

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	62 Chilas Road WY YUNG 3875 Lot: 1 TP: 103042
The application is for a permit to:	Use and Development of a Dwelling and Outbuilding
The applicant for the permit is:	Crowther & Sadler Pty Ltd
The application reference number is:	5.2023.514.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ♦ **be made to the Responsible Authority in writing,**
- ♦ **include the reasons for the objection, and**
- ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
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If you object, the Responsible Authority will tell you its decision.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

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VOLUME 11518 FOLIO 422

Security no : 124111279477A

Produced 14/12/2023 09:41 AM

LAND DESCRIPTION

Lot 1 on Title Plan 103042X.
PARENT TITLE Volume 11510 Folio 025
Created by instrument AL318035R 27/08/2014

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
JASON ANTHONY MEKKEN
KATY ROSE MEKKEN
AX465276P 20/11/2023

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP103042X FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AX449574W (E)	CONV PCT & NOM ECT TO LC	Completed	15/11/2023
AX465276P (E)	TRANSFER	Registered	20/11/2023

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

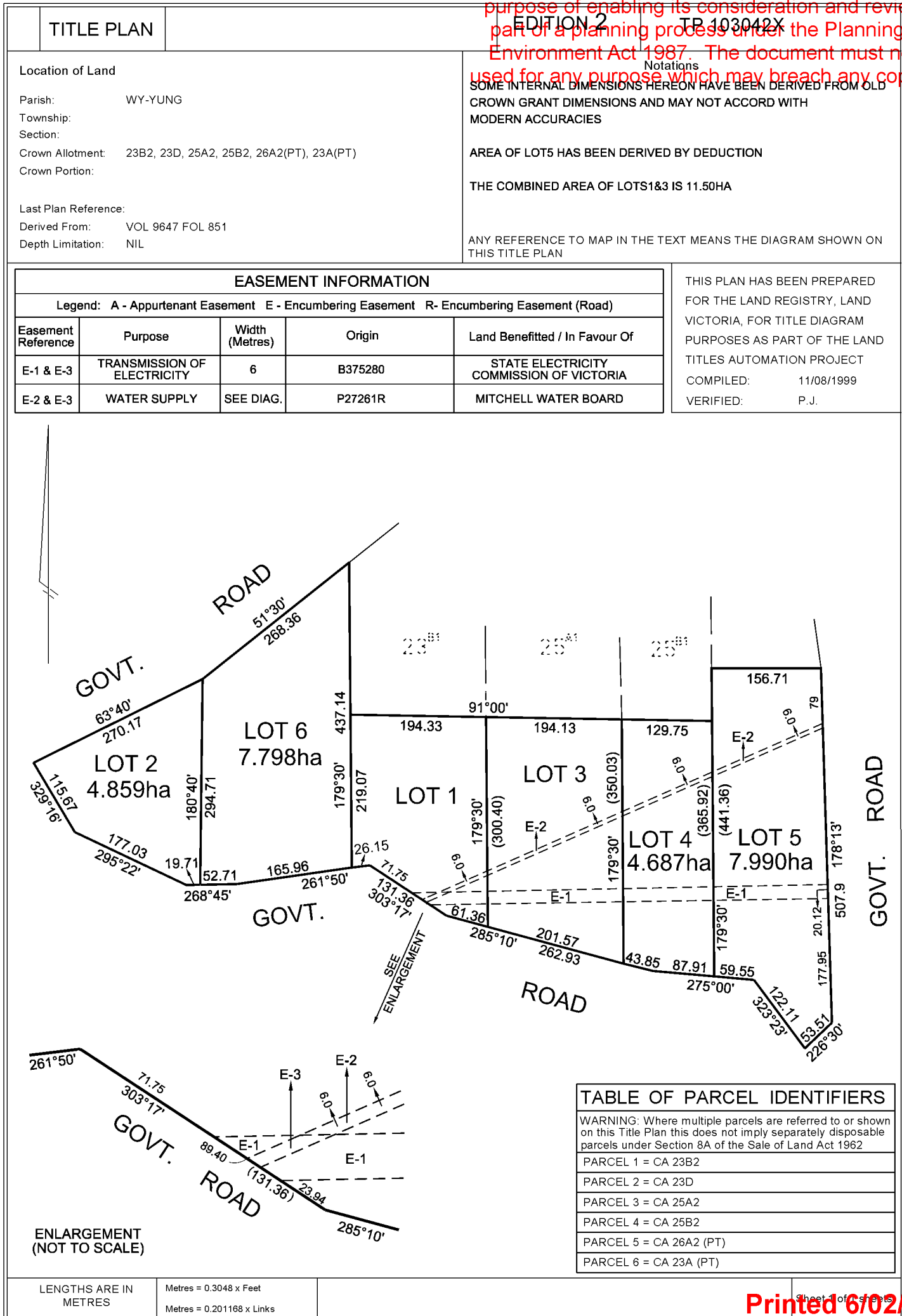
Street Address: 62 CHILAS ROAD WY YUNG VIC 3875

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END

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MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

PLAN NUMBER
TP103042X

WARNING: THE IMAGE OF THIS DOCUMENT OF THE REGISTER HAS BEEN DIGITALLY AMENDED.
NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL DOCUMENT OF THE REGISTER.

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Printed 6/02/2024
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Planning Report

Use and Development of a Dwelling and Outbuilding 62 Chilas Road, Wy Yung

Our reference – 20705

December 2023



FS 520900



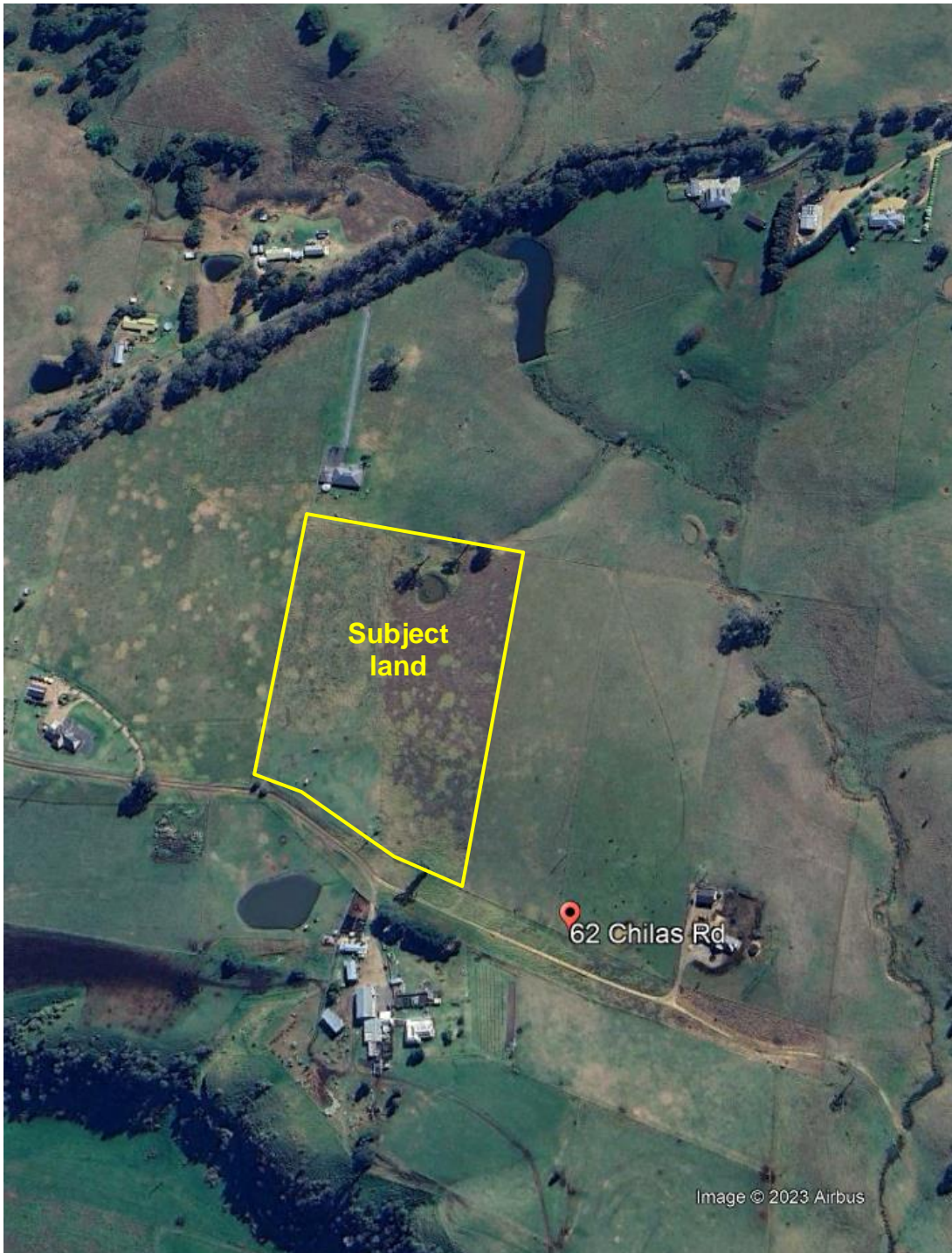
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	Application Form	
	Plan set Dwelling and Shed (<i>Tom Hardy Designs</i>)	
	Land Capability Assessment (<i>Chris O'Brien & Company</i>)	
	Geotechnical Risk Assessment Waiver (<i>Chris O'Brien & Company</i>)	
	Copy of Title (Lot 1 on TP103042)	

Note: Applicable Planning Application fee is \$1,494.60

1. Introduction

This Planning Report is prepared in support of the proposed use and development of a dwelling and outbuilding at 62 Chilas Road, Wy Yung. The Report addresses the provisions of the Rural Living Zone 3 and Erosion Management Overlay as contained within the East Gippsland Planning Scheme.



Aerial image of the subject land and immediate surrounds (Source: Google Earth)

2. Subject Land & Surrounding Context

Formally known as Lot 1 on TP103042 or more commonly known as 62 Chilas Road, Wy Yung, the subject land has an area of 4.66 hectares located on the north side of Chilas Road within a Rural Living precinct. The property is currently vacant.

The property is substantially clear of vegetation with the exception of two trees in the north of the property and a third tree in the south east corner. The land is characterised by a moderate slope falling from the south-west to the north-east. Vehicle access from Chilas Road is established near the south-west corner of the property



View across subject land from south-west corner.



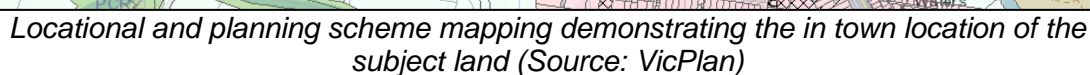
View subject land from Chilas Road

Chilas Road is a rural road with a formed gravel surface and the subject land enjoys access from Chilas Road within the south-western corner of the property.

Properties to the north, west and south are all developed with dwellings and associated outbuildings. East of the subject land is a vacant land parcel.

The subject land is located within an in-town location close to all the services and facilities that Bairnsdale has to offer.

A powerline easement and water supply (pipeline) easement encumber the south-east of the property.

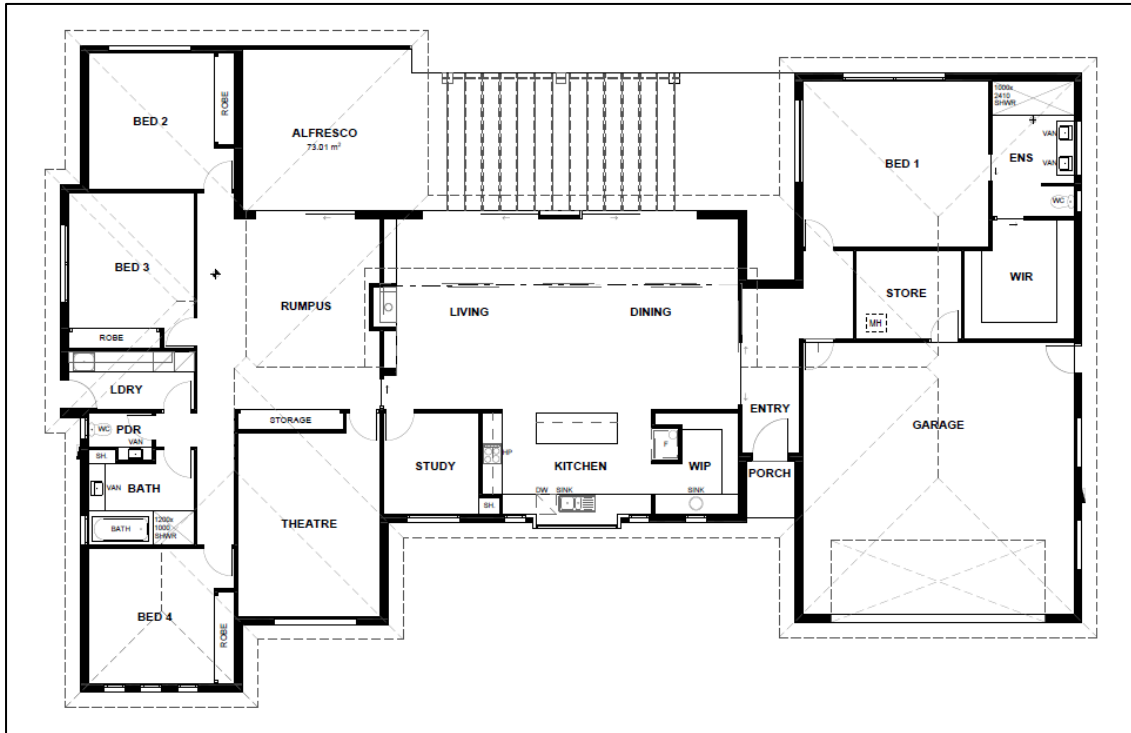


The application seeks approval for the use and development a dwelling and associated outbuilding, with proposed new vehicle access to the dwelling and outbuilding requiring construction from Chilas Road.

DWELLING
 SITE CUT/FILL AT \$5.60
 MAX DEPTH OF FILL 1.1m
 SEPTIC ABSORPTION TRENCHES
 REFER TO LCA BY
 CHRIS O'BRIEN AND COMPANY PTY LTD
 REF: B03476
 40.1m
 14.6m
 MAX DEPTH OF CUT 1.3m
 NOT FENCED
 132.93
 511.58.10"
 POST & WIRE
 CRUSHED ROCK DRIVEWAYS
 50.9m
 54
 SHED
 SITE CUT/FILL AT \$3.40
 40.5m
 MAX DEPTH OF FILL 0.9m
 52
 WATER SUPPLY EASEMENT 6m WIDE

Proposed Site Plan (Source: Tom Hardy Design)

The proposed dwelling is to be setback 14.6 metres from Chilas Road reserve and 61.5 metres from the western property boundary. The proposed dwelling will consist of four bedrooms, laundry, bathroom, theatre, rumpus room, study and open planned living/dining/kitchen. A double garage is integrated into the dwelling.



Proposed floor plan (Source: Tom Hardy Designs)

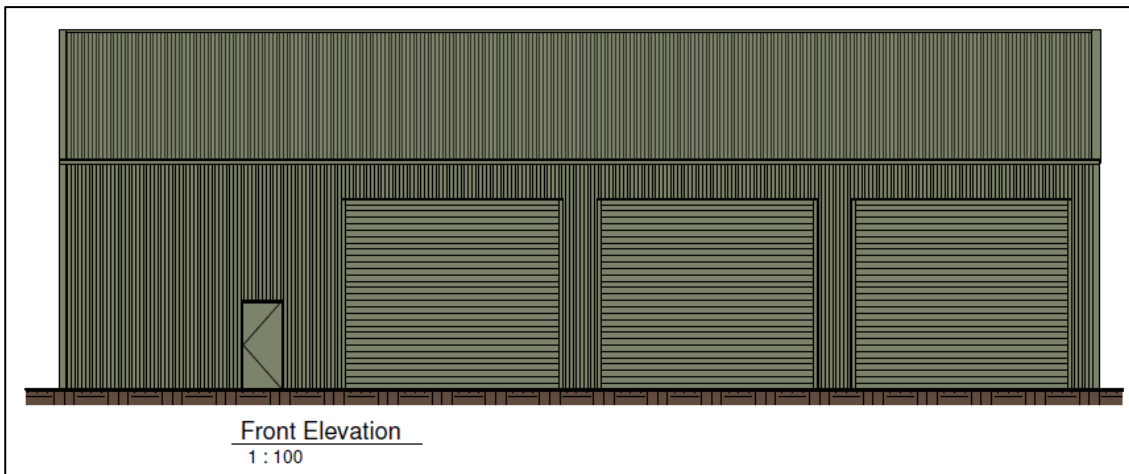
The single storey dwelling will have a maximum height of 6.375 metres and is proposed to be constructed from face brickwork and Colorbond roofing.



Proposed northern elevation (Source: Tom Hardy Designs)

The proposed shed will be sited 50.9 metres from the southern property boundary and 40.5 metres from the eastern property boundary.

The outbuilding will be metal clad and will be coloured green, with a width of 15 metres and a length of 24.42 metres, having an overall area of 366.3 square metres. The proposed outbuilding will have a wall height of 5.4 metres and will incorporate a pitched roof.



Proposed outbuilding southern elevation (Source: Bairnsdale Engineering)

Planning approval is required pursuant to the following Clauses of the East Gippsland Planning Scheme:

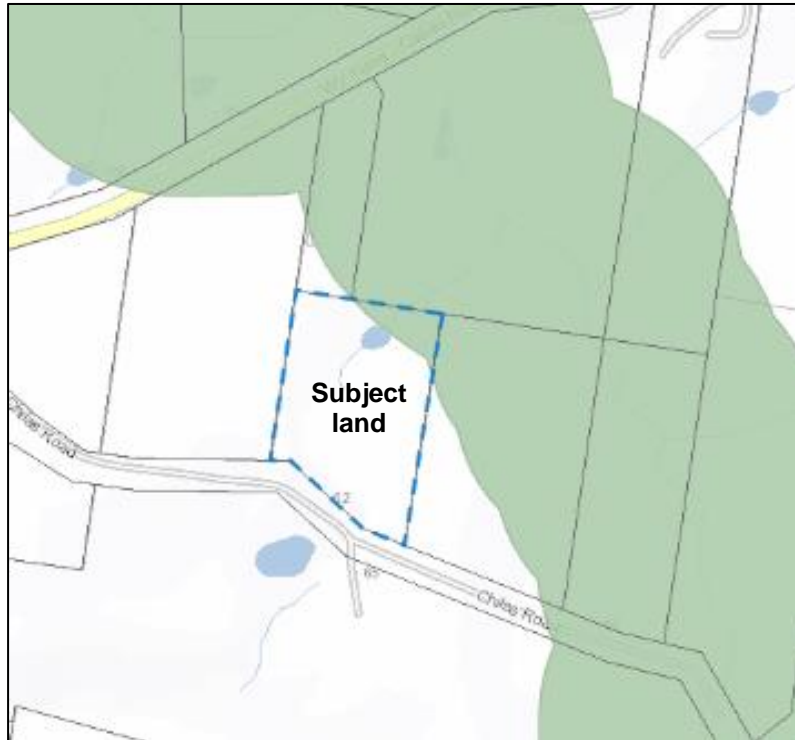
Planning Scheme Clause No.	Description of what is Proposed
35.03-1 Rural Living Zone 3	Use of the land for a dwelling
35.03-4 Rural Living Zone 3	Buildings and works associated with a Section 2 use and reduction of the minimum setback to a road.
44.01-2 Erosion Management Overlay	Buildings and works (Earthworks greater than one metre in depth Construction of a non-habitable building with a floor area greater than 200m ²).

No referrals are required to be undertaken in accordance with Section 55 of the *Planning and Environment Act 1987*.

4. Cultural Heritage

Pursuant to Regulation 7 of the *Aboriginal Heritage Regulations 2018*, a CHMP is required for an activity if:

- (a) *all or part of the activity area for the activity is in an area of cultural heritage sensitivity; and*
- (b) *all or part of the activity is a high impact activity*



Cultural Heritage Sensitivity Mapping – darker green areas (Source: VicPlan)

The subject land is partly within an area of cultural heritage sensitivity, however the construction of one dwelling on a lot is an exempt activity under Regulation 9 of the *Aboriginal Heritage Regulations 2017*. A CHMP is therefore not required for the proposed use and development.

5. Planning Policy

5.1 Planning Policy Framework

While acknowledging that the subject land is within the Rural Living Zone and Clause 11.01-1S Settlement and Clause 11.01-1L-02 Growth area towns – Bairnsdale don't apply to the application it is worthy of note that the subject land is located on the edge of the Bairnsdale settlement boundary.

The proposed dwelling and outbuilding location including the Land Application Area has been located to be well setback from the waterway on the property avoiding any potential detrimental environmental impacts to the waterway as sought by Clause 12.03-1S River and riparian corridors, waterways, lakes, wetlands and billabongs.

A Geotechnical Risk Assessment waiver accompanies the application and advises that no erosion problems currently exist on the subject land. The report advises that providing batters are constructed appropriately and protection barriers are erected during construction on the downslope side of the works no environmental risks are likely, consistent with Clauses 13.04-2S and 13.04-2L Erosion.

Clause 15.01-6S Design for rural areas respects the rural living character of the precinct through the proposed construction of a single storey dwelling and outbuilding with muted tones and materials. The character of the precinct is larger dwellings and outbuildings developed on larger allotments and the proposed development is reflective of this precinct character as per Clause 15.01-6S Design for rural areas.

The development of a dwelling on this Rural Living Zoned land parcel will provide for a residential use of the property, limited hobby farming and is well located on the periphery of East Gippsland's regional centre being Bairnsdale as sought within Clause 16.01-3L-01 Rural living.

5.2 Municipal Planning Strategy

In accordance with the strategic direction of Clause 02.03-1 Settlement and housing – rural settlements, the proposal demonstrates that the land has capacity to absorb wastes and will not result in native vegetation removal.

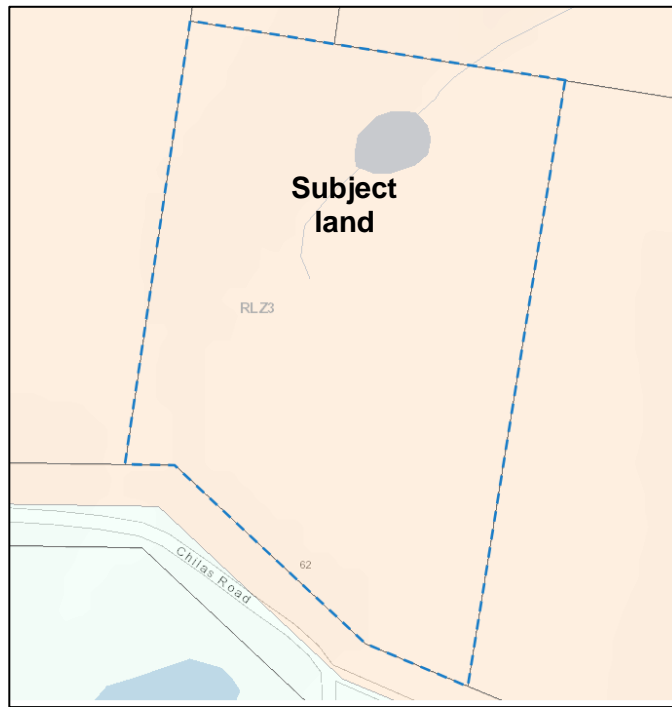
A Geotechnical Risk Assessment waiver accompanies the application and advises that provided sensible precautions are undertaken during construction the development will not result in an erosion risk as sought by Clause 02.03-3 Environmental risks and amenity.

The dwelling and outbuilding including the Land Application Area have been located a generous distance from the watercourse reducing any potential for detrimental environmental outcomes to the watercourse (Clause 02.03-4 Natural resource management).

6. Planning Elements

6.1 Rural Living Zone

The subject land is contained within Rural Living Zone under the East Gippsland Planning Scheme.



Planning scheme zone mapping (Source: VicPlan)

The development of the property with a dwelling and associated outbuilding is entirely consistent with the purposes of the zone. The proposal is consistent with the Planning Policy Framework and Municipal Planning Strategy, provides for a residential use in a rural environment, allows for minor agricultural activities and no detrimental environmental outcomes will result from the development.

A lot used for the purposes of a dwelling must meet several criteria pursuant to Clause 35.03-2 Use of land for a dwelling. The proposed use of the land for the purposes of a dwelling meets the criteria as access to the dwelling is provided via an all-weather road, it is demonstrated that the property can treat and retain wastewater within the lot (refer to Land Capability Assessment) and will be connected to a reticulated electricity supply.

Reticulated potable water is not available to the subject land meaning an alternative potable water supply will be provided from rainwater tanks.

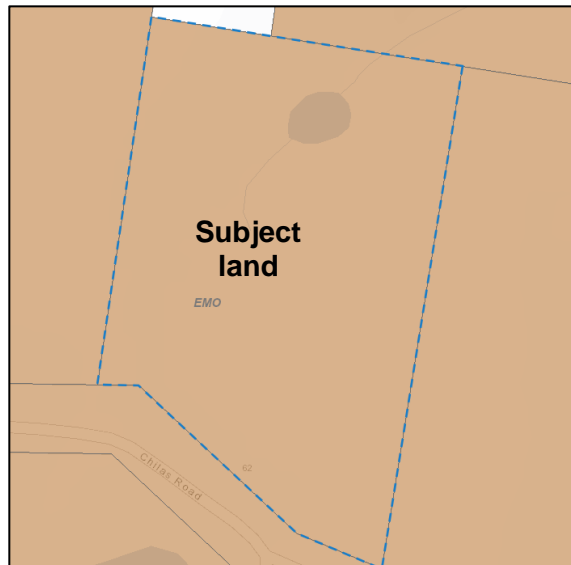
Decision Guidelines

It is considered that the proposal will positively respond to the relevant decision guidelines:

- Support for the use and development of a dwelling on the subject land is contained within the Planning Policy Framework and Municipal Planning Strategy.
- Capability of the land to accommodate the proposed dwelling is demonstrated within the Land Capability Assessment.
- The proposed use of the property for the purpose of a dwelling is compatible with adjoining and nearby land uses being rural living properties.
- The subject land size is sufficient to accommodate small scale or hobby farming.
- Nearby agricultural activities consist of land management farming to the north of Chilas Road and fodder cropping to the south of Chilas Road. These agricultural activities are relatively benign and a dwelling use amongst a precinct of rural living properties will not diminish agricultural activities.
- No native vegetation requires removal to facilitate the development of the dwelling.
- The proposed on-site effluent disposal areas are setback over 100 metres from the waterway on the property minimising the possible impacts from nutrient loads.
- The proposed dwelling design has been developed to ensure the building height is not excessive, the bulk has been addressed through the use of articulated built form and materials and colours are muted in tone reducing visual impact.
- No specific traffic management measures are required.

6.2 Erosion Management Overlay

The land is fully included within the Erosion Management Overlay.



Planning scheme overlay mapping (Source: VicPlan)

The Schedule to the Overlay is Management of Geotechnical Hazard. An assessment of the geotechnical hazard has been undertaken by a qualified engineer, and it has been determined that a full geotechnical risk assessment report is not required.

The Geotechnical Risk Assessment advises that provided batters are appropriately constructed and during works protection barriers are installed on the downside slope of the proposed works it is expected no environmental risks will arise from the works.

It is therefore considered that the decision guidelines of the Overlay have been successfully addressed.

7. Conclusion

The proposed use and development of a dwelling at 62 Chilias Road, Wy Yung is considered to accord with all relevant provisions of the Rural Living Zone 3 and Erosion Management Overlay of the East Gippsland Planning Scheme. The proposal is consistent with the Planning Policy Framework and Municipal Planning Strategy and has been designed to complement the rural character of the area.

For these reasons we respectfully request that Council consider the merits of the application favourably and resolve to issue a Planning Permit.

CHRIS O'BRIEN & COMPANY PTY LTD
CONSULTING CIVIL & STRUCTURAL ENGINEERS

Reference No: B23474

Project No: 131223

12/12/2023

Crowther & Sadler Pty Ltd
P.O Box 722
BAIRNSDALE Vic 3875

Attn: Richard Hoxley

Email: richard@crowthersadler.com.au

Dear Richard,

**RE: GRA Waiver for Proposed Dwelling & Shed
62 Chilas Road, Wy Yung**

Chris O'Brien & Company Pty Ltd have been engaged by Richard Hoxley of Crowther & Sadler Pty Ltd to determine whether or not a full Geotechnical risk assessment report is required for the proposal to construct a new dwelling and shed (greater than 200m²), (earthworks greater than 1m depth for the dwelling) at 62 Chilas Road, Wy Yung Vic 3875. An erosion management overlay exists over the property.

The purpose of this letter is to determine if the works to be carried out on this site will be a risk to the surrounding environment and is to be used in the planning application process only. This letter is not a soil classification report and shall not be used for this purpose.

Information contained in this letter is from a visual inspection of the site and based on information supplied to Chris O'Brien & Company Pty Ltd on the work to be completed on the site.

The site was inspected by Andrew Powell on the 11th December 2023.

Inspection of the site confirmed no erosion problems currently exist. The allotment is a large rural allotment north west of the Bairnsdale township with similar size allotments surrounding. The allotment is clear of significant vegetation with only one large tree in the south east corner. The land falls mostly from west to east and from south to north with a dam and natural water course located at the north end of the allotment. Maximum falls observed on the allotment were about 1 in 8. Access to the allotment currently exists in the south west corner. Photographs of our field inspection are attached to this report.

Works to be completed on the site include the creation of a new crossover from Chilas Road, earthworks to create a level construction platform for both the dwelling and the shed, excavation for footings for both the dwelling and shed and the placement and compaction of all materials required in the formation of the above works. Batters created in the above works will either be stabilised by structures or by re-topsoiling and grassing. Batters created

Crowther & Sadler Pty Ltd

Proposed Dwelling & Shed at 62 Chilas Road, Wy Yung.

Project No. 131223

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not supported by structures must not exceed the following: 1 in 2 for cut batters and 1 in 3 for fill batters. During all of the above works protection barriers such as silt fences must be place on the downslope side of all works to protect downstream assets such as the natural water course and dam with these protection barriers to remain in place until all works have been completed or batters have been stabilised. Provided this is strictly adhered we expect no environmental risks from this work.

Storm water created from the proposed dwelling and shed will be directed to the legal point of discharge via water tanks, with the overflow from these tanks to be treated with rock beaching. Provided this is done, no environmental risks are expected from this source.

We therefore suggest that a full geotechnical risk assessment report is not required for this development. As long as all precautions as listed above are strictly adhered to, we anticipate no environmental risks on this site with the work to be undertaken.

Should you need to clarify anything, please contact the Andrew Powell on 0402384596

Yours faithfully,



Andrew Powell Assoc.Dip (Civil)
for CHRIS O'BRIEN & COMPANY PTY LTD

Photos below shows area where the dwelling and shed are to be constructed







Pictures below show water course and dam.



Pictures below show Chilas Road.





CHRIS O'BRIEN & COMPANY PTY LTD

CONSULTING CIVIL & STRUCTURAL ENGINEERS

Reference No: B23476

Project No: 131223

12/12/2023

Crowther & Sadler Pty Ltd
P.O. Box 722
BAIRNSDALE VIC 3875

Email: richard@crowthersadler.com.au

Dear Richard,

**RE: PROPOSED NEW DWELLING – (ALLOW 4 BEDROOM DWELLING)
62 CHILAS ROAD, WY YUNG. VIC**

WATER ENGINEER'S CERTIFICATION OF LAND CAPABILITY ASSESSMENT AND ON SITE SOIL INVESTIGATION FOR DOMESTIC EFFLUENT DISPOSAL SEPTIC TANK SYSTEM

Further to our detailed inspection, at 11:00am on 11th December, 2023, of the above site this is to certify that Andrew John Powell, on behalf of Chris O'Brien & Company Pty Ltd, has prepared this report to document our Land Capability Assessment (LCA) and soil percolation test data together with recommendations for a specific location within the above allotment for on-site containment of domestic effluent disposal.

The purpose of this particular land capability assessment (LCA) is to investigate an area for a "Land Application Area" (LAA) on the allotment. Due to the size of the allotment a larger than required area can be set aside for use of an LAA giving greater flexibility in locating the absorption trenches. The area where the LAA can be located is shown on the site plan attached hereunder.

An area, measuring approx. 25m (North South direction) x 20m (East-West direction) and set at the eastern end of the proposed house zone has been allocated. The test site has an average slope of about 1% to the north and about 3% to the east. The buffer zones are clear of any ephemeral waters. The area allocated for disposal field will not cause any detriment to the environment nor stormwater run-off quality within the precinct where the allotment is located.

A soil investigation pit was hand excavated. The soil consists of a very damp dark brown silty loam (ZL) topsoil containing coarse grass roots moderately dispersed, underlain by a very damp fawn orange fine sandy loam (FSL) at 250 – 450mm depth underlain moist fawn orange grey silty loam (ZL) at 450 – 600mm depth at termination of the test pit. The field texture grade for this particular soil was identified, being bolus coherent, very smooth to silky when manipulated and will form a ribbon.

DISCUSSION

For this particular site, should soil percolation testing have been undertaken we would expect the percolation rate to exceed 15mm/hr and be less than 500mm/hr. in this case absorption is largely by absorption through the upper soil strata and evapo-transpiration.

PHOTOGRAPHY

Several colour photographs have been attached to the rear of this report to illustrate the subject allotment terrain and the location of the area of the "On-Site Domestic-Wastewater" disposal field. In addition, a test pit was hand excavated to 600mm depth, to investigate and illustrate the various soil horizons. The test pit, together with the tailings of excavated material, were photographed and have been attached as well. It is obvious, by observation of the photographs, the soil type and the reasonable sloping terrain available for disposal, that standard absorption trenches can be used on this site.

DAILY FLOW & SEPTIC TANK CAPACITY

- It is proposed to construct a new dwelling on the allotment however the number of bedrooms is unknown. For the purposes of this report we have adopted four (4) bedrooms and as a consequence the estimated daily flow in accordance with EPA Publication 891.4 July 2016: Code of Practice – Onsite Wastewater Management: Table 4 (dwelling installed with full water-reduction fixtures and fittings) and AS/NZS 1547:2012 Table H1

$$= (2 + 3 \times 1) 150$$

$$= 750 \text{ L/day (Town Reticulated Water Supply)}$$

- Minimum septic tank capacity (C) in accordance with AS/NZS 1547:2012 Table J1

$$= 3000 \text{ litres (Minimum Volume)}$$

STANDARD ABSORPTION TRENCH – DESIGN AREA SIZING IN ACCORDANCE WITH AS/NZS 1547:2012 AND EPA PUBLICATION 891.4: JULY 2016

Reference is made to the Australian Standard code AS/NZS 1547:2012 "On site Domestic-wastewater Management" Appendix L. Refer table L1, whereby the soil examined on site may be classified as a Soil Category 3: Loams (high/moderate structured), the Design Irrigation Rate (DIR) for primary treated effluent is approx. 15mm/day. Noteworthy is that the EPA "Guidelines for Environmental Management" – Code of Practice Onsite Wastewater Management: Appendix A – Table 9: Soil Categories and Recommended Maximum Design Loading/Irrigation Rates (DLR/DIR) for "Land Application Systems" makes direct reference to Table L1 in AS/NZS 1547:2012 and therefore the exact same DIR is recommended by the EPA.

LENGTH REQUIRED FOR STANDARD ABSORPTION TRENCH SYSTEM

The appropriate absorption bed length for a trench system has been determined using formula from Appendix L, with the bed length $L = Q / (DLR \times W)$. A conservative DIR of 15.0 L/m²/day being adopted for this site. Based on a Q of 750L/day of wastewater generated by a four (4) bedroom dwelling supplied by Reticulated Water Supply. Adopting a trench width of 1000mm, the total length of trench bed required is 50m. this can be provided in 2 x 25m lengths A final layout of the treatment system is to be completed when a septic tank permit is applied for.

RESERVE AREA NOT REQUIRED

The allocation of a reserve area is not thought to be necessary on this site, however significant area is available should the installed trench bed system fail. The design parameters used to determine the required size of the Land Application Area (LAA) have been suitably conservative. The soil is not sodic nor saline.

PREPARATION OF THE SITE PRIOR TO COMMENCEMENT

The area upon which the absorption trench bed is proposed for construction shall be protected from stormwater overland flow by establishing a shallow open earth vee-drain across the upstream sides of the LAA (effluent disposal field) curtailing around the ends – if required.

SUMMARY & CONDITIONS

It is our professional opinion the site is suitable for absorption trenches with the total length of 1000mm wide trench to be at least 50m which will be environmentally adequate and consistent with the above recommendations.

Based on the land capability assessment results, it is our opinion that the soil type and profile on this site are suitable for disposal of wastewater on site, using primary treatment only. 1000mm wide x 400mm depth trenches are to be used. Trenches should be at least 2m apart.

From the test results it can be seen that a four (4) bedroom dwelling requires a disposal bed length of about 50m (minimum) for a standard absorption trench bed system.

Siting of the proposed wastewater disposal field envelope shall be within the area tested. Refer to attached site plan. The following factors shall be considered when positioning the proposed wastewater disposal field.

- 1) Standard siting guidelines as per the requirements of the East Gippsland Shire Council (EGSC) guidelines.
- 2) At least 3.0m (subject to agreement between EGSC and COB & Co. prior to commencement) up-slope and 1.5m down-slope of any title boundary/road reserve or building for secondary treatment and at least 6.0m up-slope and 3.0m down-slope for primary treatment.

The following additional conditions shall be observed in addition to those set out by the local Council.

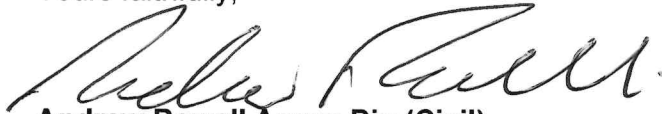
1. The system has been designed on a standard 1000mm wide x 400mm deep trench system. Trenches are to be installed at 3m maximum centres.
2. Gypsum is to be added to the bottom of trenches at a rate of 1kg/m²
3. The disposal field shall be sown with lawn grasses as soon as possible on completion of works. This will stabilize the soil and allow for the vegetation to take up the wastewater.
4. Only water from the septic tank is permitted to enter the disposal system. Stormwater run-off shall be prevented from entering the trench bed system area. We suggest an open earth vee-drain be constructed to 100mm depth along the high sides of this area or other approved method as approved by the Design Engineer.
5. Vehicles or heavy equipment shall not be permitted on the disposal field as damage to the disposal system may result.
6. Spikes, tent pegs, garden stakes etc. shall not be driven into the ground in the disposal field as damage to the disposal system may result.
7. An ongoing maintenance program shall be instigated to ensure that the disposal system is properly maintained and works effectively.

CONCLUSION

Following the Land Capability Assessment on this site it is professional opinion that the allotment is suitable for on-site wastewater disposal utilizing a standard absorption trench bed system which is highly unlikely to cause detriment to the environment.

Adequate maintenance and checking of the proposed system should be established as part of the Council Permit Application approvals process.

Yours faithfully,



Andrew Powell Assoc.Dip (Civil)
for CHRIS O'BRIEN & COMPANY PTY LTD

LAND CAPABILITY ASSESSMENT AND SOIL PERCOLATION TESTING

Land Features	Land Capability Class Rating					Site Rating
	Very Good(1)	Good(2)	Fair(3)	Poor(4)	Very Poor(5)	

General Characteristics

Site Drainage	No visible signs of dampness	Moist soil, but no standing water in soil pit		Visible signs of dampness, such as moisture tolerant plants	Water ponding on surface	2
Runoff	None	Low	Moderate	High, need for diversionary structures	Very high, diversion not practical	2
Flood Levels	Never		<1 in 100	>1 in 100 and <1 in 20	<1 in 20	1
Proximity to watercourses	>60m				<60m	1
Slope%	0-2	2-8	8-12	12-20	>20	1
Landslip	No actual or potential failure		Low potential for failure	High potential for failure	Present or past failure	1
Groundwater (seasonal watertable depth(m))	>5	5-2.5	2.5-2.0	2.0-1.5	<1.5	1
Rock outcrop (% of land surface containing rocks >200mm)	0	<10%	10-20%	20-50%	>50%	1
Erosion potential	No erosion potential	Minor	Moderate	High	Severe erosion potential	1
Exposure	High sun and wind exposure		Moderate	Low sun and wind exposure		1
Landform	Hill crests, convex side slopes and plains		Concave sideslopes and footslopes		Floodplains and incised channels	1
Vegetation type	Turf or pasture				Dense forest with little undergrowth	1
Average Rainfall (mm/year)	<450	450-650	650-750	750-1000	>1000	3
Pan Evaporation (mm/yr)	<1500	1250-1500	1000-1250		<1000	2

Soil profile characteristics

Soil permeability category	2 and 3	4		5	1 and 6	1
Profile depth	>2m	1.5m-2m	1.5m-1m	1.0m-0.5m	<0.5m	2
Presence of mottling	None				Extensive	1

Coarse fragments (%)	<10	10-20	20-40	40-60	>60	2
pH	6-8		4.5-6		<4.5, >8	Not measured
Emerson aggregate	4, 6, 8	5	7	2, 3	1	1
Electrical conductivity (Ece)(Ds/m)	<0.3	0.3-0.8	0.8-2	2-4	>4	Not measured
Sodicity ESP%	<3		6-8	8-14	>14	3

INSTALLATION CONDITIONS

All installations shall comply with the AS/NZS 1547:2012 the, EPA Code of Practice – Septic Tanks 1996, the Victorian Water Supply and Sewerage Plumbing Regulations 1986 and AS 3500 National Plumbing and Drainage Code.

No septic tank or sand filter shall be installed closer than 1.5m to the foundations of any house, building or the boundary of the allotment.

Inlets and outlets of the septic tank must be baffled to avoid disturbing the contents of the septic tank.

Inspection openings of the septic tank shall be brought up to and permanently marked at surface level. Inspection openings shall be fitted with childproof airtight covers which are capable of being readily removed and replaced by one adult. Access opening covers shall not be cemented or otherwise fixed in position so as to be incapable of being readily removed for inspection purposes.

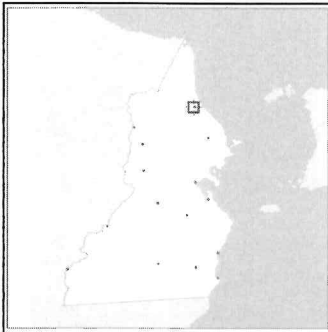
Food waste disposal units are not recommended for use with septic tank systems. **If used in household situation, a minimum extra allowance of 25% shall be made for additional sludge storage.**

Spa baths over 200 litre capacity are not to be connected to the primary septic tank but must be taken into account for effluent disposal calculations.

SITE PLAN

ADVERTISED

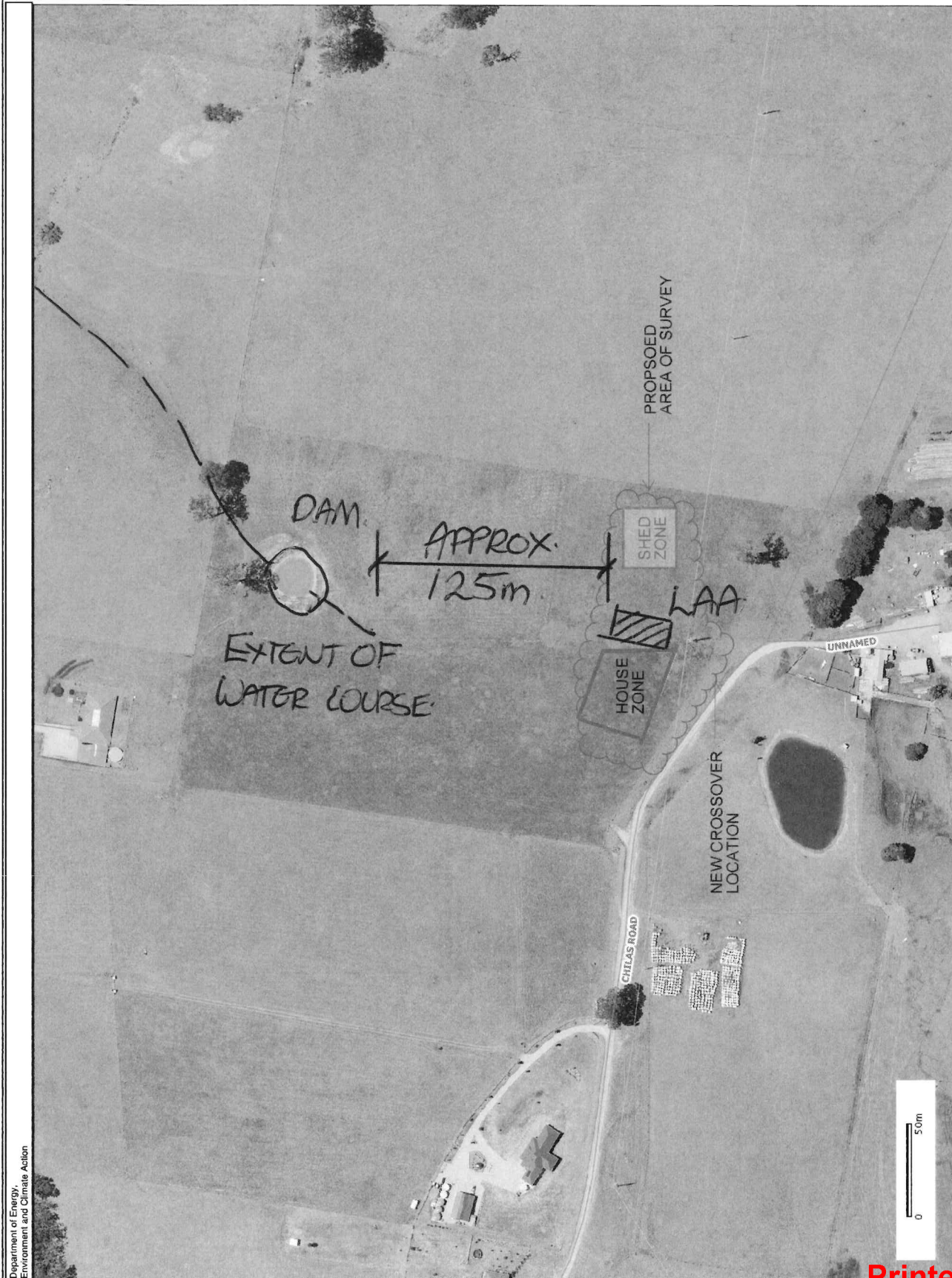
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- Legend**
- Towns (25k)
 - Locality
 - Small Town
 - Town
 - Large Town
 - Major Town
 - Regional Centre
 - City
 - Roads (vntans)
 - Freeway
 - Highway
 - Main Road
 - Medium Road
 - Other Roads
 - Victoria Boundary (25k)
 - State Boundary
 - Coastline
 - baumsdale-lakes-entrance (25k)



GDA



Map Scale:
Projection:

1:2,022
MGA94 55

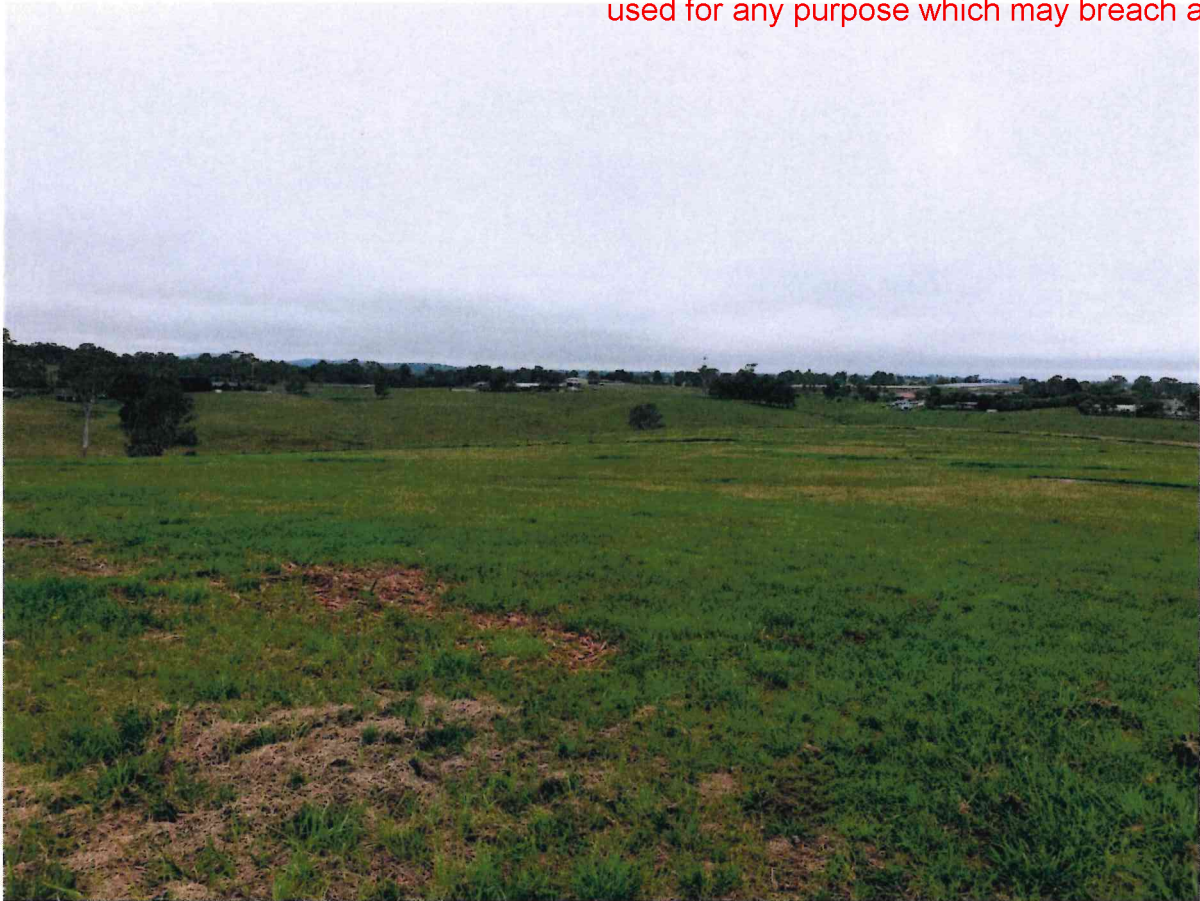
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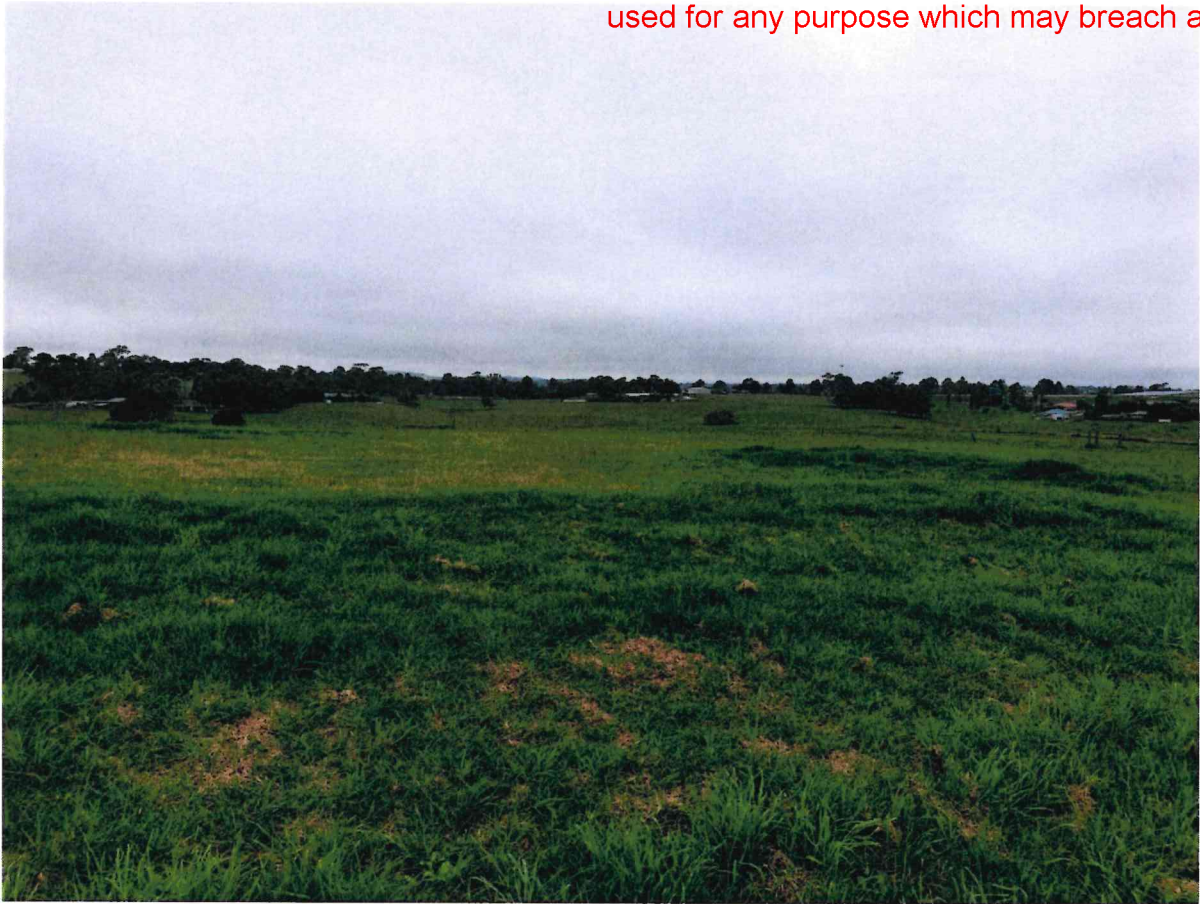
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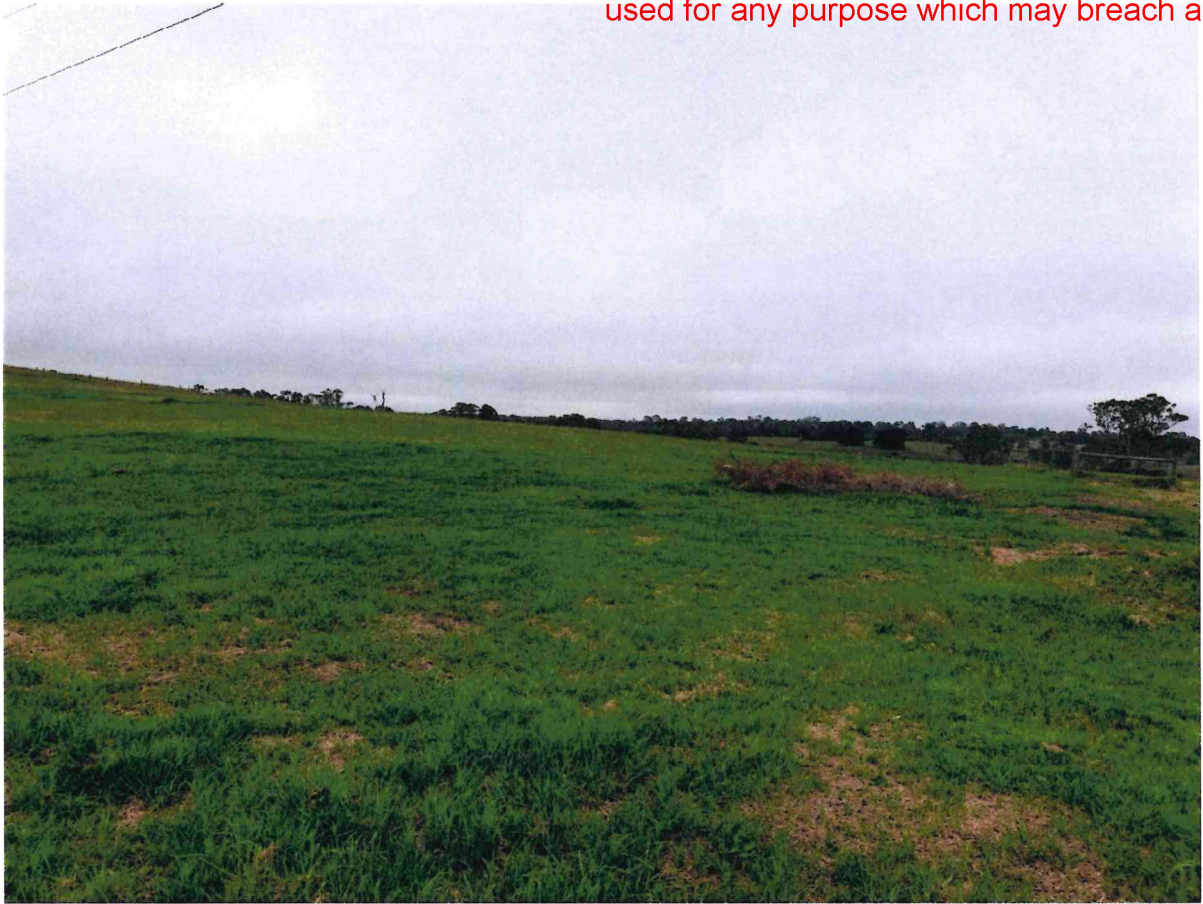
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0 50m



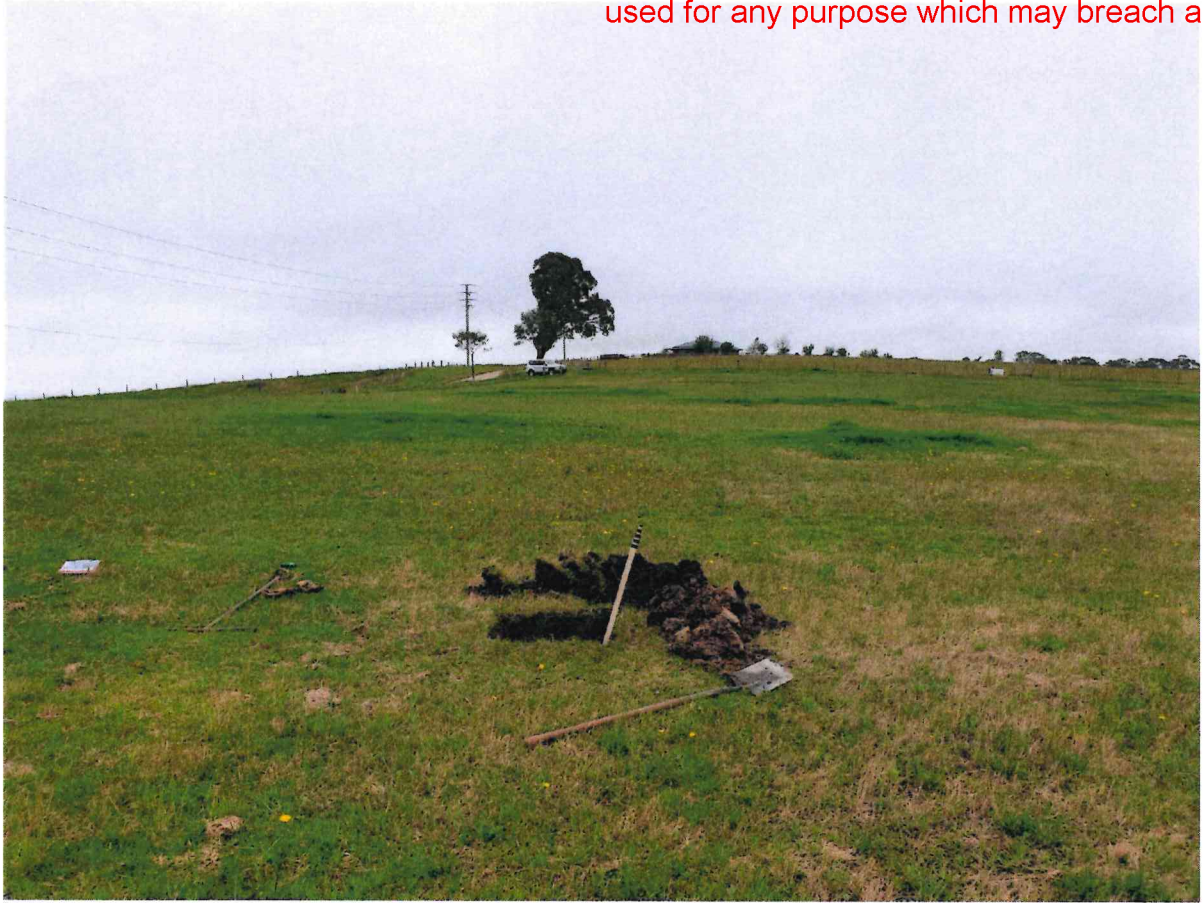


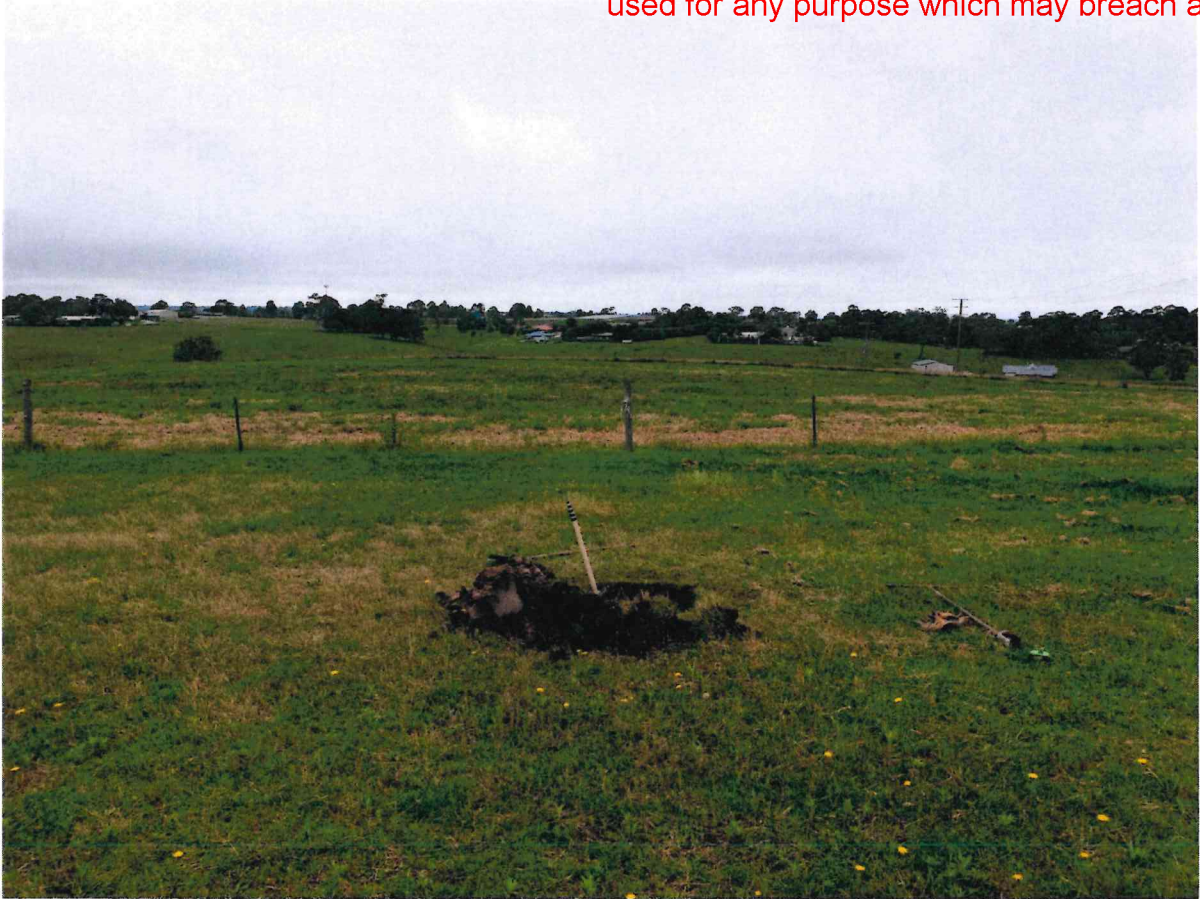






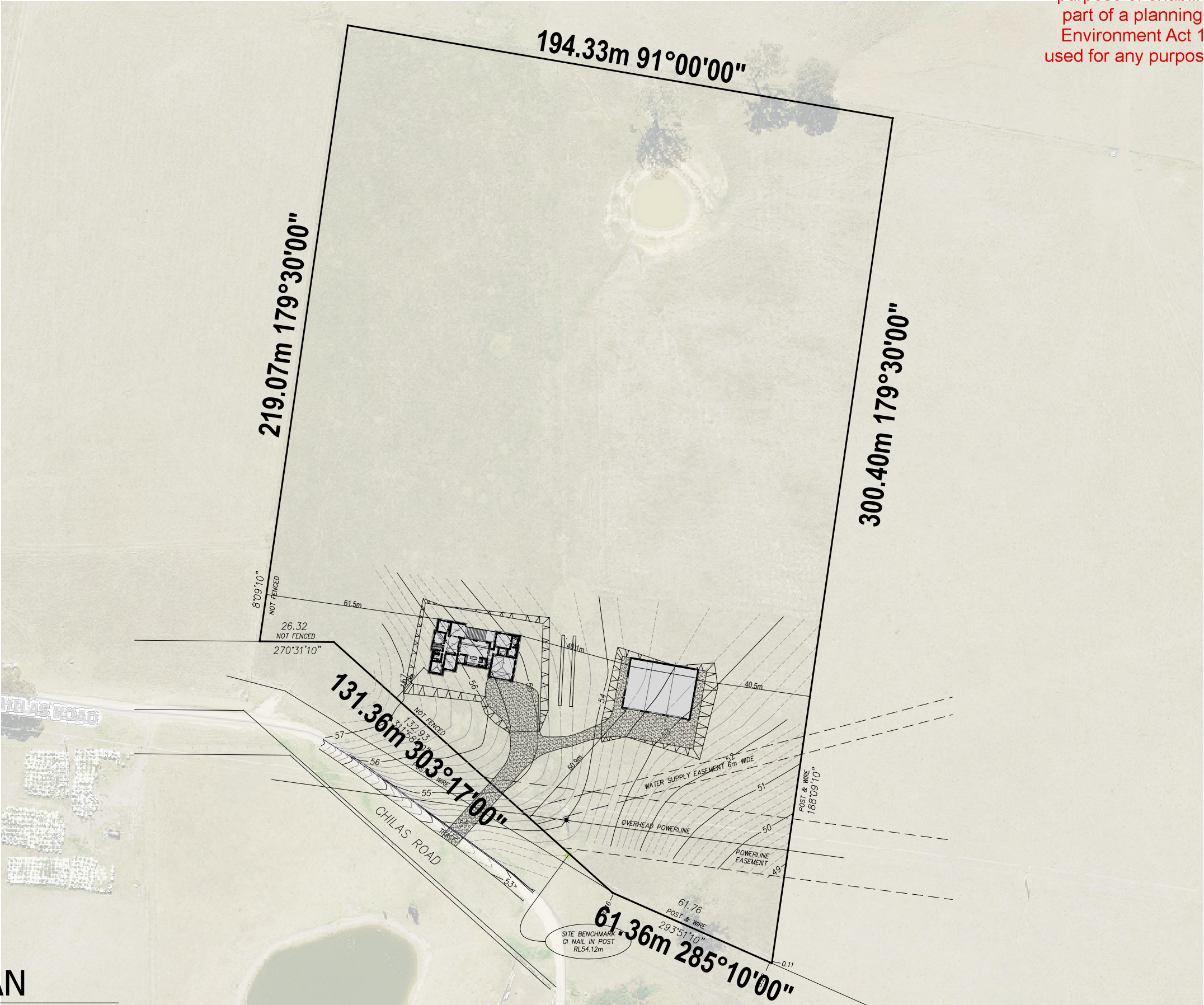








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SP

SITE PLAN

SCALE 1:1500

TOWN PLANNING

ISSUE:	REVISION:	AMENDMENT:	DATE:
PLANNING	A	FOR REVIEW	13.12.23
	B	SHED SIZE UPDATED	22.01.24

PROJECT:
**PROPOSED DWELLING
AND DETACHED SHED**
PROJECT ADDRESS:
**LOT 1
62 CHILAS RD, WY YUNG**

CLIENT:
MEKKEN

JOB NUMBER:
0427_23

DRAWING TITLE:
SITE PLAN

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SHEET: A3
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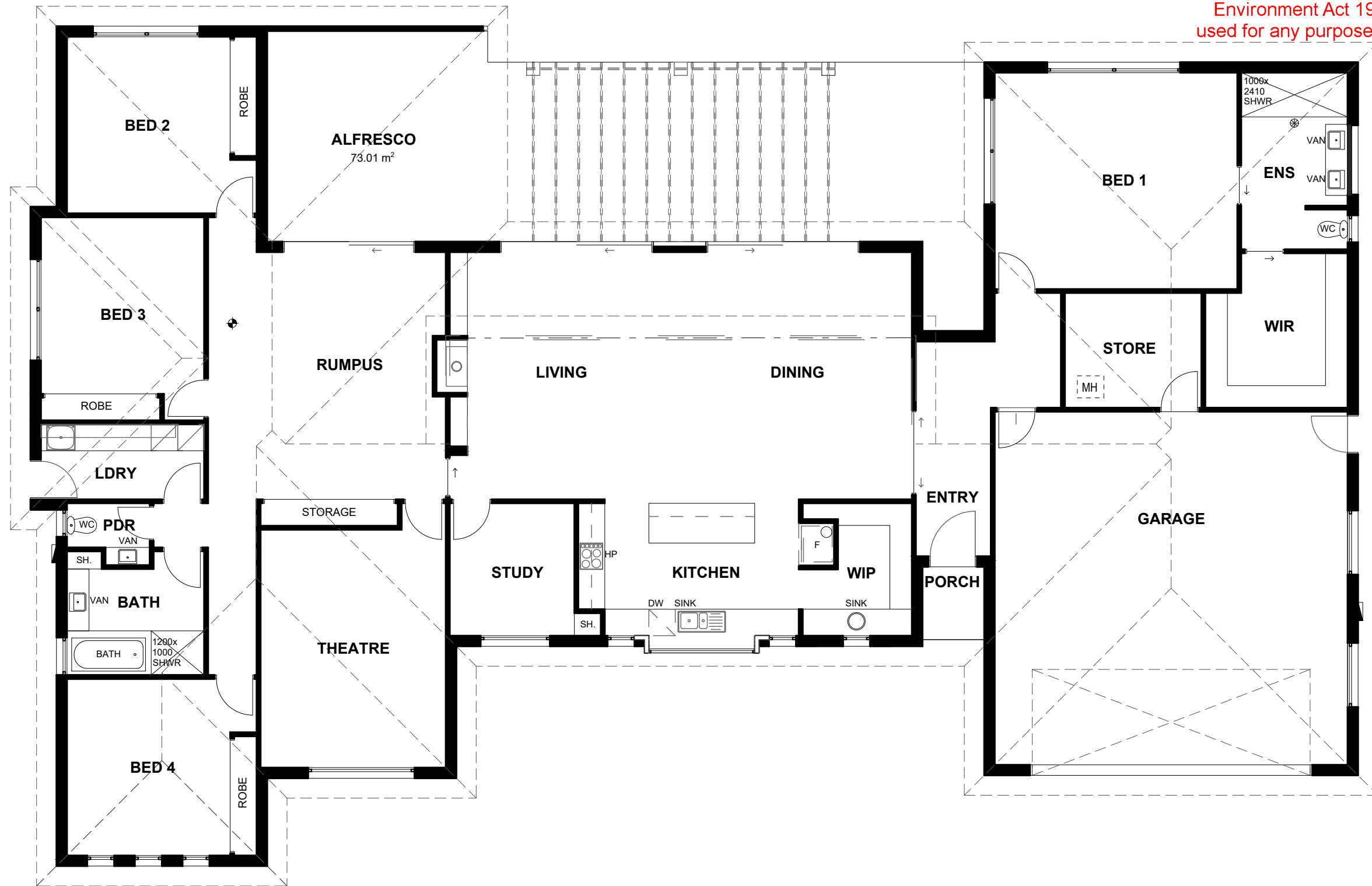
ISSUE:
PLANNING

REVISION:
B



DRAWING NUMBER:
A.02

ISSUE:
PLANNING



GF

GROUND FLOOR PLAN

SCALE 1:100

TOWN PLANNING

ISSUE:	REVISION:	AMENDMENT:	DATE:
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62 CHILAS RD, WY YUNG**

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GROUND FLOOR PLAN

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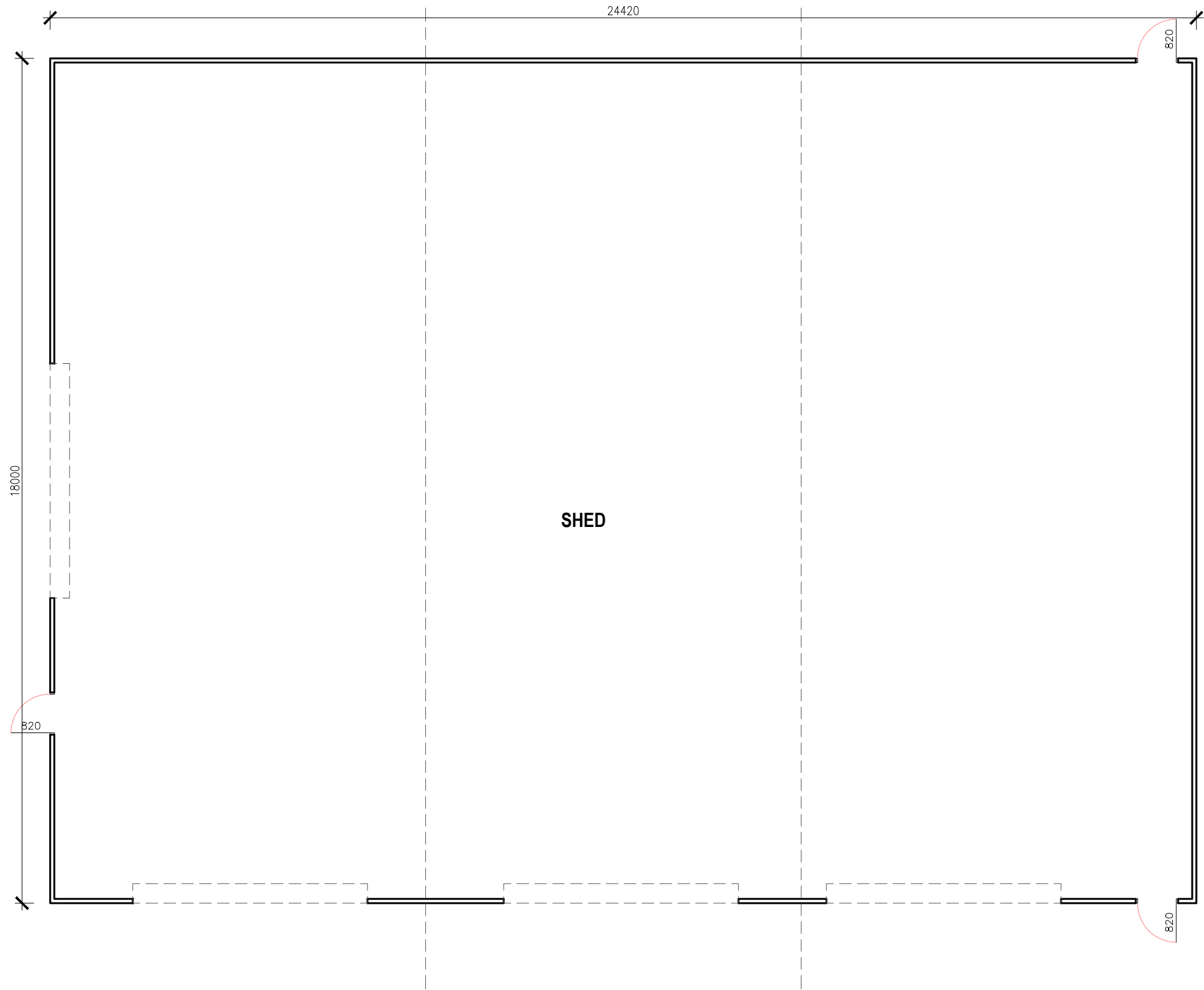
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PLANNING



REVISION:
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SP

SHED PLAN

SCALE 1:100

TOWN PLANNING

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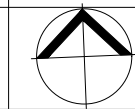
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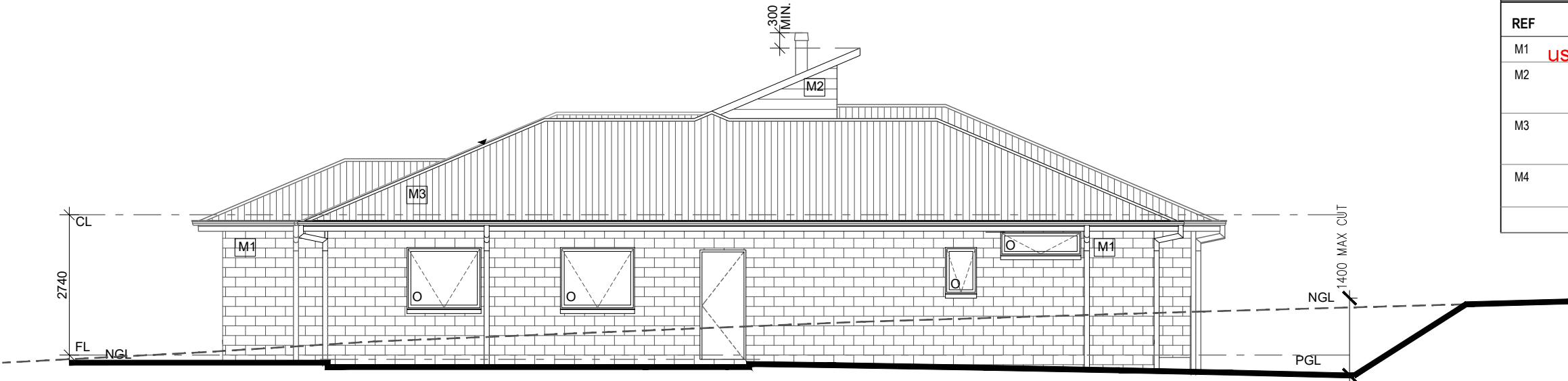
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M1	FACE BRICKWORK	BRICK	SUBLIME STEEL
M2	180 LINEA WEATHERBOARDS	PAINT	SHALE GREY
M3	COLORBOND ROOFING	COLORBOND	WINDSPRAY
M4	COLORBOND WALL CLADDING	COLORBOND	WINDSPRAY

 AUSTRAL BRICKS

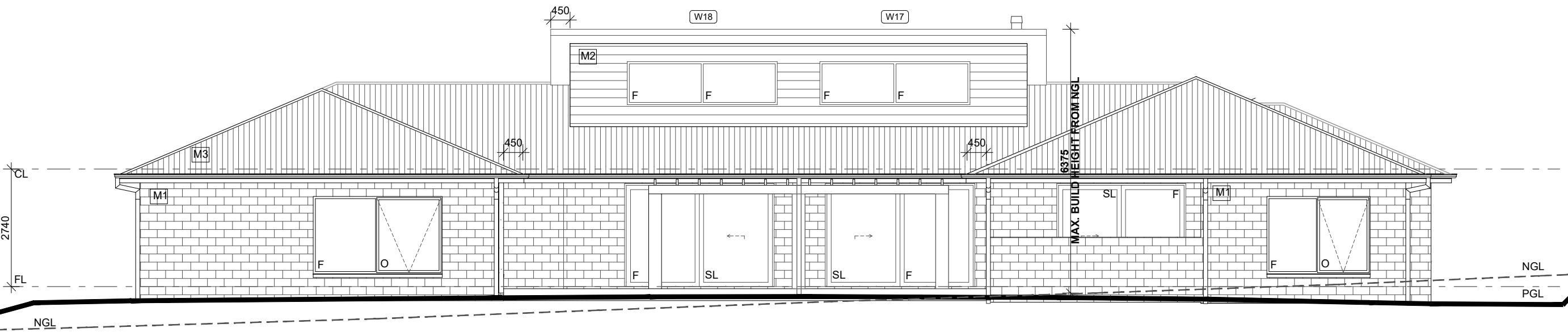
 BURLESQUE SUBLIME STEEL

 COLORBOND SHALE GREY

 COLORBOND WINDSPRAY



EE EAST ELEVATION
SCALE 1:100




NE NORTH ELEVATION
SCALE 1:100

TOWN PLANNING


ISSUE: PLANNING	REVISION: A	AMENDMENT: FOR REVIEW	DATE: 13.12.23	PROJECT: PROPOSED DWELLING AND DETACHED SHED	CLIENT: MEKKEN	DRAWING TITLE: ELEVATIONS	SCALE: AS SHOWN	DRAWING NUMBER: A.05
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M2	180 LINEA WEATHERBOARDS	PAINT	SHALE GREY
M3	COLORBOND ROOFING	COLORBOND	WINDSPRAY
M4	COLORBOND WALL CLADDING	COLORBOND	WINDSPRAY



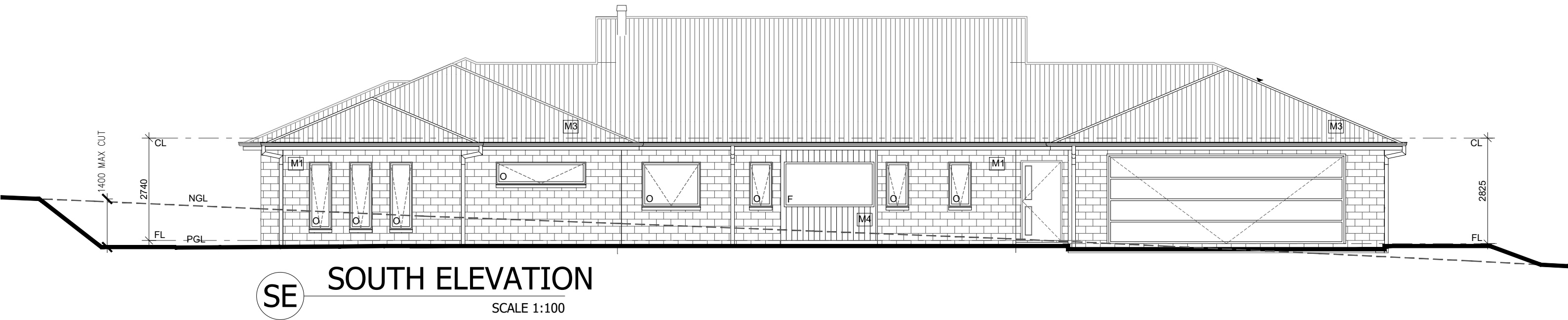
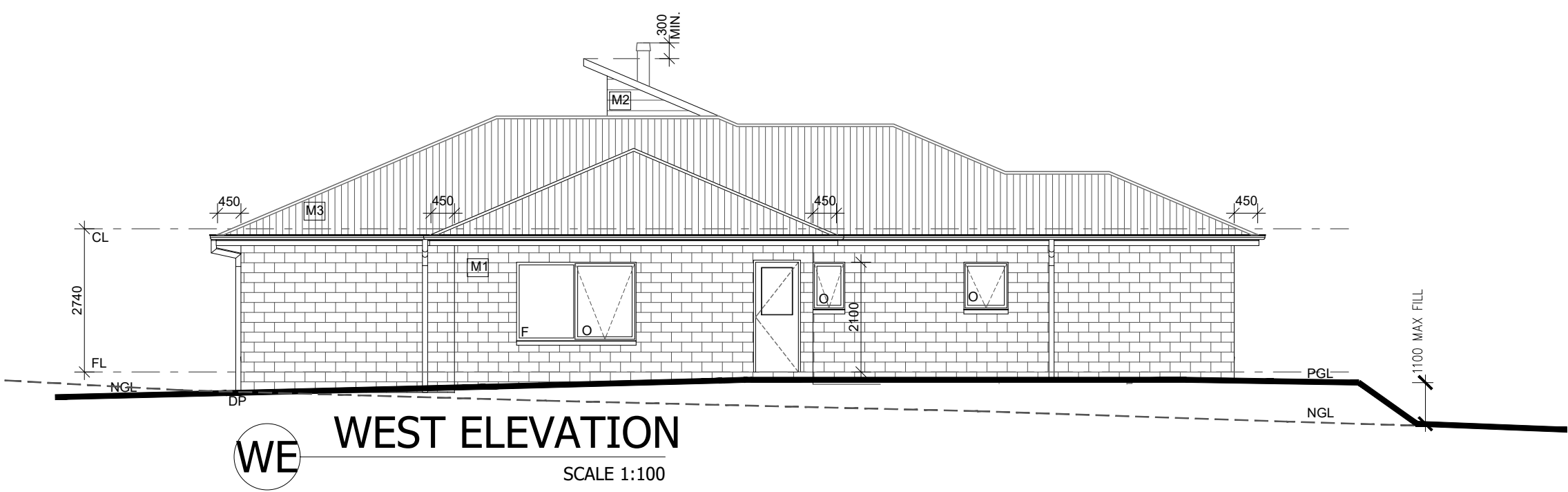
AUSTRAL BRICKS
BURLESQUE SUBLIME STEEL



COLORBOND SHALE GREY



COLORBOND WINDSPRAY



TOWN PLANNING

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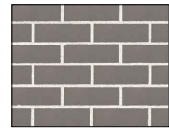
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ISSUE:
PLANNING

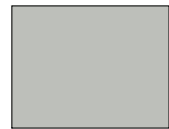
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M4	COLORBOND WALL CLADDING	COLORBOND	WINDSPRAY



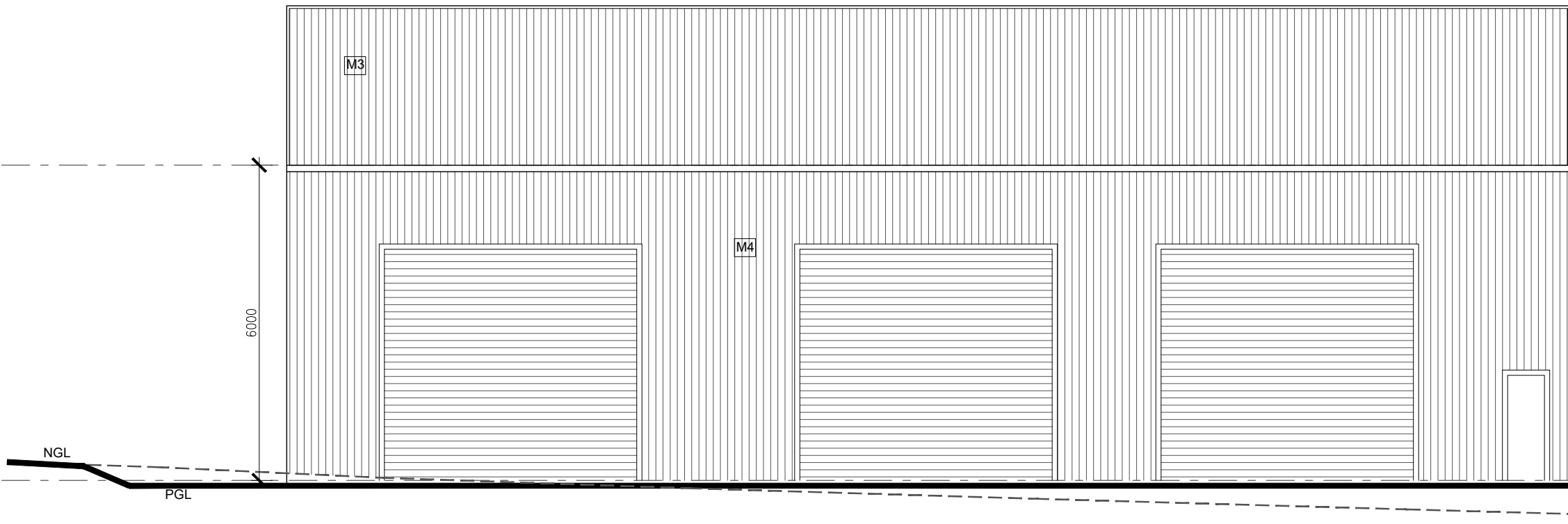
AUSTRAL BRICKS
BURLESQUE SUBLIME STEEL



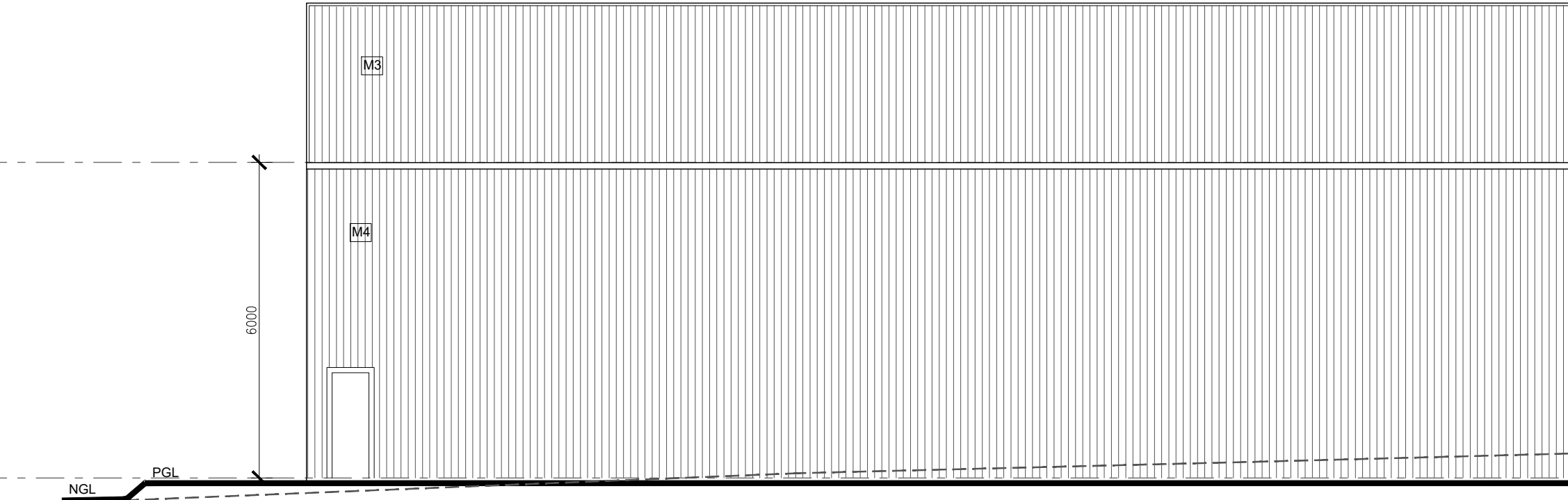
COLORBOND SHALE GREY



COLORBOND WINDSPRAY



SE SOUTH ELEVATION
SCALE 1:100



NE NORTH ELEVATION
SCALE 1:100

TOWN PLANNING

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	B	SHED SIZE UPDATED	22.01.24	PROJECT ADDRESS: LOT 1 62 CHILAS RD, WY YUNG	JOB NUMBER: 0427_23		SHEET: A3	ISSUE: PLANNING
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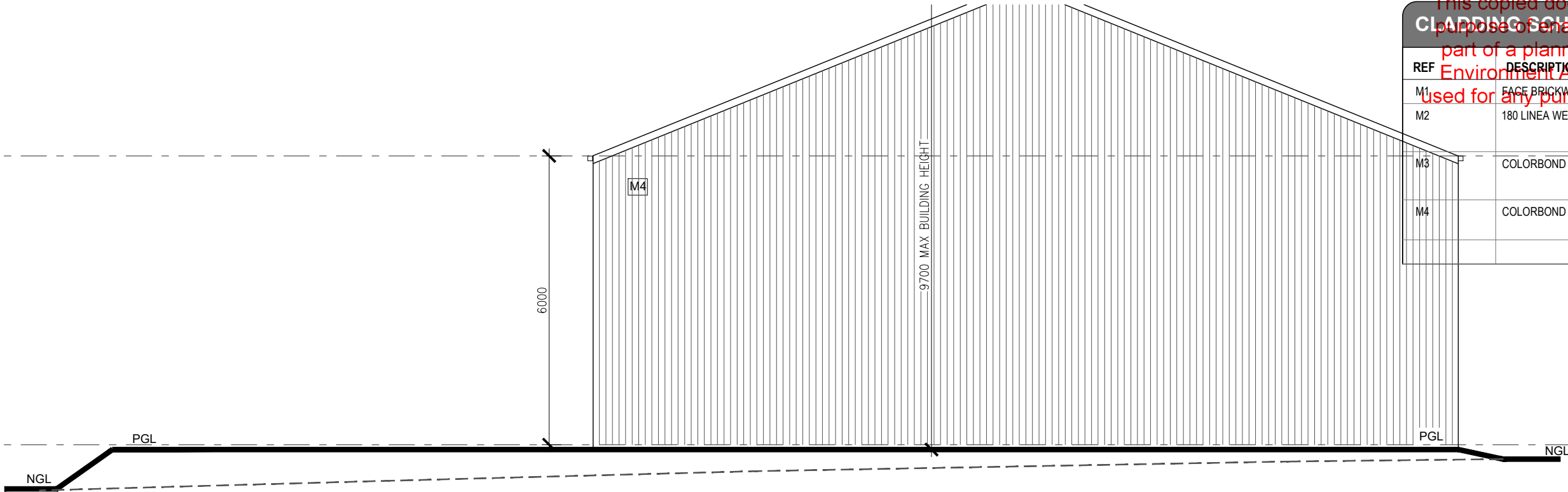
AUSTRAL BRICKS
BURLESQUE SUBLIME STEEL



COLORBOND SHALE GREY



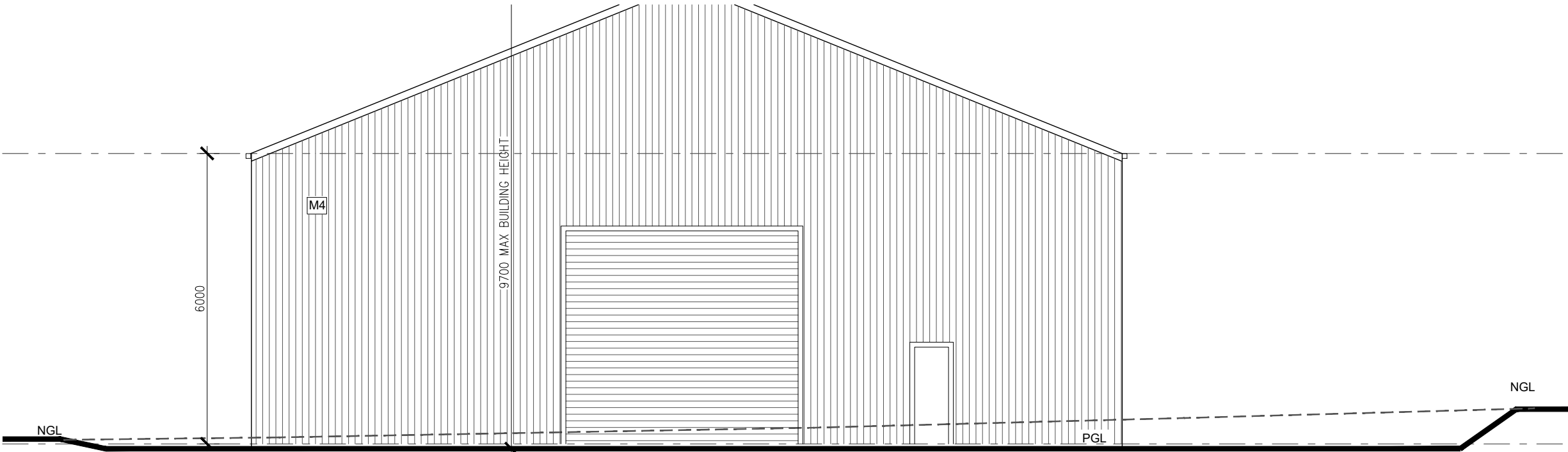
COLORBOND WINDSPRAY



EE

EAST ELEVATION

SCALE 1:100



WE

WEST ELEVATION

SCALE 1:100

TOWN PLANNING

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