

Form 2

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	34 Paynesville Road PAYNESVILLE 3880 Lot: 1 PS: 300790
The application is for a permit to:	Buildings and works for nine dwellings and native vegetation removal
The applicant for the permit is:	Total Corp Pty Ltd
The application reference number is:	5.2021.478.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to the applicant giving notice</b>
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If you object, the Responsible Authority will tell you its decision.

**From:** Snapforms Notifications [no-reply@snapforms.com.au]  
**Sent:** Saturday, 24 August 2024 9:12:13 PM  
**To:** Planning Unit Administration  
**Subject:** Amend a Planning Permit Application

## Amend a Planning Permit

An 'Amend a Planning Permit Application' has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

**Name:** Michael Mathew

**Business trading name:** Total Corp Pty Ltd

**Email address**

**Postal address:** 3 Glen View Dr Traralgon 3844

**Mobile phone number:**

**Owners name:** Michael Mathew

**Owners email address:**

**Owners postal address:**

**Owner's mobile number:**

**Street number:** 34

**Street name:** Paynesville Road

**Town:** Paynesville

**Post code:** 3880

**Legal description:** Lot 1 on Plan of Subdivision 300790U PARENT TITLE Volume 09767 Folio 426  
Created by instrument PS300790U 26/03/1991

**Lot number:** 1

**Plan type:** Plan of subdivision

**Plan number:** 300790U

**Planning permit number to be amended:** 478/2021/P

**Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?:** No

**Will the proposal result in a breach of a registered covenant restriction or agreement?:** No

**Permit to be amended:** 478/2021/P

**Description of amendment - Describe the amendment being applied for (i.e. change to condition, change to development):** Increase in the number and relocation of the dwellings on the site, New proposed access to the site and removal of non-significant trees

**Estimated difference in cost of development as a result of the amendment. Note: You may be required to verify this estimate:** 200000

**Covenants/agreements:** [Plan of Subdivision.pdf](#), [Certificate of Title.pdf](#)

**Site plan - floor plan/elevations:** [Total Corp plans JULY 24.pdf](#)

**Planning report:** [Planning report & Clause 55- 34 Paynesville.pdf](#)

**1. Supporting information/reports:** [34Paynesvilleroad\\_Arboriculturalreport\\_2024.pdf](#)

**2. Supporting information/reports:** [NActive veg removal report 319\\_20240524\\_NBI.pdf](#)

**3. Supporting information/reports:** [TreeSummaryReport\\_34Paynesvilleroad.pdf](#)

**Who is the invoice to be made out to?:** Total Corp Pty Ltd, 3 Glen View Dr Traralgon 3844

**Declaration:** Yes

**Privacy Statement:** Yes

**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958** Page 1 of 3

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VOLUME 10009 FOLIO 520

Security no : 124108431318A  
Produced 17/08/2023 08:59 PM

**LAND DESCRIPTION**

Lot 1 on Plan of Subdivision 300790U.  
PARENT TITLE Volume 09767 Folio 426  
Created by instrument PS300790U 26/03/1991

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
TOTAL CORP PTY LTD  
AT949220G 15/01/2021

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE PS300790U FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 34 PAYNESVILLE ROAD PAYNESVILLE VIC 3880

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 17349J BDLEGAL  
Effective from 15/01/2021

DOCUMENT END





# Imaged Document Cover Sheet

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**PLAN OF SUBDIVISION**

STAGE NO. *LP use only*

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**EDITION 2 PS 3007900**

**Location of Land**

**Parish:** BAIRNSDALE  
**Township:** —  
**Section:** —  
**Crown Allotment:** 145 (PART)  
**Crown Portion:** —

**LTO Base Record:** PARISH 1  
**Title Reference:**

**Last Plan Reference:** LP 202536  
**Postal Address:** BAIRNSDALE-PAYNESVILLE ROAD, PAYNESVILLE  
 (at time of subdivision)

**AMG Co-ordinates** E 562 700 Zone: 55  
 (of approx. centre of land in plan) N 5804 500

**Council Certificate and Endorsement**

Council Name: SHIRE OF BAIRNSDALE Ref: 80-90-0009  
 1. This plan is certified under section 6 of the Subdivision Act 1988.  
 2. ~~This plan is certified under section 11(7) of the Subdivision Act 1988.~~  
~~Date of original certification under section 6 / /~~  
 3. ~~This is a statement of compliance issued under section 21 of the Subdivision Act 1988.~~  
**OPEN SPACE**  
 (i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made.  
 (ii) The requirement has been satisfied.  
 (iii) ~~The requirement is to be satisfied in Stage.....~~  
 Council delegate  
 Council seal  
 Date 12 / 4 / 1990  
 Re-certified under section 11(7) of the Subdivision Act 1988  
 Council Delegate  
 Council Seal  
 Date / /

**Vesting of Roads and/or Reserves**

Identifier	Council/Body/Person
RI	SHIRE OF BAIRNSDALE
RESERVE No. 1	SHIRE OF BAIRNSDALE

**Notations**

**Staging** This is/is not a staged subdivision Planning Permit No.

**Depth Limitation**

LOT 1 IS THE RESULT OF THIS SURVEY  
 BALANCE LAND 'C' IS BY DEDUCTION FROM TITLE

**Survey** This plan is/is not based on survey  
 This survey has been connected to permanent marks no(s)  
 In Proclaimed Survey Area No.

**Easement Information**

**Legend:** A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	DRAINAGE & SEWERAGE	2m	LP 136763 & LP 142745	LAND IN LP 136763 & LP 142745
E-2	DRAINAGE & SEWERAGE	SEE DIAG	LP 142745, LP 144653, LP 202536 & LP 146096	LAND IN LP 142745, LP 144653, LP 202536 & LP 146096
RI	WAY, DRAINAGE, SEWERAGE, ELECTRICITY AND TELEPHONE	20m	THIS PLAN	LAND IN THIS PLAN
E-3	DRAINAGE & SEWERAGE	2m	LP 144653 LP 146096 & LP 202536W	LAND IN LP 146096 & LP 202536W & LP 144653
E-4	DRAINAGE & SEWERAGE	SEE DIAG	LP 146096 & LP 202536	LAND IN LP 146096 & LP 202536W
E-5	DRAINAGE & SEWERAGE	SEE DIAG	LP 202536W	LAND IN LP 202536W

**LTO use only**

Statement of Compliance/Exemption Statement

Received   
 Date 22 / 3 / 91

**LTO use only**

PLAN REGISTERED  
 TIME  
 DATE 26 / 3 / '91  
*Ch. Galt*  
 Assistant Registrar of Titles

Sheet 1 of 2 Sheets

**CROWTHER & SADLER PTY. LTD.**  
 152 Macleod Street, P.O. Box 722,  
 BAIRNSDALE, 3875.  
 Phone: (051) 52 5011

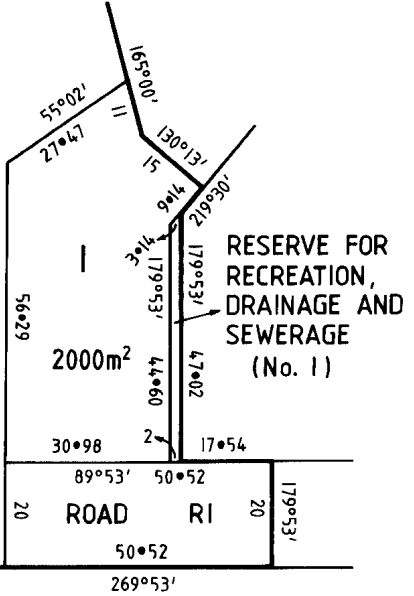
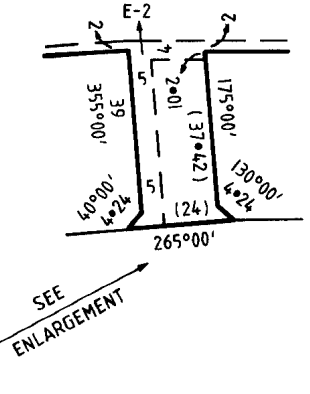
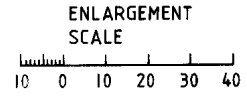
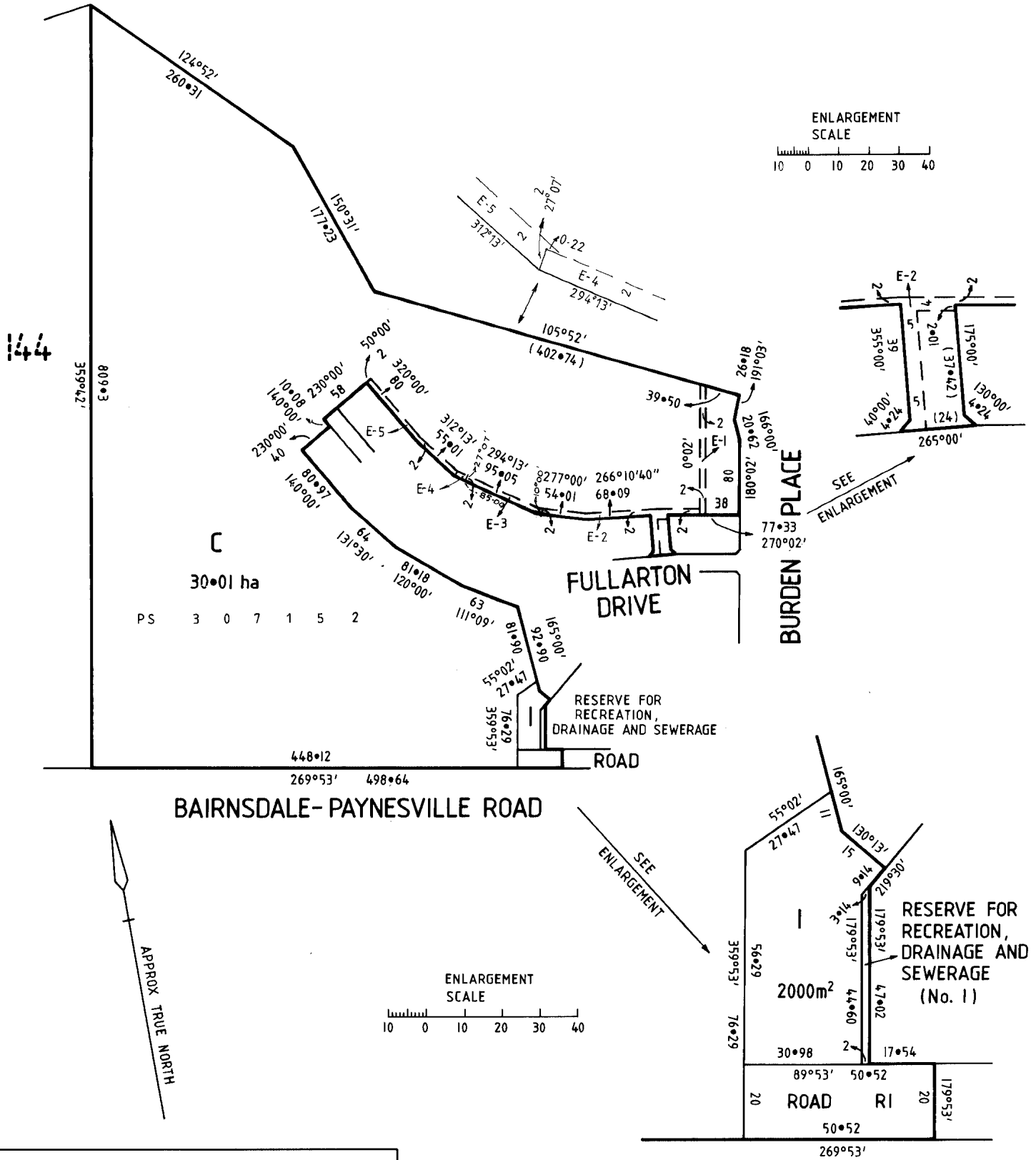
LICENSED SURVEYOR (PRINT) MICHAEL JOSEPH SADLER  
 SIGNATURE..... DATE / /  
 REF 6370 VERSION

Printed 15/10/2024  
 Page 6 of 88  
 Original sheet size A4

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**PLAN OF SUBDIVISION**

Stage No. \_\_\_\_\_ Plan Number  
**PS 300790U**



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 152 Macleod Street, P.O. Box 722,  
 BAIRNSDALE, 3875.  
 Phone: (051) 52 5011

Sheet 2 of 2 sheets

ORIGINAL SCALE	SCALE
SCALE SHEET SIZE 1:4000 A3	40 0 80 160 LENGTHS ARE IN METRES

LICENSED SURVEYOR (PRINT).....MICHAEL JOSEPH SADLER.....  
 SIGNATURE..... DATE / /  
 REF 6370 VERSION

Printed 15/10/2024  
 COUNCIL DELEGATE SIGNATURE  
 Original sheet size A3





## **Planning Report & Clause 55 Assessment**

Development of Land for Nine Dwellings

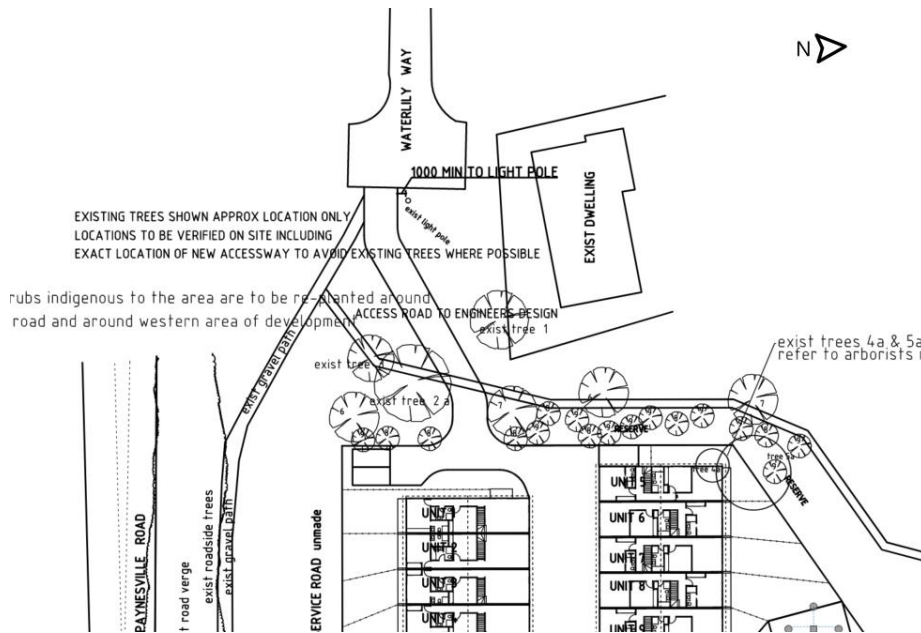
**34 Paynesville Road, Paynesville**

July 2024

## Subject Site & Surrounds

The subject site is an irregular shaped parcel of approximately 2000 square metres located to the north of Paynesville Road in Paynesville. The site has a frontage of 31 metres. The site is legally referred to as Lot 1 on Plan of Subdivision 300790U and has no easements running through the site.

Access to the site will be via Waterlily Way through a new road constructed through the existing reserve to the west creating a suitable access onto the site. The proposal necessitates the removal of non-significant trees, as outlined in the arborist report, to facilitate entry into the site.

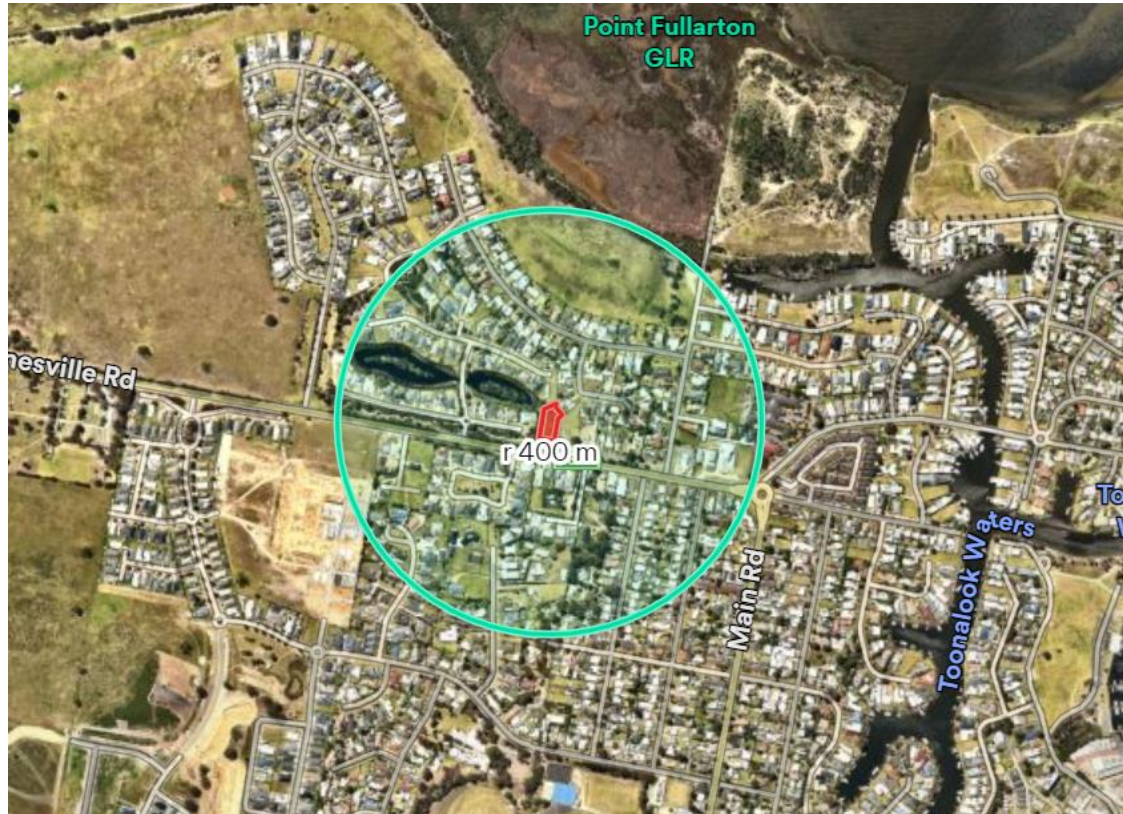


The site is zoned General Residential Zone (GRZ1) and has the Vegetation Protection Overlay (VPO1) & the Desing and Development Overlay (DDO14).





The surrounding area is primarily residential developments. The vast majority of allotments range from 500 to 1000 square metres in area accommodating single detached dwelling developments. The subject site shares a boundary to an existing reserve to west and east.



## Proposal

The Planning Permit Application seeks to develop nine double storey dwellings on the subject site.

Each dwelling to include:

Ground Floor: Single garage, porch, laundry, toilet, kitchen, lounge, verandah and a backyard.

First Floor: Living room, two bedrooms and two bathrooms.

The development will be landscaped with canopy trees and scrubs to blend with the existing streetscape.

The proposal will have one carparking space for each dwelling and four visitor parking spaces.

The colours for the proposed development will be muted and will respect the existing neighbourhood character.

## Planning Policy Framework

The following policies are relevant to this proposal:

### Clause 02.03-1 (Settlement and housing)

#### Growth area towns

Bairnsdale is the gateway to East Gippsland and is the largest town in the Shire providing major commercial, retail, educational and public-sector services. Paynesville, located approximately 16 kilometres south of Bairnsdale, has grown rapidly in recent times, as a 'dormitory' town and a retirement area. It is a service centre supporting the local community as well as the neighbouring settlements of Eagle Point and Raymond Island. Lakes Entrance is a major tourist and retirement destination, which has a strong commercial fishing industry and significant land for future development.

Council's strategic directions for the growth area towns are:

- Encouraging population growth and development on fully serviced residential land in the growth area towns.
- Encouraging a range of housing types and styles including higher density dwellings in town centres.
- Encouraging development of East Gippsland as a retirement destination.
- Reinforcing Bairnsdale as the main commercial, retail and service centre for East Gippsland.
- Expanding Paynesville as a residential and business centre focused around boating, tourism and healthy living, with access to walking and riding trails, passive and active recreation.
- Enhancing Lakes Entrance's role as the largest coastal town in the Gippsland area, with a focus on tourism, commercial fishing and recreational boating activities.

**Response:** *The proposed development facilitates population growth and development by providing housing diversity to support the growing population in Paynesville.*

### Clause 15.01-2S (Building Design)

#### Objective

To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.



## Strategies

Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale, massing and energy performance of new development.

Ensure development responds and contributes to the strategic and cultural context of its location.

Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.

Improve the energy performance of buildings through siting and design measures that encourage:

- Passive design responses that minimise the need for heating, cooling and lighting.
- On-site renewable energy generation and storage technology.
- Use of low embodied energy materials.

Restrict the provision of reticulated natural gas in new dwelling development.

Ensure the layout and design of development supports resource recovery, including separation, storage and collection of waste, mixed recycling, glass, organics and e-waste.

Encourage use of recycled and reusable materials in building construction and undertake adaptive reuse of buildings, where practical.

Encourage water efficiency and the use of rainwater, stormwater and recycled water.

Minimise stormwater discharge through site layout and landscaping measures that support on-site infiltration and stormwater reuse.

Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.

Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.

Ensure development is designed to protect and enhance valued landmarks, views and vistas.

Ensure development considers and responds to transport movement networks and provides safe access and egress for pedestrians, cyclists and vehicles.

Encourage development to retain existing vegetation.

Ensure development provides landscaping that responds to its site context, enhances the built form, creates safe and attractive spaces and supports cooling and greening of urban areas.

**Response:** *The proposed development will enhance and contribute positively to the local context, enrich the public realm, and support environmentally sustainable development. The development will have a 7-star energy rating, providing an appropriate basis for consideration of height, scale, and massing. It will be setback from neighbouring properties, minimizing impact on them. The proposal also encourages water efficiency and aims to minimize stormwater discharge.*

### **Clause 15.01-5S (Neighbourhood Character)**

#### Objective

To recognise, support and protect neighbourhood character, cultural identity, and sense of place.

#### Strategies

Support development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character.

Ensure the preferred neighbourhood character is consistent with medium and higher density housing outcomes in areas identified for increased housing.

Ensure development responds to its context and reinforces a sense of place and the valued features and characteristics of the local environment and place by respecting the:

Pattern of local urban structure and subdivision.

Underlying natural landscape character and significant vegetation.

Neighbourhood character values and built form that reflect community identity.

**Response:** *The proposed development will respect the existing neighborhood character and will not dominate the existing streetscape by incorporating a low-pitched roof with muted colours and materials. Additionally, the proposal will include canopy trees to further screen the development.*

### **Clause 16.01-1S (Housing Supply)**

#### Objective

To facilitate well-located, integrated and diverse housing that meets community needs.

#### Strategies

Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported

accommodation for people with disability, rooming houses, student accommodation and social housing.

Increase the proportion of housing in designated locations in established urban areas (including under-utilised urban land) and reduce the share of new dwellings in greenfield, fringe and dispersed development areas.

Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.

Identify opportunities for increased residential densities to help consolidate urban areas.

Facilitate diverse housing that offers choice and meets changing household needs by widening housing diversity through a mix of housing types.

Encourage the development of well-designed housing that:

- Provides a high level of internal and external amenity.
- Incorporates universal design and adaptable internal dwelling design.

Support opportunities for a range of income groups to choose housing in well-serviced locations.

Plan for growth areas to provide for a mix of housing types through a variety of lot sizes, including higher housing densities in and around activity centres.

**Response:** *The proposed development will facilitate and allow for diverse housing options for Paynesville. The development will be of high quality and will inclusive to everyone including people with disability. The development provides for increased density in a well-established residential area.*

#### **Clause 16.01-2S (Housing affordability)**

##### Objective

To deliver more affordable housing closer to jobs, transport and services.

##### Strategies

Improve housing affordability by:

- Ensuring land supply continues to be sufficient to meet demand.
- Increasing choice in housing type, tenure and cost to meet the needs of households as they move through life cycle changes and to support diverse communities.
- Promoting good housing and urban design to minimise negative environmental impacts and keep costs down for residents and the wider community.

- Encouraging a significant proportion of new development to be affordable for households on very low to moderate incomes.

Increase the supply of well-located affordable housing by:

- Facilitating a mix of private, affordable and social housing in suburbs, activity centres and urban renewal precincts.
- Ensuring the redevelopment and renewal of public housing stock better meets community needs.

Facilitate the delivery of social housing by identifying surplus government land suitable for housing.

**Response:** *By increasing density and offering a variety of housing types beyond the existing single-family homes, this proposal can create a more affordable and inclusive neighborhood for low- to moderate-income households.*

### **Clause 16.01-2L (Location of residential development)**

#### Strategies

Facilitate development in residential areas near the Mitchell River and the Mitchell River Backwater that complement the environmental and landscape characteristics of the active floodplain.

Encourage residential development in locations that minimises negative impacts on the Shire's urban waterways.

**Response:** *The proposed development will not have any negative impact on the Shire's urban waterways.*

## **Zones & Overlays**

Pursuant to Clause 32.08-7 **General Residential Zone (GRZ1)**, A permit is required to Construct two or more dwellings on a lot. The proposal includes the development of nine dwellings on the lot and must meet the requirements of Clause 55.

Pursuant to Clause 42.02-2 **Vegetation Protection Overlay (VPO1)**, A permit is required to remove, destroy or lop any vegetation specified in a schedule to this overlay. Refer to the arborist report.

Pursuant to Clause 43.02-2 **Design and Development Overlay (DDO14)**, A permit is required to construct a building or construct or carry out works. However, the development will have a maximum height of 7m and a permit is not required under the schedule as the development has a height less than 7.5m from the natural ground level.

## Relevant Particular Provisions

- Clause 52.06 (Car Parking).
- Clause 55 (Two or more dwellings).

## Garden Area Requirements

Required Garden Area	Garden Area Proposed
35% for lot above 650 sqm	35.47% (709.5 sqm)

## Clause 55 Assessment

Objective	Assessment
Neighbourhood Character (Clause 55.02-1; B1)	<p><b>Complies</b></p> <p>The materials, form, orientation, height and siting of the new dwellings promote a contemporary development which seeks to carefully respond to a broad range of design considerations in accordance with the standards of clause 55. The proposal will have minimal detrimental impact on the surrounding neighbourhood as the view to the proposed development will be screened appropriately by planting ornamental and canopy trees on the boundaries. The western boundary of the site has existing trees which would also screen the development.</p> <p>The local policy framework for Paynesville also supports a variety of housing types and style and a proposal of this nature will add to the special character of Paynesville for the years to come.</p>
Residential Policy (Clause 55.02-2; B2)	<p><b>Complies</b></p> <p>The proposal is consistent with the relevant housing policies from the Planning policy framework.</p> <p><u>Clause 16.01-1S Housing Supply:</u> The proposal caters to the objectives of the policy by increasing the housing supply as it facilitates diverse and higher density with high level of internal and external amenity.</p> <p><u>Clause 16.01-2S Housing Affordability:</u> The increased density of the proposal would allow to cater to households on low to moderate income groups. The proposal will</p>

	incorporate high building design standards in accordance with clause 55.
Dwelling diversity (Clause 55.02-3; B3)	<b>Complies</b> The standard is not applicable as the development proposes nine dwellings.
Infrastructure (Clause 55.02-4; B4)	<b>Complies</b> Not aware of any servicing difficulties in this area for sewerage. It is proposed that the site storm water will be discharged to the existing legal point of discharge.
Integration with the street (Clause 55.02-5; B5)	<b>Complies</b> A 5m driveway is proposed on the southwest boundary of the site. No fences proposed to the frontage of the site. Wrought iron fences proposed to complement the existing public open space to the north and west of the development.
Street Setback (Clause 55.03-1; B6)	<b>Complies</b> Appropriate setbacks provided from the street as the units are more than 4meters away from the street.
Building Height (Clause 55.03-2; B7)	<b>Complies</b> The overall maximum height of the proposed dwelling is 7m.
Site Coverage (Clause 55.03-3; B8)	<b>Complies</b> The site an area of 2000sqm and site coverage of 43% which is compliant with the requirement of the standard.
Permeability and stormwater management (Clause 55.03-4; B9)	<b>Complies</b> Required: 20% Proposed: 27.7%
Energy efficiency (Clause 55.03-5; B10)	<b>Complies</b> The new dwellings will have a minimum 7-star energy rating. The private open space of the dwellings will be able to achieve maximum solar energy and the dwellings will not affect the energy efficient of existing dwellings or small second dwellings on adjoining lots. All units have north faced windows which is fully compliant to this standard.
Open space (Clause 55.03-6; B11)	<b>Not Applicable</b> No public or communal open space is provided on site.
Safety (Clause 55.03-7; B12)	<b>Complies</b> Dwellings facing the driveway with senor lights providing good lighting, visibility and surveillance of car parks and internal accessways.
Landscaping (Clause 55.03-8; B13)	<b>Complies</b> Proposed planting comprises a variety of indigenous vegetation which will encourage local birdlife to the site.
Access (Clause 55.03-9; B14)	<b>Complies</b> The proposed site will have a 5m driveway and complies to the standard.
Parking Location	<b>Complies</b>

(Clause 55.03-10; B15)	Covered and secured garages provided for each unit with easy access.
Side and rear setbacks (Clause 55.04-1; B17)	<b>Complies</b> The proposal has adequate side and rear setbacks.
Walls on boundaries (Clause 55.04-2; B18)	<b>Not Applicable</b> No wall on boundary proposed.
Daylight to existing windows (Clause 55.04-3; B19)	<b>Complies</b> Habitable windows of existing dwellings are well setback and will receive abundant daylight.
North-facing windows (Clause 55.04-4; B20)	<b>Complies</b> North-facing windows of the existing dwellings are well setback.
Overshadowing Open Space (Clause 55.04-5; B21)	<b>Complies</b> The dwellings do not significantly overshadow the existing secluded private open space and the existing secluded private open space will receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.
Overlooking (Clause 55.04-6; B22)	<b>Complies</b> No overlooking into existing secluded private open space and habitable room windows.
Internal views (Clause 55.04-7; B23)	<b>Complies</b> The first floor windows of the dwellings are located to prevent overlooking of more than 50 per cent of the secluded private open space of a lower level dwelling. Please refer to Page TP5 of the architecture to indicate compliance to the Internal views objective.
Noise impacts (Clause 55.04-8; B24)	<b>Complies</b> Double glazing windows provided to limit noise impacts.
Accessibility (Clause 55.05-1; B25)	<b>Complies</b> The dwellings can be accessed directly into the ground floor through the garage.
Dwelling entry (Clause 55.05-2; B26)	<b>Complies</b> Entrance to the dwellings are clearly identifiable from the driveways and provide a sense of personal address by each dwelling having a porch at the entrance.
Daylight to new windows (Clause 55.05-3; B27)	<b>Complies</b> Windows of the proposed dwellings face the secluded private open space and driveway providing adequate daylight.
Private Open Space (Clause 55.05-4; B28)	<b>Complies</b> All dwellings have Secluded private open spaces greater than 40 sqm.
Solar access to Open Space (Clause 55.05-5; B29)	<b>Complies</b> All the dwelling will receive appropriate sunlight enhancing the useability and amenity of the secluded private open space. Please refer to shadow diagrams.
Storage (Clause 55.05-6; B30)	<b>Complies</b> Provision for convenient access to at least 6 cubic metres of accessible, secure storage space available for each dwelling.

Design Detail (Clause 55.06-1; B31)	<b>Complies</b> The proposed dwellings will have a low-pitched roof form with proportionate windows, well-articulated facades and porches.
Front fences (Clause 55.06-2; B32)	<b>Complies</b> No front fence proposed
Common Property (Clause 55.06-3; B33)	<b>Complies</b> The bins, letter box and other site facilities to be located conveniently on the subject site.
Site Services (Clause 55.06-4; B34)	<b>Complies</b> The bins, letter box and other site facilities to be located conveniently on the subject site.

## Clause 55 Assessment

Design standard	Response
<b>Car Parking Space Requirement</b> Table 1 sets out the number of car parking spaces required for a use. <b>Dwelling</b> <ul style="list-style-type: none"> <li>1 to each one or two bedroom dwelling,</li> <li>1 for visitors to every 5 dwellings for developments of 5 or more dwellings.</li> </ul>	<b>Complies</b> The proposed dwellings have two bedrooms and one car parking space within the dwelling. Four visitor car parking spaces provided for nine dwellings.
<b>Design standard 1: Accessways</b>	<b>Complies</b> Accessways are 3000mm wide. The common driveway in the development will have a minimum width of at least 4200m. The car parked in the last space of a dead-end accessway will be able to exit in forward direction with one manoeuvre.
<b>Design standard 2: Car parking spaces</b>	<b>Complies</b> Garages will have dimensions of 6020mm x 3570mm.
<b>Design standard 3: Gradients</b>	<b>Complies</b> No ramps steeper than 1:10 proposed within the frontage.
<b>Design standard 4: Mechanical parking</b>	<b>Complies</b> No mechanical parking proposed part of the proposed development.
<b>Design standard 5: Urban design</b>	<b>Complies</b> The garages and the accessways do not visually dominate the public space.



<b>Design standard 6: Safety</b>	<b>Complies</b> Garages and driveways are clearly visible and identifiable. Direct pedestrian access is provided between each garage and dwelling.
<b>Design standard 7: Landscaping</b>	<b>Complies</b> Trees and garden beds are provided along the accessway.

## Conclusion

This proposal presents nine new dwellings at 34 Paynesville Road, Paynesville which strikes a balance between improving living standards and housing density while respecting the neighbourhood character of the area. It reflects a high standard of design and has been reached through careful consideration of adjoining land and the nature of the proposed site. It is generally in accordance with the relevant objectives of the Planning Policy Frameworks. The proposed development meets the objectives and Standards as set out in Clause 55 of the Scheme, as well as Clause 52.06 pertaining to car parking requirements. The proposal is considered appropriate as it meets all the relevant policies under the East Gippsland Planning scheme and request that a planning permit be granted for the development.



179 Old Orbost Road, Swan Reach 3909

ABN: 301 597 457 67

# Arboricultural Report

34 Paynesville Road, Paynesville	
Total Corp	

**Prepared by**

Nathan Williamson

Certificate 5 Arborist

ISA TRAQ Qualified

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## Executive Summary

In May 2024, Roots 2 Leaves Tree Services conducted a Arboricultural Report at 34 Paynesville Road, Paynesville (End of Waterlily Road).

All trees have been assessed using the Tree Risk Assessment Qualified system (TRAQ) to identify risk, Visual inspections have been conducted using VTA.

In total 5 Trees have been assessed and recorded, 3 of which are council trees along the nature strip where an access road is proposed to be installed. 2 other trees have also been identified within the property. Only trees that are considered self-sown, Native species has been identified, all other trees regardless of being native are planted species.

Trees identified but not recorded include Genus consist of wattle, Corymbia, Casuarina, melaleuca, eucalyptus, Boobiella. These trees are located in the area of the proposed road, and some will require removal, Mapping and planting stakes show evidence that these trees have been planted and there for do not trigger a planning permit for the removal of Native vegetation.

The 5 remaining trees of which 3 are recommended to be removed will require planning permits and offsets – The NVRM can be found at end of this report.

## Introduction

### Brief

- This report has been commissioned by Total Corp – Michael has requested Roots 2 Leaves Tree Services conduct a tree survey on the trees located within the property and along the Nature Strip that may or may not affect permit applications, development and design.
- This report has been prepared by Roots 2 Leaves Tree Services Pty Ltd and authorized by its employee, Nathan Williamson, Consulting Arborist.
- A Site inspection was carried out on the 23 of May by Nathan Williamson. Data entry has been provided by Nathan williamson of Roots 2 Leaves Tree Services.
- Trees are a lovely part of our environment and without them we would lose out on many great advantages including shade, aesthetics, and most importantly our existence. However, it is necessary that trees in key areas, such as high traffic areas, are assessed for health, structure, and any associated risks. Trees on development sites where possible should be incorporated into designs.

### Scope of works

Complete Full arboriculture report on trees with limitations, the following items were used as a guide to identify which trees are assessed and included in the report.

- Native Trees
- Remanent Trees
- Significant trees
- High ecological value trees
- Trees impacted by development.

## Methodology

Onsite meeting and data collection

23/05/2024

Conduct final report

24/05/2024

Inspection method

The site inspection was carried out unaccompanied during sunny and still conditions. The trees were inspected from the ground and observations were made of the growing environment and surrounding area. The following inspection tools were used.

- Wood density and extent of decay was determined using a mallet where appropriate.
- This assessment has been conducted using the (VTA) method for assessment Level 1. This method has been slightly modified to include a walk around the trunk.
- The content of this report has been prepared based on the arborist's experience within the tree industry. Data Collected was stored using tree plotter and Arrow by Global 4D for GPS positioning.
- All information that has been given to the arborist has been included in this report.

## Discussion

The inspection carried out at 34 Paynesville Road, Paynesville has been undertaken due to the proposal of an access road being installed at the end of Waterlily Road. The access road to be installed travels through the end of a court where a few trees have been identified.

### Site Map

- The following site map shows all trees inspected that triggered a scope requirement for assessment.
- The site map shows tree species on the right-hand side of the image and each tree number.
- The legend outlines tree species and there representative color on the map.
- Yellow squared areas are locations of planted species that consist of Genus consist of wattle, Corymbia, Casuarina, melaleuca, eucalyptus, Boobiella.
- Circles around tree location represents Tree Protection Zone.
- Driveway Square represents proposed driveway location.

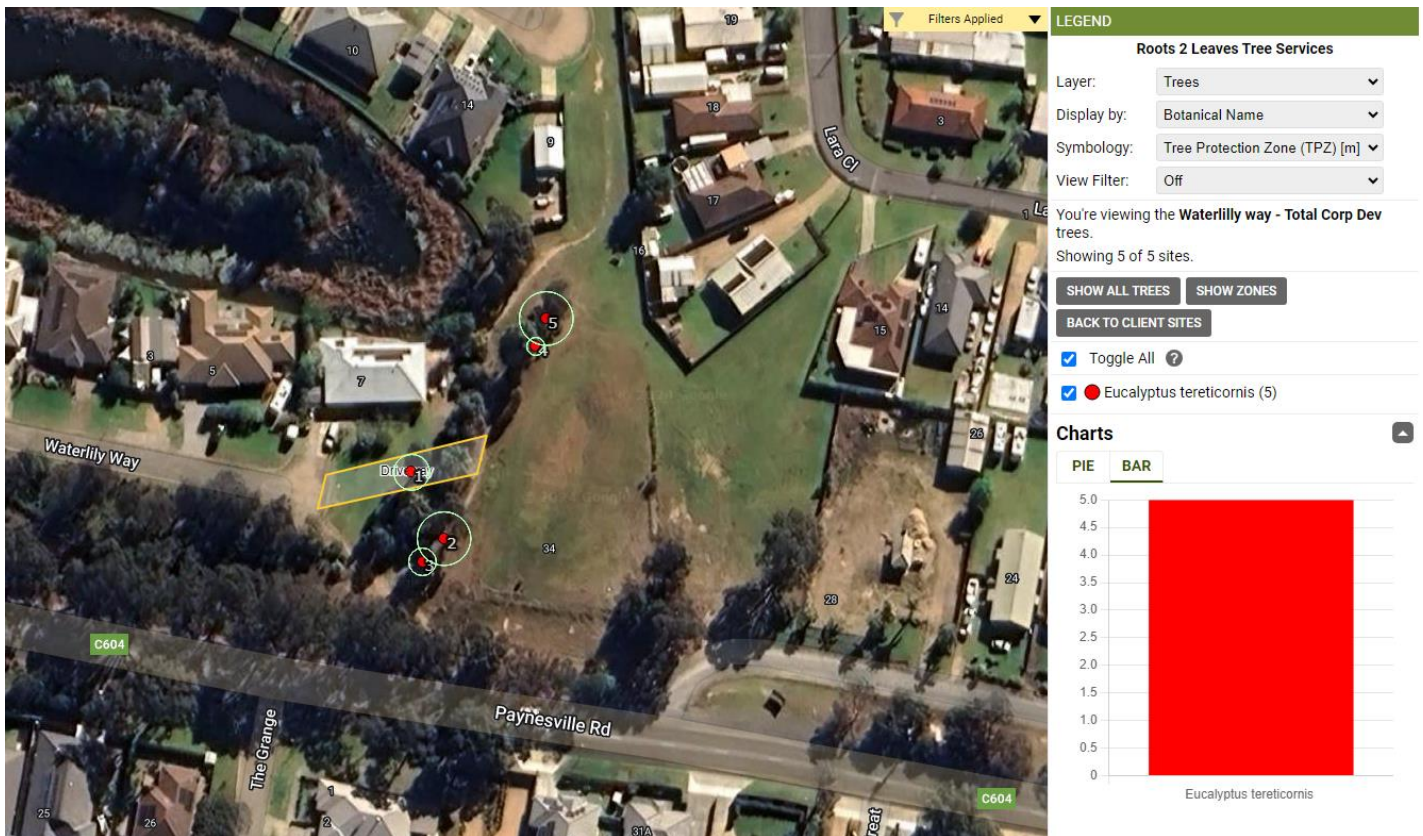


image 1 – Site map – Sub meter Accuracy.



**Planted species.**

When identifying whether or not a tree is planted there are a few key items that are checked, the following dot points outlines those key items.

- Non-Native Species.
- Non-Endemic Species.
- Straight row plantings
- Garden bed installed plants.
- Mass plantings.
- Tree Species (Some may be native but variations)
- Tree Locations.
- Tree Staking

The Following imagery supplied by Total Corp from EGSC outlines several larger trees and a planted area as identified by the mulched zone and planted rows, the site visit also identified tree staking around most of these trees. This is a clear indication that most of the trees are planted species and can be removed without requiring a permit under the VPO overlay however a working on road reserve permit may still be required.

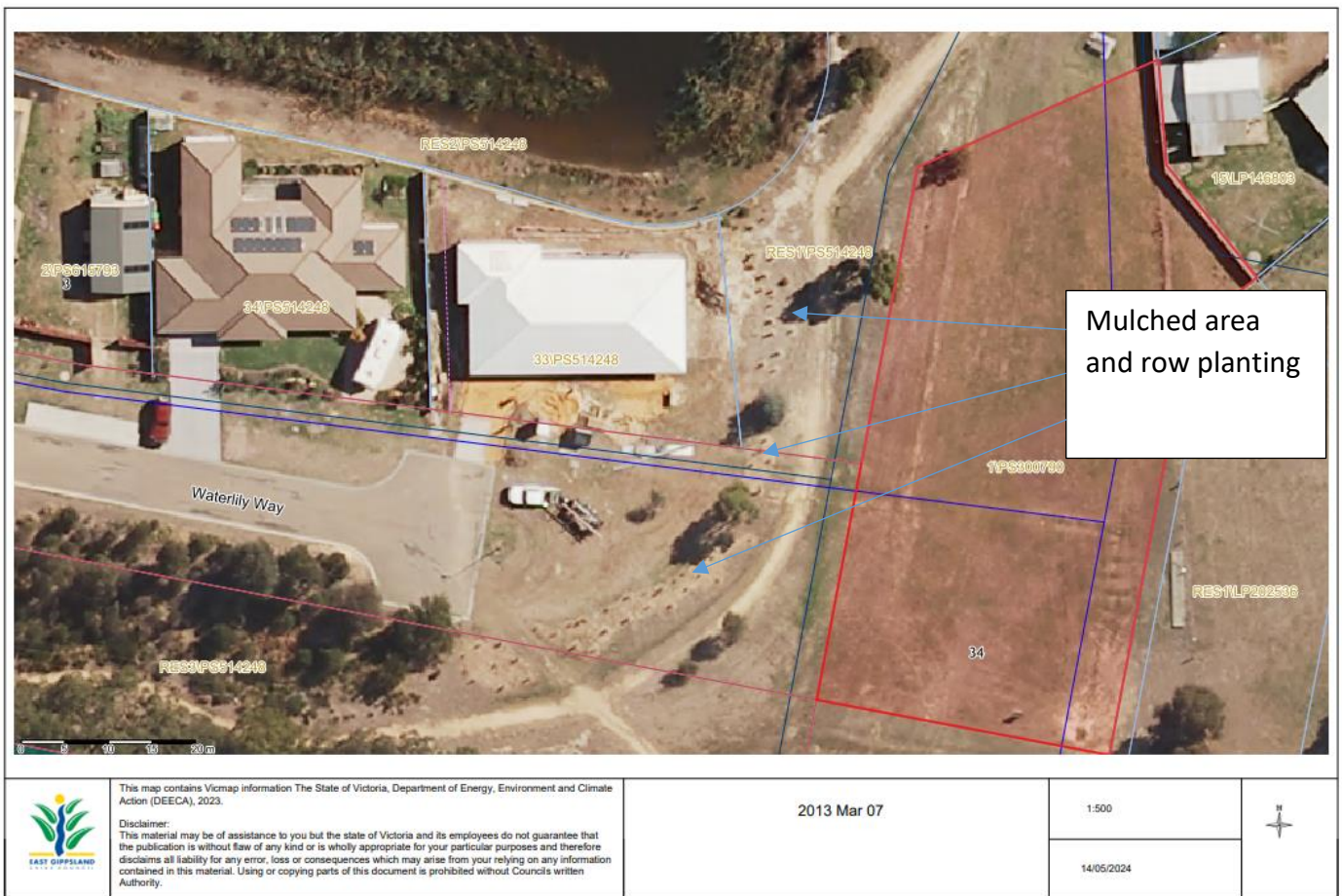




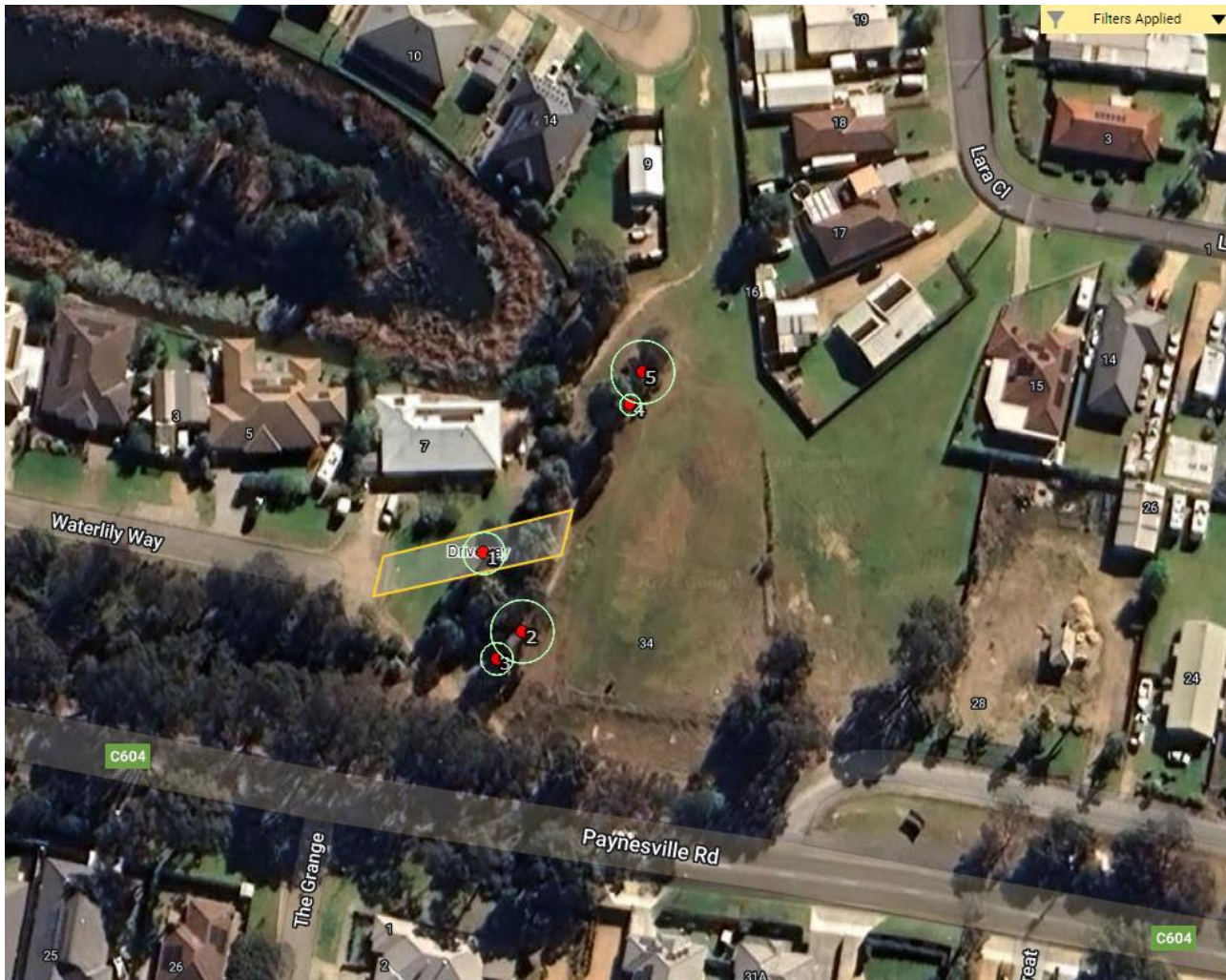


Figure 1 – Tree Staking observed around majority of the planted trees



### Trees Requiring removal.

The site observation and driveway location proposal supplied by Michael shows that the driveway will directly impact tree 1, trees 2 and 3 are not directly impacted by the driveway construction how ever if the driveway was to be moved its likely that it will then impact tree 2 and an updated NVRM will need to be completed.



Trees 4 & 5 are advised to be removed, Tree 4 is of poor structure and value to the property and likely to be impacted by proposed works, tree 5 appears to have been removed once before and Co dominate stems have grown back leaving potential for tree failure in the future. These have been included in the NVRM.

Of the small planted species, multiple will require removal once the final design plan has been completed for the driveway location, it would be advised to allow at least 2 meters clearance on either side of the driveway in order to protect the remaining trees from being impacted.

Development site protection measures must be followed when working around trees being retained.

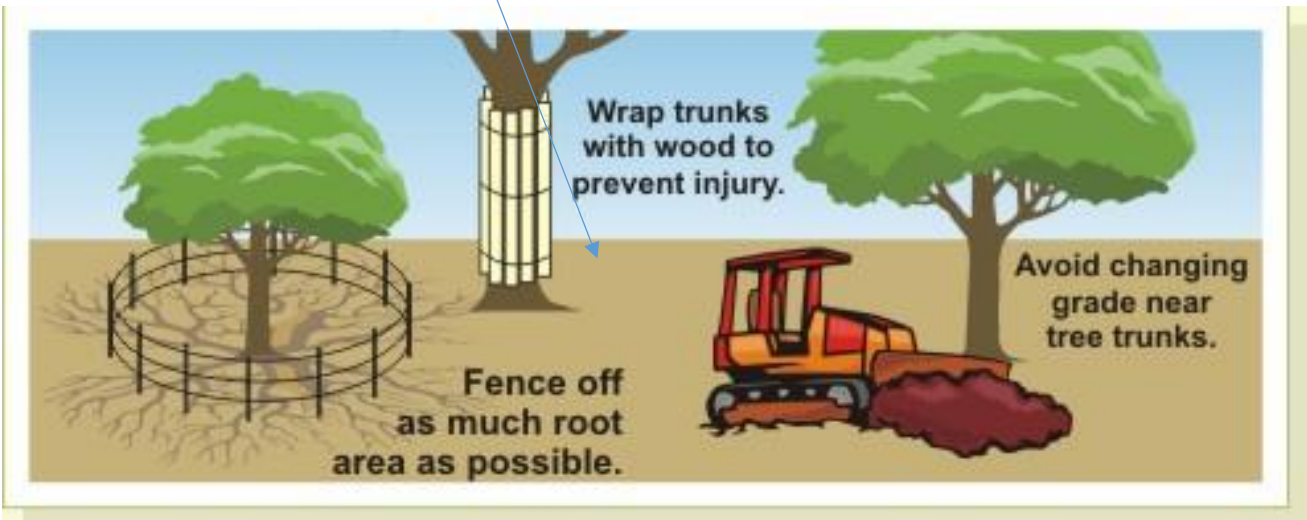
### Development Protection Measures

For all trees within the development area or outside of the development area that are to be retained, the following protection measures must be adhered to.

- No go Zones must be incorporated into the site to prevent machinery, personnel, or people into areas of tree protection, this can be done by use of temp fencing or bunting.
- No compaction, excavation or chemical use should be conducted within the TPZ of any tree that is not to be removed without arborist guidance and onsite consultation. The minimum qualification required for this guidance is AQF Consulting Arborist
- It is advised that the development should Arrange for a Project Arborist to be available for any works that will be conducted within the TPZ or SRZ of any tree or when potential to impact any tree may occur.
- Examples of signage and mapping can be found below.



Tree Protection Fencing.  
Trees on development site protection



## Native Vegetation Removal Offsets

The NVRM outlines the total amount of general Habitat Units required to offset the 3 trees (1,4 & 5).

There are multiple companies that can be contacted to get the offset dollar value however we do recommend using Vegetation Link as they have been easy to deal with in the past.

The total offset amount is as follows. The Entire NVRM can be found as a separate attachment.

### Offset requirements if approval is granted

Any approval granted will include a condition to secure an offset, before the removal of native vegetation, that meets the following requirements:

<b>General Offset amount <sup>1</sup></b>	<b>0.014 General Habitat Units</b>
Minimum strategic biodiversity value score <sup>2</sup>	0.192
Large Trees	0
Vicinity	East Gippsland CMA or EAST GIPPSLAND SHIRE LGA



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**Tree Data Field**

Planted species	Tree Id	Common Name	Botanical Name	Health	Structure	Tree Age	Canopy Spread	DBH [cm]	Tree Height	Tree Protection	Structural Root	Useful Life Ex	Retention Value
No	1	Forest Red Gum	Eucalyptus tereticornis	Fair	Fair	Semi Mature	5	33	8	3.96	2.23	21-40 years	High
No	2	Forest Red Gum	Eucalyptus tereticornis	Fair	Poor	Semi Mature	7	49.52	12	5.94	2.63	11-20 years	Medium
No	3	Forest Red Gum	Eucalyptus tereticornis	Fair	Poor	Semi Mature	4	25.5	5	3.06	2.05	11-20 years	Medium
No	4	Forest Red Gum	Eucalyptus tereticornis	Fair	Very Poor	Semi Mature	3	15	6	2	1.91	6-10 years	Low
No	5	Forest Red Gum	Eucalyptus tereticornis	Fair	Poor	Semi Mature	7	49.68	8	5.96	2.51	11-20 years	Medium

## TPZ Map



## Conclusion

All data that was within the scope has been included in this report excluding the tree summary report, a Tree Summary Report will be generated separate to this report.

The NVRM has also been attached separate due to attachment issues.

All other trees are considered planted and do not require a permit for removal.

Offsets and planning permits are required for trees 1, 4 & 5.

## References

Australian Standards 4970 – 2009 Protection of trees on development sites

Australian Standards 4373 – 2007 Pruning of amenity trees

Costermans, L. 2008. Native Trees and Shrubs of South-Eastern Australia

Council Arboriculture Victoria, Arboricultural Reporting Guidelines

<https://www.rhs.org.uk/>

[http://mdvaden.com/advice-hazard\\_trees.shtml](http://mdvaden.com/advice-hazard_trees.shtml)

<http://hort.ufl.edu/woody/rcs-over-extended-limb1.shtml>

Mattheck, C. & Breloer, H. 1994. The Body Language of Trees

Hayes, E. 2002. Tree Risk Assessments & Tree Mechanics.

[www.safetrees.com/risk\\_ArbNews\\_2002\\_12.pdf](http://www.safetrees.com/risk_ArbNews_2002_12.pdf) (Ref 20/4/16)

Barrell, J. 2001 and 2010. Tree AZ [www.treeaz.com/downloads/TreeAZ-Detailed-guidance-on-its-use.pdf](http://www.treeaz.com/downloads/TreeAZ-Detailed-guidance-on-its-use.pdf) (Ref 6/4/17)

## Appendices 1

### Testimony

I am a Qualified Consulting Arborists with over 8 years in the industry directly and many more years spent learning about trees and arboriculture, I have Studied both my Cert 3 in Arboriculture and Cert 5 in Arboriculture at Wodonga institute of Tafe, under the instruction of some reputable industry leaders including Rod Hall.

As an arborist in the Field, I have extensive knowledge of trees and multiple situations and locations including remote/ Forest settings to Cityscapes/urban settings.

## Appendices 2

### Limitations of Tree Risk Assessments

It is important for the tree owner or manager to know and understand that all trees pose some degree of risk from failure or other conditions. The information and recommendations within this report have been derived from the level of tree risk assessment identified in this report, using the information and practices outlined in the International Society of Arboriculture's Best Management Practices for Tree Risk Assessment, as well as the information available at the time of the inspection. However, the overall risk rating, the mitigation recommendations, or any other conclusions do not preclude the possibility of failure from undetected conditions, weather events, or other acts of man or nature.

Trees can unpredictably fail even if no defects or other conditions are present. It is the responsibility of the tree owner or manager to schedule repeat or advanced assessments, determine actions, and implement follow up recommendations, monitoring and/or mitigation. Roots 2 Leaves Tree Services can make no warranty or guarantee whatsoever regarding the safety of any tree, trees, or parts of trees, regardless of the level of tree risk assessment provided, the risk rating, or the residual risk rating after mitigation.

This information is solely for the use of the tree owner and manager to assist in the decision-making process regarding the management of their tree or trees. Tree risk assessments are simply tools which should be used in conjunction with the owner or tree manager's knowledge, other information and observations related to the specific tree or trees discussed, and sound decision making.

### Glossary

Tree risk Assessment has a unique set of terms with specific meanings. Definitions of all specific terms may be found in the International Society of Arboriculture's Best Management Practice for Tree Risk Assessment. Definitions of some of these terms used in this report are as follows:

*The likelihood of failure* may be categorized as imminent meaning that failure has started or could occur at any time; probable meaning that failure may be expected under normal



weather conditions within the next 3 years; possible meaning that failure could occur but is unlikely under normal weather conditions during that time frame; and improbable meaning that failure is not likely under normal weather conditions and may not occur in severe weather conditions during that time frame.

*The likelihood of the failed tree part impacting a target* may be categorized as high meaning that a failed tree or tree part will most likely impact a target; medium meaning that a failed tree or tree part may or may not impact a target with equal likelihood; low meaning that the failed tree or tree part is not likely to impact a target; and very low meaning that the chance of a failed tree or tree part impacting the target is remote.

The Likelihood of Failure and Impact is defined by Table 1, the Likelihood Matrix:

Likelihood of Failure	Likelihood of Impacting Target			
	Very Low	Low	Medium	High
Imminent	Unlikely	Somewhat likely	Likely	Very likely
Probable	Unlikely	Unlikely	Somewhat likely	Likely
Possible	Unlikely	Unlikely	Unlikely	Somewhat likely
Improbable	Unlikely	Unlikely	Unlikely	Unlikely

*The consequences of a known target being struck* may be categorized as severe meaning that impact could involve serious personal injury or death, damage to high value property, or disruption to important activities; significant meaning that the impact may involve personal injury, property damage of moderate to high value, or considerable disruption; minor meaning that impact could cause low to moderate property damage, small disruptions to traffic or a communication utility, or minor injury; and negligible meaning that impact may involve low value property damage, disruption that can be replaced or repaired, and do not involve personal injury.

*Targets* are people, property, or activities that could be injured, damaged, or disrupted by a tree failure

*Levels of assessment*

- 1) *Limited visual assessments* are conducted to identify obvious defects.
- 2) *Basic assessments* are visual inspections done by walking around the tree looking at the site, buttress roots, trunk, and branches. It may include the use of simple tools to gain information about the tree or defects.
- 3) *Advanced assessments* are performed to provide detailed information about specific tree parts, defects, targets of site conditions. Drilling to detect decay is an advanced assessment technique.

*Tree Risk Ratings* are terms used to communicate the level of risk rating. They are defined in Table 2, the Risk Matrix, as a combination of Likelihood and Consequences:

Likelihood of Failure & Impact	Consequences of Tree Failure			
	Negligible	Minor	Significant	Severe
Very likely	Low	Moderate	High	Extreme
Likely	Low	Moderate	High	High
Somewhat likely	Low	Low	Moderate	Moderate
Unlikely	Low	Low	Low	Low

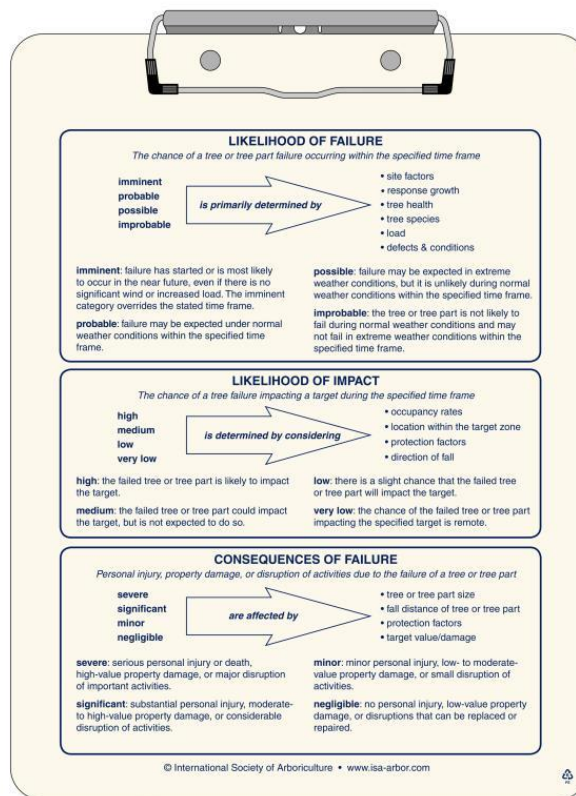
Overall tree risk rating is the highest individual risk identified for the tree. The residual risk is the level of risk the tree should pose after the recommended mitigation. Mitigation priority 1 is defined as mitigation activities that should be scheduled prior to the next growing season. Mitigation Priority 2 can be scheduled on the next routine maintenance cycle.

Information and likelihoods are observed and depending report type written, this image shows the likelihoods and site factors etc observed on site.

### Visual Tree Assessment (VTA)

VTA is a visual tree inspection method which, guided by the principles of biomechanics and based on the “Axiom of Constant Stress” (Mattheck, 1993), considers, and complies with the current jurisdiction (Breloer and Mattheck, 1992). The VTA procedure is composed of three steps:

1. Visual inspection for diagnostic symptoms of defects and visual inspection of the tree’s vitality. No further steps are taken when there are no indications that the tree presents a significant hazard.
2. Thorough examination of any defects which have been indicated in step 1.
3. Measurement and analysis of defects which turn out to be critical. Evaluation of the tree’s residual strength.



## Appendices 3

Arboriculture Descriptors (from Table 1) Taken from Cameron McGregor May 2018

### a) Tree Name

Provides botanical name (genus, species, variety, and cultivar) according to accepted international taxonomic classification, and common name

### b) Tree Type

Describes the general geographical origin of the species and its type e.g., deciduous or evergreen.

Category	Description
Native Evergreen	evergreen Occurs within Australia and typically retains its leaves year-round Exotic deciduous
Exotic deciduous	Occurs outside Australia and typically sheds its leaves during Winter

### c) Height & Width

Indicates the height and width of individual trees. Measurement is expressed in meters. Height was determined using a Clinometer and width was paced.

### d) DBH

Diameter at Breast Height (1.4 meters from ground level). Measurements were taken using a diameter tape and is expressed in millimetres.

### e) Age

Relates to the physiological stage of the tree's life cycle.

Category	Description
Semi-mature (SM)	Tree rapidly increasing in size and yet to achieve expected size
Mature (M)	Tree at expected Size in situation, with reduced incremental growth

### f) Health

Assesses various attributes to describe the overall health and vigour of the tree

Descriptor	Vigour/extension growth	Decline symptoms/deadwood	Foliage density, size, colour	Pest & disease
Good	Above typical	None or Minimal	Better than typical	None or minimal

Fair	Typical	Typical or expected	Typical	Typical, within damage threshold
Fair to Poor	Below Typical	More than typical	Exhibiting deficiencies	Exceeds damage thresholds
Poor	Minimal	Excessive and large amount/size	Exhibiting severe deficiencies	Extreme and contributing decline

g) Structure

Assesses principal components of tree structure

Descriptor	Root plate and lower stem	Trunk	Primary Branch support	Outer Crown and roots
Good	No damage, disease or decay, obvious basal flare, stable in ground	No damage, disease, or decay, well tapered	Well formed, attached, spaced, and tapered	No disease, decay, or structural defect
Fair	Minor damage or decay, basal flare present	Minor damage or decay	Typically formed, spaced, and tapered	Minor damage, disease, or decay; minor branch end weight or over extension
Fair to Poor	Moderate damage or decay; minimal basal flare	Moderate damage or decay, approaching recognised thresholds	Weak decayed or with acute branch attachments, previous branch failure evidence	Moderate damage, disease, or decay fungal fruiting bodies present; major branch end weight or over extension
Poor	Major damage, disease, or decay; fungal fruiting bodies present. Excessive lean placing pressure on root plate	Major damage, disease or decay exceeds recognised thresholds, fungal fruiting bodies present. Acute lean, stump resprout.	Decayed cavities or has acute branch attachments with included bark; excessive compression flaring, failure likely	Major damage, disease, or decay; fungal fruiting bodies present, major branch end weight or over extension

## Appendices 4

Occupancy rates in target zones (Taken directly from TRAQ 2013)

The amount of time one or more targets is within the target zone- its occupancy rate- is a primary component of assessing the likelihood of a target being impacted. Not all targets may be always present in the target zone. Occupancy rates can be classified as constant, frequent, occasional, or rare. Static targets, represent a constant occupancy, while movable and mobile targets can be in any of the following four classifications:

### Constant Occupancy

Constant occupancy indicates that a target is present at nearly all times, 24 hours a day, 7 days a week. Examples include, buildings, constant steady stream of traffic, constant steady stream of pedestrians. Each person or vehicle may occupy the target area for a very short time but, in aggregate, they represent constant occupancy.

### Frequent Occupancy

If the target zone is occupied for a large portion of a day or week, the use is classified as frequent. Suburban streets that receive moderate volumes of traffic, car parks for facilities that are open during the daytime only, footpaths in shopping areas, and busy delivery areas are examples of frequent occupancy.

### Occasional Occupancy

Occasionally used sites can be defined as those that are occupied by people or targets infrequently or irregularly. Examples include country roads, low use footpaths, and low use sections of parks. In some instances, a seldom-used area may be heavily used for short periods. Examples might include cemeteries, a field surrounded by trees that is used for special event parking, or trails and access roads used only when an event is under way. The client or tree manager may define whether the risk assessment is to consider low- or high use times or both.

### Rare Occupancy

This category is for sites that are not commonly used by people. Backcountry trails, fenced areas that are well away from more actively used parts of a site, remote parts of an estate, and gardens through which neither workers nor visitors typically pass would all have a rare occupancy. The client or tree manager may decide, as a matter of policy, that the risk in these areas is so low that risk assessments is not justified.

## Assumptions and Limiting Conditions

- No responsibility is assumed by Roots 2 Leaves Tree Services Pty Ltd for matters legal in nature related to this manual. Any legal or technical description given is assumed to be correct.
- All care has been taken to obtain reasonable and relevant information from qualified and reliable sources in the preparation of this document.
- Visual material within this manuals such as sketches, diagrams, photographs, etc. are not necessarily to scale and should not be construed as engineered data for construction.
- This document has been prepared utilising accepted contemporary standards of tree care and maintenance, evaluation and assessment procedures, diagnostic and reporting techniques and sound arboriculture practices as recommended by the sources listed in the 'References' section.



# 34 Paynesville road, tree summary report

## Roots 2 Leaves Tree Services

May 24, 2024 |  
Total Tree Count: 5

### Filters Applied

**Client Site Filter:**  
(Client Site=Waterlilly way - Total Corp Dev)



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**Forest Red Gum Tree ID #1**  
7 Waterlily Way

Tree Details	
Botanical Name:	Eucalyptus tereticornis
Common Name:	Forest Red Gum
Genus:	Myrtaceae
Health:	Fair
Structure:	Fair
Status:	Alive
Number of Stems (Multi Calc):	1
DBH [cm]:	33
Tree Height (Estimated) [m]:	8
Canopy Spread [m]:	5
Tree Protection Zone (TPZ) [m]:	3.96
Structural Root Zone (SRZ) [m]:	2.23
Useful Life Expectancy:	21-40 years
Risk Rating:	
Priority of Works:	
Recommended Works:	
Last Modified:	23/05/2024
Notes:	

Tree Location	
Address:	7 Waterlily Way
City:	Paynesville
Longitude:	147.715750
Latitude:	-37.906317

[Photos](#) [Street View](#) [Map View](#)



image.jpg  
23/05/2024

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**Forest Red Gum Tree ID #2**  
 34 Paynesville Road

Tree Details	
Botanical Name:	Eucalyptus tereticornis
Common Name:	Forest Red Gum
Genus:	Myrtaceae
Health:	Fair
Structure:	Poor
Status:	Alive
Number of Stems (Multi Calc):	Multiple Stems
DBH [cm]:	49.52
Tree Height (Estimated) [m]:	12
Canopy Spread [m]:	7
Tree Protection Zone (TPZ) [m]:	5.94
Structural Root Zone (SRZ) [m]:	2.63
Useful Life Expectancy:	11-20 years
Risk Rating:	
Priority of Works:	
Recommended Works:	
Last Modified:	23/05/2024
Notes:	

Tree Location	
Address:	34 Paynesville Road
City:	Paynesville
Longitude:	147.715833
Latitude:	-37.906449

[Photos](#)
[Street View](#)
[Map View](#)



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**Forest Red Gum Tree ID #3**  
 34 Paynesville Road

Tree Details	
Botanical Name:	Eucalyptus tereticornis
Common Name:	Forest Red Gum
Genus:	Myrtaceae
Health:	Fair
Structure:	Poor
Status:	Alive
Number of Stems (Multi Calc):	Multiple Stems
DBH [cm]:	25.5
Tree Height (Estimated) [m]:	5
Canopy Spread [m]:	4
Tree Protection Zone (TPZ) [m]:	3.06
Structural Root Zone (SRZ) [m]:	2.05
Useful Life Expectancy:	11-20 years
Risk Rating:	
Priority of Works:	
Recommended Works:	
Last Modified:	23/05/2024
Notes:	

Tree Location	
Address:	34 Paynesville Road
City:	Paynesville
Longitude:	147.715778
Latitude:	-37.906496

[Photos](#)
[Street View](#)
[Map View](#)



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23/05/2024



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**Forest Red Gum Tree ID #4**

16 Lara Close

Tree Details	
Botanical Name:	Eucalyptus tereticornis
Common Name:	Forest Red Gum
Genus:	Myrtaceae
Health:	Fair
Structure:	Very Poor
Status:	Alive
Number of Stems (Multi Calc):	1
DBH [cm]:	15
Tree Height (Estimated) [m]:	6
Canopy Spread [m]:	3
Tree Protection Zone (TPZ) [m]:	2
Structural Root Zone (SRZ) [m]:	1.91
Useful Life Expectancy:	6-10 years
Risk Rating:	
Priority of Works:	
Recommended Works:	
Last Modified:	23/05/2024
Notes:	

**Tree Location**

Address:	16 Lara Close
City:	Paynesville
Longitude:	147.716064
Latitude:	-37.906067

**Photos**   [Street View](#)   [Map View](#)



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23/05/2024



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**Forest Red Gum Tree ID #5**

16 Lara Close

Tree Details	
Botanical Name:	Eucalyptus tereticornis
Common Name:	Forest Red Gum
Genus:	Myrtaceae
Health:	Fair
Structure:	Poor
Status:	Alive
Number of Stems (Multi Calc):	Multiple Stems
DBH [cm]:	49.68
Tree Height (Estimated) [m]:	8
Canopy Spread [m]:	7
Tree Protection Zone (TPZ) [m]:	5.96
Structural Root Zone (SRZ) [m]:	2.51
Useful Life Expectancy:	11-20 years
Risk Rating:	
Priority of Works:	
Recommended Works:	
Last Modified:	23/05/2024
Notes:	

**Tree Location**

Address:	16 Lara Close
City:	Paynesville
Longitude:	147.716089
Latitude:	-37.906012

**Photos** [Street View](#) [Map View](#)



image.jpg  
23/05/2024

# Native Vegetation Removal Report

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NVRR ID: 319\_20240524\_NBI

This report provides information to support an application to remove, destroy or lop native vegetation in accordance with the [Guidelines for the removal, destruction or lopping of native vegetation](#) (the Guidelines). This report **is not an assessment by DEECA** of the proposed native vegetation removal. Offset requirements have been calculated using modelled condition scores.

## Report details

**Date created:** 24/05/2024

**Local Government Area:** EAST GIPPSLAND SHIRE

**Registered Aboriginal Party:** Gunaikurnai

**Coordinates:** 147.71574, -37.90634

**Address:** 34 PAYNESVILLE ROAD PAYNESVILLE 3880

## Summary of native vegetation to be removed

Assessment pathway	Basic Assessment Pathway		
<b>Location category</b>	<b>Location 1</b> The native vegetation extent map indicates that this area is not typically characterised as supporting native vegetation. It does not meet the criteria to be classified as Location Category 2 or 3. The removal of less than 0.5 hectares of native vegetation in this area will not require a Species Offset.		
<b>Total extent including past and proposed removal (ha)</b> <i>Includes endangered EVCs (ha): 0.076</i>	<b>0.076</b>	<i>Extent of past removal (ha)</i>	0
		<i>Extent of proposed removal - Patches (ha)</i>	0.000
		<i>Extent of proposed removal - Scattered Trees (ha)</i>	0.076
<b>No. Large Trees proposed to be removed</b>	<b>0</b>	<i>No. Large Patch Trees</i>	0
		<i>No. Large Scattered Trees</i>	0
<b>No. Small Scattered Trees</b>	<b>3</b>		

## Offset requirements if approval is granted

Any approval granted will include a condition to secure an offset, before the removal of native vegetation, that meets the following requirements:

General Offset amount <sup>1</sup>	0.014 General Habitat Units
Minimum strategic biodiversity value score <sup>2</sup>	0.192
Large Trees	0
Vicinity	East Gippsland CMA or EAST GIPPSLAND SHIRE LGA

NB: values within tables in this document may not add to the totals shown above due to rounding

The availability of third-party offset credits can be checked using the Native Vegetation Credit Register (NVCR) Search Tool - <https://nvcr.delwp.vic.gov.au>

1. The General Offset amount required is the sum of all General Habitat Units in Appendix 1.

2. Minimum strategic biodiversity value score is 80 per cent of the weighted average score across habitat zones where a General Offset is required.

## Application requirements

Applications to remove, destroy or lop native vegetation must include all the below information. If an appropriate response has not been provided the application is not complete.

### Application Requirement 1 - Native vegetation removal information

If the native vegetation removal is mapped correctly, the information presented in this Native Vegetation Removal Report addresses Application Requirement 1.

### Application Requirement 2 - Topographical and land information

This statement describes the topographical and land features in the vicinity of the proposed works, including the location and extent of any ridges, hilltops, wetlands and waterways, slopes of more than 20% gradient, low-lying areas, saline discharge areas or areas of erosion.

Land is relatively flat with a near by 1m deep drain/Walkway/Bike access track

### Application Requirement 3 - Photographs of the native vegetation to be removed

Application Requirement 3 is not addressed in this Native Vegetation Removal Report. All applications must include recent, timestamped photos of each Patch, Large Patch Tree and Scattered Tree which has been mapped in this report.

### Application Requirement 4 - Past removal

If past removal has been considered correctly, the information presented in this Native Vegetation Removal Report addresses Application Requirement 4.

### Application Requirement 5 - Avoid and minimise statement

This statement describes what has been done to avoid and minimise impacts on native vegetation and associated biodiversity values.

Driveway access has been designed in order to impact fewest amount of trees possible.  
B & C have been advised to be removed due to their poor structure and potential failure

### Application Requirement 6 - Property Vegetation Plan

This requirement only applies if an approved Property Vegetation Plan (PVP) applies to the property  
Does a PVP apply to the proposal?

No

### Application Requirement 7 - Defendable space statement

Where the removal of native vegetation is to create defendable space, this statement:



- Describes the bushfire threat; and
- Describes how other bushfire risk mitigation measures were considered to reduce the amount of native vegetation proposed for removal (this can also be part of the avoid and minimise statement).

This statement is not required if, the proposed defensible space is within the Bushfire Management Overlay (BMO), and in accordance with the 'Exemption to create defensible space for a dwelling under Clause 44.06 of local planning schemes' in Clause 52.12-5.

Bush fire threat would be considered low due to the size of the trees and also due to being in a built up area.

### **Application Requirement 8 - Native Vegetation Precinct Plan**

This requirement is only applicable if you are removing native vegetation from within an area covered by a Native Vegetation Precinct Plan (NVPP), and the proposed removal is not identified as 'to be removed' within the NVPP.

Does an NVPP apply to the proposal?

No

### **Application Requirement 9 - Offset statement**

This statement demonstrates that an offset is available and describes how the required offset will be secured. The Applicant's Guide provides information relating to this requirement.

A third Party company with be contact once the NVRM and permits are applied for

## Next steps

Applications to remove, destroy or lop native vegetation must address all the application requirements specified in the Guidelines. If you wish to remove the mapped native vegetation you are required to apply for approval from the responsible authority (e.g. local Council). This Native vegetation removal report must be submitted with your application and meets most of the application requirements. The following requirements need to be addressed, as applicable.

### **Application Requirement 3 - Photographs of the native vegetation to be removed**

Recent, dated photographs of the native vegetation to be removed **must be provided** with the application. All photographs must be clear, show whether the vegetation is a Patch of native vegetation, Patch Tree or Scattered Tree, and identify any Large Trees. If the area of native vegetation to be removed is large, provide photos that are indicative of the native vegetation.

Ensure photographs are attached to the application. If appropriate photographs have not been provided the application is not complete.

### **Application Requirement 6 - Property Vegetation Plan**

If a PVP is applicable, it must be provided with the application.

## Appendix 1: Description of native vegetation to be removed

General Habitat Units for each zone (Patch, Scattered Tree or Patch Tree) are calculated by the following equation in accordance with the Guidelines.

**General Habitat Units = extent without overlap x condition score x general landscape factor x 1.5, where the general landscape factor = 0.5 + (strategic biodiversity value score/2)**

The General Offset amount required is the sum of all General Habitat Units per zone.



### Native vegetation to be removed

Information provided by or on behalf of the applicant			Information calculated by NVR Map							
Zone	Type	DBH (cm)	EVC code (modelled)	Bioregional conservation status	Large Tree(s)	Condition score (modelled)	Polygon extent (ha)	Extent without overlap (ha)	SBV score	General Habitat Units
A	Scattered Tree	33	GipP0055	Endangered	-	0.200	0.031	0.031	0.240	0.006
B	Scattered Tree	15	GipP0055	Endangered	-	0.200	0.031	0.022	0.240	0.004
C	Scattered Tree	49	GipP0055	Endangered	-	0.200	0.031	0.022	0.240	0.004

## Appendix 2: Images of mapped native vegetation

### 1. Property in context



-  Proposed Removal
-  Property Boundaries



200 m



**2. Aerial photograph showing mapped native vegetation**



□ Proposed Removal



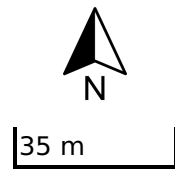
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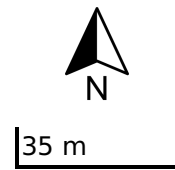
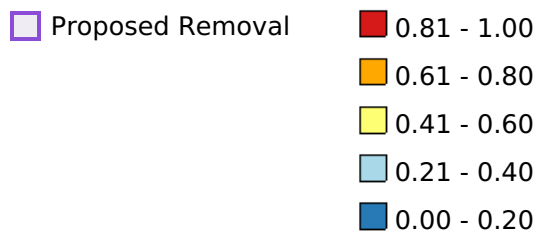
### 3. Location Risk Map



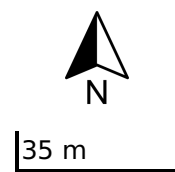
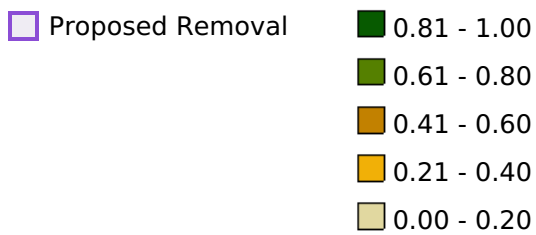
- Proposed Removal
- Location 1
- Location 2
- Location 3



#### 4. Strategic Biodiversity Value Score Map



### 5. Condition Score Map

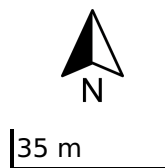




### 6. Endangered EVCs



- Proposed Removal
- Endangered 1750 Ecological Vegetation Classes



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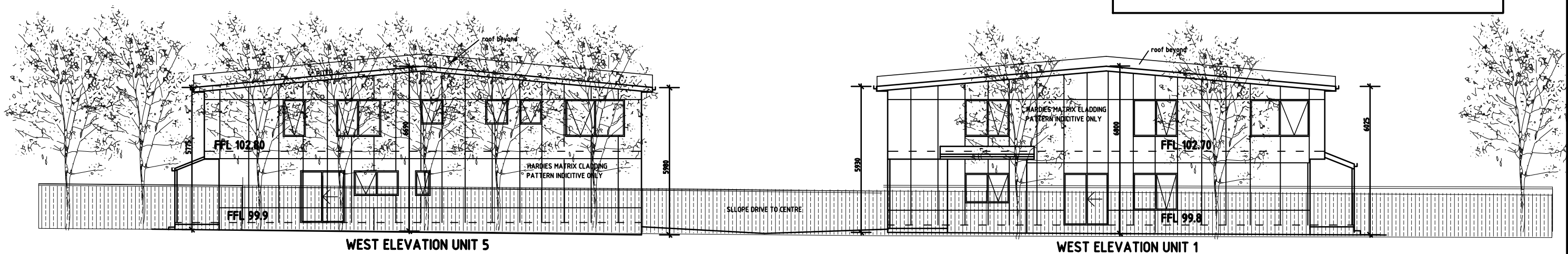
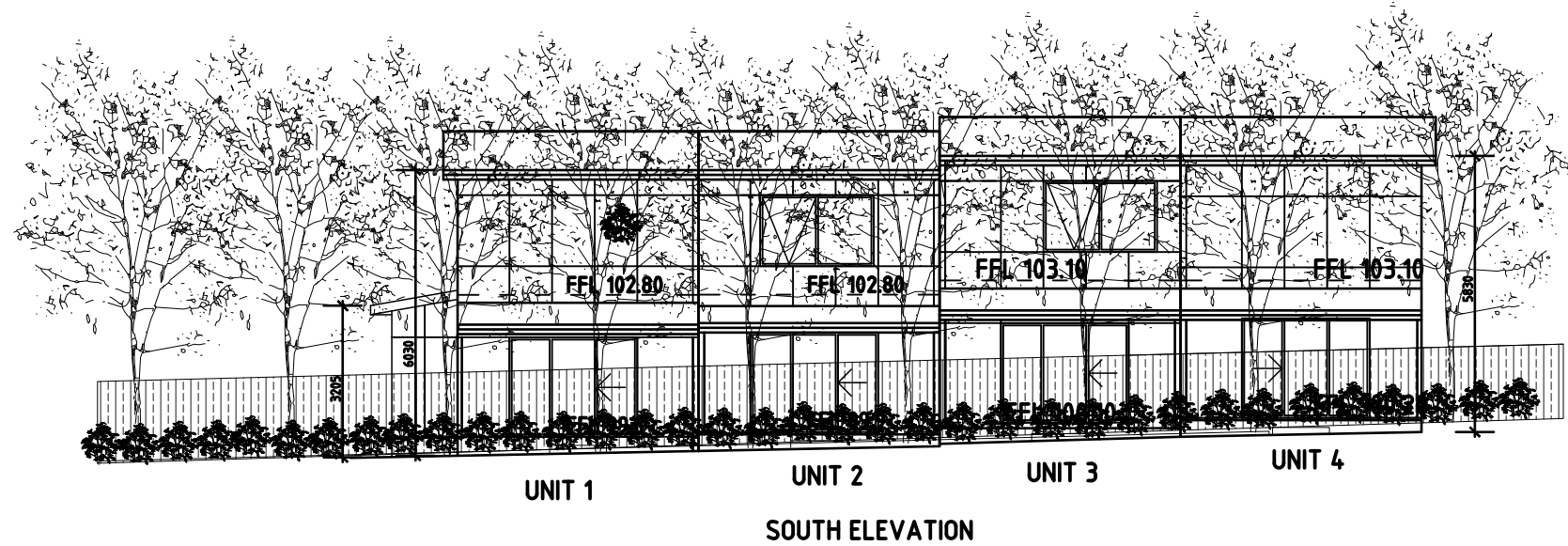


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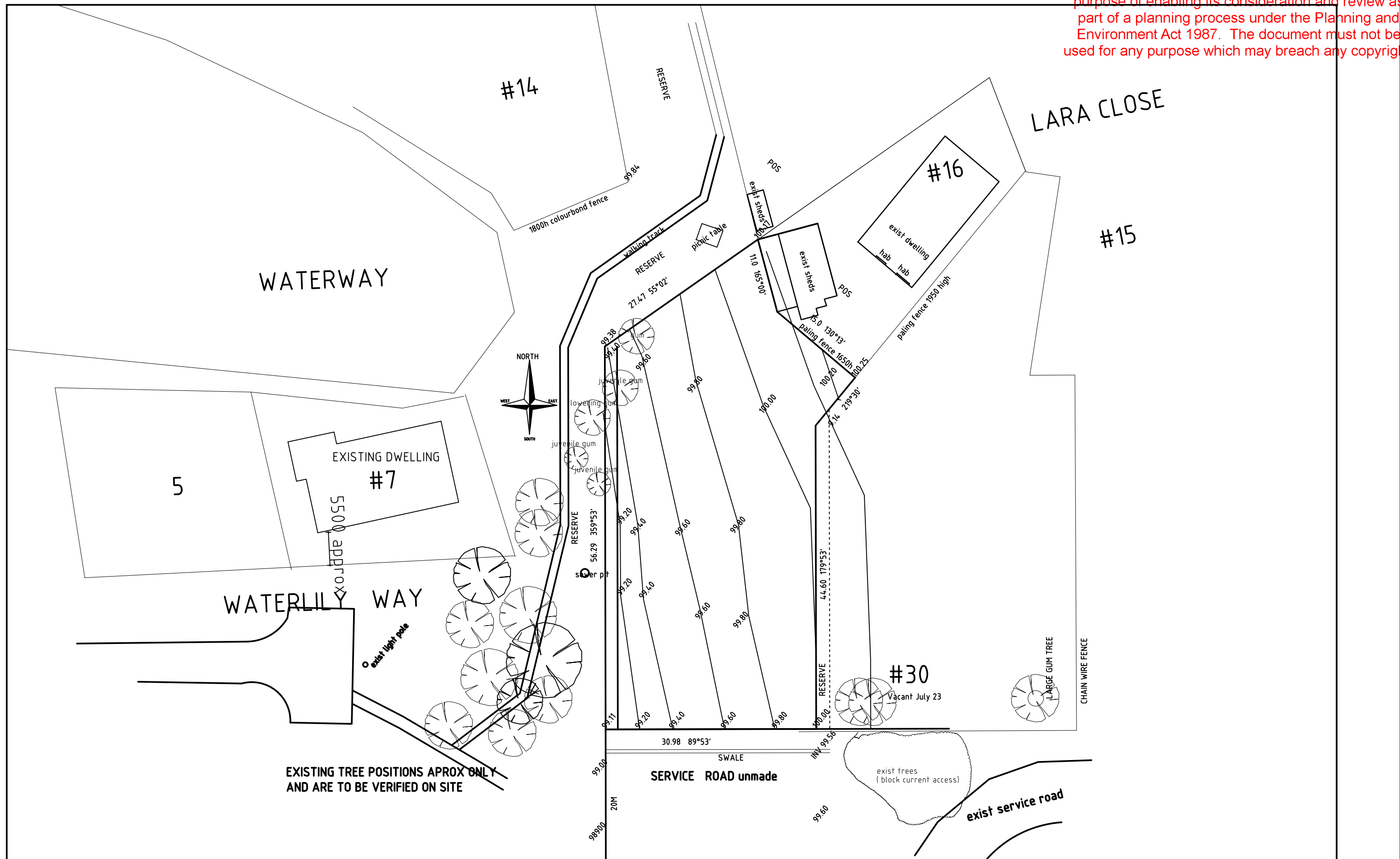
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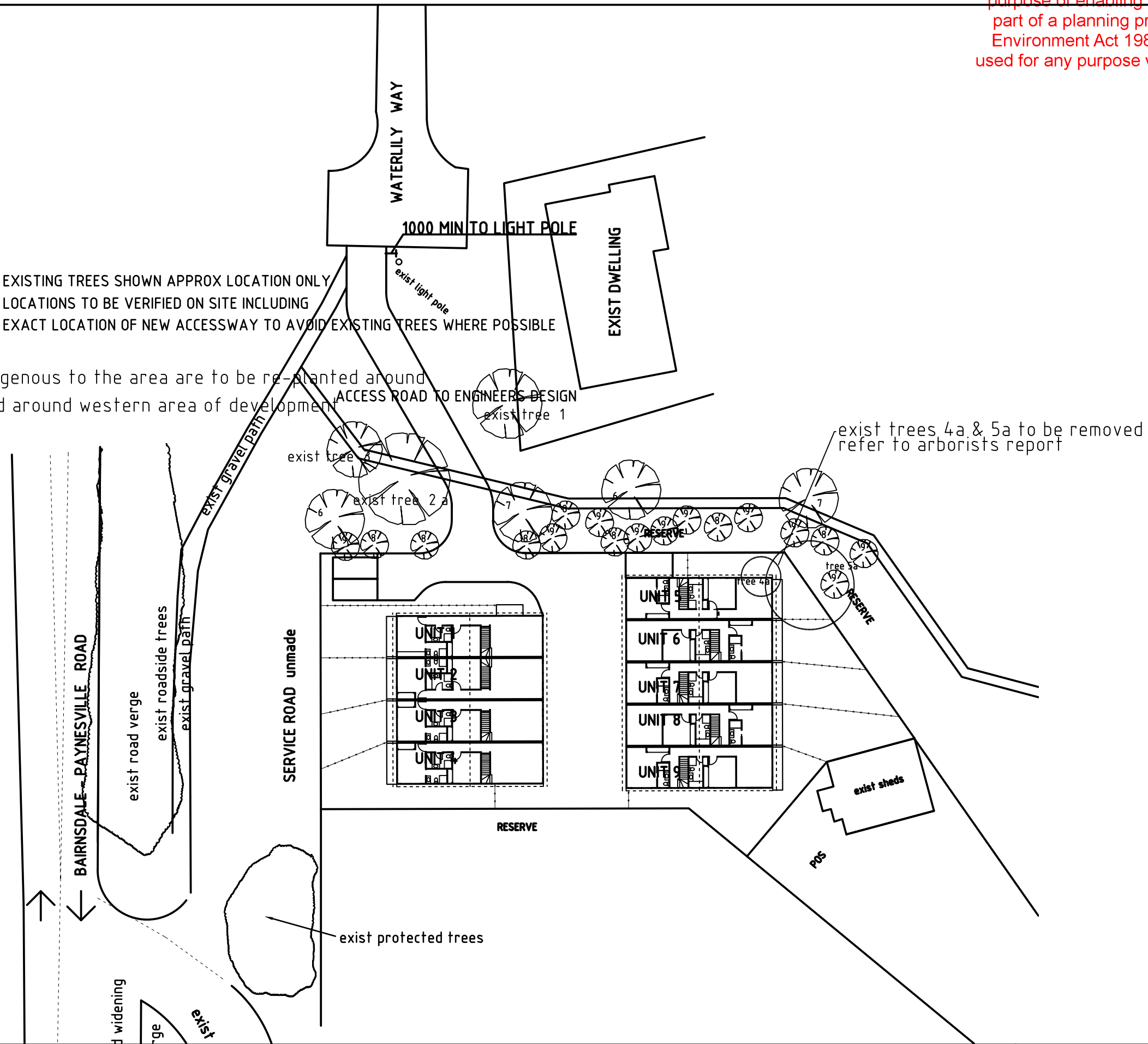
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LOCATIONS TO BE VERIFIED ON SITE INCLUDING  
EXACT LOCATION OF NEW ACCESSWAY TO AVOID EXISTING TREES WHERE POSSIBLE

Native trees and shrubs indigenous to the area are to be re-planted around the proposed access road and around western area of development



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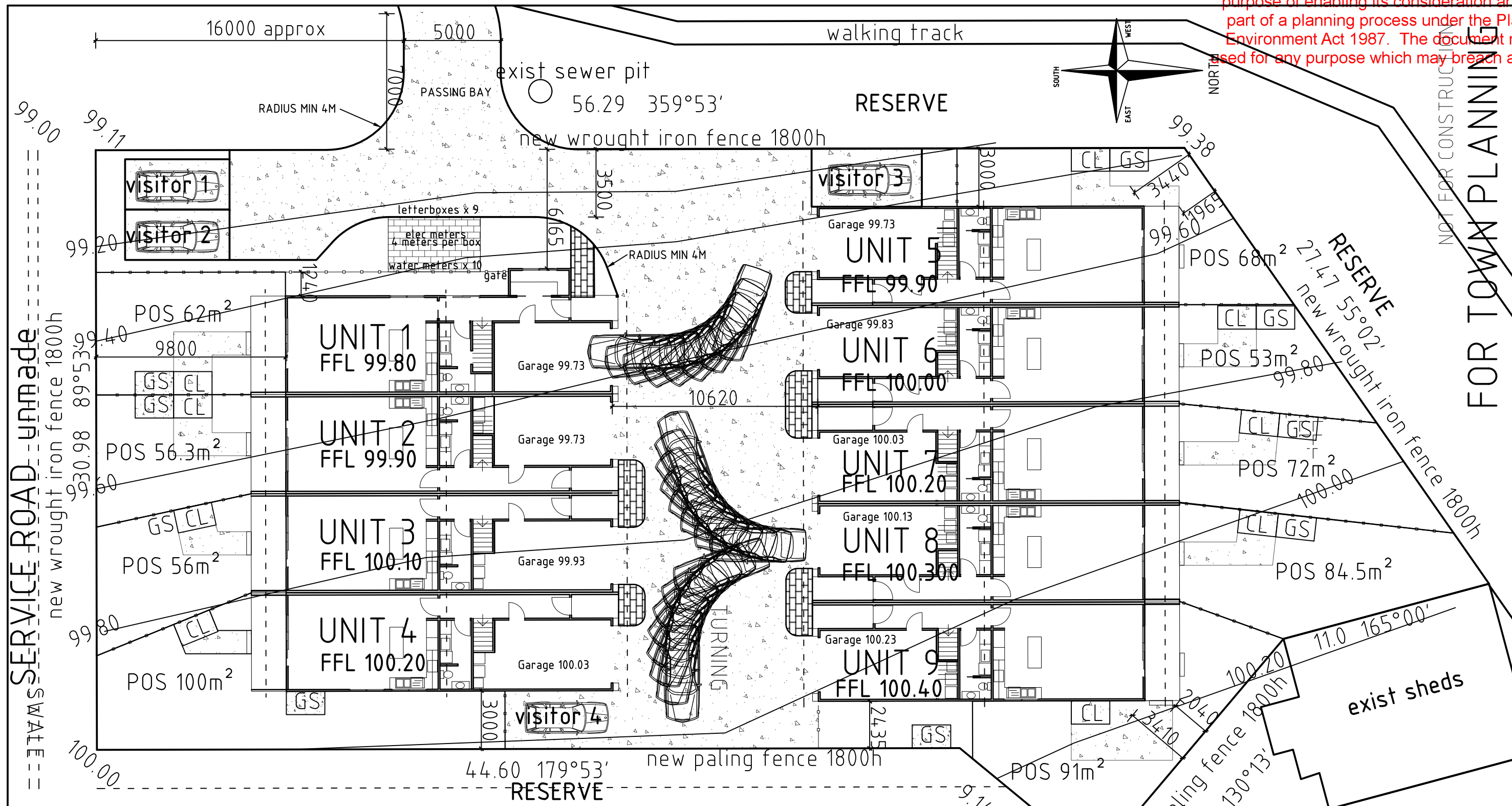
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SERVICE ROAD - UNMADE  
new wrought iron fence 1800h  
SWALE

NOT FOR CONSTRUCTION  
FOR TOWN PLANNING

- Denotes plain concrete
- Denotes brick paving / pathways
- GS denotes garden shed 1.2 x 2.4 X 2.1H
- CL denotes clothes line fold down
- Internal fences 1800 high

Meter positions subject to approval by relevant authorities

No excavations are required for the development  
(EXCEPT TOP SOIL REMOVAL FOR CONSTRUCTION PURPOSES)

Levels shown are arbitrary only and not to AHD

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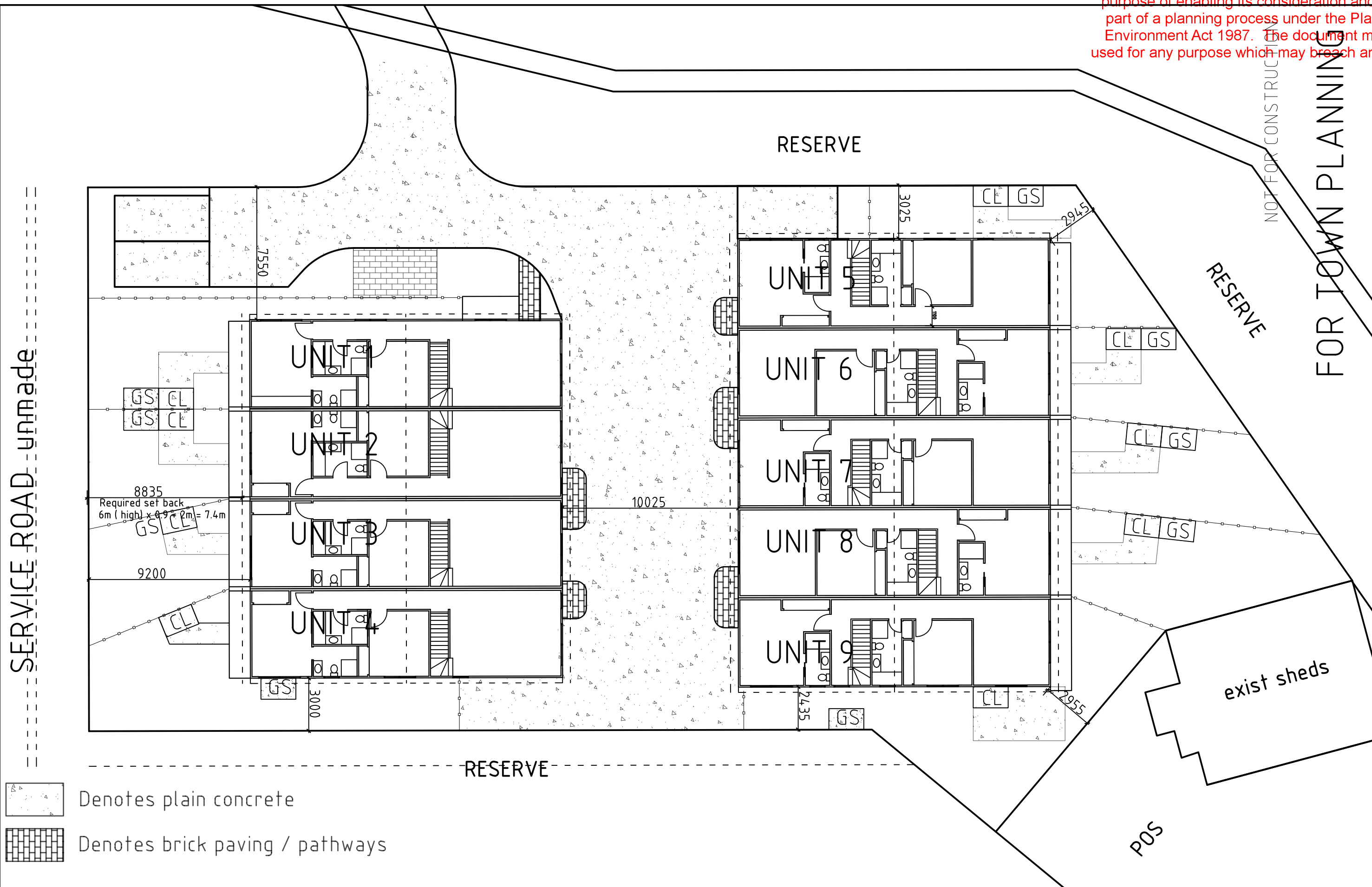
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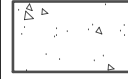
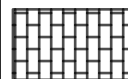
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-  Denotes brick paving / pathways



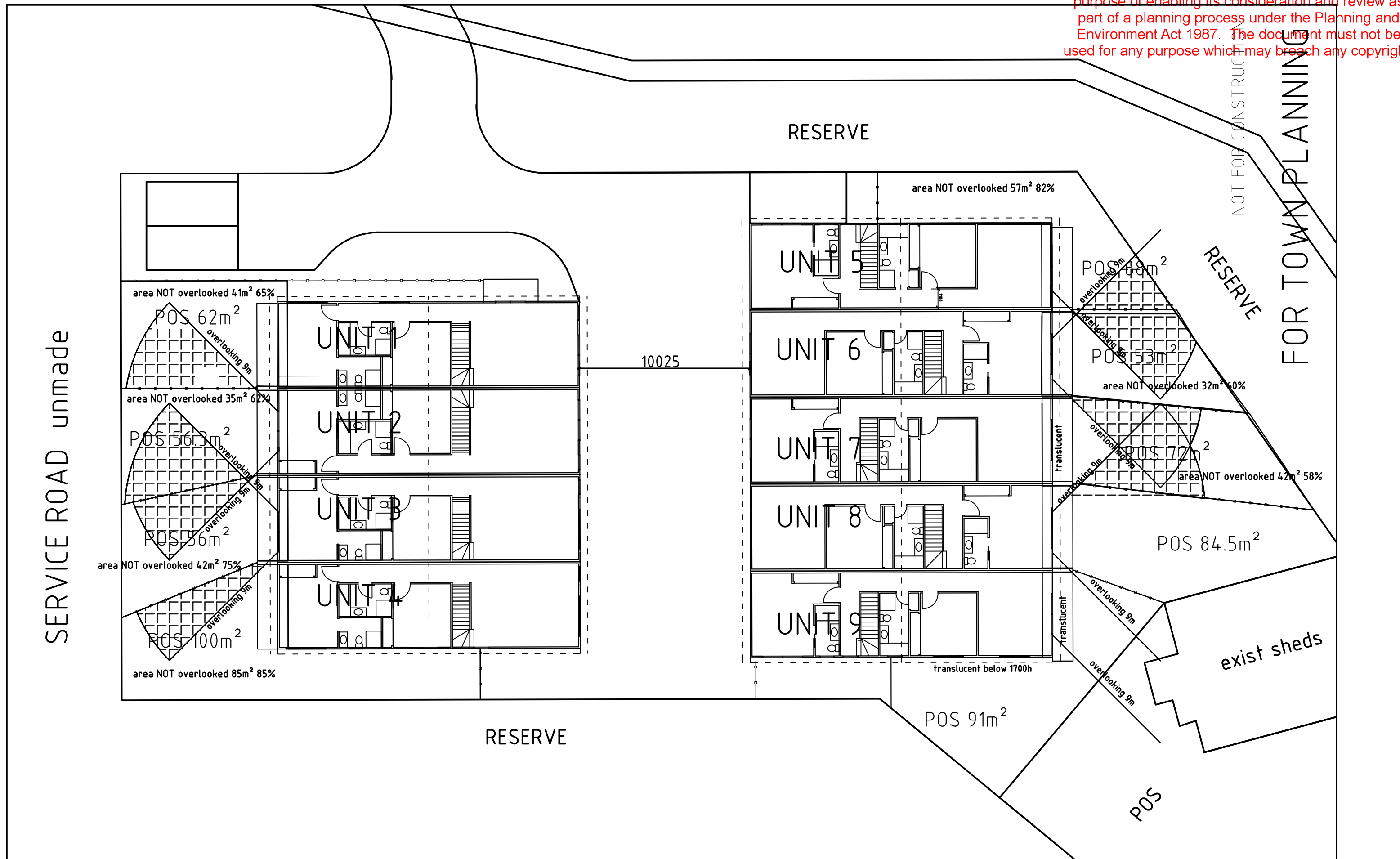
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- Garden areas must be minimum 1m wide  
 Garden areas may include:
- eaves not exceeding 600 wide
  - unroofed terraces
  - garden shed less than 10m<sup>2</sup>
  - unroofed pergola
  - water tanks
  - heating and cooling equipment

 DENOTES GARDEN AREA > 1000 WIDE

Site Area 2000m<sup>2</sup>  
 Garden area remaining 709.5 m<sup>2</sup> 35.45%

RESERVE

NOT FOR CONSTRUCTION

FOR TOWN PLANNING

RESERVE

exist sheds

POS

SERVICE ROAD unmade

1520

visitor 1  
 visitor 2

visitor 3

UNIT 5  
 FFL 99.90

UNIT 6  
 FFL 100.00

UNIT 7  
 FFL 100.20

UNIT 8  
 FFL 100.300

UNIT 9  
 FFL 100.40

UNIT 1  
 FFL 99.80

UNIT 2  
 FFL 99.90

UNIT 3  
 FFL 100.10

UNIT 4  
 FFL 100.20

visitor 4

TURNING

328m<sup>2</sup>

381.5m<sup>2</sup>

RESERVE

Garden Area  
 (all areas shown min 1m wide)

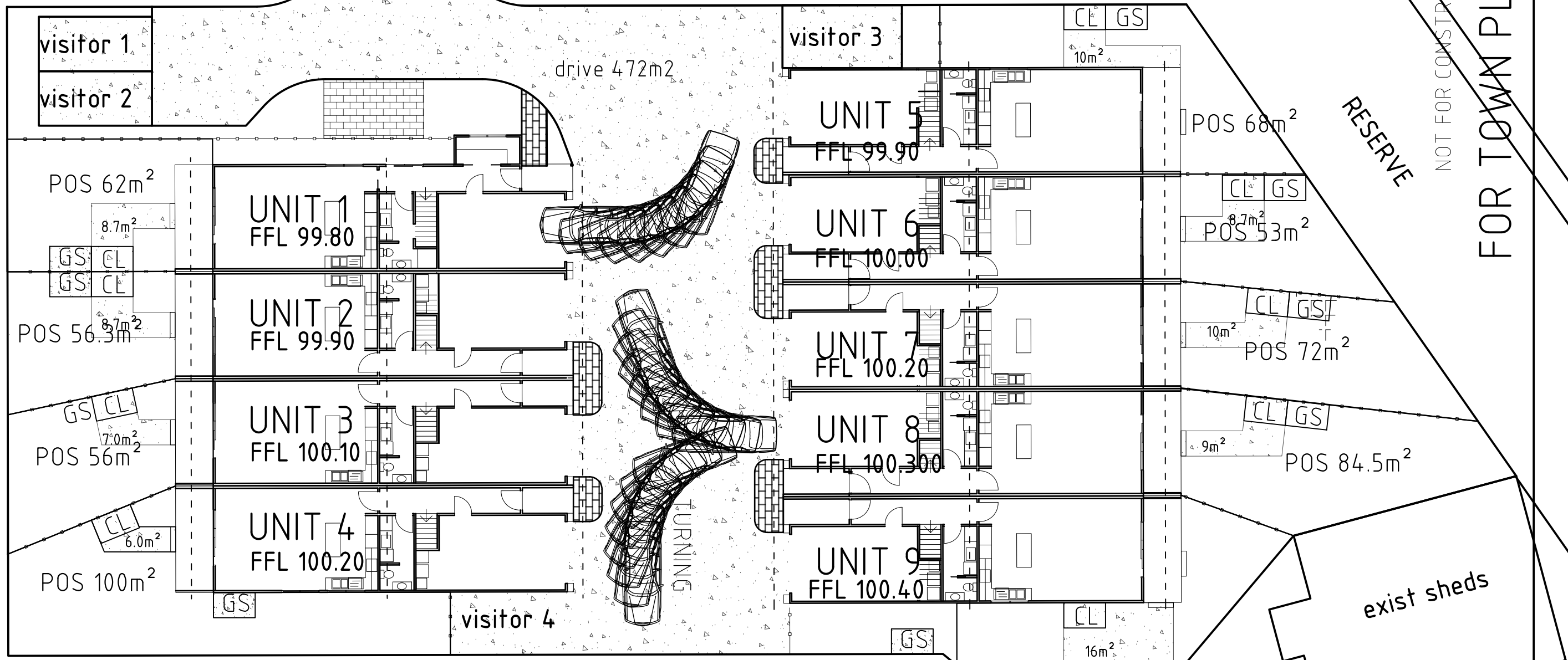
 Denotes plain concrete

 Denotes brick paving / pathways

# STORMWATER TO ENGINEERS DESIGN

## RESERVE

SERVICE ROAD unmade



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- Denotes plain concrete
- Denotes brick paving / pathways

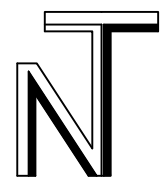
### RESERVE

Site Area 2000m<sup>2</sup>  
 Site coverage:  
 Buildings 887.8m<sup>2</sup> 43%  
 Paving 558.4m<sup>2</sup>  
 Non permeable surfaces 1446.2m<sup>2</sup>  
 Permeable surfaces remaining 553.8m<sup>2</sup> 27.7%



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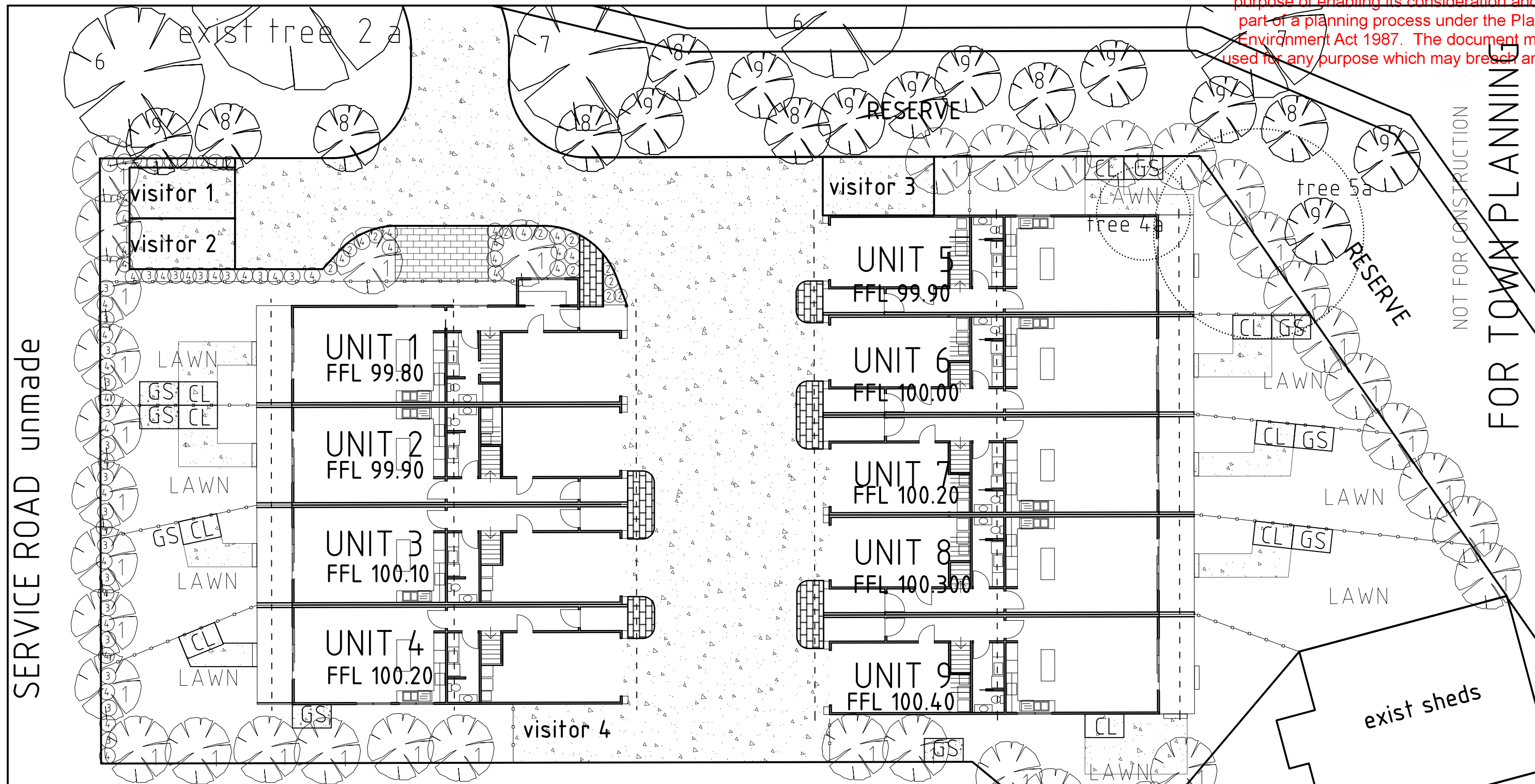
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SERVICE ROAD UNMADE

FOR TOWN PLANNING

NOT FOR CONSTRUCTION

Denotes plain concrete  
Denotes brick paving / pathways

	Latin name	Common Name	Description	HxW(m)	Pot size	Indigenous	Native
1	BETULA PENDULA	SILVER BIRCH	MEDIUM TREE	10 X 3	8" POT	No	No
2	NANDINE MOON BAY	MOON BAY	SMALL SHRUB	0.7 X 0.3	8" POT	No	Yes
3	CROWEA POORINDA ECSTASY		SMALL FLOWERING SHRUB	1 X 1	TUBE	No	No
4	PENNISTETUM ALOPECUROIDES	PURPLE LEA	FOLIAGE GRASS	1 X 1	TUBE	No	Yes
5	BANKSIA MARGINATA	SILVER BANKSIA	TREE	10 X 4	TUBE	Yes	Yes
6	ACACIA MELANOXYLON	BLACKWOOD	TREE	15 X 5	TUBE	Yes	Yes
7	ACACIA IMPLEXA	LIGHTWOOD	TREE	8 X 7	TUBE	Yes	Yes
8	DODONAEA VISCOSA	STICKY HOP BUSH	SHRUB	3 X 1	TUBE	Yes	Yes
9	ACACIA TERMINALIS	SUNSHINE WATTLE	SHRUB	3 X 3	TUBE	Yes	Yes

ALL GARDEN BEDS MULCHED

ALL DIMENSIONS AND LEVELS TO BE CHECKED AND VERIFIED ON SITE. GARDEN BEDS MAY INCLUDE MATIVE PLANTS SUCH AS WALLABY GRASSES, HEBES AND DIOSMAS FOR SPECIAL EFFECTS AND BIRD/INSECT ATTRACTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER BEFORE WORKS BEGIN.

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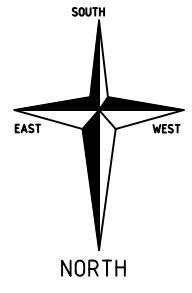
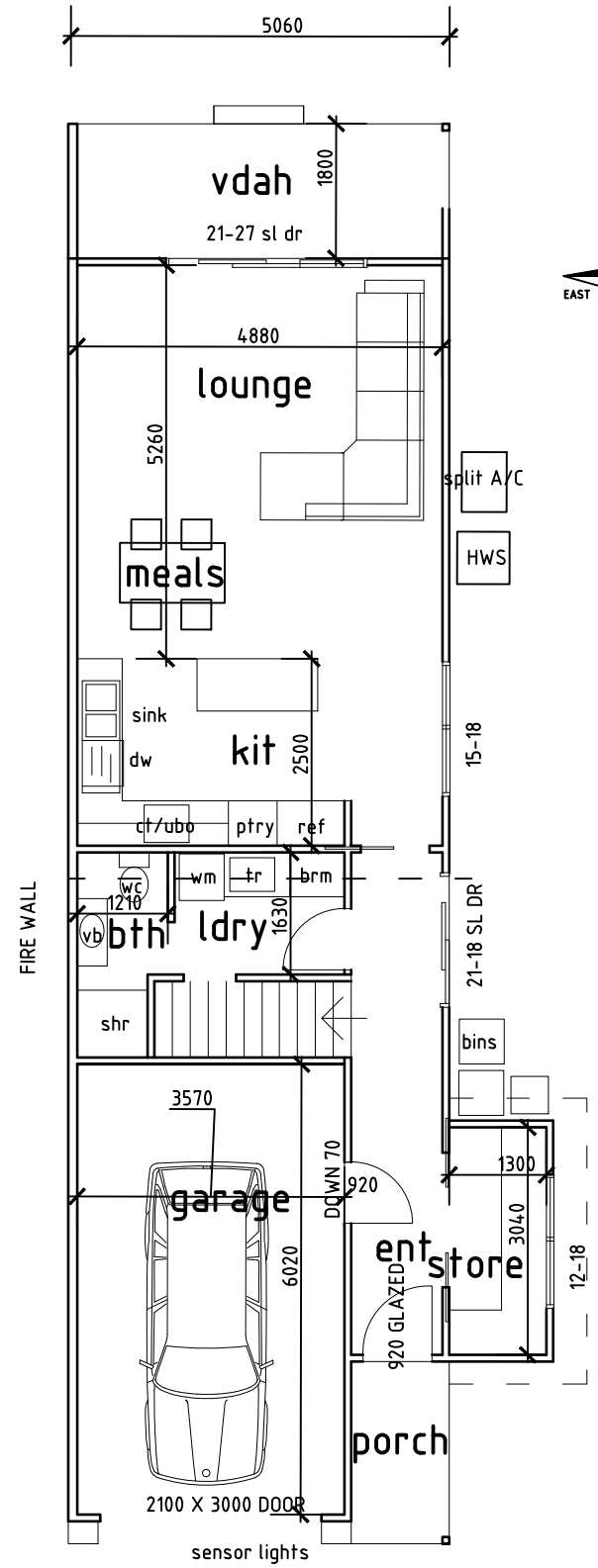
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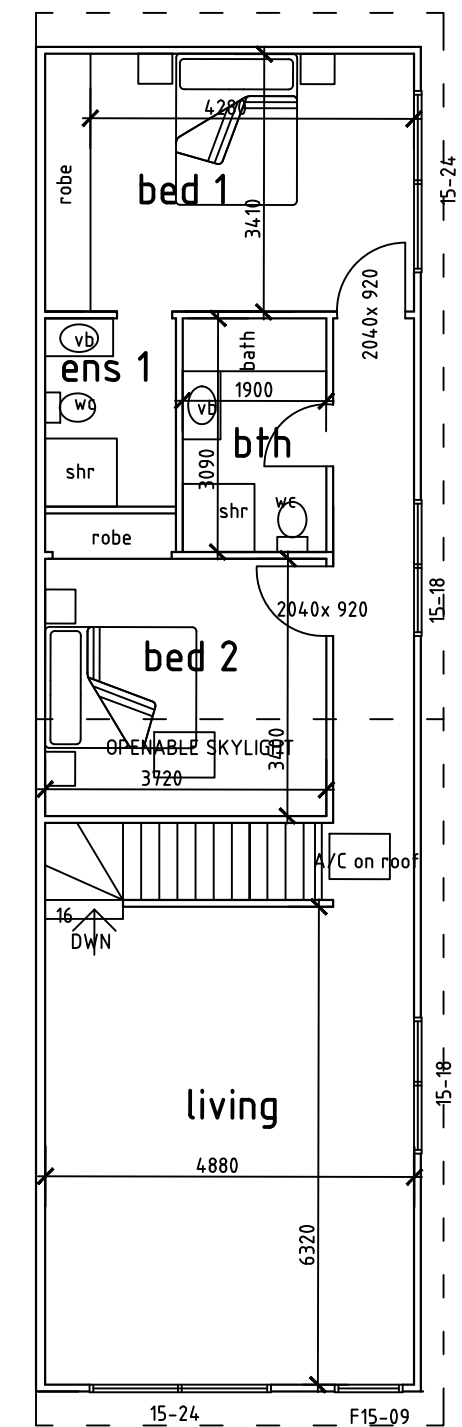
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AREA  
GROUND FLOOR 64.9m<sup>2</sup>  
FIRST FLOOR 90m<sup>2</sup>  
DWELLING 154.9m<sup>2</sup> 16.7sq  
VDAHS 12.2m<sup>2</sup>  
GARAGE 22.7m<sup>2</sup>  
FOOTPRINT 100m<sup>2</sup>



GROUND FLOOR

ALL WINDOWS TO BE DOUBLE GLAZED  
SECURITY CAMERAS TO ALL UNITS FOR DRIVEWAY SURVEILLANCE



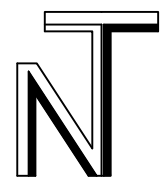
FIRST FLOOR

FOR TOWN PLANNING  
NOT FOR CONSTRUCTION



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UNIT 1  
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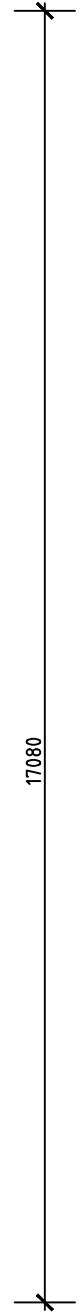
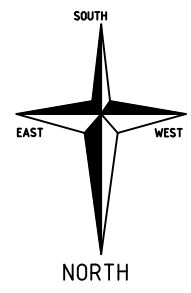
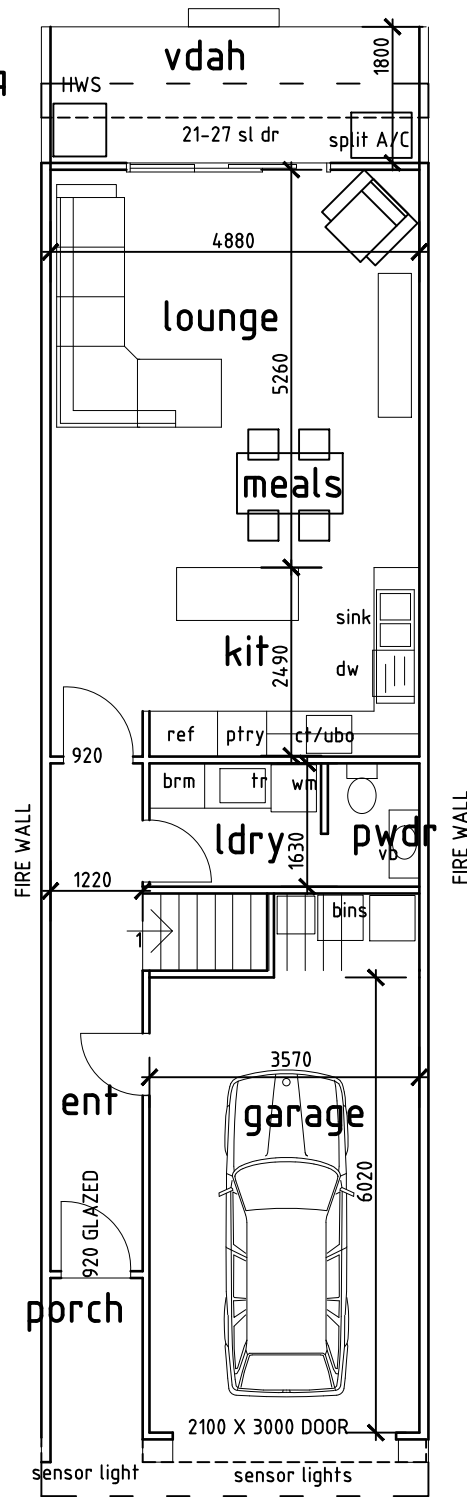
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PH 0427 343327  
BP NO DPAD 1448  
P.O. BOX 656, WARRAGUL 3820  
denise.noztech@gmail.com

PRELIMINARY DESIGN	8-8-22
COMPLETED DRAWINGS	20-7-23 6-5-24
AMENDMENT 1	
AMENDMENT 2	

TOTAL CORP  
34 PAYNESVILLE  
ROAD PAYNESVILLE  
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE  
SCALE 1:100 @ A3 DRAWN DP  
Printed 15/10/2024  
Page 69 of 88

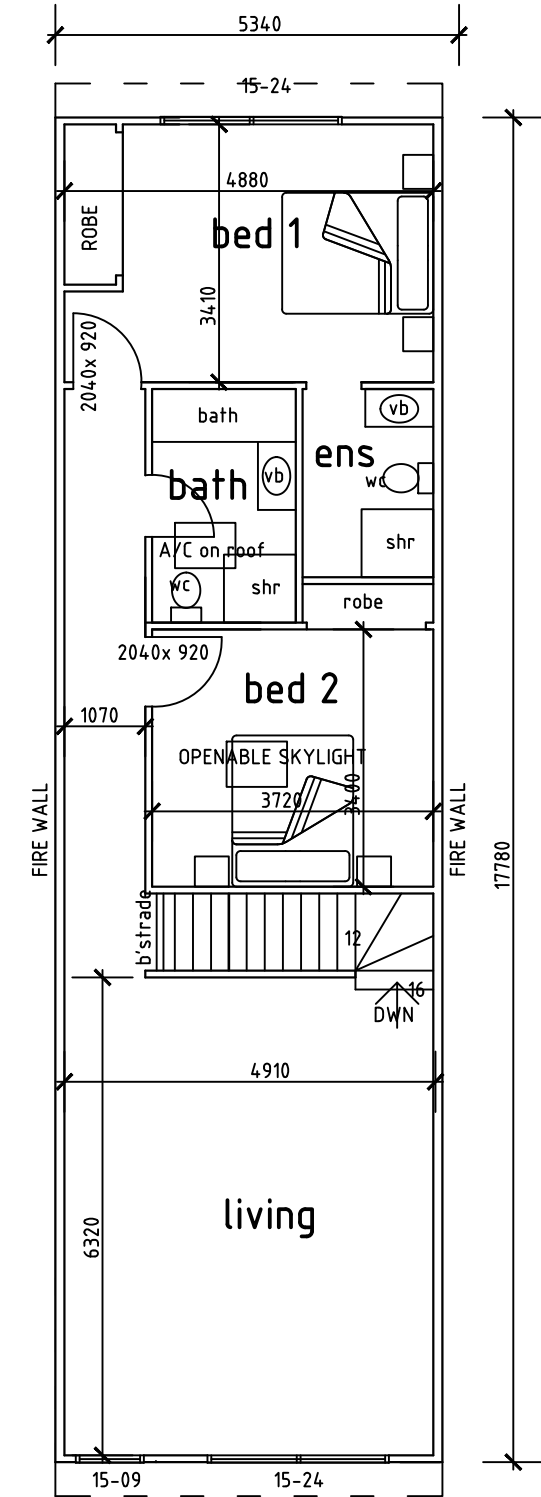
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AREA  
GROUND FLOOR 60.8m<sup>2</sup>  
FIRST FLOOR 91m<sup>2</sup>  
DWELLING 151.8m<sup>2</sup> 16.34sq  
VDAHS 12.5m<sup>2</sup>  
GARAGE 22.7m<sup>2</sup>  
FOOTPRINT 96m<sup>2</sup>



GROUND FLOOR

ALL WINDOWS TO BE DOUBLE GLAZED  
SECURITY CAMERAS TO ALL UNITS FOR DRIVEWAY SURVEILLANCE



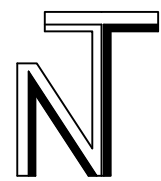
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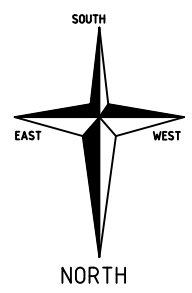
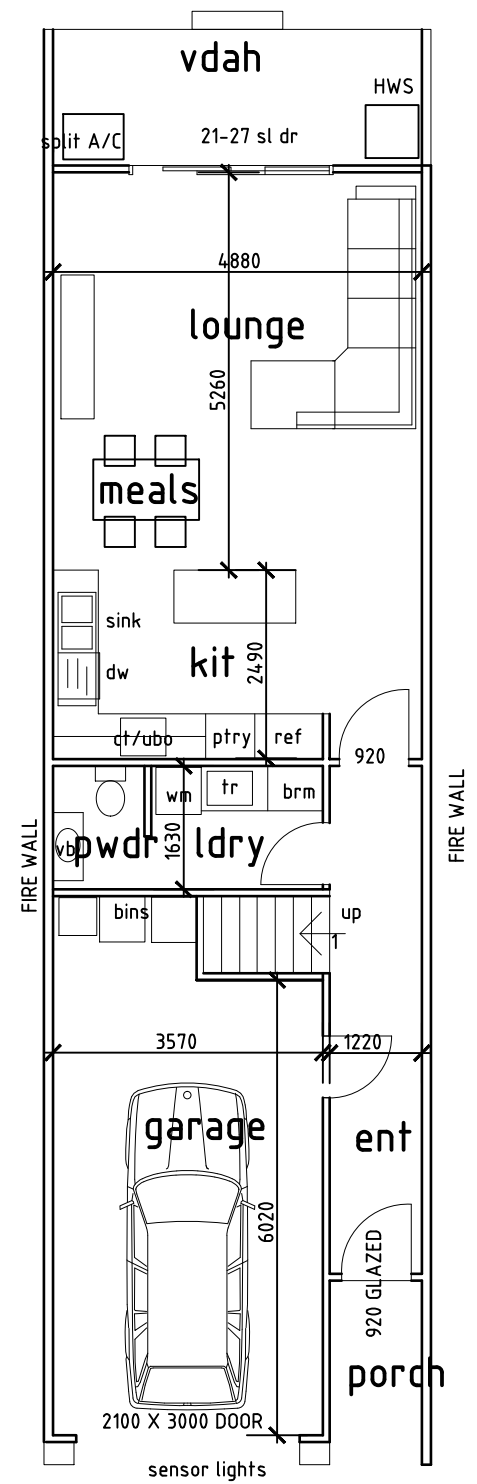
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COMPLETED DRAWINGS	21-6-24
AMENDMENT 1	
AMENDMENT 2	

TOTAL CORP  
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ROAD PAYNESVILLE  
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE  
SCALE 1:100 @ A3 DRAWN DP TP  
Printed 15/10/2024  
Page 270 of 88



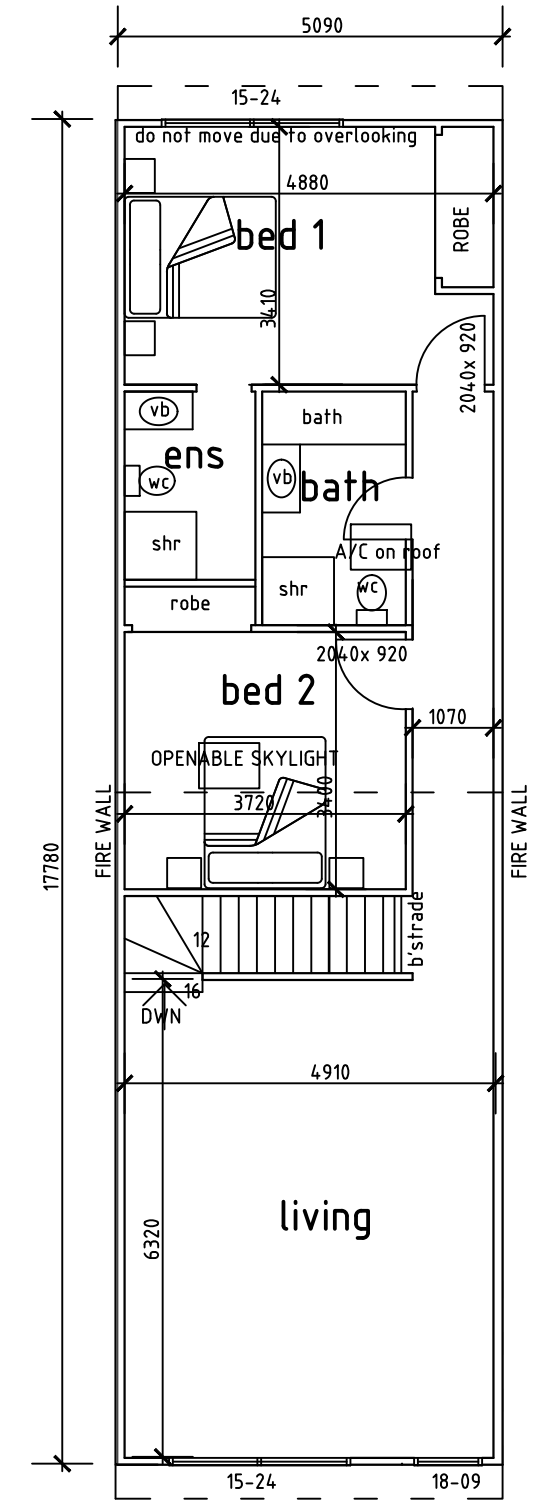
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AREA  
GROUND FLOOR 58.6m<sup>2</sup>  
FIRST FLOOR 91m<sup>2</sup>  
DWELLING 149.6m<sup>2</sup> 16.1sq  
VDAHS 12.4m<sup>2</sup>  
GARAGE 25m<sup>2</sup>  
FOOTPRINT 96m<sup>2</sup>



GROUND FLOOR

ALL WINDOWS TO BE DOUBLE GLAZED  
SECURITY CAMERAS TO ALL UNITS FOR DRIVEWAY SURVEILLANCE



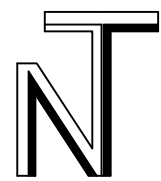
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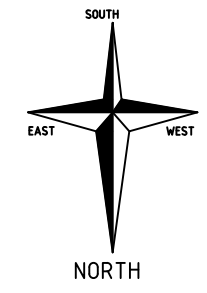
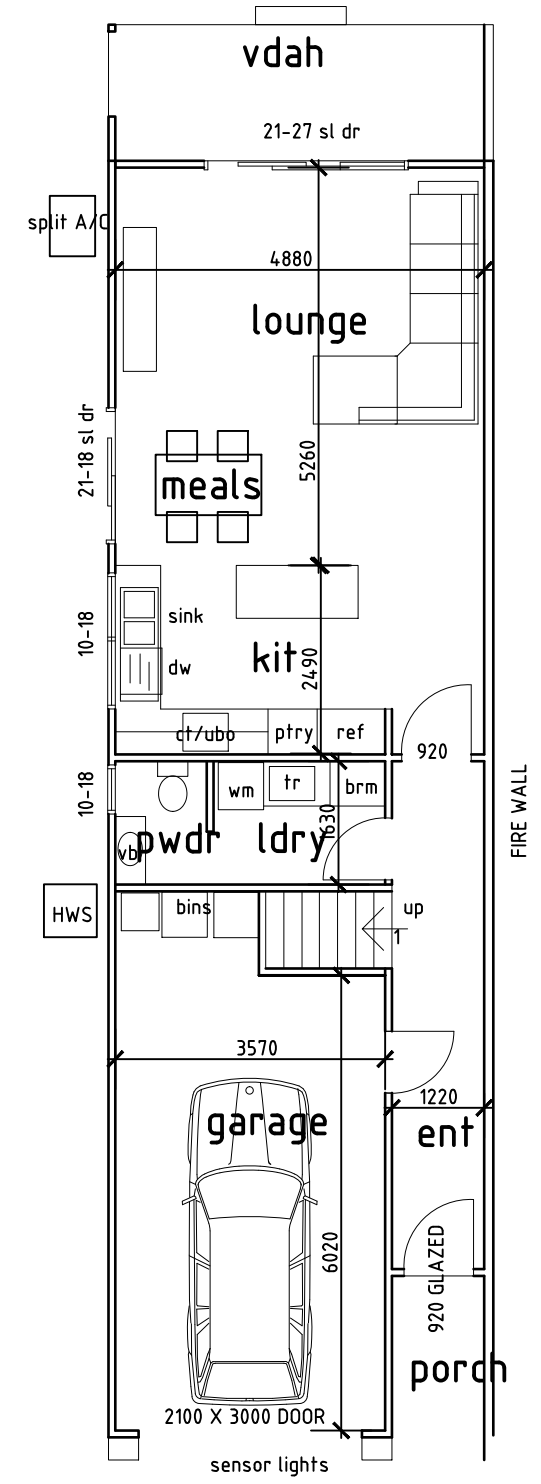
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PRELIMINARY DESIGN	8-8-22 20-7-23
COMPLETED DRAWINGS	21-6-24
AMENDMENT 1	
AMENDMENT 2	

TOTAL CORP  
34 PAYNESVILLE  
ROAD PAYNESVILLE  
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SCALE 1:100 @ A3 DRAWN DP TP  
Printed 15/10/2024  
Page 71 of 88

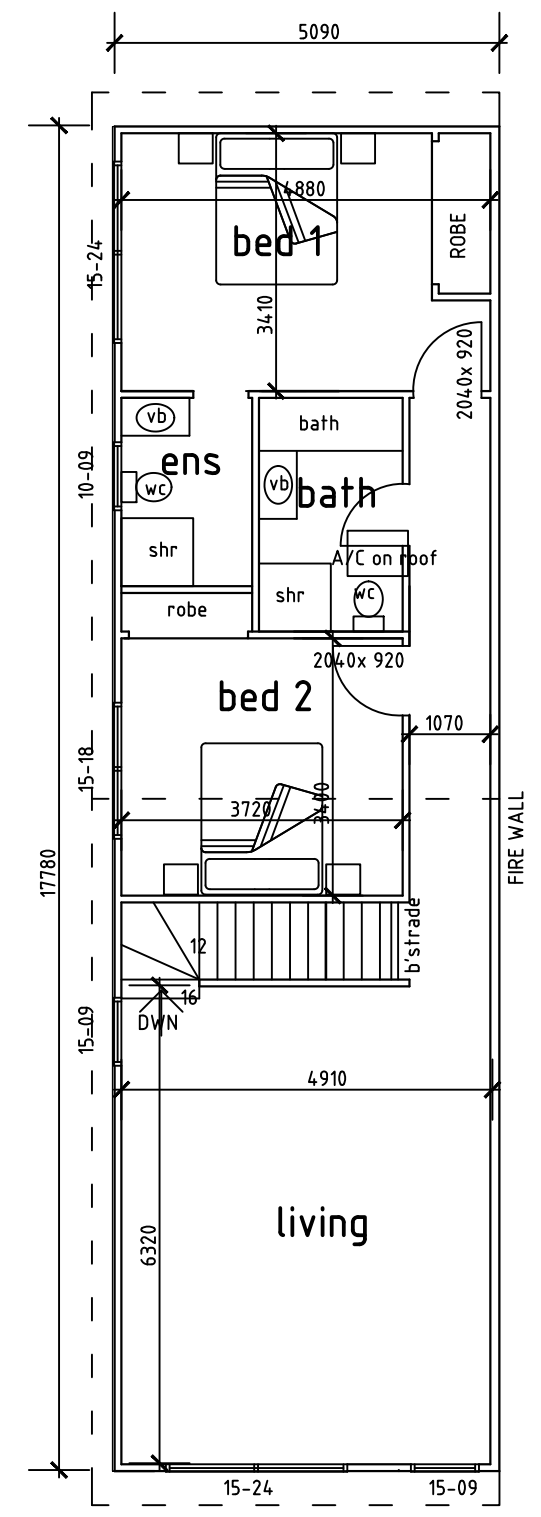
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FIRST FLOOR 91m<sup>2</sup>  
DWELLING 149.6m<sup>2</sup> 16.1sq  
VDAHS 12.4m<sup>2</sup>  
GARAGE 25.2m<sup>2</sup>  
FOOTPRINT 96m<sup>2</sup>



GROUND FLOOR

ALL WINDOWS TO BE DOUBLE GLAZED  
SECURITY CAMERAS TO ALL UNITS FOR DRIVEWAY SURVEILLANCE



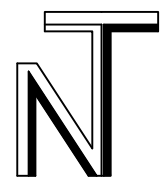
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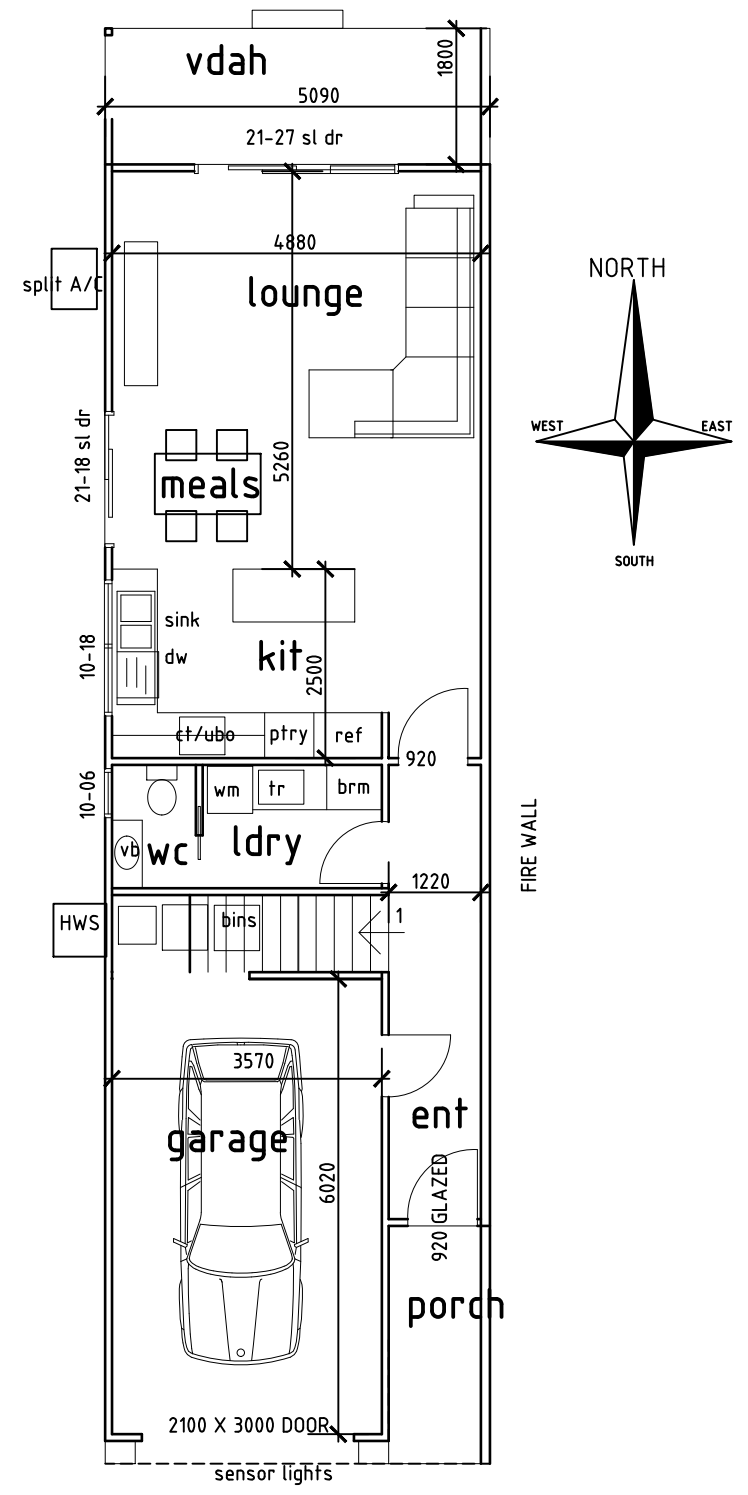
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PRELIMINARY DESIGN	8-8-22 20-7-23
COMPLETED DRAWINGS	21-6-24
AMENDMENT 1	
AMENDMENT 2	

TOTAL CORP  
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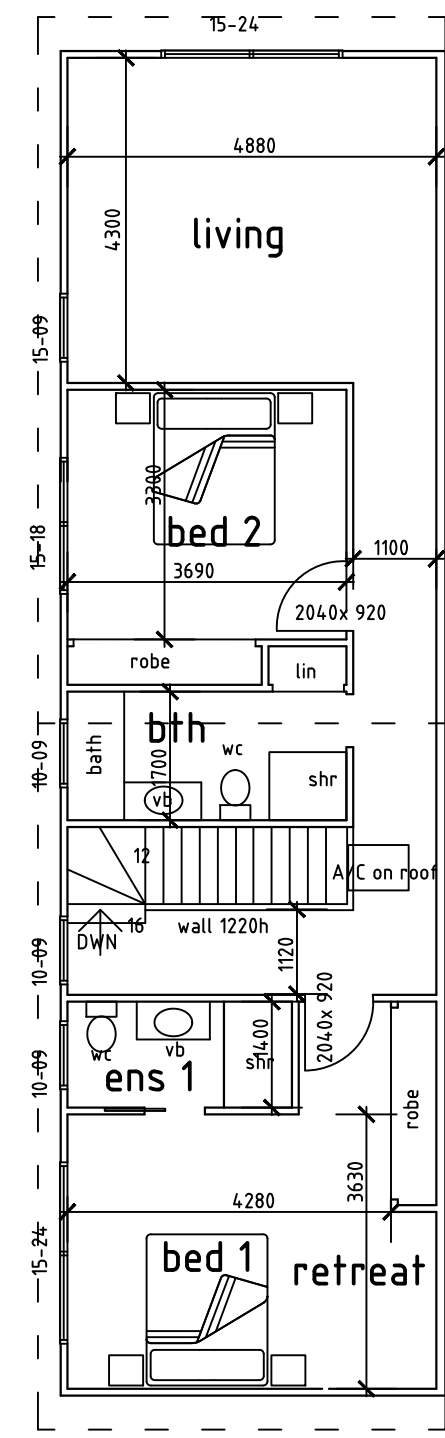
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FIRST FLOOR 90.5m<sup>2</sup>  
DWELLING 147.9m<sup>2</sup> 16.0sq  
VDAHS 12.4m<sup>2</sup>  
GARAGE 25.9m<sup>2</sup>  
FOOTPRINT 96.0m<sup>2</sup>



GROUND FLOOR

ALL WINDOWS TO BE DOUBLE GLAZED  
SECURITY CAMERAS TO ALL UNITS FOR DRIVEWAY SURVEILLANCE



FIRST FLOOR

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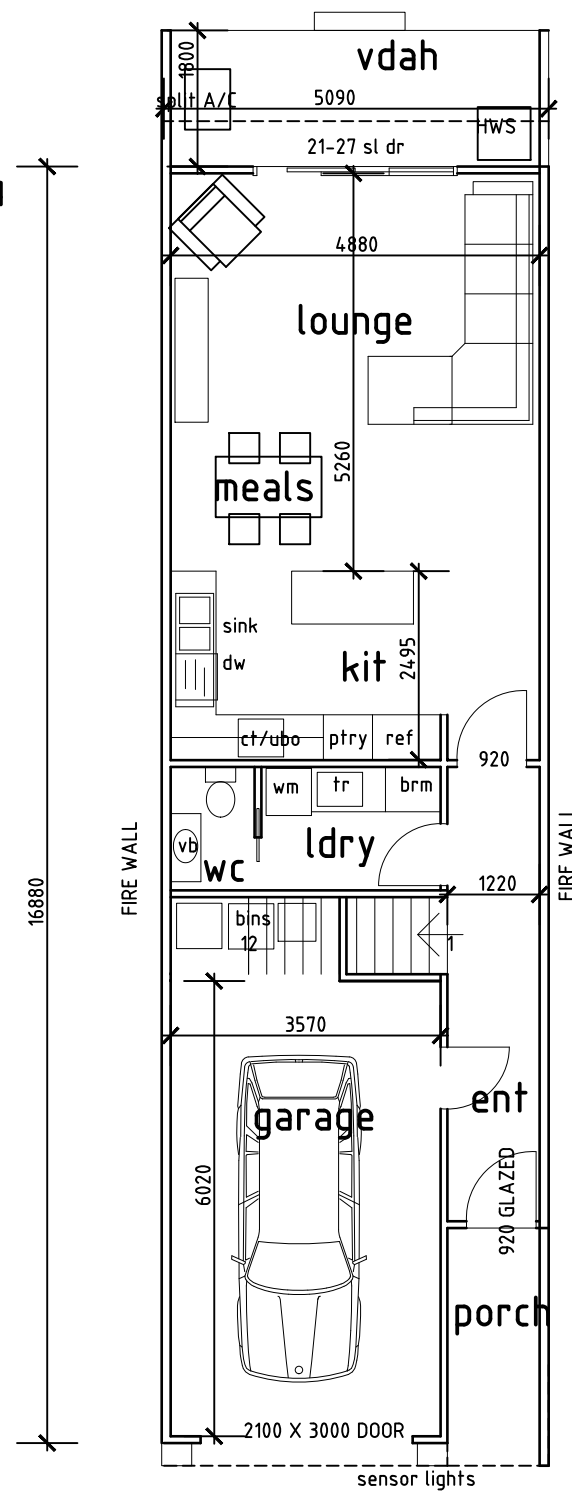
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PRELIMINARY DESIGN	8-8-22 7-7-23
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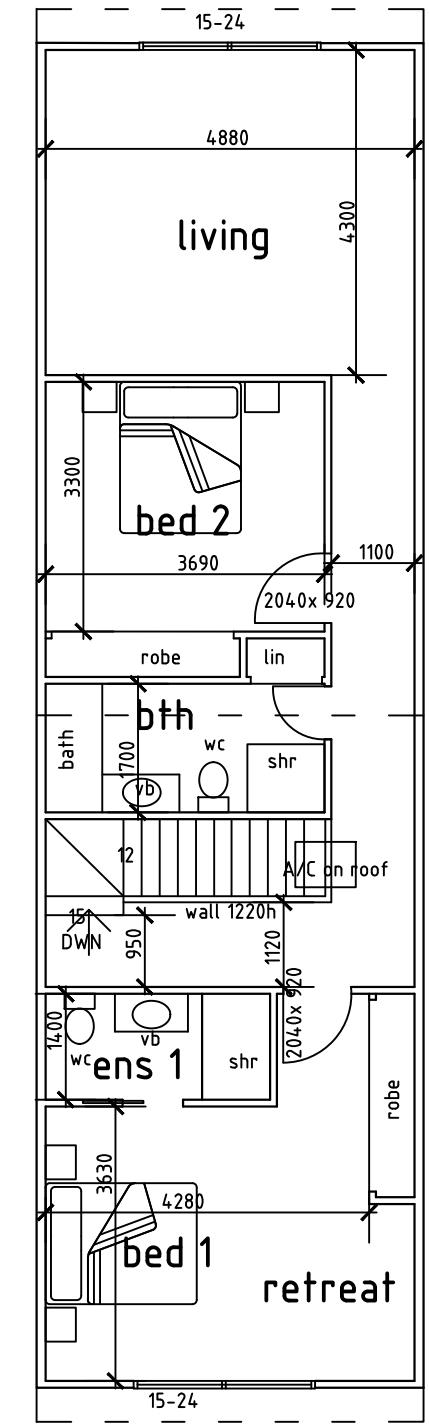
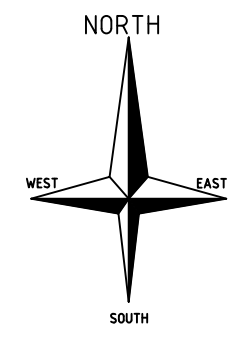
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ROAD PAYNESVILLE  
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE  
SCALE 1:100 @ A3 DRAWN DP TP 15-0-28  
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AREA  
GROUND FLOOR 59.8m<sup>2</sup>  
FIRST FLOOR 91m<sup>2</sup>  
DWELLING 150.8m<sup>2</sup> 16.3sq  
VDAHS 12.4m<sup>2</sup>  
GARAGE 22.6m<sup>2</sup>  
FOOTPRINT 96m<sup>2</sup>



GROUND FLOOR



FIRST FLOOR

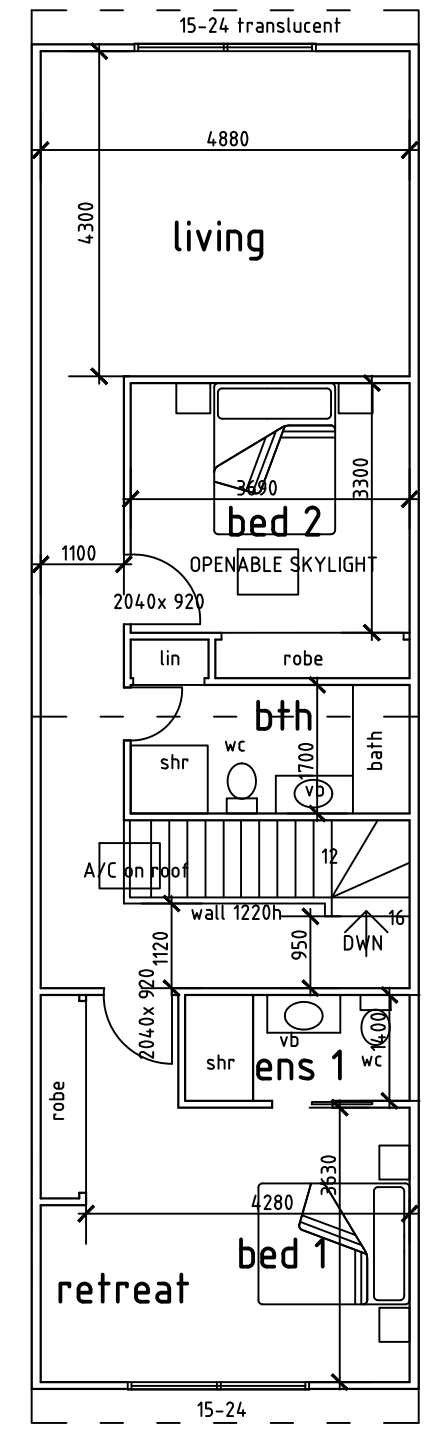
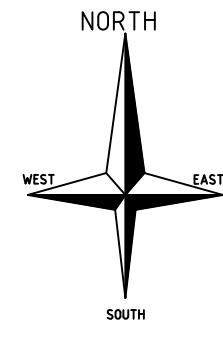
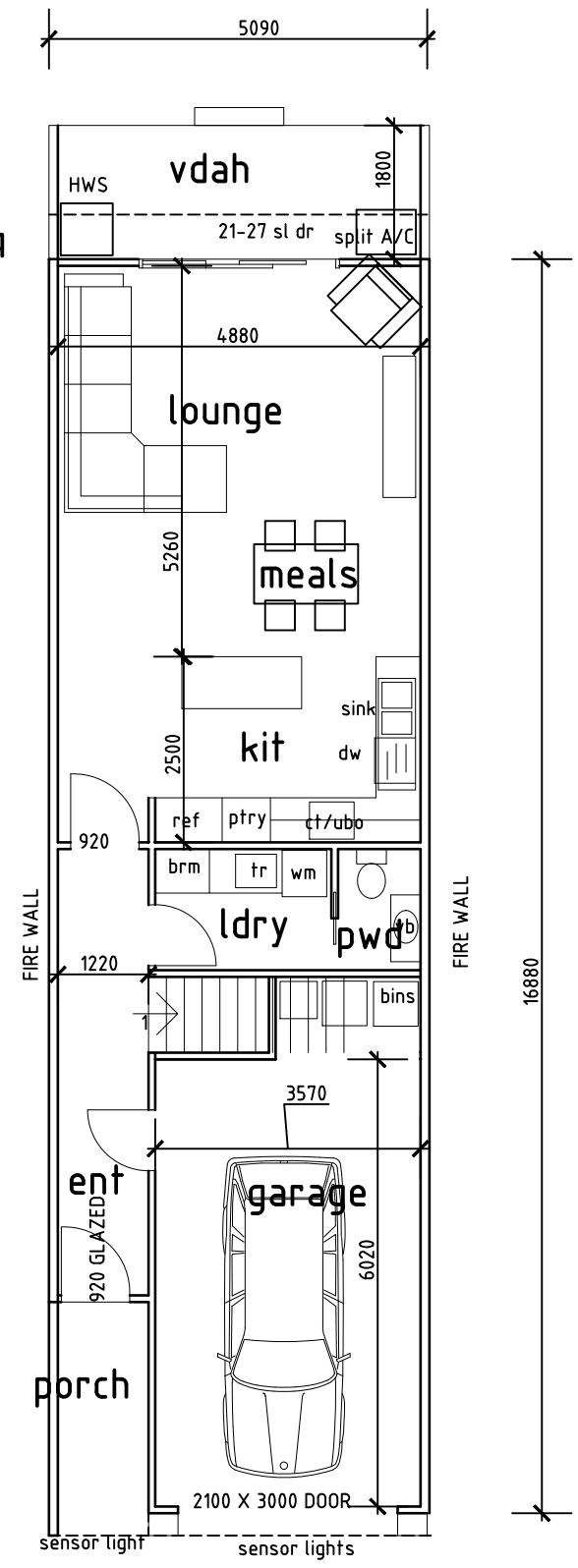
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FIRST FLOOR 91m<sup>2</sup>  
DWELLING 150.8m<sup>2</sup> 16.3sq  
VDAHS 12.4m<sup>2</sup>  
GARAGE 22.6m<sup>2</sup>  
FOOTPRINT 96m<sup>2</sup>

AREA  
GROUND FLOOR 59.5  
FIRST FLOOR 90.5m<sup>2</sup>  
DWELLING 150m<sup>2</sup> 16.4  
PORCH 4.2m<sup>2</sup>  
GARAGE 22.6m<sup>2</sup>  
FOOTPRINT 86m<sup>2</sup>



GROUND FLOOR  
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SECURITY CAMERAS TO ALL UNITS FOR DRIVEWAY SURVEILLANCE

FIRST FLOOR

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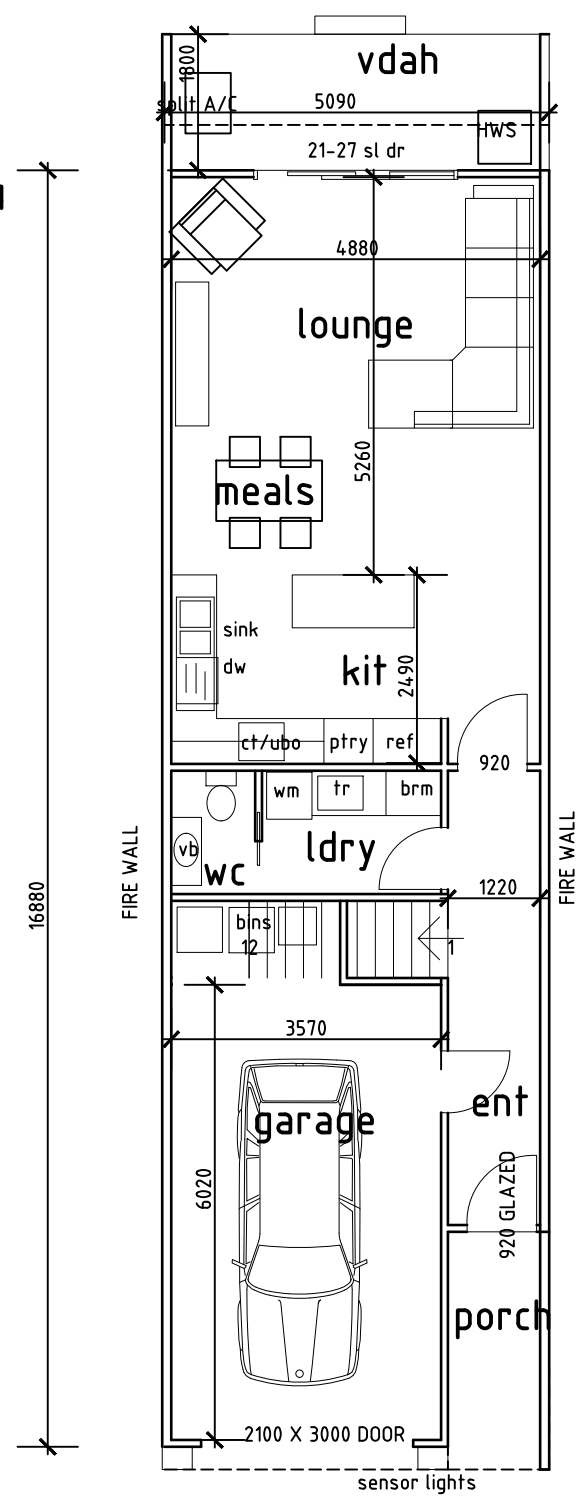
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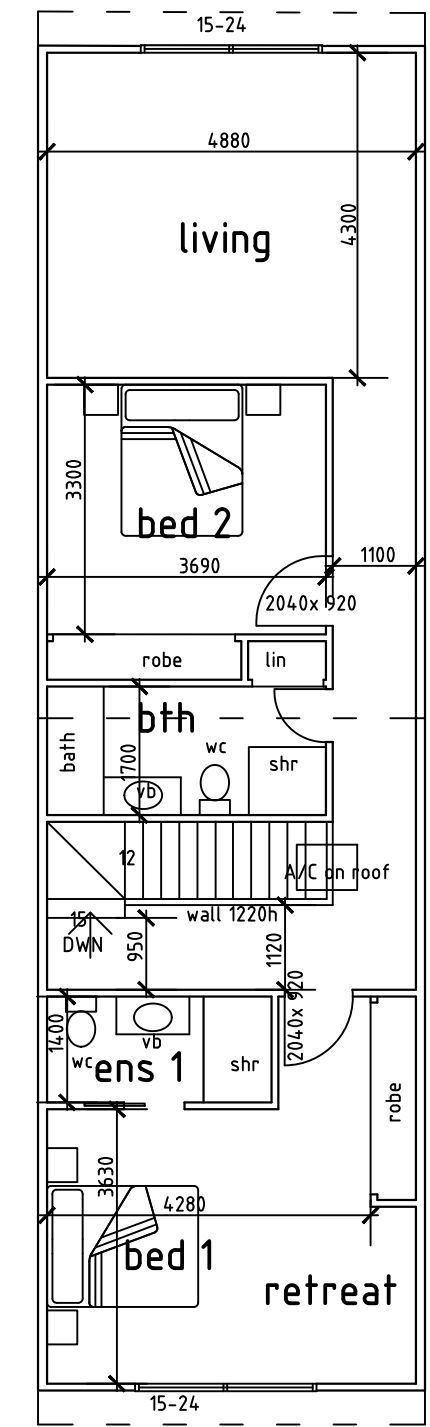
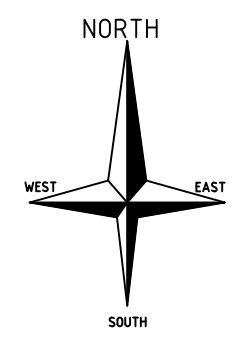
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COMPLETED DRAWINGS	21-6-24
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AMENDMENT 2	

TOTAL CORP  
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ROAD PAYNESVILLE  
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE  
SCALE 1:100 @ A3 DRAWN DP TP  
Printed 15/10/2024  
Page 75 of 88

AREA  
GROUND FLOOR 59.8m<sup>2</sup>  
FIRST FLOOR 91m<sup>2</sup>  
DWELLING 150.8m<sup>2</sup> 16.3sq  
VDAHS 12.4m<sup>2</sup>  
GARAGE 22.6m<sup>2</sup>  
FOOTPRINT 96m<sup>2</sup>



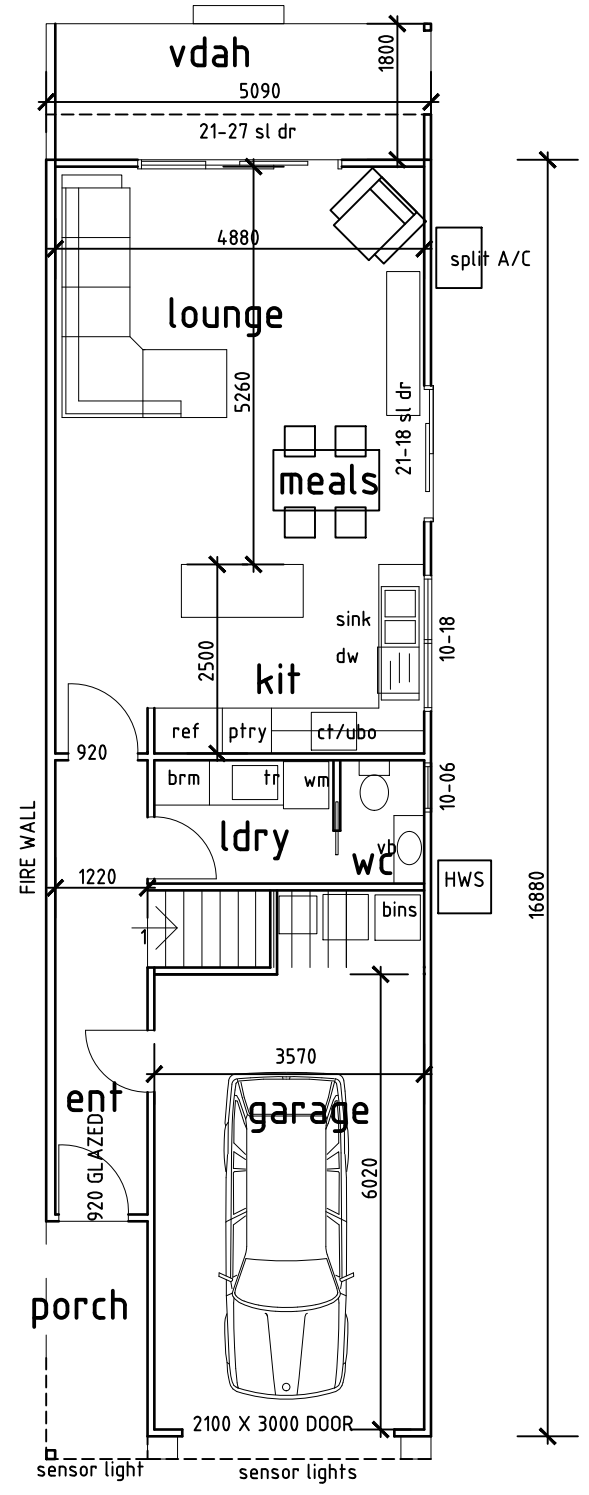
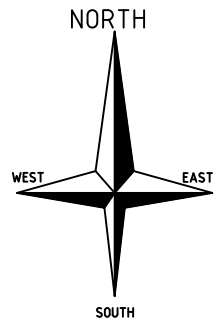
GROUND FLOOR



FIRST FLOOR

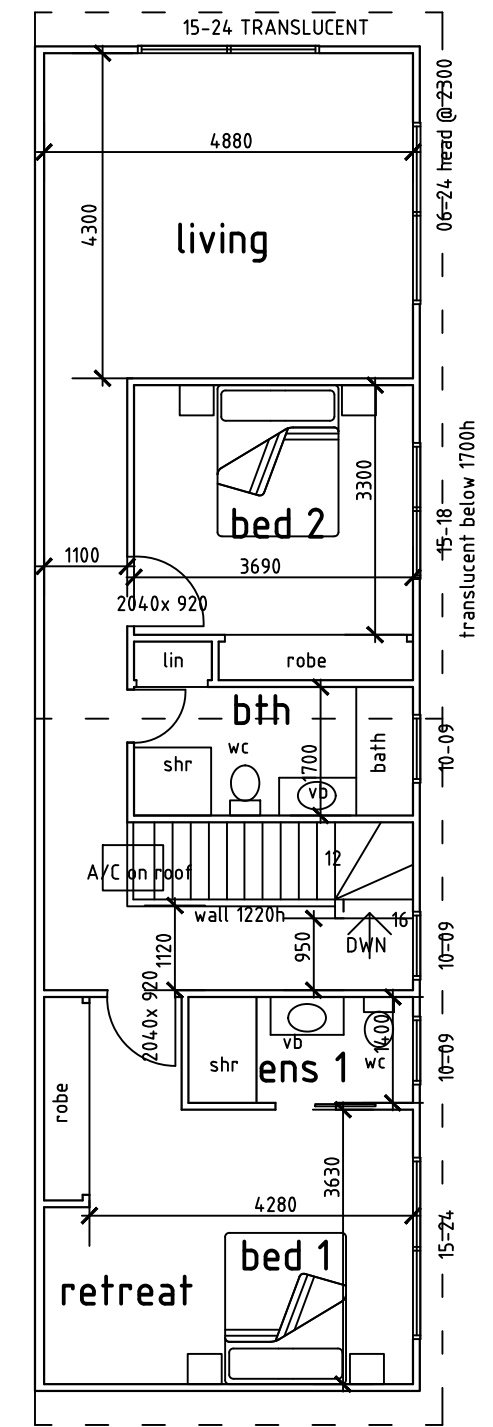
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AREA  
GROUND FLOOR 59.5m<sup>2</sup>  
FIRST FLOOR 90.5m<sup>2</sup>  
DWELLING 150.0m<sup>2</sup> 16.1sq  
VDAHS 12.4m<sup>2</sup>  
GARAGE 22.6m<sup>2</sup>  
FOOTPRINT 96m<sup>2</sup>



GROUND FLOOR

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SECURITY CAMERAS TO ALL UNITS FOR DRIVEWAY SURVEILLANCE



FIRST FLOOR

FOR TOWN PLANNING  
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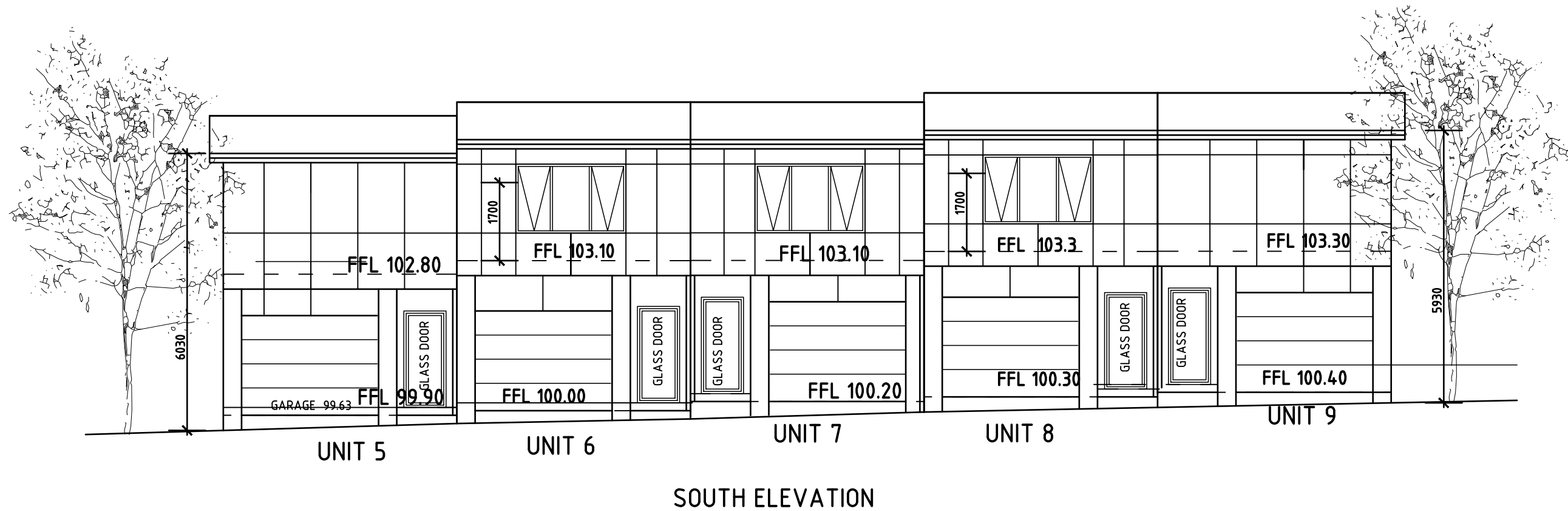
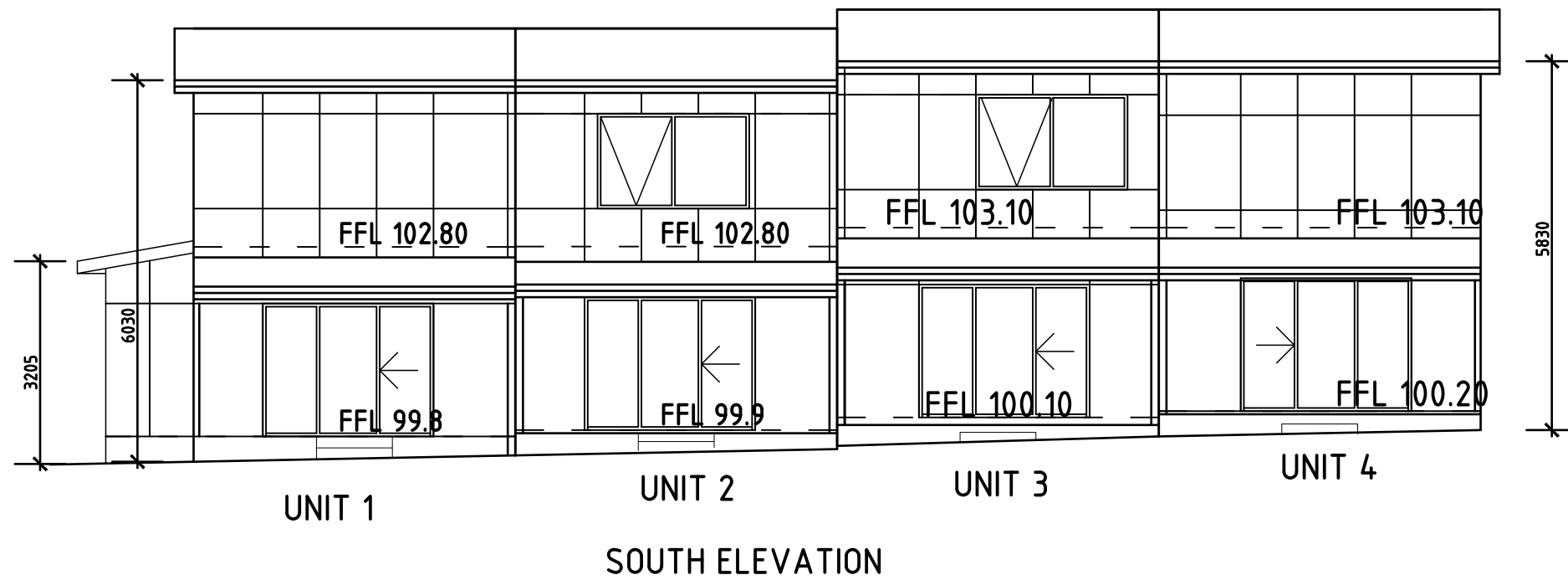
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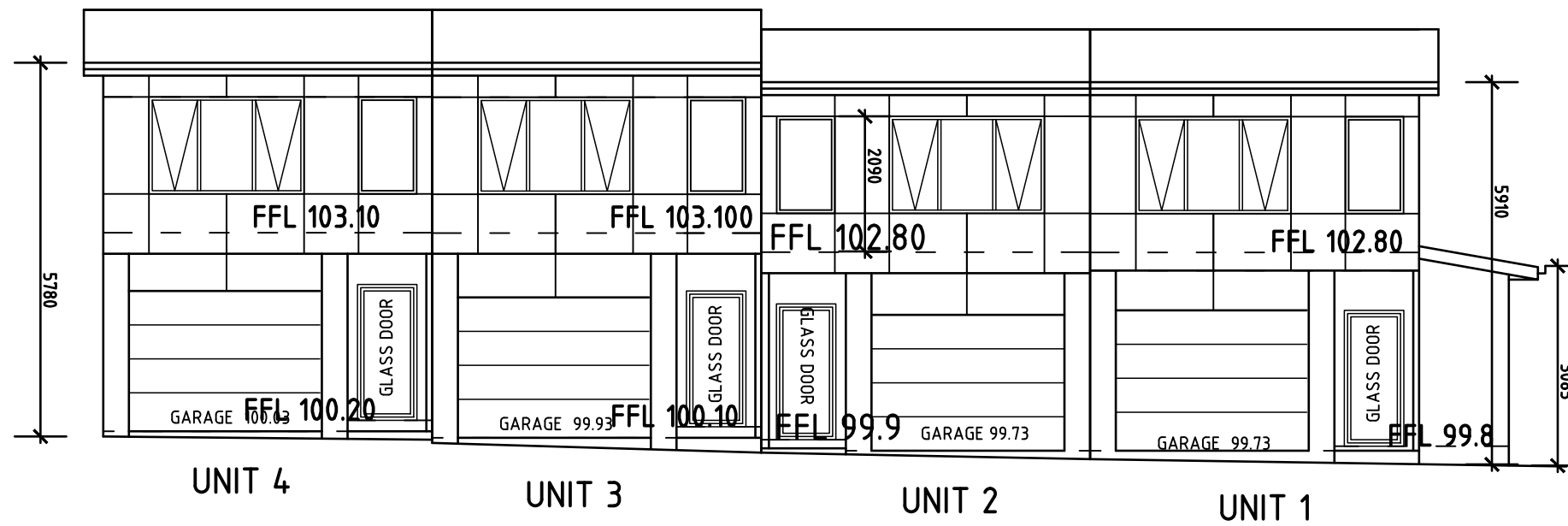
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AMENDMENT 1	
AMENDMENT 2	

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ROAD PAYNESVILLE  
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SCALE 1:100 @ A3 DRAWN DP TP 17/08/28  
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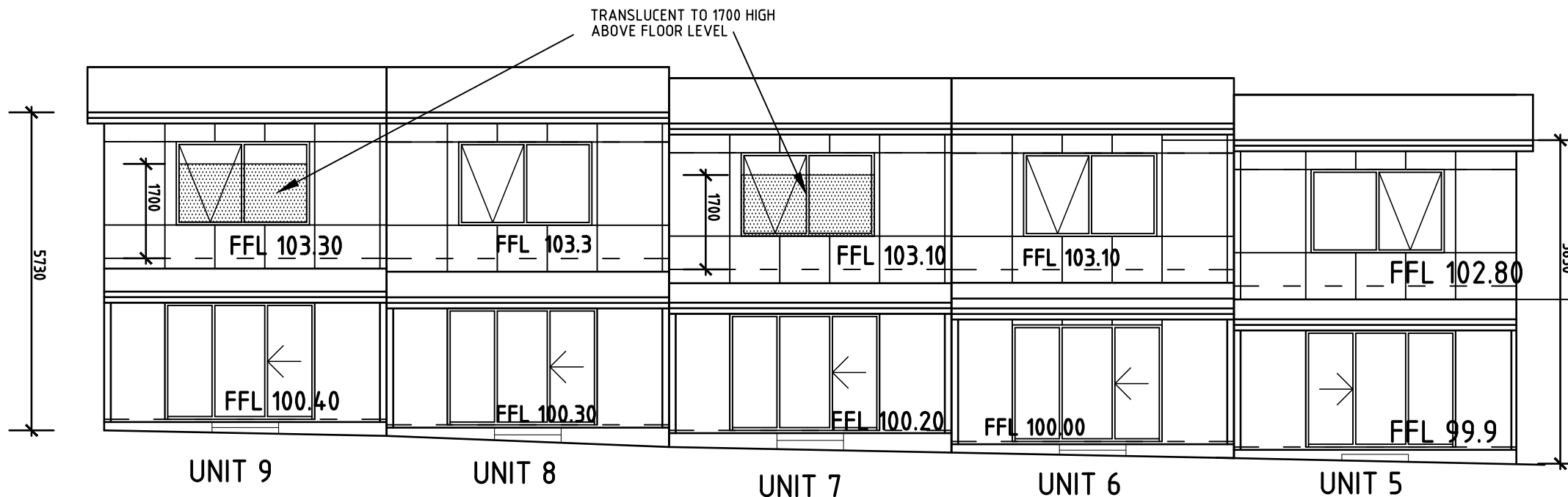


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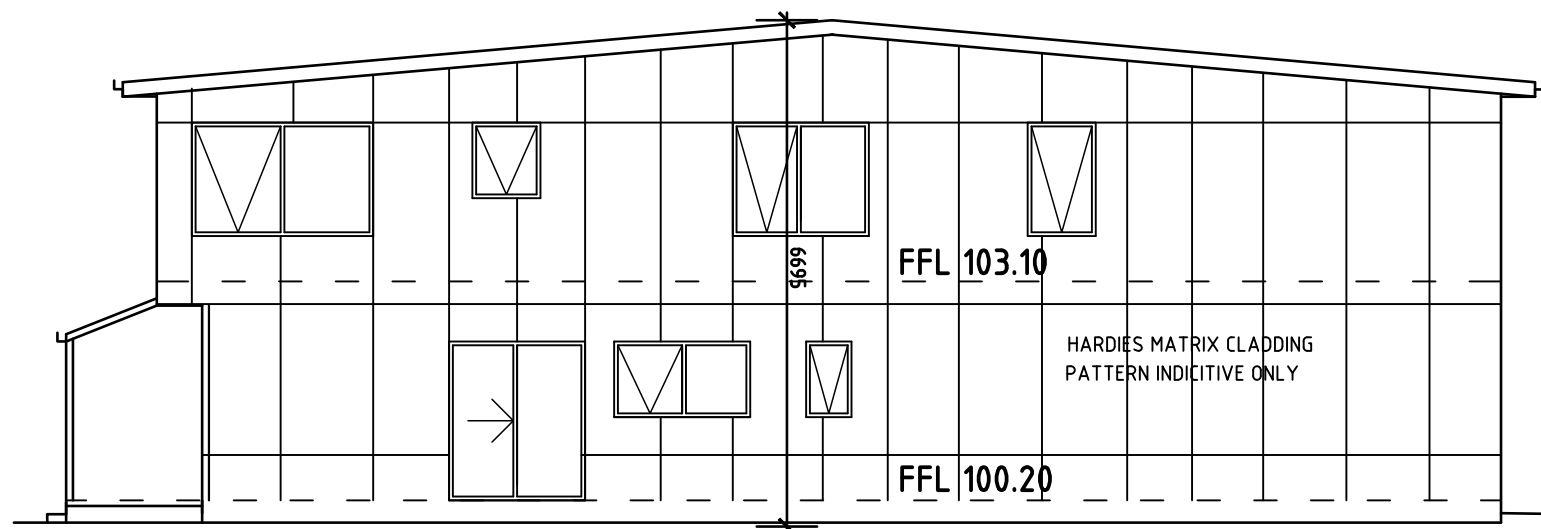
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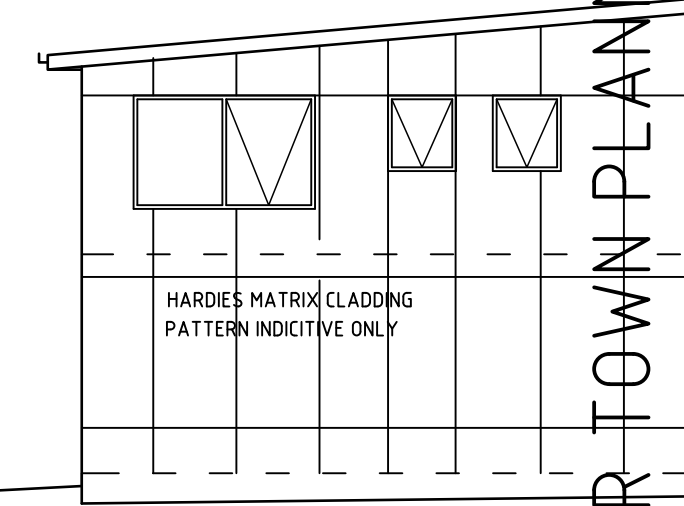
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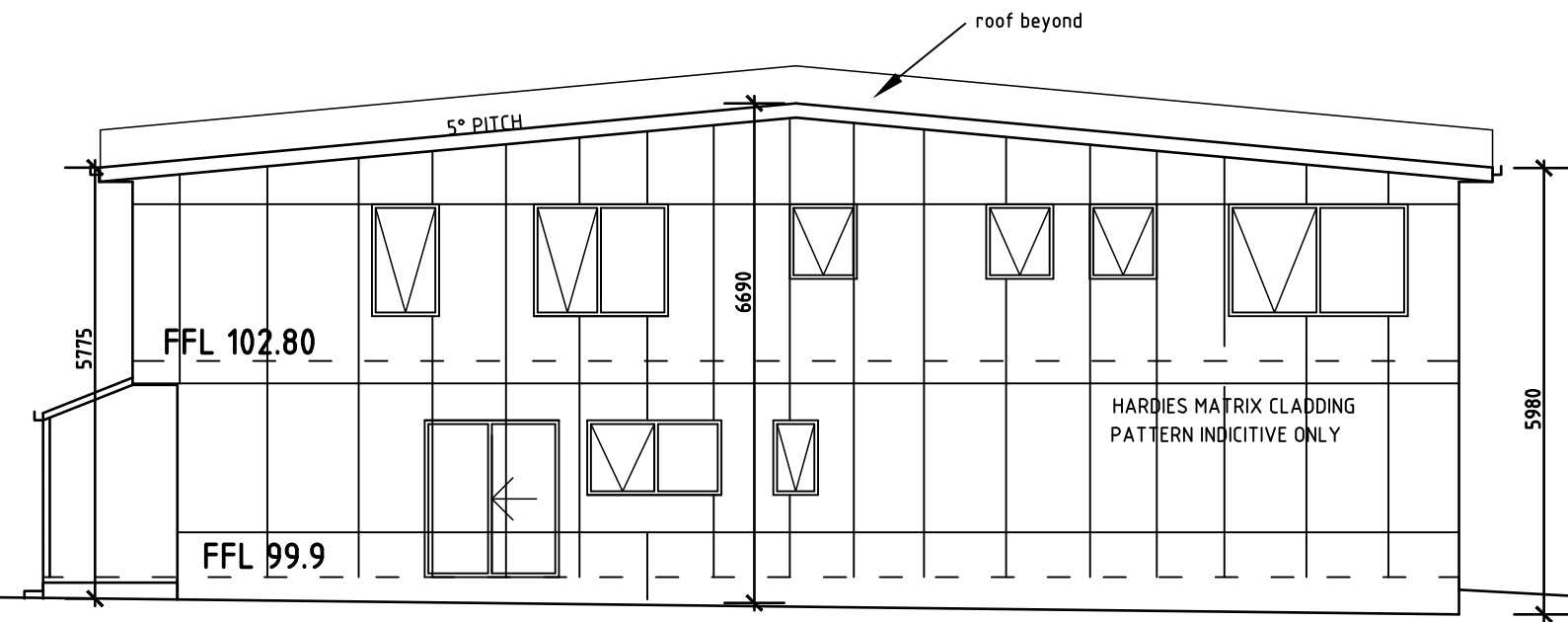
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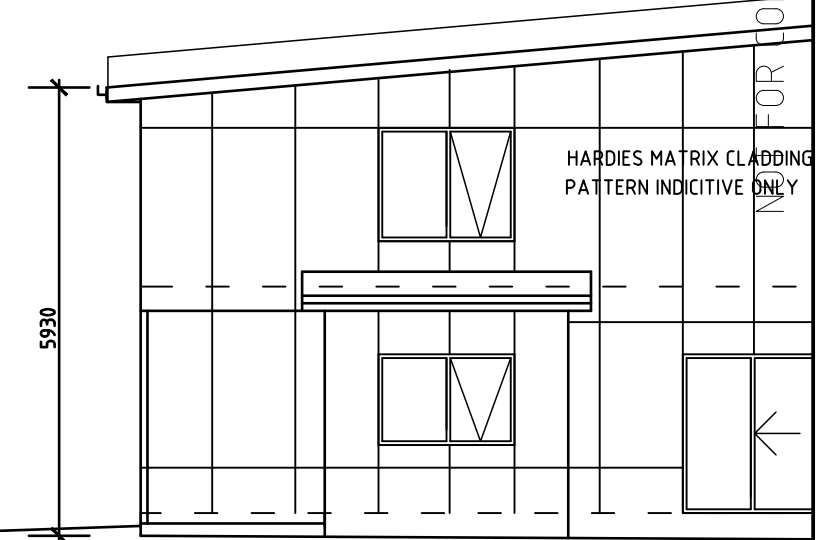
EAST ELEVATION UNIT 4



EAST EL



WEST ELEVATION UNIT 5



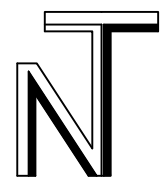
WEST EL

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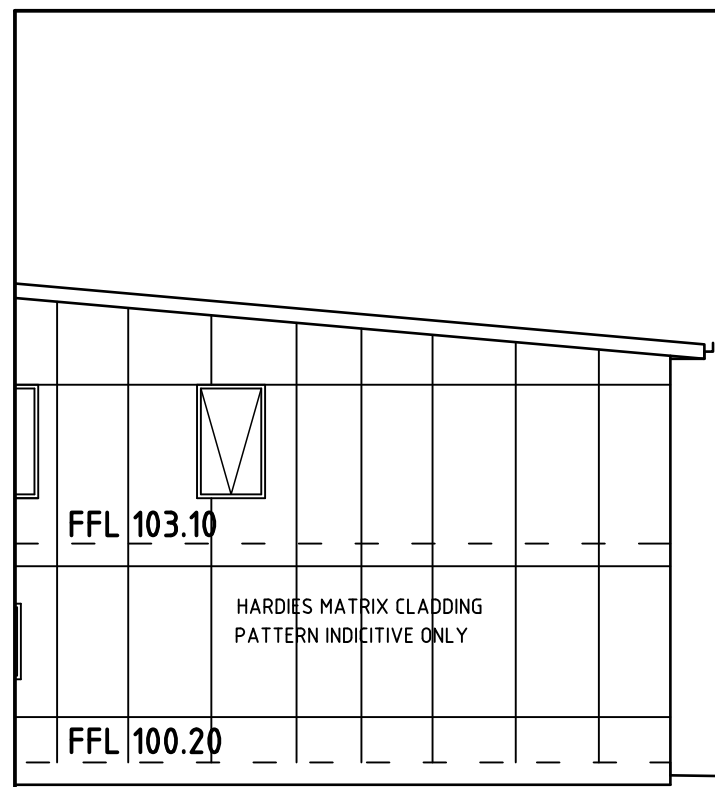
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PRELIMINARY DESIGN	8-8-22
	18-7-23
COMPLETED DRAWINGS	18-6-24
AMENDMENT 1	
AMENDMENT 2	

TOTAL CORP  
34 PAYNESVILLE  
ROAD PAYNESVILLE  
WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE  
SCALE 1:150 @ A3 DRAWN DP TP  
Printed 15/10/2024  
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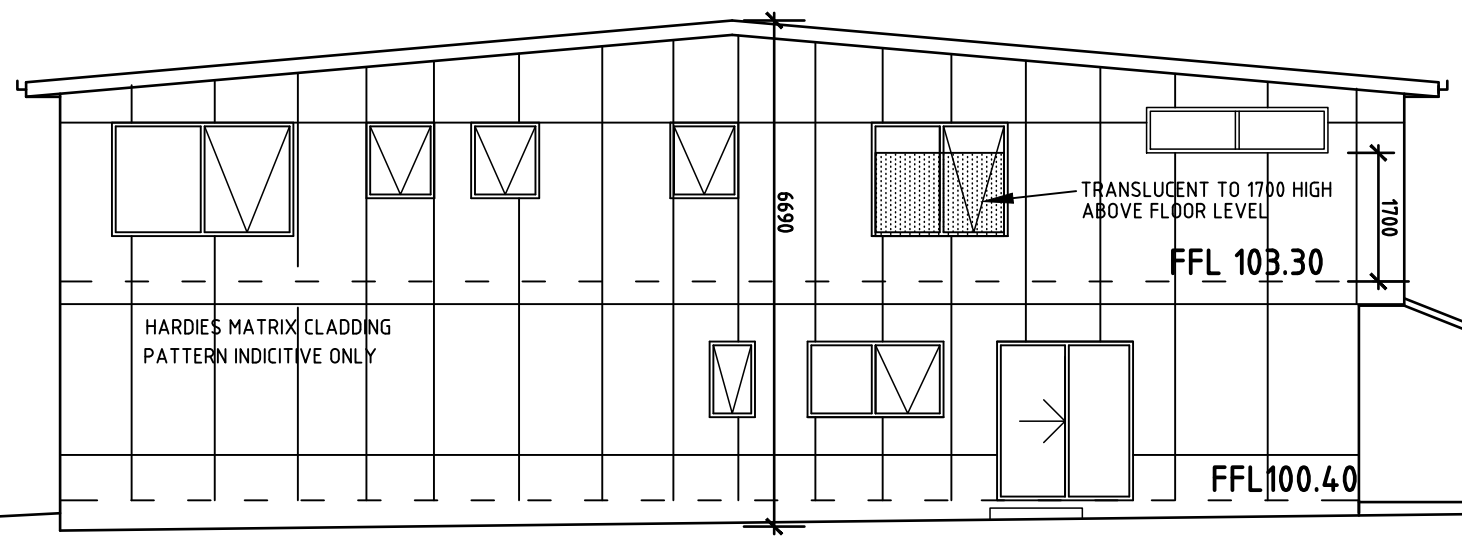
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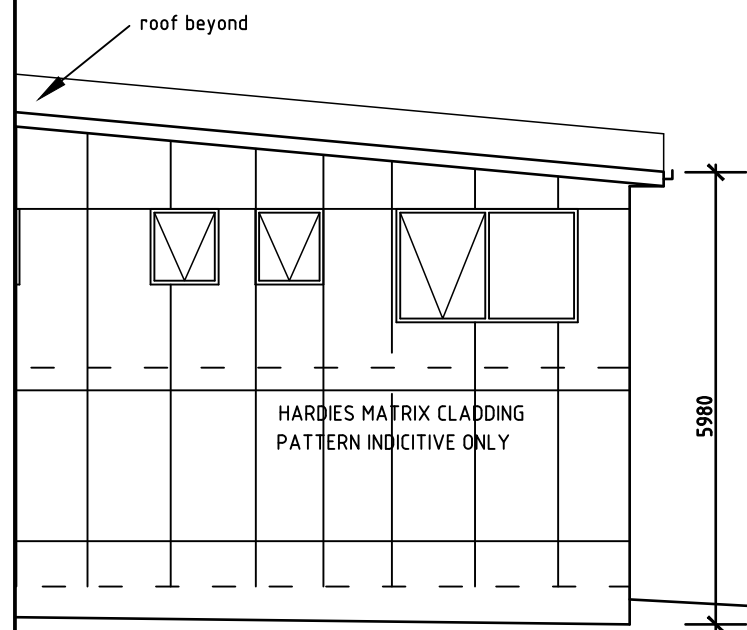


DN UNIT 4

SLLOPE DRIVE TO CENTRE

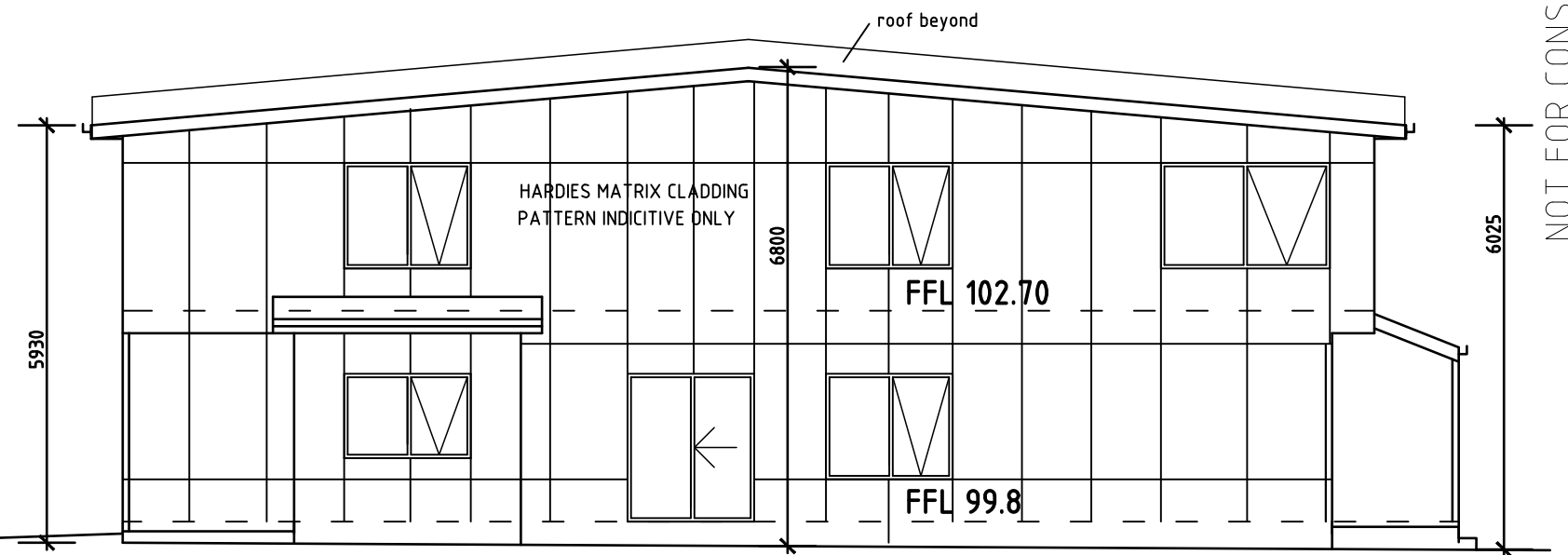


EAST ELEVATION UNIT 9



N UNIT 5

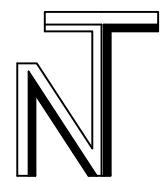
SLLOPE DRIVE TO CENTRE



WEST ELEVATION UNIT 1

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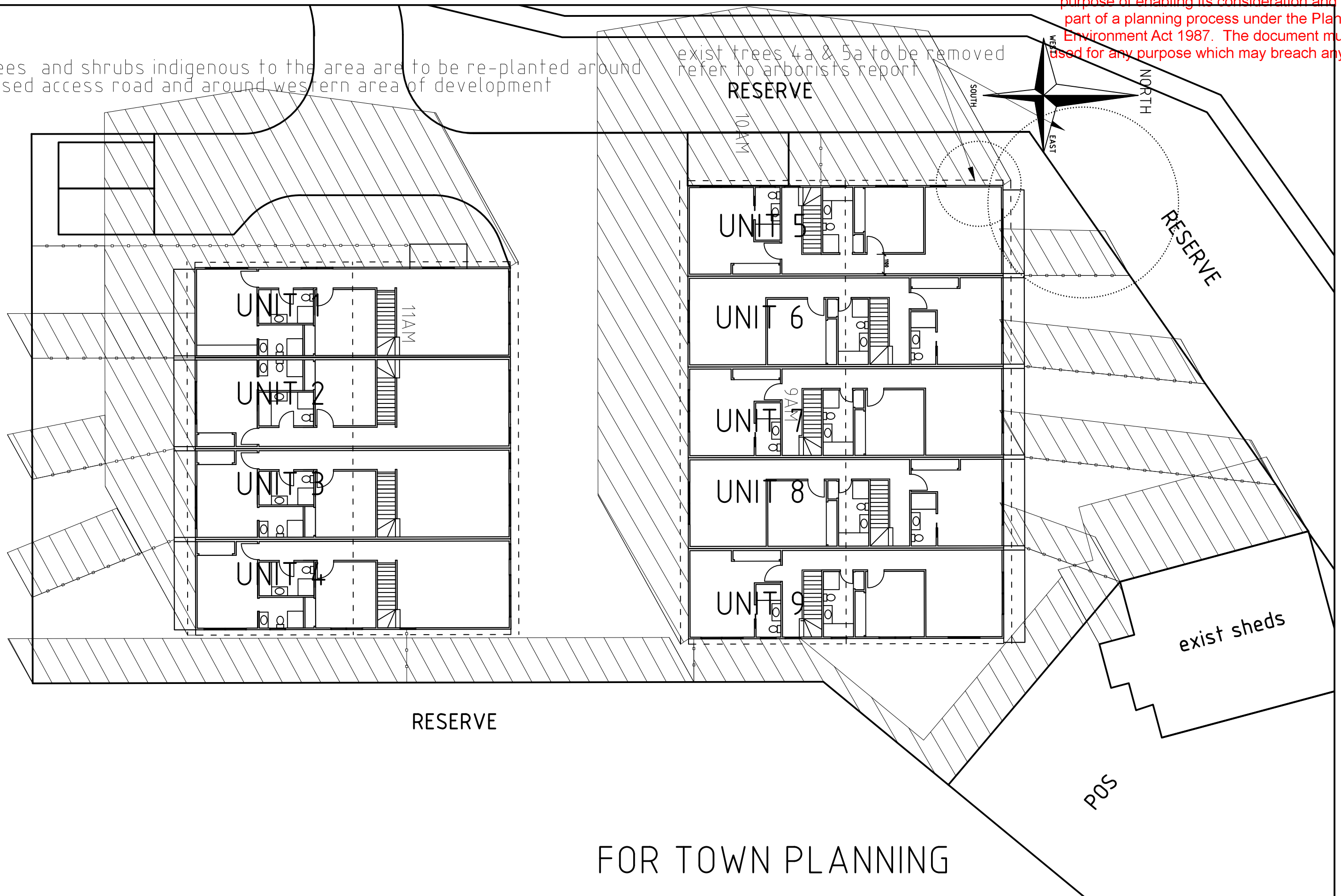
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ve trees and shrubs indigenous to the area are to be re-planted around proposed access road and around western area of development

exist trees 4a & 5a to be removed refer to arborists report

SERVICE ROAD unmade

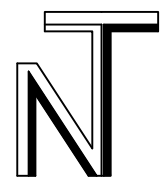


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 Enable, advocate and celebrate good building design

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 denise.noztech@gmail.com

PRELIMINARY DESIGN	26-10-22 11-7-23
COMPLETED DRAWINGS	21-6-24
AMENDMENT 1	
AMENDMENT 2	

TOTAL CORP  
 34 PAYNESVILLE  
 ROAD PAYNESVILLE  
 WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE  
 SCALE 1:200 @ A3 DRAWN DP

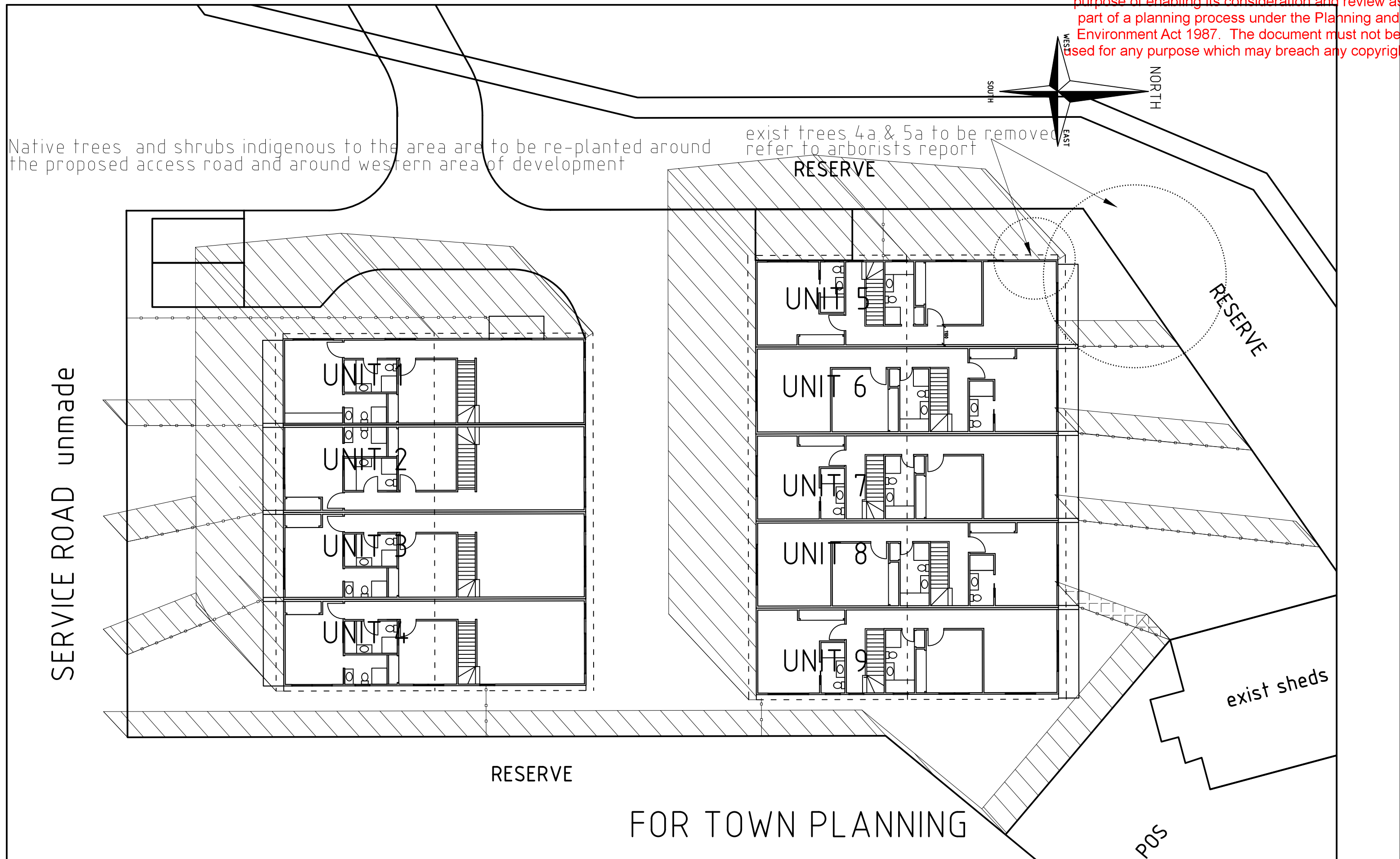
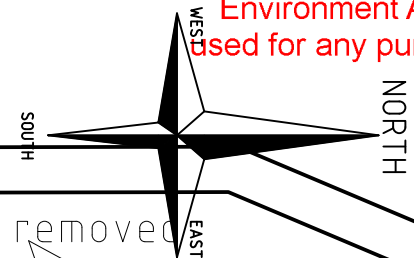
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Native trees and shrubs indigenous to the area are to be re-planted around the proposed access road and around western area of development

exist trees 4a & 5a to be removed refer to arborists report



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exist sheds

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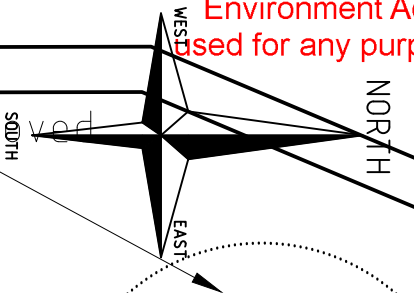
TOTAL CORP  
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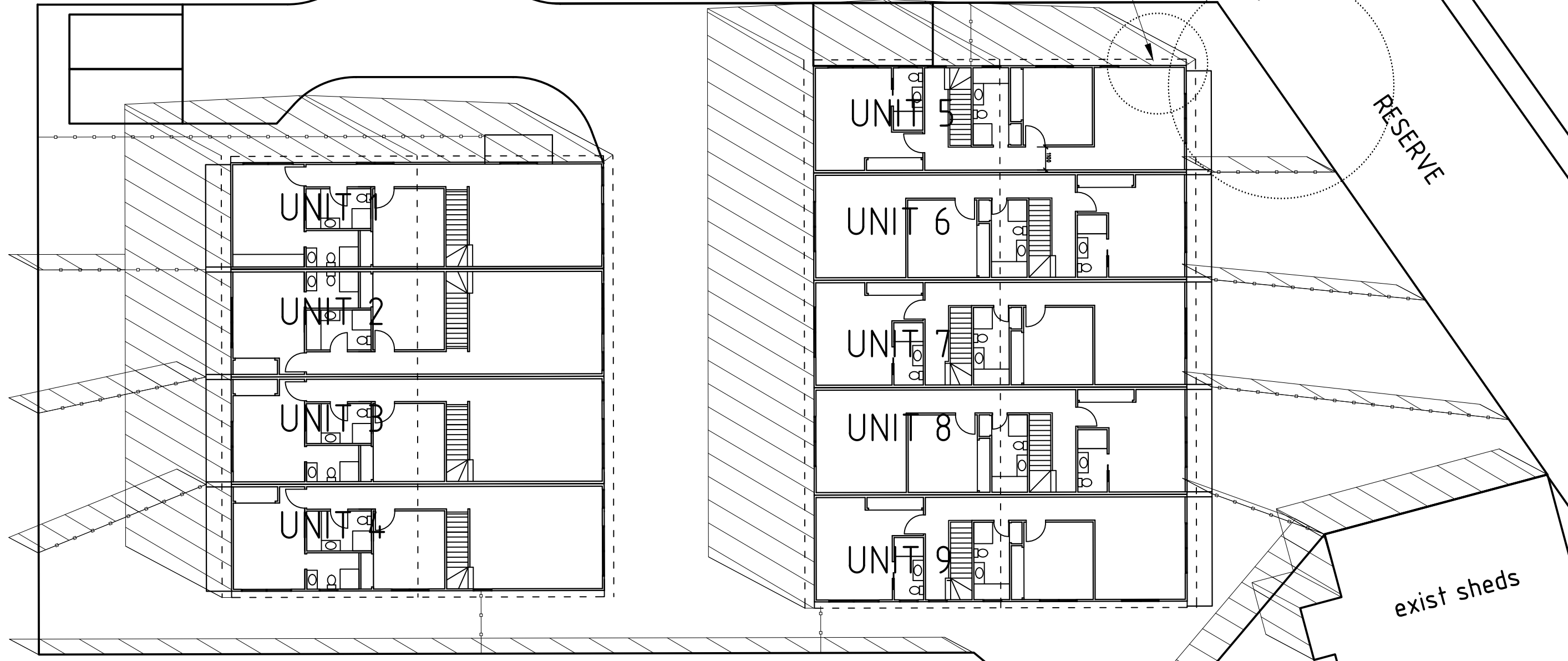
live trees and shrubs indigenous to the area are to be re-planted around proposed access road and around western area of development

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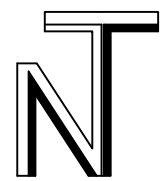
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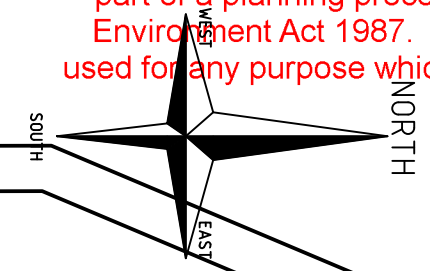


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SCALE 1:200 @ A3 DRAWN DP TR  
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Five trees and shrubs indigenous to the area are to be re-planted around the proposed access road and around western area of development

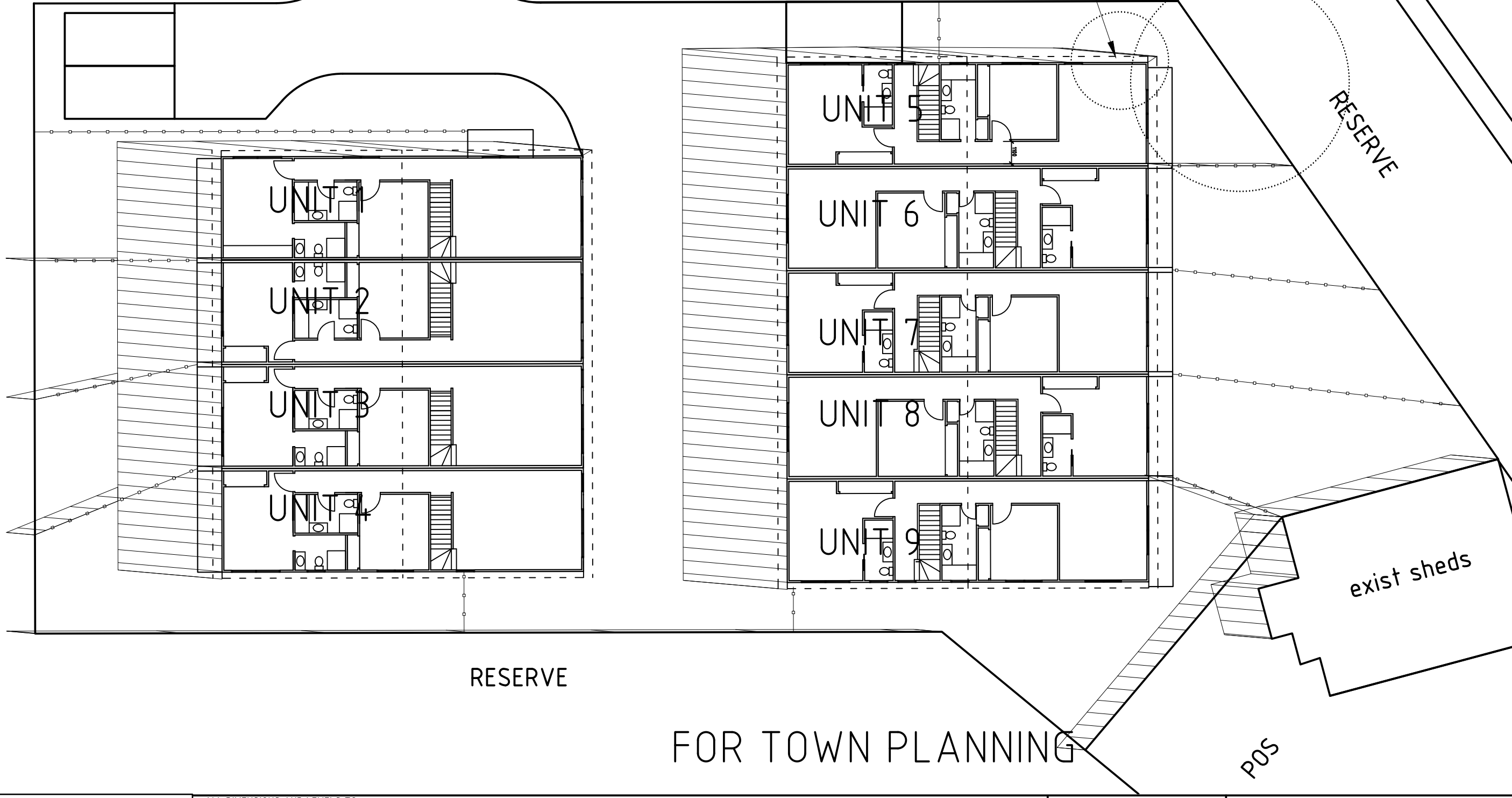
exist trees 4a & 5a to be removed refer to arborists report

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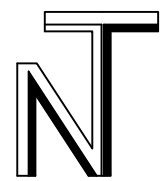
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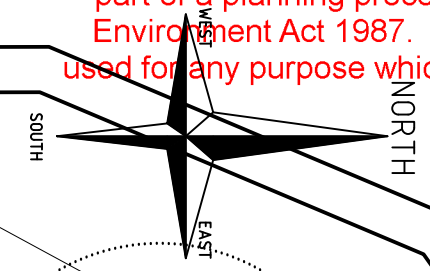
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COMPLETED DRAWINGS	21-6-24
AMENDMENT 1	
AMENDMENT 2	

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Five trees and shrubs indigenous to the area are to be re-planted around the proposed access road and around western area of development

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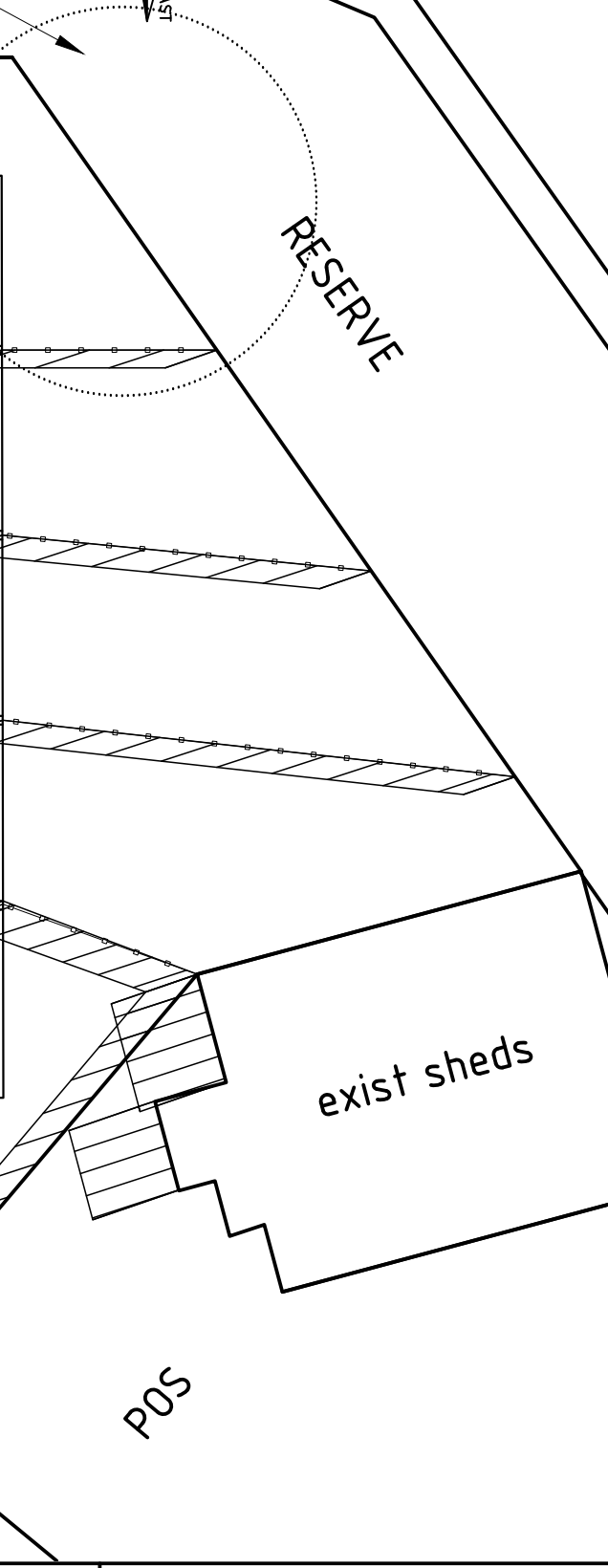
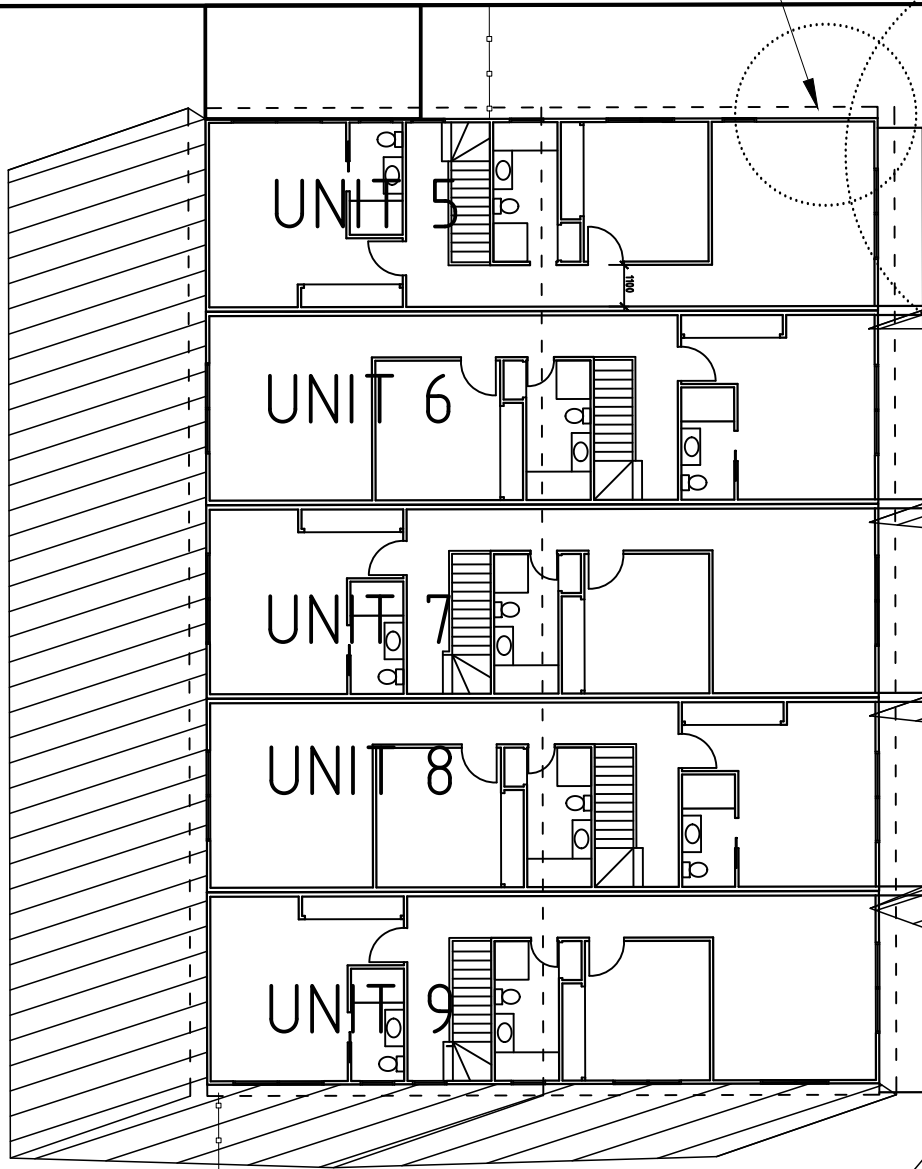
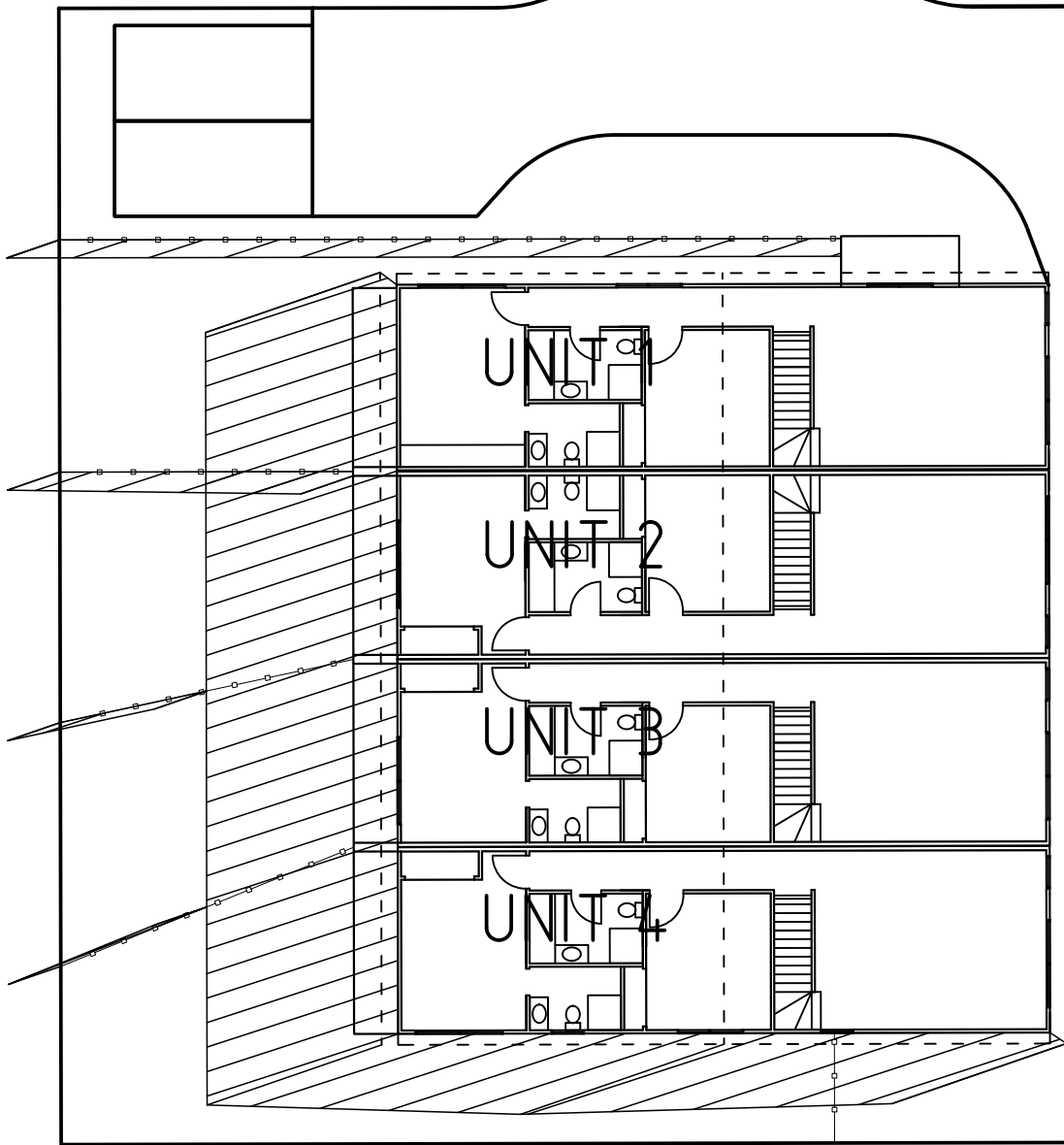


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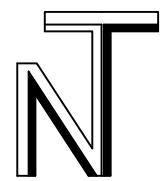


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PRELIMINARY DESIGN	26-10-22 24-7-23
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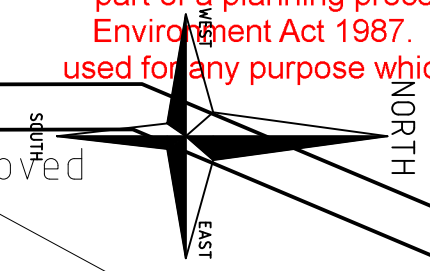
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SCALE 1:200 @ A3 DRAWN DP TP 200-28  
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Page 86 of 88



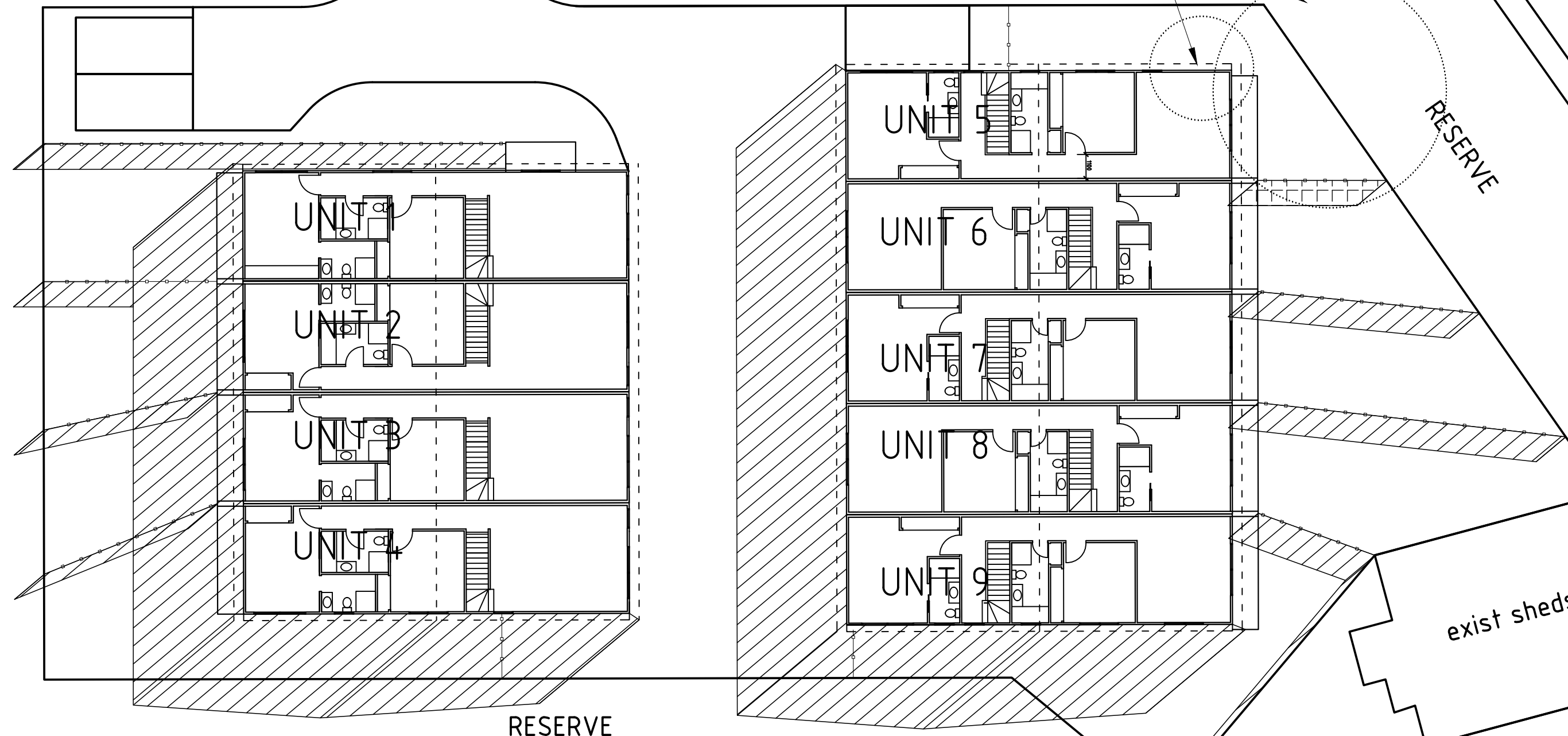
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Native trees and shrubs indigenous to the area are to be re-planted around the proposed access road and around western area of development

exist trees 4a & 5a to be removed refer to arborists report



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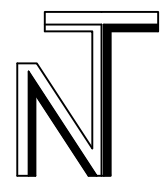


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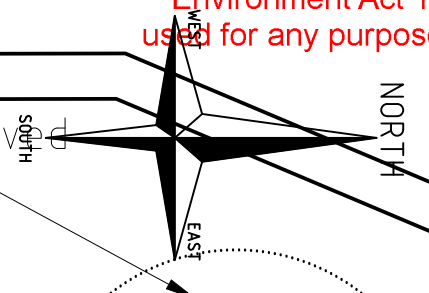
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Page 87 of 88

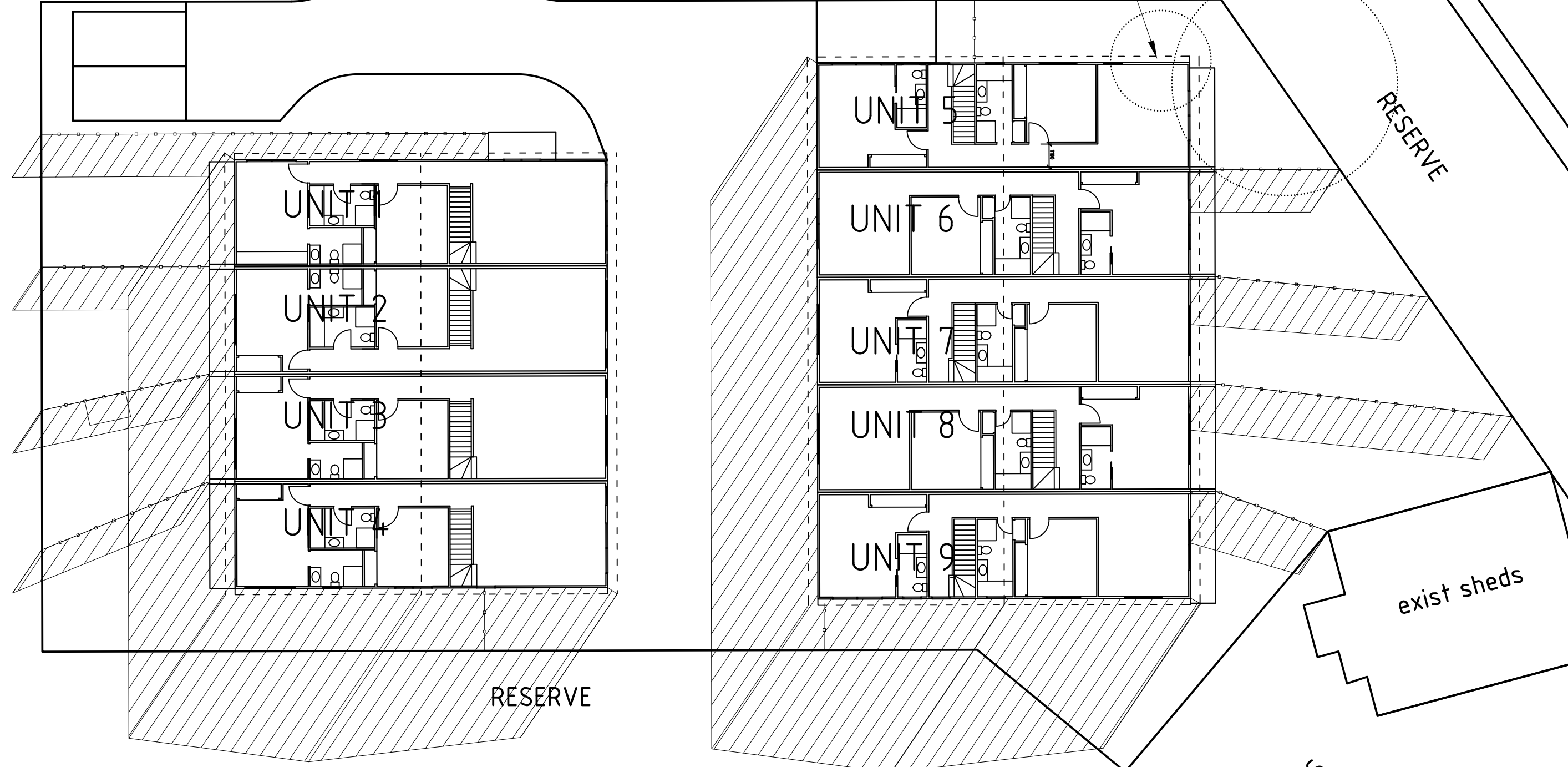
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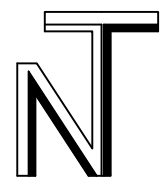


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SCALE 1:200 @ A3 DRAWN DP TP 20/23