

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	36 Lake Road NEWMERELLA 3886 Lot: 2 LP: 217404
The application is for a permit to:	Buildings & Works for extension to an existing dwelling
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2023.518.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	19 APRIL 2024
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If you object, the Responsible Authority will tell you its decision.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 09902 FOLIO 113

Security no : 124111225919Q
Produced 12/12/2023 04:07 PM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 217404G.
PARENT TITLE Volume 09579 Folio 869

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
SARA BETH BREWINGTON BAILEY
AN300387Q 22/11/2016

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP217404G FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 36 LAKE ROAD NEWMERELLA VIC 3886

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END



Imaged Document Cover Sheet

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Number of Pages (excluding this cover sheet)	1
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LP217404G

EDITION 2

NOTATIONS

DEPTH LIMITATION
1/5 METRES

LAND SUBJECT TO EASEMENT
E-1 THE EASEMENT FOR ELECTRICITY SUPPLY PURPOSES CREATED BY PTO13565.

THIS PLAN ACCORDS WITH C/T VOL 9579 FOL 869 AND IS NOT BASED ON SURVEY TO BE COMPLETED WHERE APPLICABLE. THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS NOS. IN PROCLAIMED SURVEY AREA NO.

THE LAND TO BE SUBDIVIDED IS SHOWN ENCLOSED BY THICK LINES
TITLE REF: C/T VOL 9579 FOL 869
LAST PLAN REF: LP 145773 LOT 2

PLAN OF SUBDIVISION

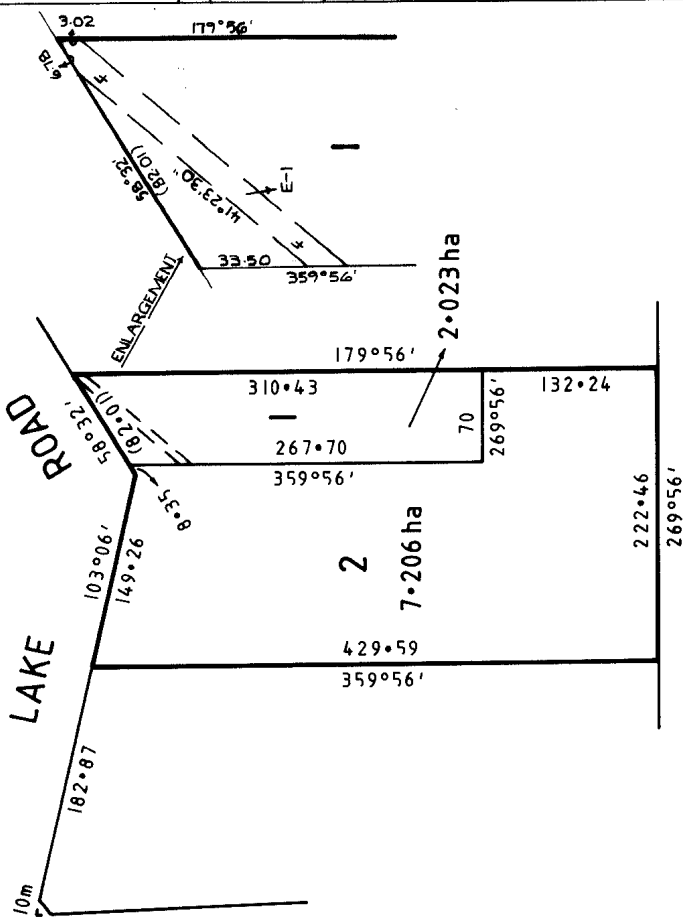
COUNTY TAMBO
PARISH NEWMERELLA
SECTION C
CROWN ALLOTMENT 23E (PART)
C.S. 812

NUMBER OF SHEETS IN PLAN
NUMBER OF THIS SHEET

ORIGINAL SCALE SHEET SIZE 1:1000
LENGTHS ARE IN METRES

OFFICE USE ONLY

VICTORIA



CERTIFICATION BY SURVEYOR

MUNICIPAL COUNCIL: REF. LTO APPROVED 15 19 189

LIST OF MODIFICATIONS

LAND	MODIFICATION	DEALING NO.	A.R.T.	NEW EDN
LOT 1	CREATION OF EASEMENT	PTO13565	<i>R</i>	2

AMENDMENTS

29/1/87. *Nick Sadler*

CROWTHER AND SADLER PTY LTD
2/66 MCCULLOCH STREET, PO BOX 722
BAIRNSDALE, 3875
(051) 52 50 11

SURVEYORS REF. 5400

ONLY CERTIFICATE A OR CERTIFICATE B TO BE COMPLETED
DELETED WORDS NOT APPLICABLE

DEC
20
23

APPLICATION FOR PLANNING PERMIT

BUILDINGS AND WORKS (EXTENSION TO AN EXISTING DWELLING)

36 LAKE ROAD, NEWMERELLA
KATHY GUPTA
REF: 23154

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APPENDIX

A	Copy of Title and Land Plan
B	Proposed Development Plans

DOCUMENT REVISION

1	Draft Report	DAC	17/12/2023
2	Final Report	CMC	19/12/2023

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1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of Kathy Gupta, the applicant for the planning permit application for the buildings and works (extension to an existing dwelling) at 36 Lake Road, Newmerella.

This application is seeking retrospective planning approval for the extension to an existing dwelling that has been constructed without the required approvals.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

Address	36 Lake Road, Newmerella
Site Description	Lot 2 on Land Plan 217404G
Title Particulars	Vol 09902 Fol 113
Site Area	7.2 hectares
Proposal	Buildings and Works (Extension to an Existing Dwelling)
Planning Scheme	East Gippsland Planning Scheme
Zone	Farming Zone – Schedule 1
Overlays	Bushfire Management Overlay Significant Landscape Overlay – Schedule 5
Aboriginal Cultural Heritage	Not identified as an area of Cultural Heritage Sensitivity
Permit Triggers	Clause 42.03-2 Significant Landscape Overlay – Permit requirement
Notice	No exemptions available
Referrals	No referrals required
Work Authority Licence	Not Applicable
Planning Scheme requirements	Municipal Planning Strategy – Clause 02 Settlement – Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Planning Policy Framework – Clause 10 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Natural Resource Management – Clause 14 Built environment and heritage – Clause 15 Significant Landscape Overlay - Clause 42.03 Decision guidelines – Clause 65

2. SITE CONTEXT

Site

The subject site is located at 36 Lake Road, Newmerella. A copy of the Title and Lodged Plan is contained in **Appendix A**. The title is not affected by any restrictive covenants or agreements.

The site is irregular in shape with a total area of approximately 7.2 hectares and contains an existing dwelling and associated facilities.

The site is undulating in nature, contains scattered vegetation, a watercourse in the southern portion and a dam in both the northern and southern portion. Details of the site are depicted in the photographs provided below.

Access is existing via a gravel driveway along the northern boundary directly from Lake Road. Lake Road is a bitumen sealed road with grassed shoulders traversing in an east to west direction.

The subject site in relation to Newmerella as well as the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2**.



Figure 1 – Locality Plan – 36 Lake Road, Newmerella (source: mapshare.vic.gov.au)

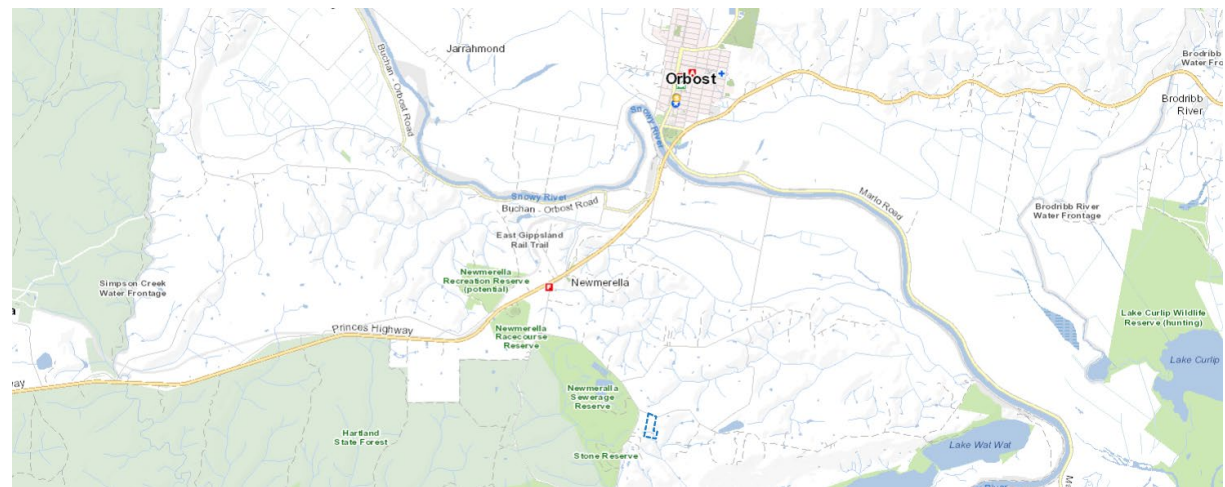


Figure 2 – Locality Plan – 36 Lake Road, Newmerella (source: mapshare.vic.gov.au)

Surrounds

The land in this locality is predominantly farming land with scattered dwellings throughout.

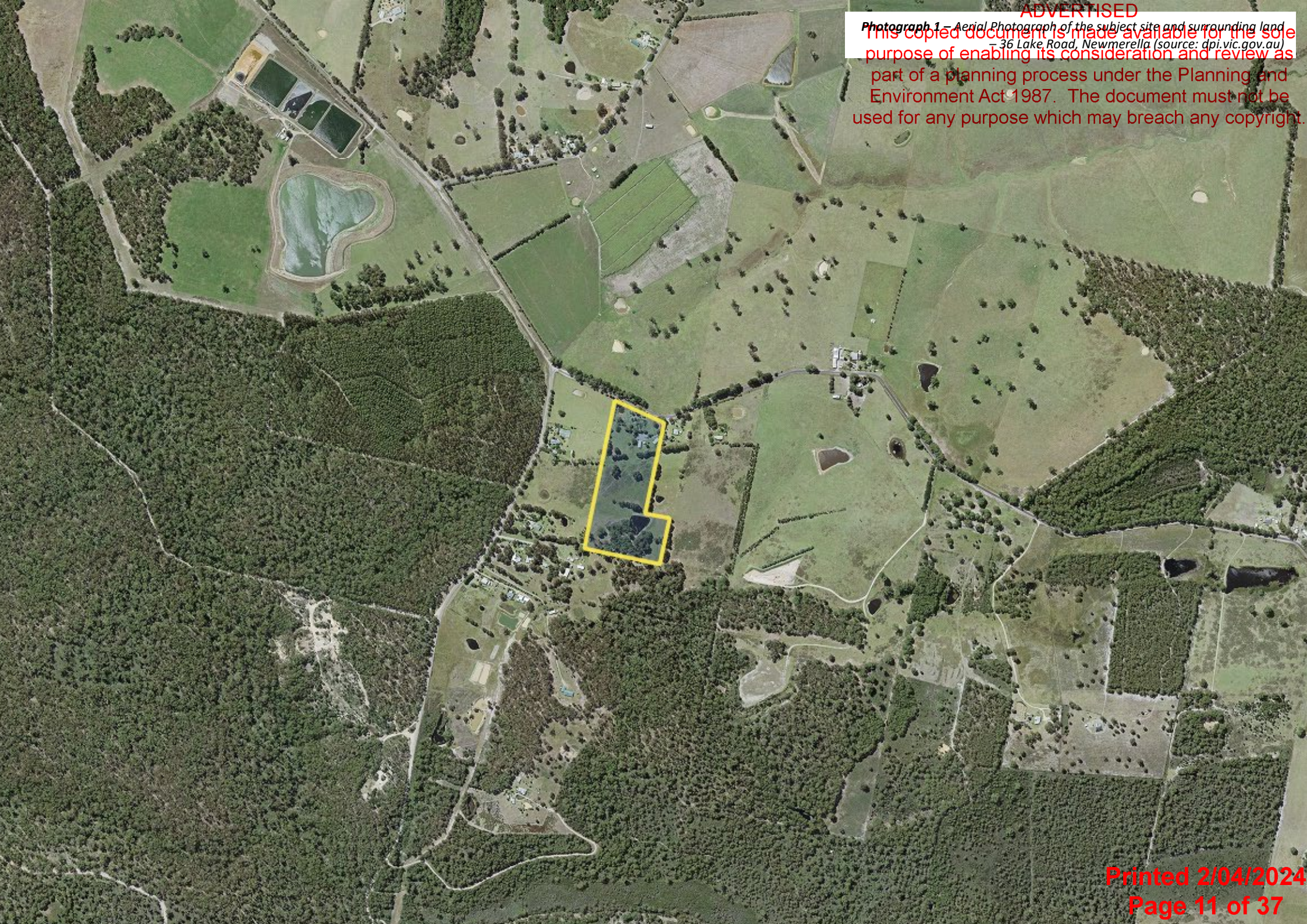
Adjoining the east, south and western boundaries of the site comprise similar sized allotments each containing existing dwellings and associated facilities. Adjoining the northern boundary is Lake Road and further farming land occupied by a dairy farm.

Newmerella is a small rural township on the Princes Highway southwest of Orbost. There is very limited community and commercial facilities and services in Newmerella. There is a service station, sawmill, Country Fire Authority and recreation reserve. A full suite of services and facilities are located in Orbost being approximately 9.5 kilometres north of the subject site.

The subject site in relation to Newmerella is shown in the aerial photograph below.



Photograph 1 – Aerial Photograph of the subject site and surrounding land
– 36 Lake Road, Newmerella (source: dpi.vic.gov.au)
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Photograph 2 – Access to subject site at 36 Lake Road, Newmerella.



Photograph 4 – Subject site driveway facing northeast.



Photograph 6 – Existing extended dwelling showing deck area facing south.



Photograph 3 – Driveway access to subject site facing west.



Photograph 5 – Existing dwelling on subject site facing southeast.



Photograph 7 – Existing dwelling extension on subject site.



Photograph 8 – Existing outbuilding on subject site facing south.



Photograph 10 – Extension to existing dwelling facing north.



Photograph 12 – Orchard on northern portion of subject site, facing west.



Photograph 9 – Extension to existing dwelling facing southeast.



Photograph 11 – Water tanks and dividing wire fence on subject site facing east.



Photograph 13 – Northern portion of subject site on Lake Road, facing northeast.



Photograph 14 – Northern portion of subject site facing west.



Photograph 16 – Dam in northwest corner of subject site.



Photograph 18 – Subject site facing southwest.



Photograph 15 – Northern portion of subject site within the orchard facing west.



Photograph 17 – Subject site facing southeast.



Photograph 19 – Subject site showing the central dividing fence in the northern portion, facing north.



Photograph 20 – Central on subject site facing south.



Photograph 22 – Property adjoining the eastern boundary at 38 Lake Road, Newmerella.



Photograph 24 – Lake Road facing west.



Photograph 21 – Property adjoining the western boundary at 263 Back Corringale Road, Newmerella.



Photograph 23 – Dairy farm opposite subject site.



Photograph 25 – Lake Road facing east.

3. THE PROPOSAL

This application seeks approval for buildings and works (extension to an existing dwelling). The proposed development plans are contained in **Appendix B**.

This application is seeking a retrospective permit as the buildings and works were constructed without the necessary permit approvals.

The buildings and works are located on the southern end of the existing shed. An extract of the proposed floor plan is provided to the right.

The extension is approximately 75.70m² and the overall height is 4.9 metres. The extension has been constructed of materials to match the existing shed.

No vegetation removal has been undertaken to construct the extension and no earthworks were required beyond a site scrape.

The extension is connected to all available services including electricity, the existing road network and telecommunications. Water is provided via water tanks and the extension includes a composting toilet for the disposal of effluent.

Drainage from the extension will be directed to the water tanks in the first instance with overflow directed to the legal point of discharge to the satisfaction of the responsible authority.

Vehicle access to the site is existing via a gravel driveway along the northern boundary directly from Lake Road and will remain unchanged.

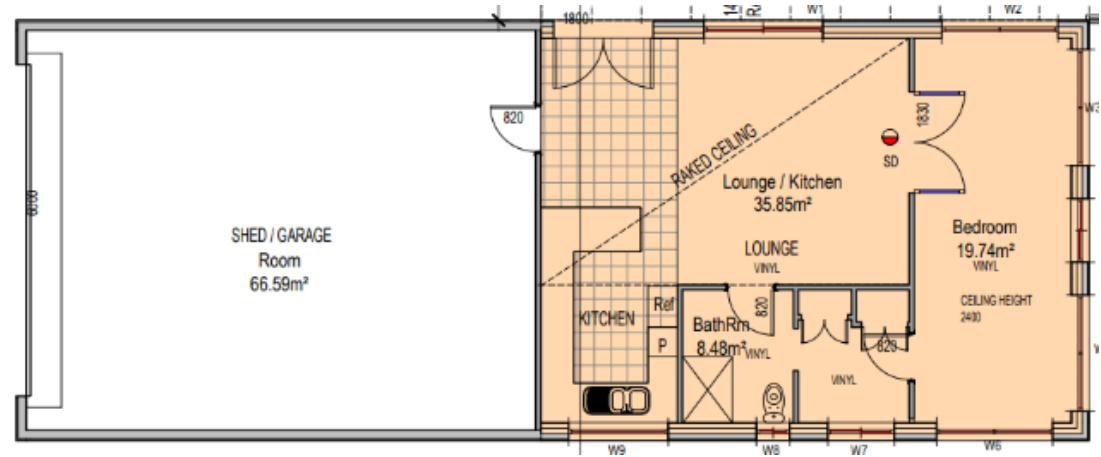


Figure 3– Floor Plan – A1 Building Design and Drafting



Figure 4– East elevation – A1 Building Design and Drafting

4. ZONES AND OVERLAYS

Farming Zone – Schedule 1

The purpose of the Farming Zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide for the use of land for agriculture.*
- *To encourage the retention of productive agricultural land.*
- *To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture.*
- *To encourage the retention of employment and population to support rural communities.*
- *To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.*
- *To provide for the use and development of land for the specific purposes identified in a schedule to this zone.*

An extract of the Farming Zone Map is provided to the right in **Figure 5**.

Clause 35.07-4 provides a permit is not required for an alteration or extension to an

existing dwelling provided the floor area of the extension or alteration is not more than the area specified in the schedule to the zone, if no area is specified 200 square metres. The schedule provides a permit is not required for an alteration or extension to an existing dwelling provided the floor area is not more than 250 square metres.

The extension will be less than 250 square metres and as such a permit is not required under the provisions of Clause 35.07 of the Farming Zone. This is not addressed further.

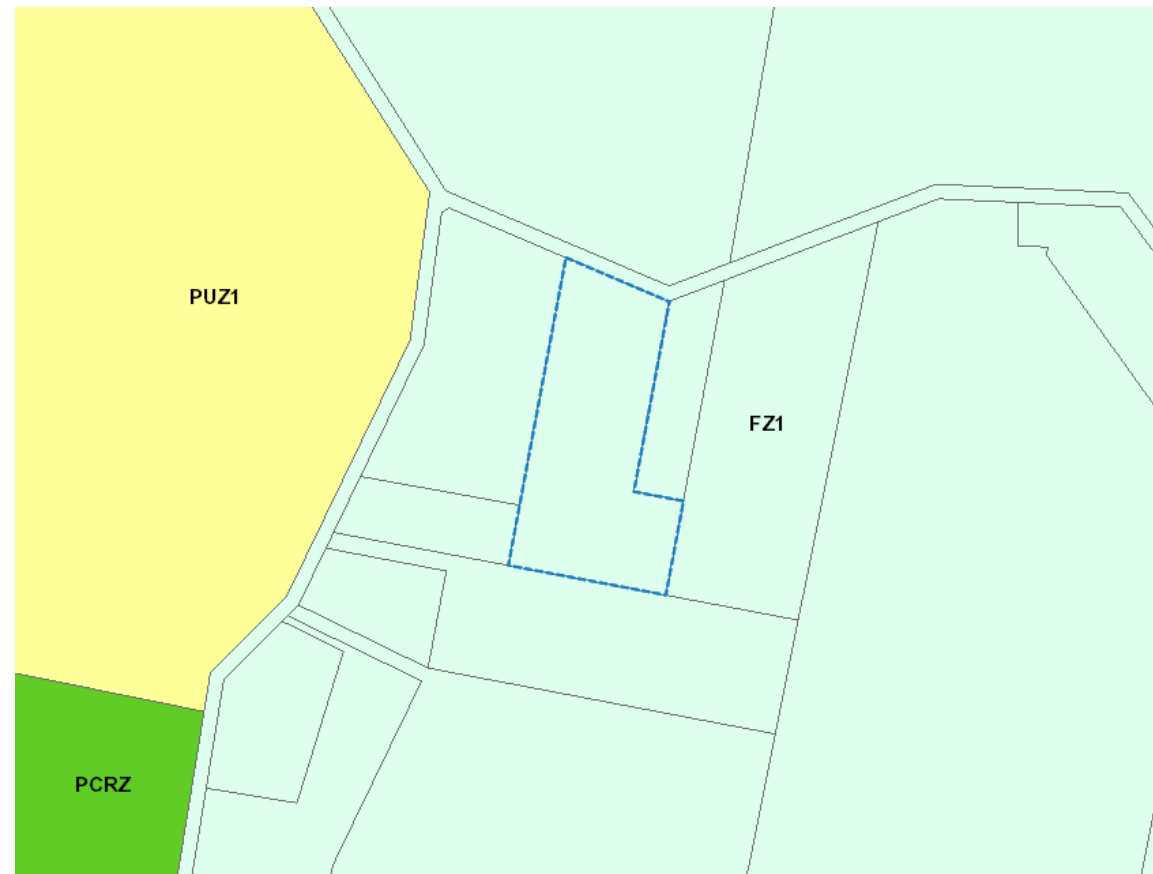


Figure 5 – Farming Zone – (source - mapshare.vic.gov.au)

Bushfire Management Overlay

The purpose of the Bushfire Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
- To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.
- To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

An extract of the Bushfire Management Overlay Map is provided to the right in **Figure 6**.

The extension to an existing dwelling will be located outside the area affected by the Bushfire Management Overlay and as such a permit is not required under these provisions. This is not addressed further.

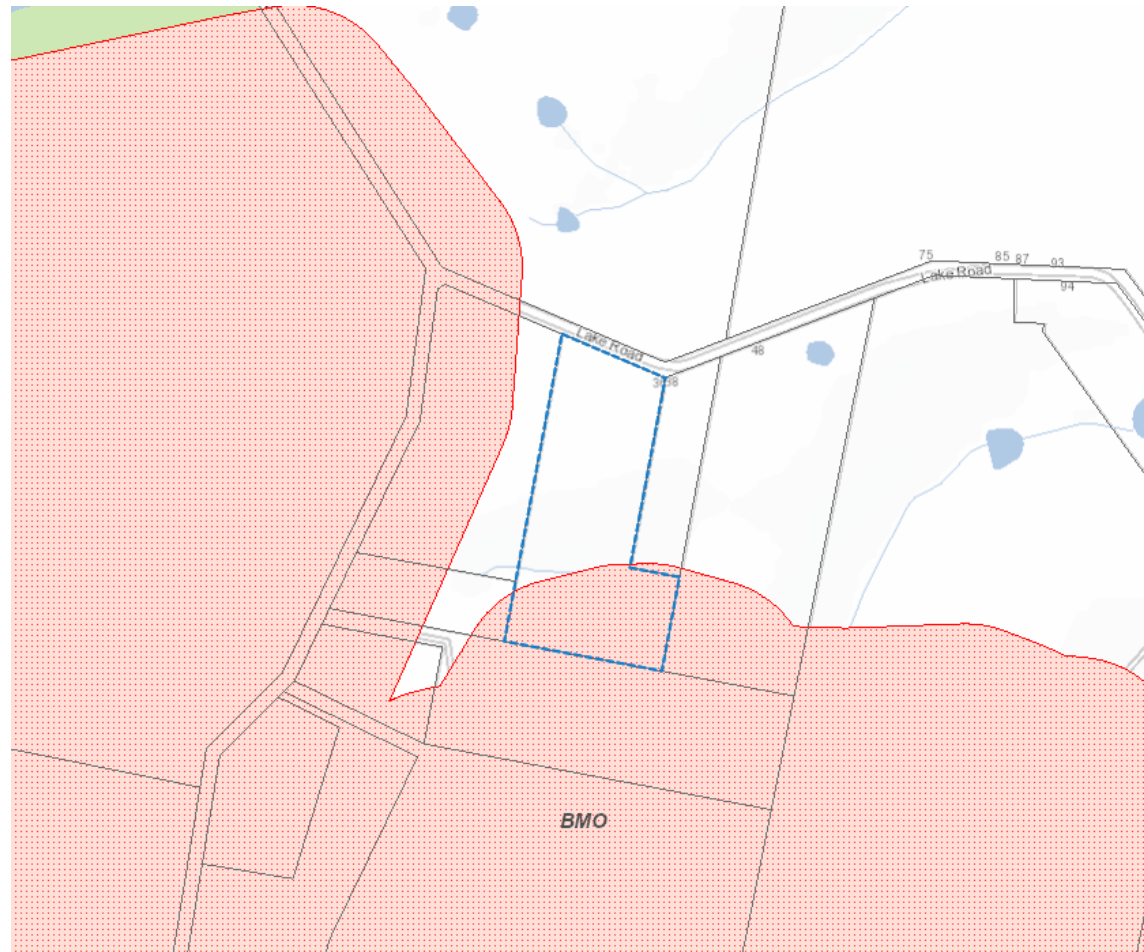


Figure 6 – Bushfire Management Overlay – (source - mapshare.vic.gov.au)

Significant Landscape Overlay – Schedule 5

The purpose of the Environmental Significance Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas where the development of land may be affected by environmental constraints.
- To ensure that development is compatible with identified environmental values.

An extract of the Significant Landscape Overlay Map is provided to the right in **Figure 7**.

Clause 42.03-2 provides a permit is required to construct a building or construct or carry out works. The schedule does not provide any exemptions and as such a permit is required under the provisions of the Significant Landscape Overlay. The relevant decision guidelines are addressed below in Section 5.

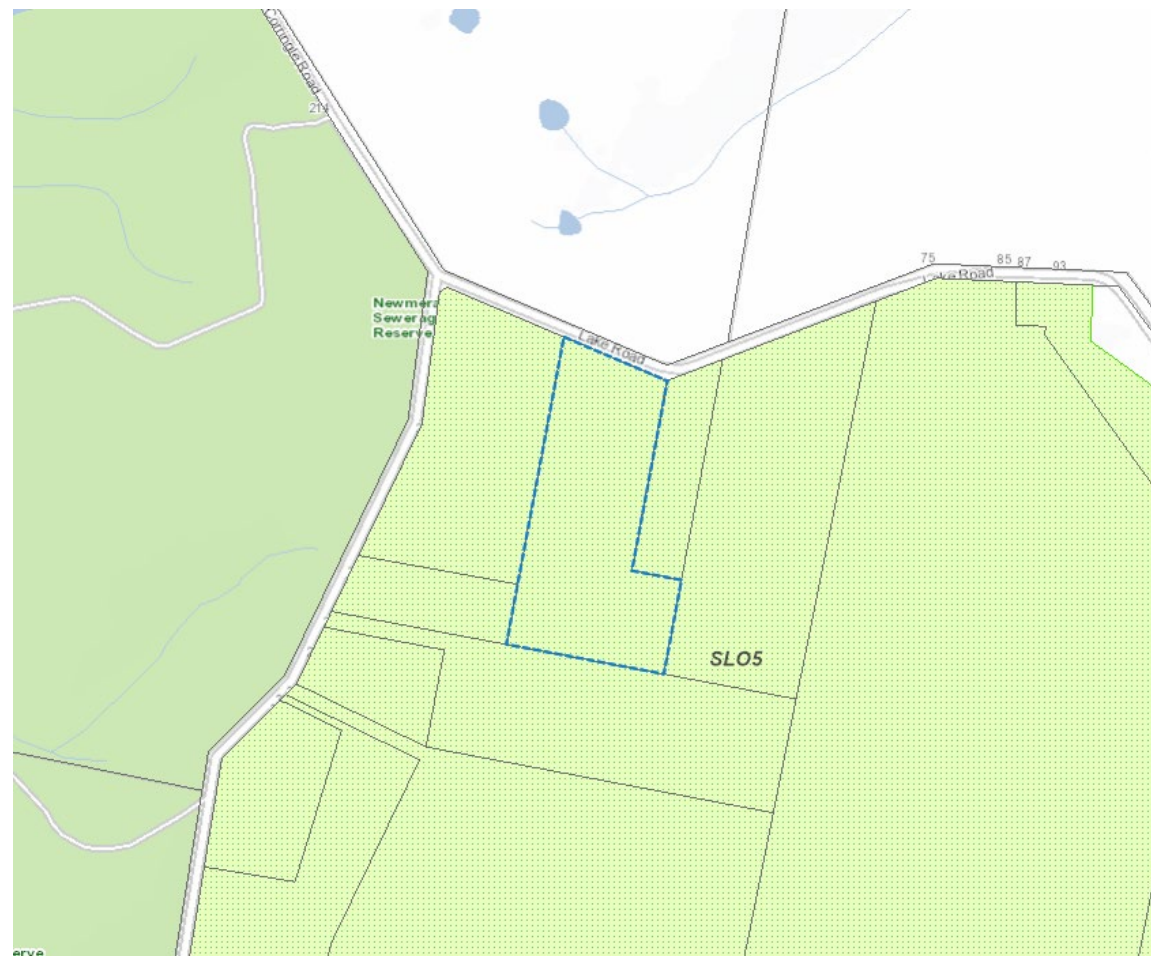


Figure 7 – Significant Landscape Overlay – (source - mapshare.vic.gov.au)

Schedule 5 of the Significant Landscape Overlay:

Schedule 5 provides the following statement of nature and key elements of landscape:

“The Snowy River Estuary is a floodplain landscape of regional significance that contrasts with the rugged and remote coastlines of Ninety Mile Beach and Croajingolong National Park.

It is a flat alluvial floodplain that has been modified for pasture and horticulture, but which culminates in a scenic brackish estuary at Lake Corringle. The natural features of Lake Corringle contrast with the surrounding farmland, and the floodplain itself is a visual point of difference from the surrounding wilder and more natural coastal landscapes.

The Snowy River’s significance is recognised by the Register of the National Estate and the Heritage Rivers Act. The former lists the geological importance of the Snowy River entrance, and the latter recognises its high scenic and cultural value.”

Landscape character objectives to be achieved:

“To protect existing indigenous vegetation throughout the landscape and to increase its presence, particularly riparian vegetation

associated with watercourses (e.g. the Snowy River) and other landscape features and roadside planting.

To strengthen vegetation cover by requiring landscaping with new development.

To protect locally significant views and vistas, particularly extensive and scenic outviews across open rural plains from Orbost – Marlo Road and the Princes Highway to surrounding vegetated hill slopes.

To ensure that Orbost is contained within the landscape, and that development around the settlement does not impact on the characteristics of the estuary landscape, including key views and viewing opportunities.

To maintain the open and uncluttered character of the rural landscape, outside the settlement of Orbost.

To retain the contribution of productive agricultural practices to the character of the landscape.

To minimise the visual impact of signage and infrastructure on the open rural and uncluttered character, particularly in views from the Princes Highway and Orbost-Marlo Road.

To encourage the appropriate siting and design of native hardwood plantation forests that protects the character and viewing of the area.

To recognise and protect the landscape of the Snowy River Estuary and surrounds as a place of significant Aboriginal cultural heritage value.”

Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is not recognised as being within an area of Aboriginal Cultural Heritage Sensitivity. As such the buildings and works (Extension to an existing dwelling) in this location do not require the preparation of a Cultural Heritage Management Plan.

5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate extension to an existing dwelling that can be respectful of the existing surrounding development and the environment.
- The extension has been designed to meet the constraints of the land, reducing any potential negative environmental implications as sought to achieve by the relevant clauses including **Clause 02.03** and **Clause 11**.
- The proposed extension is connected to all available services and infrastructure including electricity, telecommunications and a good quality road network. Water is provided via water tanks and effluent is disposed via composting toilet and subsoil trenches as indicated on the proposed development plans. Drainage is connected to the rain water tanks in the first instance with overflow directed to the legal point of discharge.
- The importance of protecting agricultural land is recognised in **Clause 14**, which also seeks to ensure agricultural land is managed sustainably. The subject site is not of a size that is considered to be suitable for viable agricultural practices beyond the current scale.
- The proposal is consistent with the decision guidelines of the Significant Landscape Overlay at **Clause 42.03-5** which seeks to identify and protect significant landscapes. The statement of nature and key elements of the landscape and the landscape character objectives to be achieved is contained in Section 4 of this submission which in short seeks to ensure that the significance of the area is retained and protected.
- The subject site contains scattered vegetation throughout as shown in the arial photograph above. No vegetation removal is required to facilitate the buildings and works.
- Revegetation is not considered an appropriate response given the elevated bushfire hazards associated with the site.
- The extension to the existing dwelling will be used for residential purposes. The overall height of the building is 4.9 metres which is not considered to be excessive and will be below the prevailing tree canopy.
- The buildings and works will not be intrusive to the existing landscape and is unlikely to be visible from any surrounding or nearby waterways.
- Access is existing along the northern boundary directly from Lake Road and will remain unchanged.
- This submission has addressed the decision guidelines of **Clause 65** and the buildings and works (extension to an existing dwelling) supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area. The proposal does not require the removal of any native vegetation and there will be no negative impact on the existing road network.
- The site is identified as being susceptible to bushfire hazards. The buildings and works will be located outside the area affected by the Bushfire Management Overlay.
- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.
- The dwelling extension is considered appropriate in this location and the potential hazards can be reduced to an acceptable level.

6. CONCLUSION

This submission is in support of a planning permit application for the buildings and works (extension to an existing dwelling) at 36 Lake Road, Newmerella.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed development is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Significant Landscape Overlay.
- The design of the buildings and works are complementary to the existing dwelling, surrounding development and is consistent with the character of the area.

It is requested that a planning permit be granted for this development.

Development Solutions Victoria

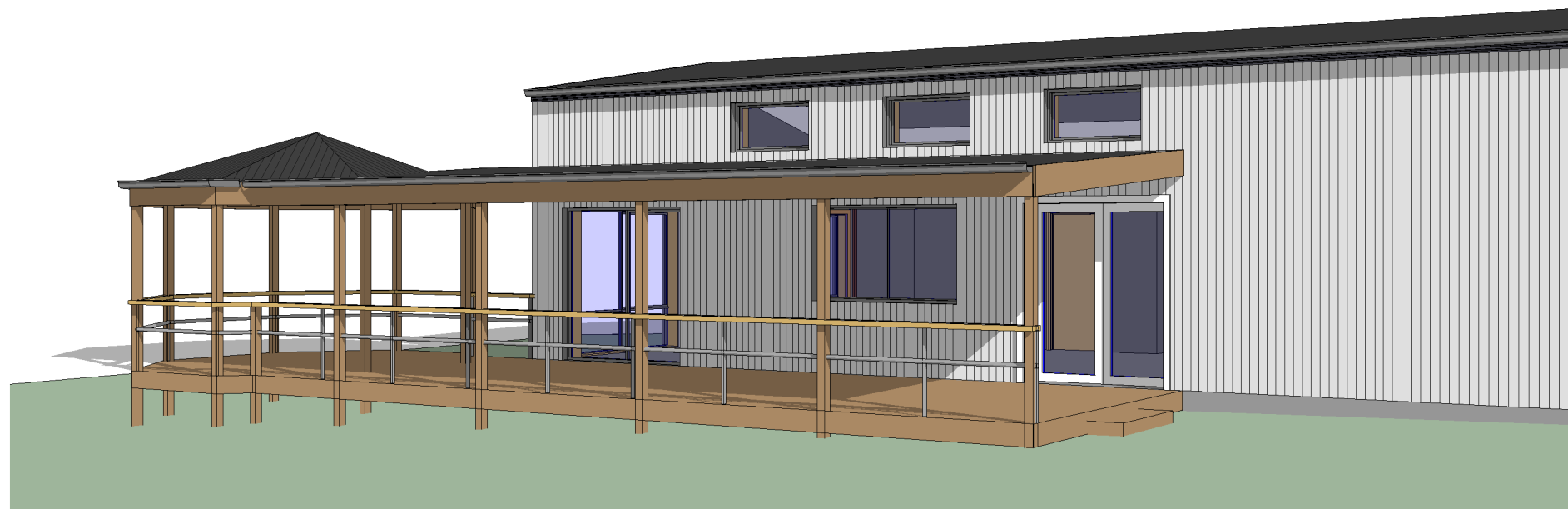
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SITE CLASSIFICATION: *
IN ACCORDANCE WITH AS2870-2011
WIND CLASSIFICATION: N*
IN ACCORDANCE WITH AS4055-2012

PROPOSED SHED CHANGE OF USE EXTENSION TO AN EXISTING DWELLING EXISTING 36 LAKE ROAD NEWMWRELLA KATHY GUPTA ISSUE A



BUILDING THERMAL PROPERTY DETAILS

INSULATION AND COLOUR DETAILS:

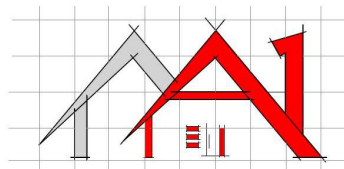
CEILING UNDER ROOF	R4.5
EXTERNAL WALLS	R2.5 - WALL WRAP (E=0.9/0.9)

WINDOW DETAILS

	U-VALUE MAX.	SHGC +5%
STANDARD DOUBLE GLAZED SLIDING	3.9	0.58
STANDARD SINGLE GLAZED FIXED	6.7	0.7
STANDARD SINGLE GLAZED SLIDING	6.7	0.7

BUILDING SEALING

EXHAUST FANS HAVE SELF CLOSING DAMPERS
AIR FILTRATION SEALS TO EXTERNAL DOORS
LED DOWN LIGHTS FITTED



**A1 BUILDING DESIGN
AND DRAFTING**

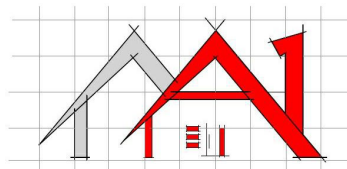
10 Dalmahoy Street Bairnsdale Victoria 3875 Mob.: 0438 560 215

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"DO NOT SCALE DRAWINGS" USE FIGURED DIMENSIONS. REFER COVER SHEET FOR NOTES UNLESS NOTED OTHERWISE

Date:	DECEMBER 2023	Title:	COVER
A3 Scale:		Client:	KATHY GUPTA
Checked:	MEAGHAN GAMBLE DPAD 2468	Project:	PROPOSED CHANGE OF USE - EXISTING SHED - EXTENSION TO EXISTING DWELLING AT 36 LAKE ROAD NEWMERELLA
Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	17822
Plot Date:	13/12/2023 1:27:49 PM	Revision:	A
Client Approval Signature:		Drawing No:	OFS
Date:			

- GENERAL NOTES
- GN.01- DO NOT SCALE DRAWINGS, USE WRITTEN DIMENSIONS ONLY.SITE PLAN MEASUREMENTS IN METERS, ALL OTHER DIMENSIONS IN MILLIMETERS.
- GN.02- THE OWNER/BUILDER, SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFIRM TO THE BUILDING REGULATIONS 2006, THE BUILDING CODE OF AUSTRALIA 2008, AND ALL RELEVANT A.S CODES (CURRENT EDITIONS) BUILDING REGULATIONS, LOCAL BY LAWS AND TOWN PLANNING REQUIREMENTS, REPORT ALL DISCREPANCIES TO GAMCOPR FOR CLARIFICATION.
- GN.03- ALL WORKS SHALL COMPLY WITH BUT NOT BE LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:
- AS 1170 MINIMUM DESIGN LOADS ON STRUCTURES
 - AS 1170.2-2011(R2016) WIND LOADS
 - AS 1170.3-2003 SNOW LOADS
 - AS/NZS 1170 STRUCTURAL DESIGN ACTIONS
 - AS 1288-2006 GLASS IN BUILDINGS- SELECTION AND INSTALLATION.
 - AS 1428 (set) 2010 DESIGN FOR ACCESS AND MOBILITY
 - AS 1428.1-2009 GENERAL REQUIREMENTS FOR ACCESS-NEW BUILDING WORK
 - AS 1428.4-2009 TACTILE GROUND SURFACE INDICATORS FOR THE ORIENTATION OF PEOPLE WITH VISION IMPAIRMENT
 - AS 1562 DESIGN AND INSTALLATION OF SHEET ROOF & WALL CLADDING
 - AS 1562.1-2018 METAL
 - AS/NZS 1668 - 2016 THE USE OF VENTILATION AND AIRCONDITIONING IN BUILDINGS
 - AS 1670 FIRE DETECTION, WARNING, CONTROL AND INTERCOM SYSTEMS
 - AS 1670.1-2018 FIRE
 - AS 1670.3-2018 FIRE ALARM MONITORING
 - AS 1670.4-2018 SOUND SYSTEMS AND INTERCOM SYSTEMS FOR EMERGENCY PURPOSES
 - AS 1684 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION
 - AS 1684.2-2010 NON-CYCLONIC AREAS
 - AS 1684.3-2010 CYCLONIC AREAS
 - AS 1684.4-2010 SIMPLIFIED-NON-CYCLONIC AREAS
 - AS 1684.1-1999 NATIONAL TIMBER FRAMING CODE
 - AS 1860.2-2006 (R2016) INSTALLATION OF PARTICLE FLOORING
 - AS 1926 SET - 2012 SWIMMING POOL SAFETY
 - AS 1926.1-2012 FENCING FOR SWIMMING POOLS
 - AS 1926.2-2007 (R2016) LOCATION OF FENCING FOR PRIVATE SWIMMING POOLS
 - AS 1926.3-2010 (R2016) WATER RECIRCULATION AND FILTRATION SYSTEMS
 - AS 2047-2014 WINDOWS IN BUILDINGS- SELECTION & INSTALLATION.
 - AS 2049-2002(R2015) ROOF TILES
 - AS 2050-2018 INSTALLATION OF ROOFING TILES
 - AS 2870-2011 RESIDENTIAL SLABS AND FOOTINGS- CONSTRUCTION
 - AS 2904-1995 DAMP-PROOF COURSES AND FLASHINGS.
 - AS/NZS 2918-2018 DOMESTIC SOLID FUEL BURNING APPLIANCES-INSTALLATION
 - AS/NZS 3500.2-2018 SANITARY PLUMBING AND DRAINAGE-ACCEPTASBLE SOLUTIONS
 - AS 3600-2018 CONCRETE STRUCTURES
 - AS 3660.1-2014 TERMITE MANAGEMENT- NEW BUILDING WORK
 - AS 3700- 2018 MASONRY STRUCTURES
 - AS 3740- 2010 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS A.S.3786- 1993 SMOKE ALARMS
 - AS 3798-2007 GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS
 - AS 3959-2018 CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS
 - AS 4055-2012 WIND LOADS FOR HOUSING
 - AS 4072.1-2005 (R2016) COMPONENTS FOR THE PROTECTION OF OPENINGS IN FIRE-RESISTENT SEPARATING ELEMENTS
 - AS 4100-1998 (R2016) STEEL STRUCTURES
 - AS 4256-2006 (R2018) PLASTIC ROOF & WALL CLADDING MATERIALS.
- GN.04- THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
- GN.05- SOIL CLASSIFICATION- ' ' THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT BY - NO.- FOOTINGS TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT.
- GN.06- WHERE THE BUILDING(OTHER THAT CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED TO SUB-FLOOR AND PERMITER AREAS IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARD. INCREASED SUBFLOOR CLEARANCE OF 400mm TO UNDERSIDE OF STRUCTURE SHALL BE ADOPTED IN TERMITE AREAS.
- GN.07- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES: i) ALL ROOMS- WITHIN 500mm VERTICAL OF THE FLOOR ii) BATHROOMS- WITHIN 1500mm VERTICAL FROM THE BATH BASE. -WITHIN 500mm HORIZONTAL FROM BATH/SHOWER TO SHOWER DOORS, SHOWER SCREENS AND BATH ENCLOSURES. iii)LAUNDRY- WITHIN 1200mm VERTICAL FROM FLOOR AND/OR WITHIN 300mm VERTICAL TROUGH. iv) DOORWAY- WITHIN 300mm HORIZONTAL FROM ALL DOORS. v) ENSUIT- AS FOOR (ii) SHOWER SCREENS SHALL BE GRADE AS SAFETY GLASS.

- GN.08- WINDOW SIZES ARE NORMAL ONLY. ACTUAL SIZE WILL VARY ACCORDING TO MANUFACTURER WINDOWS TO BE FLASHED ALL AROUND
- GN.09- STORMWATER PIPES IN SIZES NOTED ON PLANS SHALL BE CLASS 6 UPVC S/W LINE LAID AT A MINIMUM GRADE OF 1:100 AND CONNECTED TO LEGAL POINT OF STORMWATER DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY. PROVIDE INSPECTION OPENINGS AT 9.0 METER CENTERS AND AT CHANGE OF DIRECTION. PROVIDE MINIMUM COVER TO STORMWATER DRAINS AS FOLLOWS: 100mm UNDER REINFORCED CONCRETE AREAS, 100mm UNDER REINFORCED CONCRETE OR PAVED DRIVEWAYS, 75mm UNDER REINFORCED CONCRETE DRIVEWAYS.
- GN.10- INSTALLATION OF SERVICES INCLUDING SEWER OR SEPTIC SYSTEM, ELECTRICITY, WATER, COMMUNICATIONS AND THE LIKE SHALL BE IN ACCORDANCE WITH THE RELEVANT SUPPLY AUTHORITY'S REQUIREMENTS.
- GN.11- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTING AND/OR SLAB EDGE BEAMS SO AS TO REVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- GN.12- FOOTINGS NOT TO ENCR OACH TITLE BOUNDARIES AND EASEMENT LINES.
- GN.13- FOR BUILDINGS IN MARINE OR OTHER EXPOSURE ENVIRONMENTS ENSURE THAT ALL STEEL WORK, BRICK CAVITY TIES, AND STEEL LINTELS, ETC. THAT ARE IMBEDDED OR FIXED INTO MASONRY BE PROTECTED IN ACCORDANCE WITH TABLE 2.2 OF A.S. 3700- 2001 MASONRY STRUCTURES, HOT DIPPED GALV. S/LESS STEEL OR CADMIUM COATED. ADDITIONALLY MASONRY, MORTAR AND BUILT IN COMPONENTS SHALL COMPLY WITH THE DURABILITY REQUIREMENTS OF PART3.4.6 OF THE B.C.A 96 (VOL.1) OR TABLE 5.1 OF A.S.37000-2001 MASONRY STRUCTURES
- GN.14- ALL WET AREAS TO COMPLY WITH B.C.A. PART 3.8 OR A.S 3740 2004 WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800mm ABOVE FLOOR LEVEL TO SHOWER ENCLOSURES AND 150mm ABOVE BATHS, BASINS, SINKS, TROUGHS AND THE LIKE IF WITHIN 75mm OF THE WALL, PROVIDE AN IMPERVIOUS SUBSTRATE AND SELECT SURFACE FINISH TO FLOORS WITHIN 1500mm OF AN ENCLOSED SHOWER AND TO THE SAME WALLS TO 1800mm ABOVE FLOORS
- GN.15- PROVIDE WALL TILES TO BRICKWORK AT MAXIMUM 600MM CENTERS IN EACH DIRECTION AND WITHIN 300mm OF ARTICULATION JOINTS.
- GN.16- SUB-FLOOR VENTS LOCATED BELOW BEARERS SHALL PROVIDE A RATE OF 7500mm SQ. CLEAR VENTILATION PER 1000mm RUN OF INTERNAL DWARF WALLS.
- GN.17- PROVIDE CLARENCE FROM UNDERSIDE OF BEARER TO FINISHED GROUND LEVEL OF 150mm FOR FLOOR WITH STRIP FLOORING OR 200mm FOR FLOORS WITH PARTICLE BOARD FLOORING.
- GN.18- THERMAL INSULATION TO BE PROVIDED AS FOLLOWS FOR SLAB CONSTRUCTION R1.3 DS SISALATION TO EXTERNAL WALLS, AND R2.5 BULK INSULATION TO ROOF FOR TIMBER FRAMED FLOOR WITH NO PERIMETER BASE B'WORK-R1.5 DS. SISALATION TO EXTERNAL WALLS, AND R2.5 BULK INSULATION TO ROOF FOR TIMBER FRAMED FLOOR WITH PERIMETER BASE B'WORK -R1.3 DS. SISALATION TO EXTERNAL WALLS, AND R2.5 BULK INSULATION TO ROOF NOTE: SISALATION TO HAVE FLAMMABILITY INDEX NOT EXCEEDING 5.
- GN.19- STAIR REQUIRMENTS;-(OTHER THAN SPIRAL STAIRS) RISERS- 190mm MAXIMUM, 115mm MINIMUM. GOING- 355mm MAXIMUM, 240mm MINIMUM; PRIVATE STAIRS (250mm FOR PUBLIC STAIRS) NOTE: 2R + 1G = 700mm MAX AND 550mm MIN. RISERS AND TREADS TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT. MAX GAP TO OPEN TREADS 125mm. PROVIDE NON-SLIP FINISH OR SUITABLE NON-SLID STRIP TO EDGE OF NOSINGS. ENSURE MAXIMUM GAP BETWEEN RISERS NOT TO EXCEED 125mm OR USE CLOSED RISERS. PROVIDE CONTINUOUS HANDRAIL 1000mm MINIMUM HEIGHT TO LANDINGS, BALCONIES AND DECKS WHICH ARE 1000mm OR MORE ABOVE GROUND LEVEL. 865mm MINIMUM HEIGHT HANDRAIL ABOVE STAIR NOSINGS. MAXIMUM OPENINGS BETWEEN BALUSTERS NOT TO EXCEED 125mm.
- GN.20- CONCRETE STUMPS. 100mm SQ. UP TO 1400mm LONG (1 NO.II.D. WIRE) 100mm SQ. 1401mm TO 1800mm LONG (2 NO. H.D. WIRES); 125mm SQ, 1801mm, TO 3000mm. LONG (2 NO. H.D. WIRES). NOTE ALL STUMPS EXCEEDING 1200mm ABOVE GROUND TO BE BRACED
- GN.21- THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF NEW AND EXISTING STRUCTURES DURING ALL WORKS
- GN.22- THE BUILDER SHALL ENSURE THE GENERAL WATER TIGHTNESS OF ALL NEW AND EXISTING WORKS.
- GN.23- 'S' DENOTES LOCATION OF SMOKE ALARMS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH A.S. 3786 1993. AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1,2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING THE SMOKE ALARM SHALL BE HARD WIRED WITH BATTERY BACKUP.
- GN.24- THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE OF THE CLIENT OF A1 BUILDING DESIGN FOR THE PURPOSE EXPRESSLY NOTIFIED TO THE DESIGNER. ANY OTHER PERSON WHO USED OR RELIES ON THESE PLANS WITHOUT THE DESIGNERS WRITTEN CONSENT DOES SO THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
- GN.25- THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS, STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS AND UNLESS EXPRESSLY STATED OTHERWISE, ARE PROVIDED ONLY AS GUIDELINES.
- GN.26- THE APPROVAL BY A1 DESIGN OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE IS NOT AN AUTHORIZATION FOR ITS USE OR A CONTRACT VARIATION. ANY VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING



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Date:	DECEMBER 2023	Title:	STANDARD NOTES		
A3 Scale:	1 : 1	Client:	KATHY GUPTA		
Checked:		Project:	PROPOSED CHANGE OF USE - EXISTING SHED - EXTENSION TO EXISTING DWELLING AT 36 LAKE ROAD NEWMERELLA		
Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	17822	Revision:	A
Plot Date:	13/12/2023 1:27:49 PM	Drawing No:	A00		
Client Approval Signature:		Date:			

PROPERTY REPORT:

ADVERTISED

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ADDRESS: 36 LAKE ROAD NEWMERELLA 3886

LOT: Lot 2 LP217404

COUNCIL: EAST GIPPSLAND

COUNCIL PROPERTY No.: 12347

OVERLAYS:

- SIGNIFICANT LANDSCAPE OVERLAY (SLO)
- BUSHFIRE MANAGEMENT OVERLAY (BMO)

This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

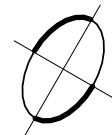
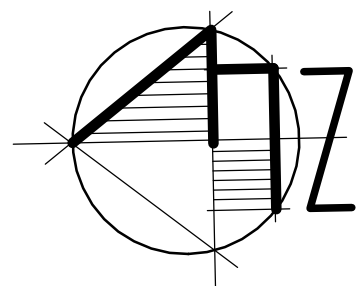
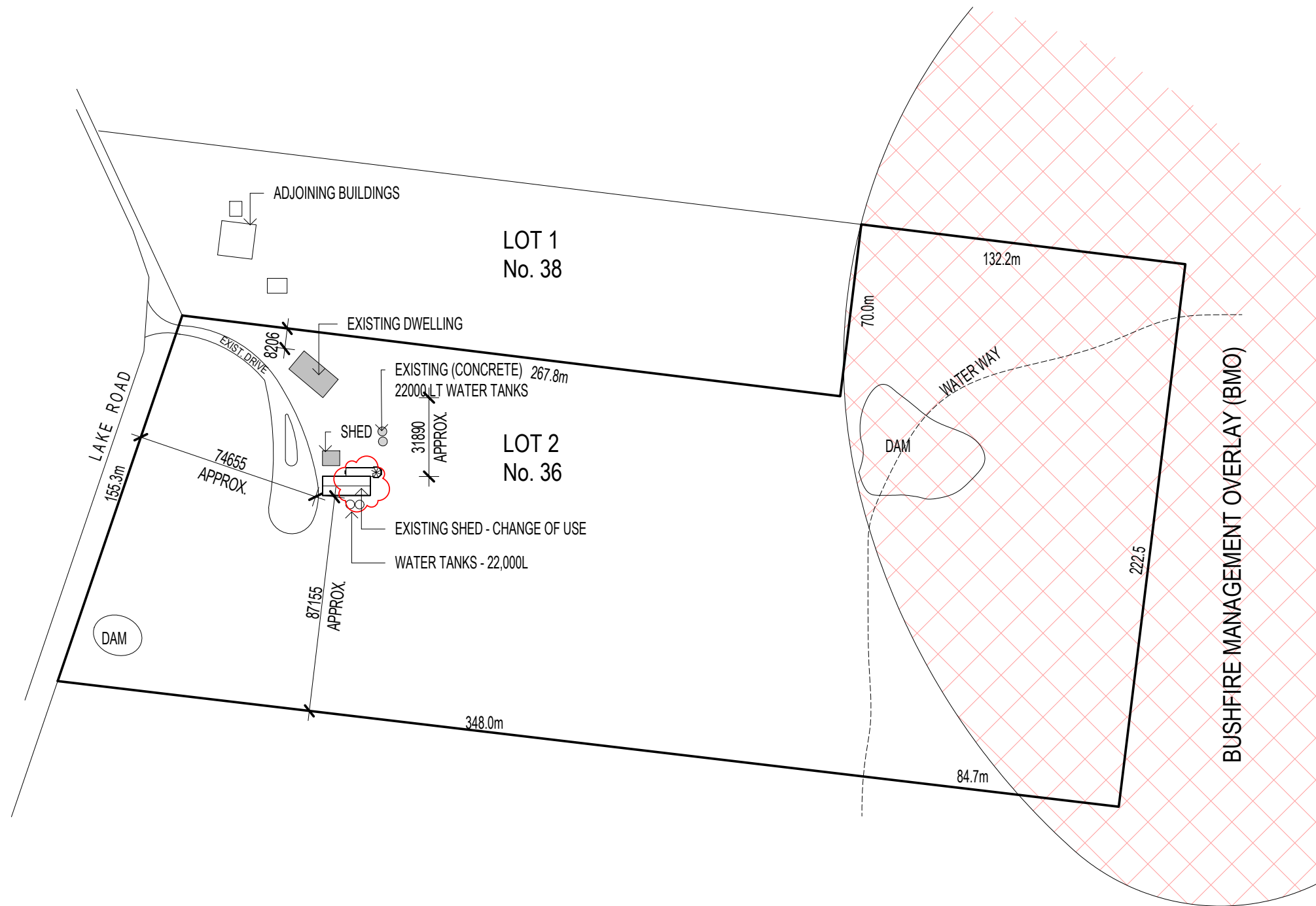
DOWN PIPE LOCATION AND NUMBER TO BE CONFIRMED BY PLUMBER ON SITE.
STORM WATER CONNECTED TO LEGAL POINT OF DISCHARGE.

SITE LEVELS BY :

- ALL STORM WATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL DRAWINGS
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTINGS AND / OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERPINNING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- STORMWATER: 100 DIA. CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1 : 100 AND CONNECTED TO LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000mm C/C AND AT EACH CHANGE OF DIRECTION.

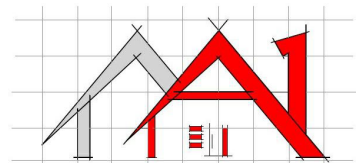
NOTE:

- ALL DOWN PIPES TO BE CONNECTED FROM GUTTERS TO LEGAL POINT OF DISCHARGE
- ALL NEW FRAMING TO COMPLY WITH AS 1684 AND THE BUILDING CODE OF AUSTRALIA 2016(CLASS 1-10 BUILDINGS)
- THE BUILDER AND SUBCONTRACTORS SHALL CHECK ALL DIMENSIONS, SETBACK, LEVELS AND SPECIFICATIONS AND ALL RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE BUILDER FOR CLARIFICATION. THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW / AND OR EXISTING STRUCTURES DURING THE WORKS.
- BUILDER TO VERIFY DIMENSIONS ON SITE PRIOR DEMOLITION / CONSTRUCTION WORKS.



PROPOSED LOCATION PLAN

Scale: 1 : 2000



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Date:	DECEMBER 2023	Title:	SITE PLAN		
A3 Scale:	1 : 2000	Client:	KATHY GUPTA		
Checked:	Designer	Project:	PROPOSED CHANGE OF USE - EXISTING SHED - EXTENSION TO EXISTING DWELLING AT 36 LAKE ROAD NEWMERELLA		
Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	17822	Revision:	A
Plot Date:	13/12/2023 1:27:49 PM	Drawing No:	A01		
Client Approval Signature:		Date:			

NOTE:
ALL CEILING EXHAUST FANS ARE TO DISCHARGE TO OUTSIDE AIR OR TO THE ROOF SPACE ONLY IF THAT SPACE IS MECHANICALLY VENTED (IE. WHIRLYBIRD ROTARY VENTILATOR)

DENOTES: APPROVED SMOKE DETECTOR/ALARM



EXHAUST FAN (SEALED)



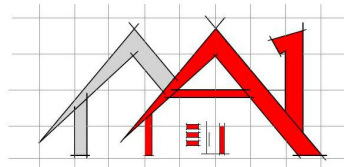
DOORS TO SANITARY COMPARTMENTS MUST BE OPENABLE, SLIDE OR BE READILY REMOVABLE FROM THE OUTSIDE TO COMPARTMENT UNLESS THERE IS A CLEAR SPACE OF 1.2m BETWEEN THE CLOSEST PAN WITHIN THE SANITARY COMPARTMENTS AND THE NEAREST PART OF THE DOORWAY. SANITARY COMPARTMENTS TO COMPLY WITH BCA CLAUSE 3.8.3.4

SMOKE ALARM TO BE PROVIDED IN ACCORDANCE WITH AS 3786. REFER TO FLOOR PLAN FOR LOCATIONS. SMOKE ALARMS TO BE INTERCONNECTED.

SMOKE DETECTOR / ALARM
Smoke alarms must meet the Australian Standard AS 3786-1993 required by the *Building Regulations 2006* (the Regulations).
In all new residential buildings, constructed on or after 1 August 1997, the smoke alarms must be connected directly to the consumer power mains as well as having a battery back-up.

DOWN PIPES / STORMWATER TO LEGAL POINT OF DISCHARGE

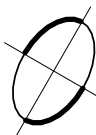
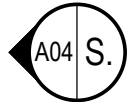
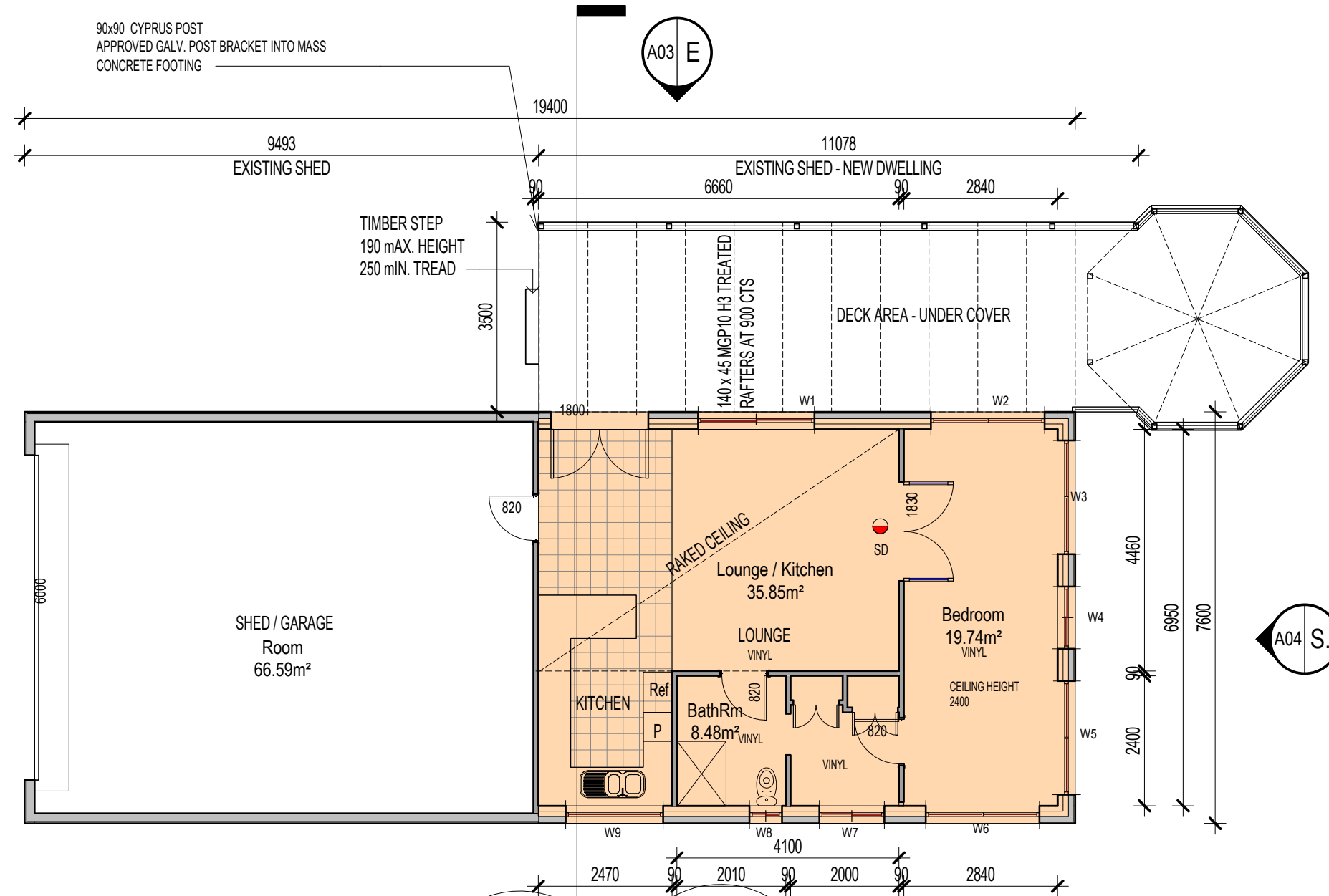
TERMITE PROTECTION:
PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3660.1



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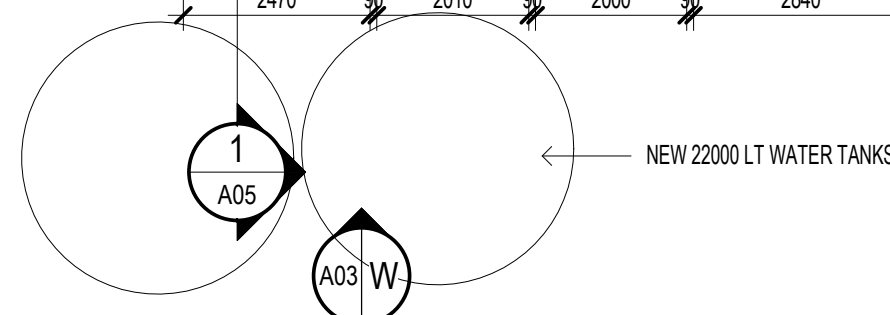
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90x90 CYPRUS POST
APPROVED GALV. POST BRACKET INTO MASS
CONCRETE FOOTING



FLOOR PLAN

Scale.: 1 : 100

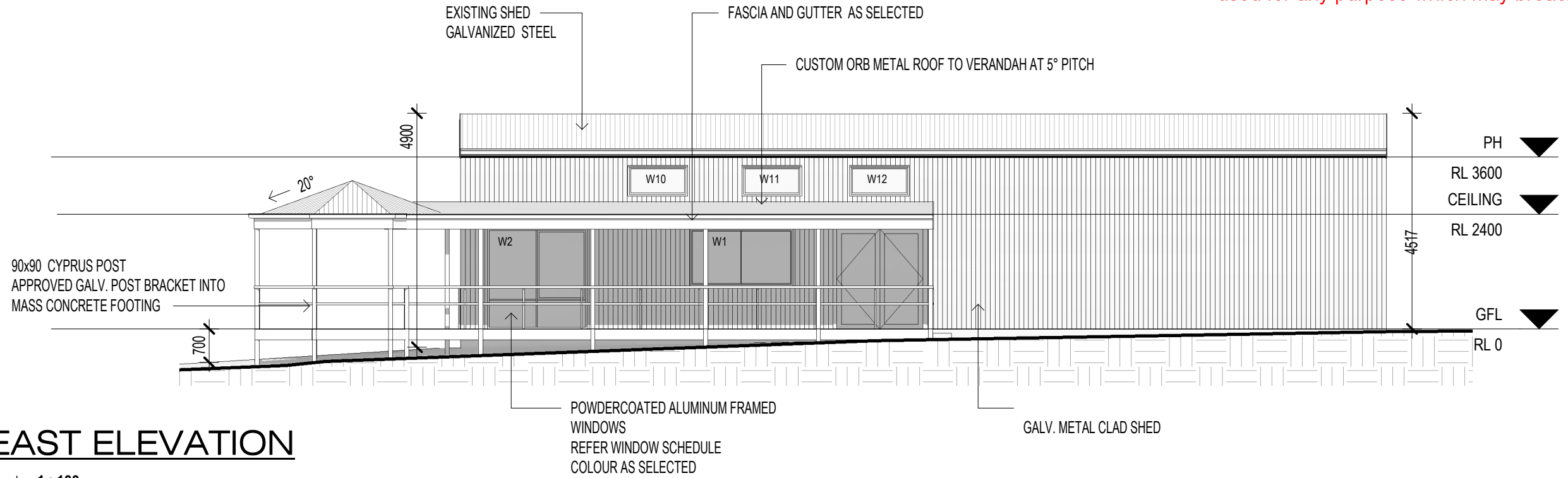


- ROOF / CEILING INSULATION REQUIRED**
- R4.0 ceiling insulation
 - Thermal Break to the metal roof.

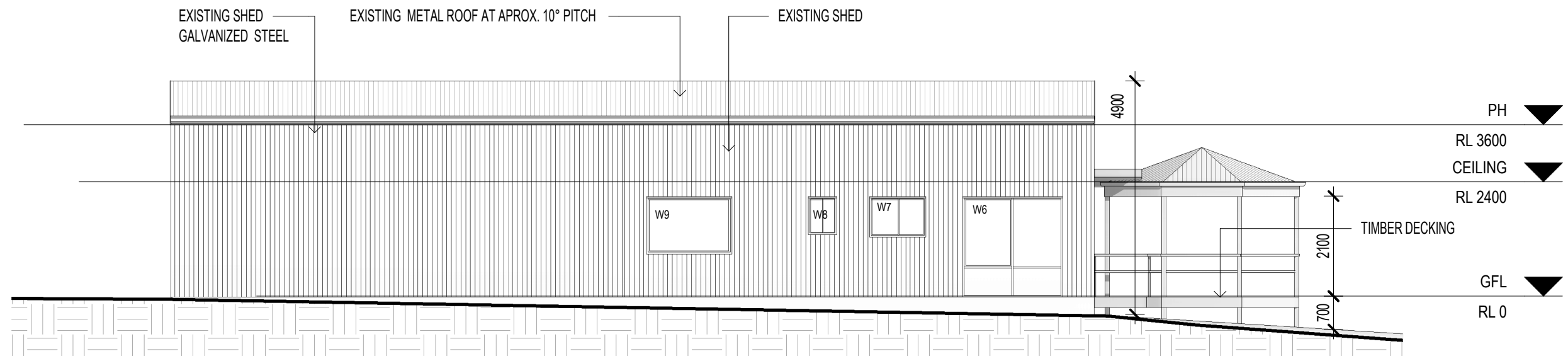
- EXTERNAL WALL INSULATION REQUIRED**
- R2.5 INSULATION

Date:	DECEMBER 2023	Title:	GROUND FLOOR PLAN		
A3 Scale:	1 : 100	Client:	KATHY GUPTA		
Checked:		Project:	PROPOSED CHANGE OF USE - EXISTING SHED - EXTENSION TO EXISTING DWELLING AT 36 LAKE ROAD NEWMERELLA		
Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	17822	Revision:	A
Plot Date:	13/12/2023 1:27:50 PM	Drawing No:	A02		
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EAST ELEVATION
Scale: 1 : 100



WEST ELEVATION
Scale: 1 : 100



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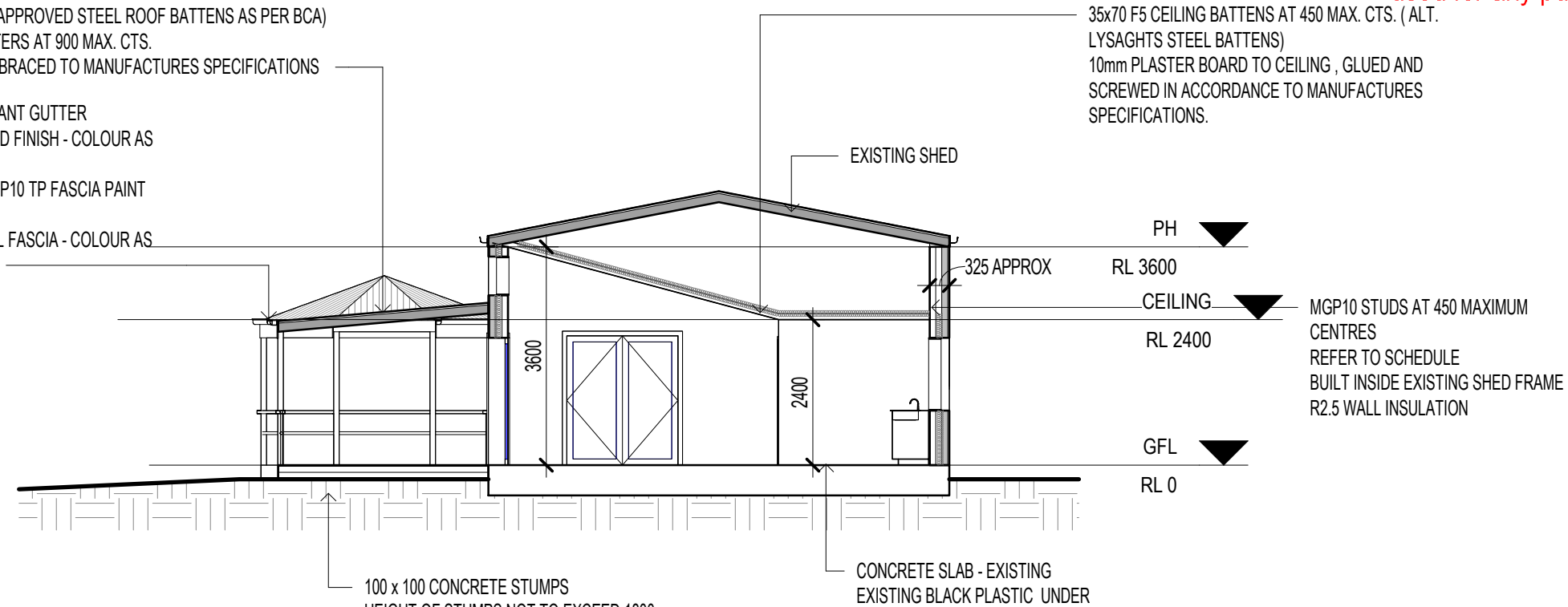
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A3 Scale:	1 : 100	Client:	KATHY GUPTA
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Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	17822
Plot Date:	13/12/2023 1:27:51 PM	Revision:	A
Client Approval Signature:		Drawing No:	A03
Date:			

5° ROOF PITCH - METAL ROOF SHEETING, INSTALLED TO MANUFACTURES SPECIFICATIONS, COLORBOND FINISH - COLOUR AS SELECTED.
 FIXED TO 35 x 70 MGP12 ROOFING BATTENS AT 900 CTS.
 ALT. 40mm APPROVED STEEL ROOF BATTENS AS PER BCA)
 ROOF RAFTERS AT 900 MAX. CTS.
 FIXED AND BRACED TO MANUFACTURES SPECIFICATIONS

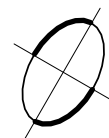
115 QUADRANT GUTTER
 COLORBOND FINISH - COLOUR AS SELECTED,
 190 x 35 MGP10 TP FASCIA PAINT FINISH
 ALT. METAL FASCIA - COLOUR AS SELECTED

35x70 F5 CEILING BATTENS AT 450 MAX. CTS. (ALT. LYSAGHTS STEEL BATTENS)
 10mm PLASTER BOARD TO CEILING, GLUED AND SCREWED IN ACCORDANCE TO MANUFACTURES SPECIFICATIONS.



100 x 100 CONCRETE STUMPS
 HEIGHT OF STUMPS NOT TO EXCEED 1800
 IF THE STUMP EXCEEDS 900 ABOVE GROUND PROVIDE BRACING TO AS 1684

CONCRETE SLAB - EXISTING
 EXISTING BLACK PLASTIC UNDER



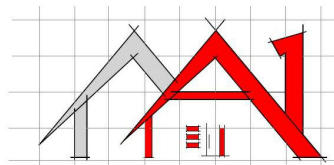
Section A - A

Scale: 1 : 100

WINDOW NOTES:

ALL GLAZING TO BE IN ACCORDANCE WITH AS.1288
 CONTRACTOR TO CONFIRM SIZES WITH OWNERS PRIOR ORDERING AND INSTALLATION.
 ALL WINDOWS TO BE SECURELY FLASHED AND SEALED ALL AROUND.
 ALL WINDOWS HEAD HEIGHTS TO BE 2100mm ABOVE FFL. UNLESS OTHERWISE NOTED.
 ALL OPENING WINDOWS TO BE SUPPLIED WITH MATCHING REMOVABLE FLYSCREENS
 ALL INTERNAL DOORS TO BE 2100mm HIGH UNLESS OTHERWISE NOTED.
 PROVIDE FLASHING OVER WINDOW, EXTENDING 300mm MIN PAST OPENING AND BUILD INTO JOINT ABOVE LINTEL AND CARRY ACROSS CAVITY & FIX TO STUD WORK - 150mm HIGH MIN.
 CONTRACTOR TO CONFIRM ALL LOCKS WITH OWNERS AND ENSURE INSTALLATION AS PER MANUFACTURES SPECIFICATION.
 GRADE 'A' SAFTEY GLASS TO WINDOWS IN WET AREAS TO MEET CURRENT STANDARDS.

WINDOW SCHEDULE						
MARK	LOCATION	WINDOW STYLE	HEIGHT	WIDTH	GLAZING	REMARKS
1	LOUNGE	SLIDING ALUM.	1200	2150	SINGLE	
2	BEDROOM	SLIDING ALUM.	2100	2100	SINGLE	
3	BEDROOM	SLIDING ALUM.	2100	2100	SINGLE	
4	BEDROOM	SLIDING ALUM.	1150	1150	DOUBLE	
5	BEDROOM	SLIDING ALUM.	2100	2100	SINGLE	
6	BEDROOM	SLIDING ALUM.	2100	2100	SINGLE	
7	BATHROOM	SLIDING ALUM.	850	1200	DOUBLE	
8	BATHROOM	SLIDING ALUM.	800	600	DOUBLE	
9	KITCHEN	FIXED ALUM.	1200	1800	SINGLE	
10	LOUNGE - HIGHLIGHT	FIXED ALUM.	640	1250	SINGLE	
11	LOUNGE - HIGHLIGHT	FIXED ALUM.	640	1250	SINGLE	
12	LOUNGE - HIGHLIGHT	FIXED ALUM.	640	1250	SINGLE	



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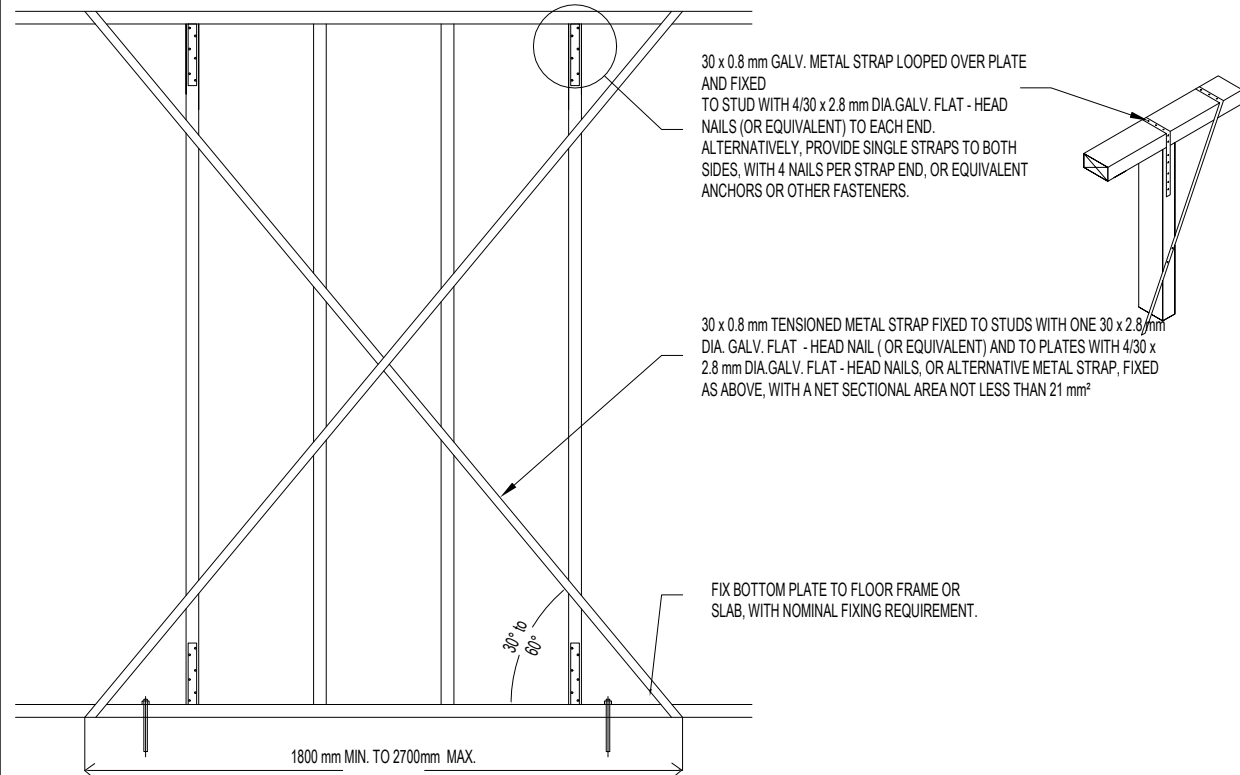
Date:	DECEMBER 2023	Title:	SECTION & WINDOW SCHEDULE		
A3 Scale:	1 : 100	Client:	KATHY GUPTA		
Checked:		Project:	PROPOSED CHANGE OF USE - EXISTING SHED - EXTENSION TO EXISTING DWELLING AT 36 LAKE ROAD NEWMERELLA		
Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	17822	Revision:	A
Plot Date:	13/12/2023 1:27:51 PM	Drawing No:	A05		
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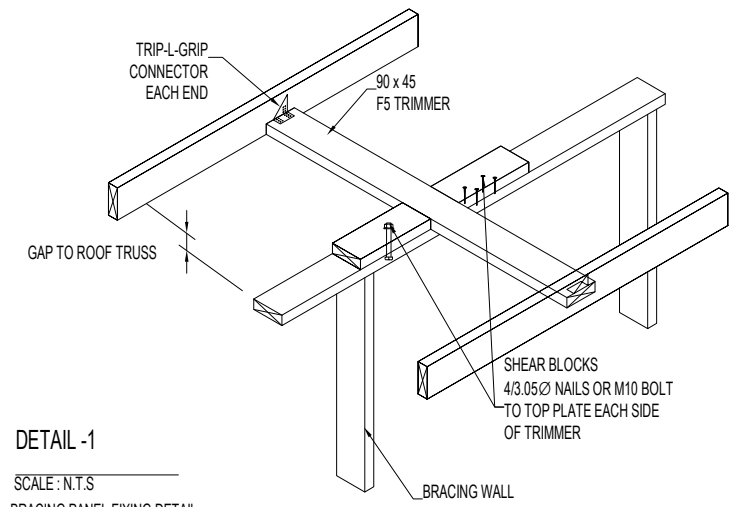
SPECIFICATIONS

NOTE: ALL FIXINGS FOR STRUCTURE SHALL BE REQUIRED TO BE IN COMPLIANCE WITH THE TIMBER FRAMING CODE AS 1684-2006 FOR WIND FORCES OF CATEGORY N3 (41m/s)

- SOIL CLASSIFICATION:** CLASS * - * REFER TO SOIL REPORT
- STUMPS AND FOOTINGS:** REFER TO ENGINEERS DETAILS
- FLOOR JOISTS & BEARERS:** REFER TO ENGINEERS DETAILS
- FLOORING:** CONCRETE SLAB - REFER TO ENGINEERS DESIGN AND DOCUMENTATION.
- POSTS AND SUPPORTS:** REFER TO ENGINEERS COMPUTATIONS
- TOP PLATES:**
 - LOADBEARING:** 2/45x90 MGP10 PINE NOT TRENCHED FOR STUDS
 - NON-LOADBEARING:** 45x90 MGP10 PINE NOT TRENCHED FOR STUDS
- BOTTOM PLATES:**
 - LOADBEARING:** 45x90 MGP10 PINE NOT TRENCHED FOR STUDS
- COMMON STUDS:**
 - 2725 HIGH MAX.:** 90x45 MGP10 PINE AT 450 CTS.
 - 3040 HIGH MAX.:** 90x45 MGP10 PINE AT 450 CTS.
- JAMB STUDS:**
 - 2100 MAX.:** 2/90x45 F17 KDHW MAX. OPENING 2100
- NOGGINGS:** NOTE: PROVIDE DOUBLE STUDS AT ALL CONTROL JOINTS (NOT NAIL-LAMINATED) 2725 - 3040 HIGH STUDS 90x45 MGP10 PINE AT 1000 MAX,CTS.
- BRACING:** REFER TO DETAILS
- LINTELS AND BEAMS:** REFER TO ENGINEERS COMPUTATIONS.
- RAFTERS:**
 - ROOF TRUSS AT 900 MAX CTS (METAL ROOF) AS PER MANUFACTURES SPECS.
 - RAFTERS : AS PER ENGINEERS COMPUTATIONS
- VALLEY BOARDS:** 19x200 F8 OBHW AND 19x75 F8 OBHW
- ROOF BRACING:** REFER TO ENGINEERS DETAILS
- ROOF BATTENS:** 25x38 F8 OBHW AT 450 CTS (METAL ROOF)
- ROOF LINING:** CONCRETE TO ENGINEERS DETAILS
- INTERNAL LININGS:**
 - 10mm PLASTERBOARD TO WALLS AND 9mm COMPRESSED SHEET OR VILLABOARD TO WET AREAS; WATER PROOF TO WET AREAS.
 - 10mm PLASTERBOARD TO INTERNAL CEILINGS
 - FIX ALL PLASTERBOARD TO FLOOR JOISTS AND TRUSSES VIA "RONDO 301"
 - METAL BATTENS AT 450 MAXIMUM CENTRES.
 - REFER TO WINDOW SCHEDULE
- WINDOWS:** TO ALL OPERABLE WINDOWS
- FLYWIRE SCREENS:** TO OWNER'S SELECTION
- EXTERNAL DOORS:** TO OWNER'S SELECTION
- INTERNAL DOORS:** TO OWNER'S SELECTION
- SKIRTING AND ARCHITRAVES:** TO OWNER'S SELECTION
- INSULATION:**
 - R3.5 MIN - BATTS IN NEW ROOF SPACE
 - R2.4 MIN - BATTS IN ALL NEW EXTERNAL STUD WALLS. / R2 UNDER FLOOR.
 - REFER TO ENERGY RATING REPORT.
 - RFL OVER ALL NEW ROOF BATTENS AND AROUND EXTERNAL WALLS.
 - REFER TO PLANS AND ELEVATIONS FOR TREATMENT OF EXTERNAL FINISHES.
- SARKING AND INSULATION:**
- EXTERNAL FINISHES:**



NOTE: NOGGINGS HAVE BEEN OMITTED FOR CLARITY



DETAIL -1

SCALE: N.T.S
BRACING PANEL FIXING DETAIL WHERE PARALLEL TO ROOF TRUSSES

IMPORTANT NOTES

1. ALL THE WORK IS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AS 1684-2006.
2. BUILDER TO CONTACT THIS OFFICE IF CONDITIONS DIFFER THAN WHAT IS SHOWN ABOVE.
3. PROVED DOUBLE STUDS UNDER BEAMS AND / OR LINTELS UNO.
4. ALL DOUBLE TIMBER MEMBERS ARE SPIKED TOGETHER.
5. HOOP IRON BRACING TO BE FIXED TO EVERY RAFTER/FLOOR JOIST(HP).
6. ALL TIMBER FRAMING AND CONNECTION TO COMPLY WITH (N3) WIND CATEGORY REQUIREMENTS AS SPECIFIED IN THE TIMBER REQUIREMENTS AS SPECIFIED IN THE TIMBER FRAMING CODE.
7. ALL LINTELS/BEAMS TO BE RESTRAINED AT EACH END.
8. ALL BRACING NOT SHOWN. SHALL BE IN ACCORDANCE WITH AS1684 BY BUILDER.

NOTE:-

- THE STABILITY OF THE BUILDING DURING CONSTRUCTION IS THE BUILDERS RESPONSIBILITY.
- ALL SITE WELDS TO BE COLD GALV. PAINTED.
- ALL EXPOSED STEELWORK INCLUDING FIXINGS TO BE HOT DIP GALVANISED.
- BUILDER TO FULL PROP & BRACE EXISTING AND NEW STRUCTURES DURING ALL STAGES OF DEMOLITION & CONSTRUCTION.
- ALL OTHER BEAMS AND LINTELS NOT MENTIONED ABOVE BY BUILDER TO AS1684.

BRACING TO EXTERNAL WALLS:-

METAL STRAP CROSS BRACING WB2 TO BE PROVIDED TO ALL WALL GREATER THEN 1800mm IN LENGTH U.N.O OTHER WISE PLYWOOD BRACING MUST BE USED (WB1)

BRACING TO INTERNAL WALLS:-

METAL STRAP CROSS BRACING WB2 TO BE PROVIDED TO ALL WALL GREATER THEN 700 m IN LENGTH U.N.O (REFER WB2 DETAILS)

NOTE: HP DENOTES HOOP IRON BRACING TO BE FIXED EVERY RAFTER / JOIST.

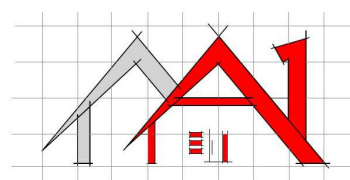
WB2:- FIXING TO ROOF TRUSSES AND FLOOR FRAMING

THE TOP OF ALL WB2 UNITS SHALL BE FIXED TO ROOF TRUSSES AND FLOOR FRAMING WITH FRAMING ANCHORS AT ENDS AND 900mm CTS. WITHIN BRACING UNIT. EACH FRAMING ANCHOR SHALL HAVE 6/2.8mm DIA. NAILS TO THE TRUSS BOTTOM CHORD OR JOIST AND TOP PLATE. ALTERNATIVELY PROVIDE FIXING IN ACCORDANCE WITH "DETAIL 1 OR 2" AT EACH END 900mm CTS. WITH BRACING UNITS.

NOTES:-

- PLYWOOD: PLYWOOD SHALL BE NAILED TO FRAME USING 30 x 2.8mm Ø GALVANIZED FLATHEAD NAILS OR HARDBOARD : HARDBOARD SHALL COMPLY WITH AS/NZS 1859.4. HARDBOARD SHALL BE NAILED TO FRAME USING MINIMUM 25 x 2.8mm Ø GALVANIZED NAILS OR

NAILS SHALL BE LOCATED A MINIMUM OF 10mm FROM THE VERTICAL EDGES AND 20mm FROM THE TOP AND BOTTOM EDGES. PANEL EDGES SHALL BE SUPPORTED BY STUDS.



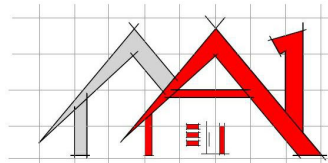
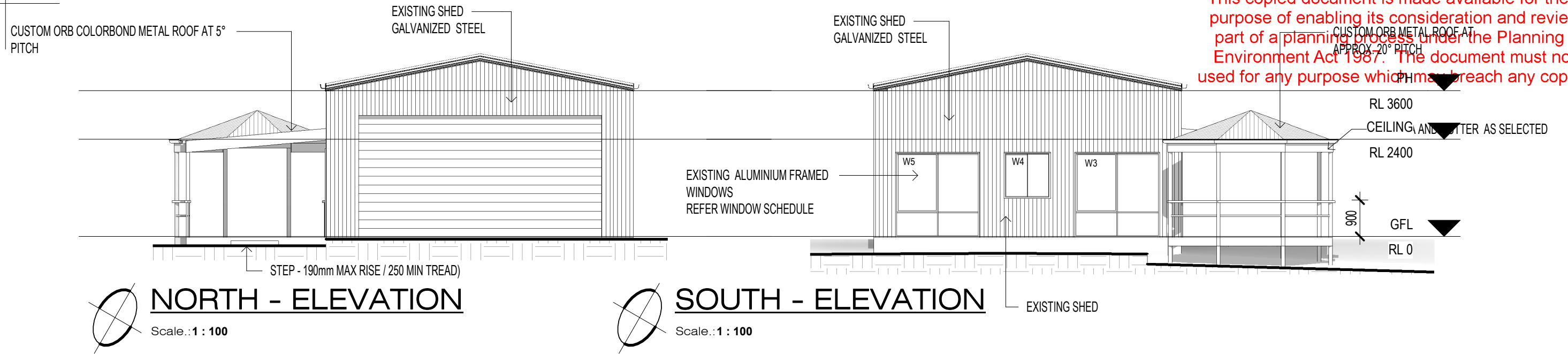
A1 BUILDING DESIGN AND DRAFTING

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Date:	DECEMBER 2023	Title:	SPECIFICATIONS		
A3 Scale:	1 : 100	Client:	KATHY GUPTA		
Checked:	Designer	Project:	PROPOSED CHANGE OF USE - EXISTING SHED - EXTENSION TO EXISTING DWELLING AT 36 LAKE ROAD NEWMERELLA		
Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	17822	Revision:	A
Plot Date:	13/12/2023 1:27:52 PM	Drawing No:	A07		
Client Approval Signature:		Date:			

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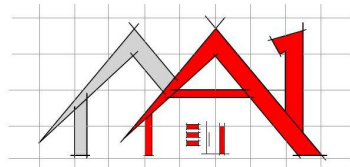
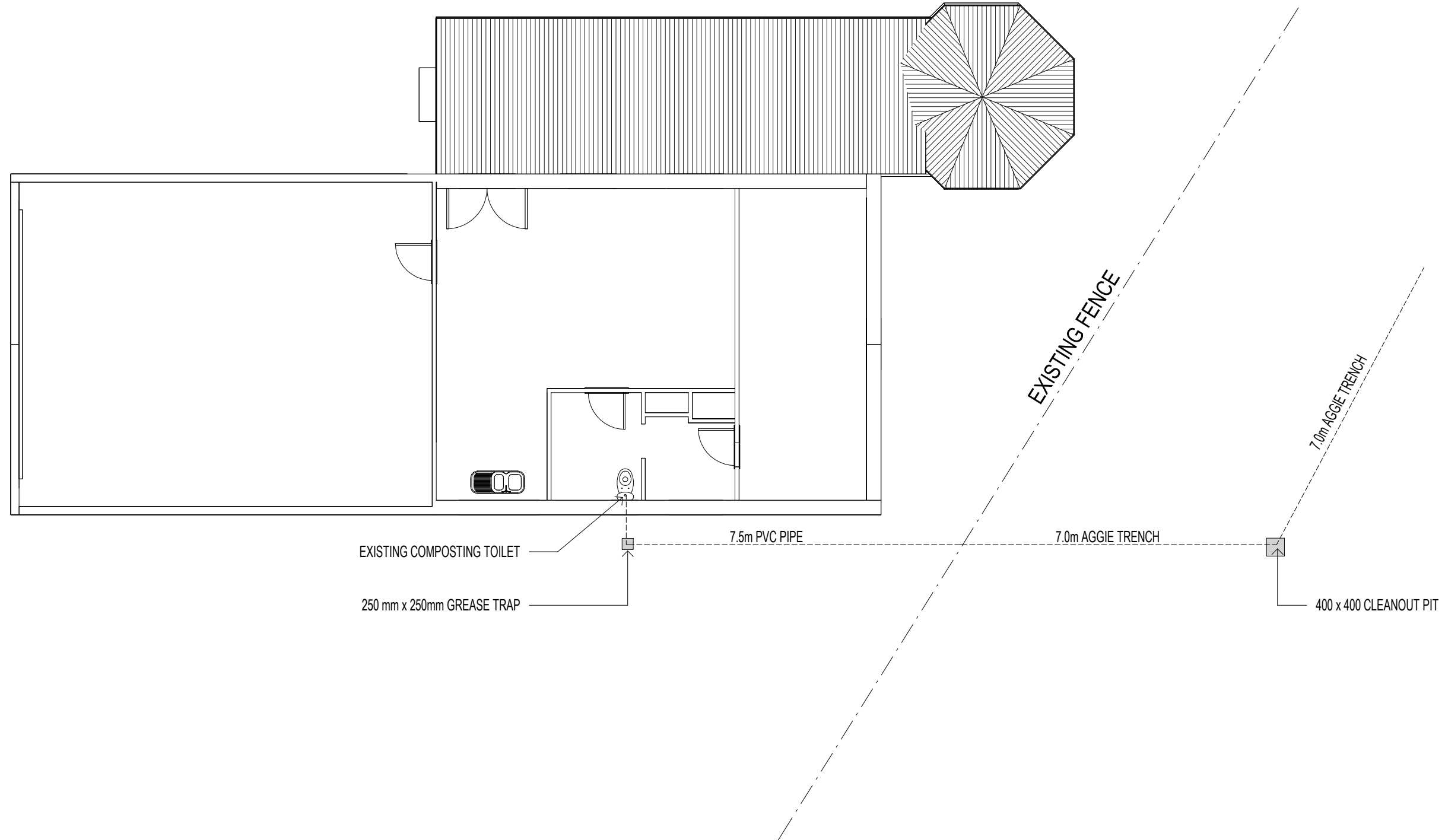


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Date:	DECEMBER 2023	Title:	ELEVATIONS
A3 Scale:	1 : 100	Client:	KATHY GUPTA
Checked:	Designer	Project:	PROPOSED CHANGE OF USE - EXISTING SHED - EXTENSION TO EXISTING DWELLING AT 36 LAKE ROAD NEWMERELLA
Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	17822
Plot Date:	13/12/2023 1:27:54 PM	Revision:	A
Client Approval Signature:		Drawing No:	A04
Date:			



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Date:	DECEMBER 2023	Title:	EXISTING SEPTIC (COMPOSTING TOILET)		
A3 Scale:	1 : 100	Client:	KATHY GUPTA		
Checked:	Designer	Project:	PROPOSED CHANGE OF USE - EXISTING SHED - EXTENSION TO EXISTING DWELLING AT 36 LAKE ROAD NEWMERELLA		
Drawn:	Author	Job No:	17822	Revision:	A
Plot Date:	13/12/2023 1:27:54 PM	Drawing No:	A06		
Client Approval Signature:		Date:			

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General Notes (NCC 2019 BCA Vol 2)

- All materials and work practices shall comply with, but not limited to the Building Regulations 2018, National Construction Code Series 2019 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.
- Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2019 Building Code of Australia Volume 2.
- All materials and construction practice shall meet the Performance Requirements of the BCA. Where a performance solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.
- Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with:
 - BCA Part 3.6 for Class 1 and 10 Buildings within a design
 - wind speed of not more than N3; and
 - BCA Vol 1 Part B1.4 for Class 2 and 9 Buildings.
- Waterproofing and water resistance of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: Waterproofing of Domestic Wet Areas.
- These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.
- Step sizes (other than for spiral stairs) to be:
 - Risers (R) 190mm maximum and 115mm minimum
 - Going (G) 355mm maximum and 240mm minimum
 - 2R + 1G = 700mm maximum and 550mm minimum
 - with less than 125mm gap between open treads.
- All treads, landings and the like to have a slip-resistance classification of P4 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.
- Provide barriers where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Barriers (other than tensioned wire barriers) to be:
 - 1000mm min. above finished surface level of balconies, landings or the like, and
 - 865mm min. above finished surface level of stair nosing or ramp, and
 - vertical with less than 125mm gap between, and

- any horizontal element within the barrier between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads.
- Wire barrier construction to comply with NCC 2019 BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2019 BCA Volume 1 Part D2.16 for other Classes of Buildings.
- Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps.
- Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.
- Where the building (excludes a detached Class 10) is located in a termite prone area the building is to be provided with a termite management system.
- Concrete stumps:
 - up to 1400mm long to be 100mm x 100mm (1 No. H.D. Wire)
 - 1401mm to 1800mm long to be 100mm x 100mm (2 No. H.D. Wires)
 - 1801mm to 3000mm long to be 125mm x 125mm (2 No. H.D. Wires)
- 100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.
- Buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS 4773.1-2015 'Masonry in small buildings' Part 1: Design.
- All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.
- These drawings shall be read in conjunction with all relevant structural and all other consultants' drawings/details and with any other written instructions issued in the course of the contract.
- Site plan measurements in metres – all other measurements in millimetres unless noted otherwise.
- Figured dimensions take precedence over scaled dimensions.
- The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
- The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the

- commencement of any works. Report all discrepancies to this office for clarification.
- Installation of all services shall comply with the respective supply authority requirements.
- The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
- These plans have been prepared for the exclusive use by the Client of [Insert Drafting Service] ('The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.
- A building Permit is required prior to the commencement of these works. The release of these documents is conditional to the Owner obtaining the required Building Permit.
- The Client and/or the Client's Builder shall not modify or amend the plans without the knowledge and consent of Meaghan Gamble of A1 Building Design & Drafting except where a Registered Building Surveyor makes minor necessary changes to facilitate the Building Permit application and that such changes are promptly reported back to Meaghan Gamble of A1 Building Design & Drafting .
- The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. All variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing any variation.
- (soil classification relocated)

STORMWATER

- 100 mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction.
- The cover to underground stormwater drains shall be not less than
 - 100mm – under soil
 - 50mm – under paved or concrete areas
 - 100mm – under unreinforced concrete or paved driveways
 - 75mm – under reinforced concrete driveways

SITE ENVIRONMENT DESIGN INFORMATION

Site Bushfire Attack Assessment (simplified method)

- Reference document 'AS3959-2018 construction of

- buildings in bush fire prone areas' Relevant Fire Danger Index (FDI)-[insert FDI]
- Predominate vegetation Classification-[Insert vegetation classification]
- Type-[Insert Vegetation type]
- Distance of the site from classified vegetation-[Insert distance of the site from the classified vegetation]
- Effective slope of land-[Insert effective slope of land under the classified vegetation]
- Determination of Bushfire Attack Level (BAL)-[Insert BAL] Site Classification
- Site classification as Class: [Insert soil classification]
- Refer to soil report No: [Insert soil report number]
- By: [Insert Soil Engineer]

Design Gust Wind Speed / Wind Classification

- Building tie-downs to be provided in accordance with AS1684-2010 for an assumed design gust wind speed / wind classification of [Insert wind speed or wind classification] (subject to confirmation on site by Relevant Building Surveyor at first inspection) refer to AS1684 for construction requirements.

Climate Zone

- Climate zone for thermal design / thermal performance assessment: Zone [Insert Climate Zone].

Corrosion protection of built-in structural members

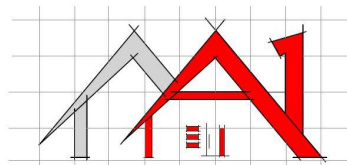
- Provide corrosion protection of built-in structural steel members such as steel lintels, shelf angles, connectors, accessories (other than wall ties) in accordance with Table 4.1 of AS4773.1-2015 Masonry in Small Buildings, Part 1: Design suitable for an Environment Classification of [Insert environment classification]

Corrosion protection for sheet roofing

- Provide corrosion protection for sheet roofing in accordance with BCA Table 3.5.1.1a suitable for an Environment Classification of [Insert environment classification].

Design events for safety - earthquake actions

- For determination of domestic structures of a height less than or equal to 8.50m
- Building type importance level – [insert importance level from BCA Table 3.11.3a]
- Annual probability of exceedance – [insert probability from BCA Table 3.11.3b]
- Probability factor (kp) – [insert probability factor from AS1170.4 Table 3.1]
- Hazard factor (Z) for project location – (insert hazard factor for project location from AS1170.4 Table 3.2)
- Hazard at the (kpZ) – [insert kpZ value from AS1170.4 Table A1]
- Design required – [insert design required from AS1170.4 Table A1]

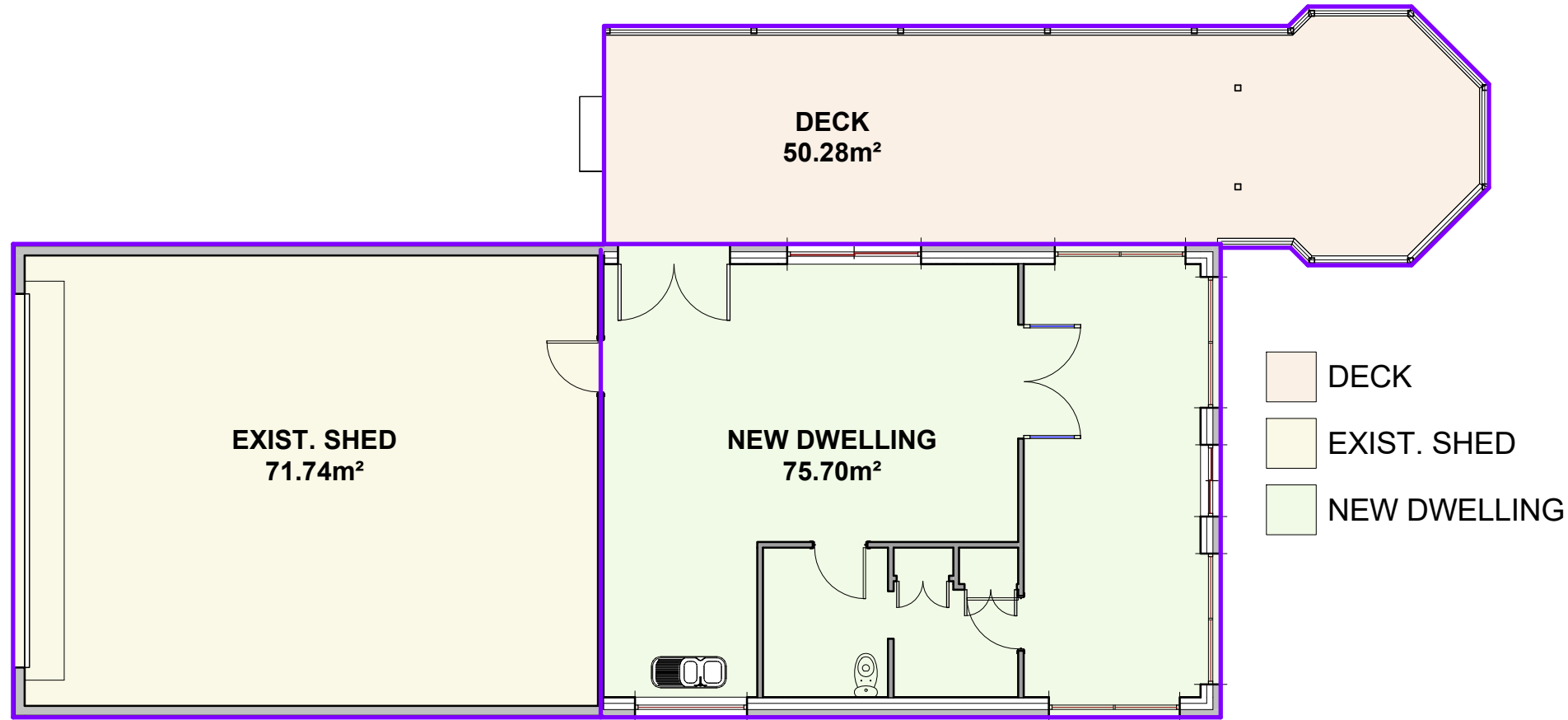


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Date:	DECEMBER 2023	Title:	General Notes for Residential Works		
A3 Scale:		Client:	KATHY GUPTA		
Checked:	Designer	Project:	PROPOSED CHANGE OF USE - EXISTING SHED - EXTENSION TO EXISTING DWELLING AT 36 LAKE ROAD NEWMERELLA		
Drawn:	MEAGHAN GAMBLE DPAD2468	Job No:	17822	Revision:	A
Plot Date:	13/12/2023 1:27:54 PM	Drawing No:	A08		
Client Approval Signature:		Date:			



 **AREA PLAN**
Scale: 1 : 100

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AREA:	m ²	Issue	Amendment	Date
SITE AREA:		-	-	-
HOUSE AREA:		-	-	-
GARAGE AREA:		-	-	-
ALFRESCO / VERANDA:		-	-	-
PORCH AREA:		-	-	-
OTHER AREA:		-	-	-



A1 Building Design & Drafting
P.O. Box 911 Bairnsdale
Victoria 3875 - 0438 560 215

Date:	DECEMBER 2023
A3 Scale:	1 : 100
Designed:	Designer
Drawn:	MEAGHAN GAMBLE DPAD2468
Plot Date:	13/12/2023 1:27:55 PM
Client Approval Signature:	
Date:	

Title: AREA PLAN			
Client: KATHY GUPTA			
Project: PROPOSED CHANGE OF USE - EXISTING SHED - EXTENSION TO EXISTING DWELLING AT 36 LAKE ROAD NEWMERELLA			
Job No:	17822	Revision:	A
Drawing No:		A09	

Our Ref: 23154

7th February 2024

Penny Cross
Statutory Planning Officer
East Gippsland Shire Council
PO Box 1618
Bairnsdale Vic 3875

Dear Penny,

**Re: Application for Planning Permit No: 5.2023.518.1
36 Lake Road, Newmerella
Buildings and works for an extension to an existing dwelling**

We act on behalf of Kathy Gupta and Sara Bailey the applicants and owner of the land at 36 Lake Road, Newmerella and write in response to your correspondence dated 2nd January, 2024, and subsequent email dated 24th January, 2024.

We acknowledge that you feel there are discrepancies with this proposal, and that there are multiple sources of information, however we believe there are several ways of achieving an outcome in this situation. We are working with all involved in an attempt to achieve the most suitable outcome, which is for the building to be classified as an extension to the existing dwelling.

We offer the following supporting information, which we trust will provide the required clarity to enable the application to progress:

- We have been working through the process with East Gippsland Building Permits and discussing the proposal directly with Brian Ross. Once the planning permit application is progressing an amended Notification of Appointment will be provided.
- The information provided on the 2016 real estate listing is inconclusive and I am unable to comment on what the use of the building was at that time. I can confirm that Kayla Stephenson, from our office, personally inspected the site and obtained information from the owners relative to the small outbuilding that is referred to as a bungalow. This building was used by the previous owners for home schooling their children and is currently used for storage that is consistent with an outbuilding. Whilst it is generally not standard practice for us to take photographs inside of buildings, we did in this instance. Please see below photographs.
- This application is seeking retrospective approval for a detached extension to an existing dwelling. The use of the land for a dwelling is existing and no planning permit is required for an extension to an existing dwelling under the provisions of the Farming Zone.
- The land is also covered by the Significant Landscape Overlay. The Significant Landscape Overlay requires approval for buildings and works. As such the only trigger for a planning permit for the extension to the existing dwelling is under the provisions of the Significant Landscape Overlay.

- The building was previously used for an outbuilding and a building permit will be required to convert the use to a dwelling. The building permit will clearly stipulate that the building is an extension to the existing dwelling. A building permit cannot be approved until planning approval has been obtained. Preliminary advice from East Gippsland Building Permits has determined that the current plans as lodged with this application meet the requirements of an extension to a dwelling and is not considered to be a dwelling in its own right.
- The intended use of this building is to be used as part of and/or in conjunction with the existing dwelling and as such the determination that the proposal can be considered as an extension is deemed valid. The applicant has confirmed that it is not their intention to add in a laundry in the future. The two buildings will share services such as electricity and driveway access.
- It is our understanding that an application to install the waste disposal system has been made to the East Gippsland Shire Council, which includes the plumber's certification of the existing system. Given the certification by a plumber it is requested that a Land Capability Assessment not be required in this instance.
- In relation to the construction costs provided, I have sought clarification from the owners. Much of the works were undertaken with second hand materials and by the owners which significantly reduced the costs. In any event, I do not believe that the costs would exceed \$100,000 in order to require a different class of planning application fees.

We appreciate the concerns that you have raised in relation to the intent of the owners and possible works or changes that may occur following any planning and building approvals. As you will understand, we can only base our information on what is provided to us from the clients at the time. Any concerns in the future could be followed up by the East Gippsland Shire Council Enforcement Officer.

We trust that this information assists and enables this application to be assessed further.

Should you require any further information or wish to discuss any element of the above further, please do not hesitate to contact our office on 03 5152 4858.

Regards



Courtney Campbell
Development Solutions Victoria

Photograph 1: Internal photograph of outbuilding



Photograph 2: External photograph of outbuilding

