

Form 2

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	11 Caitlyns Lane WY YUNG 3875 CA: 24H
The application is for a permit to:	Use and Development of a Second Dwelling
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2024.261.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to the applicant giving notice</b>
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If you object, the Responsible Authority will tell you its decision.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958** Page 1 of 1

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VOLUME 02107 FOLIO 220

Security no : 124117128373E  
Produced 02/08/2024 01:46 PM

CROWN GRANT

**LAND DESCRIPTION**

Crown Allotment 24H Parish of Wy-Yung.

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
MARK ANTHONY FISCHER  
S290202K 31/12/1992

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any crown grant reservations exceptions conditions limitations and powers noted on the plan or imaged folio set out under DIAGRAM LOCATION below. For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE TP569760N FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 11 CAITLYNS LANE WY YUNG VIC 3875

DOCUMENT END



# Imaged Document Cover Sheet

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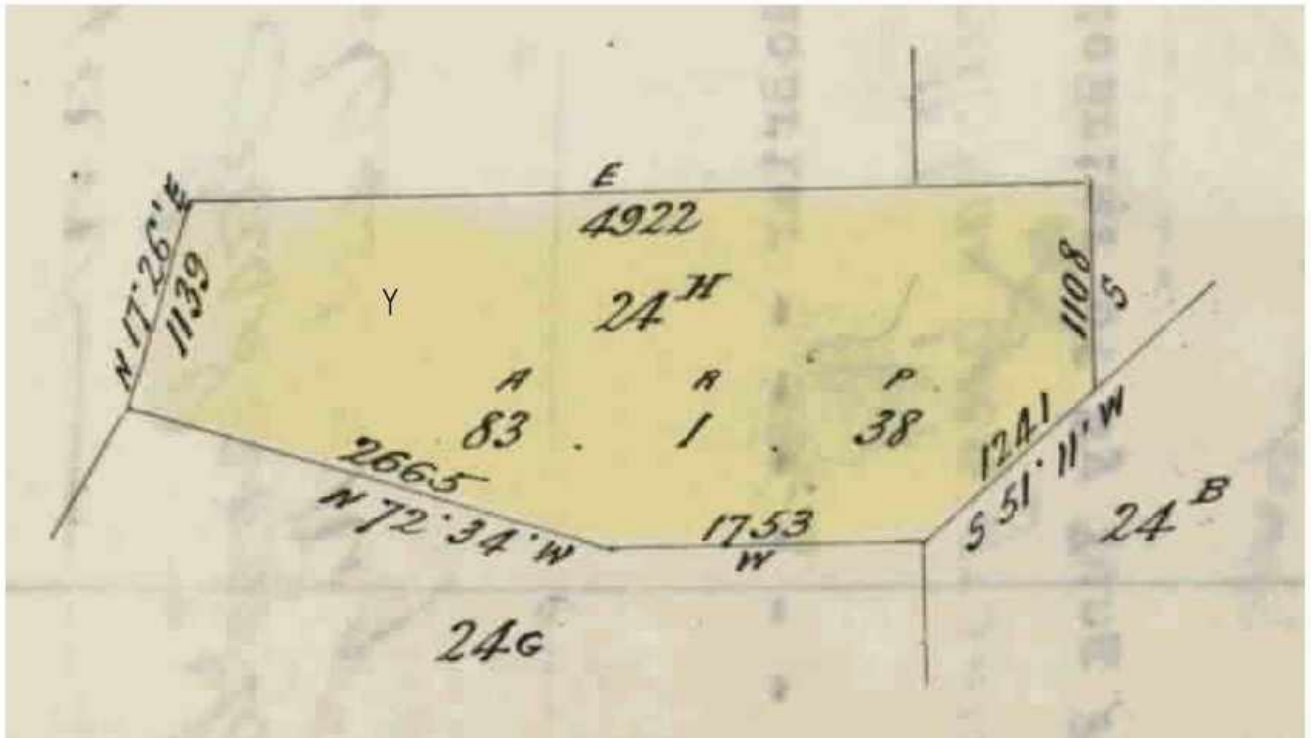
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<b>TITLE PLAN</b>		<b>EDITION 1</b>	<b>TP 569760N</b>
<b>Location of Land</b> Parish: WY-YUNG Township: Section: Crown Allotment: 24H Crown Portion:  Last Plan Reference: Derived From: VOL 2107 FOL 220 Depth Limitation: NIL		Notations Subject to the Reservations, Exceptions, Conditions and Powers Contained in Crown Grant Vol. 2107 Fol. 220 and Noted on Sheet 2 of this Plan  ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN	

<b>Description of Land / Easement Information</b>	THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 18-07-2000 VERIFIED: AD
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COLOUR CODE  
Y=YELLOW





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TP 569760N

TITLE PLAN

# LAND DESCRIPTION INCLUDING RESERVATIONS EXCEPTIONS CONDITIONS AND POWERS SHOWN ON THE CROWN GRANT

All THAT PIECE OF LAND in the said Colony containing *Eighty three acres One rood and thirty eight perches more or less being allocated twenty four H in the Parish Wy Yung County of Otago*

delineated with the measurements and abutments thereof in the map drawn in the margin of these presents and therein colored yellow

EXCEPTING however unto us our heirs and successors all gold and auriferous earth or stone and all mines containing gold within the boundaries of the said land AND ALSO reserving to us our heirs and successors free liberty and authority for us our heirs and successors and our and their agents and servants at any time or times hereafter to enter upon the said land and to search and mine therein for gold and to extract and remove therefrom any gold and any auriferous earth or stone and for the purposes aforesaid to sink shafts erect machinery carry on any works and do any other things which may be necessary or usual in mining PROVIDED ALWAYS that it shall be lawful for us our heirs and successors at any time on paying full compensation to the said GRANTEE

his heirs executors administrators or assigns for the full value other than auriferous of the said piece of land or so much thereof as may be resumed as hereinafter mentioned and of the improvements upon the said piece of land or the part so resumed such value in case of disagreement to be ascertained by arbitration to resume the said piece of land or any part thereof for mining purposes

AND THAT the terms conditions and events upon which such land may be resumed and the manner in which such arbitration may be conducted may be determined by regulations in such manner as the Governor in Council may from time to time direct or if at any time no such regulations shall be in force then by the regulations concerning the resumption of land for mining purposes in force at the date of this Grant unless Parliament shall otherwise determine.

JUL  
20  
24

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**DEVELOPMENT SOLUTIONS**  
VICTORIA

APPLICATION FOR PLANNING PERMIT

# USE AND DEVELOPMENT OF A SECOND DWELLING

11 CAITLYNS LANE, WY YUNG  
AILSA & MARK FISHER  
REF: 24051

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## APPENDIX

A	Copy of Title and Plan of Subdivision
B	Proposed Development Plans
C	Geotechnical Risk Assessment Waiver
D	Land Capability Assessment

## DOCUMENT REVISION

1	Draft Report	DAC	25/07/2024
2	Final Report	CMC	28/07/2024



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CAITLYN'S LANE



## 1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of Ailsa and Mark Fisher, the owners of land and the applicants for this planning permit application for the use and development of a second dwelling at 11 Caitlyns Lane, Wy Yung.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme and will result in a positive planning outcome by providing for additional residential development in an appropriate location.

<b>Address</b>	<b>11 CAITLYNS LANE, WY YUNG</b>
<b>Site Description</b>	Crown Allotment 24H Parish of Wy-Yung
<b>Title Particulars</b>	Vol 02107 Fol 220
<b>Site Area</b>	Approximately 33.7 hectares
<b>Proposal</b>	Use and Development of a Second Dwelling
<b>Planning Scheme</b>	East Gippsland Planning Scheme
<b>Zone</b>	Rural Living Zone – Schedule 3
<b>Overlays</b>	Erosion Management Overlay
<b>Aboriginal Cultural Heritage</b>	Partly identified as an area of Cultural Heritage Sensitivity
<b>Permit Triggers</b>	Clause 35.03-2 Rural Living Zone – Use Clause 35.03-4 Rural Living Zone – Buildings and Works Clause 44.01-2 Erosion Management Overlay – Buildings and Works
<b>Notice</b>	Exempt from notice at Clause 44.01-7
<b>Referrals</b>	No referrals required
<b>Work Authority Licence</b>	Not Applicable
<b>Planning Scheme requirements</b>	Municipal Planning Strategy – Clause 02 Settlement – Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Planning Policy Framework – Clause 10 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Erosion and landslip – Clause 13.04-2S Built environment and heritage – Clause 15 Housing – Clause 16 Rural Living Zone 35.03 Erosion Management Overlay - Clause 44.01 Decision guidelines – Clause 65

## 2. SITE CONTEXT

### Site

The subject site is located at 11 Caitlyns Lane, Wy Yung. A copy of the Title and Plan of Subdivision is contained in **Appendix A**. The title is not affected by any restrictive covenants or agreements.

The site is irregular in shape with a total area of approximately 33.7 hectares and contains an existing dwelling and associated facilities.

The site is undulating in nature, contains scattered vegetation throughout, a dam in the northeastern portion and multiple watercourses throughout. Details of the site are depicted in the photographs provided below.

Access is existing via a gravel driveway along the northern boundary connecting directly to Caitlyns Lane. Caitlyns Lane is a formed gravel road with grassed shoulders, traversing in a north to south direction.

The subject site in relation to Wy Yung as well as the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2**.



Figure 1 – Locality Plan – 11 Caitlyns Lane, Wy Yung (source: mapshare.vic.gov.au)

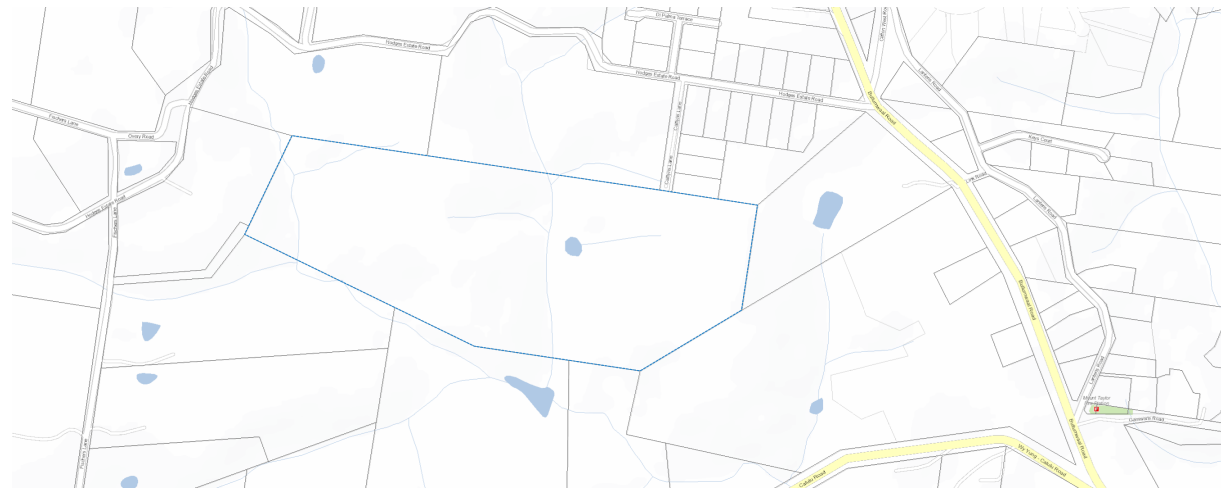


Figure 2 – Locality Plan – 11 Caitlyns Lane, Wy Yung (source: mapshare.vic.gov.au)



## Surrounds

The land in this locality is mostly developed rural living land and low-density residential development.

Adjoining the northern, eastern, southern and western boundaries of the subject site comprises existing dwellings and associated facilities with vacant farming land and developed low density residential land in the broader landscape.

The boundaries of the site are defined with standard rural post and wire fencing.

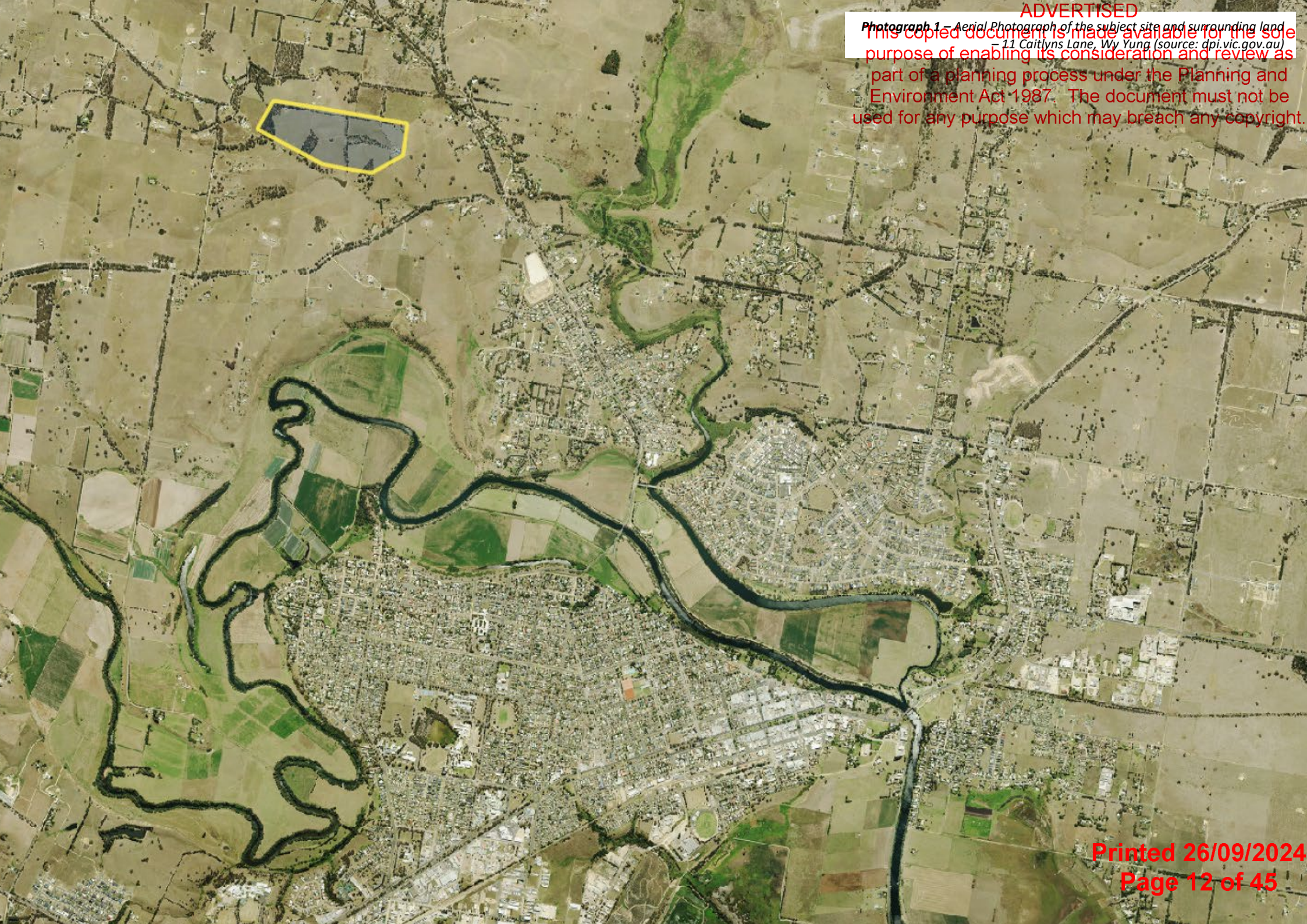
The site is located in Wy Yung, north of Bairnsdale. Wy Yung does not contain any community or commercial facilities. Bairnsdale, the main commercial city of East Gippsland, is located on the Mitchell River and centred around the Princes Highway. The Princes Highway extends through to Lakes Entrance and beyond.

The subject site in relation to Wy Yung is shown in the aerial photograph below.





Photograph 1 – Aerial Photograph of the subject site and surrounding land  
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**Photograph 2** – Subject site at 11 Caitlyns Lane, Wy Yung.



**Photograph 4** – Existing dwelling on subject site facing southeast.



**Photograph 6** – Two existing outbuildings on subject site in proximity to the existing dwelling facing south.



**Photograph 3** – Existing driveway access to subject site.



**Photograph 5** – Existing carport on subject site facing south.



**Photograph 7** – Existing outbuilding on subject site in close proximity to the proposed second dwelling location facing southeast.





**Photograph 8** – Existing cattle yards on subject site facing northeast.



**Photograph 10** – Proposed access to the second dwelling.



**Photograph 12** – Subject site facing north.



**Photograph 9** – Subject site facing northwest along the existing driveway.



**Photograph 11** – Subject site facing northwest showing proposed second dwelling location.



**Photograph 13** – Subject site facing north at proposed second dwelling location.





**Photograph 14** – Subject site facing east.



**Photograph 16** – Subject site facing south.



**Photograph 18** – Neighbouring property along the eastern boundary at 395 Bullumwaal Road, Wy Yung.



**Photograph 15** – Subject site facing southwest showing proposed second dwelling location.



**Photograph 17** – Subject site facing west.



**Photograph 19** – Neighbouring property adjoining the western boundary at 65 Hodges Estate Road, Wy Yung.





**Photograph 20** – Property directly opposite the subject site at 56 Hodges Estate Road, Wy Yung.



**Photograph 22** – Caitlyns Lane facing southeast.



**Photograph 24** – Hodges Estate Road facing west.



**Photograph 21** – Caitlyns Lane facing northwest.



**Photograph 23** – Hodges Estate Road facing east.

### 3. THE PROPOSAL

This application seeks approval for the use and development of a second dwelling. The proposed development plans are contained in **Appendix B**.

The proposed second dwelling will be located in the northeastern corner of the subject site with a setback of approximately 65.5 metres to the northern boundary, 85 metres to the eastern boundary and 112 metres from the existing dwelling.

The proposed dwelling will be single storey and will have a total building footprint of approximately 334m<sup>2</sup>. The overall proposed height of the dwelling is 6.20 metres.

The finished materials and colours of the proposed dwelling will include a combination of face brick work using Recycled Reds and Colorbond cladding in the colour Woodland Grey. The roof will be finished with zincalume metal roof sheeting. A visual description of the proposed colours is provided in **Figure 3**.

An extract of the proposed floor plan and south elevation is provided to the right and in **Appendix B**.

The proposed second dwelling will have access provided via the existing gravel driveway that

will be extended to the location of the proposed second dwelling. The existing access driveway provides a direct access point along the northern boundary to Caitlyns Lane.

The proposed second dwelling will connect to all available services including electricity, telecommunications and the existing road network. Water will be provided via two rainwater tanks and wastewater will be treated and retained on site via a standard septic treatment system as recommended within the Land Capability Assessment contained in **Appendix D**.

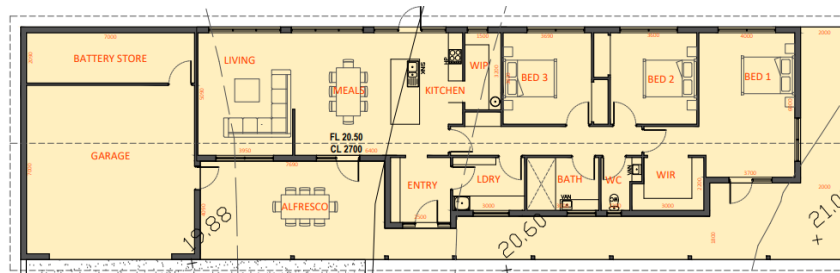


Figure 3 – Colour and material schedule – TDH Design

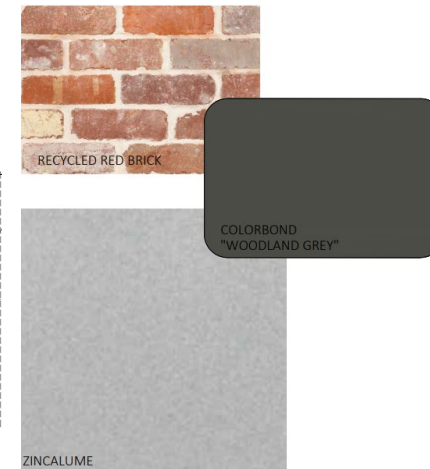


Figure 5 – Colour and material schedule – TDH Design



Figure 4 – South Elevation – TDH Design



#### 4. ZONES AND OVERLAYS

##### Rural Living Zone – Schedule 3

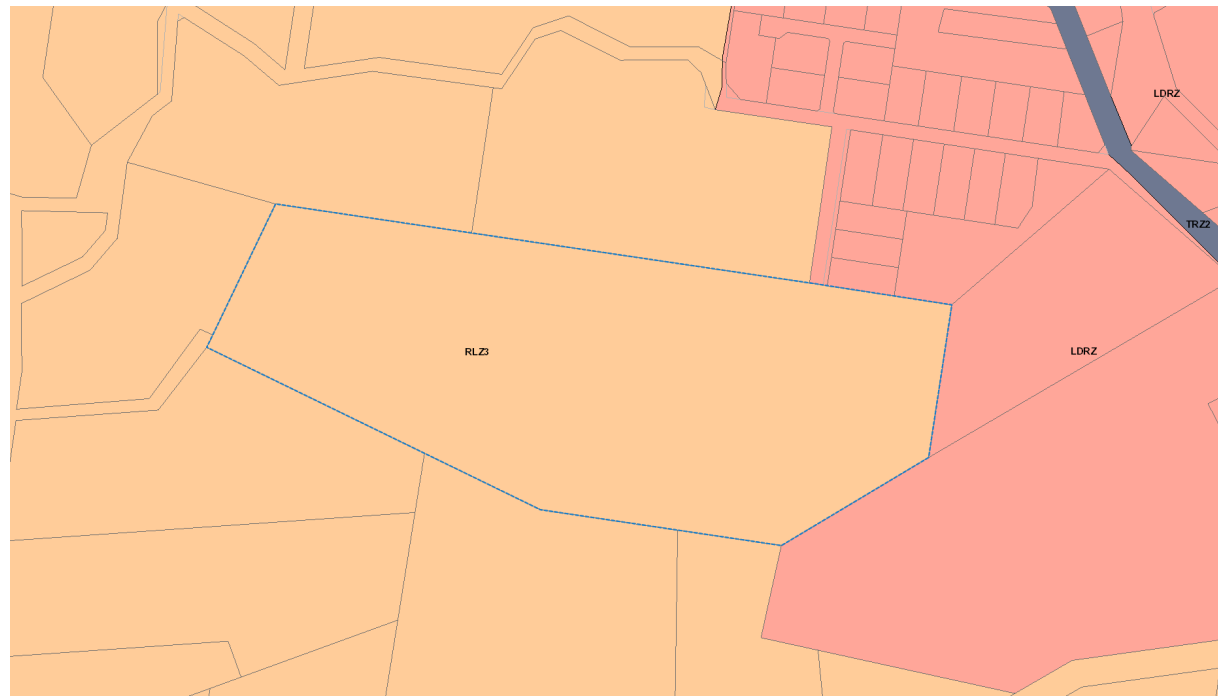
The purpose of the Rural Living Zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide for residential use in a rural environment.*
- *To provide for agricultural land uses which do not adversely affect the amenity of surrounding land uses.*
- *To protect and enhance the natural resources, biodiversity and landscape and heritage values of the area.*
- *To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.*

An extract of the Rural Living Zone Map is provided in **Figure 6**.

Clause 35.03-1 provides a permit is required for the use of more than one dwelling on a lot and must meet the requirements of Clause 35.03-2. The proposed second dwelling meets the requirements of Clause 35.03-2.

Clause 35.03-4 provides a permit is required to construct a building associated with a use in Section 2 and as such a permit is required for the use and development of a second dwelling. The relevant decision guidelines are addressed in Section 5 of this submission.



**Figure 6** – Rural Living Zone – (source - mapshare.vic.gov.au)

## Erosion Management Overlay

The purpose of the Erosion Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.

An extract of the Erosion Management Overlay Map is provided in **Figure 7**.

Clause 44.01-2 provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is required for more than one dwelling on a lot and as such a permit is required for the development of a second dwelling. The relevant decision guidelines are addressed in Section 5 of this submission.

A Geotechnical Risk Assessment Waiver is provided in **Appendix C**.



Figure 7 – Erosion Management Overlay – (source - mapshare.vic.gov.au)

## Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is recognised as being partially within an area of Aboriginal Cultural Heritage Sensitivity.

The proposed 2nd dwelling will not be located within the area identified as being of cultural heritage significance in addition to the use and development of a second dwelling being an exempt activity, and as such a Cultural Heritage Management Plan is not required.

An extract of the Aboriginal Cultural Heritage Map is provided to the right in **Figure 8**.

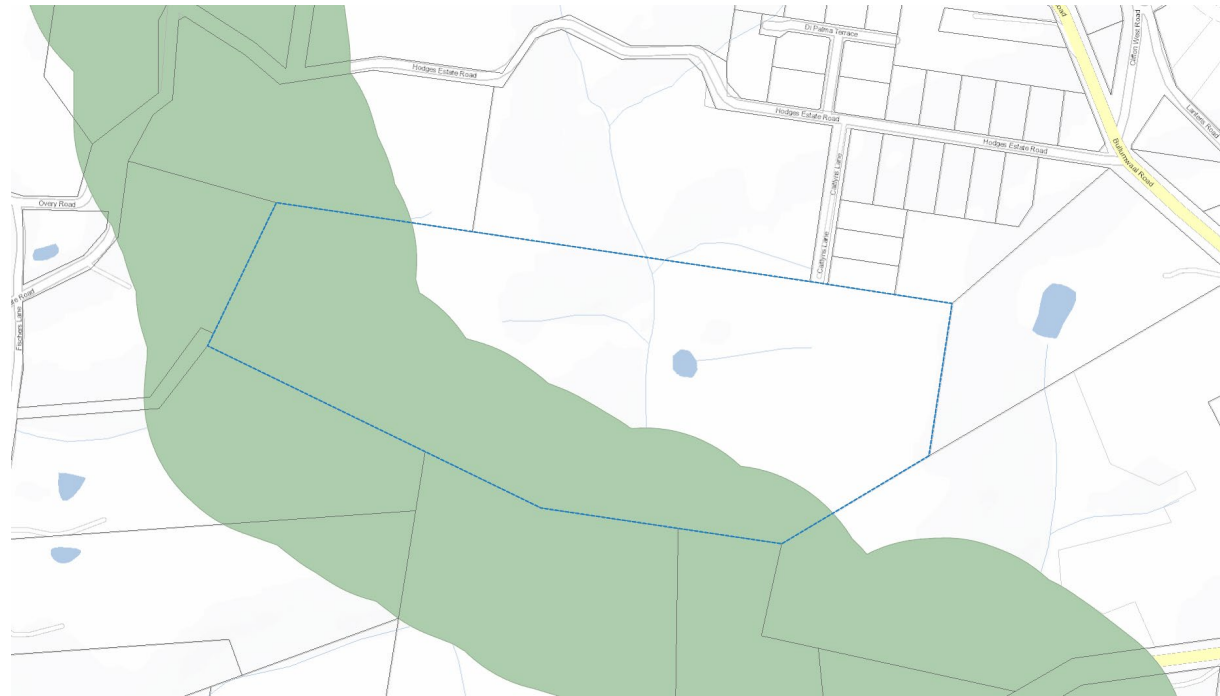


Figure 8 – Aboriginal Cultural Heritage Map – (source - mapshare.vic.gov.au)



## 5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate second dwelling that can be respectful of the existing surrounding development and the environment.
- The proposal will contribute to a high standard of environmental sustainability, urban design and amenity by designing the proposed second dwelling to meet the constraints of the land reducing any potential negative environmental implications as sought to achieve by the relevant clauses including **Clause 02.03** and **Clause 11**.
- **Clause 02.03-1** identifies Bairnsdale as a growth area town. Wy Yung is located just north of Bairnsdale. The proposed second dwelling will connect to all available services and infrastructure including electricity, telecommunications and a good quality road network. Wastewater will be treated and retained within the allotment

boundaries via a standard subsoil treatment septic system as recommended in the Land Capability Assessment contained in **Appendix D**. Water will be provided via two rainwater tanks that will be located on the western end of the proposed dwelling.

- **Clause 13.04-2S** requires consideration of erosion and landslip. The subject site and proposed development are within an area identified as being susceptible to erosion. Some earthworks will be required however, will not exceed 1 metre in depth as indicated on the proposed development plans. Standard erosion prevention measures will be undertaken during the construction phase of the proposed development to ensure no erosion hazards occur.
- The proposal meets the objectives of **Clause 16** by providing for a second dwelling within an existing rural living area, that will in turn support additional housing for the area.
- The proposal is generally consistent with the decision guidelines of the Rural Living Zone at **Clause 35.03-5** which seeks to provide for residential use in a rural environment.
- The proposed use and development of a second dwelling will result in an appropriate development that will be used for residential purposes. The proposed

development will be located in the northeastern portion of the site and will have appropriate setbacks from the boundaries and the existing dwelling.

- Access to the subject site is existing along the northern boundary via a gravel driveway and will continue to be used for the main dwelling whilst being extended to the location of the proposed second dwelling. The increased traffic as a result of the proposal is unlikely to generate any negative impact on the existing road network.
- No vegetation is required to be removed to facilitate the proposal.
- The proposal is consistent with the decision guidelines of the Erosion Management Overlay at **Clause 44.01** which seeks to protect areas prone to erosion, landslip, other land degradation.
- The proposal requires earthworks to create a level building surface however will not exceed 1 metre in depth. Disturbed ground will be appropriately battered or retained with structures as indicated on the proposed development plans.
- A Geotechnical Risk Assessment waiver is contained in **Appendix C** that concludes the proposal is unlikely to contribute or cause additional erosion hazards.

- 
- This submission has addressed the decision guidelines of **Clause 65**, and the proposed use and development supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
  - The proposed development is located a suitable distance from any waterways on the subject site.
  - The proposed development supports additional residential development in an area that is suitable and as such is supporting the state objective for additional housing in appropriate locations.
  - There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.

## 6. CONCLUSION

This submission is in support of a planning permit application for the use and development of a second dwelling at 11 Caitlyns Lane, Wy Yung.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed use and development is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Rural Living Zone and the Erosion Management Overlay.
- The risks associated with erosion can be reduced to an acceptable level.
- The design of the building is complementary to the existing surrounding development and is consistent with the character of the area.

It is requested that a planning permit be granted for this development.

**Development Solutions Victoria**

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24 July 2024

24177

Olivia Zagami  
Development Solutions Victoria

## **GEOTECHNICAL WAIVER – EROSION MANAGEMENT OVERLAY 11 CAITLYNS LANE, WY YUNG**

Dear Olivia,

### **Introduction**

Development Solutions Victoria has engaged DBM Geotech to undertake a geotechnical assessment for the proposed development at 11 Caitlyns Lane, Wy Yung.

The site is within the East Gippsland Shire Council Erosion Management Overlay. This geotechnical assessment has been conducted to identify any areas prone to erosion or land instability.

### **Site conditions and proposed redevelopment**

The site is a residential allotment located at the end of Caitlyns Lane. We understand the proposed development comprises a single storey dwelling. The site of the proposed development is currently vacant.

### **Site Geology**

The 1:250,000 Geological survey map on GeoVic indicates that the site is overlain by Haunted Hills Formation.

### **Geotechnical Waiver**

An engineer from DBM Geotech visited the site on 17/07/2024 and observed the following:

- The site and surrounds are gently sloping < 5 degrees.
- No evidence of erosion or landslip was observed at the site.
- Proposed site cut is less than 1m.
- 1 no. borehole drilled onsite encountered natural soils (sand and clay) to 1.5m depth.

Based on our site assessment we consider that the landslide risk at the site is very low. Therefore, in accordance with Section 4 of the East Gippsland Shire Council Erosion management overlay we consider that a full geotechnical assessment is not necessary for the proposed development. Figure 1 presents a photo taken at the time of the site visit.

Although a full geotechnical assessment is not necessary, the soils at the site are likely susceptible to erosion when exposed during site works. Therefore, we recommend that the best practice erosion protections measures are implemented and maintained for the proposed development.

### ***Erosion Protection Measures***

We recommend that vegetation is left in place as long as possible. The removal of vegetation at the site should be kept to a minimum and any vegetation removal shall only be undertaken where it is necessary to construct driveways and building platforms. Furthermore, where stripping is undertaken across earthworks areas, re-vegetation and/or batter protection should be implemented as soon as possible to reduce the effects of erosion.

We recommend that adequate erosion control measures (i.e. silt fences, diversion banks) be implement during construction and be maintained until vegetation has been established across cleared areas. In addition, we recommend good drainage protection be implemented on batter slopes, roadways and behind retaining walls.



Figure 1: Site photo – looking west across the proposed dwelling location from the eastern boundary

24 July 2024

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## Limitations

Your attention is drawn to the document – 'Limitations' which is attached to this letter report. The statements presented in this document are intended to advise you of what your realistic expectations of this report should be. The document is not intended to reduce the level of responsibility accepted by DBM Geotech, but rather to ensure that all parties who may rely on this report are aware of the responsibilities each assumes is so doing.

Yours sincerely,

**DBM Geotech Consulting Pty Ltd**



Bill Wang  
BEng (Hons) MEngSc (Res) MIEAust CPEng NER  
EA Membership number: 2099569  
ABN 69 666 900 643

Attachments: Site plan  
Borehole log  
Limitations



# FIGURE 1: SITE PLAN



**Legend:**

**Boreholes**



Not to scale

Job Number: 24177  
Prepared for: Development Solutions Victoria  
Site Address: 11 Caitlyns Lane, Wy Yung

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**REPORT OF BOREHOLE: BH1**

**DBM GEOTECH**

Job No : 24177  
 Client : . Owner / Designer  
 Project : 11 Caitlin's Lane, WY Yung  
 Location : 11 Caitlin's Lane, WY Yung  
 Contractor : DBM Geotech

Easting : 552,838.92  
 Northing : 5,817,229.62  
 UTM : 55H  
 Drill Rig : Push Tube  
 Inclination :

Sheet : 1 OF 1  
 Logged : Sam Young  
 Logged Date : 17/07/2024  
 Checked :  
 Checked Date : 17/07/2024

Drilling Method	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency/Density	Samples	Testing	Shear Strength	
		0.2		SM	Sandy SILT SM: firm to stiff, non-plastic, dark grey, fine to medium grained sand, inorganic, moist.	M	F-St				
				SM	Silty SAND SM: brown, medium dense, fine to medium grained, moist.		MD				
		0.75 0.8		SM	Wet.	W					
		1		CI-CH	CLAY CI-CH: very stiff, medium to high plasticity, redbrown orange grey, moist.	M	VSt				
				<b>BH1 Terminated at 1.5m</b>							
		2									
		3									





**EXPLANATION OF ABBREVIATIONS AND DESCRIPTIVE TERMS USED ON BOREHOLE AND TEST PIT LOGS**

**DRILLING/EXCAVATION METHOD**

AD	Auger Drilling	EX	Tracked Hydraulic Excavator
HA	Hand Auger	BH	Backhoe
W	Washbore	HAND	Excavated by Hand Methods

**WATER**

	Water level shown at date		Water Inflow
GROUNDWATER NOT OBSERVED	The observation of groundwater, weather present or not, was not possible due to drilling water, surface seepage or cave in of the borehole/test pit		
GROUNDWATER NOT ENCOUNTERED	The borehole/test pit was dry soon after excavation. However, groundwater could be present in less permeable strata. Inflow may have been observed had the borehole/test pit been left open for a longer period.		

**SAMPLING AND TESTING**

SPT	Standard Penetration Test
DS	Disturbed sample
BDS	bulk disturbed sample
W	water sample
FP	field permeability test over section noted
FV	field vane shear tests expressed as uncorrected shear strength
U50	thin walled tube sample
PP	pocket penetrometer test expressed as instrument reading in kPa

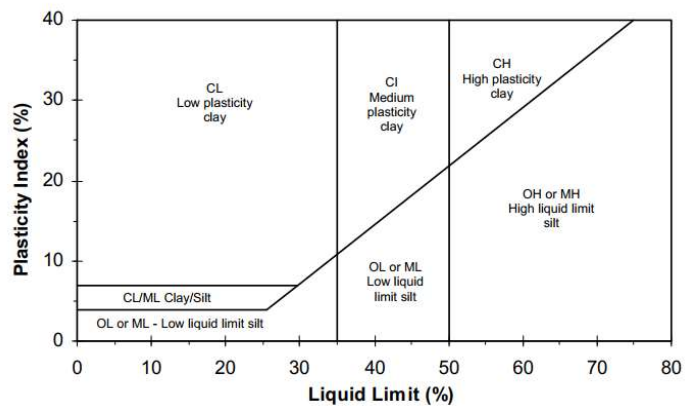
**CLASSIFICATION AND INFERRED STRATIGRAPHY**

Soil and Rock is classified and describe in Report of Boreholes and Test pits using the preferred method given in AS1726 – 2017, Appendix A. The material properties are assessed in the field by visual/tactile methods.

**Particle Size**

Major Division	Sub Division	Particle Size
BOULDERS		> 200 mm
COBBLES		63 to 200 mm
GRAVEL	Coarse	20 to 63 mm
	Medium	6.0 to 20 mm
	Fine	2.0 to 6.0 mm
SAND	Coarse	0.6 to 2.0 mm
	Medium	0.2 to 0.6 mm
	Fine	0.075 to 0.2 mm
SILT		0.002 to 0.075 mm
CLAY		< 0.002 mm

**Plasticity Properties**



**MOISTURE CONDITION**

Symbol	Term	Description
D	Dry	Sand and gravels are free flowing. Clays & silts may be brittle or friable and powdery.
M	Moist	Soils are darker than in the dry condition and may feel cool. Sands and gravels tend to cohere.
W	Wet	Soils exude free water. Sands and gravels tend to cohere.

**CONSISTENCY AND DENSITY**

Symbol	Term	Undrained Shear strength	Symbol	Term	Density index %
VS	Very Soft	0 to 12 kPa	VL	Very Loose	Less than 15
S	Soft	12 to 25 kPa	L	Loose	15 to 35
F	Firm	25 to 50 kPa	MD	Medium Dense	35 to 65
St	Stiff	50 to 100 kPa	D	Dense	65 to 85
VSt	Very Stiff	100 to 200 kPa	VD	Very Dense	Above 85
H	Hard	Above 400 kPa			

In the absence of test results, consistency and density may be assessed from correlations with the observed behaviour of the material.

**ROCK MATERIAL WEATHERING**

RS	Residual Soil	Soil developed on extremely weather rock; the mass structure and substance fabric are no longer evident; there is a large change in volume but the soil has not been significantly transported.
EW	Extremely weathered	Rock is weathered to such an extent that it has soil properties – i.e. it either disintegrates or can be remoulded, in water.
HW	Highly weathered	The whole of the rock material is discoloured to the extent that the colour of the original rock is not recognizable. Rock strength is significantly changed by weathering.



## LIMITATIONS

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## Site Assessment for Wastewater Disposal for a new residence at 11 Caitlyns Lane - Wy Yung

### INTRODUCTION

The property owners intend to construct a new residence on their property, which is located at No. 11 Caitlyns Lane in the Wy Yung locality. Reticulated Sewerage is not available to this allotment so the on-site disposal of wastewater is required for the new dwelling. The property is suitable for wastewater disposal by a septic tank with sub-soil absorption trenches, subject to site constraints.

### SITE CONDITIONS

The Rural Living (RLZ3) zoned allotment is located at the south end of Caitlyns Lane about 0.4 km south of Hodges Estate Road, and has an area of about 33.7 hectares. The lot under consideration is described as Crown Allotment 24H – Parish of Wy Yung.

The property is predominately cleared farmland that slopes generally to the south east towards a defined drainage line (a tributary of Drevermann Gully) that extends through the middle of the lot. The land has been fenced into smaller paddocks to facilitate livestock grazing.

The proposed building site is situated within the north east part of the lot, and about 120 metres to the north of an existing residence and several appurtenant outbuildings, which will be retained (subject to Planning Approval). The front part of the lot contains an established plantation of native trees, but is otherwise cleared grazing land. The area is fenced into a small paddock that slopes generally to the north east at grade of about 4%. The building site is slightly elevated and benefits from views to the east across nearby farmland.

The proponent has provided a description of the proposed residence, which will be located with a setback of about 80 metres from the east boundary and about 60 metres from the north boundary. A formed and gravel surfaced driveway from the end of Caitlyns Lane provides vehicular access past the site of the proposed residence and to the existing house and outbuildings, where a turning circle exists for access by a fire tanker during an emergency.

### SITE INVESTIGATION

A suitable wastewater disposal area located to the west of the proposed building site has been further investigated. This area slopes towards the west at up to 5% grade, and is sufficiently down the slope to ensure that it can command all the wastewater fixtures within the proposed residence.

The soil profile was found to be consistent across the building site and surrounds. The soils encountered comprise of dark brown sandy loam topsoil and light brown/tan fine silty sand up to 700 mm in depth, overlying orange/grey very sandy clay with orange silty clays at greater depth. The building site has a good cover of pasture grass and is clear of trees.

### DRAINAGE

The proposed wastewater disposal site is located on a slope that is slightly “linear convergent” in shape but is adequately drained due to the sandy loam soils of reasonable depth. The site is sufficiently set back about 80 metres from the minor gully that

contributes to a farm dam within the farmland to the west of the driveway. The average annual rainfall for the site is 760 mm.

## SITE ASSESSMENT

Several hand augured boreholes have been excavated at the proposed wastewater site to determine the soil profile and to assist with the soil classification. The results of falling head percolation testing at similar Wy Yung sites, as well as the visual assessment of the soil profile have been used to confirm the suitability of the site for wastewater disposal.

The Design Loading Rate for subsoil absorption/transpiration trenches has been determined, based on the site specific assessment and reference to Table 4.2A2 of AS1547. The underlying partly clayey soils encountered have been classified as Category 4 Clay Loams, well structured but imperfectly drained; with an indicative permeability  $K_{sat}$  of 0.5 – 1.5 m/day. A conservative Design Loading Rate (DLR) of 12 mm/day has been adopted for the site.

The assessment is based on a design wastewater volume of 150 litres/person/day, in accordance with Table 4.1 - EPA Code 891.4 (Household with standard water saving fixtures – reticulated water supply). A design flow of 600 litres/day is appropriate for the proposed three bedroom residence and for a maximum of four occupants. The total length of 700 mm wide subsoil absorption/transpiration trench required is 71 metres.

## CONCLUSION

The Site analysis has indicated that the site is suitable for wastewater disposal by subsoil absorption trenches. The property contains sufficient area for installation of the required length of disposal trenches, providing that the layout is carefully planned to match the topography of the site. The layout can be marginally varied, since a consistent soil profile was encountered across the front half of the paddock.

## CONSTRUCTION DETAILS

The Septic Tank must be installed and maintained in accordance with EPA Certificate of Approval CA 1.1/03 and manufactured in accordance with the Australian Standard AS 1546-Small Septic Tanks, and must have a minimum capacity of 3000 litres. The exact location of the septic tank must be determined by the plumber, depending on the final building location and floor level, and the layout of the pipe work to connect the plumbing fixtures within the new residence.

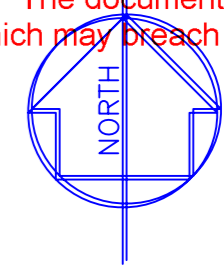
Construction of absorption trenches must be carried out in accordance with EPA Certificate of Approval CA 1.2/03. The trench layout will need to be planned by the plumber, but three trenches of 24 lineal metres each are recommended.

The subsoil trenches should be suitably marked or fenced off to ensure that they are not driven over by vehicles or used for the storage of materials or equipment. The excavated soil from the wastewater trenches, and also the excess topsoil from the site works must not be disposed of by spreading over the wastewater disposal field.

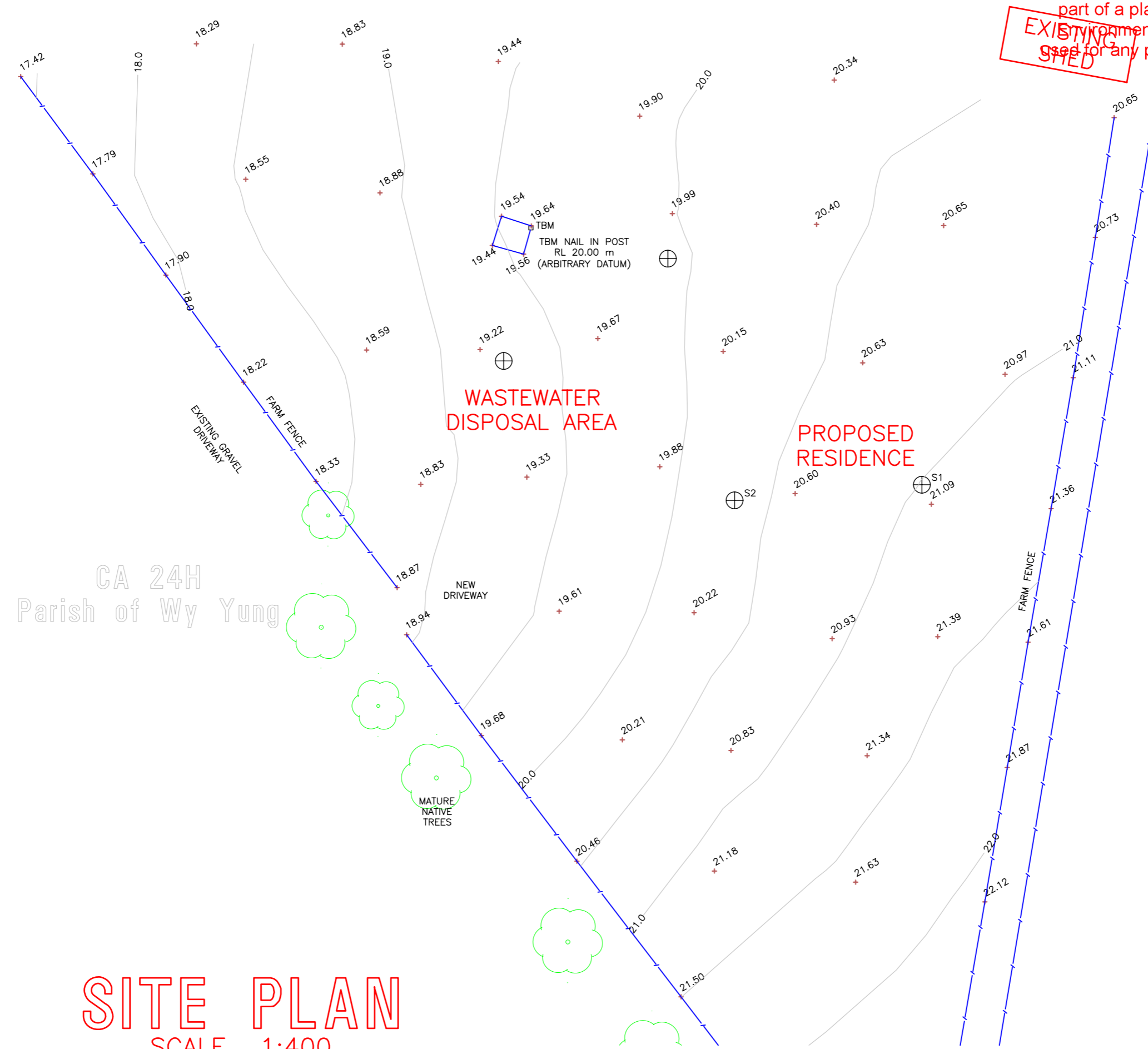
Stormwater flows from the proposed residence, and overflow from rainwater tanks (if used) must be discharged at a point well clear of the wastewater disposal site, preferably well to the north west, where a culvert exists below the driveway. Runoff from the new driveway and surfaced areas surrounding the house must to be directed away from the wastewater disposal field.

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EXISTING SHED



TO  
CAITLYNS LANE



CA 24H  
Parish of Wy Yung

# SITE PLAN

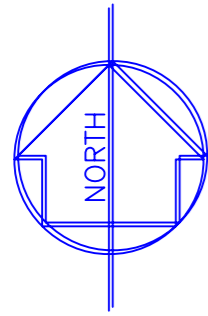
SCALE 1:400  
NO. 11 CAITLYNS LANE

PROPERTY BOUNDARIES ARE APPROXIMATE ONLY. FOR EXACT LOCATION CONSULT A LICENSED SURVEYOR FOR A RE-ESTABLISHMENT SURVEY

<b>STREETER</b> Civil Engineering Services Pty Ltd	OFFICE LOCATION 81-101 BROOKS ROAD BRUTHEN	DESIGNED N STREETER	DESIGN FILENAME CIVILCAD V5.7 246939	PROJECT <b>SITE INVESTIGATION NO. 11          CAITLYNS LANE - WY YUNG</b> CLIENT <b>MARK &amp; AISLA FISCHER RESIDENCE</b>	DRAWING SCALES 1:400 Printed <b>26/09/2024</b> Page <b>33 of 45</b> MY 2024 246939
	P.O. BOX 126 BRUTHEN VIC 3885	DRAWN N STREETER	PLOT FILENAME AUTOCAD 2000 246939.dwg		
	PHONE (03) 5157 5362 MOBILE 0409 575362	CHECKED N STREETER			
		APPROVED			



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CA 24H  
Parish of Wy Yung

# SITE PLAN

SCALE 1:850

PROPERTY BOUNDARIES ARE APPROXIMATE ONLY. FOR EXACT LOCATION CONSULT A LICENSED SURVEYOR FOR A RE-ESTABLISHMENT SURVEY

<b>STREETER</b> Civil Engineering Services Pty Ltd	OFFICE LOCATION	DESIGNED	N STREETER	DESIGN FILENAME	CIVILCAD V5.7 246939	PROJECT <b>SITE INVESTIGATION NO. 111</b> <b>CAITLYNS LANE - WY YUNG</b>	DRAWING SCALES 1:850 1:200 1:500 1:1000
	P.O. BOX 126 BRUTHEN VIC 3885	DRAWN	N STREETER	PLOT FILENAME	AUTOCAD 2000 246939.dwg		
	PHONE (03) 5157 5362 MOBILE 0409 575362	CHECKED	N STREETER	APPROVED		PRINTED <b>26/09/2024</b> <b>Page 34 of 45</b>	
							246939



Results

## SOIL PERCOLATION TEST RESULTS

Client: **Mark & Aisla Fischer**  
 Property Address: **11 Caitlyns Lane, Wy Yung**

Limited soil percolation testing has been carried out. The Design Loading Rate for subsoil absorption trenches has been determined, based on the site specific assessment and reference to Table 4.2A2 of AS1547. The underlying partly clayey soils encountered have been classified as Category 4 Clay Loams, well structured but imperfectly drained; with an indicative permeability Ksat of 0.5 – 1.5 m/day.

A conservative Design Loading Rate (DLR) of 12 mm/day has been adopted for the site.

### SEPTIC TANK AND SUB-SOIL ABSORPTION

The property owner has advised that the residence to be constructed will contains three bedrooms, kitchen, living areas, laundry, bathrooms and toilets. Allow for a maximum of four persons.

Adopt design wastewater volume of 150 litres/person/day, in accordance with Table 4.1 EPA Code 891.4 (Household with standard water saving fixtures - reliable water supply).

Design Daily Flow 600 litres/day

<b>Design Soil Percolation Rate</b>	<b>150</b>	mm/hour
<b>Long-Term Absorption Rate</b>	<b>12.0</b>	l/m <sup>2</sup> /day
<b>Design Loading Rate</b>	<b>12.0</b>	mm/day
<b>Design Daily Flow</b>	<b>600</b>	litres/day

<b>Trench Width</b>	<b>Length of absorption trench required for design daily flow</b>	
<b>300</b>	167	
<b>500</b>	100	
<b>700</b>	<b>71</b>	
<b>1000</b>	50	

### SEPTIC TANK DESIGN

Minimum Tank Capacity	$C = (S \times P \times Y) + (P \times DF)$	=	<b>1950</b>	(litres)
where	C = effective capacity in litres			
	S = sludge/scum rate per person		80	From Table 3.1
	P = number of people using system		5	
	Frequency of use		100%	365 days/year
	Y = desludging frequency in years		3	
	DF = daily inflow (litres per person per day)		150	

**ADOPT A SEPTIC TANK OF 3000 Litres CAPACITY**

# **STREETER CIVIL ENGINEERING SERVICES Pty. Ltd.**

Consulting Civil Engineer

(A.C.N. 072 946 760)

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e-mail: streetercivil@bigpond.com

P O Box 126 Bruthen VIC 3885  
Tel. 5157 5362

## **SITE CLASSIFICATION REPORT – PROPOSED RESIDENCE**

**11 CAITLYNS LANE, WY YUNG**

**JOB NUMBER- 246939**

**DATE: 03 MARCH 2024**

### **GENERAL**

This Soil Investigation consists of the drilling of 2 boreholes on the proposed site area using a hand auger. Disturbed soil samples collected have been subjected to visual examination and classification. The Borelogs, showing soil profiles are recorded on page SR2 as attached and forming part of this report. Bore locations are shown on site plan page SR3.

### **SITE DESCRIPTION**

The property owners intend to construct a new residence on their property, which is located at No. 11 Caitlyns Lane in the Wy Yung locality. The Rural Living (RLZ3) zoned allotment is located at the south end of Caitlyns Lane about 0.4 km south of Hodges Estate Road, and has an area of about 33.7 hectares. The lot under consideration is described as Crown Allotment 24H – Parish of Wy Yung. The property is predominately cleared farmland that slopes generally to the south east towards a defined drainage line (a tributary of Drevermann Gully) that extends through the middle of the lot.

The proposed building site is situated within the north east part of the lot, and about 120 metres to the north of an existing residence and several appurtenant outbuildings, which will be retained (subject to Planning Approval). The front part of the lot contains an established plantation of native trees, but is otherwise cleared grazing land. The area is fenced into a small paddock that slopes generally to the north east at grade of about 4%. The building site is slightly elevated and benefits from views to the east across nearby farmland.

The proponent has provided a description of the proposed residence, which will be located with a setback of about 80 metres from the east boundary and about 60 metres from the north boundary. A formed and gravel surfaced driveway from the end of Caitlyns Lane provides vehicular access past the site of the proposed residence and to the existing house and outbuildings, where a turning circle exists for access by a fire tanker during an emergency.

The soil profile was found to be consistent across the building site and surrounds. The soils encountered comprise of dark brown sandy loam topsoil and light brown/tan fine silty sand up to 700 mm in depth, overlying orange/grey very sandy clay with orange silty clays at greater depth. The building site has a good cover of pasture grass and is clear of trees.

### **DRAINAGE**

The proposed site is located on a slope that is slightly “linear convergent” in shape but is adequately drained due to the sandy loam soils of reasonable depth. The site is sufficiently set back about 80 metres from the minor gully that contributes to a farm dam within the farmland to the west of the driveway. The average annual rainfall for the site is 760 mm.

The proposed works will marginally alter the natural site drainage, since the house will be built using a concrete slab on ground within an excavated site. It is recommended that a shallow catch drain and subsoil drainage pipes be installed along the east side of the residence to intercept surface runoff and seepage.

### **GEOLOGY**

The Bairnsdale Geological Map SJ 55-7 describes the area as Tertiary Upper Pliocene age deposits of gravel, sand, silt and clays. The samples taken confirm this description.

### **SITE CLASSIFICATION**

It is anticipated that the building foundations will encounter the underlying sandy/silty clay soils. Samples from bores show that the classification of the site to be

**MODERATELY REACTIVE (M)** in accordance with AS 2870.1 -2011 "**RESIDENTIAL SLABS AND FOOTINGS**".

**NOTE:** These classifications are based on limited bores and should conditions vary after site excavation then the classification should be reassessed.



**RECOMMENDATIONS**

**MODERATELY REACTIVE PARTS OF SITES**

It is recommended that basic footing details be in accordance with Section 3 of AS 2870:1-2017 for soil Class M and that pad footings and concrete stumps be in accordance with AS 1684 – Residential Timber Framing Construction Manuals.

**FOUNDING DEPTHS FOR FOOTINGS**

STRIP FOOTINGS 600 mm      EDGE BEAMS 200 mm      PADS 700 mm

(it is recommended that pad footings be excavated to contact the sandy clays that underlie the site.

**BEARING CAPACITIES**

Generally the natural soil under the foundations will have a minimum Bearing Capacity of 120 kPa at a depth of 600 mm below the natural surface.

**WIND TERRAIN**

Classification in accordance with AS 4055-2012

Region A, Table 2.2 p10      **N3 = W41**

Based on the following criteria

Terrain Category – Cl 2.3 (d)      **TC2.0**

Topographic Class – Table 2.3 p13      **T1**

Shielding Class – Cl 2.5 (c)      **NS**

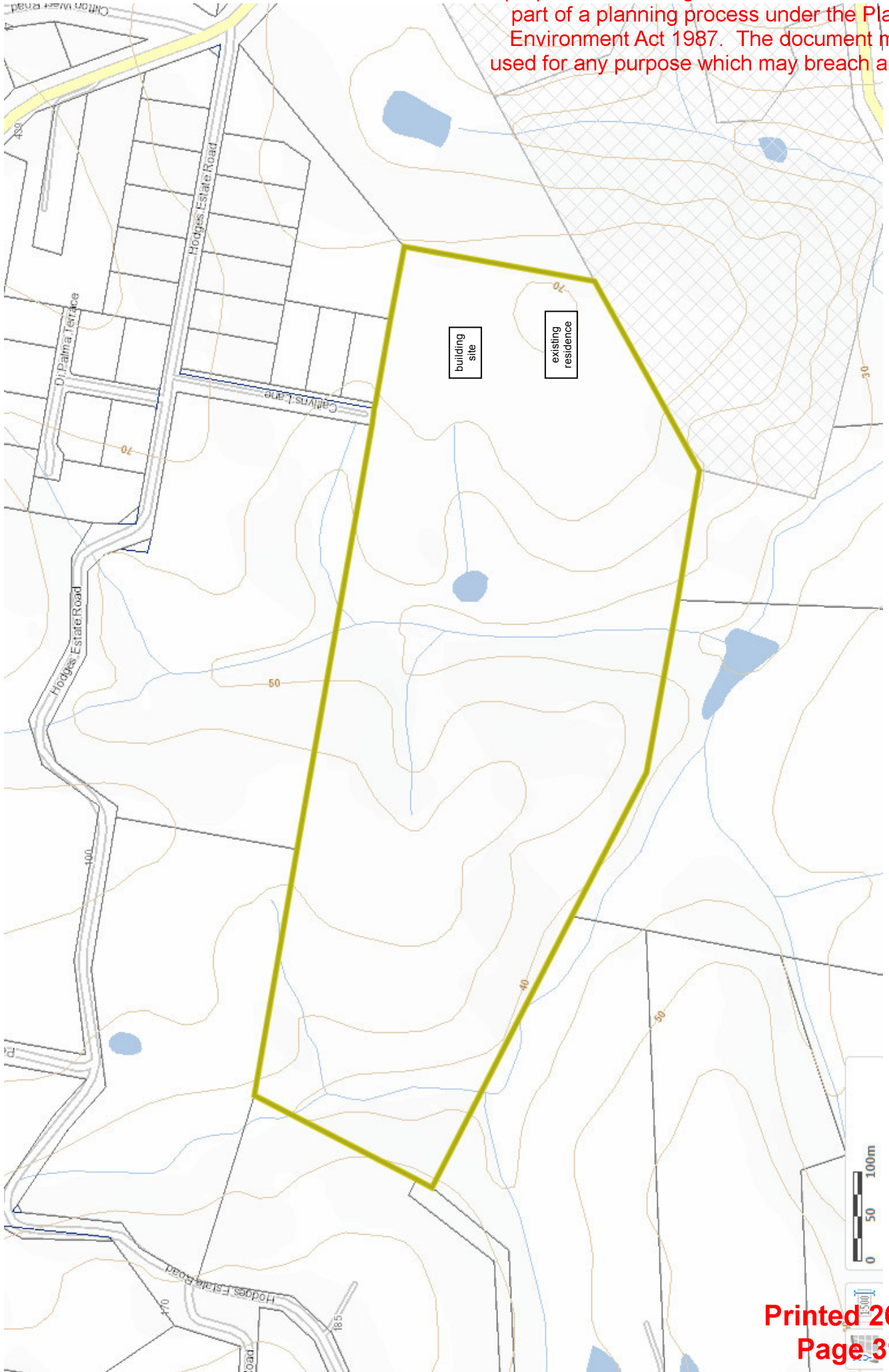
<b>STREETER CIVIL ENGINEERING SERVICES Pty Ltd</b>			
<i>Consulting Civil Engineer</i>			
( A.C.N. 072 946 760 )			
81-101 Brooks Road Bruthen Victoria. 3885		Correspondence : P.O.Box 126, Bruthen Vic 3885	
e-mail: streetercivil@bigpond.com		Tel : (03) 5157 5362	
<b>Client:</b>	Mark & Ailsa Fischer	<b>Job No:</b>	246939
<b>Job:</b>	new residence	<b>Date:</b>	3-May-24
	11 Caitlyns Lane	<b>Design:</b>	Neil Streeter
	Wy Yung	<b>Checked:</b>	Neil Streeter

**LOG OF HAND AUGER BORES**

BORE No.	DEPTH		DESCRIPTION	REMARKS
S1	0		dark brown sandy loam topsoil; damp	
	200		brown/tan fine silty sand; damp; loose and becoming firm with depth	
	700		orange/grey mottled sandy clay, containing lenses of tan fine sand; damp and crumbly; firm	
	900		orange silty clay; damp; firm	
	1200		end of bore	
S2	0		dark brown sandy loam topsoil; damp	
	150		brown/tan fine silty sand; damp; loose and becoming firm with depth	
	600		orange sandy clay, containing lenses of tan fine sand; damp and crumbly; firm	
	800		orange silty clay; damp; firm	
	1200		end of bore	

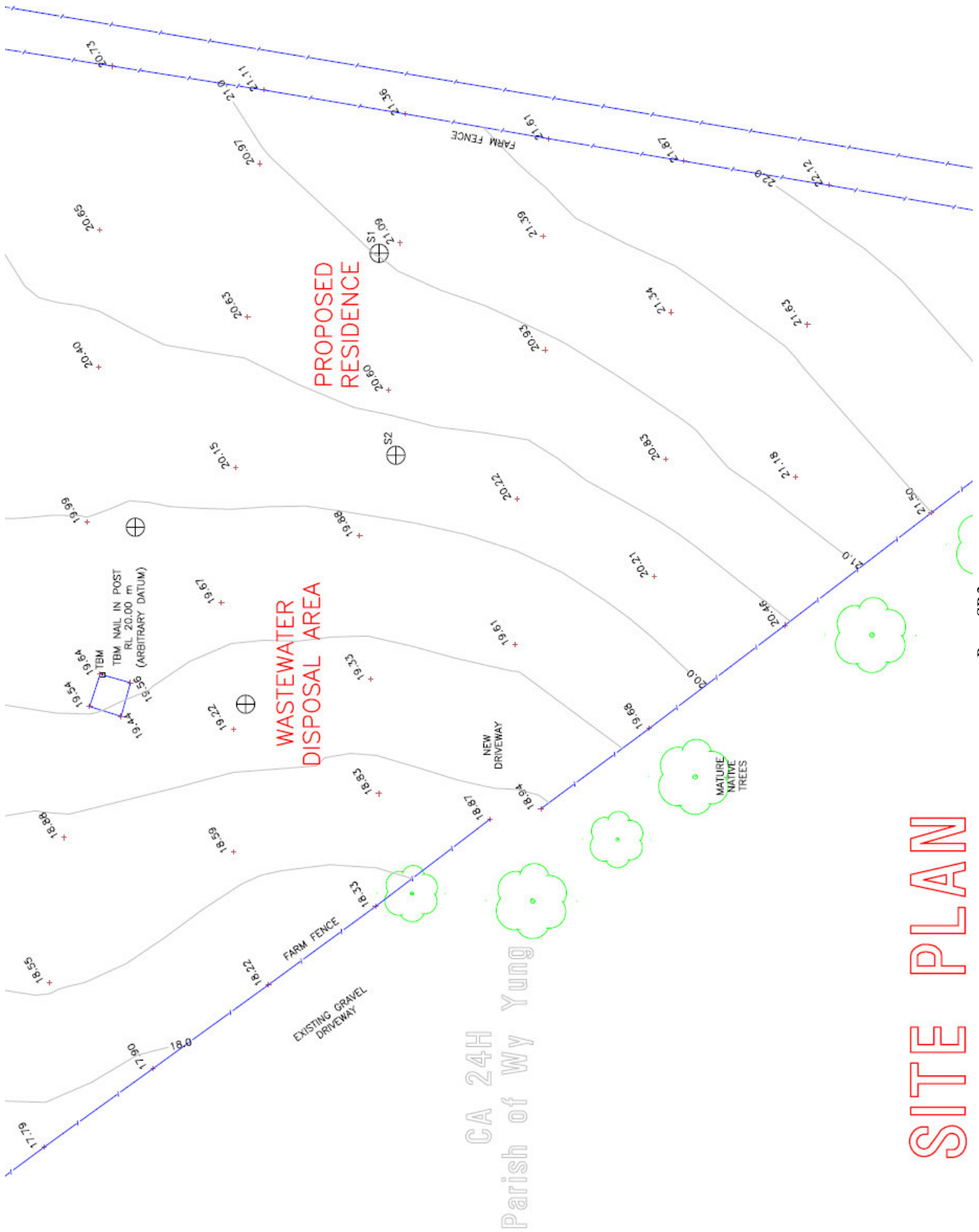


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LOCALITY PLAN

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Page SR3

CA 24H  
Parish of Wy Yung

# SITE PLAN



## ***STREETER CIVIL ENGINEERING SERVICES Pty. Ltd.-***

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e-mail: streetercivil@bigpond.com

P O Box 126 Bruthen VIC 3885  
Tel. 5157 5362

### **Important Notes**

1. The previous conclusions are based on limited bores and should conditions on site vary from the bore descriptions variation in footing sizes and depths may be necessary. It is recommended any variations be reported to the engineer.
2. Clays expand and contract because of moisture changes and even relatively stable clays will move appreciably if subject to extreme moisture conditions on the site. The builder is to make the owner aware of the following:
  - Leaking plumbing or blocked drains should be repaired promptly. Garden watering, especially by sprinklers should be controlled to avoid saturation of foundations. Proper garden maintenance should produce year round uniform moisture conditions.
  - Trees and shrubs can cause substantial drying of the soil and associated shrinkage of the clay. This effect is most likely to result in damage when added to the drying from a drought or long dry spell. This problem can be avoided by plating trees at substantial distances from the house. For complete protection against damage, trees should be avoided on reactive clay sites.
3. Some minor cracking, whilst undesirable, will occur in a significant proportion of houses on reactive clays. It is impossible to design a footing system that will completely protect a house under all circumstances.
4. Various construction and architectural details can be adopted to reduce the effect of movement.
  - articulation of brickwork
  - Flexible plumbing connection
  - Surface drainage of allotments to avoid water ponding against or near footings.
  - Subsoil drainage (refer to site plan page SR-3 and specification sheet page SR-1)
5. Any excavations required parallel to the footings should be kept at a suitable distance from the footings to prevent undermining. Service trenches should be filled with natural site clay in order to prevent rapid movement of soil moisture into the backfill.
6. All foundations and site works should be inspected by a competent person to ensure that subsurface conditions and site preparation procedures are in accordance with those outlined in the report. If any doubt exists then this office should be contacted immediately for further advice. We take no responsibility for any consequences arising from footing excavations either shallower or deepened beyond our recommended founding depths without our prior approval.
7. The use of standard footings as presented in AS2870-2011 is only applicable to building works with a loading and a construction style similar that of a residential dwelling as described in section 3.1 of AS2870-2011.





NOTE:  
TITLE BOUNDARIES INDICATIVE ONLY  
MEASUREMENTS DERIVED FROM CONVERSION  
OF LINKS TO METERS  
REFER TO TP 569860N FOR FURTHER DETAILS

OVERALL SITE PLAN

SCALE 1:2000

PLANNING



ISSUE:	REVISION:	AMENDMENT:	DATE:
PLANNING	A	ISSUED FOR REVIEW	19.06.24
PLANNING	B	ISSUED FOR PLANNING APPLICATION	21.06.24

PROJECT:  
**PROPOSED SECOND DWELLING**

PROJECT ADDRESS:  
**11 CAITLYNS LANE  
WY YUNG**

CLIENT:  
**M AND A FISCHER**

JOB NUMBER:  
**0426\_23**

DRAWING TITLE:  
**OVERALL SITE PLAN**

SCALE: AS SHOWN  
SHEET: A3  
DRAWN: TH

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DRAWING NUMBER:  
**TP01**

ISSUE:  
**PLANNING**

REVISION:  
**B**

Printed 26/09/2024  
Page 42 of 45





### DETAILED SITE PLAN

SCALE 1:200

# PLANNING

ISSUE:	REVISION:	AMENDMENT:	DATE:
PLANNING	A	ISSUED FOR REVIEW	19.06.24
	B	ISSUED FOR PLANNING APPLICATION	21.06.24

PROJECT:  
**PROPOSED SECOND DWELLING**

PROJECT ADDRESS:  
**11 CAITLYNS LANE  
WY YUNG**

CLIENT:  
**M AND A FISCHER**

JOB NUMBER:  
**0426\_23**

DRAWING TITLE:  
**DETAILED SITE PLAN**

SCALE: AS SHOWN  
SHEET: A3  
DRAWN: TH

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ISSUE:  
**PLANNING**

REVISION:  
**B**

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Page 43 of 45





**GROUND FLOOR PLAN**

SCALE 1:100  
**AREAS**  
 LIVING: 176 M<sup>2</sup>  
 COVERED EXTERNAL: 86 M<sup>2</sup>  
 GARAGE/STORE: 72 M<sup>2</sup>  
 TOTAL: 334 M<sup>2</sup>



ISSUE:	REVISION:	AMENDMENT:	DATE:
PLANNING	8	ISSUED FOR REVIEW	19.06.24
		ISSUED FOR PLANNING APPLICATION	21.06.24

PROJECT:  
**PROPOSED SECOND DWELLING**

PROJECT ADDRESS:  
**11 CAITLYNS LANE  
 WY YUNG**

CLIENT:  
**M AND A FISCHER**

JOB NUMBER:  
**0426\_23**

DRAWING TITLE:  
**GROUND FLOOR PLAN**

SCALE: AS SHOWN  
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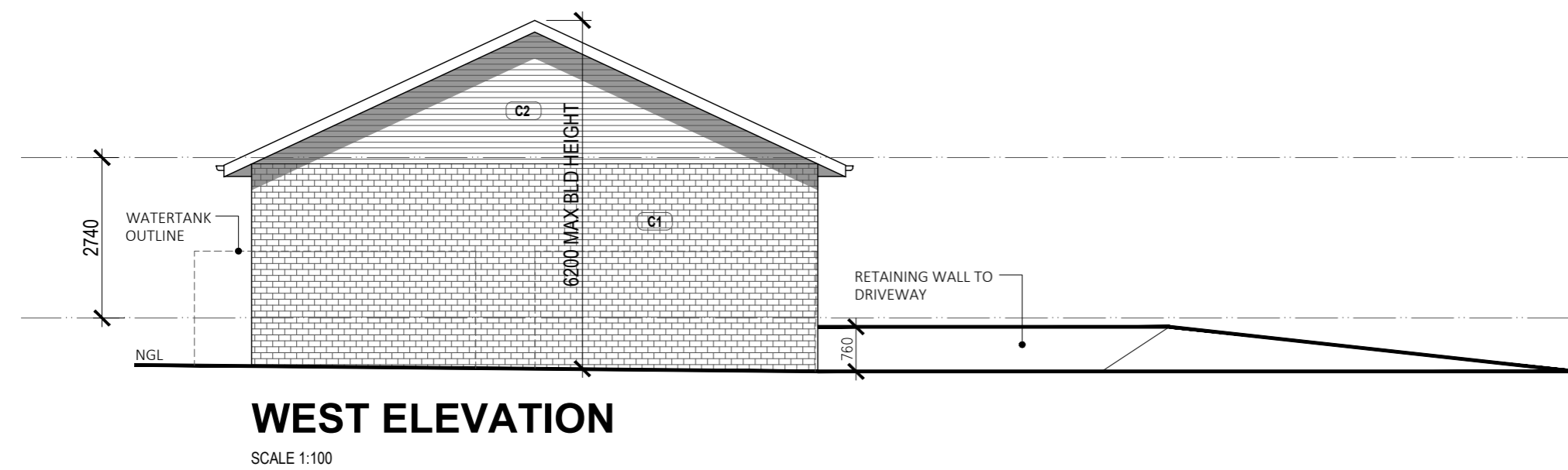
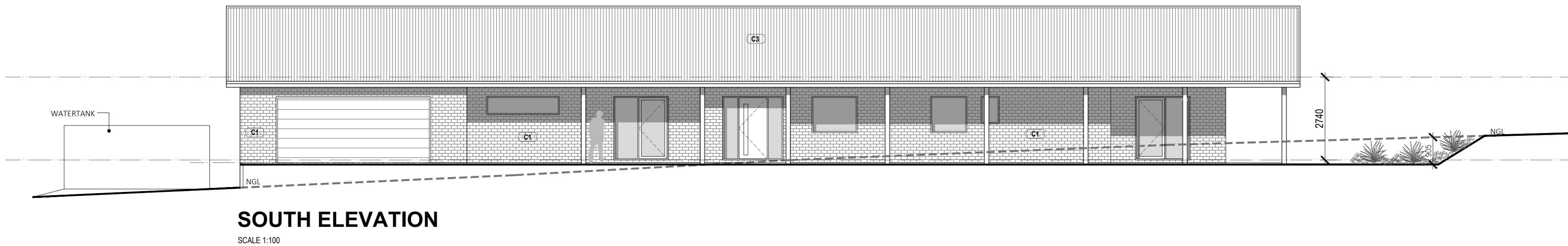
**PLANNING**

DRAWING NUMBER:  
**TP03**

ISSUE:  
**PLANNING**

REVISION:  
**B**

Printed 26/09/2024  
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- EXTERNAL MATERIALS AND FINISHES**
- C1 CLADDING 1 - FACE BRICK WORK - RECYCLED REDS
  - C2 CLADDING 2 - COLORBOND CLADDING - "WOODLAND GREY"
  - C3 CLADDING 3 - ROOF SHEETING - "ZINCALUME"



ZINCALUME

PLANNING



ISSUE:	REVISION:	AMENDMENT:	DATE:
PLANNING	8	ISSUED FOR PLANNING APPLICATION	21.06.24
	7	ISSUED FOR REVIEW	19.06.24
	6		
	5		
	4		
	3		
	2		
	1		

PROJECT: **PROPOSED SECOND DWELLING**

PROJECT ADDRESS:  
**11 CAITLYNS LANE  
WY YUNG**

CLIENT: **M AND A FISCHER**

JOB NUMBER:  
**0426\_23**

DRAWING TITLE:  
**ELEVATIONS**

SCALE: AS SHOWN  
SHEET: A3  
DRAWN: TH

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DRAWING NUMBER:  
**TP04**

ISSUE: **PLANNING**

REVISION: **B**

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