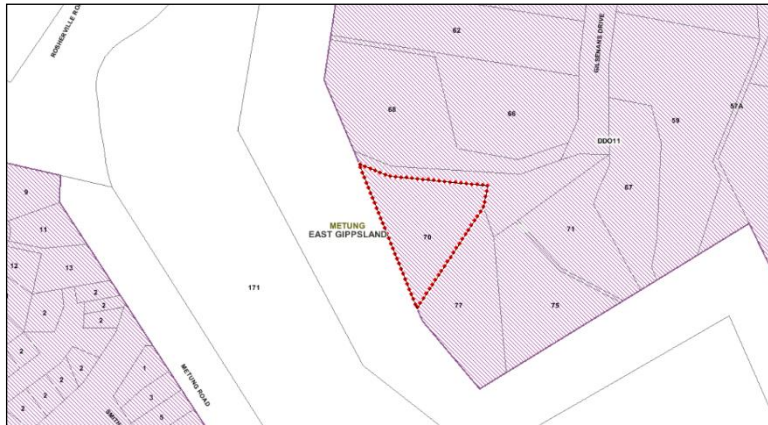


FS 520900



Further approval is triggered at Clause 43.02-2 of the Design and Development Overlay for buildings and works associated with the establishment of the proposed dwelling with a height greater than 7.5m above ground level.

The original dwelling design had a maximum height of approximately 8 metres above ground level. The amended dwelling design approved with the previous amendment reduced the building height below 7.5m. While building height trigger was considered as part of the original planning application, the original approval became redundant with the approval Planning Permit 268/2019/P/A



*Design & Development Overlay – Source: Planning Maps Online (DELWP)*

#### Application Requirements:

- Accompanying the application is Plan Sets prepared by *G.J. Gardner Homes* inclusive of Plans and Elevations which detail the proposed development.
- The proposal is considered to achieve the design outcomes for Metung given the proposed development is limited in height and utilises a mixture of materials and colours which can be incorporated into the natural setting.
- The design of the proposed dwelling is considered to offer an appropriate response to the features and constraints of the site and surrounding properties. The dwelling is positioned below the crest of the hill meaning the dwelling will not be visually dominant when viewed from the Common Property driveway. The height of the dwelling is below the height of the surrounding tree canopy.
- The proposed dwelling layout is considered to respond to the slope with the majority of the living space to be located on the same floor level, with the understorey space containing a most sized habitable room on the lower ground level and storage.
- Incorporating the existing slope within the design reduces the extent of earthworks required for the siting of the proposed dwelling and associated works.
- Views of the dwelling will be substantially obscured from adjacent waterways by established vegetation within the Crown Foreshore Reserve. The setback of the dwelling from the western boundary will maintain a view corridor for the neighbouring dwelling at 68 Gilsenan Drive.

East Gippsland Shire Council

- The removal of some trees adjacent to the south-east boundary are necessary as part of the proposed bushfire mitigation measures. The location and number of trees to be removed are included on the Bushfire Management Plan
- The proposed dwelling will comprise of a mixture of lightweight cladding with the use of bricks limited to the garage. The combination of lightweight materials and incorporating a pitched roof is consistent with the architectural elements of existing buildings with the coastal settlement of Metung.
- Given the presence of naturally established and modified vegetation on the property, the development will enjoy and benefit from a natural setting with an outlook over Bancroft Bay and filtered views of Chinamans Creek
- Enhancement landscape planting is not proposed due to the surrounding bushfire hazard.

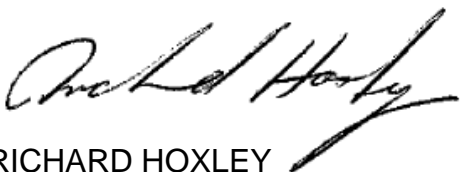
The amended plans have necessitated a change to the Bushfire Management Plan to reflect the proposed siting. It is considered that the new siting and layout of the dwelling will continue to mitigate the risk from bushfire to an acceptable level.

The design of the dwelling at 70 Gilsenan Drive, Metung is considered to accord with all relevant provisions of the Design and Development Overlay –Schedule 11, of the *East Gippsland Planning Scheme*.

We respectfully request that Council consider the merits of the Application favourably and resolve to issue a Planning Permit.

Should you have any questions please contact our office.

Regards,



RICHARD HOXLEY  
Principal Planner

Encl. *Dwelling Plan Set (G.J. Gardner Homes)*  
*Bushfire Management Plan (20572-BMP, Version 1)*  
*Copy of Title (Vol. 11580 Fol. 927)*



**BAL-29 - Bushfire Attack Level Requirements**  
**Must comply with AS3959-2018 - Sections 3 & 7**

**Sub-Floor Supports:**

Enclosed by external wall or by steel, bronze or aluminium mesh, non-combustible supports where the sub-floor is unenclosed, naturally fire resistant timber stumps or posts on 75mm metal stirrups.

**Floors:**

Concrete slab on ground, enclosed by external wall, metal mesh as above or flooring less than 400mm above ground level to be non-combustible, naturally fire resistant timber or protected on the underside with sarking or mineral wool insulation.

**External Walls:**

Non-combustible material (masonry, brick veneer, mud brick, aerated concrete, concrete), timber framed, steel framed walls sarked on the outside and clad with 6mm fibre cement sheeting or steel sheeting or bushfire resistant timber.

**Joints**

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3mm. Alternatively, sarking-type material can be applied over the frame prior to fixing any external cladding.

**Vents & Weepholes**

Vents & weepholes in the external walls shall be screened with a mesh with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze or aluminium, except where they are less than 3mm.

**External Windows:**

Protected by bushfire shutters or completely screened with steel, bronze or aluminium mesh, or 5mm toughened glass with openable portion screened and framed of metal or metal reinforced PVC-U, or bushfire resisting timber and portion within 400mm of ground level screened.

**External Doors:**

Protected by bushfire shutters or screened with steel, bronze or aluminium mesh or non-combustible, or 35mm solid timber for 400mm above threshold. Metal or bushfire resisting timber framed tight-fitting with weather strips at base.

**Roofing:**

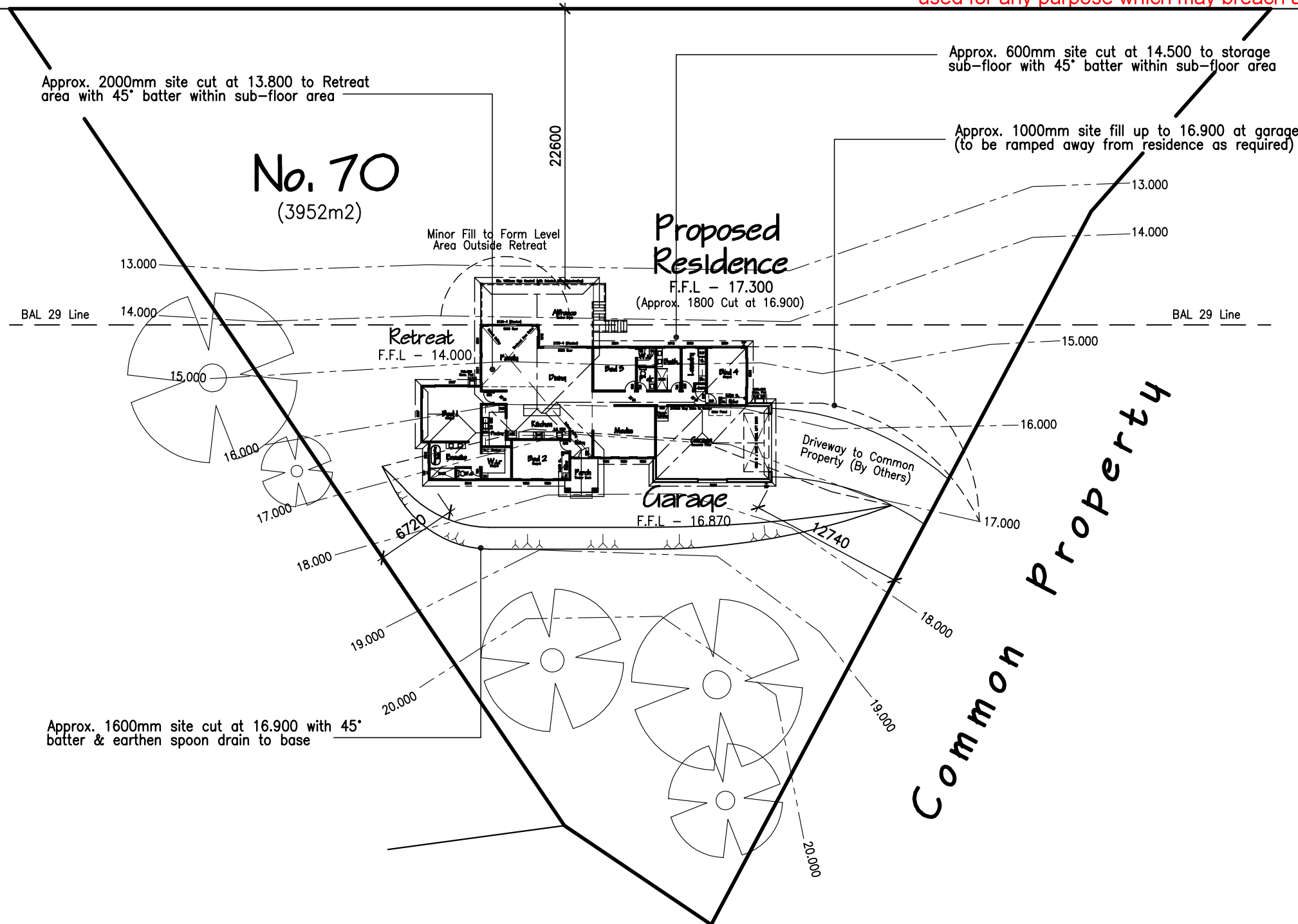
Non-combustible covering. Roof/wall junction to be sealed. Roofs to be fully sarked. Roof penetrations, including roof lights, roof ventilators, roof mounted evaporative cooling units, aerials, vent pipes & supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3mm. The material used to seal the penetration shall be non-combustible.

**Verandahs/ Decks/ Steps/ Ramps & Landings**

Enclosed sub-floor space or non-combustible or bushfire resistant timber supports. Decking to be non-combustible.

**Balconies & Handrails**

Parts of handrails/balustrades less than 125mm from any glazing or any combustible wall to be non-combustible material or bushfire resistant timber. Parts of handrail/balustrade more than 125mm from the building have no requirements.

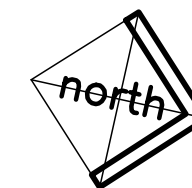


**Proposed Site Layout Plan 1:400**

**Note:**

Stormwater to be connected to legal point of discharge to local authority approval

Sewerage to be connected to property connection point to local authority approval



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**G.J Gardner. HOMES**  
103 Main Street, Bairnsdale VIC 3875  
Office: (03) 5153 1330  
CDB-U 53249 [www.gjgardner.com.au](http://www.gjgardner.com.au)

**Custom Design**  
**Hamptons Facade**  
© Copyright Exclusive  
To G.J Gardner Homes

**Craig Wight**  
Design & Drafting  
Registered Building Practitioner  
DP AD 36750

CLIENT:  
**A & A Klos**  
DRAWING TITLE:  
**SITE PLAN – SCALE 1:400**

PROJECT: PROPOSED NEW RESIDENCE  
**No. 70**  
**Gilsenans Drive,**  
**Metung**

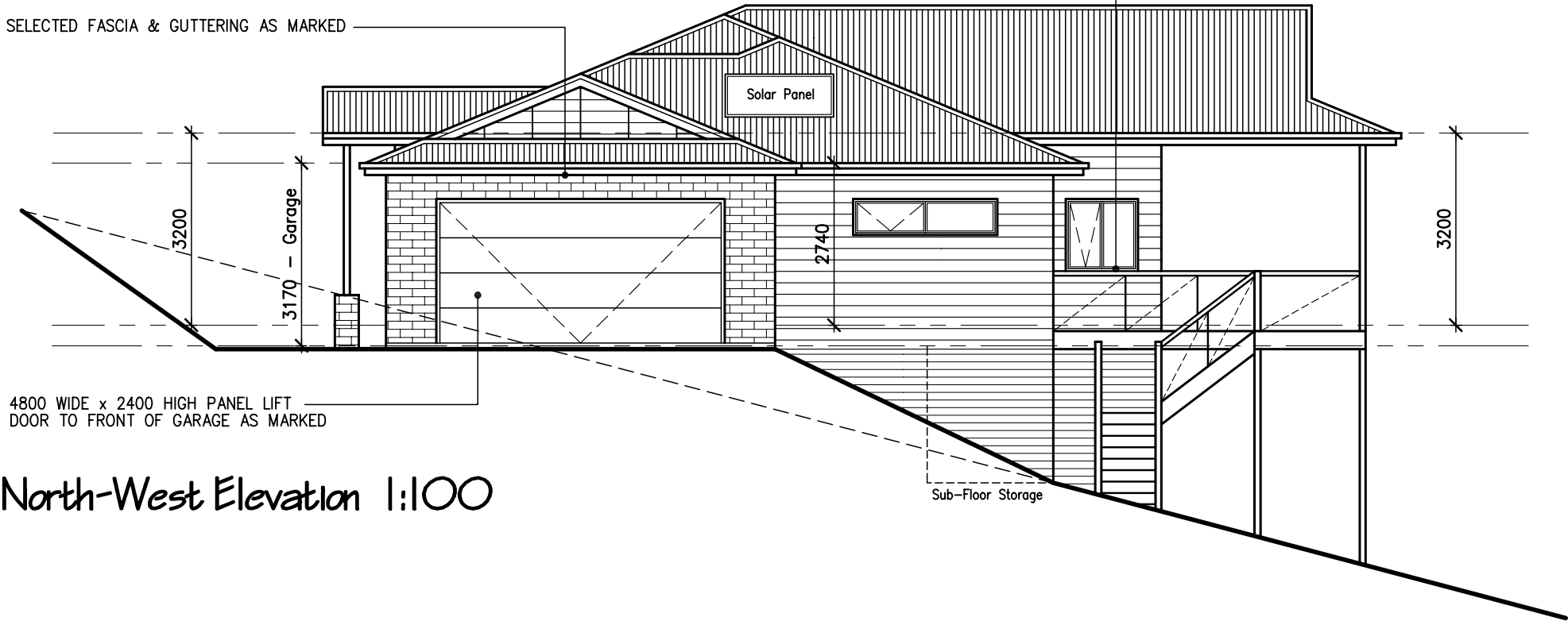
PAGES:	SHEET SIZE:	FLOOR AREAS:
9 OF 9	A3	INTERNAL: 226.53m <sup>2</sup>
JOB NO: 220809		GARAGE: 60.23m <sup>2</sup>
DRAWN: CRAIG WIGHT		ALFRESCO: 39.55m <sup>2</sup>
DATE: 16/6/23		PORCH: 6.79m <sup>2</sup>
		LOWER FLOOR: 28.79m <sup>2</sup>
		TOTAL: 361.89m <sup>2</sup>

REV.	DETAILS:	DATE:
A	PRELIMINARY DRAWINGS	20/1/23
B	WORKING DRAWINGS	15/5/23
C	ALTERED DRAWINGS	16/6/23

Note:

300mm BOXED OUT EAVE OVERHANG – BRICK WALLS  
450mm BOXED OUT EAVE OVERHANG – LINEA WALLS

SELECTED FASCIA & GUTTERING AS MARKED

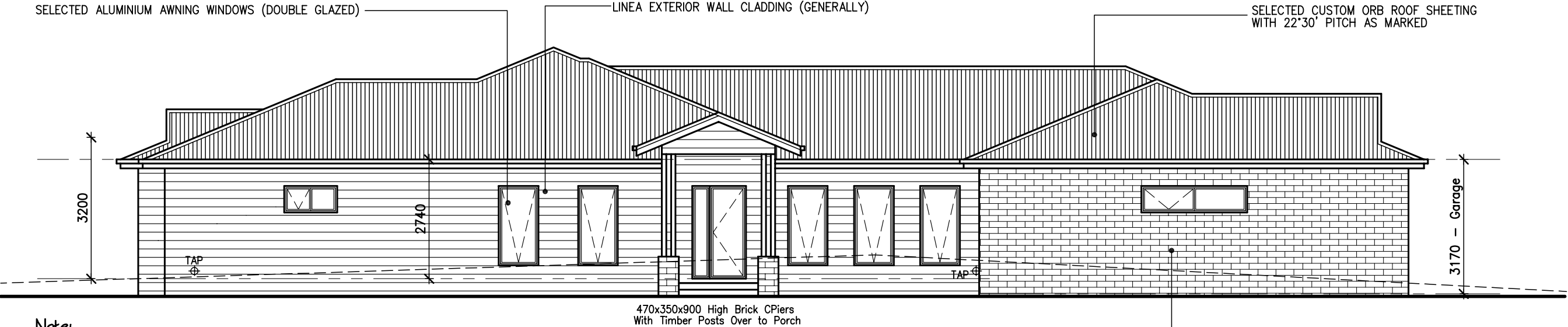


North-West Elevation 1:100

SELECTED ALUMINIUM AWNING WINDOWS (DOUBLE GLAZED)

LINEA EXTERIOR WALL CLADDING (GENERALLY)

SELECTED CUSTOM ORB ROOF SHEETING WITH 22°30' PITCH AS MARKED



Note:

PROVIDE MASONRY ARTICULATION JOINTS AS MARKED

North-East Elevation 1:100

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Craig Wight  
Design & Drafting  
Registered Building Practitioner  
DP AD 36750

CLIENT:  
**A & A Klos**  
DRAWING TITLE:  
**ELEVATIONS – SCALE 1:100**

PROJECT: PROPOSED NEW RESIDENCE  
**No. 70  
Gilsenans Drive,  
Metung**

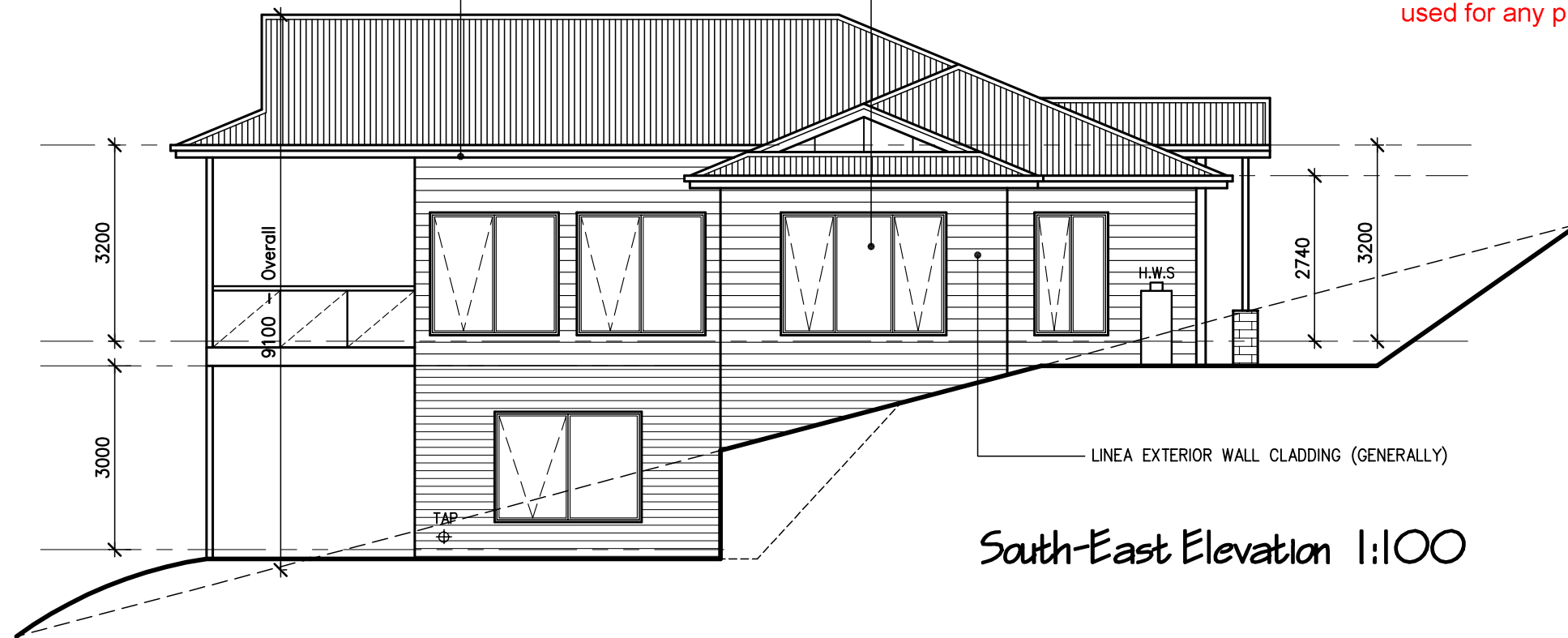
PAGES: 3 OF 9  
SHEET SIZE: **A3**  
JOB NO: 220809  
DRAWN: CRAIG WIGHT  
DATE: 16/6/23

FLOOR AREAS:  
INTERNAL: 226.53m2  
GARAGE: 60.23m2  
ALFRESCO: 39.55m2  
PORCH: 6.79m2  
LOWER FLOOR: 28.79m2  
TOTAL: 361.89m2

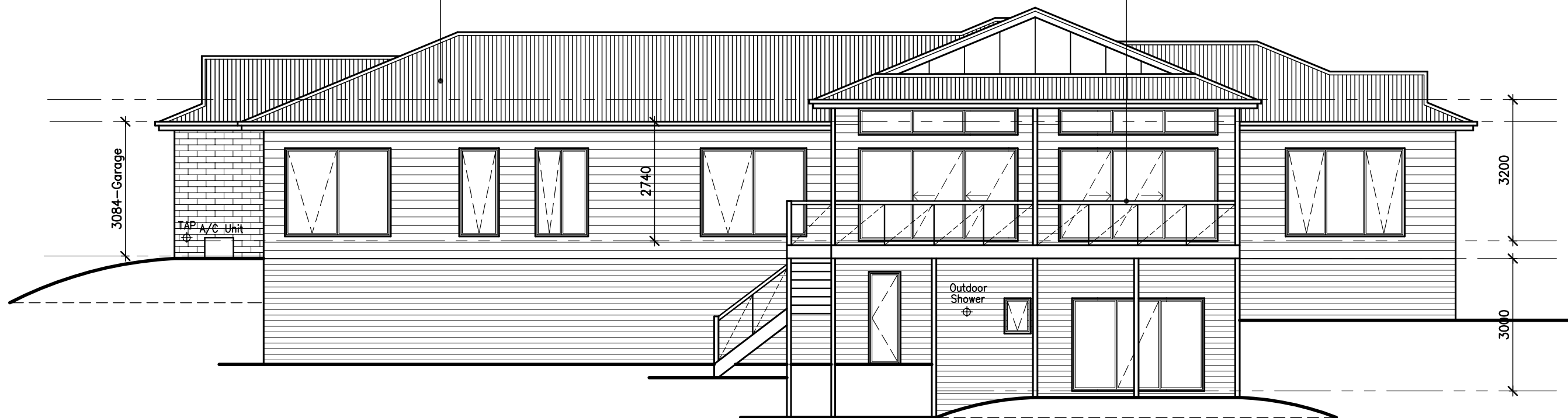
REV.	DETAILS:	DATE:
A	PRELIMINARY DRAWINGS	20/1/23
B	WORKING DRAWINGS	15/5/23
C	ALTERED DRAWINGS	16/6/23

SELECTED FASCIA &amp; GUTTERING AS MARKED

SELECTED ALUMINIUM AWNING WINDOWS (DOUBLE GLAZED)



South-East Elevation 1:100

SELECTED CUSTOM ORB ROOF SHEETING  
WITH 22°30' PITCH AS MARKEDMIN. 1000mm HIGH HANDRAIL WITH SELECTED  
GLASS BALUSTADING TO ALFRESCO AREA

South-West Elevation 1:100

**Note:**

300mm BOXED OUT EAVE OVERHANG – BRICK WALLS  
450mm BOXED OUT EAVE OVERHANG – LINEA WALLS

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PAGES:

4 OF 9

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REV.

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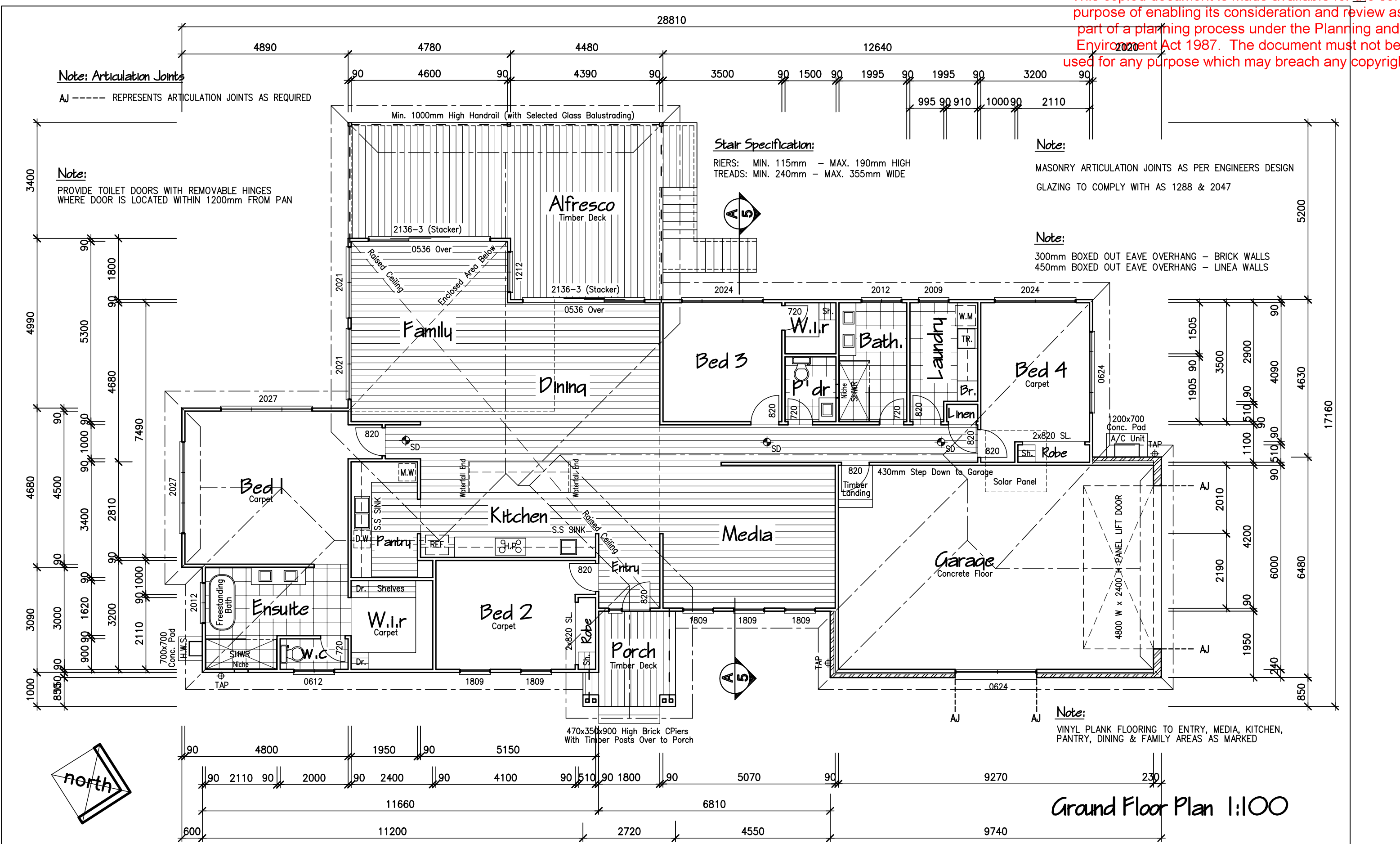
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**Printed 21/11/2023**  
**Page 16 of 21**

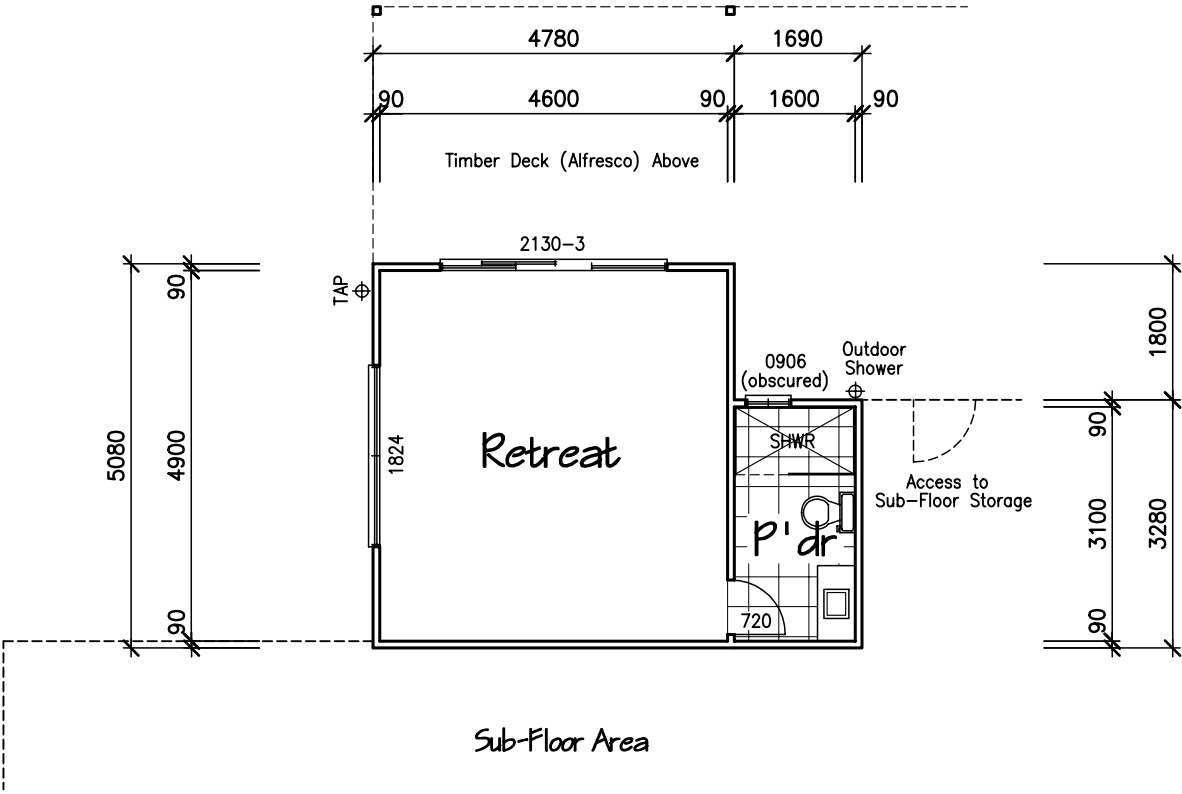


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<p>PROJECT: PROPOSED NEW RESIDENCE No. 70 Gilsenans Drive, Metung</p>								

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Lower Floor Plan 1:100



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## External Materials Schedule

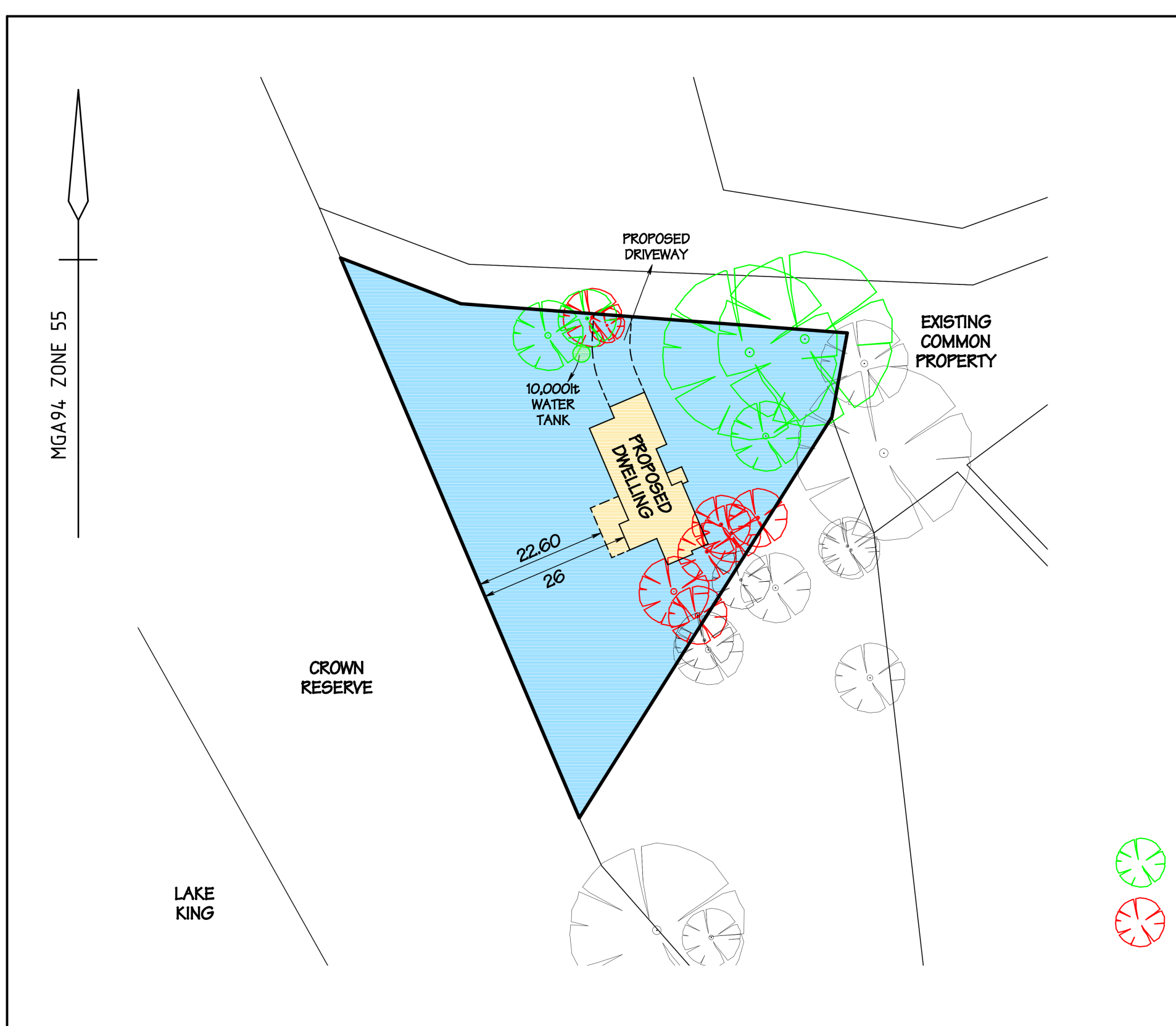
70 Gilsenans Drive, Metung

Construction of the dwelling to be in accordance with Section 7 (BAL-29) of AS:3959:2018

<b>Subfloor</b>	<p>Sub-floor structure to be enclosed with Unicote steel cladding Colour: Basal</p>	
<b>External Walls</b>	<p>Hardies Scyon Linea cladding (16mm thick composite fibre-cement cladding) Colour: Haymes Phantom</p> <p>Garage Walls face brick in Austral Indulgence Praline</p>	 <p>Hardies Scyon Linea Weatherboard</p>  <p>Austral Indulgence Praline</p>
<b>Entry Door</b>	<p>Entry door: Timber/ Merbau</p>	

External Doors	Other external doors: Glazed Powder Coated Aluminium Colour Basal	
<b>Windows</b>	Powder Coated Aluminium with 5mm thick glazing (certified BAL-29)  Colour: Surfmist	
<b>Decking</b>	Merbau timber	
<b>Roof</b>	Unicote coloured corrugated steel cladding Colour: Basal	





MANAGEMENT OF VEGETATION WITHIN THE AREA OF DEFENDABLE SPACE - SHOWN

VEGETATION (AND OTHER FLAMMABLE MATERIALS) WILL BE MODIFIED AND MANAGED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS;

- GRASS MUST BE SHORT CROPPED AND MAINTAINED DURING THE DECLARED FIRE DANGER PERIOD.
- ALL LEAVES AND VEGETATION DEBRIS MUST BE REMOVED AT REGULAR INTERVALS DURING THE DECLARED FIRE DANGER PERIOD.
- WITHIN 10m OF A BUILDING, FLAMMABLE OBJECTS MUST NOT BE LOCATED CLOSE TO THE VULNERABLE PARTS OF THE BUILDING.
- PLANTS GREATER THAN 10 CENTIMETRES IN HEIGHT MUST NOT BE PLACED WITHIN 3m OF A WINDOW OR GLASS FEATURE OF THE BUILDING.
- SHRUBS MUST NOT BE LOCATED UNDER THE CANOPY OF TREES.
- INDIVIDUAL AND CLUMPS OF SHRUBS MUST NOT EXCEED 5m<sup>2</sup> IN AREA AND MUST BE SEPARATED BY AT LEAST 5m.
- TREES MUST NOT OVERHANG OR TOUCH ANY ELEMENTS OF THE BUILDING.
- THERE MUST BE A CLEARANCE OF AT LEAST 2m BETWEEN THE LOWEST TREE BRANCHES AND GROUND LEVEL.

VEHICLE ACCESS



VEHICLE ACCESS TO THE DWELLING MUST BE PROVIDED FOR FIRE FIGHTING PURPOSES WHICH MEETS THE FOLLOWING REQUIREMENTS;

- MUST BE CONSTRUCTED SO THAT THEY ARE ACCESSIBLE IN ALL WEATHER CONDITIONS AND CAPABLE OF ACCOMMODATING A VEHICLE OF 15 TONNES FOR THE TRAFFICABLE WIDTH.
- HAVE A MINIMUM TRAFFICABLE WIDTH OF 3.5 METRES OF ALL-WEATHER CONSTRUCTION.
- CURVES MUST HAVE A MINIMUM INNER RADIUS OF 10m.
- THE AVERAGE GRADE MUST BE NO MORE THAN 1 IN 7 (14.4%) (8.1°) WITH A MAXIMUM OF NO MORE THAN 1 IN 5 (20%) (11.3°) FOR NO MORE THAN 50m.
- BE CLEAR OF ENCROACHMENTS FOR AT LEAST 0.5m ON EACH SIDE AND 4m ABOVE THE ACCESSWAY.
- DIPS MUST HAVE NO MORE THAN A 1 IN 8 (12.5%) (7.1°) ENTRY AND EXIT ANGLE.

WATER SUPPLY

PRIOR TO OCCUPANCY OF A DWELLING, INSTALL 10,000 LITRES OF EFFECTIVE WATER SUPPLY FOR FIRE FIGHTING PURPOSES THAT MUST COMPLY WITH THE FOLLOWING REQUIREMENTS MUST;

- BE STORED IN AN ABOVE GROUND WATER TANK CONSTRUCTED OF CONCRETE OR METAL.
- ALL FIXED ABOVE-GROUND WATER PIPES AND FITTINGS REQUIRED FOR FIRE FIGHTING PURPOSES MUST BE MADE OF CORROSIVE RESISTANT METAL.
- INCLUDE A SEPARATE OUTLET FOR OCCUPANT USE.
- INCORPORATE A SEPARATE BALL OR GATE VALVE (BRITISH STANDARD PIPE (BSP) 65mm) AND COUPLING (64 mm CFA 3 THREAD PER INCH MALE FITTING).
- BE LOCATED WITHIN 60m OF THE OUTER EDGE OF THE APPROVED BUILDING.
- THE OUTLET/S OF THE WATER TANK MUST BE WITHIN 4m OF THE ACCESSWAY AND BE UNOBSTRUCTED.
- BE READILY IDENTIFIABLE FROM THE BUILDING OR APPROPRIATE IDENTIFICATION SIGNAGE TO THE SATISFACTION OF CFA MUST BE PROVIDED.
- ANY PIPEWORK AND FITTINGS MUST BE A MINIMUM OF 65 mm (EXCLUDING THE CFA COUPLING).

-  - DENOTES TREE TO BE RETAINED
-  - DENOTES TREE TO BE REMOVED

ALEX KLOS  
70 GILSENANS DRIVE, METUNG

**Crowther & Sadler** Pty.Ltd.  
LICENSED SURVEYORS & TOWN PLANNERS  
152 MACLEOD STREET, BAIRNSDALE, VIC., 3875  
P. (03) 5152 5011 E. [contact@crowthersadler.com.au](mailto:contact@crowthersadler.com.au)

FILENAME: Y:\20000-20999\20500-20599\20572 Klos\20572 BMP V1.pro

BUSHFIRE MANAGEMENT PLAN

PARISH OF BUMBERRAH  
CROWN ALLOTMENT 78 (PART)  
  
LOT 1A ON PS534553D

PLAN REF.

20572-BMP  
VERSION 1 - DRAWN 10/08/2023

SCALE (SHEET SIZE A3)

1 : 800

CONSTRUCTION

THE CONSTRUCTION OF A DWELLING MUST BE DESIGNED & CONSTRUCTED TO A MINIMUM BUSHFIRE ATTACK LEVEL BAL-29 IN ACCORDANCE WITH AS 3959-2009