

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	40 Orchard Road LUCKNOW 3875 Lot: 2 PS: 505046
The application is for a permit to:	Use and Development of a Second Dwelling
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2024.237.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
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If you object, the Responsible Authority will tell you its decision.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 10640 FOLIO 660

Security no : 124116172275R
Produced 27/06/2024 12:39 PM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 505046L.
PARENT TITLES :
Volume 04612 Folio 212 Volume 09332 Folio 631
Created by instrument PS505046L 11/04/2002

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
TREVOR JAMES HERBSTREIT
RENEE NADINE GLASS
AB288232N 20/05/2002

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS505046L FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 40 ORCHARD ROAD LUCKNOW VIC 3875

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END



Imaged Document Cover Sheet

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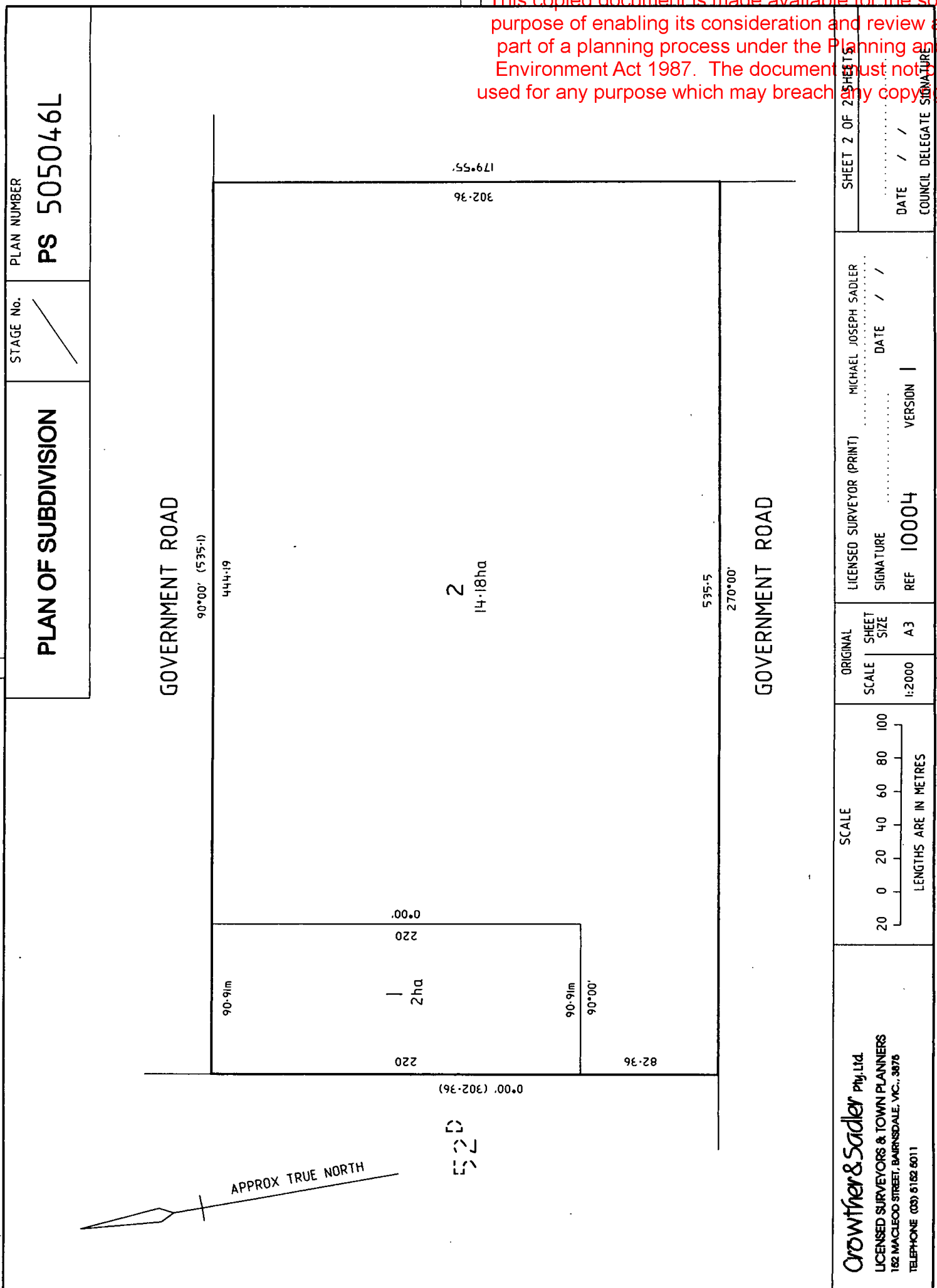
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APPLICATION FOR PLANNING PERMIT

USE AND DEVELOPMENT OF A SECOND DWELLING

40 ORCHARD ROAD, LUCKNOW
ROBIN GLASS
REF: 24053

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APPENDIX

A	Copy of Title and Plan of Subdivision
B	Proposed Development Plans
C	Land Capability Assessment

DOCUMENT REVISION

1	Draft Report	DAC	04/07/2024
2	Final Report	CMC	15/07/2024

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1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of Robin Glass the applicant for this planning permit application for the use and development of a second dwelling at 40 Orchard Road, Lucknow.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

Address	40 Orchard Road, Lucknow
Site Description	Lot 2 on Plan of Subdivision 505046L
Title Particulars	Vol 10640 Fol 660
Site Area	14.18 hectares
Proposal	Use and Development of a Second Dwelling
Planning Scheme	East Gippsland Planning Scheme
Zone	Rural Living Zone – Schedule 3
Overlays	Erosion Management Overlay Vegetation Protection Overlay – Schedule 1
Aboriginal Cultural Heritage	Partly identified as an area of Cultural Heritage Sensitivity
Permit Triggers	Clause 35.03-1 Rural Living Zone – Use Clause 35.03-2 Rural Living Zone – Buildings and Works
Notice	Exempt from notice at Clause 44.01-7
Referrals	Not Applicable
Work Authority Licence	Not Applicable
Planning Scheme requirements	Municipal Planning Strategy – Clause 02 Settlement – Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Planning Policy Framework – Clause 10 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Erosion and landslip – Clause 13.04-2S Built environment and heritage – Clause 15 Housing – Clause 16 Rural Living Zone – Clause 35.03 Decision guidelines – Clause 65

2. SITE CONTEXT

Site

The subject site is located at 40 Orchard Road, Lucknow. A copy of the Title and Plan of Subdivision is contained in **Appendix A**. The title is not affected by any restrictive covenants or agreements.

The site is irregular in shape with a total area of approximately 14.18 hectares and contains an existing dwelling and associated facilities.

The site is undulating in nature, contains scattered vegetation throughout, three large dams in the western portion of the site and two watercourses. Details of the site are depicted in the photographs provided below.

Access is existing via a gravel driveway along the southern boundary connecting directly to Orchard Road. Orchard Road is a gravel road with grassed shoulders extending approximately 650 metres before connecting to Great Alpine Road southeast of the subject site. Great Alpine Road in this location is a bitumen sealed road traversing in a northeast to southwest direction.

The subject site in relation Lucknow as well as the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2**.

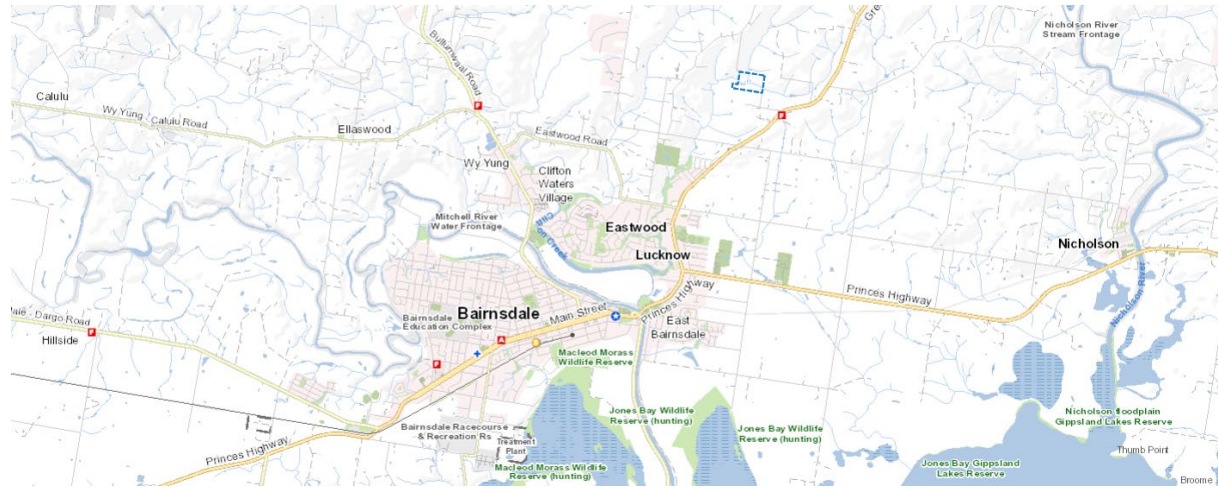


Figure 1 – Locality Plan – 40 Orchard Road, Lucknow (source: mapshare.vic.gov.au)



Figure 2 – Locality Plan – 40 Orchard Road, Lucknow (source: mapshare.vic.gov.au)

Surrounds

The land in this locality is mostly developed rural living land and farming land.

Adjoining the northern, eastern and western boundaries of the subject site comprises existing dwellings and associated facilities, with vacant farmland in the broader area. Adjoining the southern boundary is Orchard Road and further rural living development.

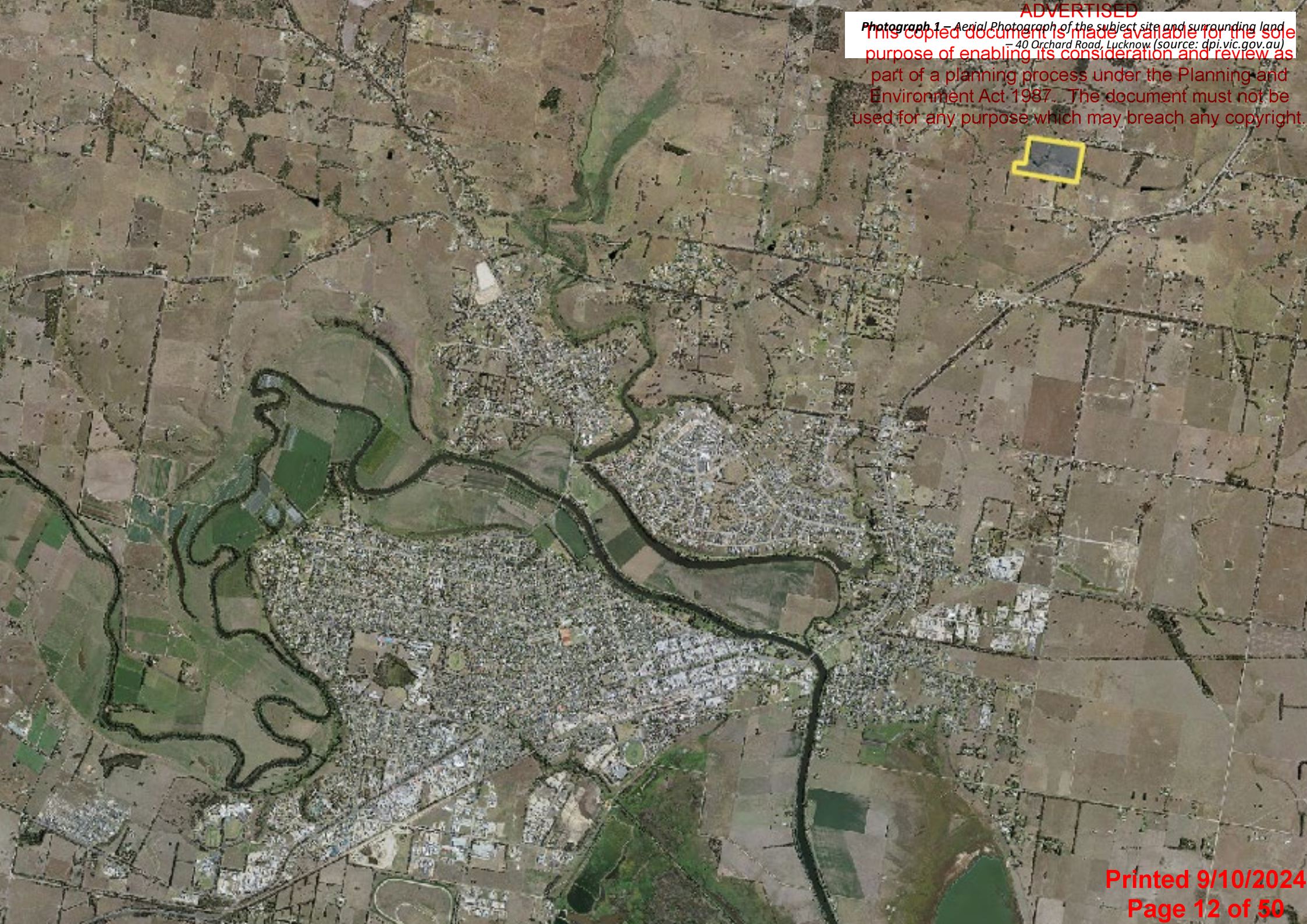
The subject site is located to the northeast of the central business district of Bairnsdale.

Lucknow is a suburb of Bairnsdale and is located approximately 7.7 kilometres northeast of the central business district. Bairnsdale is the main commercial and employment centre for East Gippsland, and it is supported by various smaller communities such as Orbost, Lakes Entrance and Bruthen. Bairnsdale and surrounding towns have a range of services and facilities.

The subject site in relation to Lucknow is shown in the aerial photograph below.



Photograph 1 – Aerial Photograph of the subject site and surrounding land
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Photograph 2 – Subject site at 40 Orchard Road, Lucknow.



Photograph 4 – Existing dwelling on subject site.



Photograph 6 – Existing outbuilding on subject site.



Photograph 3 – Existing driveway access to subject site.



Photograph 5 – Existing carport and outbuilding on subject site.



Photograph 7 – Further existing outbuildings on subject side.



Photograph 8 – Existing water tanks on subject site.



Photograph 10 – Access to proposed location for second dwelling.



Photograph 12 – Existing cattle yards on subject site.



Photograph 9 – Existing cattle yards on subject site.



Photograph 11 – Subject site facing north showing proposed location for second dwelling.



Photograph 13 – Subject site facing east showing proposed location for second dwelling.



Photograph 14 – Subject site facing south showing proposed location for second dwelling.



Photograph 16 – Neighbouring property adjoining eastern boundary at 30 Orchard Road, Lucknow.



Photograph 18 – Neighbouring property directly opposite the subject site to the south at 2 Cassandra Lane, Lucknow.



Photograph 15 – Subject site facing west showing proposed location for second dwelling.



Photograph 17 – Neighbouring Property adjoining western boundary at 70 Salmonds Road, Granite Rock.



Photograph 19 – Neighbouring property directly opposite the subject site to the south at 20 Cassandra Lane, Lucknow.



Photograph 20 – Orchard road facing north.



Photograph 21 – Orchard road facing south.

3. THE PROPOSAL

This application seeks approval for use and development of a second dwelling. The proposed development plans are contained in **Appendix B**.

The proposed second dwelling will be located centrally along the southern boundary with a setback of approximately 21.90 metres west of the existing dwelling and 17.80 metres to the southern boundary.

The proposed dwelling will be single storey and will have a total building footprint of approximately 206.84m². The overall height of the dwelling is 4.88 metres.

The finished material of the proposed dwelling includes a combination of weatherboards and Colorbond cladding, decking will be Modwood decking. The roof will be finished with Colorbond metal roof sheeting.

An extract of the north elevation and site plan is provided to the right and in **Appendix B**.

A new access point for the proposed second dwelling is proposed via a gravel driveway entering from the southern boundary directly from Orchard Road as indicated on the proposed development plans. The existing gravel driveway will remain unchanged and

continue to provide access to the main dwelling from Orchard Road.

The proposed second dwelling will connect to all available services including electricity, telecommunications and the existing road network. Water will be provided via a rainwater tank and wastewater will be treated and retained on site via a standard septic treatment system as recommended within the Land Capability Assessment contained in **Appendix C**.

No vegetation removal will be required to facilitate the proposed second dwelling. Some earthworks will be required and are indicated on the proposed development plans. Earthworks will not exceed 1 metre in depth.



Figure 3 – North elevation – Sands Building Design

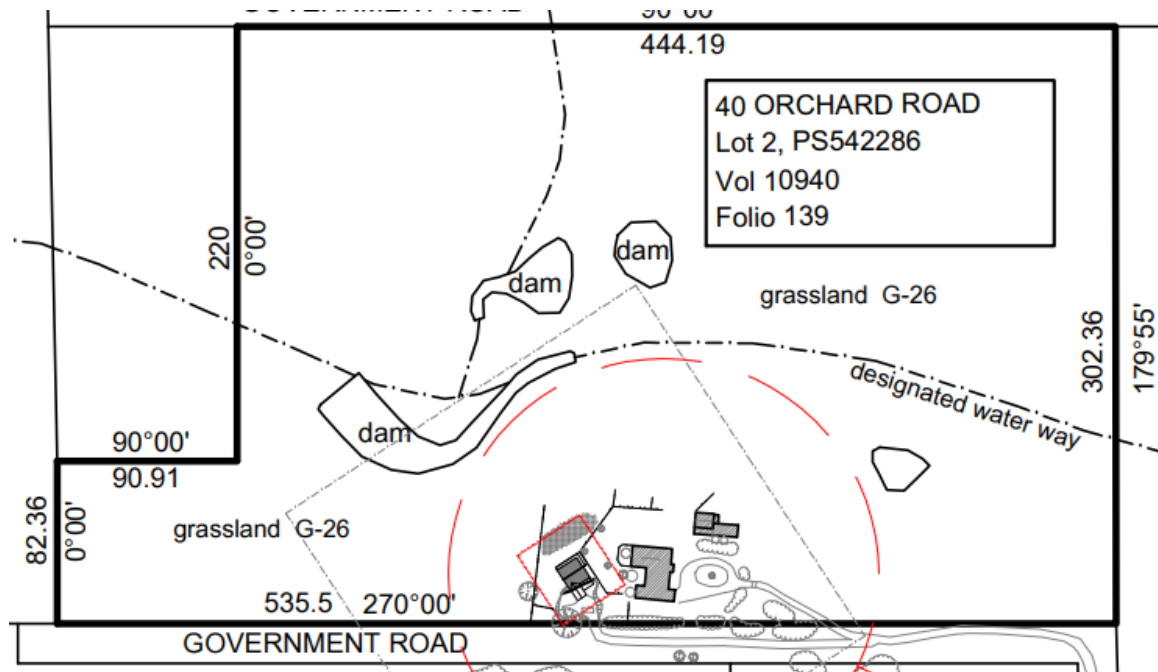


Figure 4 – Site Plan – Sands Building Design

4. ZONES AND OVERLAYS

Rural Living Zone – Schedule 3

The purpose of the Rural Living Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for residential use in a rural environment.
- To provide for agricultural land uses which do not adversely affect the amenity of surrounding land uses.
- To protect and enhance the natural resources, biodiversity and landscape and heritage values of the area.
- To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.

An extract of the Rural Living Zone Map is provided to the right in **Figure 5**.

Clause 35.03-1 provides a permit is required for the use of more than one dwelling on a lot and must meet the requirements of Clause 35.03-2. The proposed second dwelling meets the requirements of Clause 35.03-2.

Clause 35.03-4 provides a permit is required to construct a building with a use in Section 2 as such a permit is required for the use and development of a second dwelling, the relevant decision guidelines are addressed in Section 5 of this submission.

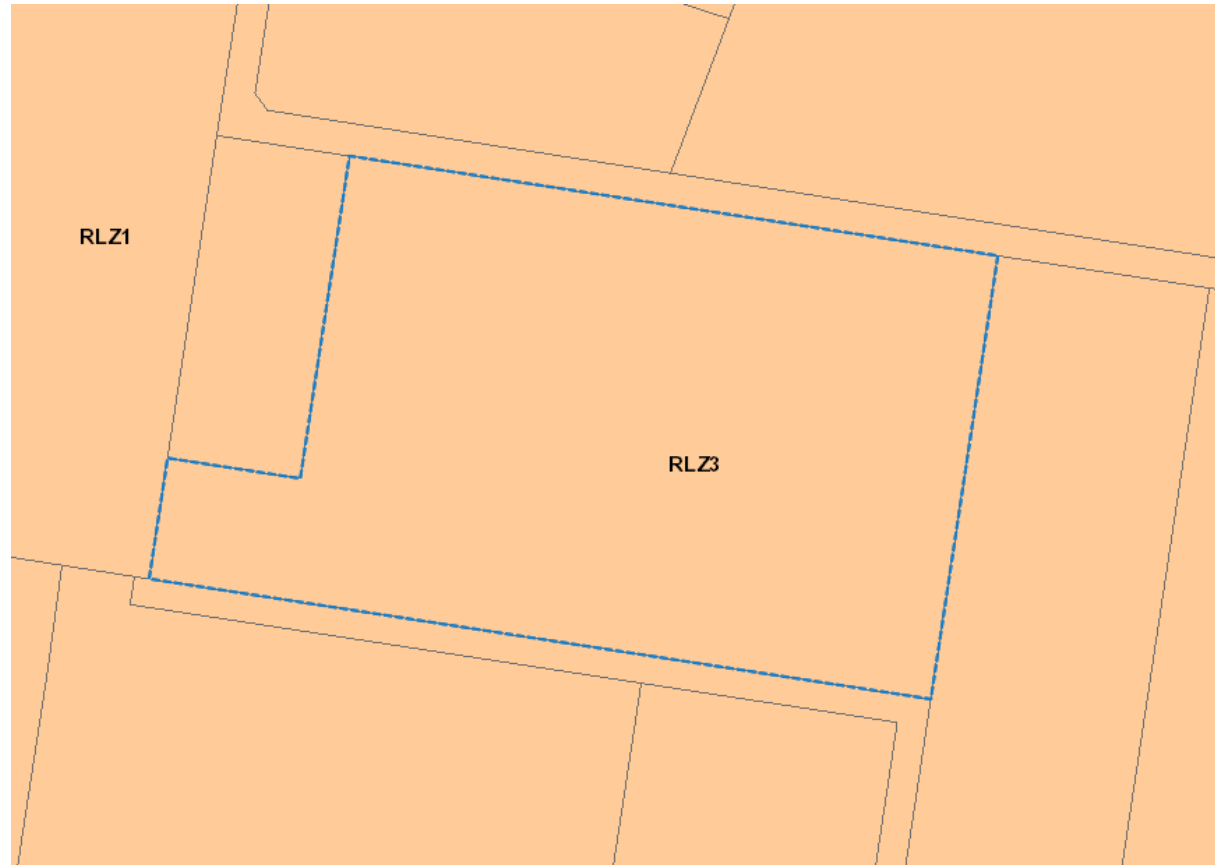


Figure 5 – Rural Living Zone – (source - mapshare.vic.gov.au)

Erosion Management Overlay

The purpose of the Erosion Management Overlay is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.*

An extract of the Erosion Management Overlay Map is provided to the right in **Figure 6**.

Clause 44.01-2 provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is required for more than one dwelling on a lot.

Preliminary advice sought from Robert Pringle advises: *Areas of the site are proposed to be removed from the Erosion Management Overlay pending Ministerial amendment to the scheme.* As such a permit is not required, this is not addressed further.



Figure 6 – Erosion Management Overlay – (source - mapshare.vic.gov.au)

Vegetation Protection Overlay – Schedule 1

The purpose of the Vegetation Protection Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas of significant vegetation.
- To ensure that development minimises loss of vegetation.
- To preserve existing trees and other vegetation.
- To recognise vegetation protection areas as locations of special significance, natural beauty, interest and importance.
- To maintain and enhance habitat and habitat corridors for indigenous fauna.
- To encourage the regeneration of native vegetation.

An extract of the Vegetation Protection Overlay Map is provided to the right in **Figure 7**.

The proposal is not seeking to remove, destroy or lop any vegetation. As such a permit is not required under the provisions of the Vegetation Protection Overlay. This is not addressed further.

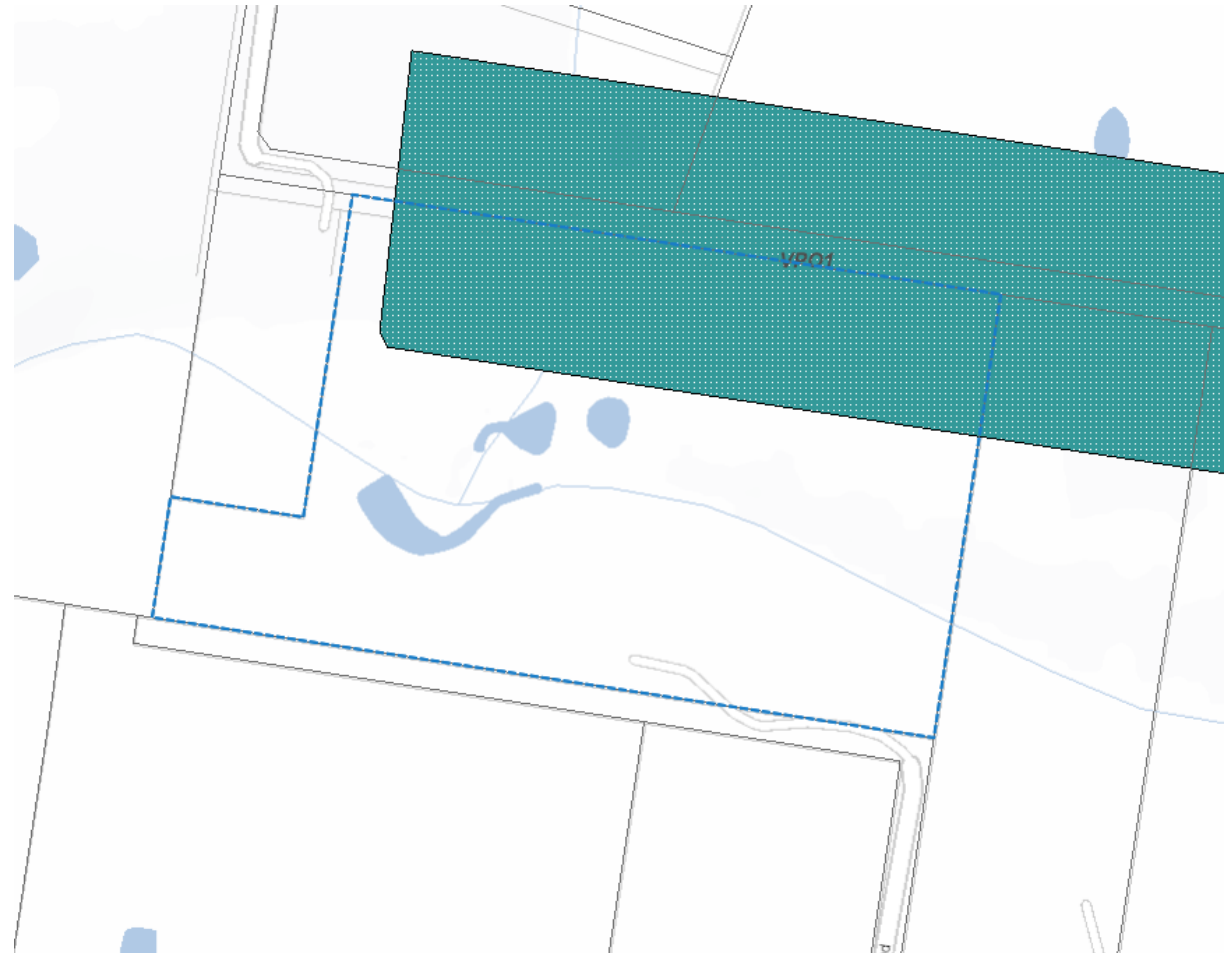


Figure 7– Vegetation Protection Overlay – (source - mapshare.vic.gov.au)

Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is partly recognised as being partially within an area of Aboriginal Cultural Heritage Sensitivity.

The use and development of a second dwelling is an exempt activity, as such a Cultural Heritage Management Plan is not required.

An extract of the Aboriginal Cultural Heritage Map is provided to the right in **Figure 8**.

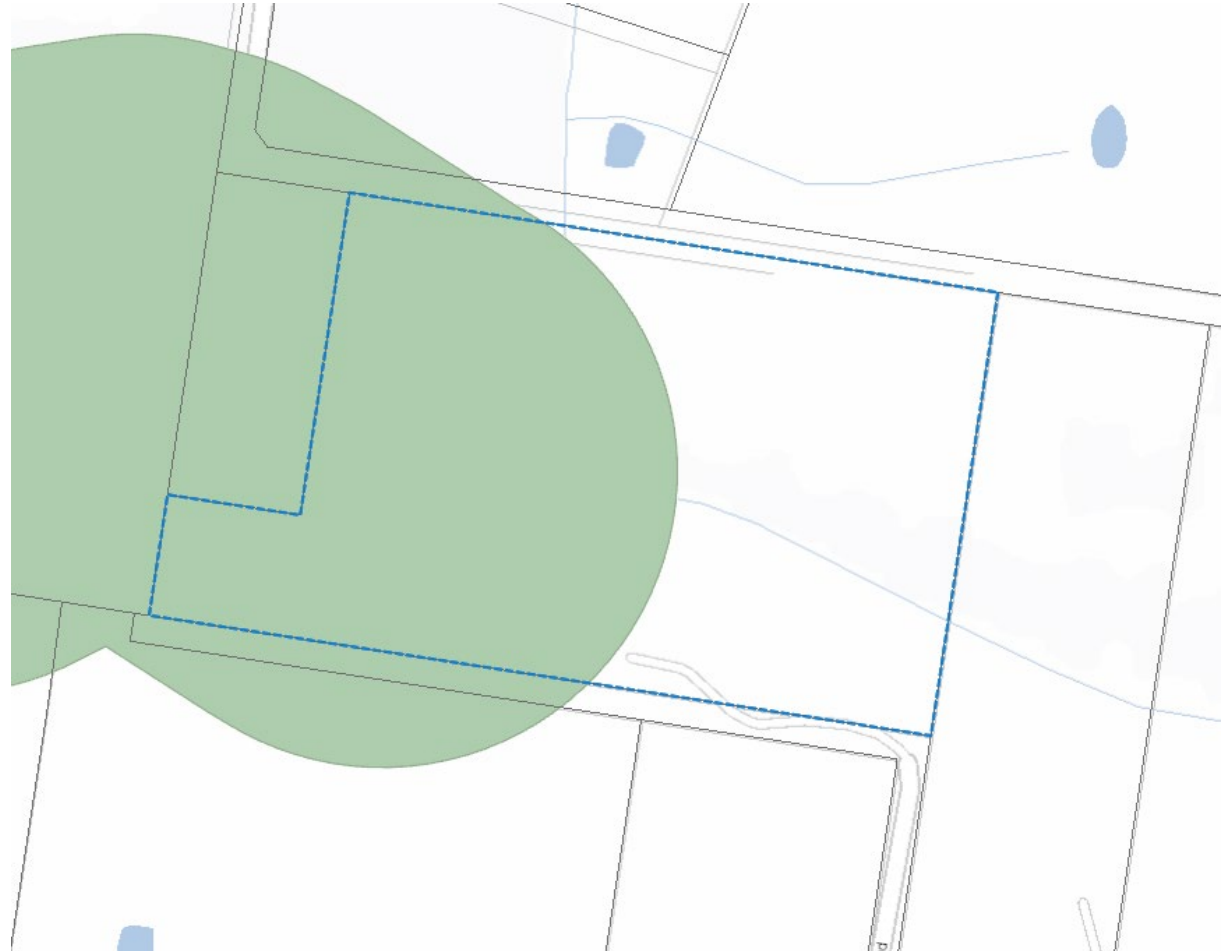


Figure 8 – Aboriginal Cultural Heritage Map – (source - mapshare.vic.gov.au)

5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate second dwelling that can be respectful of the existing surrounding development and the environment.
- The proposal will contribute to a high standard of environmental sustainability, urban design and amenity by designing the proposed second dwelling to meet the constraints of the land reducing any potential negative environmental implications as sought to achieve by the relevant clauses including **Clause 02.03** and **Clause 11**.
- **Clause 02.03-1** identifies Bairnsdale as a growth area town. Lucknow is a suburb of Bairnsdale. The proposed second dwelling will connect to all available services and infrastructure including electricity, telecommunications and a good quality road network. Wastewater will be treated and retained within the allotment

boundaries via a standard subsoil treatment septic system as recommended in the Land Capability Assessment contained in **Appendix C**. Water will be provided via a rainwater tank.

- **Clause 13.04-2S** requires consideration of erosion and landslip. The subject site and proposed development are within an area identified as being susceptible to erosion. Some earthworks will be required however, will not exceed 1 metre in depth. Standard erosion prevention measures will be undertaken during the construction phase of the proposed development to ensure no erosion hazards occur.
- The proposal meets the objectives of **Clause 16** by providing for a second dwelling within an existing rural living area, that will in turn support housing for the community.
- The proposal is consistent with the decision guidelines of the Rural Living Zone at **Clause 35.03-5** which seeks to provide for residential use in a rural environment.
- The proposed use and development of a second dwelling will result in an appropriate development that will be used for residential purposes. The proposed development will be located centrally along the southern boundary of the site and will have appropriate setbacks from the boundaries and the existing dwelling.

Access to the subject site is existing along the southern boundary and will continue to be used for the main dwelling. A new access point is proposed further west as indicated on the proposed development plans and will provide access to the proposed second dwelling. The increased traffic as a result of the proposal is unlikely to generate any negative impact on the existing road network.

- No vegetation is required to be removed to facilitate the proposal.
- This submission has addressed the decision guidelines of **Clause 65**, and the proposed use and development supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
- The proposed development is located a suitable distance from any waterways on the subject site.
- The proposed development supports additional residential development in an area that is suitable and as such is supporting the states objective for additional housing in appropriate locations.
- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.

6. CONCLUSION

This submission is in support of a planning permit application for the Use and Development of a Second Dwelling at 40 Orchard Road, Lucknow.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed development is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Rural Living Zone and the Erosion Management Overlay.
- The risks associated with erosion can be reduced to an acceptable level.
- The design of the building is complementary to the existing surrounding development and is consistent with the character of the area.

It is requested that a planning permit be granted for this development.

Development Solutions Victoria

DSV Ref: 24053

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Site Assessment for Wastewater Disposal for a dependent persons unit at No. 40 Orchard Road - Lucknow

INTRODUCTION

The property owners propose to install a dependent persons unit on the property that is located at No. 40 Orchard Road, in the Lucknow locality. Reticulated Sewerage is not available to this allotment, so on-site disposal of effluent is required for the new building. The installation of a new septic tank with sub-soil absorption trenches will be required for wastewater disposal from the new accommodation unit.

SITE CONDITIONS

The land under consideration is Lot 2 PS505046. The irregular shaped allotment is located on the north side of the Orchard Road about 0.65 km north west of the Great Alpine Road intersection. The property is within the Rural Living (RLZ) zone of the Planning Scheme and is 13.5 hectares in area. Vehicular access is initially along the constructed section of Orchard Road, and then to the north along an un-used road reserve, which continues to the west.

The land slopes generally to the north west and towards a defined waterway (being Goose Gully), which eventually drains to the Mitchell River backwater and then to the Gippsland Lakes. The property contains an existing residence, together with two sheds and several smaller outbuildings.

The proponent has placed pegs that show the location of the proposed dependant persons unit. The building site is set back approximately 18 metres from the south boundary and about 260 metres from the east fence line, and is about 21 metres west of the existing residence. Access to the building site will be provided by extending the existing formed and gravelled driveway along within the abutting road reserve, and then to a garage at the south end of the new DPU. The existing gravel surfaced driveway that continues to a turning area in front of the existing residence will be retained.

EXISTING WASTEWATER DISPOSAL

The proposed building site cannot be commanded by the septic tank at the site, which is just clear of the east side of the existing residence. Two subsoil absorption trenches that exist across the slope to the north have been further investigated, since the property owner has reported that one trench has become wet and soggy along part of its length following some recent wet weather.

Sufficient digging and probing was carried out to determine that 60 lineal metres of 700 mm wide subsoil absorption trench has been installed in two equal runs to the west. Generally, the trenches appear to be in good working condition, but it is likely that at least one trench has become blocked by tree roots from two (recently removed) nearby trees. Each of the two distribution pits were located, but not inspected due to them being covered with fill material.

It is recommended that some relatively minor repairs be carried out to reinstate the full efficiency of the existing trenches, as follows:-

- Un-cover the two existing distribution pits, clear the grass roots, and un-block the pipes (if needed)
- Inspect the subsoil absorption trenches (by rodding or by camera)

- Replace the short sections of trench that may be affected by ingress of tree roots
- Alternatively, install an additional length of new subsoil trench. This can be located above the first trench, or between the two existing trenches.

WASTEWATER DISPOSAL OPTIONS

It is considered that the installation of a new septic tank system will be the best wastewater disposal option for the proposed dependent persons unit. A suitable wastewater disposal site that exists down the slope just to the north of the building site was further investigated. This part of the lot slopes evenly towards the north west at a gradient of about 10% and has a good cover of pasture grasses and kikuyu. The soils encountered within the wastewater area consist of dark brown loamy topsoil and brown/grey to tan silty sand to 800 mm depth overlying bright orange clayey sand. Very sandy fine gravel to 800 mm, followed by orange/tan sandy clays were encountered at the building site.

DRAINAGE

The proposed wastewater disposal site is located on a uniform slope that is "linear planar" in shape, and adequately drained. The site is sufficiently clear of the drainage line (being Goose Gully) that also includes a small farm dam. The average annual rainfall for the site is 750 mm. The site is marginally affected by runoff from higher land to the south, so the installation of a shallow catch drain or a soil berm to redirect runoff past the site would be beneficial.

SITE ASSESSMENT

Sufficient soil sampling was carried out to estimate the design parameters for the site, and the previous soil percolation testing carried out at three adjacent sites has been referred to. A Design Soil Percolation Rate has been estimated, based on a visual assessment of the underlying silty to clayey gravels, and reference to Table 4.2A1 of AS1547. A Design Loading Rate (DLR) of 15 mm/day has been adopted for subsoil absorption trenches, based on the following criteria: - Soil Category 3; Loams; moderately structured and moderately well drained; K_{sat} 1.5 – 3.0 m/day; (Table 4.2A1 of AS1547).

The assessment is based on a design wastewater volume of 150 litres/person/day, in accordance with Table 4.1 - EPA Code 891.4 (Household with standard fixtures – reliable water supply). The dependant persons unit to be built at the site will contain two bedrooms together with a kitchen/living area, toilet and bathroom, and laundry facility, all with usual water efficient plumbing fixtures.

A design flow of 450 litres/day is appropriate for the proposed two bedroom unit and for a maximum of 3 occupants. The total length of 700 mm wide absorption trench required for the Design Wastewater Loading of 450 litres/day is 43 lineal metres.

The installation of 2 No. x 24 metre long runs of 700 mm wide trench is recommended.

CONCLUSION

Site analysis and soil percolation testing have indicated that the site is suitable for effluent disposal by subsoil absorption. The property contains sufficient area for installation of the required length of disposal trenches, providing that the plumber carefully plans the location of the septic tank and layout of the trenches to match the land slope. The suggested location of effluent disposal area is shown on the site plan, but this can be marginally varied due to the uniform soil profile to the north of the building site.

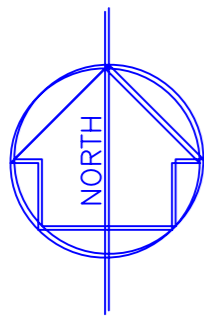
CONSTRUCTION DETAILS

The Septic Tank must be installed and maintained in accordance with EPA Certificate of Approval CA 1.1/03 and manufactured in accordance with the Australian Standard AS 1546-Small Septic Tanks, and must have a minimum capacity of 1800 litres.

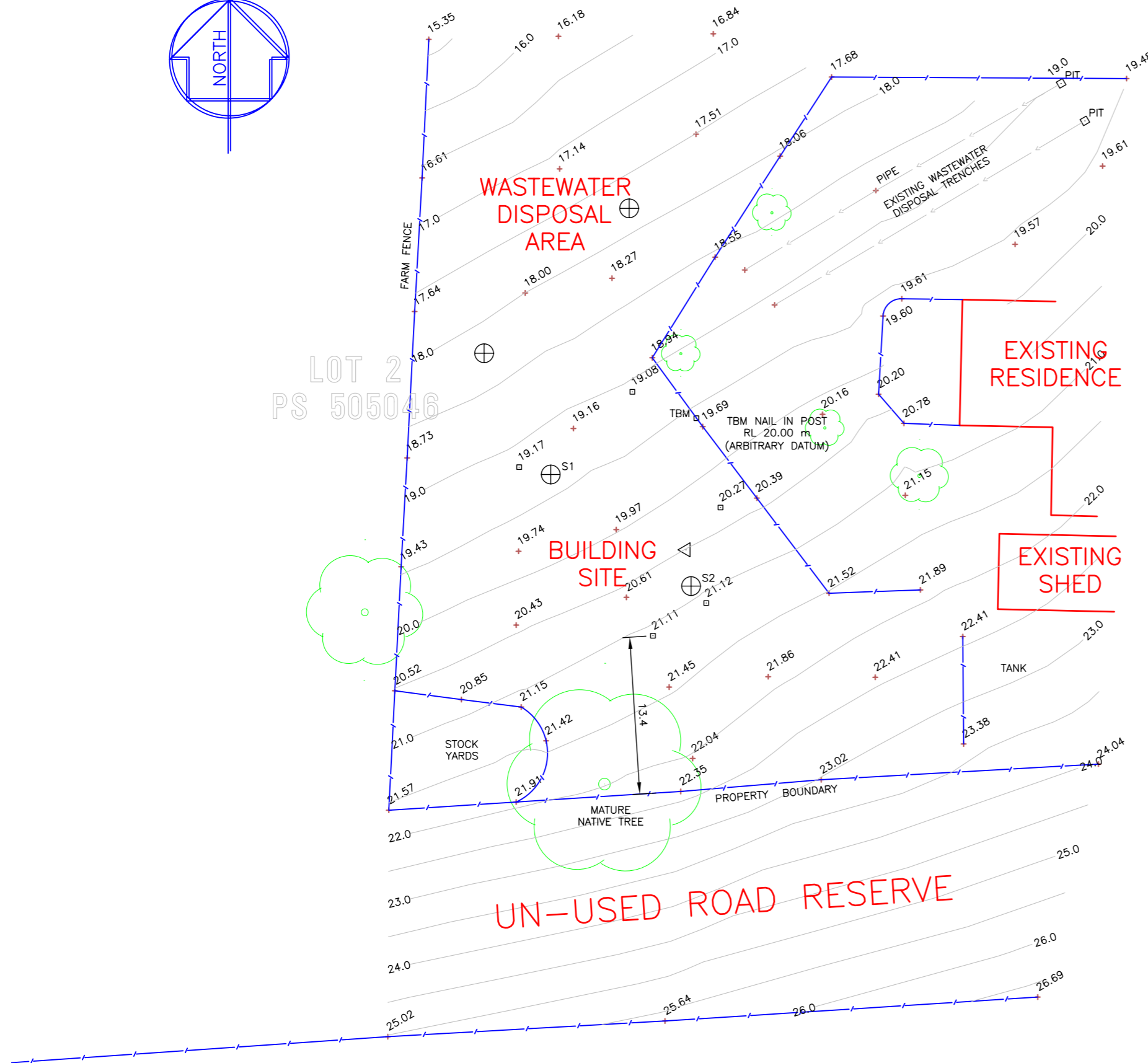
Construction of Absorption Trenches must be carried out in accordance with EPA Certificate of Approval CA 1.2/03. The recommended two runs of subsoil trench can be installed across the land slope, but planned to avoid the existing fences. Trenches should be suitably marked to ensure that they are not driven over by vehicles or heavy equipment. The Land Application Area (LAA) must not be grazed by livestock or horses.

Stormwater flows from the proposed residential unit and any water tanks must be discharged at a point well clear of the wastewater disposal site and preferably to a rock beached headwall well to the north towards the drainage line. The runoff from driveways and surfaced areas must continue to be directed away from the area.

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LOT 2
PS 505046



SITE PLAN

SCALE 1:400
NO. 40 ORCHARD ROAD

PROPERTY BOUNDARIES ARE APPROXIMATE ONLY. FOR EXACT LOCATION CONSULT A LICENSED SURVEYOR FOR A RE-ESTABLISHMENT SURVEY

STREETER Civil Engineering Services Pty Ltd	OFFICE LOCATION 81-101 BROOKS ROAD BRUTHEN	DESIGNED N STREETER	DESIGN FILENAME CIVILCAD V5.7 236901	PROJECT SITE INVESTIGATION NO. 40 ORCHARD ROAD - LUCKNOW	DRAWING SCALES 1:400
	P.O. BOX 126 BRUTHEN VIC 3885	DRAWN N STREETER	PLOT FILENAME AUTOCAD 2000 236901.dwg	CLIENT PROPOSED D.P.U. FOR MS ROBIN GLASS	DATE OCT. 2023
	PHONE (03) 5157 5362 MOBILE 0409 575362	CHECKED N STREETER			REVISION 0
		APPROVED			236901

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Results

SOIL PERCOLATION TEST RESULTS

Client: **Ms Robin Glass**
 Property Address: **40 Orchard Road, Lucknow**

Limited soil percolation testing has been carried out. A Design Soil Percolation Rate has been estimated, based on a visual assessment of the underlying silty sand soils, and reference to Table 4.2A1 of AS1547; being Soil Category 3; Loams; well structured and moderately well drained; indicative permeability Ksat 1.5 – 3.0 m/day

A Design Loading Rate (DLR) of 15 mm/day has been adopted for subsoil absorption trenches

SEPTIC TANK AND SUB-SOIL ABSORPTION

The dependent persons unit to be built at the site contains three bedrooms, kitchen, living area, bathroom, toilet and laundry. Allow for a maximum of four persons. Adopt design wastewater volume of 150 litres/person/day, in accordance with Table 4.1 EPA Code 891.4 (Household with standard water saving fixtures and reliable water supply)

Design Daily Flow 600 litres/day

Design Soil Percolation Rate	150	mm/hour	estimated from testing at other Orchard Road sites
Long-Term Absorption Rate	15.0	l/m ² /day	
Design Loading Rate	15.0	mm/day	
Design Daily Flow	450	litres/day	

Trench Width	Length of absorption trench required for design daily flow
300	100
500	60
700	43
1000	30

The installation of 2 No. x 24 metre long runs of 700 mm wide trench is recommended

SEPTIC TANK DESIGN

Minimum Tank Capacity	$C = (S \times P \times Y) + (P \times DF)$	=	1170	(litres)
where	C = effective capacity in litres			
	S = sludge/scum rate per person		80	From Table 3.1
	P = number of people using system		3	
	Frequency of use		100%	365 days/year
	Y = desludging frequency in years		3	
	DF = daily inflow (litres per person per day)		150	

ADOPT A SEPTIC TANK OF 1800 Litres (minimum) CAPACITY

STREETER CIVIL ENGINEERING SERVICES Pty Ltd.

Consulting Civil Engineer
(A.C.N. 072 946 760)

81 – 101 Brooks Road Bruthen
e-mail: streetercivil@bigpond.com

P O Box 126 Bruthen VIC 3885
Tel. 5157 5362

SITE CLASSIFICATION REPORT – DEPENDENT PERSONS UNIT
NO. 40 ORCHARD ROAD - LUCKNOW
JOB NUMBER- 236901 DATE: 17 OCTOBER 2023

GENERAL

This Soil Investigation consists of the drilling of 2 boreholes on the proposed site area using a hand auger. Disturbed soil samples collected have been subjected to visual examination and classification. The Borelogs, showing soil profiles are recorded on page SR2 as attached and forming part of this report. Bore locations are shown on site plan page SR3.

SITE DESCRIPTION

The property owners propose to install a dependent persons unit on the property that is located at No. 40 Orchard Road, in the Lucknow locality. The land under consideration is Lot 2 PS505046. The irregular shaped allotment is located on the north side of the Orchard Road about 0.65 km north west of the Great Alpine Road intersection. The property is within the Rural Living (RLZ) zone of the Planning Scheme and is 13.5 hectares in area. Vehicular access is initially along the constructed section of Orchard Road, and then to the north along an un-used road reserve, which continues to the west.

The land slopes generally to the north west and towards a defined waterway (being Goose Gully), which eventually drains to the Mitchell River backwater and then to the Gippsland Lakes. The property contains an existing residence, together with two sheds and several smaller outbuildings.

The proponent has placed pegs that show the location of the proposed dependant persons unit. The building site is set back approximately 18 metres from the south boundary and about 260 metres from the east fence line, and is about 21 metres west of the existing residence. Access to the building site will be provided by extending the existing formed and gravelled driveway along within the abutting road reserve, and then to a garage at the south end of the new DPU.

The soils encountered at the building site consist of dark brown loamy topsoil and brown/grey to tan silty sand/gravel to 800 mm depth overlying orange/tan sandy clays at greater depth. A small site excavation is needed to allow for a concrete slab at the garage, while the rest of the unit will be built using an elevated (steel framed) floor to account for the site slope.

DRAINAGE

The proposed site is located on a uniform slope that is “linear planar” in shape, and adequately drained. The site is sufficiently clear of the drainage line (being Goose Gully) that also includes a small farm dam. The average annual rainfall for the site is 750 mm. The site is marginally affected by runoff from higher land to the south, so the installation of subsurface drainage at the toe of the small excavation would be beneficial.

GEOLOGY

The Bairnsdale Geological Map SJ 55-7 describes the area as Tertiary Upper Pliocene age consisting of deposits of gravel, sand, silt and clays. The samples taken confirm this description.

SITE CLASSIFICATION

Samples from bores show that the classification of the site to be **MODERATELY REACTIVE (M)** in accordance with AS 2870.1 -2011 "**RESIDENTIAL SLABS AND FOOTINGS**". **NOTE:** These classifications are based on limited bores and should conditions vary after site excavation classification should be reassessed.

RECOMMENDATIONS

MODERATELY REACTIVE (M) SITES

It is recommended that basic footing details be in accordance with Section 3 of AS 2870.1 -2011 for soil Class M and that pad footings and concrete stumps be in accordance with AS 1684 – Residential Timber Framing Construction Manuals.

FOUNDING DEPTHS FOR FOOTINGS






STRIP FOOTINGS	600 mm
EDGE BEAMS	200 mm
PADS	600 mm

BEARING CAPACITIES

Generally the soil under the foundations will have a minimum Bearing Capacity of 100 kPa.

STREETER CIVIL ENGINEERING SERVICES Pty Ltd			
<i>Consulting Civil Engineer</i>			
(A.C.N. 072 946 760)			
81-101 Brooks Road Bruthen Victoria. 3885		Correspondence : P.O.Box 126, Bruthen Vic 3885	
e-mail: streetercivil@bigpond.com		Tel : (03) 5157 5362	
Client:	Ms Robin Glass	Job No:	236901
Job:	dependent persons unit	Date:	17-Oct-23
40 Orchard Road		Design:	Neil Streeter
Lucknow		Checked:	Neil Streeter

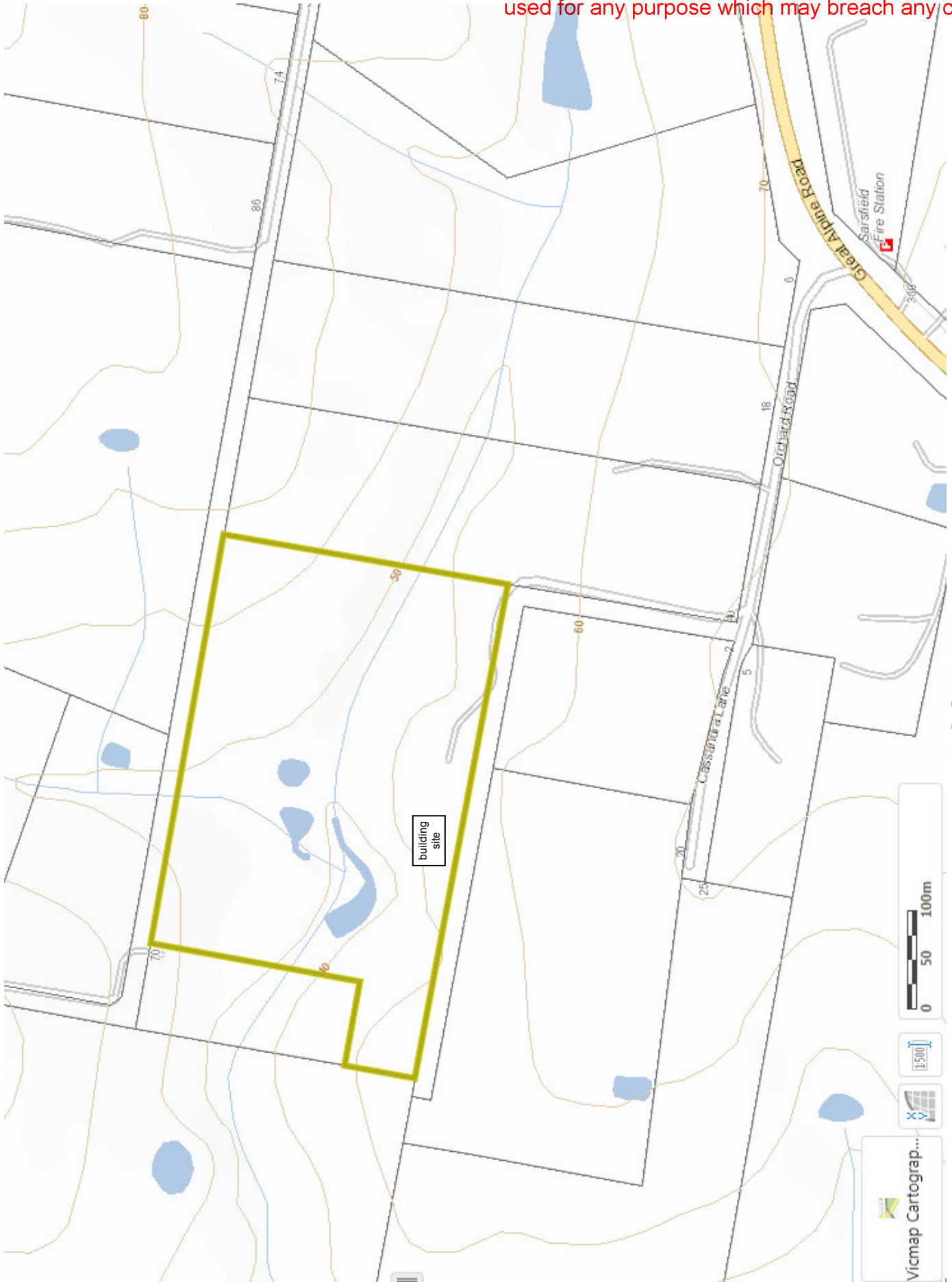
LOG OF HAND AUGER BORES

BORE No.	DEPTH		DESCRIPTION	REMARKS
S1	0		dark brown sandy loam topsoil;	
S3 - S5			damp	
	250		brown/grey fine silty sand, containing a few rounded stones; damp; loose and becoming firm with depth	
	500		tan silty fine gravel; firm; damp	
	800		bright orange clayey sand; damp; dense	
	1200		end of bore	
S2	0		dark brown sandy loam topsoil;	
	250		brown/grey fine silty sand, containing a few rounded stones; damp; loose and becoming firm with depth	
	600		tan silty fine gravel, with rounded stones to 30 mm size; firm; damp	
	800		tan/orange sandy clay; damp; dense	
	1200		end of bore	



SITE PHOTO

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STREETER CIVIL ENGINEERING SERVICES

Pty. Ltd.-

Consulting Civil Engineer

(A.C.N. 072 946 760)

81 – 101 Brooks Road Bruthen

P O Box 126 Bruthen VIC 3885

e-mail: streetercivil@bigpond.com

Tel. 5157 5362

Important Notes

1. The previous conclusions are based on limited bores and should conditions on site vary from the bore descriptions variation in footing sizes and depths may be necessary. It is recommended any variations be reported to the engineer.
2. Clays expand and contract because of moisture changes and even relatively stable clays will move appreciably if subject to extreme moisture conditions on the site. The builder is to make the owner aware of the following:
 - Leaking plumbing or blocked drains should be repaired promptly. Garden watering, especially by sprinklers should be controlled to avoid saturation of foundations. Proper garden maintenance should produce year round uniform moisture conditions.
 - Trees and shrubs can cause substantial drying of the soil and associated shrinkage of the clay. This effect is most likely to result in damage when added to the drying from a drought or long dry spell. This problem can be avoided by plating trees at substantial distances from the house. For complete protection against damage, trees should be avoided on reactive clay sites.
3. Some minor cracking, whilst undesirable, will occur in a significant proportion of houses on reactive clays. It is impossible to design a footing system that will completely protect a house under all circumstances.
4. Various construction and architectural details can be adopted to reduce the effect of movement.
 - articulation of brickwork
 - Flexible plumbing connection
 - Surface drainage of allotments to avoid water ponding against or near footings.
 - Subsoil drainage (refer to site plan page SR-3 and specification sheet page SR-1)
5. Any excavations required parallel to the footings should be kept at a suitable distance from the footings to prevent undermining. Service trenches should be filled with natural site clay in order to prevent rapid movement of soil moisture into the backfill.
6. All foundations and site works should be inspected by a competent person to ensure that subsurface conditions and site preparation procedures are in accordance with those outlined in the report. If any doubt exists then this office should be contacted immediately for further advice. We take no responsibility for any consequences arising from footing excavations either shallower or deepened beyond our recommended founding depths without our prior approval.
7. The use of standard footings as presented in AS2870-2011 is only applicable to building works with a loading and a construction style similar that of a residential dwelling as described in section 3.1 of AS2870-2011.

Our Ref: 24053

13th September 2024

Penny Cross
Statutory Planning Officer
East Gippsland Shire Council
PO Box 1618
Bairnsdale Vic 3875

Dear Penny,

**Re: Application for Planning Permit No: 5.2024.237.1
40 Orchard Road, Lucknow
Use and Development of a Second Dwelling**

We act on behalf of Robin Glass the owner of the land at 40 Orchard Road, Lucknow.

In response to your correspondence dated 1st August 2024, requesting further information in relation to the above application we offer:

- The plans have been modified to show:
 - The extent of the Erosion Management Overlay hazard in relation to the proposed second dwelling.
 - The relocation of the proposed cut area for the new gravel driveway to ensure suitable distance from the 'isolated tree'.
- A Geotechnical Risk Assessment waiver is provided.
- Response to Clause 44.01 and the applicable Schedule.

We trust that this information is sufficient to enable the application to proceed and a permit to be granted.

Should you require any further information or wish to discuss any element of the above further, please do not hesitate to contact our office on 03 5152 4858.

Regards



Courtney Campbell
Development Solutions Victoria

Response to Clause 44.01

The proposal is consistent with the decision guidelines of the Erosion Management Overlay at **Clause 44.01** which seeks to protect areas prone to erosion, landslip, other land degradation.

- The proposed second dwelling will be located within the area affected by the Erosion Management Overlay as indicated on the amended site plan. The proposal requires earthworks to create a level building surface and to provide vehicular access to the site, however, will not exceed 1 metre in depth.
- Disturbed ground will be appropriately battered and sown with grass to ensure no erosion occurs.
- The area required to be excavated for the proposed gravel driveway will be located a suitable distance from retained vegetation. No vegetation will be impacted or require removal as a result of the proposal.
- A Geotechnical Risk Assessment waiver is provided with this response that concludes the risks associated with erosion can be reduced to an acceptable level with the inclusion of standard erosion prevention measures, including the installation of silt fences along the northern side of the site works.
- The proposed location of the dwelling, whilst within the area affected by the Erosion Management Overlay is the most appropriate site requiring less earthworks than other locations. The proposed dwelling site is within proximity to the other existing buildings and services.

STREETER CIVIL ENGINEERING SERVICES Pty Ltd.

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P O Box 126 Bruthen VIC 3885
Tel. 5157 5362

GEOTECHNICAL RISK ASSESSMENT AND REPORT

FOR A PROPOSED SECOND DWELLING AT NO. 40 ORCHARD ROAD - LUCKNOW

JOB NUMBER- 236901

DATE: 03 SEPTEMBER 2024

GEOTECHNICAL HAZARD ASSESSMENT – WAIVER REQUEST

The property owners wish to construct a new second dwelling on the allotment that is located at No. 40 Orchard Road, about 200 metres west of the intersection of Orchard Road and Maria Place within the locality of Lucknow. The land under consideration is Lot 2 PS505046. The irregular shaped allotment is located on the north side of the Orchard Road about 0.65 km north west of the Great Alpine Road intersection. The property is within the Rural Living (RLZ) zone of the Planning Scheme and is 13.5 hectares in area. Vehicular access is initially along the constructed section of Orchard Road, and then to the north west along an un-used road reserve, which continues to the west.

The land under consideration is situated within an Erosion Management Overlay of the East Gippsland Planning Scheme, so the earthworks required to prepare the site for the second dwelling will trigger a requirement for the preparation of a Geotechnical Hazard Assessment. The geotechnical risk associated with the proposed works is considered to be low, so just a short-form geotechnical hazard assessment has been carried out for the area affected by the proposed building.

This short-form report has been prepared by Neil Streeter, who is a suitably experienced geotechnical practitioner, to demonstrate to the satisfaction of the responsible authority that a geotechnical risk assessment is low risk and will be adequately managed. Further, it is requested that the responsible authority reduce or waive the requirement for a detailed geotechnical risk assessment for the situation under consideration.

GENERAL

This Soil Investigation consists of the drilling of boreholes on the proposed site area using a hand auger. Disturbed soil samples collected have been subjected to visual examination and classification. A site features survey has been completed, together with a thorough site inspection.

SITE DESCRIPTION

The land slopes generally to the north west and towards a defined waterway (being Goose Gully), which eventually drains to the Mitchell River backwater and then to the Gippsland Lakes. The property contains an existing residence, together with two sheds and several smaller outbuildings.

The proponent has placed pegs that show the site location, and has provided architectural plans of the proposed second dwelling. The building site is set back approximately 18 metres from the south boundary and about 260 metres from the east fence line, and is about 22 metres west of the existing residence. Access to the building site will be provided by extending the existing formed and gravelled driveway to the west within the abutting road reserve, and then to the north to a garage at the south end of the new second dwelling.

Plans showing the proposed site works are attached, which demonstrate the measures to be implemented to ensure that the geotechnical risk level associated with the proposed works will remain low. These architectural plans of the proposed residence have been provided by the proponent.

SITE DRAINAGE

The proposed site is located on a uniform slope that is “linear planar” in shape, and adequately drained. The site is sufficiently clear of the drainage line (being Goose Gully) that also includes a small farm dam. The average annual rainfall for the site is 750 mm. Seepage or groundwater was not encountered in the excavated bores, but the proposed site excavation works will marginally alter the natural drainage of the site. The average annual rainfall for the site is 760 mm.

The installation of sub-surface drainage pipes will be required at the toe of all cut batters and retaining walls (if used) to intercept seepage. The proposed gravel surfaced vehicular driveway will be graded down to the garage entry at the south end of the second dwelling. The installation of a trench grate or shallow catch drain will be required to redirect surface runoff from the driveway to the underground stormwater drainage system.

GEOLOGY

The Bairnsdale Geological Map SJ 55-7 describes the area as Tertiary Upper Pliocene age tertiary deposits of gravel, sand, silt and clays. The samples taken confirm this description.

EROSION RISK

The building site and surrounds are undulating, evenly graded and not susceptible to land slip, subsidence or tunnel erosion. The vehicular access to the existing residence is well constructed and adequately drained, and is unaffected by the proposed works. Utility services are available at the existing residence, so minimal trenching works will be needed to carry out the connections to the proposed second dwelling.

EARTHWORKS

The proposed residence will be single storey, constructed at a consistent floor level. A relatively small site excavation is needed to allow for a concrete slab at the garage and to ramp the driveway down from the south property boundary, while the rest of the dwelling will be built using an elevated (steel or timber framed) floor to account for the site slope.

The soils encountered at the building site consist of dark brown loamy topsoil and brown/grey to tan silty sand/gravel to 800 mm depth overlying orange/tan sandy clays at greater depth.

A site features survey has been completed to accurately assess the extent of the required site works. The architectural plans show that the elevated building floor will be up to 1.6 metres in height above the natural ground level along the north side, while excavations up to 900 mm in depth will be needed to gain vehicular access to the proposed garage.

The topography and site location of the proposed second dwelling will necessitate that the site works will primarily comprise of an excavation for the proposed garage together with the ramped driveway. The building elevations show that fill batters or retaining walls will not be required. A small portion of the topsoil that is stripped from the building site will need to be stockpiled within a clear area just to the west to allow for easy access, and immediately used for re-spreading over the small cut batters along the driveway. The rest of the topsoil and fill material from the earthworks will need to be disposed of off site at an approved location.

SITE DRAINAGE

Stormwater runoff from roofed areas and also runoff from the impervious area of the site (driveway and paving) must be directly connected to the underground drainage system at the earliest opportunity. The architectural plans show that drainage will be directed to a rock beached headwall situated well down the slope to the north west of the building site.

PRECAUTIONS

It is considered that there is minor risk of soil erosion from the proposed building works providing that simple precautions are in place during construction, such as provision for drainage of site excavations (footings, service trenches), and the installation of silt fences along the north side of the site works. Also, measures to ensure that mud or silt from the building site is not "tracked" onto the existing road by vehicles entering and leaving the site must be installed and maintained. All excavated materials (being from the site works, the driveway and service trenches) must be immediately removed from the site and not stored or stockpiled on-site.

OVERSIGHT

All construction works associated with the construction of the residence (including the required retaining walls) will be in accordance with the Building Code of Australia, Australian Standards, a Building Permit and Planning Permit conditions.

Signed

Neil A Streeter (BE Civil)
Streeter Civil Engineering Services Pty Ltd



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BUSHFIRE ATTACK LEVEL
BAL-19
ALL CONSTRUCTION METHODS, BUILDING MATERIALS & PRE-FABRICATED PRODUCTS TO COMPLY WITH AS 3959-2009, SECTION 6

BOUNDARY NOTE:
TITLE BOUNDARIES ARE APPROXIMATE ONLY. FOR EXACT LOCATION & BEARINGS CONSULT A LICENSED SURVEYOR FOR A RE-ESTABLISHMENT SURVEY.

SITING NOTE:
BUILDING LOCATION IS APPROXIMATE ONLY. CONSULT A LICENSED SURVEYOR FOR EXACT LOCATION ON SITE PRIOR TO CONSTRUCTION.

VEGETATION NOTE:
NO VEGETATION TO BE REMOVED U.N.O.

LEVELS NOTE:
LEVELS ARE ARBITRARY DATUM ONLY.

WC DOOR:
PROVIDE APPROVED LIFT-OFF HINGES TO WC DOOR

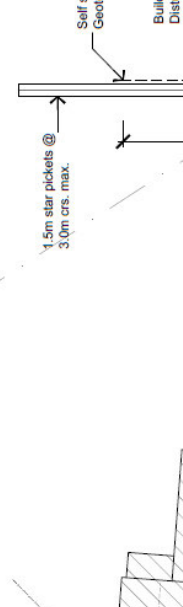
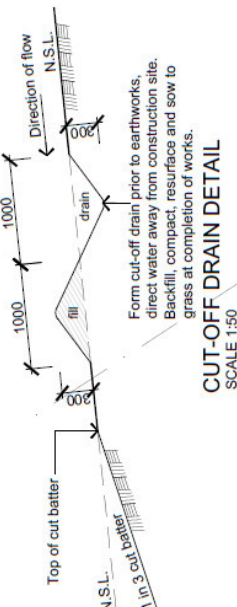
AREA ANALYSIS
DWELLING AREA 113.375sq.m
GARAGE 33.375sq.m
DECK (including ramp) 20.0sq.m
ROOF (excluding basement) 200.0sq.m

SITE
1:18 Ha

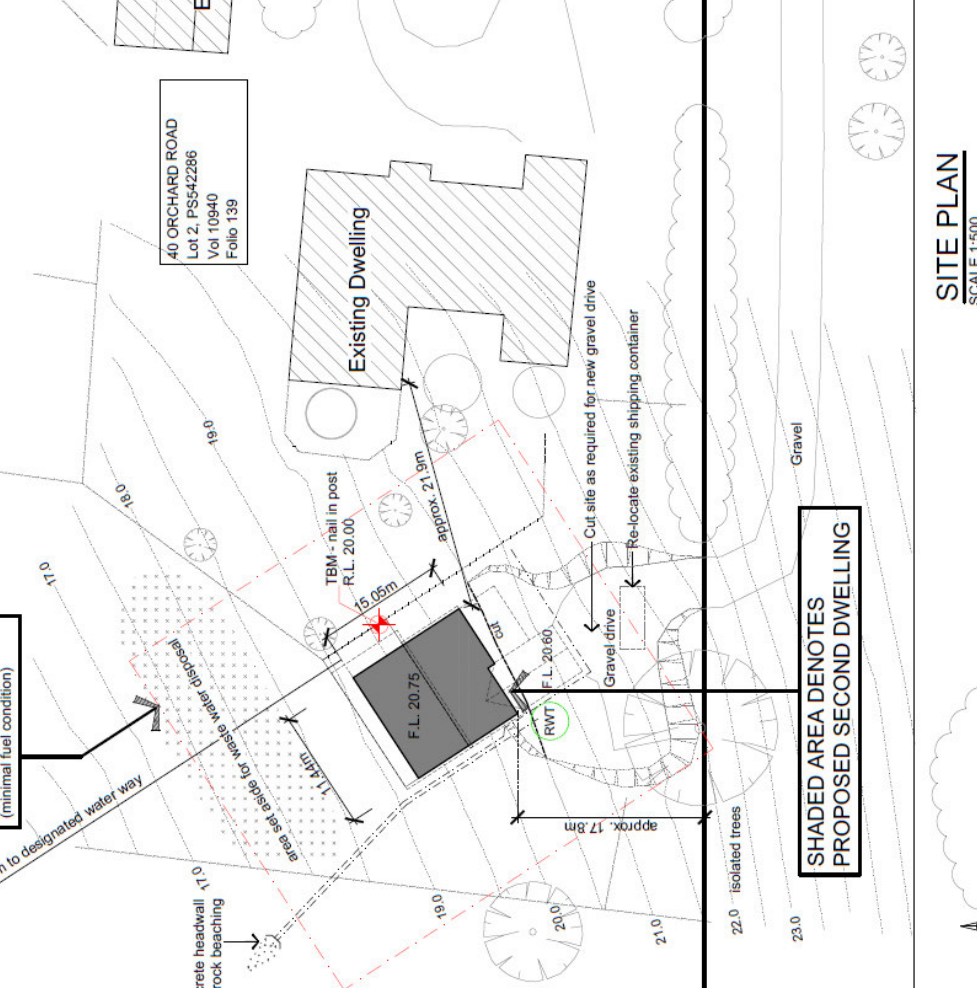
NO.	DATE	REVISION

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PROPOSED SECOND DWELLING ON A LOT
40 ORCHARD ROAD
LUCKNOW, VIC. 3636
CLIENT: ROBIN JAMES



- EROSION MANAGEMENT**
1. Restrict cut and fill to minimum necessary (0.9m max.) and stabilise all disturbed slopes as soon as possible.
 2. Establish 'Cut-Off Drain' above the upper limit of the cut batter to divert up-slope water around building site.
 3. Install 'Sediment Fence' along the low side of site immediately below the disturbed site, leave sufficient room for construction activities and stockpiles.
 4. Strip and stockpile topsoil within a sediment fence perimeter.



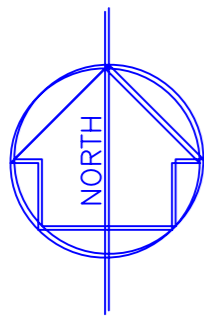
BAL NOTE:
Red Dash-Dot line denotes area within 17 metres (North) and 13 metres (other directions) of proposed Dependant Persons Unit - Grass to be kept below 100mm (minimal fuel condition)

SHADED AREA DENOTES PROPOSED SECOND DWELLING

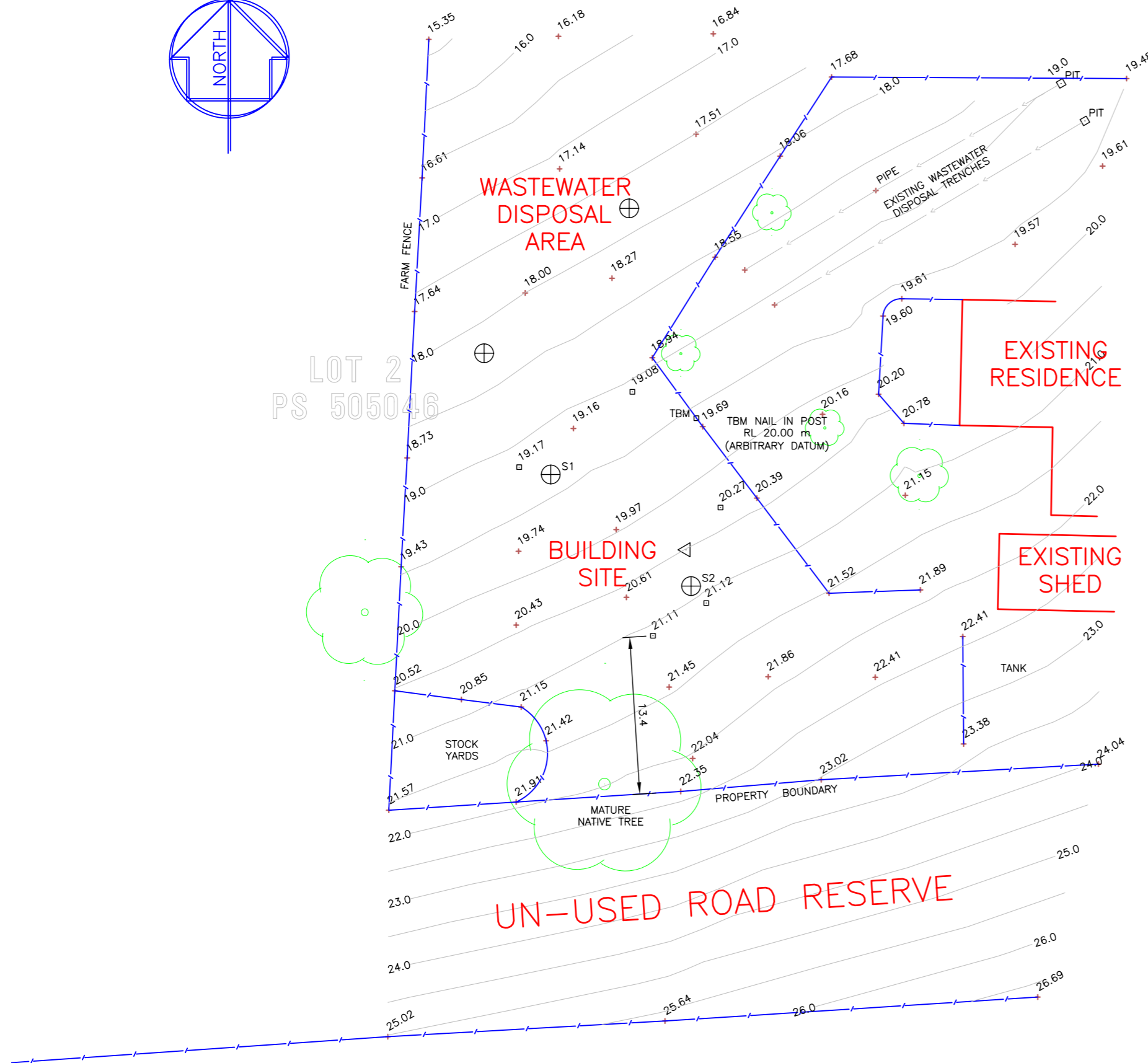
SITE PLAN
SCALE 1:500

SITE PLAN (Provided)

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LOT 2
PS 505046



SITE PLAN






SCALE 1:400
NO. 40 ORCHARD ROAD

PROPERTY BOUNDARIES ARE APPROXIMATE ONLY. FOR EXACT LOCATION CONSULT A LICENSED SURVEYOR FOR A RE-ESTABLISHMENT SURVEY

STREETER Civil Engineering Services Pty Ltd	OFFICE LOCATION 81-101 BROOKS ROAD BRUTHEN	DESIGNED N STREETER	DESIGN FILENAME CIVILCAD V5.7 236901	PROJECT SITE INVESTIGATION NO. 40 ORCHARD ROAD - LUCKNOW	DRAWING SCALES 1:400
	P.O. BOX 126 BRUTHEN VIC 3885	DRAWN N STREETER	PLOT FILENAME AUTOCAD 2000 236901.dwg	CLIENT PROPOSED D.P.U. FOR MS ROBIN GLASS	DATE OCT. 2023
	PHONE (03) 5157 5362 MOBILE 0409 575362	CHECKED N STREETER			REVISION 0
		APPROVED			PRINTED 9/10/2024

STREETER CIVIL ENGINEERING SERVICES Pty Ltd			
<i>Consulting Civil Engineer</i>			
(A.C.N. 072 946 760)			
81-101 Brooks Road Bruthen Victoria. 3885		Correspondence : P.O.Box 126, Bruthen Vic 3885	
e-mail: streetercivil@bigpond.com		Tel : (03) 5157 5362	
Client:	Ms Robin Glass	Job No:	236901
Job:	dependent persons unit	Date:	17-Oct-23
	40 Orchard Road	Design:	Neil Streeter
	Lucknow	Checked:	Neil Streeter

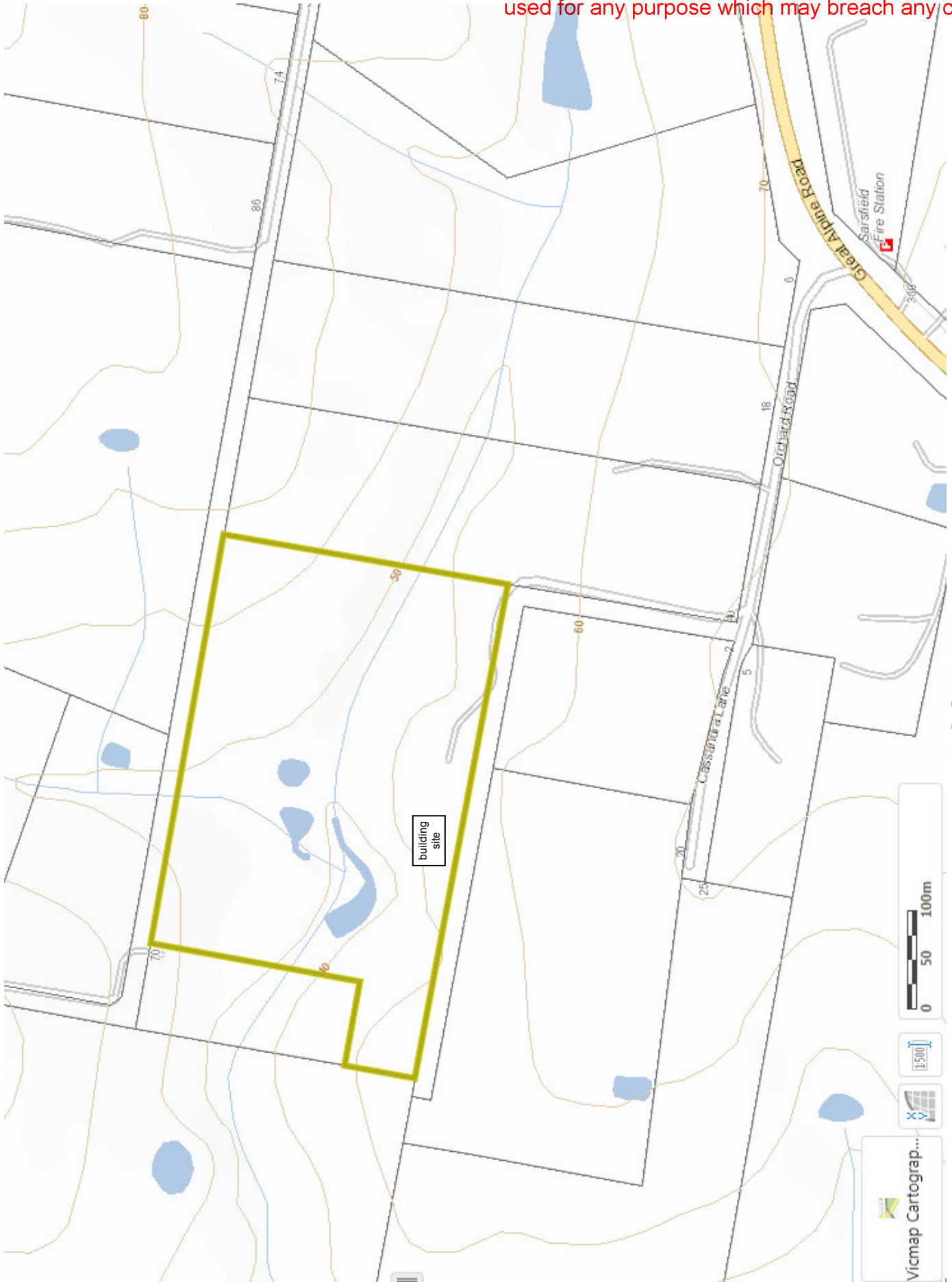
LOG OF HAND AUGER BORES

BORE No.	DEPTH		DESCRIPTION	REMARKS
S1	0		dark brown sandy loam topsoil;	
S3 - S5			damp	
	250		brown/grey fine silty sand, containing a few rounded stones; damp; loose and becoming firm with depth	
	500		tan silty fine gravel; firm; damp	
	800		bright orange clayey sand; damp; dense	
	1200		end of bore	
S2	0		dark brown sandy loam topsoil;	
	250		brown/grey fine silty sand, containing a few rounded stones; damp; loose and becoming firm with depth	
	600		tan silty fine gravel, with rounded stones to 30 mm size; firm; damp	
	800		tan/orange sandy clay; damp; dense	
	1200		end of bore	



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LOCALITY PLAN

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PROPOSED SECOND DWELLING ON A LOT 40 ORCHARD ROAD, LUCKNOW, VIC. 3875

GENERAL NOTES:-

0. Site Information

- 0.1 Land Description, Lot 2, PS 505046, Volume 10640, Folio 660
- 0.2 Region: A
Terrain Category: TC 2
Shielding Classification: NS
Topographic Classification: T2
Wind Classification: N3
- 0.3 Soil Classification, refer Engineers Soil Report prepared by: Streeter Civil Engineering Services Pty Ltd
Dated: 17 Oct. 2023, Job No. 236901

1. General

- 1.1 Written dimensions take precedence over scale, all dimensions are in millimetres U.N.O.
- 1.2 Materials and work practices shall comply with but not limited to Building Regulations 2018, National Construction Codes Series 2022 Building Code of Australia Vol 2, 2022 ABCB Housing Provisions and all relevant current Australian Standards
- 1.2.2 Unless otherwise specified, the term BCA 2022 shall refer to National Construction Codes Series 2022 Building Code of Australia Vol. 2. The term ABCB HP shall refer to 2022 Australian Building Codes Board, Housing Provisions Standard.
- 1.3 These plans shall be read in conjunction with any relevant structural and/or civil engineering computations and drawings related to this project.
- 1.4 The builder shall take all steps necessary to ensure the stability of new and existing structures during all works.
- 1.5 The builder & subcontractors to verify all levels, dimensions, setbacks and specifications and all other relevant documentation prior to commencement of works. Report all discrepancies to this office for clarification.
- 1.6 All previously issued drawings marked preliminary shall now be considered void
- 1.7 Exact set out of residence to be determined on site and shall be verified by Owner, Builder and Building surveyor

2. Footings

- 2.1 Soil classification to AS 2870. Refer Engineers Soil Report.
- 2.2 Concrete to be N20 grade unless noted otherwise.
- 2.3 Dimensions and Reinforcements shown are minimum requirements of AS2870.1.
- 2.4 The owners attention is drawn to Appendix A of AS2870.1. "Performance Requirements and Foundation Maintenance".
- 2.5 Footings not to encroach title boundaries and easement lines.

3. Termite Treatment

- 3.1 Where required termite treatment to comply with 2022 BCA Vol 2. Part H1 (o), ABCB HP Part 3.4 and in accordance with AS1694 or AS3360.

4. Drainage

- 4.1 Stormwater, spoon and sub-soil drains shall be taken to legal point of discharge (LPD).
- 4.2 Sewer or septic system shall be in accordance with the relevant authority requirements.
- 4.3 The Builder and Subcontractors shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and / or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system
- 4.4 The Builder to provide sub soil drainage ie. 100mm socked agi drain at the base (up-slope) of all retaining walls and at the base of footings where there is a possibility of water to enter under building or slab. Agi drains to be connected to legal point of discharge.

5. Brickwork

- 5.1 Provide wall ties to brickwork at maximum 600mm crs. in each direction and within 300mm of articulation joints.
- 5.2 Spacing of wall ties to top and sides of openings to be halved.
- 5.3 In areas less than 1km from sea or in heavy industrial areas wall ties shall be either:
Galvanised sheet steel min. Z 600 or
Galvanised wire min. 470g/m2, or
Grade 316 stainless steel, or
Engineered polymer ties.
- 5.4 Provide damp proof course, cavity flashing and weep holes in accordance with 2022 BCA Vol. 2, Part H1D5, ABCB HP Section 5 and AS4773
- 5.5 Provide vertical articulation joints in accordance with ABCB HP Part 5.6.8

6. Timber

- 6.1 For Climate Zone 'C', provide sub-floor ventilation to timber floors to achieve 6000sq.mm/metre run of perimeter wall in accordance with 2022 ABCB HP, Part 6.2.1 table 6.2.1a and Figures 6.2.1.b: and 6.2.1.c:
- 6.2 Generally provide minimum clearance from underside of bearer to finished ground level of 400mm
- 6.3 Design wind classification: Refer Structural Engineers drawings
- 6.4 All timber sizes, wall and roof framing, fixing and bracing shall be in accordance with 2021 AS 1684.2 and AS 1684.4 Residential timber-framed construction manuals parts 1-4 and TPC Timber Framing Span Tables.

7. Wet Areas

- 7.1 All wet areas to comply with 2022 BCA Vol 2 H4O1, ABCB HP Part 10.2 and AS 3740.

8. Building Fabric

- 8.1 Minimum R value of element as per 2022 BCA, Vol 2, H6D2 and ABCB HP, Part 13.2
- 8.2 Any Sarking must have a flammability index of not more than 5.
- 8.3 All sarking and sisalation to be approved vapour permeable in accordance with AS/NZ 4200.1
- 8.4 See Bush Fire Attack Level (BAL) notes for further information on sarking requirements.

9. Doors, Windows & Glazing

- 9.1 All glass and glazing to conform with 2022 BCA, Vol 2 Section H, Part H1D8 3.6. ABCB HP Part 8, AS1288 and AS2047
- 9.2 Window sizes and type are nominal and may vary according to selected manufacturer. Site measure prior to fabrication.
- 9.3 Provide safety glass to shower screens & windows over baths in accordance with AS1288
- 9.4 All doors, windows, gaps & cracks to be sealed
- 9.5 All external doors to be weather stripped
- 9.6 All external doors and windows to be installed to manufacturers specification and flashed all round.
- 9.6 Refer to Energy Raters thermal assessment and BAL Assessment for further information and special glazing requirements.

10. Smoke Detectors

- 10.1 Smoke alarms to be installed in accordance with 2022 BCA, Vol 2, Part H3, ABCB HP Part 9.5 and to comply with AS3786, hard wired to electric mains with battery back-up.

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12. Driveways and Excavations

- 12.1 New driveways and crossovers to be in accordance with local requirements and owner/builder shall obtain relevant permits prior to commencement of work.
- 12.2 Any excavations, extent and position of any fill or stockpiling to verified on site with Owner/Builder
- 12.3 Control drainage and erosion during the course of construction by use of suitable silt traps and sediment basins, no flow to be directed or discharge over any adjoining property. Soil disturbance to be kept to a minimum, cut and fill batters to be no steeper than 1 in 2 grade U.N.O. Provide 100mm of top soil to all disturbed areas and sow to grass as soon as practicable after construction works have been completed.

13. Stairs, Steps & Balustrades

- 13.1 Stairs and steps: maximum riser(R) 190mm, minimum riser(R) 115mm, maximum going(G) 355mm, minimum going (G) 240mm, slope relationship (2R+G), minimum head room above nosing of stair 2000mm, Maximum 125mm vert. gap between treads on stringer stairs.
- 13.2 Barriers and Handrails in accordance with ABCB HP Part 11.3. Handrails to minimum 865mm above nosing of stairs and 1050mm above balconies and landings with maximum 125mm between rails or balustrades (except wire balustrades refer 13.3 below). Provide balustrades where balconies or landings exceeds 1000mm above adjacent finished surface level.
- 13.3 Wire balustrade construction to comply with 2022 BCA, Volume 2 Part H5V1 for Class 1 and 10 buildings and ABCB HP Part 11.3.6

14. Stormwater & Roof Drainage

- 14.1 All roofing, gutters, downpipes, drainage etc. to be installed in accordance with 2022 BCA Volume 2, VIC Part E3 & E4 and AS3500.3
- 14.2 Drawings show suggested location for downpipes, exact number of downpipes and locations to be determined on site by Builder, Plumber and Owner. Each downpipe must not serve more area than the catchment area calculated in accordance with AS3500.3 Section 3.5.4
- 14.3 Builder to ensure that a downpipe is located as close as possible of an internal roof valley or provide slotted spouting or gutters (overflow)
- 14.4 Valley gutters on a roof less than 12.5 degrees -- must be designed as a box gutter with a minimum width of 300mm.
- 14.5 Stormwater line to be laid to a minimum grade of 1:100 and connected to the legal point of discharge. Provide inspection openings @ 9000mm C/C and at each change of direction. The cover to underground stormwater drains shall not be less than: 100mm under soil
50mm under paved or concrete areas
100mm under unreinforced concrete or paved driveways
75mm under reinforced concrete driveways

15. Rescode

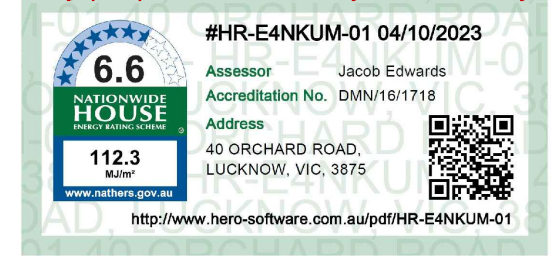
- 15.1 Building and siting to comply with current Rescode, designer to be notified if any discrepancies are found by surveyor/builder/owner prior to construction or any site works

16. Energy Efficiency

- 16.1 Energy efficiency to be in accordance with 2022 BCA, Vol 2 Part H6 and ABCB HP part 13, all designs shall be constructed in accordance with the approved plans as provided and stamped by the accredited Energy Rater without alteration.

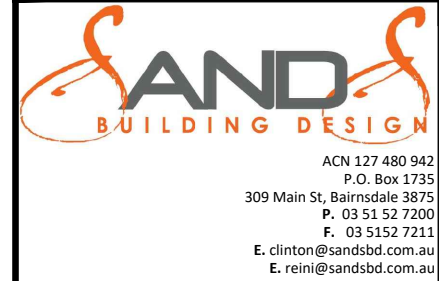
17. Rain Water Tank

- 17.1 A rainwater tank must be installed in a Class 1 Building in accordance with Regulations made under the Building Act 1993, Schedule 10 Victoria - Section B and in accordance with NCC 2022 Vol 3, Part B1 clauses VIC B6D2 and VIC B7D4.
- 17.2 The rainwater tank must have a minimum capacity of 2,000 litres, have a catchment area from a roof of at least 50sq.m and be connected to all sanitary flushing systems within a building.
- 17.3 Where it is necessary to connect both rainwater and drinking water for flushing purposes, the drinking water supply must be protected against backflow, either by providing an air gap or installing a backflow prevention device.



BUSHFIRE ATTACK LEVEL
BAL- 19
ALL CONSTRUCTION METHODS, BUILDING MATERIALS & PRE-FABRICATED PRODUCTS TO COMPLY WITH AS 3959-2009, SECTION 6

DRAWING INDEX		
DESCRIPTION	DRG. No.	Rev.
ARCHITECTURAL NOTES	A0	
LOCALITY PLAN	A1	
SITE PLAN	A2	
FLOOR PLAN	A3	
ROOF PLAN	A4	
ELEVATIONS	A5	
ELEVATIONS	A6	
SECTION - NOT ISSUED	A7	
SECTION - NOT ISSUED	A8	
BAL NOTES	A9	



NO.	DATE	REVISION	BY

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**PROPOSED SECOND DWELLING ON A LOT
40 ORCHARD ROAD
LUCKNOW, VIC. 3875**

CLIENT	ROBIN GLASS
JOB NO.	23869
DATE	11/06/2024
DESIGNED BY	CDP-AD 58137
DRAWN BY	RJS
DESCRIPTION	STANDARD NOTES
ISSUE	PLANNING
SCALE	N/A sheet size - A3

DRAWING NO. REVISION

THESE NOTES ARE A SUMMARY ONLY, REFER TO 2022 BCA VOLS. 2 & 3, ABCB HOUSING PROVISIONS AND RELEVANT STANDARDS FOR FURTHER DETAILS.

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HERO E4NKUM 01-04/10/2023

NATIONWIDE HOUSE ENERGY RATING SCHEME

Accreditation No. DMN/16/1718

Address
 40 ORCHARD ROAD,
 LUCKNOW, VIC. 3875

112.3 MJ/m²

www.nathere.gov.au

http://www.hero-software.com.au/pdf/HR-E4NKUM-01

BUSHFIRE ATTACK LEVEL

BAL- 19

ALL CONSTRUCTION METHODS, BUILDING MATERIALS & PRE-FABRICATED PRODUCTS TO COMPLY WITH AS 3959-2009, SECTION 6

BOUNDARY NOTE:
 TITLE BOUNDARIES ARE APPROXIMATE ONLY, FOR EXACT LOCATION & BEARINGS CONSULT A LICENSED SURVEYOR FOR A RE-ESTABLISHMENT SURVEY

SITING NOTE:
 BUILDING LOCATION IS APPROXIMATE ONLY, OWNER/BUILDER/SURVEYOR TO CONFIRM EXACT LOCATION ON SITE PRIOR TO CONSTRUCTION

VEGETATION NOTE:
 NO VEGETATION TO BE REMOVED U.N.O.

LEVELS NOTE:
 LEVELS ARE ARBITRARY DATUM ONLY.

AREA ANALYSIS

DWELLING AREA	113.37Sq.m
GARAGE	37.36Sq.m
DECK (including ramp)	38.70 Sq.m
ROOF (excluding laserlight)	206.84 Sq.m
SITE	14.18 Ha.

SANDS BUILDING DESIGN

ACN 127 480 942
 P.O. Box 1735
 309 Main St, Bairnsdale 3875
 P. 03 51 52 7200
 F. 03 5152 7211
 E. clinton@sandsbd.com.au
 E. reini@sandsbd.com.au

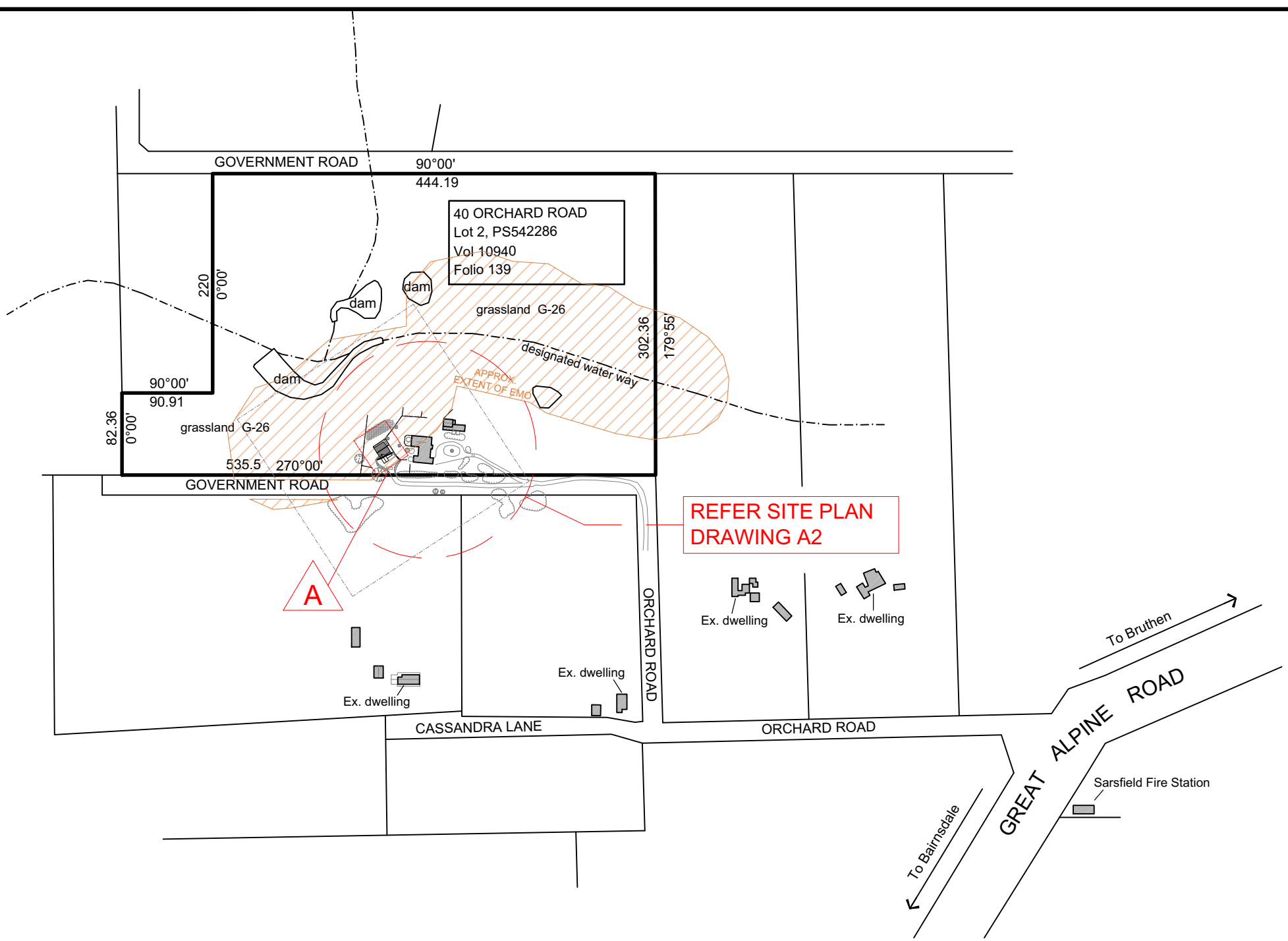
NO.	DATE	REVISION	BY
A	02/09/24	Driveway moved to clear existing tree	RJS
B	10/09/24	EMO extent added	FN

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PROPOSED SECOND DWELLING ON A LOT 40 ORCHARD ROAD LUCKNOW, VIC. 3875

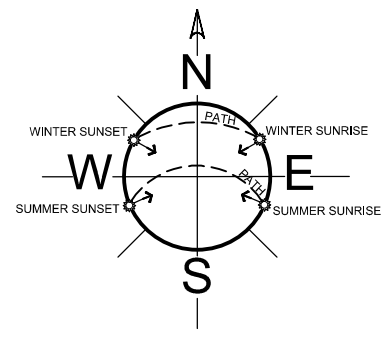
CLIENT	ROBIN GLASS
JOB NO.	23869
DATE	11/06/2024
DESIGNED BY	CDP-AD 58137
DRAWN BY	RJS
DESCRIPTION	LOCALITY PLAN
ISSUE	PLANNING
SCALE	1:5000 sheet size - A3

DRAWING NO. REVISION



REFER SITE PLAN DRAWING A2

LOCALITY PLAN
 SCALE 1:5000



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WARNING
 BEWARE OF UNDERGROUND SERVICES
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HERO E4NKUM 0104/10/2023

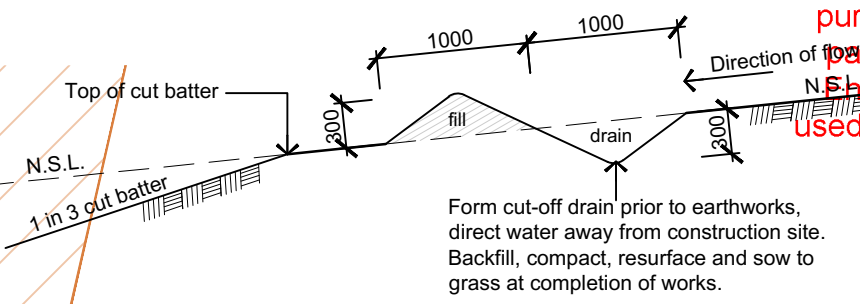
Assessor: Jacob Edwards
 6.6
 HOUSE ENERGY RATING SCHEME
 112.3 MJ/m²
 www.nathers.gov.au

Address: 40 ORCHARD ROAD, LUCKNOW, VIC. 3875

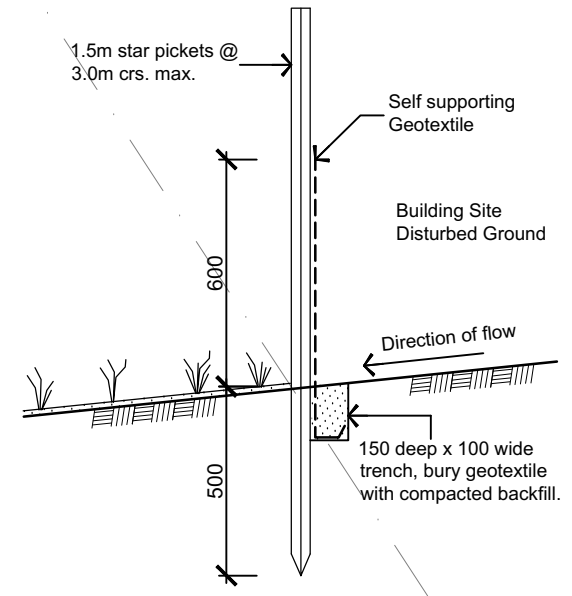
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EROSION MANAGEMENT

1. Restrict cut and fill to minimum necessary (0.9m max.) and stabilise all disturbed slopes as soon as possible.
2. Establish 'Cut-Off Drain' above the upper limit of the cut batter to divert up-slope water around building site
3. Install 'Sediment Fence' along the low side of site immediately below the disturbed site, leave sufficient room for construction activities and stockpiles.
4. Strip and stockpile topsoil within a sediment fence perimeter



CUT-OFF DRAIN DETAIL SCALE 1:50



SEDIMENT FENCE DETAIL SCALE 1:20

BUSHFIRE ATTACK LEVEL

BAL- 19

ALL CONSTRUCTION METHODS, BUILDING MATERIALS & PRE-FABRICATED PRODUCTS TO COMPLY WITH AS 3959-2009, SECTION 6

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VEGETATION NOTE:
NO VEGETATION TO BE REMOVED U.N.O.

LEVELS NOTE:
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WC DOOR:
PROVIDE APPROVED LIFT-OFF HINGES TO WC DOOR

AREA ANALYSIS

DWELLING AREA	113.37Sq.m
GARAGE	37.36Sq.m
DECK (including ramp)	38.70 Sq.m
ROOF (excluding laserlight)	206.84 Sq.m
SITE	14.18 Ha.

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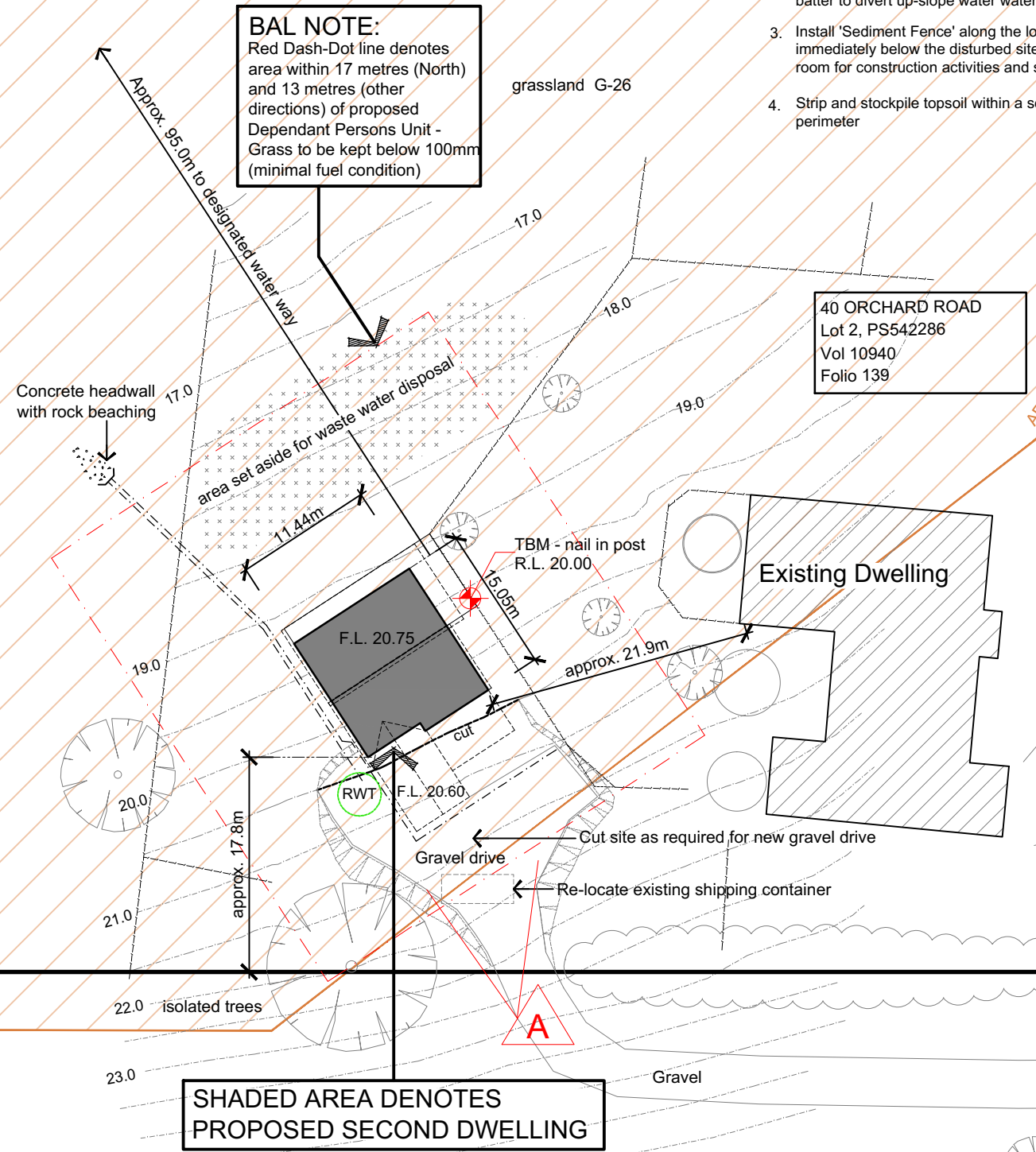
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PROPOSED SECOND DWELLING ON A LOT 40 ORCHARD ROAD LUCKNOW, VIC. 3875

CLIENT	ROBIN GLASS
JOB NO.	23869
DATE	11/06/2024
DESIGNED BY	CDP-AD 58137
DRAWN BY	RJS
DESCRIPTION	SITE PLAN
ISSUE	PLANNING
SCALE	1:500 sheet size - A3

DRAWING NO. REVISION

BAL NOTE:
 Red Dash-Dot line denotes area within 17 metres (North) and 13 metres (other directions) of proposed Dependant Persons Unit - Grass to be kept below 100mm (minimal fuel condition)



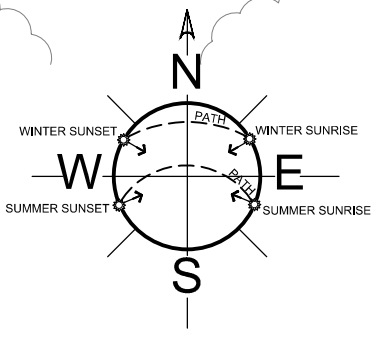
SITE PLAN SCALE 1:500



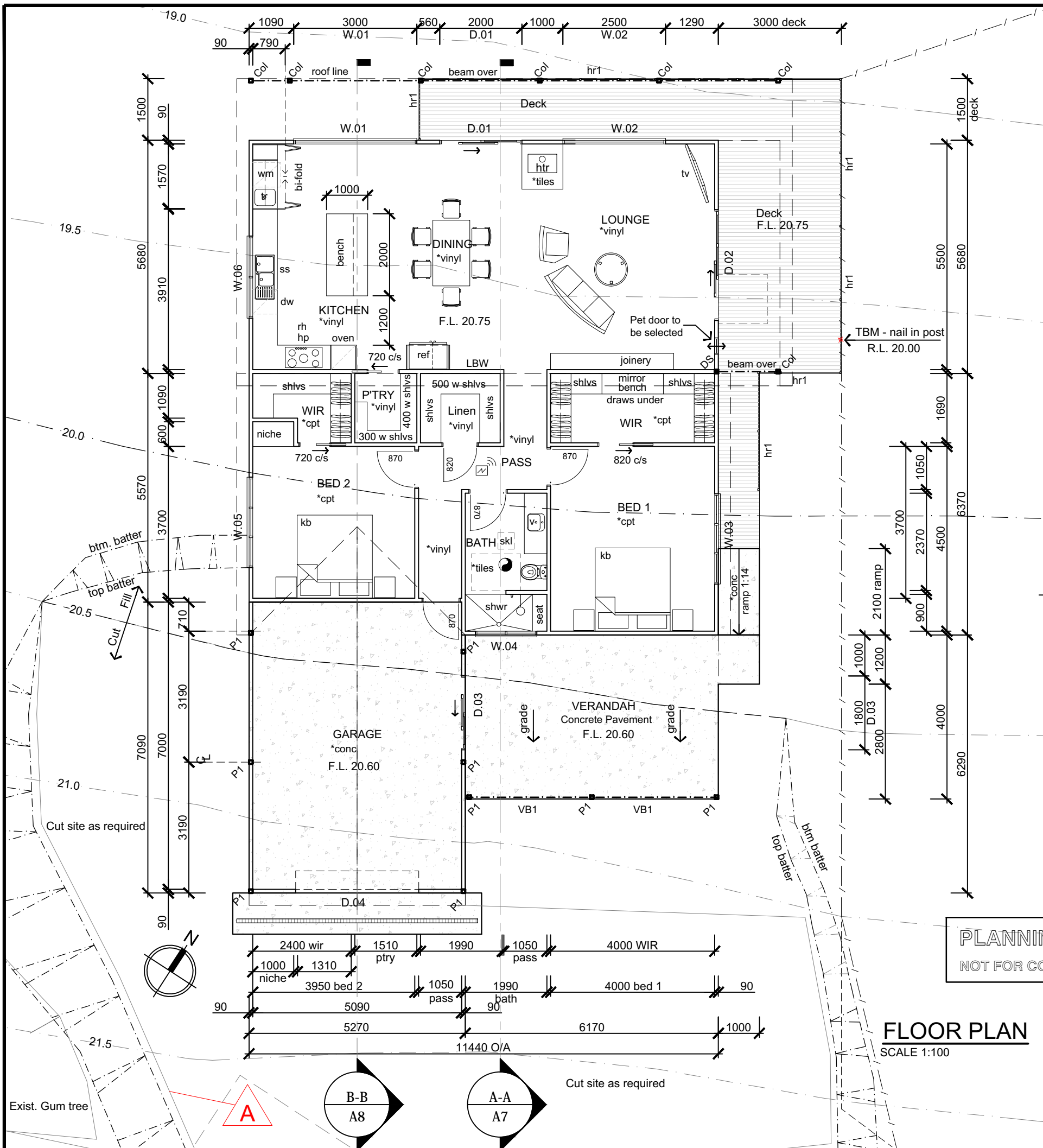
WARNING
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CUT / FILL NOTE
 EXTENT OF CUT / FILL APPROX. ONLY EXACT EXTENT OF CUT / FILL AREA TO BE DETERMINED ON SITE BY CONTRACTOR / BUILDER / OWNER.

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LEGEND

- 90x90 SHS Duragal Post, refer Struc. Engs. drawings for details.
90x90 Duragal SHS column to Struc. Engs. details.
*conc. Reinforced Concrete Slab to Struc. Engs. details
*vinyli Selected vinyl flooring
*cpt Selected carpet
*tiles Selected ceramic tiles.
Deck Selected 'Modwood' decking refer BAL 19 notes
hr1 Selected 1050 high balustrade in accordance with 2022 ABCB HP, Part 11.3
ss Selected stainless steel sink
ref Refrigerator (nic) provide cold water outlet.
hp Electric hot plate to be selected
rh Selected range hood over hoptates
shwr Shower, tiled step-less 900 x 1990, with tiled incorporated seat x 350 wide.
v Selected wall hung vanity basin
tr Laundry trough to be selected
wm Washing machine (nic)
tv Television (nic) connection point only
Denotes standard approved smoke alarm, hard wired to electric mains with battery back-up to AS 3786 installed as per 2022 ABCB HP, Part 9.5
htr Selected solid fuel heater, installed to manufacturers specification.
Suggested location for 90 dia. pvc down pipes
90 dia. pvc stormwater drain laid at 1 in 100 grade, connect to existing rain water tanks.
Mechanical ventilation to outside air in accordance with 2022 BCA Vol. 2. Part 10.6.2 (c) and 10.8.2
A minimum flow rate 25 L/s for bathrooms or sanitary compartments and 40 L/s for kitchens and laundries.

BUSHFIRE ATTACK LEVEL
BAL- 19
ALL CONSTRUCTION METHODS, BUILDING MATERIALS & PRE-FABRICATED PRODUCTS TO COMPLY WITH AS 3959-2009, SECTION 6

TIMBER FRAMING NOTE
ALL TIMBER FRAMING, BRACING AND HOLD-DOWN DETAILS SHALL COMPLY WITH 2021 AS 1684.2 & 2024 AS 1684.4 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION MANUALS.

WALL THICKNESS:
INTERNAL WALL THICKNESS DIMENSIONS HAVE BEEN OMITTED FROM PLAN FOR CLARITY, ALL INTERNAL WALLS TO BE 90mm

WC DOOR:
PROVIDE APPROVED LIFT-OFF HINGES TO WC DOOR

AREA ANALYSIS table with columns: AREA, GARAGE, DECK, ROOF, SITE and corresponding values in Sq.m and Ha.

SANDS BUILDING DESIGN logo and contact information including address, phone, and email.

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FLOOR PLAN
SCALE 1:100

HERO SOFTWARE logo and details for #HR-E4NKUM-01 04/10/2023, including assessor name, accreditation, and address.

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PROPOSED SECOND DWELLING ON A LOT
40 ORCHARD ROAD
LUCKNOW, VIC. 3875

Client and Job Information table with fields for CLIENT, JOB NO., DATE, DESIGNED BY, DRAWN BY, DESCRIPTION, ISSUE, SCALE.

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ROOF MOUNTED SOLAR PANELS

TRUSS MANUFACTURER TO DOCUMENT AND ALLOW APPROXIMATELY 11 KG PER SQUARE METRE FOR THE INSTALLATION OF SOLAR PANELS ON ROOF. APPROXIMATE EXTENT OF SOLAR PANELS SHOWN BY BLUE DASHED LINES.

ROOF DRAINAGE NOTE:

Minimum Eaves Gutter size based on 5% annual exceedance probability, 1 in 500 min. fall:
Rainfall Intensity: 140mm / hour
Roof Slope: 15° (worst case)
Catchment per DP: 52.00 Sq.m max. (worst case)
Down Pipe spacing: As Shown
Flow rate per DP: 2.02 lts. / sec.
Downpipe size: 90Ø
Eaves Gutter: Slotted - 125 wide - 6300m² (ok)
Plumber / Contractor to verify calculations in accordance with 2022 BCA Vol. 2 & 3 & ABCB Housing Provisions.

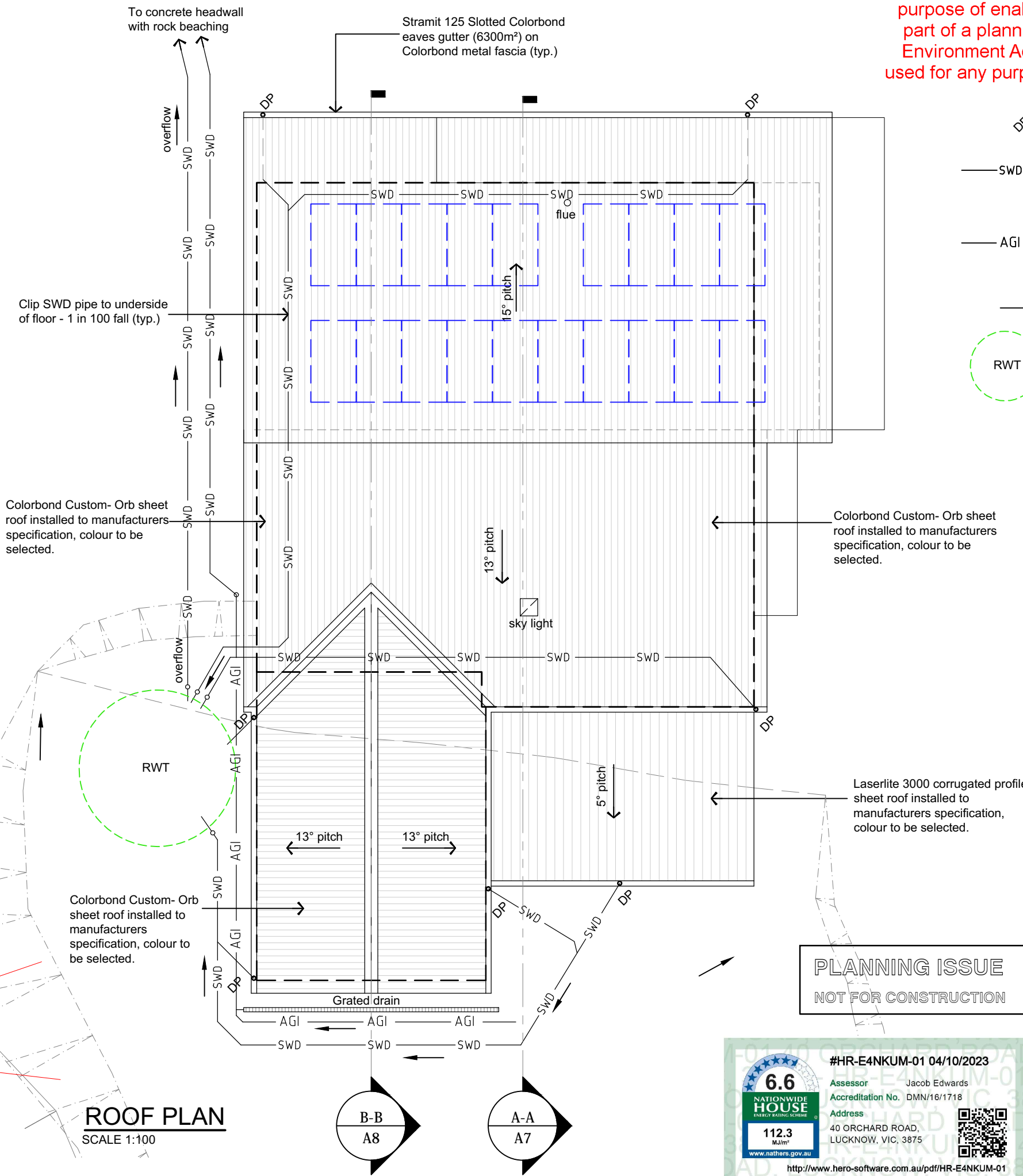
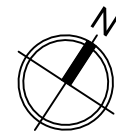


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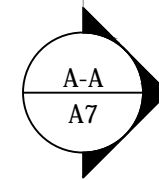
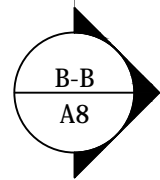
BUSHFIRE ATTACK LEVEL

BAL- 19
ALL CONSTRUCTION METHODS, BUILDING MATERIALS & PRE-FABRICATED PRODUCTS TO COMPLY WITH AS 3959-2009, SECTION 6



- LEGEND**
- DP (circle with dot) Suggested location for 90 dia. pvc down pipes
 - SWD (line) 90 dia. pvc stormwater drain laid at 1 in 100 grade. Connect to rain water tank, discharge overflow to concrete headwall with rock beaching.
 - AGI (line) 90 dia. pvc socked agi drain, as shown on drawings and at base of cut batter, discharge to concrete headwall, provide rock beaching.
 - Flow direction (arrow)
 - RWT (circle) Suggested location for 2000 lt. min. rainwater tank, connect overflow to concrete headwall with rock beaching.

ROOF PLAN
SCALE 1:100



PLANNING ISSUE
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#HR-E4NKUM-01 04/10/2023

Assessor Jacob Edwards
Accreditation No. DMN/16/1718

Address
40 ORCHARD ROAD,
LUCKNOW, VIC, 3875

6.6
NATIONWIDE HOUSE ENERGY RATING SCHEME
112.3 MJ/m²

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http://www.hero-software.com.au/pdf/HR-E4NKUM-01

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NO.	DATE	REVISION	BY
A	02/09/24	Driveway moved to clear existing tree	RJS

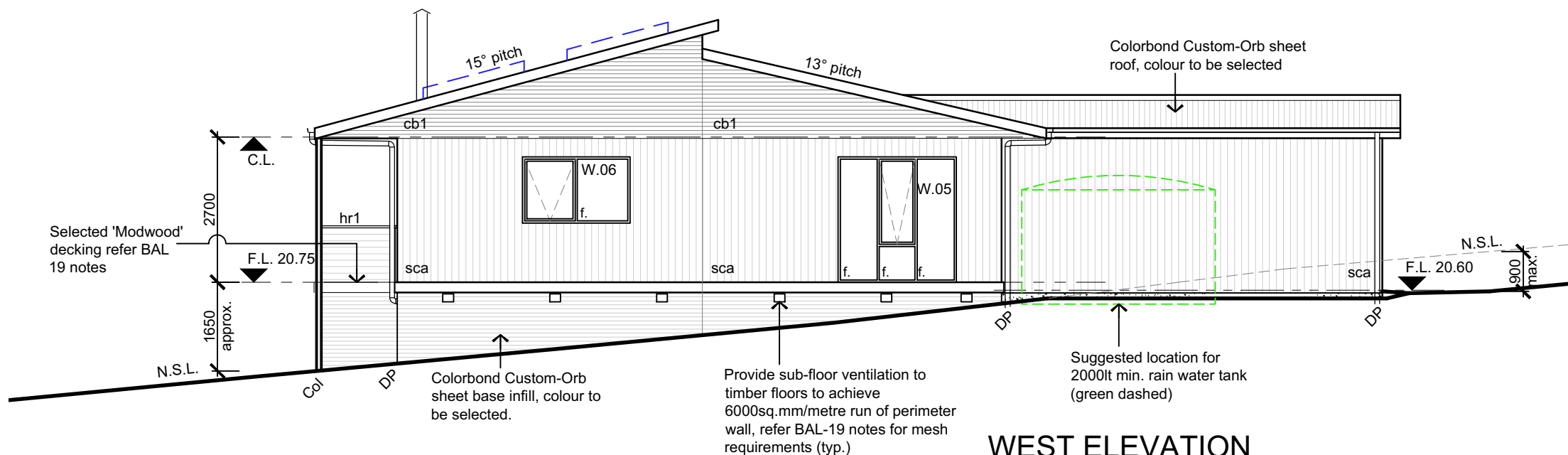
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PROPOSED SECOND DWELLING ON A LOT
40 ORCHARD ROAD
LUCKNOW, VIC. 3875

CLIENT	ROBIN GLASS
JOB NO.	23869
DATE	11/06/2024
DESIGNED BY	CDP-AD 58137
DRAWN BY	RJS
DESCRIPTION	ROOF PLAN
ISSUE	PLANNING
SCALE	1:100 sheet size - A3

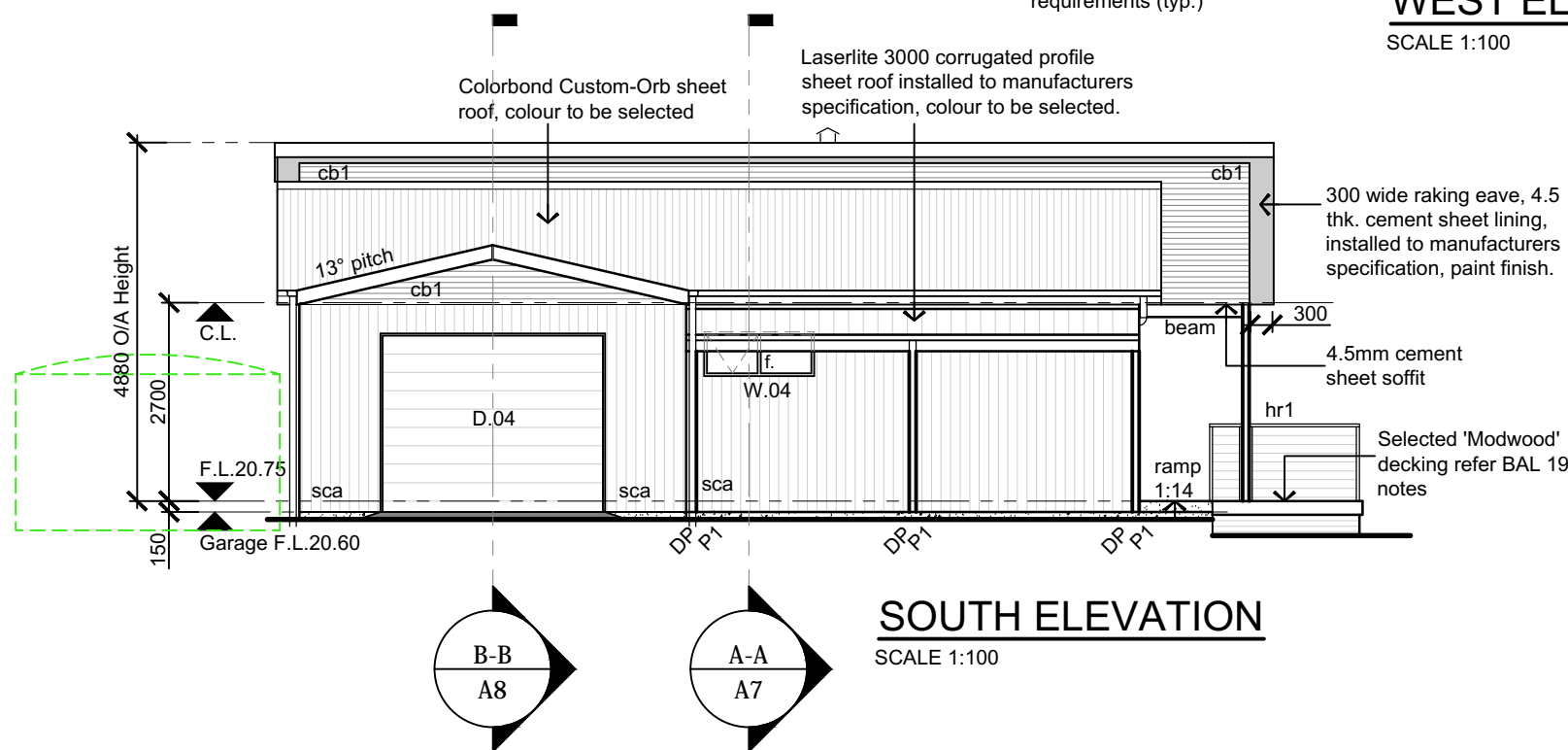
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WEST ELEVATION

SCALE 1:100



SOUTH ELEVATION

SCALE 1:100

ROOF MOUNTED SOLAR PANELS

TRUSS MANUFACTURER TO DOCUMENT AND ALLOW APPROXIMATELY 11 KG PER SQUARE METRE FOR THE INSTALLATION OF SOLAR PANELS ON ROOF. APPROXIMATE EXTENT OF SOLAR PANELS SHOWN BY BLUE DASHED LINES - REFER ROOF PLAN.

BUSHFIRE ATTACK LEVEL

BAL-19

ALL CONSTRUCTION METHODS, BUILDING MATERIALS & PRE-FABRICATED PRODUCTS TO COMPLY WITH AS 3959-2009, SECTION 6

- LEGEND**
- 90x90 SHS Duragal Post refer Struc. Eng's drawings for details.
 - 90x90 Duragal SHS column to Struc. Eng's details.
 - *conc. Reinforced Concrete Slab to Struc. Eng's details
 - *vinyl Selected vinyl flooring
 - *cpt Selected carpet
 - *tiles Selected ceramic tiles.
 - Deck Selected 'Modwood' decking refer BAL 19 notes
 - hr1 Selected 1050 high balustrade in accordance with 2022 ABCB HP, Part 11.3
 - ss Selected stainless steel sink
 - ref Refrigerator (nic) provide cold water outlet.
 - hp Electric hot plate to be selected
 - rh Selected range hood over hoptates
 - shwr Shower, tiled step-less 900 x 1990, with tiled incorporated seat x 350 wide.
 - v Selected wall hung vanity basin
 - tr Laundry trough to be selected
 - wm Washing machine (nic)
 - tv Television (nic) connection point only
 - Denotes standard approved smoke alarm, hard wired to electric mains with battery back-up to AS 3786 installed as per 2022 ABCB HP, Part 9.5
 - htr Selected solid fuel heater, installed to manufacturers specification.
 - Suggested location for 90 dia. pvc down pipes
 - 90 dia. pvc stormwater drain laid at 1 in 100 grade, connect to existing rain water tanks.
 - Mechanical ventilation to outside air in accordance with 2022 BCA Vol. 2. Part 10.6.2 (c) and 10.8.2
 - A minimum flow rate 25 L/s for bathrooms or sanitary compartments and 40 L/s for kitchens and laundries.

WINDOW & DOOR SCHEDULE					
MARK	NOMINAL SIZE HxW	LINTEL	ROOM	Head Height	NOTES
W.01	AFW 2330h x 3000w	L1 240x42 LVL15	KITCHEN	2330h	No sill reveal
W.02	AFW 2330h x 2500w	L1 240x42 LVL15	LOUNGE	2330h	No sill reveal
W.03	AAW 2330h x 2200w	L5 190x45 MGP10	BED 1	2330h	No sill reveal
W.04	AAW 600h x 1500w	L6 200x42 LVL15	BATH	2330h	
W.05	AAW 2330h x 2200w	L5 190x45 MGP10	BED 2	2330h	No sill reveal
W.06	AAW 1230h x 2000w	L7 190x45 MGP10	KITCHEN	2330h	
D.01	ASD 2330h x 2000w	L2 200x42 LVL15	DINING		Full glazed Set down sill with floor level
D.02	ASD 2330h x 2700w	L3 200x42 LVL15	LOUNGE		Full glazed Set down sill with floor level
D.03	ASD 2100h x 1800w	L8 190x45 MGP10	GARAGE		Full glazed
D.04	Colorbond Roller Door 2400h x 3000w	L4 200x42 LVL15	GARAGE		

WINDOW & DOOR NOTES:

Glazing to comply to as 1288, Contractor to provide thermal and safety assessment. Frames to be improved aluminium, powder coat finished, Colour to be selected. Window sizes are nominal only, builder to verify exact size with window manufacturer. Site measure prior to fabrication. Internal doors 2040mm high x width as shown on plan. Window head heights = 2330 (nom.) above floor level. All glazing to be Double Glazed - 'Grey' tinted as selected - refer client. Refer Energy Rater's thermal assessment for further information. All external openable windows to be supplied with corrosion resistant metal flyscreens. Windows to be installed to manufacturers specification, provide head and sill flashing. Refer to BAL-19 notes for 'A' Grade safety glass requirements.

WINDOW LEGEND

- AFW = Aluminium Fixed Window
- AAW = Aluminium Awning Window
- ASD = Aluminium Sliding Door (glazed)



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6.6
NATIONWIDE HOUSE ENERGY RATING ACHIEVED
112.3 MJ/m²
www.nathers.gov.au

#HR-E4NKUM-01 04/10/2023
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E. reini@sandsbd.com.au

NO.	DATE	REVISION	BY

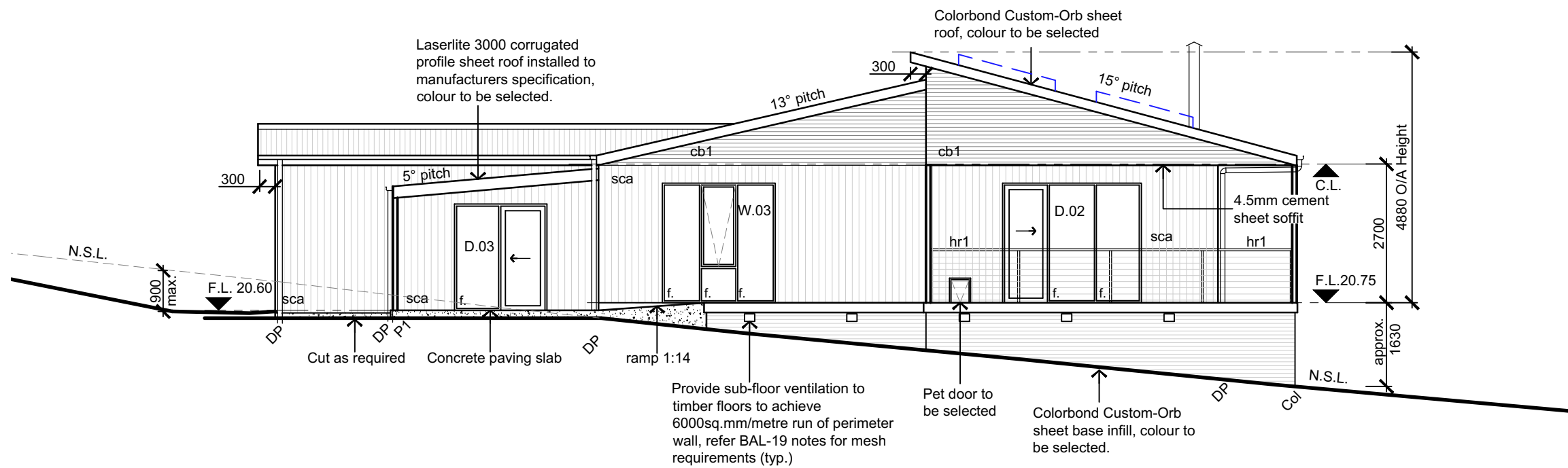
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PROPOSED SECOND DWELLING ON A LOT 40 ORCHARD ROAD LUCKNOW, VIC. 3875

CLIENT	ROBIN GLASS
JOB NO.	23869
DATE	11/06/2024
DESIGNED BY	CDP-AD 58137
DRAWN BY	RJS
DESCRIPTION	ELEVATIONS
ISSUE	PLANNING
SCALE	1:100 sheet size - A3

DRAWING NO. REVISION

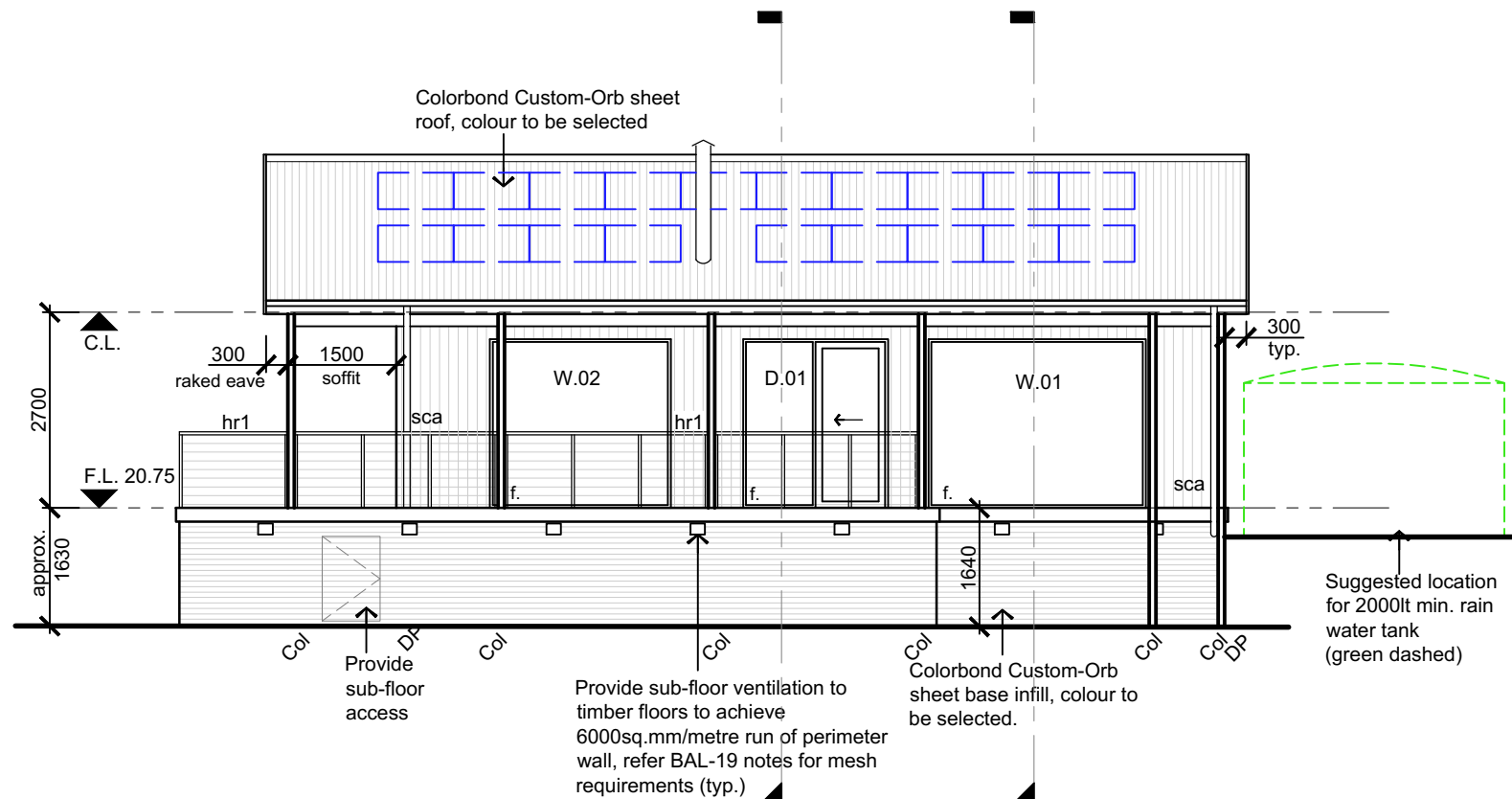
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EAST ELEVATION

SCALE 1:100

ROOF MOUNTED SOLAR PANELS
 TRUSS MANUFACTURER TO DOCUMENT AND ALLOW APPROXIMATELY 11 KG PER SQUARE METRE FOR THE INSTALLATION OF SOLAR PANELS ON ROOF.
 APPROXIMATE EXTENT OF SOLAR PANELS SHOWN BY BLUE DASHED LINES - REFER ROOF PLAN.



NORTH ELEVATION

SCALE 1:100

ENERGY RATING SUMMARY		
RATING	TOTAL ENERGY	ASSESSOR'S REFERENCE
6.6 STARS	111.3 MJ/m2	FCS 54975
ACCREDITED ENERGY RATER		
FRATER CONSULTING SERVICES Pty Ltd		
Ph: (03) 8691 6928 E: admin@fraterconsultingservices.com.au		
ELEMENT	SPECIFICATION	
FLOOR	Bradford Optimo Underfloor R2.5 insulation to underside of floor, installed to manufacturers specification.	
WALLS	Bradford Gold R2.0 bulk insulation with 1 layer of Bradford Enviroseal RW Plus wall wrap to all external walls including internal Bath / Garage walls (typ.).	
CEILING	Bradford Gold R2.5 ceiling batts	
ROOF	Provide Bradford Enviroseal HTS Roof sarking (breathable membrane) to underside of sheet roof	
WINDOWS & DOORS	All glazing to be doubled glazed - 'Grey'	
	Sliding doors	U-VALUE = 2.81, SHGC = 0.36
	Awning windows	U-VALUE = 3.3 SHGC = 0.34
	Fixed windows	U-VALUE = 2.32, SHGC = 0.32
ROOF COLOUR	Medium toning	
LIGHTING	In class 1 building- 5w/m2 on verandah or balcony- 4w/m2 in class 1 building (garage / shed) -3w/m2	
NOTES: -		
1. All chimneys and flues to be fitted with self closing dampers.		
2. All roof lights must be sealed or capable to be sealed.		
3. All external windows and doors to be fitted with weather strips.		
4. Provide self-closing dampers to all exhaust fans.		
5. Seal any avenues of air leakage throughout the building envelope by caulking, skirtings, architraves, cornices or the like.		
THIS SUMMARY IS TO BE READ IN STRICT CONJUNCTION WITH THE ENERGY RATING REPORT PREPARED BY FRATER CONSULTING SERVICES Pty Ltd		

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BUSHFIRE ATTACK LEVEL
BAL- 19
 ALL CONSTRUCTION METHODS, BUILDING MATERIALS & PRE-FABRICATED PRODUCTS TO COMPLY WITH AS 3959-2009, SECTION 6



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BUSHFIRE ATTACK LEVEL (BAL) 19

TO BE READ IN CONJUNCTION WITH AS 3959, SECTION 6

All construction methods, building materials and prefabricated products to comply with AS 3959-2009 construction of buildings in bushfire-prone areas 'Sections 3 & 6'

FLOOR

No specific construction requirements for concrete slabs on ground
Decking to be constructed of non-combustible material, or bushfire resisting timber (see appendix 'F' of AS 3959), or a timber species as specified in appendix 'E', table E1 of AS 3959

WINDOWS

For window assemblies less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings or similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110mm in width from the window frame, window frames and window joinery shall be made of metal

Where glazing is less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110mm in width from the window frame, the glazing shall be grade 'a' safety glass minimum 5mm thick (also to comply with as 1288, whichever is the greater)

Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal

The openable portions of windows shall be screened with mesh with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze or aluminium

DOORS - SIDE HUNG EXTERNAL

All external side hung doors shall be non-combustible

or
shall be a solid timber door having a minimum thickness of 35mm for the first 400mm above the threshold

or
shall be a door, including a hollow core door, with a non-combustible kickplate on the outside for the first 400mm above the threshold

or
shall be a fully framed glazed door, where the framing is made from materials required for bushfire shutters, or from a timber species specified in appendix 'e' table e2 of as 3959

Doors shall be tight-fitting to the door frame and to an abutting door, where applicable

Where any part of the door assembly is less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings or similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110mm in width from the door, that part of the door assembly shall be made of metal

DOORS - SLIDING EXTERNAL

Any glazing incorporated in sliding doors shall be grade 'A' safety glass complying with AS 1288.

There is no requirement to screen the openable part of a sliding door. however, if screened, the screens shall be a mesh or perforated sheet made of corrosion-resistant steel, bronze or aluminium sliding doors shall be tight fitting in the frames

DOORS - VEHICLE ACCESS DOORS (GARAGE DOORS)

The lower portion of a vehicle access door that is within 400mm of the ground when the door is closed shall be made from non-combustible material; or bushfire-resisting timber (see appendix 'F' of AS 3959); or fibre cement sheet, a minimum of 6mm thickness; or a timber species specified in appendix 'E' table E1 of AS 3959
Panel lift, tilt doors or side hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate for the door type, with a maximum gap no greater than 3mm
Roller doors shall have guide tracks with a maximum gap no greater than 3mm and shall be fitted with a nylon brush that is in contact with the door (refer appendix 'D' figure D4 of AS 3959)

ROOF

The roof/wall junction shall be sealed, to prevent openings greater than 3mm, either by the use of fascia & eaves linings or by sealing between the top of wall and the underside of the roof and between rafters at the line of the wall

Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes, and supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3mm. the material used to seal the penetration shall be non-combustible.

Roof ventilation openings, such as gable roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze or aluminium.

vent pipes made from pvc are permitted.

Eaves penetrations shall be protected the same as for roof penetrations specified above.

Eaves ventilation openings greater than 3mm shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2mm, made of corrosion-resistant steel, bronze or aluminium.

Joints in eave linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.

AS 3959 does not provide material requirements for gutters (with the exception of box gutters) and downpipes. if installed, gutter and valley leaf guards shall be non-combustible.

Box gutters shall be non-combustible and flashed at the junction with the roof with non-combustible material.

VENTS & WEEP HOLES

Where a circular probe of 3mm dia. is capable of being passed through external vents, weepholes or gaps, the vents, weepholes & gaps shall be screened as specified in sections 3, 5, 6, 7, 8 & 9 except for weepholes from the frames of windows & glazed doors.

To determine the maximum aperture size of screening material, it shall not be possible to pass a circular probe o 2mm dia. through the aperture.

Gaps between doors & door jambs, heads or sills (thresholds) shall be as shown in figure 3.2 of AS 3959. Alternatively, gaps shall be protected by draught excluders.

DEFINITIONS

'Non-combustible' - not deemed combustible as determined by AS 1530.1
'combustibility tests for materials' or not deemed combustible in accordance with the BCA

6.7 VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

6.7 VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS

6.7.1 General

Decking shall be either spaced or continuous (i.e., without spacings).
There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

C6.7.1 Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0-5 mm during service. The preferred dimension for gaps is 3 mm (which is in line with other opermissible gaps) in other parts of this Standard. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacings of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.

6.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings

6.7.2.1 Materials to enclose a subfloor space

This Standard does not provide construction requirements for the materials used to enclose a subfloor space except where those materials are less than 400 mm from the ground. Where the materials used to enclose a subfloor space are less than 400 mm from the ground, they shall comply with Clause 6.4.

6.7.2.2 Subfloor supports

This Standard does not provide construction requirements for subfloor support posts, columns, stumps, stringers, piers and poles.

6.7.2.3 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

6.7.2.4 Decking

This Standard does not provide construction requirements for decking that is more than 300 mm from a glazed element.
Decking less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from:
(a) non-combustible material; or
(b) bushfire-resisting timber (see Appendix F); or
(c) a timber species, as specified in Paragraph E1 and listed in Table E1, Appendix E; or BCA

(d) a combination of any of Items (a), (b), or (c) above.

6.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings

6.7.3.1 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

6.7.3.2 Framing

This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

6.7.3.3 Decking

This Standard does not provide construction requirements for decking that is more than 300 mm from a glazed element.
Decking less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from -
(a) non-combustible material; or
(b) bushfire-resisting timber (see Appendix F); or
(c) a timber species, as specified in Paragraph E1 and listed in Table E1, Appendix E; or
(d) a combination of any of Items (a), (b), or (c) above.

SUMMARY ONLY, REFER AS 3959 FOR FURTHER INFORMATION

#HR-E4NKUM-01 04/10/2023
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BUSHFIRE ATTACK LEVEL
BAL- 19
ALL CONSTRUCTION METHODS, BUILDING MATERIALS & PRE-FABRICATED PRODUCTS TO COMPLY WITH AS 3959-2009, SECTION 6

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