

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	25 View Street LAKES ENTRANCE 3909 Lot: 89 LP: 24369
The application is for a permit to:	Buildings and works for a replacement dwelling & associated earthworks
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2023.511.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ♦ **be made to the Responsible Authority in writing,**
- ♦ **include the reasons for the objection, and**
- ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
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If you object, the Responsible Authority will tell you its decision.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 09035 FOLIO 335

Security no : 124111024707Y
Produced 05/12/2023 01:37 PM

LAND DESCRIPTION

Lot 89 on Plan of Subdivision 024369.
PARENT TITLE Volume 07791 Folio 155
Created by instrument F192250 14/11/1973

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
THERESE CARMEL MACK
AM593716R 26/02/2016

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP024369 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 25 VIEW STREET LAKES ENTRANCE VIC 3909

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END



Imaged Document Cover Sheet

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PLAN AMENDED VIDE
AO 46922
10-5-66

DEPTH LIMITATION: 50 FEET (CA 30D1, CA 55D, CA 55E)

LP24369

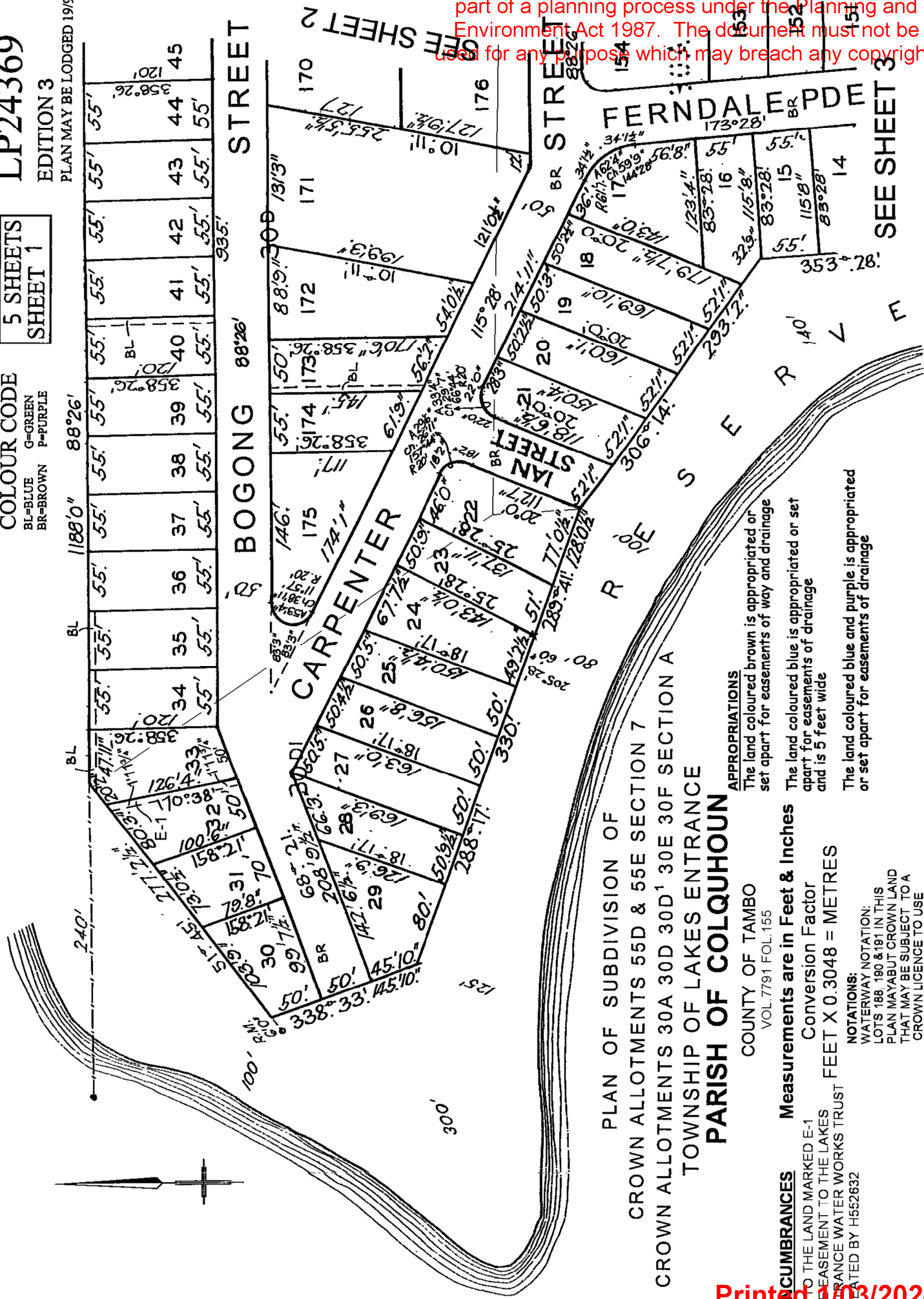
5 SHEETS
SHEET 1

COLOUR CODE

BL=BLUE G=GREEN
BR=BROWN P=PURPLE

EDITION 3

PLAN MAY BE LODGED 19/9/52



PLAN OF SUBDIVISION OF
CROWN ALLOTMENTS 55D & 55E SECTION 7
CROWN ALLOTMENTS 30A 30D 30D1 30E 30F SECTION A
TOWNSHIP OF LAKES ENTRANCE
PARISH OF COLQUHOUN

COUNTY OF TAMBO

VOL. 7791 FOL. 155

Measurements are in Feet & Inches

Conversion Factor

FEET X 0.3048 = METRES

ENCUMBRANCES

AS TO THE LAND MARKED E-1

THE EASEMENT TO THE LAKES

ENTRANCE WATER WORKS TRUST

CREATED BY H552632

APPROPRIATIONS

The land coloured brown is appropriated or set apart for easements of way and drainage

The land coloured blue is appropriated or set apart for easements of drainage and is 5 feet wide

The land coloured blue and purple is appropriated or set apart for easements of drainage

NOTATIONS:

WATERWAY NOTATION:

LOTS 188, 190 & 191 IN THIS

PLAN MAY ABUT CROWN LAND

THAT MAY BE SUBJECT TO A

CROWN LICENCE TO USE

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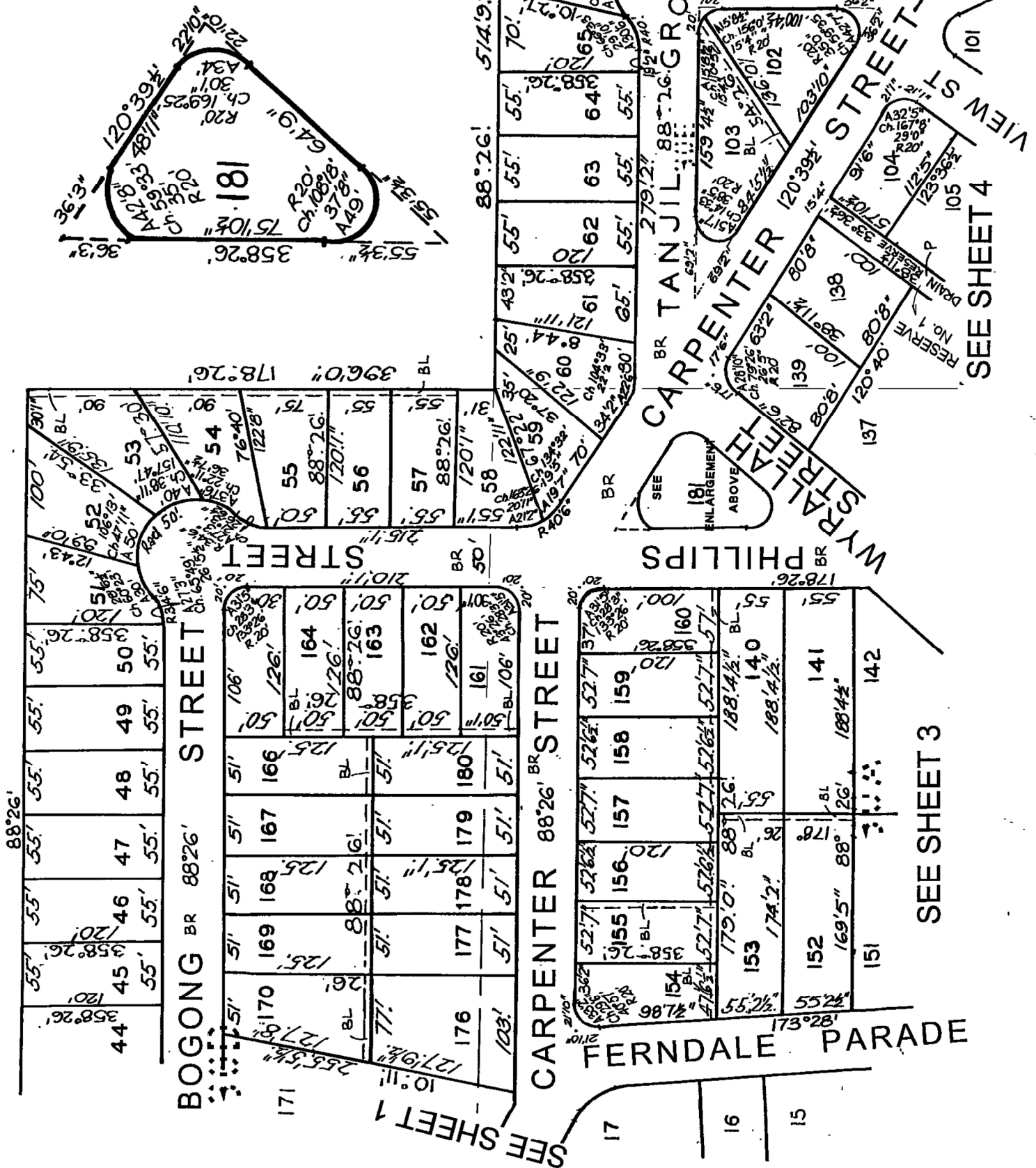
SEE SHEET 3

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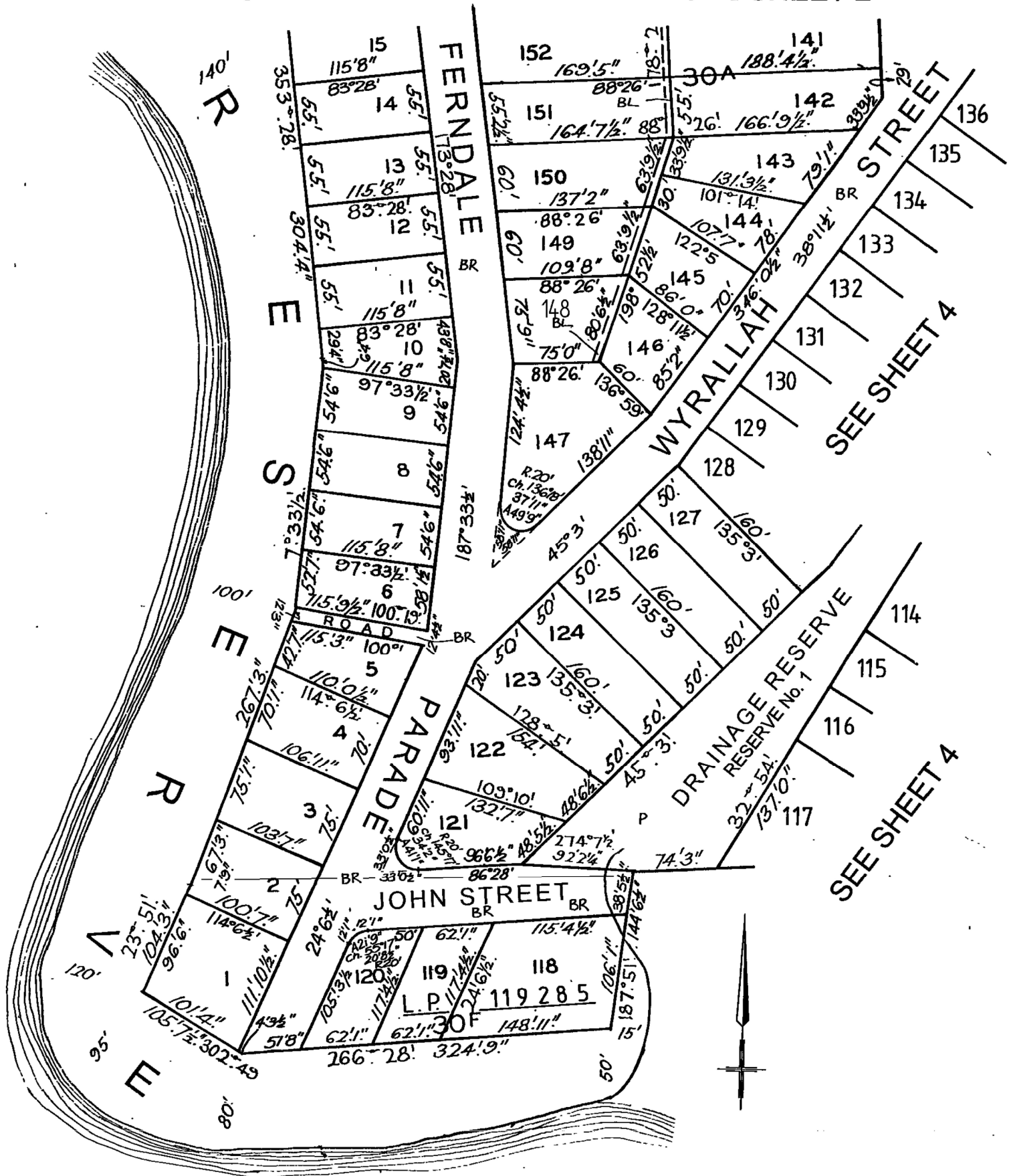
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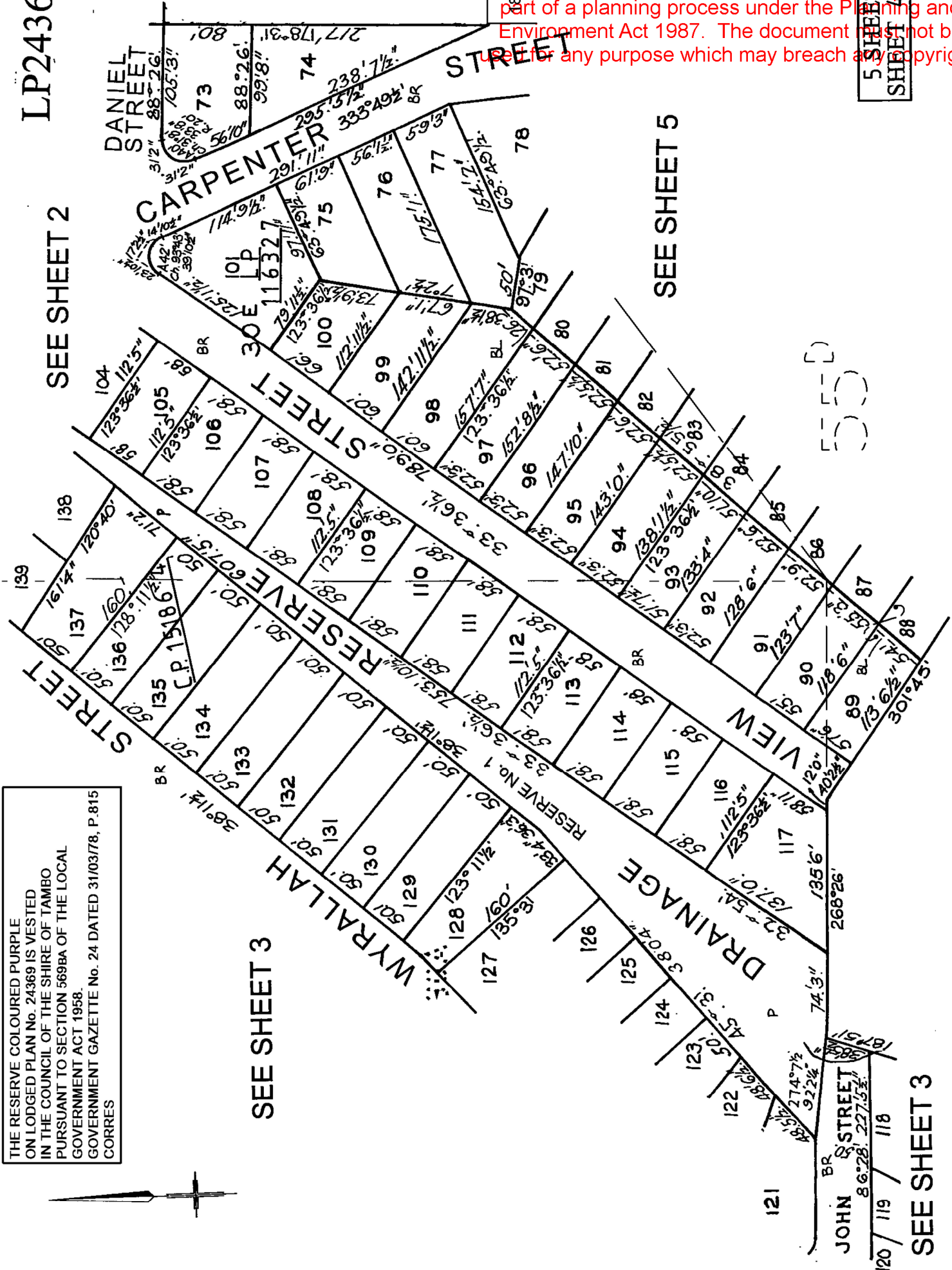
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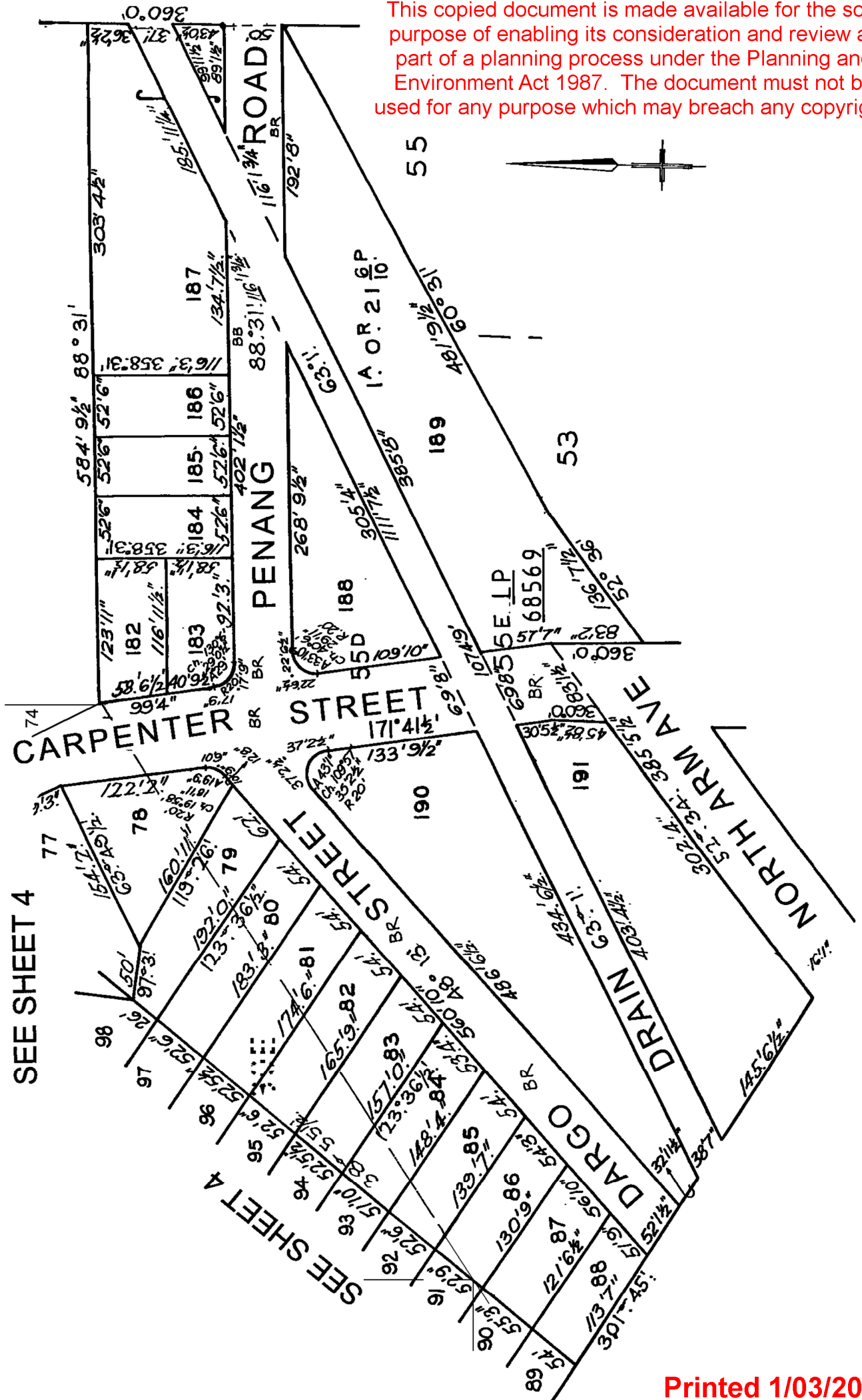
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APPLICATION FOR PLANNING PERMIT

DEVELOPMENT OF A REPLACEMENT DWELLING AND ASSOCIATED EARTHWORKS

BRUCE MACK
25 VIEW STREET, LAKES ENTRANCE
REF: 23019

CONTENTS

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4	Zones and Overlays	12
5	Planning Assessment	17
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APPENDIX

A	Copy of Title and Plan of Subdivision
B	Proposed Development Plans
C	Geotechnical Risk Assessment waiver

DOCUMENT REVISION

1	Draft Report	DAC	12/12/2023
2	Final Report	CMC	17/12/2023
3	Revised Report	CMC	16/02/2024



1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of Bruce Mack, the applicant for the planning permit application for the development of a replacement dwelling and associated earthworks at 25 View Street, Lakes Entrance.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

Address	25 View Street, Lakes Entrance
Site Description	Lot 89 on Land Plan 024369
Title Particulars	Vol 09035 Fol 335
Site Area	600m ²
Proposal	Development of a Replacement Dwelling and Associated Earthworks
Planning Scheme	East Gippsland Planning Scheme
Zone	General Residential Zone – Schedule 1
Overlays	Design and Development Overlay – Schedule 13 (DDO13) Erosion Management Overlay (EMO)
Aboriginal Cultural Heritage	Identified as an area of Cultural Heritage Sensitivity
Permit Triggers	Clause 44.01-2 Erosion Management Overlay – Buildings and works Clause 43.02-2 Design and Development Overlay - Buildings and Works
Notice	Exempt from notice at Clause 44.01-7
Referrals	No referrals required
Work Authority Licence	Not Applicable
Planning Scheme requirements	Municipal Planning Strategy – Clause 02 Settlement - Growth area towns – Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Planning Policy Framework – Clause 10 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Erosion and landslip – Clause 13.04-2S Built environment and heritage – Clause 15 Housing – Clause 16 Erosion Management Overlay - Clause 44.01 Design and Development Overlay - Clause 43.02 Decision guidelines – Clause 65

2. SITE CONTEXT

Site

The subject site is located at 25 View Street, Lakes Entrance. A copy of the Title and Land Plan is contained in **Appendix A**. The title is not affected by any restrictive covenants or agreements. There is an existing 1.52 metre wide drainage easement located along the southeast boundary.

The site is rectangular in shape with a total area of approximately 600m² and contains an existing dwelling to be demolished.

The site is undulating in nature with a natural fall to the southwest and contains minimal scattered vegetation throughout and a concrete driveway in the southern portion. Details of the site are depicted in the photographs provided below.

Access is existing from both View Street and Dargo Street. The access from View Street is pedestrian only via an existing footpath along the northwest boundary. Vehicle access is existing via a concrete crossover and driveway along the southwestern boundary directly from Dargo Street.

View Street is a constructed bitumen sealed road with rollover kerb and channel traversing

in a northeast to southwest direction and Dargo Street is a bitumen sealed road with grassed shoulders traversing in a northwest to southeast direction.

The subject site in relation to Lakes Entrance as well as the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2**.



Figure 1 – Locality Plan – 25 Views Street, Lakes Entrance (source: mapshare.vic.gov.au)



Figure 2 – Locality Plan – 25 View Street, Lakes Entrance (source: mapshare.vic.gov.au)

Surrounds

The land in this locality is predominantly residential and public land. The subject site is less than 1 kilometre from the central business district of Lakes Entrance.

Adjoining the northern boundary is View Street and further land developed with residential dwellings and associated facilities, adjoining the northeastern and southeastern boundary is land containing residential dwellings and associated facilities and adjoining the western boundary is Dargo Street and public land being North Arm.

Lakes Entrance is a coastal township located on the Princes Highway approximately 40 kilometres southeast of Bairnsdale. Lakes Entrance offers a range of community and commercial services and facilities. A larger suite of services and facilities is available further afield in Bairnsdale.

The subject site in relation to Lakes Entrance is shown in the aerial photograph below.



Photograph 1 – Aerial photograph of the subject site and surrounding land
– 25 View Street, Lakes Entrance (source: doi.vic.gov.au)
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Photograph 2 – Subject site at 25 View Street, Lakes Entrance.



Photograph 4 – Access to subject site from Dargo Street facing northeast.



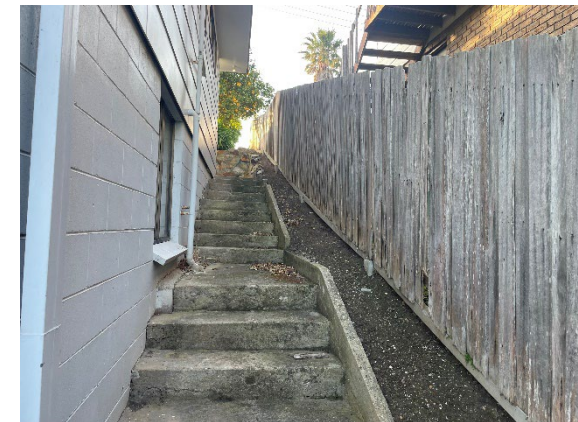
Photograph 6 – Existing dwelling facing south.



Photograph 3 – Access to subject site from View Street facing southeast.



Photograph 5 – Existing dwelling on subject site facing northwest.



Photograph 7 – Subject site facing northwest along the northern boundary.



Photograph 8 – Subject site facing southeast along the northern boundary.



Photograph 10 – Neighbouring property adjoining the northwestern boundary at 28 View Street, Lakes Entrance.



Photograph 12 – Neighbouring property adjoining the southeastern boundary at 20 Dargo Street, Lakes Entrance.



Photograph 9 – Subject site facing south.



Photograph 11 – Neighbouring property adjoining the northeastern boundary at 23 View Street, Lakes Entrance.



Photograph 13 – Eastern Creek (North Arm) directly opposite subject site.



Photograph 14 – Dargo Street facing northwest.



Photograph 16 – View Street facing northeast.



Photograph 15 – Dargo Street facing southeast.



Photograph 17 – View Street facing southeast.

3. THE PROPOSAL

This application seeks approval for the development of a replacement dwelling and associated earthworks. The proposed development plans are contained in **Appendix B**.

The proposed replacement dwelling will be centrally located on the site with a setback of 1.38 metres to the northeast boundary, 1.67 metres to the southeast boundary, 1.08 metres to the southwest boundary and 5.97 metres to the northwest boundary.

The proposed replacement dwelling will have a total building footprint area of approximately 273.28m² and will be split level double storey. The overall proposed height of the dwelling will be 9.86 metres however will not exceed 7.5 metres from the natural ground surface.

The finished materials and colours of the proposed dwelling will include a combination of rendered brickwork with a paint finish in Colorbond Southerly, Knotwood aluminium vertical and horizontal cladding in the colour Woodgrain Sycamore and, trimdek Colorbond roof sheeting in the Colorbond colour Monument. An extract from the plans showing the colour schedule and the southwest

elevation is provided to the right and in **Appendix B**.

Vehicle access to the site is existing however will be upgraded as indicated on the proposed development plans. An upgraded concrete driveway will be provided along the southwestern boundary directly from Dargo Street. Pedestrian access will be upgraded along the northwestern boundary as indicated on the proposed development plans. The works proposed within the road reserve will require a works within road reserve permit. Preliminary advice has been obtained.

The dwelling will connect to all available services including reticulated water, sewerage, electricity and telecommunications. There is an existing drainage easement along the southeastern boundary.

Drainage from the proposed dwelling will be directed to the legal point of discharge to the satisfaction of the responsible authority.

No vegetation removal is required however the proposal requires earthworks that will exceed 1 metre in depth, as such a Geotechnical Risk Assessment waiver is contained in **Appendix C**.

COLOUR PALETTE

	COLORBOND MONUMENT (or similar approved)
	SILVER (or similar approved)
	COLORBOND SOUTHERLY (or similar approved)
	SYCAMORE (or similar approved)
	TEAK (or similar approved)



Figure 3– Southwest elevation – SANDS Building Design

4. ZONES AND OVERLAYS

General Residential Zone – Schedule 1

The purpose of the General Residential Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

An extract of the General Residential Zone Map is provided to the right in **Figure 4**.

Clause 32.08-2 of the General Residential Zone provides a permit is not required to use land for a dwelling. Clause 32.08-5 provides a permit is required to construct or extend one dwelling on a lot less than 300 square metres. The subject site exceeds 300 square metres and as such a permit is not required. This is not addressed further.

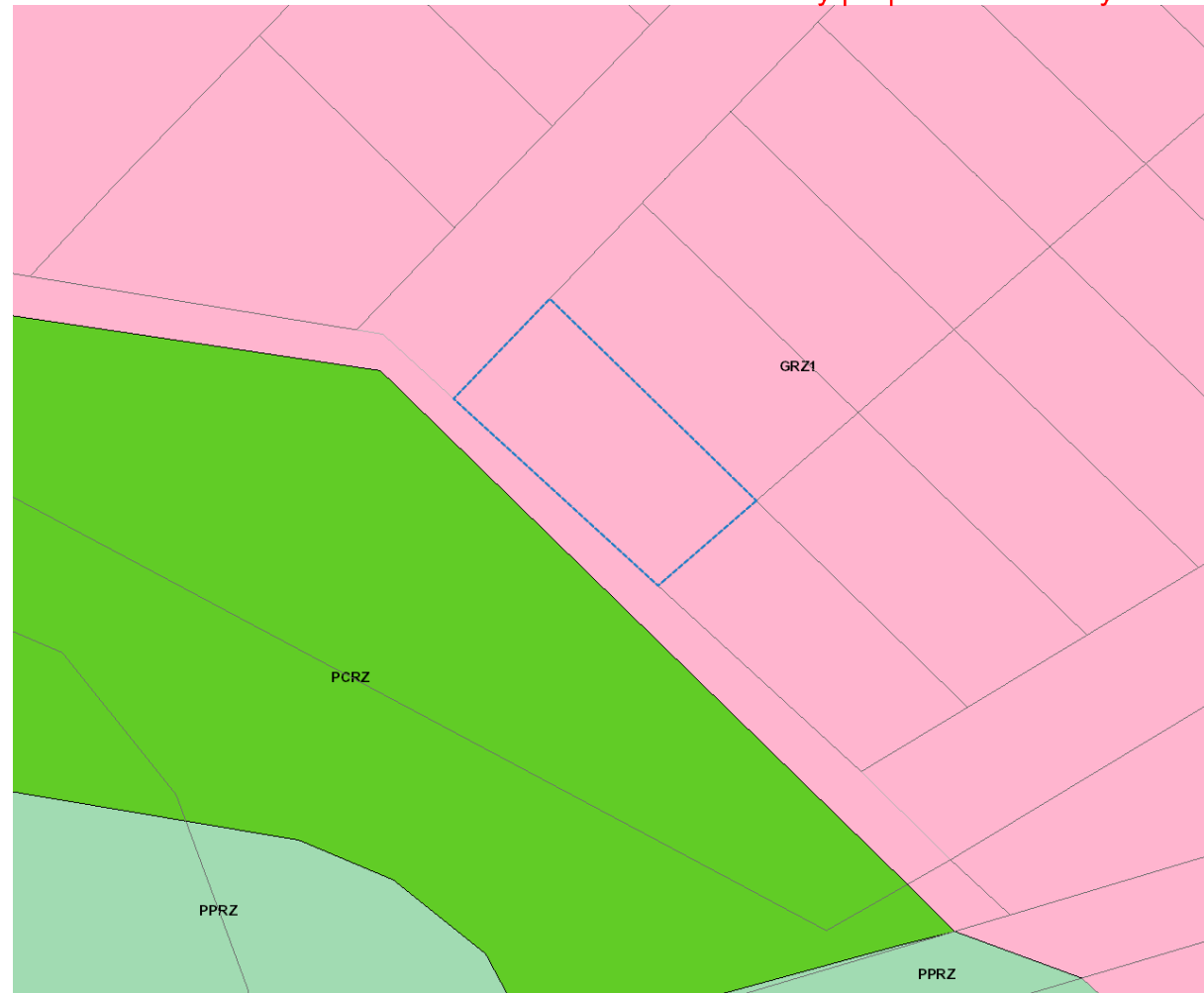


Figure 4 – Zoning Map – (source - mapshare.vic.gov.au)

Design and Development Overlay – Schedule 13

The purpose of the Design and Development Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

An extract of the Design and Development Overlay Map is provided to the right in **Figure 5**.

Clause 43.02 provides a permit is required to construct a building or construct or carry out works. The Schedule provides in 2.0 no permit is required for a building less than 7.5 metres high, development on land where the total building area does not exceed 300m² and development where the slope of land does not exceed 15 percent.

The proposed dwelling will be under 7.5 metres high from natural surface level, the total building footprint will not exceed 300m² however the slope of land will exceed 15 percent and as such a permit is required under the provisions of the Design and Development

Overlay. The relevant decision guidelines are addressed in Section 5 of this submission.



Figure 5 – Design and Development Overlay – (source - mapshare.vic.gov.au)

Design and Development Overlay – Schedule 13 continued:

Schedule 13 to the Design and Development Overlay relates to Residential Development in Coastal Settlements: Lakes Entrance and contains the following design objectives:

All areas

- To protect and manage the township character of coastal settlements.
- To ensure that the height and visual bulk of new development is compatible with the coastal neighbourhood setting.
- To ensure that new development is designed to minimise visual impacts on the natural landscape.
- To ensure that new development is visually and physically integrated with the site and surrounding landscape.
- To ensure that new development is sited and designed to be visually unobtrusive through and above the surrounding tree canopy when viewed from the public realm, lakes, coastal areas, or other distant viewpoints.
- To protect the vegetated character of the landscape, particularly where it is a dominant visual and environmental feature.

- To maintain the generally small mass of buildings in the landscape.

Northern residential (area 5)

- To encourage the visual enhancement of private land facing the North Arm with natural landscaping.

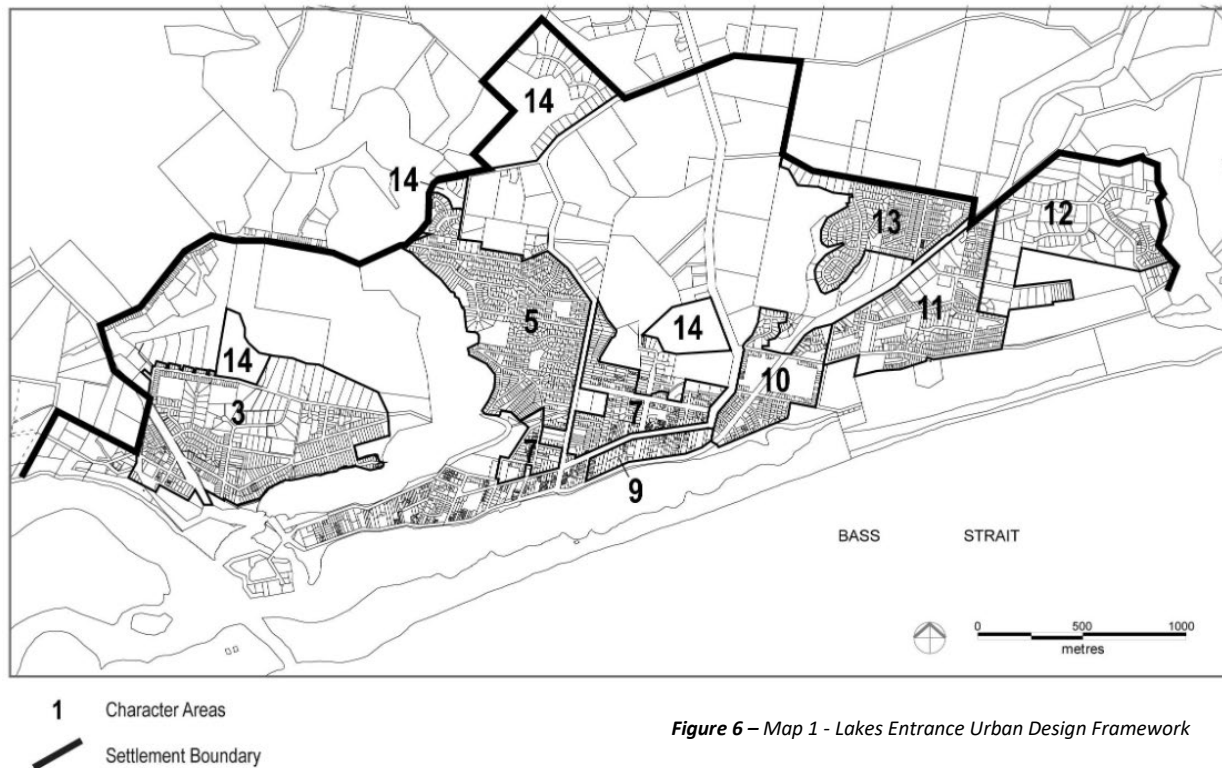


Figure 6 – Map 1 - Lakes Entrance Urban Design Framework

Erosion Management Overlay

The purpose of the Erosion Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.

An extract of the Erosion Management Overlay Map is provided to the right in **Figure 6**.

Clause 44.01-2 provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is not required for the development of a dwelling however is required for earthworks that exceed 1 metre in depth. The proposed earthworks will exceed 1 metre in depth and as such the relevant decision guidelines are addressed in Section 5.

A Geotechnical Risk Assessment Waiver is provided in **Appendix D**.

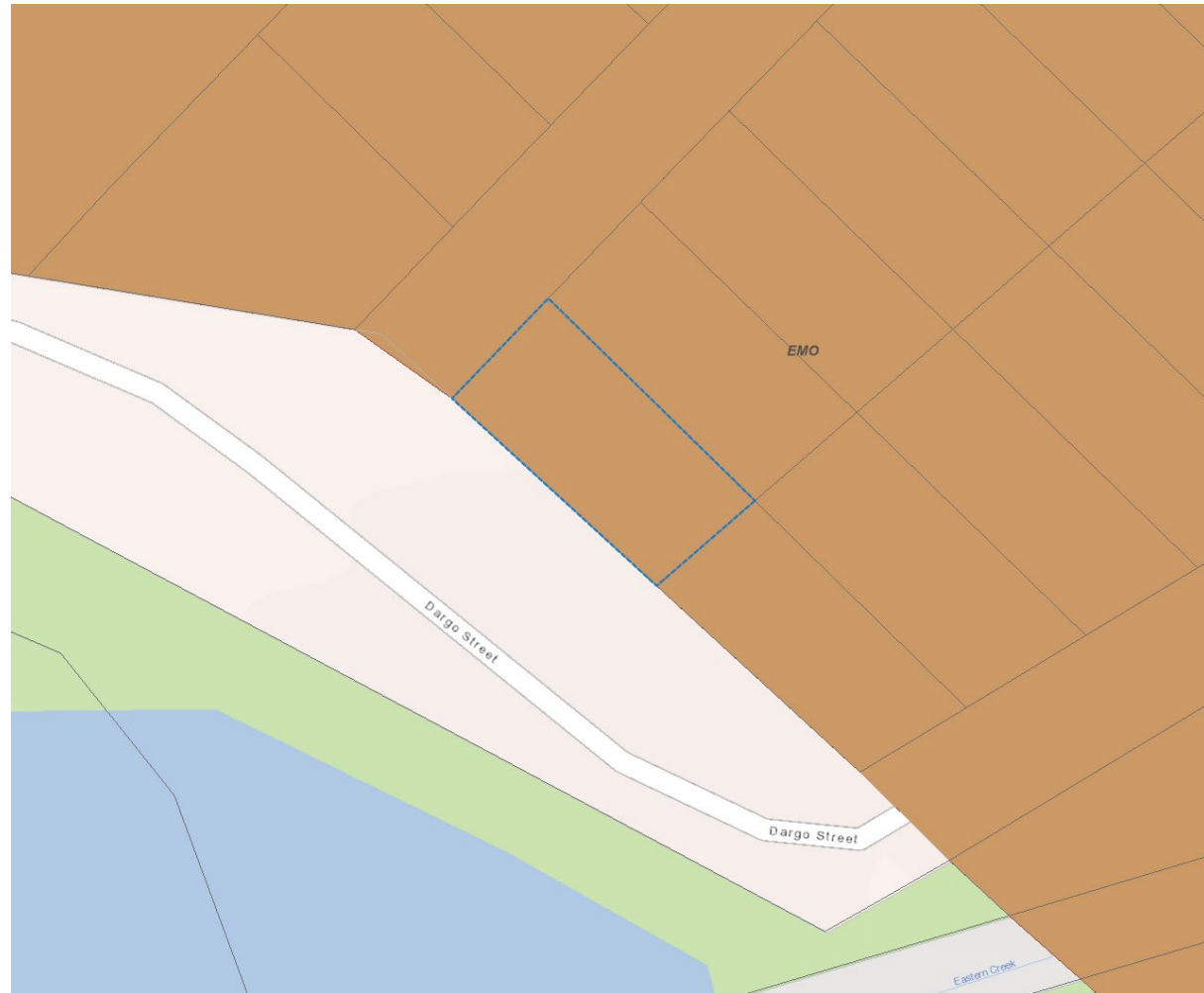


Figure 6 – Erosion Management Overlay – (source - mapshare.vic.gov.au)

Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is recognised as being within an area of Aboriginal Cultural Heritage Sensitivity. The development of a replacement dwelling and associated earthworks is considered an exempt activity, and as such a Cultural Heritage Management Plan is not required.

An extract of the Aboriginal Cultural Heritage Map is provided to the right in **Figure 7**.

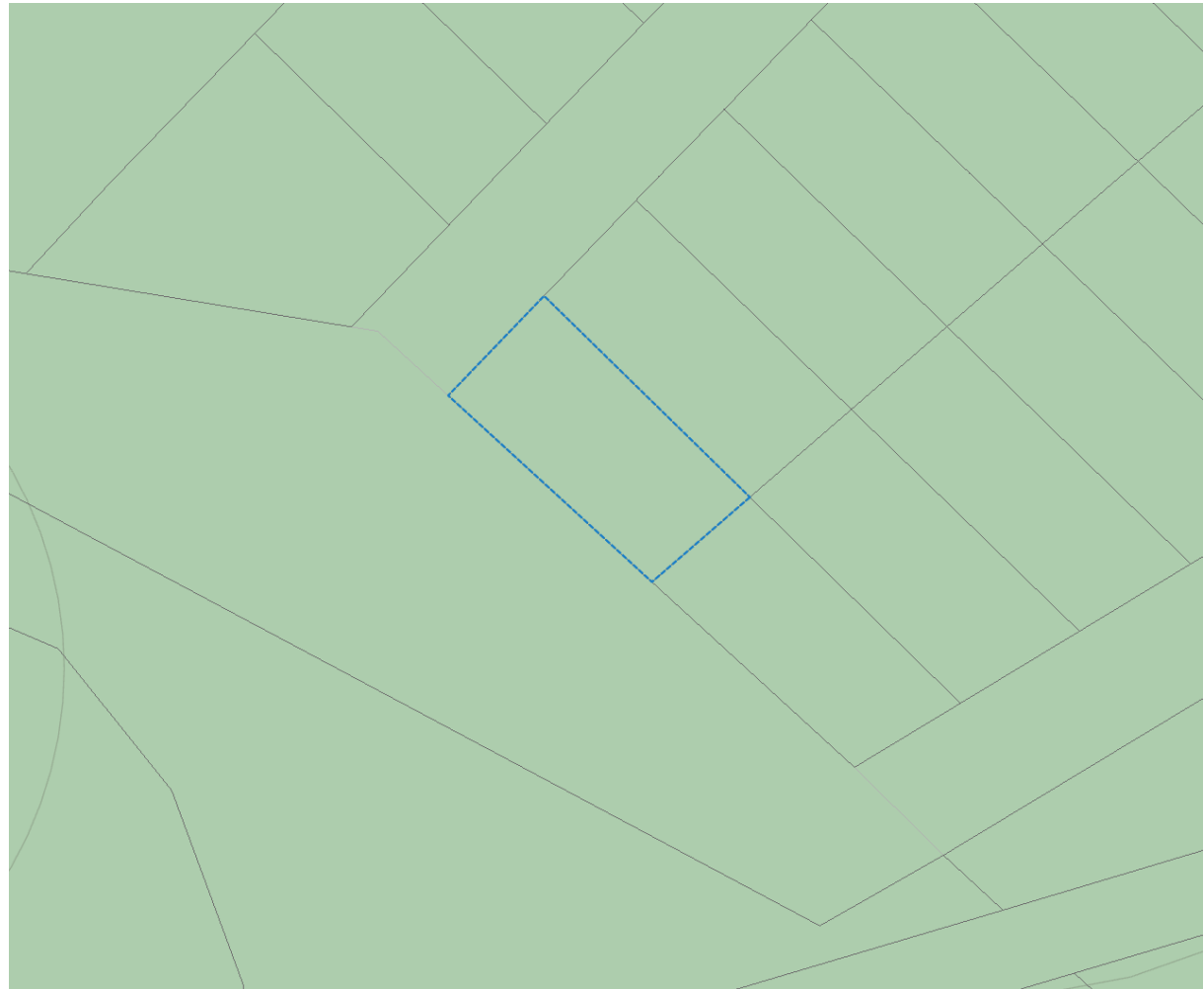


Figure 7 – Aboriginal Cultural Heritage Map – (source - mapshare.vic.gov.au)

5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed replacement dwelling and associated earthworks is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate replacement dwelling that can be respectful of the existing surrounding development and the environment.
- The proposal will contribute to a high standard of environmental sustainability, urban design and amenity by designing the replacement dwelling to meet the constraints of the land reducing any potential negative environmental implications as sought to achieve by the relevant clauses including **Clause 02.03** and **Clause 11**. The site does not contain any vegetation that requires removal.
- **Clause 02.03-1** identifies Lakes Entrance as a growth area town and encourages development on fully serviced residential land. The proposed replacement dwelling will connect to all available services and infrastructure including reticulated water, sewerage, electricity, telecommunications and a good quality road network.
- **Clause 13.04-25** requires consideration of erosion and landslip. The subject site and proposed development is within an area identified as being susceptible to erosion. The proposed earthworks associated with the development will exceed 1 metre in depth. All preventative measures will be undertaken during the construction phase of the proposed development to ensure no erosion hazards occur. A Geotechnical Risk Assessment Waiver is contained in **Appendix C**.
- The proposal meets the objectives of **Clause 16** by providing for a new modern dwelling within an existing, mostly developed residential area that will in turn support housing for the community.
- The proposal is consistent with the decision guidelines of the Design and Development Overlay at **Clause 43.02-6** which seeks to identify areas which are affected by specific requirements relating to the design and built form of new development.
- The proposed replacement dwelling will result in an appropriate development that will be used for residential purposes. The proposed development will be centrally located on the site and will have appropriate setbacks from the boundaries.
- The proposed colours of the dwelling have been selected to ensure the development is not visually obtrusive and will be well integrated with the surrounding development and environment. The proposed colours are low reflective and muted in toning. A visual description of the proposed colours is provided in Section 3 of this submission.
- The area contains dwellings and associated buildings of various styles and heights.
- **Schedule 13** refers to residential development in coastal settlements: Lakes Entrance. The subject site is within area 5.
- The application is seeking approval for the development of a replacement dwelling and associated earthworks. The roof form of the proposed development will be below the prevailing tree canopy. No additional planting is proposed beyond basic landscape garden particularly given the bushfire prone nature of the area. No vegetation removal is required to facilitate the proposed replacement dwelling or earthworks.
- The proposal is consistent with the decision guidelines of the Erosion Management Overlay at **Clause 44.01** which seeks to protect areas prone to erosion, landslip, other land degradation.

- The proposal requires earthworks that will exceed 1 metre in depth. Disturbed ground will be appropriately battered and retained with structures as indicated on the proposed development plans.
- Pedestrian access is existing along the north west boundary directly from View Street and will be upgraded as indicated on the proposed development plans.
- Vehicle access is existing however will be upgraded along the southwestern boundary directly from Dargo Street.
- A Geotechnical Risk Assessment waiver is contained in **Appendix C** that concludes the proposal is unlikely to contribute or cause erosion hazards.
- This submission has addressed the decision guidelines of **Clause 65**, and the proposed development supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
- Access to the site is existing and will be upgraded as indicated on the proposed development plans, there will be no negative impact on the existing road network. There is not expected to be an increase in traffic as result of the proposal particularly given this application is for a replacement dwelling and proposal is unlikely to generate any negative impact on the existing road network.
- The site is identified as being susceptible to erosion hazards. A Geotechnical Risk Assessment waiver is contained in **Appendix C** that concludes the risks associated with erosion can be reduced to an acceptable level.
- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.

6. CONCLUSION

This submission is in support of a planning permit application for the development of a replacement dwelling and associated earthworks at 25 View Street, Lakes Entrance.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed development is appropriate in this location, and it is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Erosion Management Overlay and the Design and Development Overlay.
- The risks associated with erosion can be reduced to an acceptable level.
- The design of the replacement dwelling is complementary to the existing surrounding development and is consistent with the character of the area.


It is requested that a planning permit be granted for this development.

Development Solutions Victoria

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 <p>Simon Anderson Consultants CIVIL STRUCTURAL PROJECT ENGINEERS</p> <p>P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266</p> <p>P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065</p>	<p>Job: Mack Residence 25 View Street Lakes Entrance</p> <p>Client: SandS Building Design</p> <p>Checked:</p>	<p>Date: 27 Sept 2023</p> <p>Designed: SJA</p> <p>Job No.: 438186</p> <p>Page No.: 1 of 7</p>
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GEOTECHNICAL RISK ASSESSMENT



INTRODUCTION

This report is designed to demonstrate the level of geotechnical risk involved in relation to the proposed dwelling at 25 View Street, Lakes Entrance, in its current state and make recommendations of any measure required to mitigate risk during and after construction of associated works.

SITE DESCRIPTION

This general residential zoned allotment (600m²) is situated at the south end of View Street in a fully developed area of Lakes Entrance. The existing dwelling (two-storey with block veneer lower level on concrete slab on ground & light framed construction upper floor) has vehicle access off Daro Street, via a concrete driveway to the southeast corner of the property.


The subject site is situated on a rolling low hill landform, directly above the low tidal flats of North Arm, adjacent to Dargo Street. A steep batter south of the subject site, has previously been cleared of vegetation. The property is predominantly concrete paved at the Dargo Street end of the site, with landscaped gardens and retaining walls to the View Street end of the block.

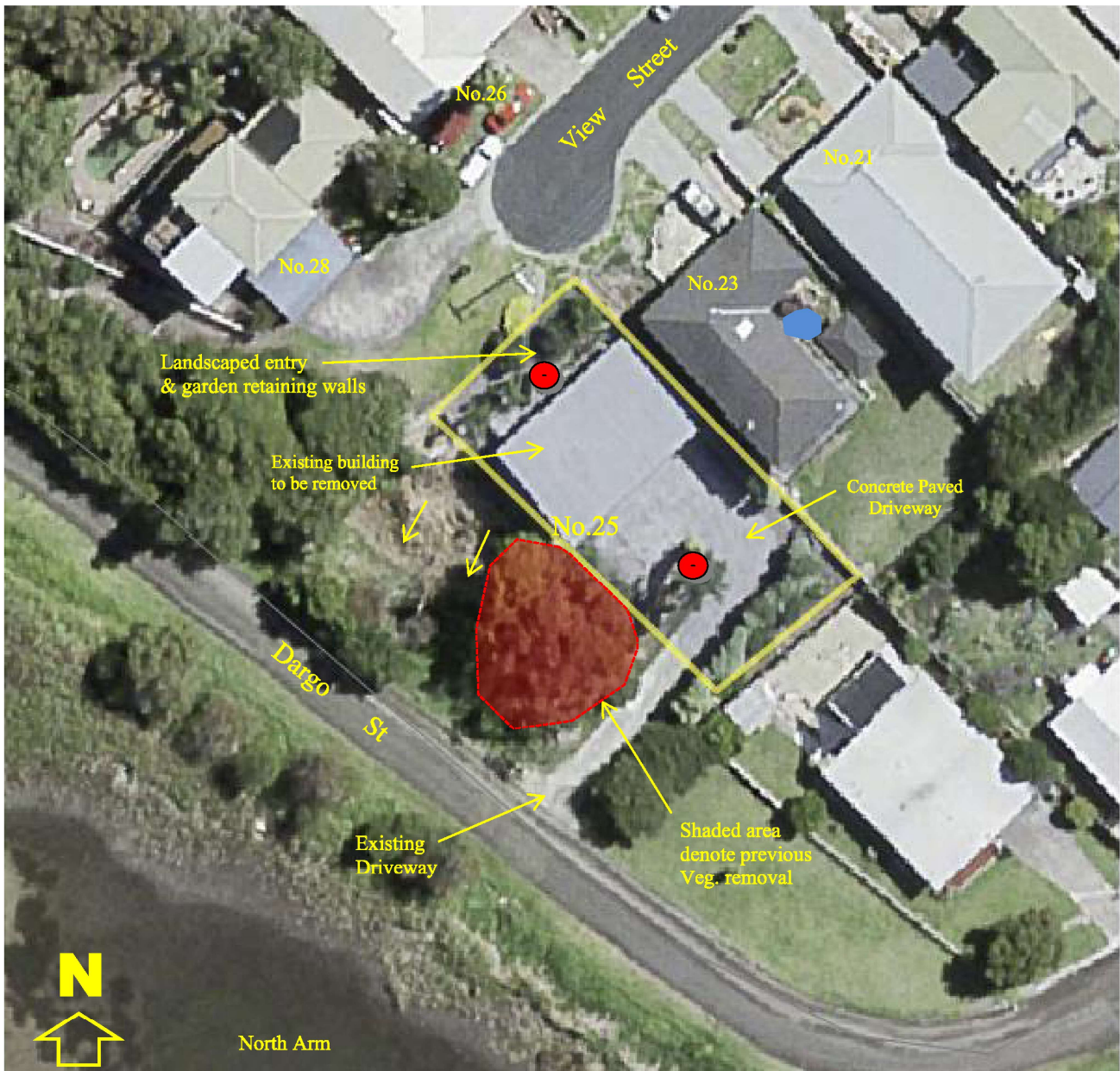
The majority of the existing dwellings on the south (low) side of View Street are two storey dwellings, taking advantage of the sloping sites and the water views.

PROJECT DETAILS

A multi-level residential dwelling development is proposed for the site. The construction details are as follows;

- Existing dwelling to be removed.
- All cut/Fill batters to be no steeper than 1 in 2 and sown with local grasses (or landscaped shrubs and ground cover)
- The dwelling will have a ground level living space, timber decked entertaining areas, and a four (4) bay garage with access off Dargo Street. The construction is to consist of slab on ground construction with external masonry retaining walls to ground floor. The upper level living area will have a pedestrian entry off View Street, onto alfresco deck area and balcony. The first floor is to be light framed construction with prefab cladding as selected.
- The construction of the dwelling will result in the diversion of approximately 50% of rainfall from the site. Roof catchment water will be collected by a system of gutters/downpipes and directed to reticulated stormwater drainage.
- Engineer designed retaining walls with appropriate surface and sub-surface drainage will improve the existing site drainage.

 <p>Simon Anderson Consultants CIVIL STRUCTURAL PROJECT ENGINEERS</p> <p>P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266</p> <p>P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065</p>	<p>Job: Mack Residence 25 View Street Lakes Entrance</p> <p>Client: SandS Building Design</p> <p>Checked:</p>	<p>Date: 27 Sept 2023</p> <p>Designed: SJA</p> <p>Job No.: 438186</p> <p>Page No.: 2 of 2</p>
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Aerial view of subject site (approximate title boundaries shown)



Denotes soil investigation bores
(approximate locations)

SITE PLAN

Not to Scale



Shaded areas denote previous
vegetation removal



Figure 1: Driveway access off Dargo Street

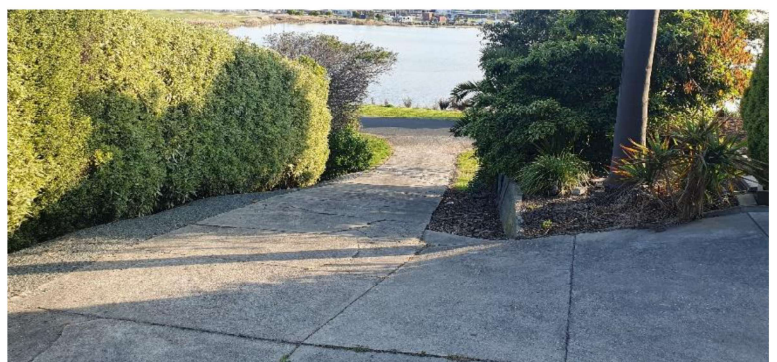



Figure 2: Exist. Concrete Driveway off Dargo Street

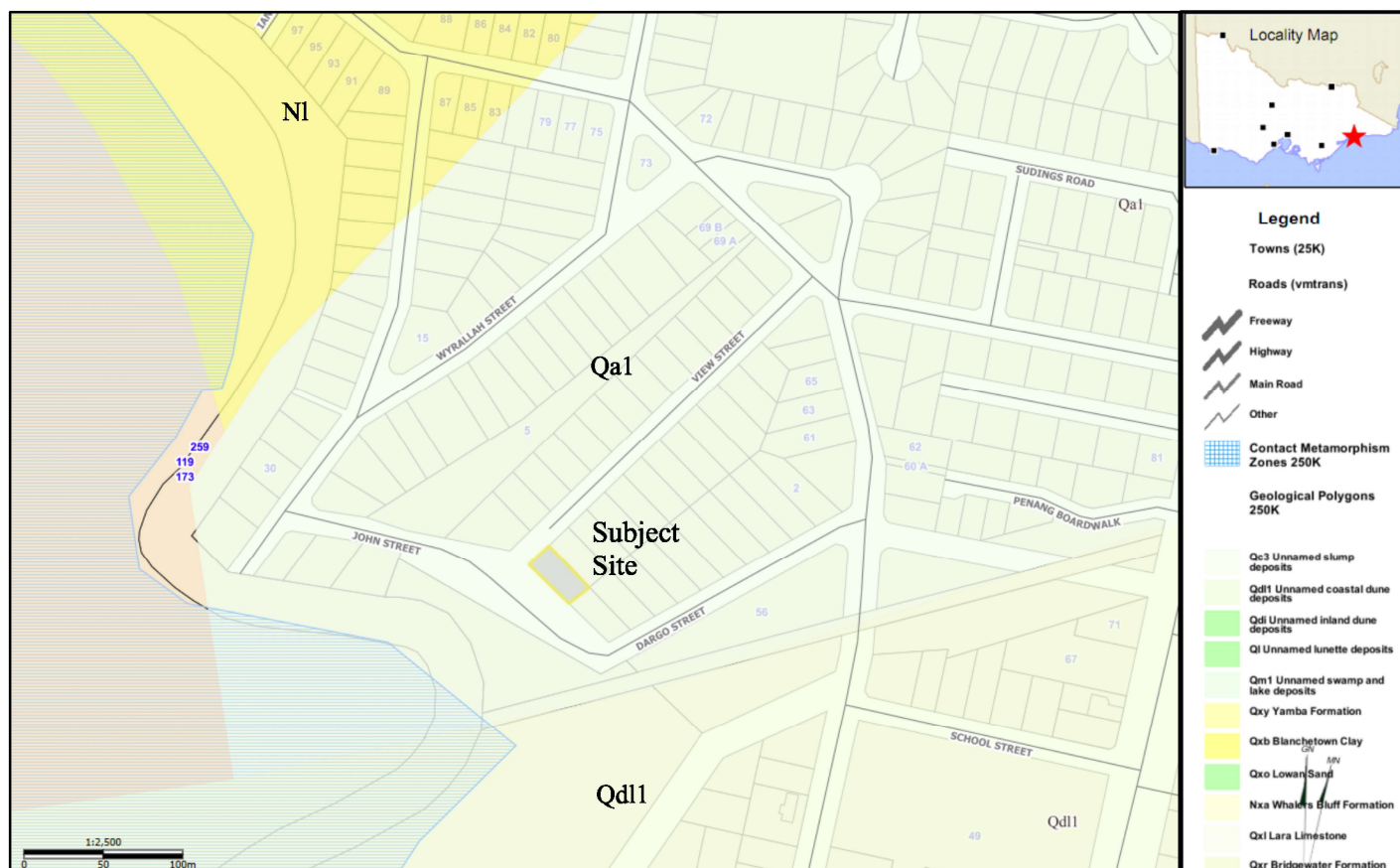
 Simon Anderson Consultants CIVIL STRUCTURAL PROJECT ENGINEERS P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266 P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065	Job: Mack Residence 25 View Street Lakes Entrance	Date: 27 Sept 2023 Designed: SJA
	Client: SandS Building Design	Job No.: 438186
Checked:		Page No.: 3 of 7

METHODOLOGY

1.DESKTOP INVESTIGATION

A desktop investigation of the subject site was carried out using DSE and GeoVIC mapping of published soil survey information and noted watercourse locations.


Soils of the site have been mapped and described in Sustainable Soil Management “A reference manual to the major agricultural soils of the Bairnsdale and Dargo regions”, and are described as belonging to the Stockdale, Sandy Profile (Sd,sp) map unit. This unit occurs on rolling low hills and is comprised of Tertiary sediments. The surface soils are sandy loam to loamy sand with a clear transition to the B1 horizon soils at a depth of 400 – 800mm. The B-horizon soils are sandy clay and cemented clay sands with ferruginous nodules or ironstone concretions, often occurring in the lower A2 (or B horizons).



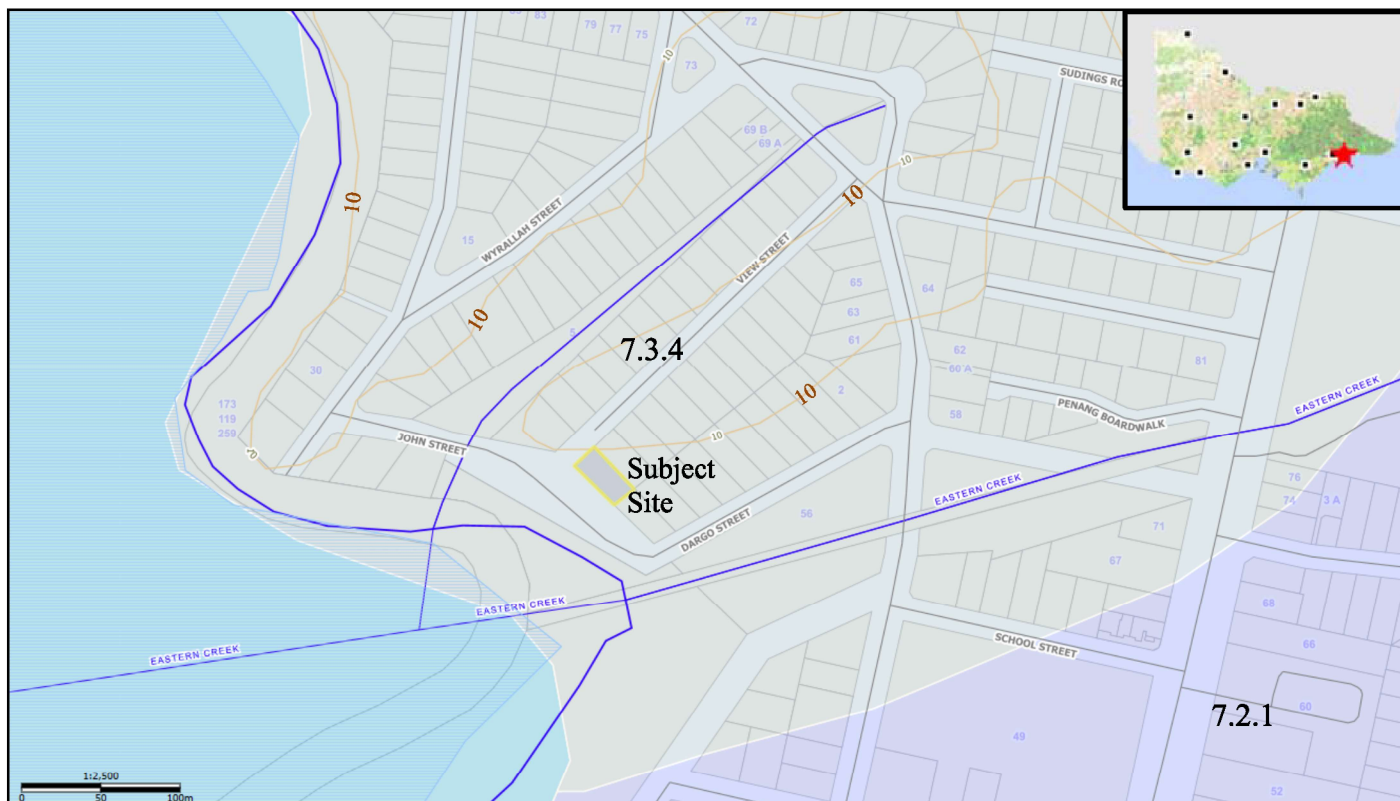
Disclaimer: This map is a snapshot generated from Victorian Government data. This material may be of assistance to you but the State of Victoria does not guarantee that the publication is without flaw of any kind.

REF: VANDENBERG, A.H.M., 1997. BAIRNSDALE SJ 55-7 Edition 2, 1:250 000 Geological Map (Series 1:250,000 geological maps. Geological Survey of Victoria.)

Geological Unit	Geological Description	Mapping Unit
NI (<i>Tmp</i>)	Tertiary Marine, Non-marine deposits consisting of gravel, sand.	Stockdale with Munro (Sd/Mu)
Qa1 (<i>Qra</i>)	Quaternary Non-marine (Alluvial) deposits consisting of Fluvial: alluvium, gravel, sand, silt & clay	Stockdale, sandy profile (Sd,sp)

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	Client: SandS Building Design Checked:	Job No.: 438186
		Page No.: 4 of 7


1.DESKTOP INVESTIGATION cont'd



Disclaimer: This map is a snapshot generated from Victorian Government data. This material may be of assistance to you but the State of Victoria does not guarantee that the publication is without flaw of any kind.

REF: Biodiversity Interactive Map, The State of Victoria Department of Environment and Primary Industries 2013

Geomorphological Unit	Geological Description
7.3.4 Dissected plains with dunes	<p>Dissected plains with dunes occur east of Lakes Entrance to Newmerella then dissected to the west by Snowy River and associated valley, with further occurrences which become further dissected and spatially scattered further east.</p> <p>Based on Neogene sediments these plains which have variable regolith (based on mantle of Eastern Uplands), where coarser <u>regolith</u> occurs it has often been re-worked to produce dunes and sand sheets. Local relief is limited to a few metres, occasionally greater.</p> <p>Soils tend to be acidic texture contrast soils (<u>Kurosols</u> and <u>Chromosols</u>) on the clayier parent material with <u>Tenosols</u> on the dunes.</p> <p>Soil colour and <u>organic matter</u> content is associated with local climate and drainage conditions.</p>
7.2.1 Flood plains and morasses	<p>These areas are subject to inundation in times of flood. Most of the alluvium comprises fine sand, silt and clay sized sediments. The resulting soils are generally dark grey to black soils lacking texture contrast (<u>Dermosols</u>) and are of high natural fertility.</p>

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	Client: SandS Building Design	
	Checked:	
	Page No.: 5 of 7	

2. FIELD INVESTIGATION

A site visit was carried out with an inspection of the area of the proposed Residence and of nearby landforms, features and developments.

Typical Soil Bore profiles of the site are detailed below;

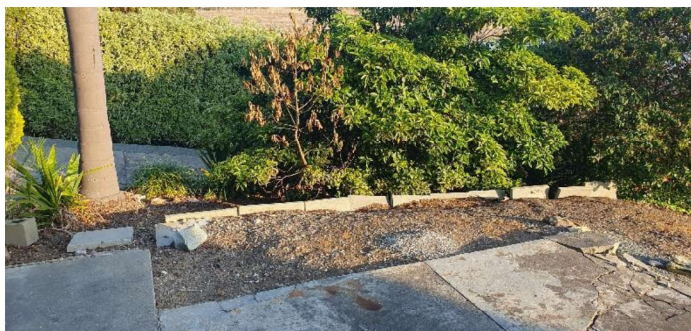
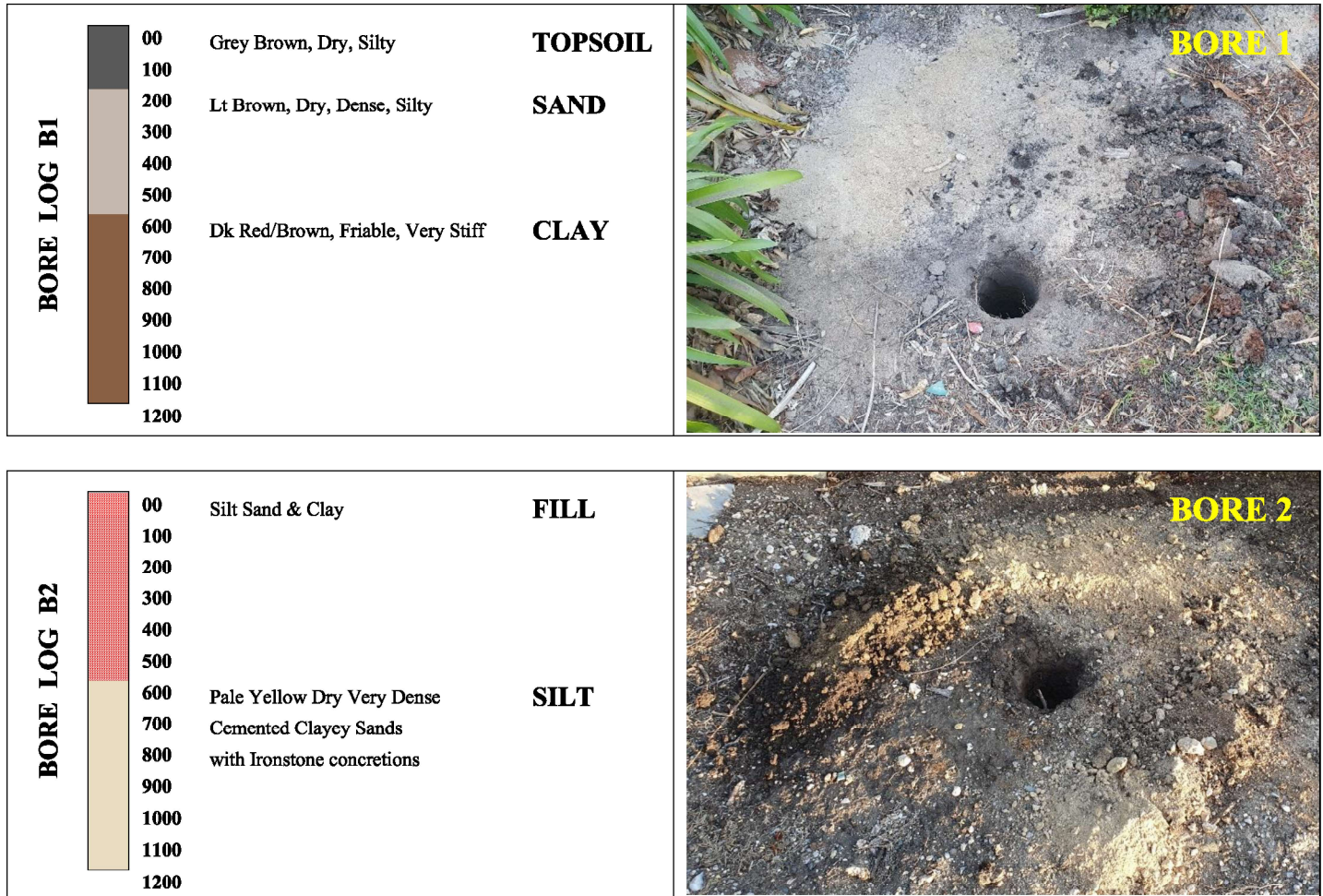


Figure 3: Bore 2 location

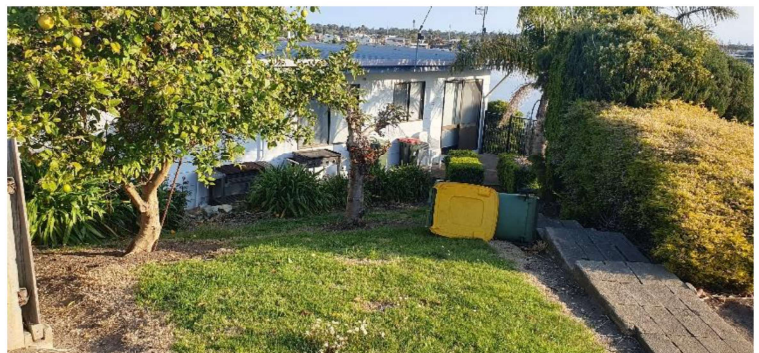
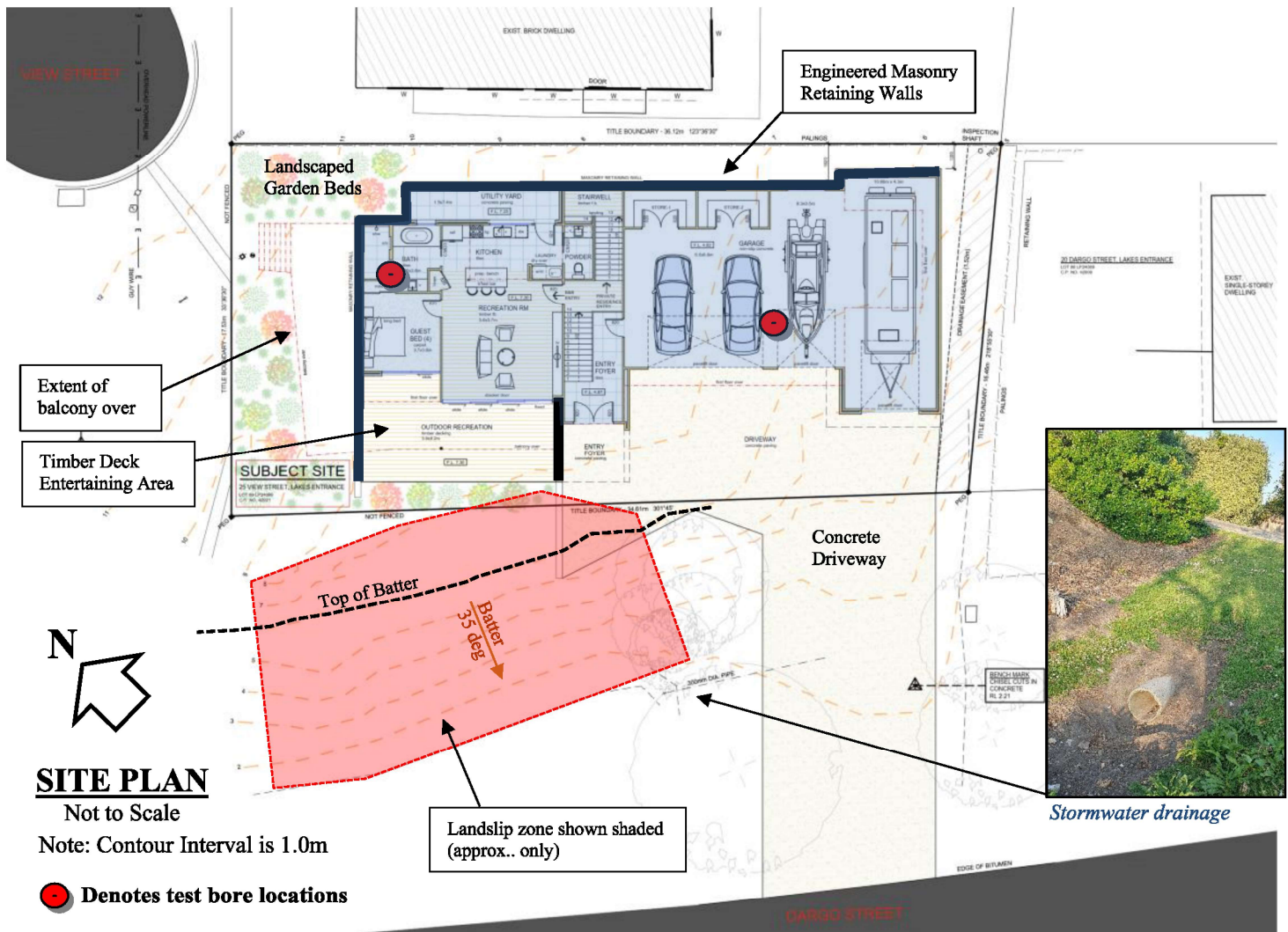



Figure 4: Entry to existing dwelling off View Street



SOUTH-WEST ELEVATION

Not to Scale

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	Client: SandS Building Design	Job No.: 438186
Checked:		Page No.: 7 of 7

SUMMARY OF RISK

LANDSLIDE	LOW[#]
SHEET/RILL EROSION	LOW
TUNNEL EROSION	LOW

- Moderate grades over the majority of the site, ranging from approximately 1 in 4 to 1 in 7.
- Existing landscaped gardens, garden retaining walls, and concrete paved driveway access off Dargo Street.
- There is no evidence of soil erosion or landslip on the subject site or well-established adjoining residential properties.
- Re-vegetation of exposed batter south of the subject site (*note: not located within property owners boundary*) will alleviate the risk of any future soil erosion.
- Natural sub-soils of the site (i.e. Dense, Cemented Clayey Sands & Stiff Clays) will have adequate strength and stability for residential slabs, footings and retaining walls.
- An Erosion Management Plan will need to be implemented during and after construction of the proposed multi-level residential dwelling. For example;
 - The form, bulk, scale and location of cut and fill is to be controlled to ensure that there are no adverse impacts on Neighbouring properties. (i.e. Diversion banks and spoon drains)
 - Appropriate sub-soil drainage to be provided to effectively divert ground water away from any foundation work.
 - Identify a suitable storage area for stockpiles, with appropriate erosion control measures (i.e. Diversion banks and Sediment fences)
 - Where vegetation (natural grass cover) needs to be removed, leave it in place as long as possible.
 - All erosion and sediment control measures to be inspected and maintained daily by site manager.
 - Fill batter at 1 in 2 max. to be stabilised with grass at end of construction works.
 - The conditions of retaining walls should be inspected annually to ensure there continued structural and drainage/erosion management adequacy. Any defective components should be removed and replaced immediately.
- Any future construction works associated with the development of allotments would be protected by Building Code of Australia, Australian Standards, Building and Planning Permit requirements and normal construction practise.

Based on findings from both the Desktop and Site investigations the site is suitable for development as proposed and further intensive investigation would not be necessary to confirm the above findings.

VERIFICATION

I, the author of this document, declare that I am suitably qualified and experienced to carry out this site assessment.



Simon Anderson BE (Civil)CPEng MIEAust No 930355
BCC Registration No EC-1711

[#] Any dwelling development encroaching within the landslip zone (refer shaded area, site plan pg. 6) would prompt a Landslide risk level of **HIGH**. An appropriate **Geotechnical Engineer** designed footing/retaining wall and drainage system incorporated within the building design would be required.

5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed earthworks associated with the replacement dwelling is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate replacement dwelling that can be respectful of the existing surrounding development and the environment.
- The proposal will contribute to a high standard of environmental sustainability, urban design and amenity by designing the replacement dwelling to meet the constraints of the land reducing any potential negative environmental implications as sought to achieve by the relevant clauses including **Clause 02.03** and **Clause 11**. The site does not contain any vegetation that requires removal.
- **Clause 02.03-1** identifies Lakes Entrance as a growth area town and encourages development on fully serviced residential land. The proposed replacement dwelling will connect to all available services and infrastructure including reticulated water, sewerage, electricity, telecommunications and a good quality road network.
- **Clause 13.04-25** requires consideration of erosion and landslip. The subject site and proposed development is within an area identified as being susceptible to erosion. The proposed earthworks associated with the development will exceed 1 metre in depth. All preventative measures will be undertaken during the construction phase of the proposed development to ensure no erosion hazards occur. A Geotechnical Risk Assessment Waiver is contained in **Appendix C**.
- The proposal meets the objectives of **Clause 16** by providing for a new modern dwelling within an existing, mostly developed residential area that will in turn support housing for the community.
- The proposal is consistent with the decision guidelines of the Erosion Management Overlay at **Clause 44.01** which seeks to protect areas prone to erosion, landslip, other land degradation.
- The proposal requires earthworks that will exceed 1 metre in depth. Disturbed ground will be appropriately battered and retained with structures as indicated on the proposed development plans.
- Pedestrian access is existing along the north west boundary directly from View Street and will be upgraded as indicated on the proposed development plans.
- Vehicle access is existing however will be upgraded along the southwestern boundary directly from Dargo Street.
- A Geotechnical Risk Assessment waiver is contained in **Appendix C** that concludes the proposal is unlikely to contribute or cause erosion hazards.
- This submission has addressed the decision guidelines of **Clause 65**, and the proposed development supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
- Access to the site is existing and will be upgraded as indicated on the proposed development plans, there will be no negative impact on the existing road network. There is not expected to be an increase in traffic as result of the proposal particularly given this application is for a replacement dwelling and proposal is unlikely to generate any negative impact on the existing road network.
- The site is identified as being susceptible to erosion hazards. A Geotechnical Risk Assessment waiver is contained in **Appendix C** that concludes the risks associated with erosion can be reduced to an acceptable level.

- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.

6. CONCLUSION

This submission is in support of a planning permit application for earthworks associated with the development of a replacement dwelling at 25 View Street, Lakes Entrance.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed development is appropriate in this location, and it is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Erosion Management Overlay.
- The risks associated with erosion can be reduced to an acceptable level.
- The design of the replacement dwelling is complementary to the existing surrounding development and is consistent with the character of the area.

It is requested that a planning permit be granted for this development.

Development Solutions Victoria

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ARCHITECTURAL DRAWINGS

A1	EXISTING CONDITIONS SITE PLAN / DEMOLITION PLAN
A2	PROPOSED SITE PLAN
A2a	AREA ANALYSIS
A3	FLOOR PLANS
A4	ROOF PLAN & DETAILS
A5	ELEVATIONS
A6	SECTIONS
A7	SECTIONS
A8	SECTIONS
A9	SECTIONS



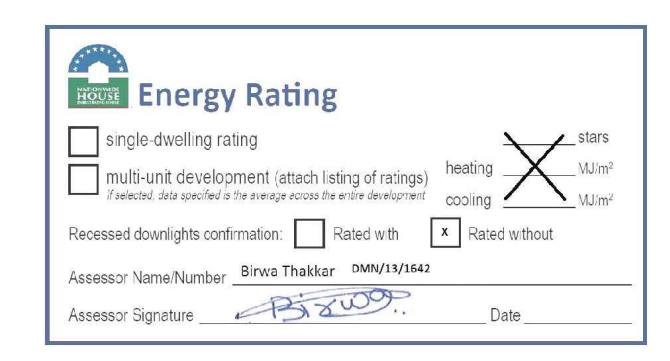
IMAGE WAS DEVELOPED AT CONCEPT STAGE AND MAY VARY FROM FINAL DESIGN

MACK RESIDENCE

SUBJECT SITE : 25 VIEW STREET, LAKES ENTRANCE
CLIENT : BRUCE & THERESE MACK

DESIGNER : SANDS BUILDING DESIGN

ACN 127 480 942
P.O. Box 1735
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P. 03 51 52 7200
F. 03 5152 7211
E. clinton@sandsbd.com.au
E. reini@sandsbd.com.au



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PLANNING ISSUE
Job No. 21781
ISSUE DATE - 28/11/23

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1. DEMOLITION WORKS

GENERAL
Demolition works to be in accordance with 2018 Victorian Building Regulations Part 7, Division 3 (117), AS260 and Safework Australia Code of Practice.

Removal: Except for items to be recovered for re-use in the works, or delivery to the owner and materials to be recycled in the works, take possession of demolished materials and remove them from the site. do not burn or bury demolished materials on the site. prevent spillage of demolished materials in transit.

Recycling: Where possible, dismantle building components for off site recycling.
Services: Disconnect all services as required prior to demolition, construction & sitework. seal and/or cap all redundant supply/waste pipes.
Redundant cabling, piping, demolished building materials and rubble to be removed from site unless nominated for storage or re-use.

1. SUPPORT

TEMPORARY SUPPORT

Existing buildings: Contractor to ensure stability of existing structure during demolition & construction works, provide bracing and props as required.

2. PROTECTION

PROTECTION OF WORKS NOTICE

Refer to the relevant Building Surveyor if a protection of works notice is required.

HOARDING AND EXCLUSION FENCING

Provide hoarding, exclusion fencing and signage as required to ensure safety to the public, staff and workers during demolition and construction.

ENCROACHMENT

General: Prevent the encroachment of demolished materials onto adjoining property, including public places.

WEATHER PROTECTION

General: If walls or roofs are opened for alterations and additions, or the surfaces of adjoining buildings are exposed, provide temporary covers to prevent water penetration. provide covers to protect existing plant equipment and materials intended for re-use.

SECURITY

General: If walls or roofs are opened for alterations or additions, provide security against unauthorised entry to the building.

4. HAZARDOUS MATERIALS REMOVAL

STANDARD: To AS 2601 clause 1.6.2.

5. MAKING GOOD

Care is to be taken to ensure no damage to adjacent surfaces and structures during demolition.

Make good any damage arising out of demolition work.

6. ASBESTOS

- Builder to establish if any asbestos products are to be demolished.
- Any Asbestos products to be removed shall be in accordance with Occupational Health & Safety Act, Work Health and Safety Regulations, Safework Australia Code of Practice and other relevant authorities.
- For more information visit www.worksafe.vic.gov.au or contact worksafe advisory service ph: 1800 136 089
- For information on disposal or what to do in case of accidents contact: EPA Information Centre ph: 1300 372 842

SITE SAFETY AND SECURITY:

CONTRACTOR / BUILDER TO UNDERTAKE A SAFETY AND RISK ASSESSMENT OF THE PROPOSED CONSTRUCTION SITE PRIOR TO COMMENCEMENT OF ANY WORKS AND ESTABLISH AN APPROVED TEMPORARY EXCLUSION SAFETY SECURITY FENCE / HOARDING IN ACCORDANCE WITH AS 4687, 2018 VICTORIAN BUILDING REGULATIONS PART 7, DIVISION 2 (116), BUILDING SURVEYOR AND RELEVANT AUTHORITIES.

Energy Rating	
<input type="checkbox"/> single-dwelling rating	<input type="checkbox"/> multi-unit development (attach listing of ratings)
Recessed daylight confirmation: <input type="checkbox"/> Railed with <input checked="" type="checkbox"/> Railed without	
Assessor Name/Number: <u>Bruce Thakkar 0904/V1942</u>	Date: <u>28/11/23</u>

NO GO ZONES OVERHEAD ELECTRICAL POWER LINES

WORKSITE IS NEAR OVERHEAD ELECTRICAL POWER LINES. BEFORE ANY WORK COMMENCES, YOU MUST FOLLOW THE RELEVANT NO GO ZONE SAFETY PROCEDURES SET OUT BY WORKSAFE VICTORIA.

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WWW.OSG.VIC.GOV.AU/INDUSTRY/NOGOZONE.HTML
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LEVEL NOTE:
SITE FEATURE SURVEY PROVIDED BY FREEMAN LAND SURVEYING - PREPARED JULY 2018. LEVELS ARE TO AHD.

BOUNDARY NOTE:
TITLE BOUNDARIES ARE APPROXIMATE ONLY. FOR EXACT LOCATION & BEARINGS CONSULT A LICENSED SURVEYOR FOR A RE-ESTABLISHMENT SURVEY



MACK RESIDENCE
25 VIEW STREET
LAKES ENTRANCE

CLIENT	BRUCE & THERESE MACK
JOB NO.	21781
DATE	28/11/23
DESIGNED BY	CDP-AD 58137
DRAWN BY	FN
DESCRIPTION	EXIST. CONDITION SITE PLAN
ISSUE	PLANNING
SCALE	1:100
DRAWING NO.	

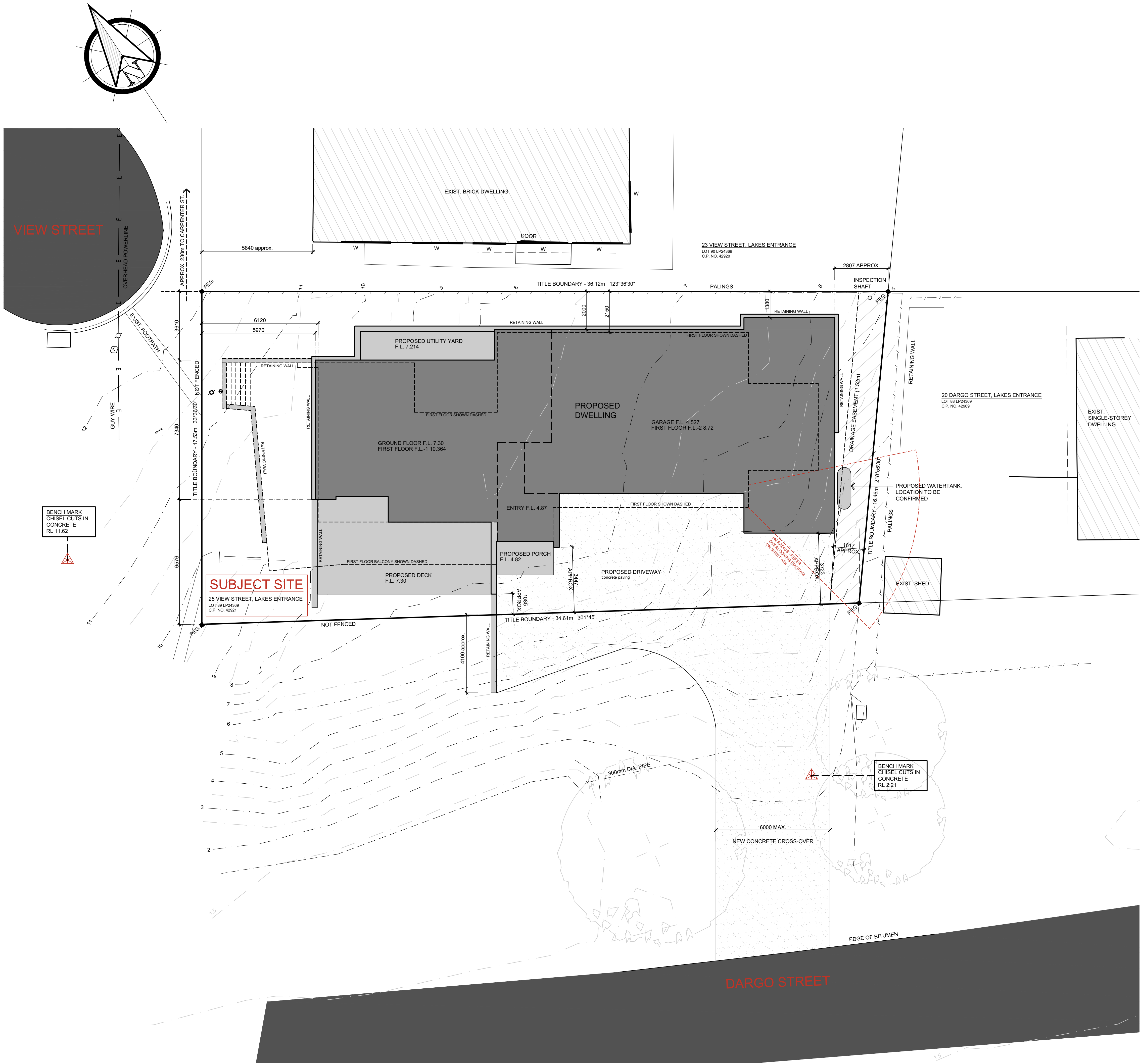
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EXISTING CONDITIONS SITE PLAN / DEMOLITION PLAN

SCALE - 1:100



GENERAL NOTES:-

- General**
 - Written dimensions take precedence over scale and shall be in millimetres U.N.O.
 - Materials and work practices shall comply with the National Construction Codes Series 2019 Building Code of Australia Vol 2 and all relevant current Australian Standards.
 - Unless otherwise specified, the term BCA 2019 shall refer to National Construction Codes Series 2019 Building Code of Australia Vol. 2.
 - These plans shall be read in conjunction with any relevant structural and/or civil engineering computations and drawings related to this project.
 - The builder shall take all steps necessary to ensure the stability of new and existing structures during all works.
 - The builder & subcontractors to verify all levels, dimensions, setbacks and specifications and all other relevant documentation prior to commencement of works. Report all discrepancies to this office for clarification.
 - All previously issued drawings marked preliminary shall now be considered void
 - Exact set out of residence to be determined on site and shall be verified by Owner, Builder and Building surveyor
- Footings**
 - Soil classification to AS 2870. Refer Engineers Soil Report.
 - Concrete to be N20 grade unless noted otherwise.
 - Dimensions and Reinforcements shown are minimum requirements of AS2870.1.
 - The owners attention is drawn to Appendix A of AS2870.1. "Performance Requirements and Foundation Maintenance".
 - Footings not to encroach title boundaries and easement lines.
- Termite Treatment**
 - Where required termite treatment to comply with BCA 2019 Part 3.1.3. and in accordance with A.S.1694 or A.S.3360
- Drainage**
 - Stormwater, spoon and sub-soil drains shall be taken to legal point of discharge.
 - Sewer or septic system shall be in accordance with the relevant authority requirements.
 - The Builder and Subcontractors shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and / or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system
 - The Builder to provide sub soil drainage ie 100mm socked agi drain at the base (up-slope) of all retaining walls and at the base of footings where there is a possibility of water to enter under building or slab. Agi drains to be connected to legal point of discharge.
- Brickwork**
 - Provide wall ties to brickwork at maximum 600mm ctrs. in each direction and within 300mm of articulation joints.
 - Spacing of wall ties to top and sides of openings to be halved.
 - In areas less than 1km from sea or in heavy industrial areas wall ties shall be either:- Galvanised steel sheet min. Z 600 or Galvanised wire min. 470g/m², or Grade 316 stainless steel, or Engineered polymer ties.
 - Provide cavity flashing and weep holes in accordance with BCA 2019 Vol. 2, Part 3.3.4 and AS4773
- Timber**
 - Provide sub-floor ventilation to timber floors to achieve 6000sq.m/minute run of perimeter wall in accordance with BCA 2019 Vol. 2, Part 3.4.1 table 3.4.1.1.
 - Provide minimum clearance from underside of bearer to finished ground level of 400mm
 - Design wind classification: Refer Structural Engineers drawings
 - All timber sizes, wall and roof framing, fixing and bracing shall be in accordance with AS 1684.1 - AS 1684.4 2010 Residential timber-framed construction manuals parts 1-4 and TPC Timber Framing Span Tables 2010.

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8. Building Fabric

- Minimum R value of element as per BCA 2019 Vol 2 Vic Table 2:
 - Floors R1.0
 - External walls R2.5
 - Roof or ceiling R4.0
- Any Sarking must have a flammability index of not more than 5.
- All sarking and sialation to be approved vapour permeable in accordance with AS/NZ 4200.1

9. Doors, Windows & Glazing

- All glass and glazing to conform with BCA 2019 Vol 2 part 3.6. and AS1288
- Window sizes and type are nominal and may vary according to selected manufacturer. Site measure prior to fabrication.
- Provide safety glass to shower screens & windows over baths in accordance with A.S.1288
- All doors, windows, gaps & cracks to be sealed
- All external doors to be weather stripped
- All external doors and windows to be installed to manufacturers specification and flashed all round.
- Refer to Energy Raters thermal assessment and BAL Assessment for further information and special glazing requirements.

10. Smoke Detectors

- Smoke detectors to be installed as per BCA 2019 Vol 2 Part 3.7.2 and to comply with AS3786, hard wired to electric mains with battery back-up.

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12. Driveways and Excavations

- New driveways and crossovers to be in accordance with local requirements and owner/builder shall obtain relevant permits prior to commencement of work.
- Any excavations, extent and position of any fill or stockpiling to verified on site with Owner/Builder

13. Stairs, Steps & Balustrades

- Stairs and steps: maximum riser(R) 190mm, minimum riser(R) 115mm, maximum going(G) 355mm, minimum going (G) 240mm, slope relationship (2R+G), minimum head room above nosing of stair 2000mm, Maximum 125mm vert. gap between treads on stringer stairs.
- Handrail to minimum 865mm above nosing of stairs and 1050mm above balconies and landings with maximum 125mm between rails or balustrades (except wire balustrades refer 13.3). Provide balustrades where balconies or landings exceeds 1000mm above adjacent finished surface level.
- Wire balustrade construction to comply with BCA 2019 Volume 2 Part 3.9.2.3 for Class 1 and 10 buildings and BCA 2019. Volume 1 Part D2.16 for other Classes of buildings

14. Stormwater & Roof Drainage

- All roofing, gutters, downpipes, drainage etc. to be installed in accordance with BCA 2019 Volumes 2 & 3 and AS3500
- Exact number of downpipes to be determined on site by Builder, Plumber and Owner. Each downpipe must not serve more than 12.0 metres of gutter.
- Builder to ensure that a downpipe is located within 1200mm of an internal roof valley or provide slotted spouting or gutters (overflow)
- Valley gutters on a roof less than 12.5 degrees -- must be designed as a box gutter with a minimum width of 300mm.
- Stormwater line to be laid to a minimum grade of 1:100 and connected to the legal point of discharge. Provide inspection openings @ 9000mm C/C and at each change of direction. The cover to underground stormwater drains shall not be less than:
 - 100mm under soil
 - 50mm under paved or concrete areas
 - 100mm under unreinforced concrete or paved driveways
 - 75mm under reinforced concrete driveways

15. Rescode

- Building and siting to comply with current Rescode, designer to be notified if any discrepancies are found by surveyor/builder/owner prior to construction or any site works

16. Energy Efficiency

- Unless permitted otherwise all designs shall be constructed in accordance with the approved plans as provided and stamped by the accredited energy rater without alteration
- If a rainwater tank is installed to comply with energy rating requirements, the rainwater tank must have a minimum capacity of 2,000 litres, have a catchment area from a roof of at least 50sq.m and be connected to all sanitary flushing systems within a building.
- If a solar water heater is installed to comply with energy rating requirements, the solar water heater must achieve an energy performance of 60% solar gain. Refer SEAV website for a list of solar water heaters which comply.

NO GO ZONES
OVERHEAD ELECTRICAL POWER LINES

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CORROSION PROTECTION NOTE:

THE SITE IS IN A SEVERE MARINE ENVIRONMENT. SHEET ROOF, GUTTERS, FLASHINGS, FIXTURES, FITTINGS AND ACCESSORIES TO BE "ZnO, ORGANO ULTRAY" OR "SUPERDURA STAINLESS STEEL". ALL STRUCTURAL STEELWORK TO BE HEAVY DUTY HOT DIPPED GALVANISED IN ACCORDANCE WITH AS 4680.

LEVEL NOTE:

SITE FEATURE SURVEY PROVIDED BY FREEMAN LAND SURVEYING - PREPARED JULY 2018. LEVELS ARE TO AND.

SITING NOTE:

BUILDING LOCATION IS APPROXIMATE ONLY. OWNER/BUILDER/SURVEYOR TO CONFIRM EXACT LOCATION ON SITE PRIOR TO CONSTRUCTION

BOUNDARY NOTE:

TITLE BOUNDARIES ARE APPROXIMATE ONLY. FOR EXACT LOCATION & BEARINGS CONSULT A LICENSED SURVEYOR FOR A RE-ESTABLISHMENT SURVEY

BEFORE YOU DIG
Zero Damage
Zero Harm

Energy Rating

single dwelling rating
multi-unit development (attach listing of ratings)
Recessed downlights confirmation
Assessor's Name/Number
Assessor's Signature
Date

Energy Rating

single dwelling rating
multi-unit development (attach listing of ratings)
Recessed downlights confirmation
Assessor's Name/Number
Assessor's Signature
Date

APR 1/03/2024
Page 41 of 49

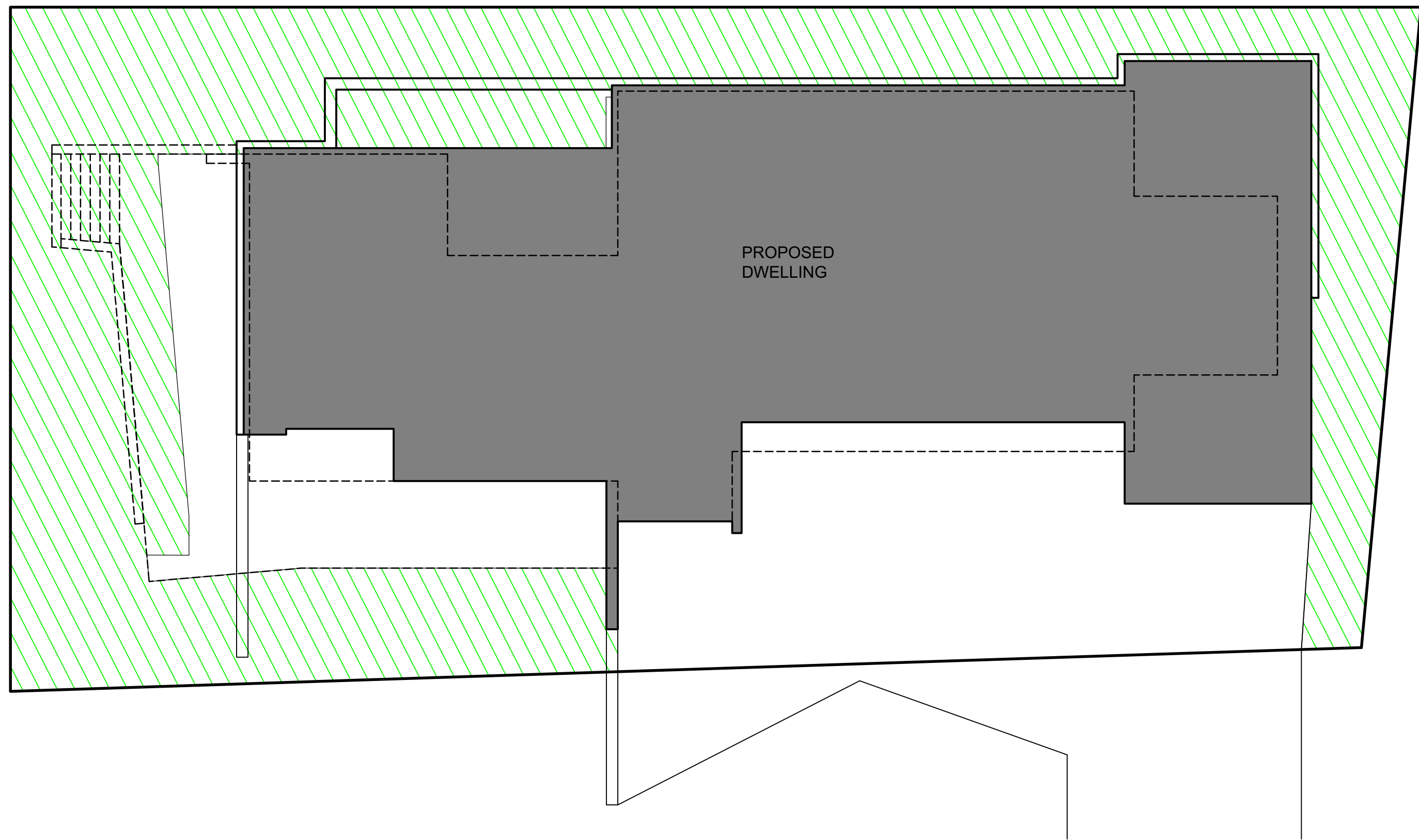
SANDS BUILDING DESIGN

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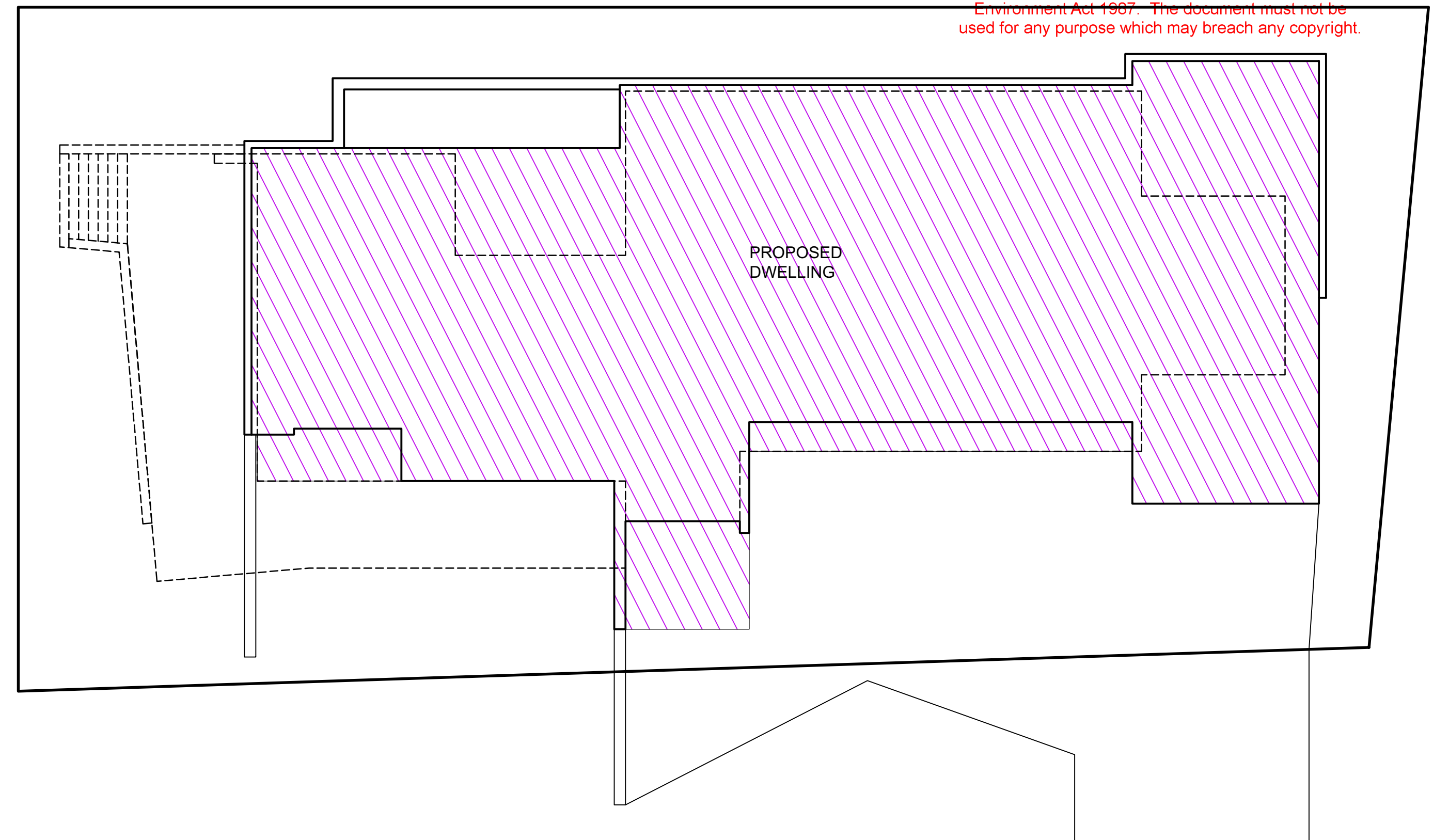
MACK RESIDENCE
25 VIEW STREET
LAKES ENTRANCE

CLIENT: BRUCE & THERESE MACK
JOB NO.: 21781
DATE: 28/1/23
DESIGNED BY: CDP-AD 58137
DRAWN BY: FN
DESCRIPTION: SITE PLAN
ISSUE: PLANNING
SCALE: 1:100
DRAWING NO.



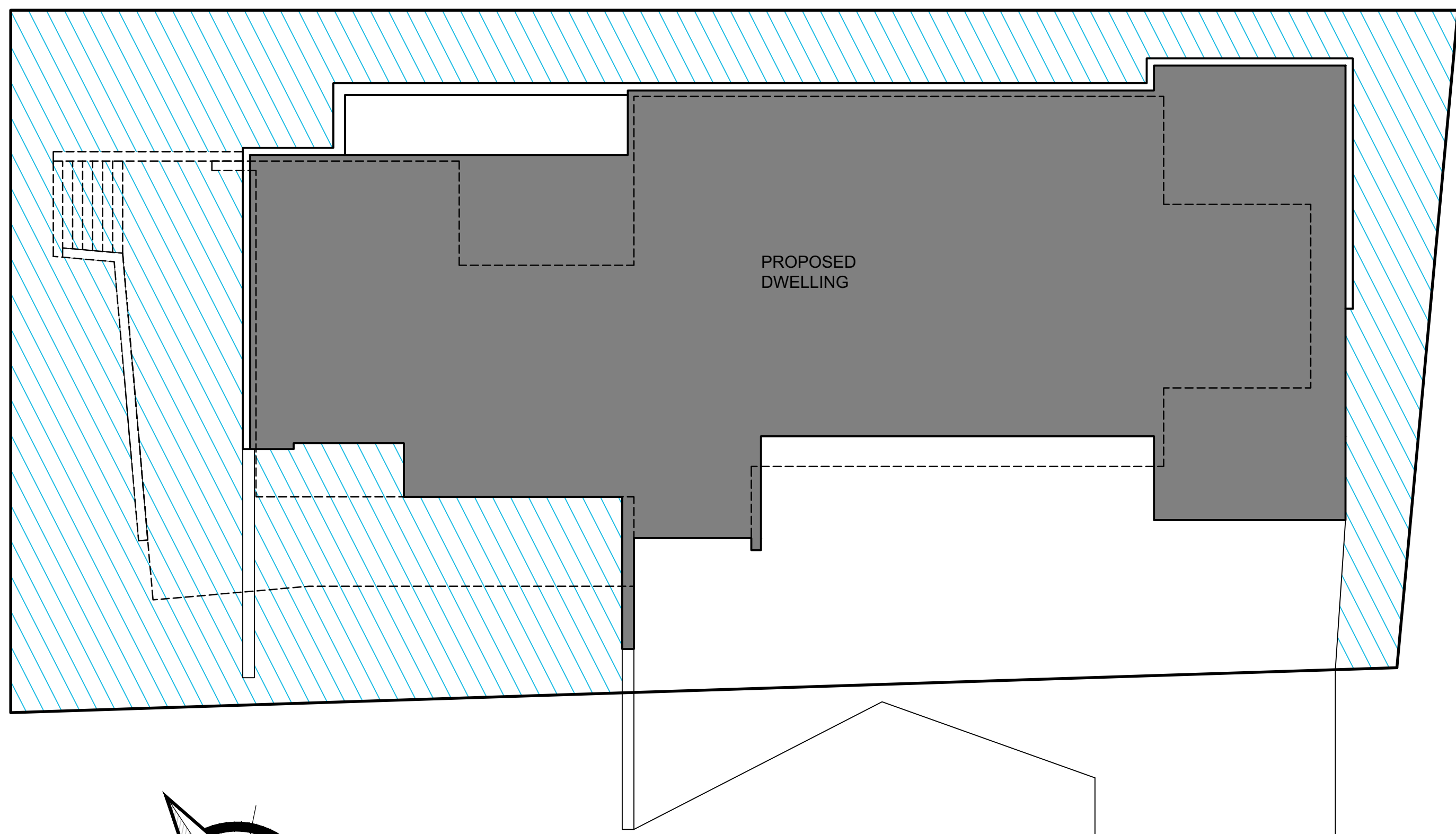
GARDEN AREA ANALYSIS

SITE	599.37 Sq.m
GARDEN AREA	211.62 Sq.m (35.31%)



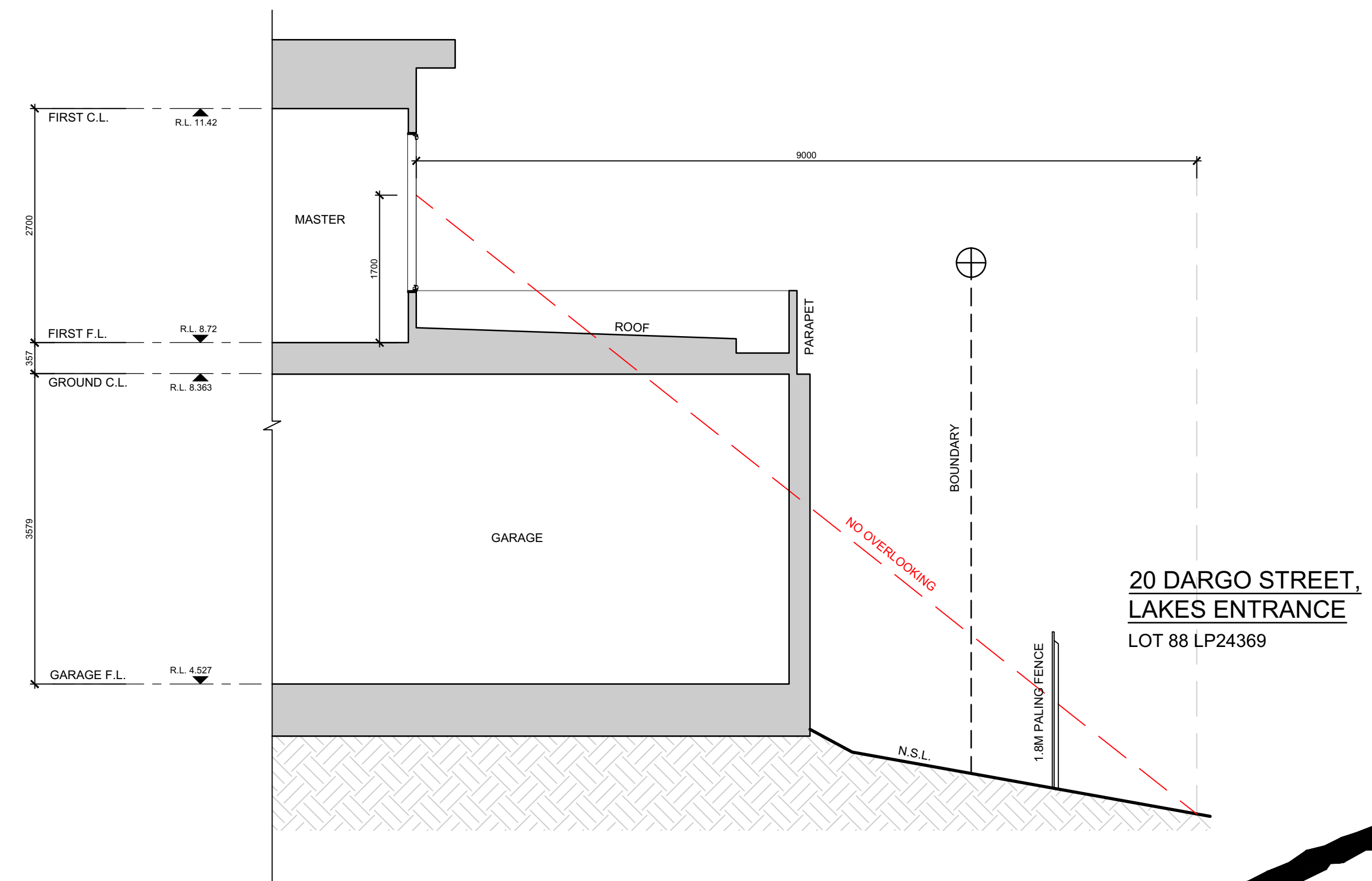
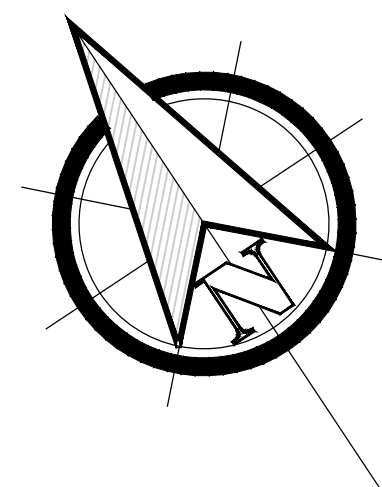
SITE COVERAGE ANALYSIS

SITE	599.37 Sq.m
SITE COVERAGE	273.28 Sq.m (45.59%)



PERMEABILITY ANALYSIS

SITE	599.37 Sq.m
PERMEABILITY	232.66 Sq.m (38.82%)



MASTER BEDROOM OVERLOOKING DIAGRAM

SCALE - 1:50

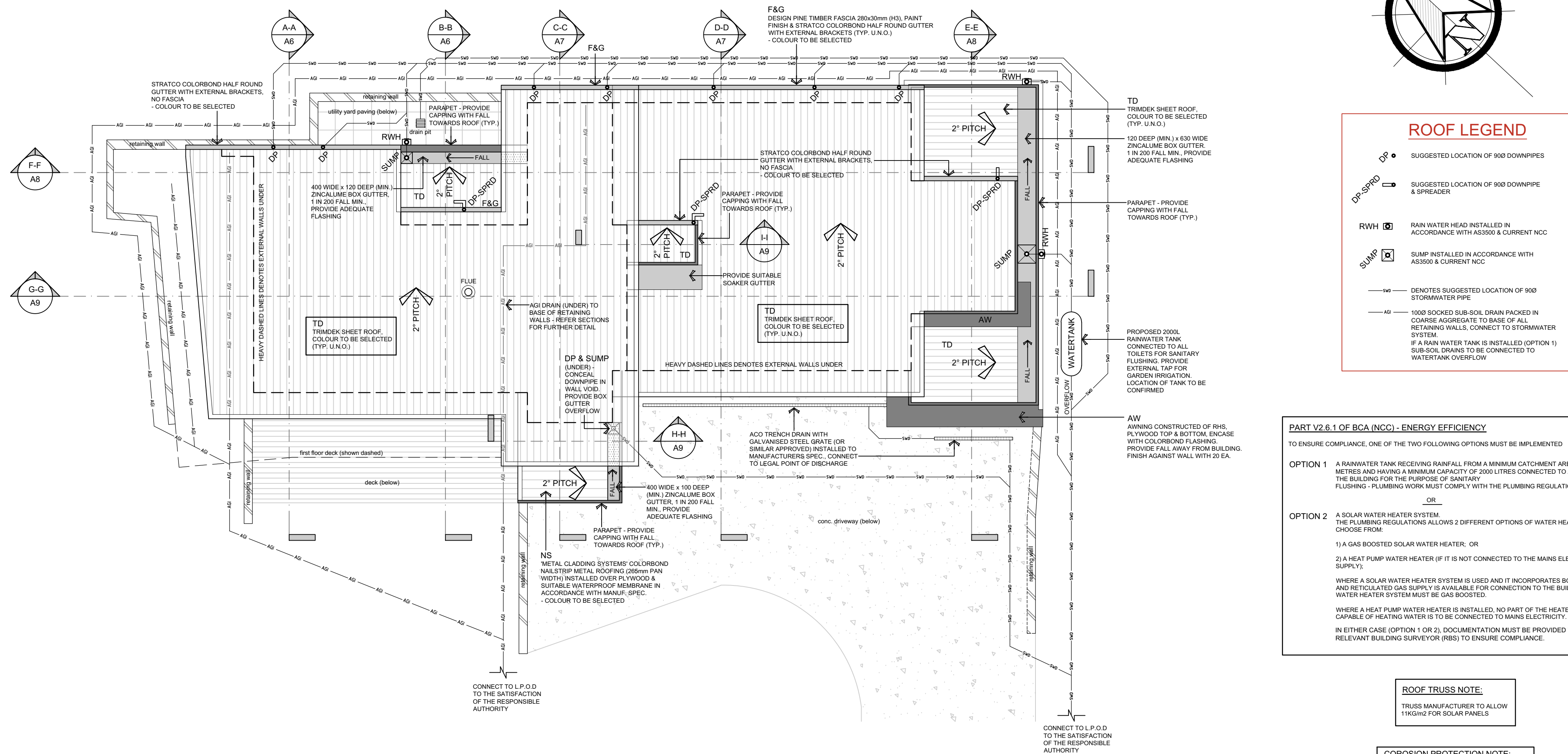
Energy Rating	
<input type="checkbox"/> single dwelling rating	heating <input type="checkbox"/> cooling <input type="checkbox"/> stars
<input type="checkbox"/> multi-unit development (attach listing of ratings)	
Recessed downlights confirmation: <input type="checkbox"/> Railed with <input checked="" type="checkbox"/> Railed without	
Assessor Name/Number: Bruce Thakkar 0991470384	Date: _____
Assessor Signature: _____	Date: _____

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SANDS BUILDING DESIGN
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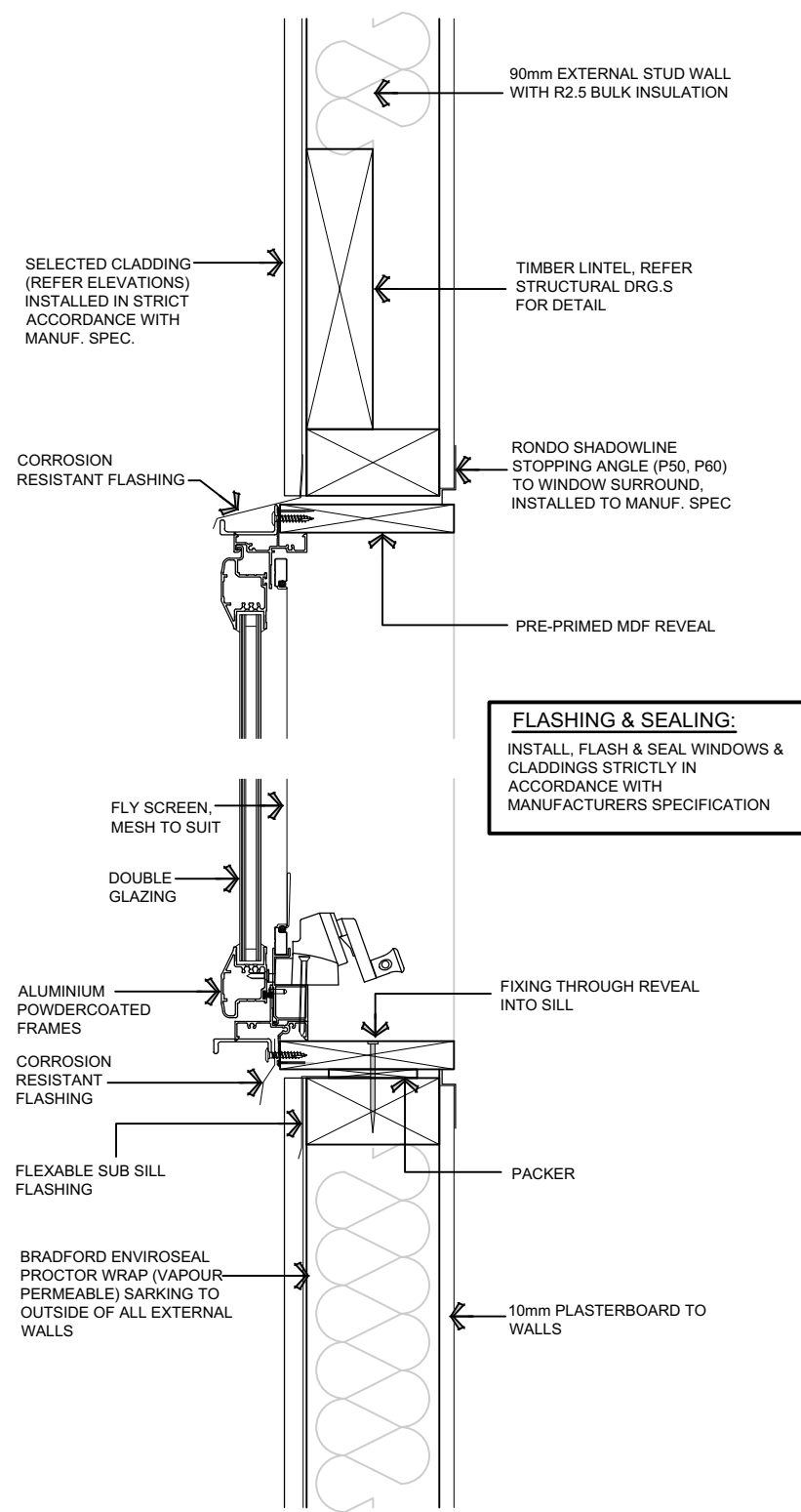
MACK RESIDENCE
25 VIEW STREET
LAKES ENTRANCE

CLIENT	BRUCE & THERESE MACK
JOB NO.	21781
DATE	28/11/23
DESIGNED BY	CDP-AD 58137
DRAWN BY	FN
DESCRIPTION	AREA ANALYSIS
ISSUE	PLANNING
SCALE	AS SHOWN
DRAWING NO.	



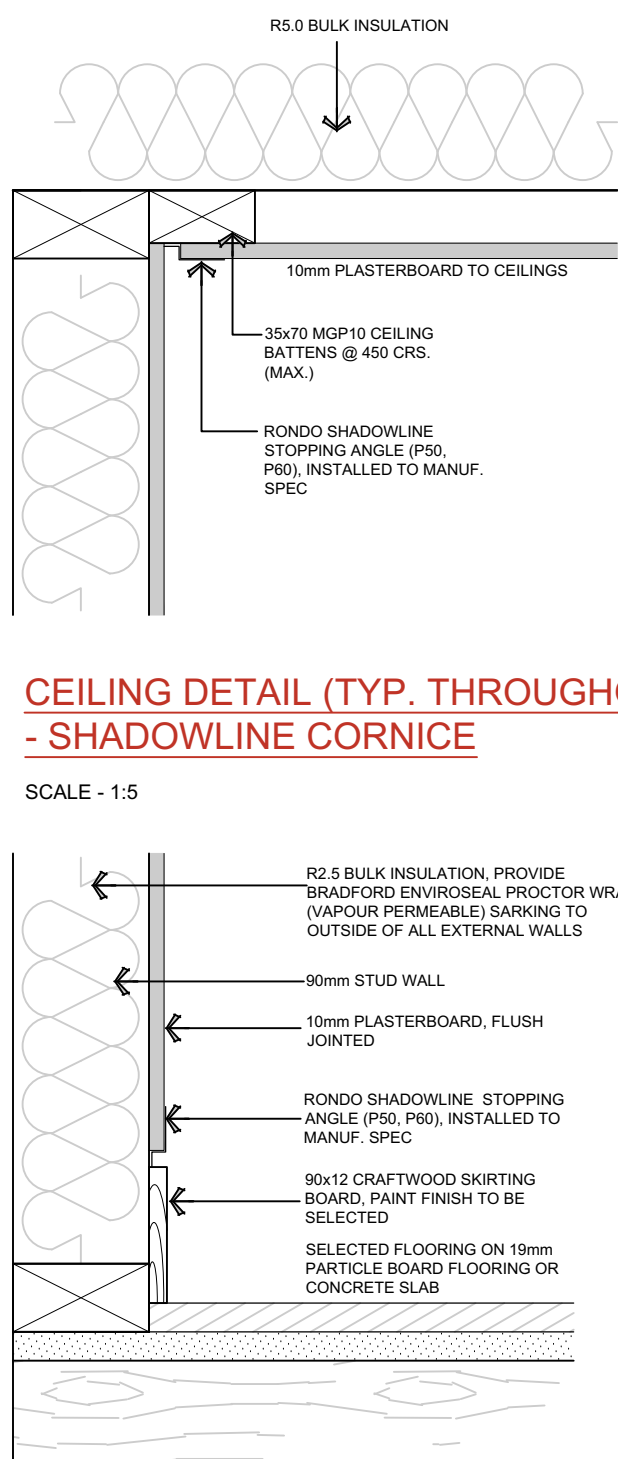
ROOF & DRAINAGE PLAN

SCALE - 1:100



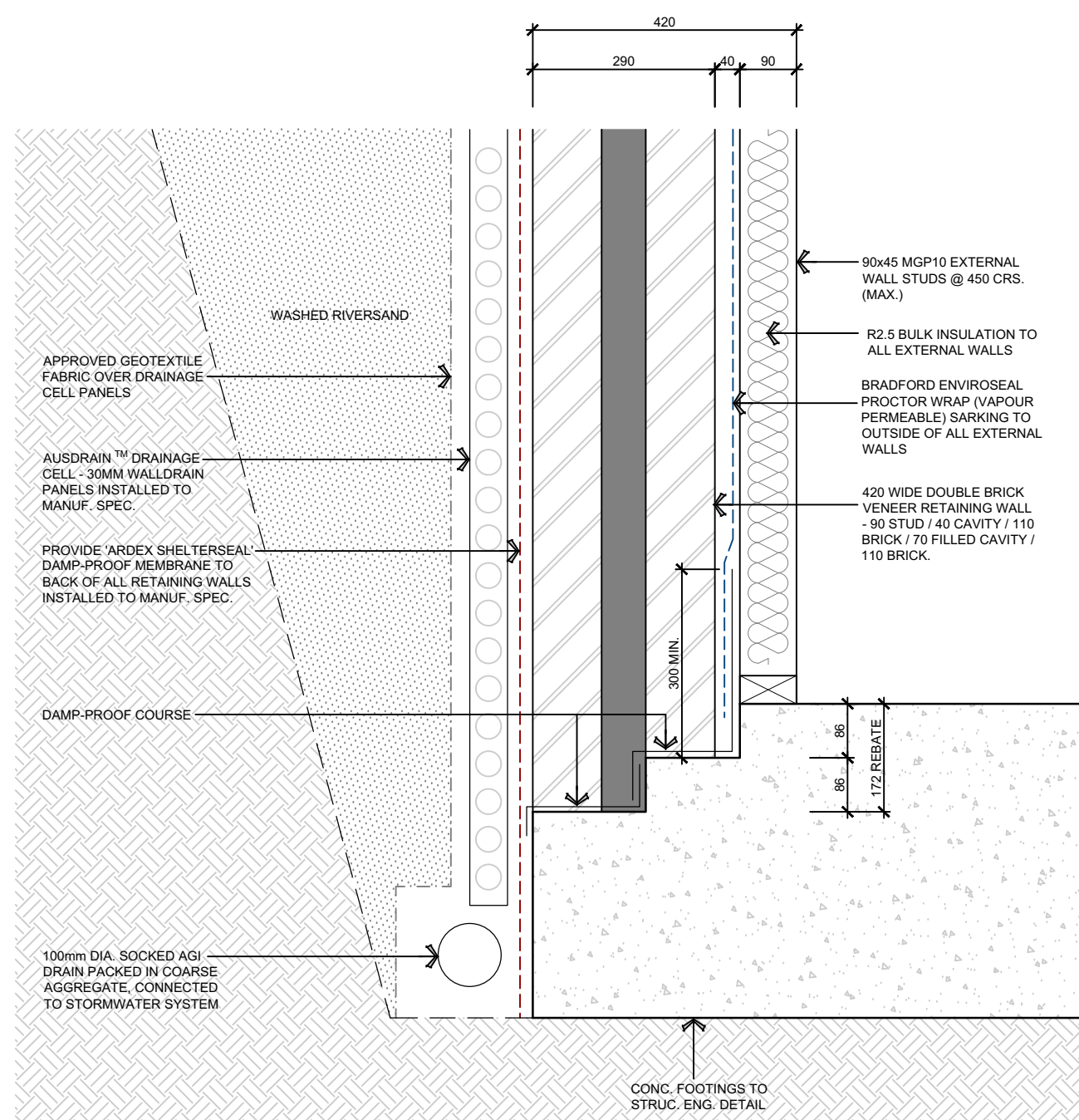
TYPICAL WINDOW DETAIL - LIGHTWEIGHT CLADDING

SCALE - 1:5



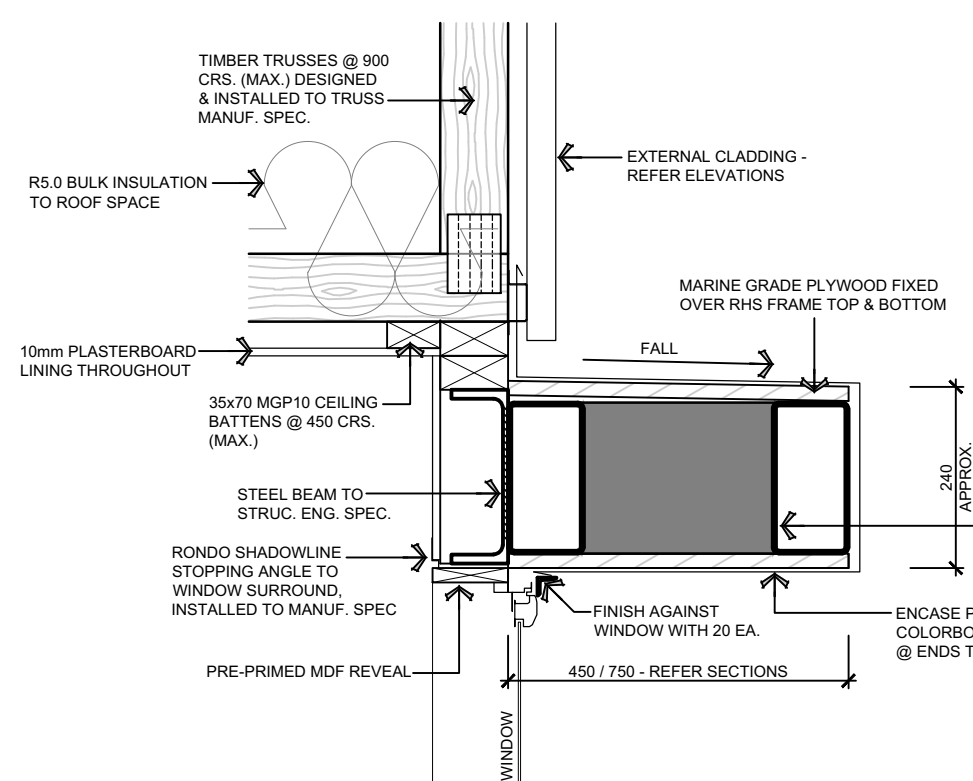
SKIRTING DETAIL (TYP. THROUGHOUT)

SCALE - 1:5



DETAIL 1 - RETAINING WALL

SCALE - 1:10



DETAIL 2 - AWNING

SCALE - 1:10

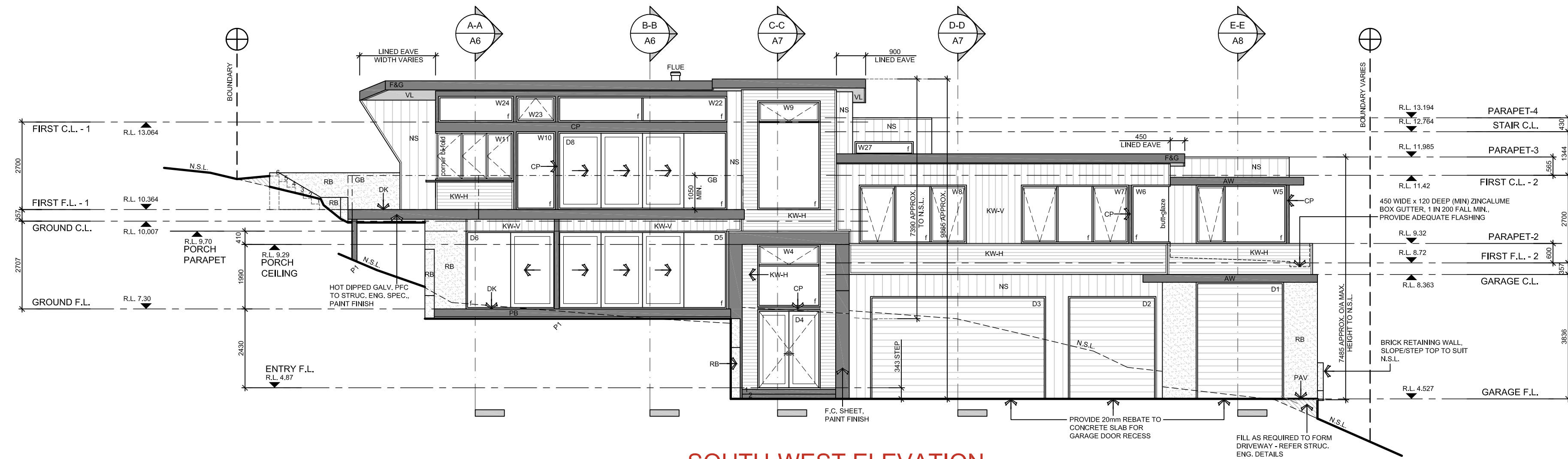
WARNING!
BEWARE OF UNDERGROUND SERVICES
THE LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVEN ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE ALL EXISTING UNDERGROUND SERVICES.



MACK RESIDENCE
25 VIEW STREET
LAKES ENTRANCE

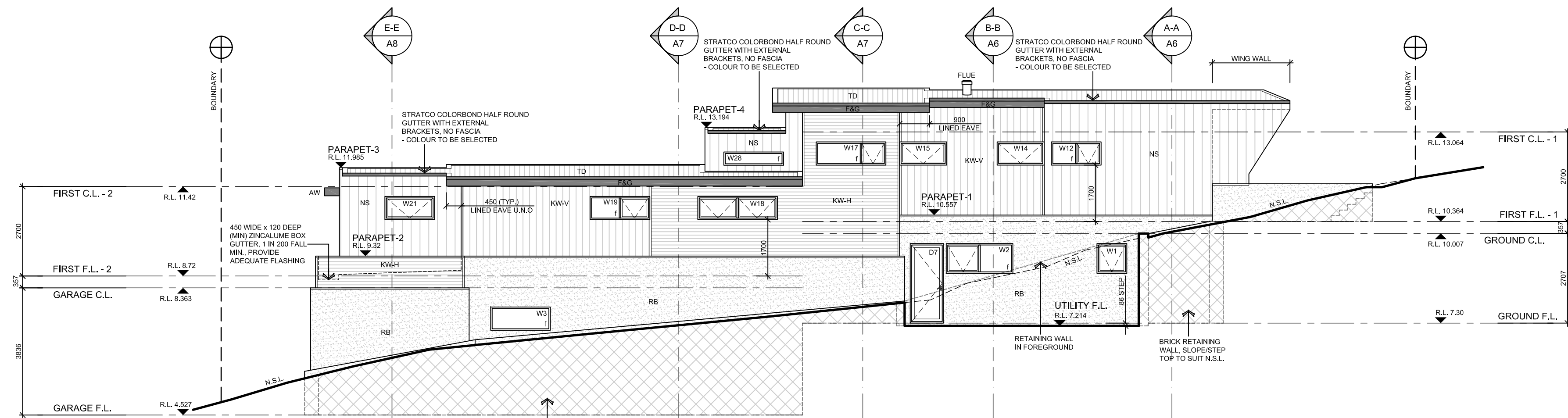
CLIENT: BRUCE & THERESA MACK
JOB NO.: 21781
DATE: 28/11/23
DRAWN BY: CDP-AD 58137
DESIGNATION: FN
ISSUE: ROOF PLAN & DETAILS
SCALE: PLANNING
AS SHOWN
DRAWING NO.

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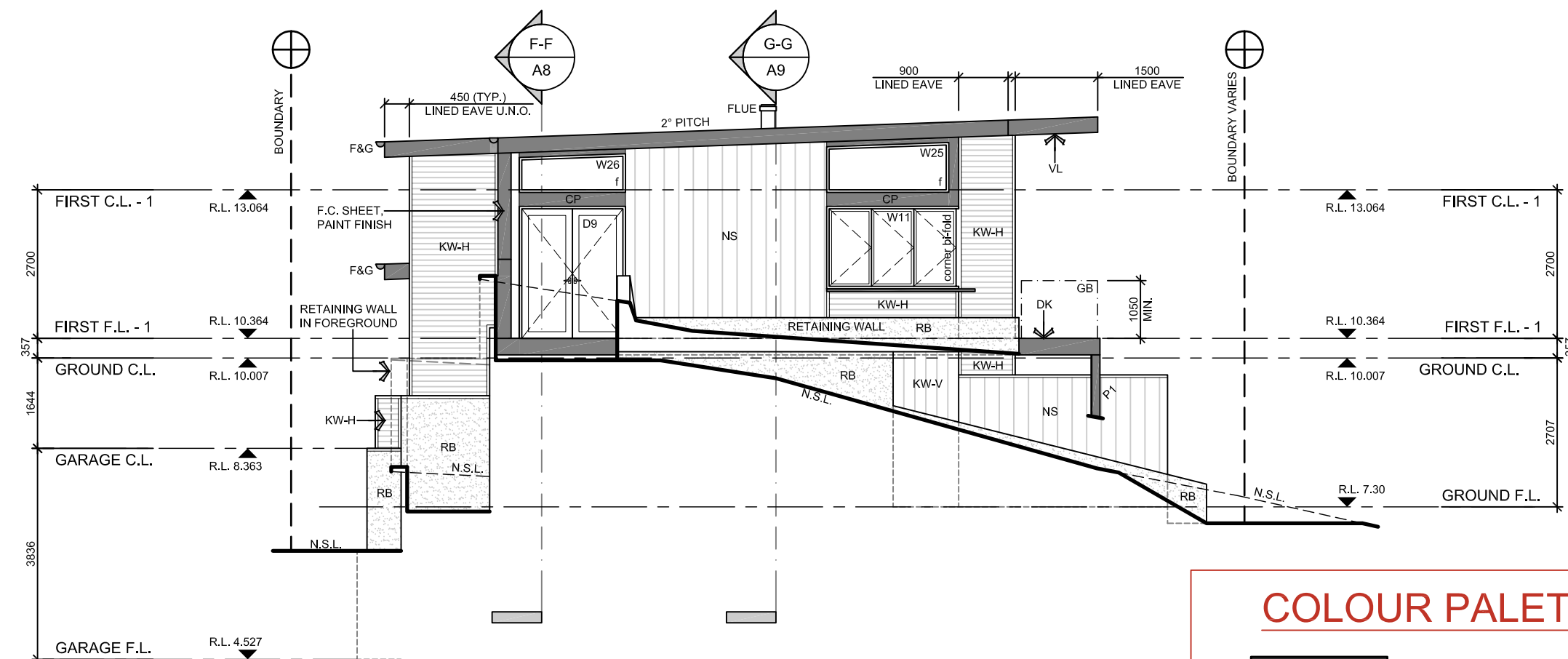
SOUTH-WEST ELEVATION

SCALE - 1:100



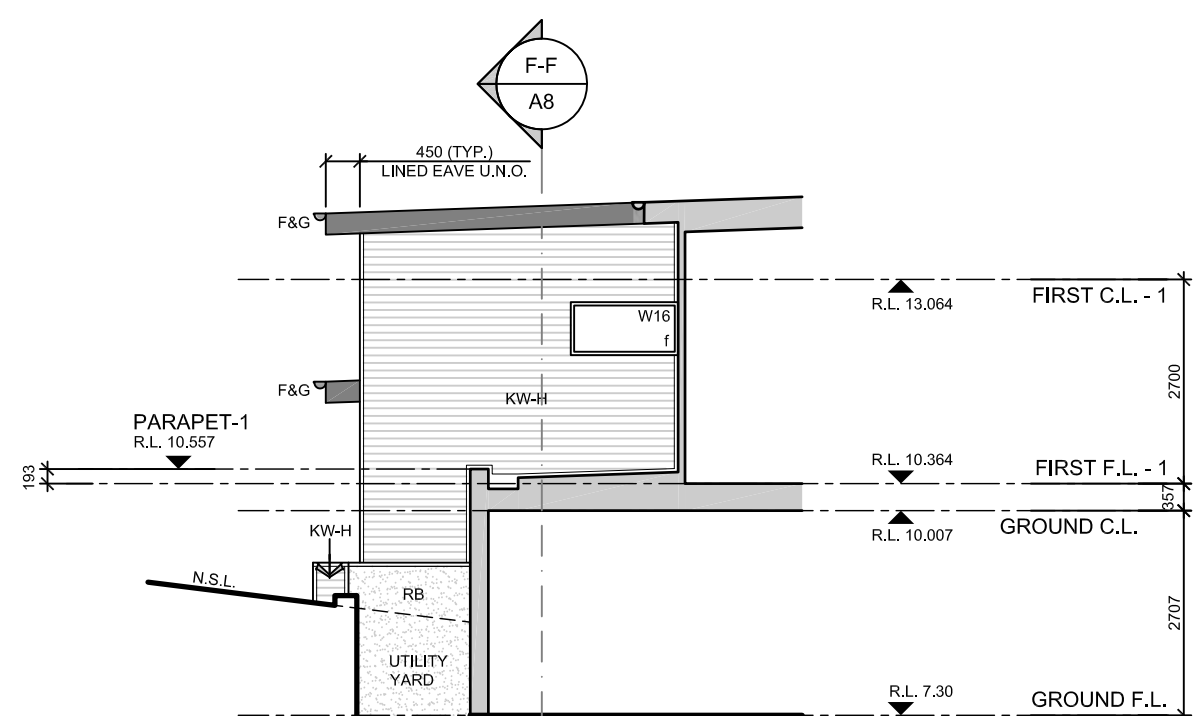
NORTH-EAST ELEVATION

SCALE - 1:100



NORTH-WEST ELEVATION

SCALE - 1:100



NORTH-WEST ELEVATION - 2

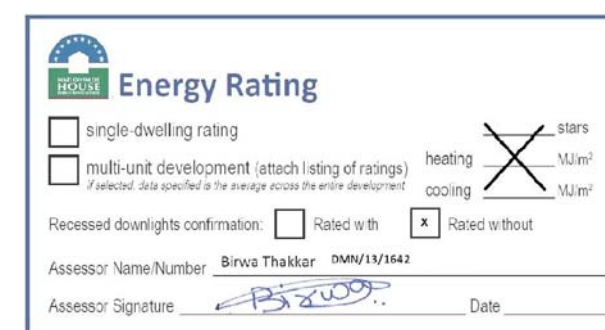
SCALE - 1:100

COLOUR PALETTE

	COLORBOND MONUMENT (or similar approved)
	SILVER (or similar approved)
	COLORBOND SOUTHERLY (or similar approved)
	SYCAMORE (or similar approved)
	TEAK (or similar approved)

LEGEND

TO	TRIMEX SHEET ROOF, COLORBOND MONUMENT
F&G	DESIGN FINE TIMBER FASCIA 200x30mm (H), PAINT FINISH & STRATCO COLORBOND HALF ROUND GUTTER WITH EXTERNAL BRACKETS, - COLORBOND MONUMENT
VL	6mm VERSULUM LINING INSTALLED WITH EXPRESS JOINTS (ON EVEN GRID) IN ACCORDANCE WITH MANUF. SPEC.
NS	METAL CLADDING SYSTEMS COLORBOND NAILSTRIP METAL CLADDING (200mm PAN WIDTH) INSTALLED VERTICALLY ON STEEL BATTENS IN ACCORDANCE WITH MANUF. SPEC. - COLORBOND MONUMENT
RB	RENDERED BRICKWORK, PAINT FINISH - COLORBOND SOUTHERLY
KW-V	'XWO'WOOD' ALUMINIUM CLADDING (200mm BOARD - KECDOLV) INSTALLED VERTICALLY IN ACCORDANCE WITH MANUF. SPEC. - COLOUR: SILVER
KW-H	'XWO'WOOD' ALUMINIUM CLADDING (100mm BOARD - KECDOLV) INSTALLED HORIZONTALLY IN ACCORDANCE WITH MANUF. SPEC. - COLOUR: WOODGRAIN - SYCAMORE
AW	AWNING CONSTRUCTED OF RHS, PLYWOOD TOP & BOTTOM, ENCASE WITH COLORBOND FLASHING, PROVIDE FALL AWAY FROM BUILDING. FINISH AGAINST WINDOW WITH 20 EA. REFER DETAIL ON SHEET #4. - COLORBOND MONUMENT
CP	ALUMINIUM POWDER COATED COVER PLATE, COLOUR TO MATCH WINDOWS
GB	SELECTED GLASS BALUSTRADE 1000mm ABOVE FINISHED FLOOR LEVEL, INSTALLED TO MANUFACTURERS SPEC. STANCHIONS & HANDRAIL TO BE STAINLESS STEEL GLAZING INFILL TO COMPLY WITH AS 1288
P1	150 SHS STEEL COLUMN TO STRUC. ENG. SPEC. - PAINT FINISH - COLORBOND MONUMENT
DK	'NEWTECH'WOOD DECKING BOARDS INSTALLED IN ACCORDANCE WITH MANUF. SPEC. - COLOUR: TEAK
PB	RDP (F7) PERIMETER BOARD, PAINT FINISH - COLORBOND MONUMENT
PAV	CONCRETE PAVING SLAB TO STRUCTURAL ENGINEERS DETAIL. FINISH TO BE SELECTED, WHERE ABUTTING BUILDING PROVIDE ADEQUATE SEPARATION STRIP, PROVIDE 1800mm FALL AWAY FROM BUILDING
W1 eg.	WINDOW NUMBER
D1 eg.	DOOR NUMBER
F.L.	FLOOR LEVEL
C.L.	CEILING LEVEL
f	FIXED GLAZING
N.S.L.	NATURAL SURFACE LEVEL



WINDOW SCHEDULE										
NO.	MANUF.	TYPE	STYLE	NOM. SIZE	ORIENT.	ROOM	CLADDING	HEAD HEIGHT	NOTES	
W1	AS SELECTED	ALUMINIUM	AWNING	1800H x 1190W	S W	MASTER	KNOTWOOD	2400	BUTT-GLAZED CORNER WINDOW	
W2	AS SELECTED	ALUMINIUM	AWNING	1800H x 3310W	S W	MASTER	KNOTWOOD	125mm RESTRICTED OPENING		
W3	AS SELECTED	ALUMINIUM	FIXED	1800H x 3310W	S W	MASTER	KNOTWOOD	125mm RESTRICTED OPENING		
W4	AS SELECTED	ALUMINIUM	AWNING	1800H x 1190W	S W	MASTER	KNOTWOOD	2400	ELECTRIC WINDER	
W5	AS SELECTED	ALUMINIUM	AWNING	1800H x 1190W	S W	MASTER	KNOTWOOD	2400	BUTT-GLAZED CORNER WINDOW	
W6	AS SELECTED	ALUMINIUM	AWNING	1800H x 1190W	S W	MASTER	KNOTWOOD	2400	125mm RESTRICTED OPENING	
W7	AS SELECTED	ALUMINIUM	AWNING	1800H x 3310W	S W	MASTER	KNOTWOOD	125mm RESTRICTED OPENING		
W8	AS SELECTED	ALUMINIUM	AWNING	1800H x 3310W	S W	MASTER	KNOTWOOD	125mm RESTRICTED OPENING		
W9	AS SELECTED	ALUMINIUM	AWNING	3350H x 1930W	S W	LIVING	KNOTWOOD	3350	ELECTRIC WINDER	
W10	AS SELECTED	ALUMINIUM	FIXED	2400H x 1200W	S W	KITCHEN	N/A COVERPLATE		CORNER BF-FOLD WINDOW	
W11	AS SELECTED	ALUMINIUM	BF-FOLD	1500H x 2400W x 2400L	SW / NW	KITCHEN	KNOTWOOD			
W12	AS SELECTED	ALUMINIUM	AWNING	700H x 1500W	N E	POWDER	NAILSTRIP			
W13	AS SELECTED	ALUMINIUM	FIXED	700H x 1420W	S E	ENTRY	NAILSTRIP			
W14	AS SELECTED	ALUMINIUM	AWNING	700H x 1420W	N E	DINING	KNOTWOOD			
W15	AS SELECTED	ALUMINIUM	AWNING	700H x 1420W	N E	LIVING	KNOTWOOD			
W16	AS SELECTED	ALUMINIUM	FIXED	700H x 1420W	N W	STARWELL	KNOTWOOD			
W17	AS SELECTED	ALUMINIUM	AWNING	700H x 2100W	N E	STARWELL	KNOTWOOD		HEAD HEIGHT FROM FIRST F.L.	
W18	AS SELECTED	ALUMINIUM	AWNING	700H x 2400W	N E	BED 2	KNOTWOOD			
W19	AS SELECTED	ALUMINIUM	AWNING	700H x 1800W	N E	WC	KNOTWOOD			
W20	AS SELECTED	ALUMINIUM	AWNING	700H x 1500W	N E	BATH	KNOTWOOD			
W21	AS SELECTED	ALUMINIUM	AWNING	700H x 1500W	N E	ENSUITE	NAILSTRIP			
W22	AS SELECTED	ALUMINIUM	FIXED	790H x 5200W	S W	DINING	NAILSTRIP	3490	ELECTRIC WINDER	
W23	AS SELECTED	ALUMINIUM	AWNING	790H x 1200W	S W	KITCHEN	N/A COVERPLATE	3490		
W24	AS SELECTED	ALUMINIUM	FIXED	790H x 2310W	S W	KITCHEN	N/A COVERPLATE	3490		
W25	AS SELECTED	ALUMINIUM	FIXED	900H x 2220W	N W	KITCHEN	NAILSTRIP	3560	RAKED HEAD OF WINDOW TO MATCH ROOF PLANE, 2' (SITE MEASURE) HEAD HEIGHT IS TO WINDOW EXTENT	
W26	AS SELECTED	ALUMINIUM	FIXED	700H x 1930W	N W	ENTRY	NAILSTRIP	3350	RAKED HEAD OF WINDOW TO MATCH ROOF PLANE, 2' (SITE MEASURE) HEAD HEIGHT IS TO WINDOW EXTENT	
W27	AS SELECTED	ALUMINIUM	FIXED	400H x 1800W	S W	HALL	NAILSTRIP	3740		
W28	AS SELECTED	ALUMINIUM	FIXED	400H x 1800W	N E	HALL	NAILSTRIP	3740		
W29	AS SELECTED	ALUMINIUM	FIXED	400H x 1200W	S E	HALL	NAILSTRIP	3740		

DOOR SCHEDULE										
NO.	MANUF.	TYPE	STYLE	NOM. SIZE	ORIENT.	ROOM	CLADDING	HEAD HEIGHT	NOTES	
D1	AS SELECTED	PANELIFT	SECTIONAL	3550H x 2700W	S W	GARAGE	BRICK VENEER	3550	PROVIDE EASY-TO-USE AUTOMATIC DOOR OPENER HEAD HEIGHT FROM GARAGE F.L. PROVIDE RAVEN WEATHER SEAL PROVIDE 20mm REBATE IN SLAB	
D2	AS SELECTED	PANELIFT	SECTIONAL	3150H x 2700W	S W	GARAGE	NAILSTRIP	3150	PROVIDE EASY-TO-USE AUTOMATIC DOOR OPENER HEAD HEIGHT FROM GARAGE F.L. PROVIDE RAVEN WEATHER SEAL PROVIDE 20mm REBATE IN SLAB	
D3	AS SELECTED	PANELIFT	SECTIONAL	3150H x 5400W	S W	GARAGE	NAILSTRIP	3150	PROVIDE EASY-TO-USE AUTOMATIC DOOR OPENER HEAD HEIGHT FROM GARAGE F.L. PROVIDE RAVEN WEATHER SEAL PROVIDE 20mm REBATE IN SLAB	
D4	AS SELECTED	ALUMINIUM	SWING	2/2400H x 920W	S W	ENTRY	KNOTWOOD		STEPPLESS FINISH, BUILDER TO CONFIRM OVERALL DOOR HEIGHT	
D5	AS SELECTED	ALUMINIUM	STACKER	2400H x 5200W	S W	RECREATION	KNOTWOOD		STEPPLESS FINISH, BUILDER TO CONFIRM OVERALL DOOR HEIGHT	
D6	AS SELECTED	ALUMINIUM	SLIDING	2400H x 2750W	S W	BED 4	BRICK VENEER	2400	STEPPLESS FINISH, BUILDER TO CONFIRM OVERALL DOOR HEIGHT	
D7	AS SELECTED	ALUMINIUM	SWING	2400H x 920W	N E	KITCHEN	BRICK VENEER			
D8	AS SELECTED	ALUMINIUM	STACKER	2400H x 5200W	S W	DINING	NAILSTRIP		STEPPLESS FINISH, BUILDER TO CONFIRM OVERALL DOOR HEIGHT	
D9	AS SELECTED	ALUMINIUM	SWING	2 / 2400H x 920W	N W	ENTRY	NAILSTRIP			

NOTES

ALL WINDOWS & DOORS MUST BE SITE MEASURED PRIOR TO ORDERING & FABRICATION

ALL GLAZING TO COMPLY WITH AS 1288

ALL WINDOWS, DOORS & ACCESSORIES TO BE IN ACCORDANCE WITH ENERGY RATERS REPORT

ALL WINDOW & DOOR SECTIONS TO BE ALUMINIUM FRAMED, DOUBLE GLAZED

ALL FRAMES TO BE POWDERCOAT FINISH, COLOUR TO BE SELECTED BY CLIENT

INSTALL & FLASH ALL WINDOWS TO MANUF. SPEC.

PROVIDE FLY SCREENS TO ALL EXTERNAL WINDOWS AND DOORS U.N.O.

ALL INTERNAL DOORS DENOTED ON PLAN AS 920' TO BE 920W x 2340H x 35THK. AS SELECTED BY CLIENT

PROVIDE REBATE IN STRUCTURAL FLOOR FOR EXTERNAL SLIDING STACKER DOORS, TO PROVIDE STEPPLESS FINISH, BUILDER TO CONFIRM OVERALL DOOR HEIGHT PRIOR TO ORDERING

ANY DISCREPANCIES BETWEEN WINDOW/DOOR SCHEDULE AND WORKING DRAWINGS TO BE REPORTED TO SANDS BUILDING DESIGN PRIOR TO ORDERING AND/OR FABRICATION

WARNING!

BEWARE OF UNDERGROUND SERVICES



CORROSION PROTECTION NOTE:

THE SITE IS IN A SEVERE MARINE ENVIRONMENT. SHEET ROOF, GUTTERS, FLASHINGS, FIXTURES, FITTINGS AND ACCESSORIES TO BE 'COLORBOND ULTRA' OR 'SUPERIOR STAINLESS STEEL'. ALL STRUCTURAL STEELWORK TO BE HEAVY DUTY HOT DIPPED GALVANISED IN ACCORDANCE WITH AS 4680.

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CLIENT BRUCE & THERESA MACK
JOB NO. 21761
DATE 28/11/23
DESIGNED BY CDR-AD 58137
DRAWN BY FN
DESCRIPTION ELEVATIONS
ISSUE PLANNING
SCALE 1:100
DRAWING NO.

Printed 1/03/2024
Page 45 of 49

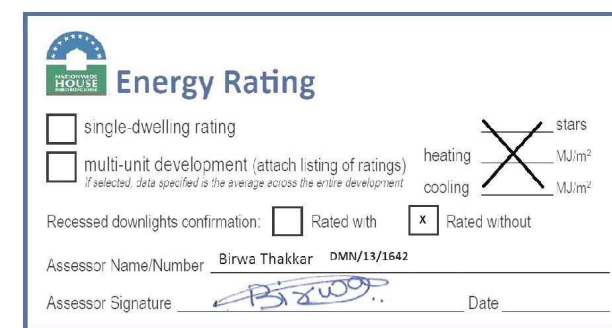
5.2 RATINGS - REFER PERFORMANCE BASED SOLUTION REPORT ACCREDITED ENERGY RATER FRATER CONSULTING SERVICES (C) 8691 6928 BIRNIA THAKKAR DMN1311646 ASSESSOR'S REFERENCE FOS ???		part of a Environment A used for any pur		
BUILDING ELEMENT	SPECIFICATION			
FLOOR	R1 UNDER-SLAB INSULATION (EXCLUDING GARAGE): 'SLABMATE' SM-40 OR SIMILAR APPROVED. R1.1 BRADFORD SOUNDSCREEN ACOUSTIC INSULATION (110 THK) TO FLOOR SPACE			
WALLS	R2.5 MINIMUM ADDED WALL INSULATION WITH BRADFORD ENVIRONMENTAL PROCTOR WRAP (VAPOUR PERMEABLE SARKING TO OUTSIDE OF ALL EXTERNAL WALLS (INSULATION IN GARAGE OPTIONAL) R2.6 BRICK INSULATION TO INTERNAL WALLS ABUTTING WEAT AREAS & GARAGE R2.5 BRADFORD SOUNDSCREEN ACOUSTIC INSULATION TO INTERNAL WALLS ABUTTING INTERIOR Foyer / STAIRWELL			
ROOF	R5.0 MINIMUM ADDED ROOF INSULATION BRADFORD ANTIION 60 R13 ROOF BLANKET INSULATION			
WINDOWS	ALL WINDOWS TO BE ALUMINIUM FRAMED DOUBLE GLAZED WITH MINIMUM VALUES AS LISTED: FINING: U-VALUE: 3.25 & SHGC 0.47 CASING: U-VALUE: 3.16 & SHGC 0.42 U-VALUE: 2.15 & SHGC 0.56 SLIDING: U-VALUE: 2.81 & SHGC 0.50			
WALL COLOUR	MEDIUM TONING			
ROOF COLOUR	MEDIUM TONING			
LIGHTING	- IN A CLASS 1 BUILDING (WITHIN THE BUILDING), SW/MZ MAXIMUM - SE - SEALING EXHAUST FANS - IN A CLASS 2 BUILDING (GARAGE/SHED) SW/MZ MAXIMUM - IF USED, DOWNLIGHTS ARE TO BE SEALED (FITTING WITH SHROUDS) - SE - SEALING EXHAUST FANS - WINDOWS AND SLIDING DOORS ARE TO BE FITTED WITH WEATHER-STRIP - GAPS & CRACKS AROUND DOORS, WINDOWS AND PEAER PENETRATIONS ARE SEALED			
AIR LEAKAGE				
ALTERNATIVE SOLUTION - THIS SUMMARY IS TO BE READ IN STRICT CONJUNCTION WITH THE PERFORMANCE BASED SOLUTION REPORT AS PREPARED BY FRATER CONSULTING SERVICES.				
Required Star Rating / Energy Use = 153 MJ/m ² or 6.0-Stars Total Producted Energy (E _p) = 153.5 MJ/m ² Deficit Energy = 20.5 MJ/m ² = 266 kWh (Conditioned Area) = 5471.45 MJ				
Therefore 5471.45 megajoules will need to be required by other energy savings measures. The energy rater proposes to offset the energy use by incorporating the following PV panels for renewable energy generation:				
Proposed PV system for renewable electricity generation = 3.5 kW system (14 to 250 Watt Panels) Effective power generation in Melbourne / Victoria = 3.6 hours/day PV panel orientation: North PV panel tilt angle: 10° PV panel efficiency = 9% Solar PV Panel degradation 0.5% per annum Annual renewable electricity generated = 3979.2 kWh (13245.12 MJ)				
Total Energy Savings (due to PV Panels) = 13245.12 MJ Total Energy Deficit (due to 5.2 Stars Rating) = 5471.45 MJ				
A photovoltaic system as detailed above is a mandatory requirement for the dwelling to achieve performance to 6.0 stars. After installing the specified PV system, the dwelling will achieve a 6.0 star rating. Therefore, the development is endorsed by the accredited thermal performance assessor for building approval.				
NOTES - THIS SUMMARY IS TO BE READ IN STRICT CONJUNCTION WITH THE ENERGY RATING REPORT PREPARED BY FRATER CONSULTING SERVICES				

ADVERTISED

REFER STRUCTURAL ENGINEERING		REFER SLO. REPORT		
ROOF CLADDING:	SHEET	ROOF PITCH	2°	
DESCRIPTION	SIZE mm W x L	STRESS GRADE	CENTRES mm	MAX. HEIGHT / SPAN mm
ROOF BATTENS	70x50	MPG12	500	900 SPAN
70x100 BATTENS		MPG10	900	900 SPAN
ROOF TRUSSES	REFER WALLS	MPG10	900	
COMMON WALL STUDS	90x35	MPG10	450	3000 HEIGHT MAX.
JAMB STUDS	250x45	MPG10		3000 HEIGHT MAX.
GENERAL TOP PLATES	90x45	MPG10		
LOADBEARING TOP PLATES	200x45	MPG10		
BOTTOM PLATES	90x45	MPG10		
WALL NOGGINGS	90x35	MPG10	1350	
LINTELS REFER STRUCTURAL ENGINEERS DRAWINGS				

NOTES: -
THIS SUMMARY IS TO BE READ IN STRICT CONJUNCTION WITH THE ENERGY RATING REPORT
PREPARED BY FRATER CONSULTING SERVICES

SCALE - 1:50



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**Zero Damage
Zero Harm**

COROSION PROTECTION NOTE:
THE SITE IS IN A SEVERE MARINE ENVIRONMENT.
SHEET ROOF, GUTTERS, FLASHING'S, FIXTURES,
FITTINGS AND ACCESSORIES TO BE "COLORBOND
ULTRA" OR "SUPERDURA STAINLESS STEEL".
ALL STRUCTURAL STEELWORK TO BE HEAVY
DUTY HOT DIPPED GALVANISED IN ACCORDANCE
WITH AS 4680.

SCALE - 1:50

MACK RESIDENCE
25 VIEW STREET
LAKE ENTRANCE

CLIENT BRUCE & THERESE MACK
JOB NO. 21781
DATE 28/11/23
DESIGNED BY CDP-AD 58137
DRAWN BY FN
DESCRIPTION SECTIONS
ISSUE PLANNING
SCALE 1:50

CDP/AMR/ML

