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Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	112 Mirrabooka Road MALLACOOTA 3892 Lot: 4 PS: 346221
The application is for a permit to:	Development of a Dwelling, Outbuilding and Carport
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2024.279.1

You may look at the application and any documents that support the application free of charge at: https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must •

- be made to the Responsible Authority in writing,
- include the reasons for the objection, and
- state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

decide on the application before:	The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
-----------------------------------	--	--

If you object, the Responsible Authority will tell you its decision.





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REGISTER SEARCH STATEMENT (Title Searseld) for zanstieno setwhich may breach sony of copyright. Land Act 1958

VOLUME 10721 FOLIO 869

Security no : 124117671723G Produced 23/08/2024 11:50 AM

LAND DESCRIPTION

Lot 4 on Plan of Subdivision 346221D. PARENT TITLE Volume 10689 Folio 572 Created by instrument AC014492J 17/04/2003

REGISTERED PROPRIETOR

Estate Fee Simple Sole Proprietor RYAN DAVID MASLIN AS611955A 11/10/2019

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT as to part AC014492J 17/04/2003

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS346221D FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 112 MIRRABOOKA ROAD MALLACOOTA VIC 3892

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END





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TELEPHONE (051) 52 5011

COUNCIL DELEGATE SIGNATURE





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Document Type	Instrument
Document Identification	AC014492J
Number of Pages	3
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Section 45 Transfer of Land Act 1938	Solicitors 40 Chute S DIAMONI	Street CREEK, 3089	17/04/2003 \$300 45 DABLE/CHANGE CONTROL
The transferor at the direction of the directing interest specified in the land described for the cor—together with any easements created by this tra—subject to the encumbrances affecting the land before the lodging of this transfer; and—subject to any easements reserved by this transfer pursuant to statute and included in this transfer	g party (if nsideration ansfer; I including	expressed— any created by d	lealings lodged for registration
Land: (volume and folio reference) Lot 4 on Plan of Subdivision Number 346221E land comprised in Certificate of Title Volume	being 10689 Fol	io 572	
Estate and Interest: (e.g. "all my estate in fee simple All its estate and interest	e")		, , ,,,,
Consideration: \$85,650			
Transferor: (full name) KARLHEINZ PETER KURZ			
Transferee: (full name and address including postcode RODERIC HAGEN and LINDA KAREN HABOTH of 134 Haleys Gully Road, Hurstbridge, N	AGEN		

Directing Party: (full name)

Not applicable

as joint tenants

Creation and/or Reservation and/or Covenant:

See over



Continued on T2 Page 2

Approval No. 18170111L

ORDER TO REGISTER

Please register and issue title to

Signed

Cust. Code:

STAMP DUTY USE ONLY 1836 -

Original Transfer of Land Stamped with: \$1,856.00 Trn:1507989 16-APR-2003 SRO Victoria Duty, JXM2

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The transferee for himself and his successors in title with the intent that the benefit of the covenant shall be attached to and run at law and in equity with every lot on Plan of Subdivision No. 346221D other than the lot hereby transferred and that the burden of this covenant shall be attached to and run at law and in equity with the lot hereby transferred COVENANTS with the said transferor and each of the registered proprietor or proprietors for the time being of each lot on the said Plan of Subdivision (other than the lot hereby transferred) not to allow on that part of the land marked A on the plan

- (a) any construction or earth fills above the natural surface of the land;
- (b) the growth of shrubs and grass to a height of more than one metre on that part of the land marked A on the plan annexed hereto;

APRIL 2003 Dated:

Execution and attestation:

Signed by the Transferor in the presence of:

M. Kurr (Independent Witness)

<u>SIGNED</u> by the Transferees in the presence of:

(Independent Witness)

KARLHEINZ PETER KURZ

RODERIC HAGEN

Approval No. 18170111L

I'2 Page 2

AC014492J

LAW INSTEAMENT OF BY 2024



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CONTENTS

1	Introduction	4
2	Site Context	5
3	The Proposal	10
4	Zones and Overlays	11
5	Planning Assessment	17
6	Conclusion	19

APPENDIX

- A Copy of Title and Plan of Subdivision
- **B** Proposed Development Plans
- **C** Bushfire Management Report

DOCUMENT REVISION

- **1** Draft Report DAC 02/08/2024
- 2 Final Report CMC 03/08/2024



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1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of Roxy Joiner and Ryan Maslin, the owners of land and the applicant for this planning permit application for the development of a dwelling, outbuilding and carport at 112 Mirrabooka Road, Mallacoota.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

	used for any purpose which may breach a
Address	112 Mirrabooka Road, Mallacoota
Site Description	Lot 4 on Plan of Subdivision 346221D
Title Particulars	Vol 10721 Fol 869
Site Area	5088m ²
Proposal	Development of a Dwelling, Outbuilding and Carport
Planning Scheme	East Gippsland Planning Scheme
Zone	General Residential Zone – Schedule 1
Overlays	Bushfire Management Overlay
	Design and Development Overlay – Schedule 12
	Vegetation Protection Overlay – Schedule 8
Aboriginal Cultural Heritage	Not identified as an area of Cultural Heritage Sensitivity
Permit Triggers	Clause 44.06 Bushfire Management Overlay – Permit Requirement
	Clause 43.02 Design and Development Overlay – Permit Requirement
Notice	Exempt from notice at Clause 44.06-7
Referrals	Country Fire Authority
Work Authority Licence	Not Applicable
Planning Scheme	Municipal Planning Strategy – Clause 02
requirements	Settlement – Coastal settlements – Clause 02.03-1
	Environmental and landscape values – Clause 02.03-2
	Environmental risks and amenity – Clause 02.03-3
	Built environment and heritage – Clause 02.03-5
	Planning Policy Framework – Clause 10
	Settlement – Clause 11
	Environmental and landscape values – Clause 12
	Environmental risks and amenity – Clause 13
	Bushfire Planning – Clause 13.02-1S
	Built environment and heritage – Clause 15
	Housing – Clause 16
	Design and Development Overlay - Clause 43.02
	Bushfire Management Overlay – Clause 44.06
	Decision guidelines – Clause 65

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2. SITE CONTEXT

Site

The subject site is located at 112 Mirrabooka Road, Mallacoota. A copy of the Title and Plan of Subdivision is contained in *Appendix A*. The title is affected by restrictive covenant registered on title as **AC014492J**.

AC014492J

The covenant restricts construction and the growth of shrubs for the first 20 metres of the northern portion of the site as identified on the proposed development plans and within the covenant.

The site is irregular in shape with a total area of approximately 5088m² and is vacant land.

The site is relatively flat in nature and contains scattered vegetation throughout. Details of the site are depicted in the photographs provided below.

Access to the subject site is existing via a gravel crossover and driveway entering via the southern boundary, connecting directly to Mirrabooka Road. Mirrabooka Road is a bitumen sealed road with grassed swale drains, traversing in an east to west direction.

The subject site in relation to Mallacoota as well as the surrounding land, is shown in the locality plans in *Figure 1* and *Figure 2*.



Figure 1 – Locality Plan – 112 Mirrabooka Road, Mallacoota (source: mapshare.vic.gov.au)



Figure 2 – Locality Plan – 112 Mirrabooka, Mallacoota (source: mapshare.vic.gov.au)

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Surrounds

The land in this locality is predominantly developed residential land.

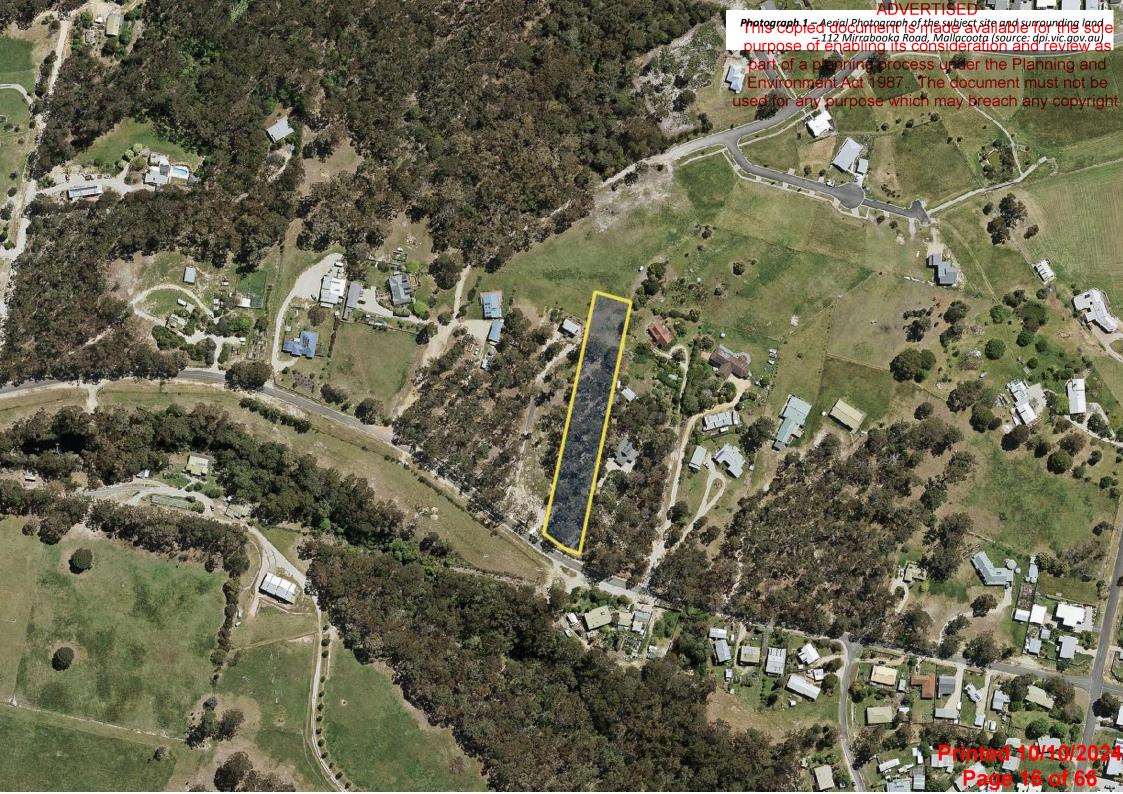
Adjoining the northern boundary of the subject site is vacant land. Adjoining the eastern and western boundaries is land containing residential dwellings and associated facilities and adjoining the southern boundary is Mirrabooka Road, further residential development and Public Land known as Mallacoota Bushland Reserve.

The site is located approximately 2.4 kilometres north of the central business district of Mallacoota.

Mallacoota is a small seaside holiday town located 143.7 kilometres east of Orbost in the far eastern area of the East Gippsland Shire. Mallacoota has a suitable level of community and commercial services and facilities to support the existing residential component.

The subject site in relation to Mallacoota is shown in the aerial photograph below.





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Photograph 2 – Subject site at 112 Mirrabooka Road, Mallacoota.



Photograph 4 – Existing driveway facing south connecting directly to Mirrabooka Road.



Photograph 6 – Existing shed and containers facing south-west.



Photograph 3 – Existing driveway access to subject site facing north.



Photograph 5 – Subject site facing east.



Photograph 7 – Subject site facing northeast.

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Photograph 8 – Subject site facing west along the southern boundary.



Photograph 10 – Subject site facing south from northern boundary.



Photograph 12 – Subject site facing west along northern boundary showing existing greenhouse and proposed dwelling location.



Photograph 9 – Mirrabooka Road facing east.



Photograph 11 – Mirrabooka Road facing west.



Photograph 13 – Public Land opposite the subject site to the south.

3. THE PROPOSAL

This application seeks approval for development of a dwelling, outbuilding and carport. The proposed development plans are contained in *Appendix B*.

The proposed dwelling will be located in the northern portion of the subject site and will have a setback of approximately 32 metres to the northern boundary, 5 metres to the western boundary, 6.94 metres to the eastern boundary.

The total building footprint of the dwelling will be approximately 344.23m². The overall height of the proposed dwelling is approximately 6.3 metres from natural ground level.

The finished materials of the proposed dwelling will include a combination of Colorbond wall cladding in the colour Blue Gum, Hardies Scyon Axon in a painted finish being Dulux Gully and Hardies Scyon Linea Board with a painted finish being Dulux Surfmist. The roof will be Colorbond metal sheeting in the colour Woodland Grey. A visual description of the exterior finishes is contained in *Appendix B*.

An extract from the plans indicating the northern elevation is provided in *Figure 3* and in *Appendix B*.

Carport

The proposed carport will be located along the eastern boundary between the proposed dwelling and outbuilding with a setback of approximately 10 metres to the proposed dwelling and 2 metres to the eastern boundary.

The proposed carport will be 7 metres long by 7 metres wide with an overall height of approximately 4.160 metres. The design of the carport will be consistent with the proposed dwelling.

The carport will have 4 open sides and the finished material will be Colorbond metal roof sheeting in the colour Woodland Grey.

Outbuilding

The proposed outbuilding will be located centrally on the site with a setback of 3 metres to the eastern boundary.

The proposed outbuilding will be 16 metres long by 9 metres wide with an overall height of 5.07 metres.

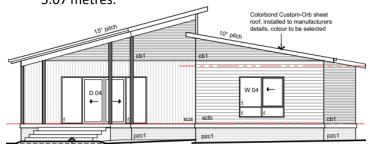


Figure 3 – Northern Elevation – Sands Building Design

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with three open sides. The finished material will be Colorbond metal sheeting for the walls and roof.

Vehicle access to the site is existing via a gravel crossover and driveway entering from the southern boundary directly from Mirrabooka Road. The existing driveway will be extended to the location of the proposed dwelling, carport and outbuilding.

The proposal will connect to all available services including reticulated water, sewerage, electricity, telecommunications and the existing road network.

Three trees require removal however will be removed to provide defendable space for the proposed dwelling.

The proposal can achieve a BAL29 rating. A Bushfire Management Report is contained in *Appendix C.*

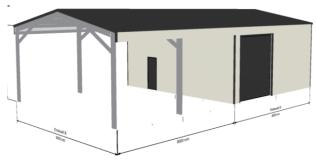


Figure 4 – Outbuilding Elevation – Sands Building Design

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4. ZONES AND OVERLAYS

General Residential Zone

The purpose of the General Residential Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

An extract of the General Residential Zone map is provided to the right in *Figure 5*.

Clause 32.08-5 of the General Residential Zone provides a permit is not required to construct one dwelling on a lot. A permit is not required for an outbuilding associated with a dwelling. Given the proposed outbuilding and carport are associated with the dwelling, a permit is not required, this is not addressed further.



Figure 5 – General Residential Zone – (source - mapshare.vic.gov.au)

Bushfire Management Overlay

The purpose of the Bushfire Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
- To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.
- To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

An extract of the Bushfire Management Overlay map is provided to the right in *Figure* 6.

Clause 44.06-2 provides a permit is required to construct a building or construct or carry out works associated with accommodation.

Clause 44.06-4 provides an application must meet the requirements of Clause 53.02 unless the application meets all of the requirements specified in a schedule to this overlay. A schedule to this overlay must specify substitute approved measures, additional alternative measures and additional or substitute decision guidelines for the purposes of Clause 53.02. There is no schedule applicable to the subject site.

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PLANNING REPORT | 112 MIRRABOOKA ROAD, MALLACOOTA part of a planning process under the Planning and Environment Act 1987. The document must not be using propagative propagations of the Bushfire Management Overlay and Clause 53.02-3.1 and as such the relevant decision guidelines are addressed below in Section 5. A Bushfire Management Report is contained in Appendix C.



Figure 6 – Bushfire Management Overlay – (source - mapshare.vic.gov.au)

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Design and Development Overlay – Schedule 12

The purpose of the Design and Development Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

An extract of the Design and Development Overlay map is provided to the right in *Figure* 7.

Clause 43.02-2 – Buildings and works provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is required for a building height greater than 7.5 metres, for a development where the slope of land exceeds 15 percent and where the total building footprint is greater than 300m².

The proposed dwelling, outbuilding and carport will not exceed 7.5 metres in height, the slope of the land does not exceed 15 percent however the total building footprint will exceed 300m² and as such a permit is

required. The relevant decision guidelines are addressed in Section 5 of this submission.



Figure 7 – Design and Development Overlay Schedule 12 – (source - mapshare.vic.gov.au)

Design and Development Overlay – Schedule 12 continued:

Schedule 12 to the Design and Development Overlay relates to Residential Development in Coastal Settlements: Mallacoota and contains the following design objectives:

All areas

- To protect and manage the township character of coastal settlements.
- To ensure that the height and visual bulk of new development is compatible with the coastal neighbourhood setting.
- To ensure that new development is designed to minimise visual impacts on the natural landscape.
- To ensure that new development is visually and physically integrated with the site and surrounding landscape.
- To ensure that new development is sited and designed to be visually unobtrusive through and above the surroundings tree canopy when viewed from nearby streets, lakes, coastal areas, or other distant viewpoints.
- To protect the vegetated character of the landscape, particularly where it is a dominant visual and environmental feature.

- To conserve and enhance views to the Inlet from public places in the town centre character area.

The subject site is within Residential Precinct character zone, area 3 Stingray Point and contains the following design objectives:

Stingray Point (area 3)

- To ensure that the visual scale and bulk of any new development is compatible with the landscape values of the area.
- To provide a range of low density housing and accommodation styles in a landscaped setting.

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- establishment of those landscape and physical features on the subject land that contribute to its appearance and character as part of the coastal setting.
- To ensure that development respects the preferred neighbourhood character.

An extract of the character zones from the Mallacoota Urban Design Framework is provided below at *Figure 8*.

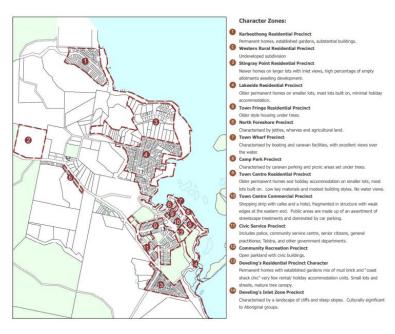


Figure 8 – Extract – Character Zones – Mallacoota Urban Design Framework – (source - eastgippsland.vic.gov.au)

Vegetation Protection Overlay – Schedule 8

The purpose of the Vegetation Protection Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas of significant vegetation.
- To ensure that development minimises loss of vegetation.
- To preserve existing trees and other vegetation.
- To recognise vegetation protection areas as locations of special significance, natural beauty, interest and importance.
- To maintain and enhance habitat and habitat corridors for indigenous fauna.
- To encourage the regeneration of native vegetation.

An extract of the Vegetation Protection Overlay Map is provided to the right in *Figure 9*.

The proposal will require the removal of three trees to create defendable space for the proposed dwelling however is exempt from a planning permit under Clause 52.12-5 and as such this is not addressed further.

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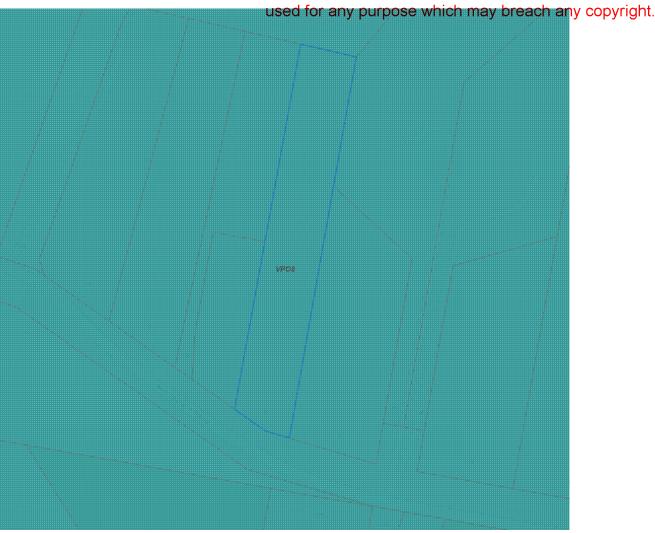


Figure 9 – Vegetation Protection Overlay – (source - mapshare.vic.gov.au)

Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is not recognised as being within an area of Aboriginal Cultural Heritage Sensitivity and as such a Cultural Heritage Management Plan is not required.

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5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at Clause 02 and the Planning Policy Framework at Clause 10 providing for an appropriate residential dwelling, outbuilding and carport that can be respectful of the existing surrounding development and the environment.
- The proposal will contribute to a high standard of environmental sustainability, urban design and amenity by designing the dwelling to meet the constraints of the land reducing any potential negative environmental implications as sought to achieve by the relevant clauses including Clause 02.03 and Clause 11.
- Clause 02.03-1 identifies Mallacoota as a coastal settlement. Mallacoota, in the far east of the Shire, is a very popular holiday location and a retirement area, a base for eco-tourism and the centre of the abalone industry in eastern Victoria.
- The proposed dwelling will connect to all available services and infrastructure

- including reticulated water, sewerage, electricity, telecommunications and a good quality road network.
- The proposal meets the objectives of Clause 16 by providing for a new dwelling within an existing, mostly developed residential area that will in turn support housing for the community.
- Clauses 02.03-3, 13.01-1S and 44.06-8 requires consideration of bushfire hazards and implications as a result of any proposed development. A Bushfire Management Report is provided in Appendix C which concludes the subject site can achieve a BAL 29 rating. All approved bushfire protection measures have been incorporated into the proposal including appropriate access with a turning circle suitable for emergency service vehicles, defendable space to a distance of 50 metres around the dwelling or to the property boundaries, whichever is lesser and a 10,000 litre water tank dedicated for CFA purposes.
- Clause 44.06-4 provides the application must meet the requirements of Clause 53.02. All of the approved measures set out in Clause 53.02-3 have been incorporated into the proposal and it is concluded the risks associated with bushfire can be reduced to an acceptable level. Three trees require removal to create defendable space

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- plans, the removal of the trees is exempt from the requirement to obtain a planning permit under clause 52.12-5.
- The proposal is consistent with the decision guidelines of the Design and Development Overlay at Clause 43.02-6 which seeks to identify areas which are affected by specific requirements relating to the design and built form of new development.
- The proposed dwelling, outbuilding and carport will result in an appropriate development that will be used for residential purposes. The proposed development will be located in the northern portion of the site and will have appropriate setbacks from the boundaries.
- The subject site and proposed development is well setback from the nearby waterway to the north and east being Mallacoota Inlet. The proposed development is unlikely to be visible from the water due to the existing surrounding development and the topography of the area.
- The proposed colours of the dwelling, outbuilding and carport has been selected to ensure the development is not visually obtrusive and will be well integrated with the surrounding development and environment. The proposed colours are low reflective and muted in toning. A visual

DSV Ref: 24052

description of the proposed colours are provided in Section 3 of this submission and in the development plans contained in *Appendix B*.

- The area surrounding the site contains dwellings and associated buildings of various styles and heights.
- Schedule 11 refers to residential development in coastal settlements.
- The application is seeking approval for the development of a dwelling, outbuilding and carport. The roof form of the proposed development will be below the prevailing tree canopy. No additional planting is proposed particularly given the risks associated with bushfire existing on the site. Some earthworks will be required to create a level building surface, however, will be minimal and not exceed 1 metre in depth. Three trees are required to be removed to facilitate defendable space for the proposed dwelling.
- This submission has addressed the decision guidelines of **Clause 65**, and the proposed development supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
- Access to the site is existing and will be extended to the location of the proposed dwelling, outbuilding and carport. The

driveway will include a turning circle to accommodate emergency service vehicles as indicated on the proposed development plans. There will be no negative impact on the existing road network. The increased traffic as a result of the proposal is unlikely to generate any negative impact on the existing road network.

- The site is identified as being susceptible to bushfire hazards. A Bushfire Management Report is contained in *Appendix C* that concludes the risks associated with bushfire can be reduced to an acceptable level.
- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.

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6. CONCLUSION

This submission is in support of a planning permit application for the development of a dwelling, outbuilding and carport at 112 Mirrabooka Road, Mallacoota.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed development is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Design and Development Overlay and the Bushfire Management Overlay.
- The hazards associated with bushfire can be reduced to an acceptable level.
- The design of the building is complementary to the existing surrounding development and is consistent with the character of the area.

It is requested that a planning permit be granted for this development.

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Bushfire Planning Report Version 1.0 (Including Bushfire Management Statement)

Lot 4 PS346221 112 Mirrabooka Road, Mallacoota, 3892 July 25th, 2024.

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- Masters of Planning (Professional) Deakin University
- Postgraduate Diploma in Bushfire Planning and Management The University of Melbourne (2017)
 - Graduate Diploma of Applied Science (Agricultural Studies) Charles Sturt University
 - Graduate Certificate in Public Sector Management Flinders University
 - Bachelor of Science University of Melbourne (1996)
 Memberships
 - Member of Planning Institute of Australia (MPIA)
 - Corporate Bronze Member of Fire Protection Association of Australia

Acknowledgement of Country

Euca Planning would like to acknowledge the Gurnaikurnai people as the Traditional owners of the unceded land that we conduct our business on. We pay our Respects to their Elders past, present, and future.

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Requirements detailed in this document do not guarantee survival of the buildings or the occupants. The client is strongly encouraged to develop and practice a bushfire survival plan.

Information and assistance including a template for a Bushfire Survival Plan is provided as part of the 'Fire Ready Kit' available through the CFA website at www.cfa.vic.gov.au or through your local CFA Regional office.

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Version Control

	Name	Date Completed	Comments
Field Assessment	Courtney Campbell	May 2024	
Mapping	Deanne Smith	July 2024	
Draft	Frances Granada	23 May 2024	
Final	Deanne Smith	25 July 2024.	

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Executive Summary

This report has been prepared to accompany a planning permit application for a single dwelling and two outbuildings at 112 Mirrabooka Road, Mallacoota. The site is within the Bushfire Management Overlay (BMO) and is required to demonstrate that the development has regard for the surrounding bushfire hazards.

This report presents a comprehensive assessment of the hazards and suggests mitigation measures to improve the protection of life and property for the proposed single dwelling and outbuildings at 112 Mirrabooka Road, Mallacoota. The site is within the General Residential Zone - Schedule 1 (GRZ1) and as such can elect to undertake a Pathway 1 application to meet the objectives and approval measures of Clause 53.02 of the East Gippsland Shire Planning Scheme.

This report includes the following components:

- A Clause 13.02-1S assessment considering the intent of the East Gippsland Shire Planning Scheme, and inclusion of landscape assessment.
- A **Bushfire Hazard Site Assessment** considering localised hazards, defendable space and the bushfire attack level.
- A Bushfire Management Statement detailing the design response to the relevant approval measures in Clause 53.02 from the East Gippsland Shire Planning Scheme.
- The **Bushfire Management Plan** that responds to the site and the proposed development, including the standard CFA permit conditions.

The development site is located in the township area of the Mallacoota. The proposed development is on a lot that is vacant. The immediate surrounds of the development area can be classified as modified vegetation, forest and grassland. The Bushfire Management Statement demonstrates that the defendable space objectives can be met for a site classification of BAL29. Water supply will be provided; and access for emergency services vehicles will be available from Mirrabooka Road.

Due to the proximity to forest and retained trees the proposed development is expected to be affected by moderate level of ember attack and moderate radiant heat in the event of a bushfire. Achieving a separation of Column C (based on forest) to the north and BAL of 29 is deemed appropriate considering the distance that can be established from the vegetation. The siting of the proposal achieves the best separation from the hazard.

The site can meet the approval measures within Clause 53.02 for a separation from the hazard of Column C, BAL of 29 based on an FFDI of 100 and a flame temperature of 1090K.

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1.0 Introduction

This Bushfire Planning Report has been prepared to enable the applicant to respond to the requirements of Clause 44.06 Bushfire Management Overlay (BMO) (known form this point on as Clause 44.06), and in accordance with the application requirements of Clause 53.02 – Bushfire Protection: Planning Requirements (known from this point on as 53.02.

The statement contains these components:

- A Clause 13.02-1S assessment considering the intent of the East Gippsland Shire Planning Scheme and including a landscape assessment.
- A bushfire hazard site assessment including a plan that describes the bushfire
 hazard within 150 metres of the proposed development. The description of the
 hazard has been prepared in accordance with Section 2.2.3 to 2.2.5 of
 AS3959:2018 Construction of buildings in bushfire prone areas (Standards
 Australia) and is supported by photographs to assist in describing the bushfire
 hazard.
- A **bushfire management statement (BMS)** describing how the proposed development responds to the requirements of Clause 44.06 and 53.02.
- A **bushfire management plan (BMP)** that responds to the site and the proposed development, including the standard CFA permit conditions.

1.1 Application Details

Municipality	East Gippsland Shire Council
Title description	Lot 4 PS346221
Overlays	Bushfire Management Overlay (BMO)
	Vegetation Protection Overlay - Schedule 8 (VPO8)
	Design and Development Overlay – Schedule 12 (DDO12)
Zoning	General Residential Zone – Schedule 1 (GRZ1)

1.2 Site Description

Site shape	Irregular rectangle	
Site Dimensions	The property has a road frontage to Mirrabooka Road of	
	approximately 30 metres, and a property depth of	
	approximately 185 metres	
Site area	Approximately 5088m ²	
Existing use and siting of	Vacant site	
buildings and works on and near		
the land		
Existing vehicle arrangements	From Mirrabooka Road	
Nearest fire hydrant	Not applicable	
Private bushfire shelter	Not proposed	
Any other site features relevant	Scattered vegetation throughout the settlement	
to bushfire risk	Landscape forest beyond town boundary	

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1.3 Site Location



Figure One: Property is within the blue dotted lines (VicPlan, 2024)



Figure Two: 112 Mirrabooka Road, Mallacoota (Google Maps, 2024)

2.0 Planning Policy Framework

2.1 Planning Policy Framework

Clause 71.02-3 (integrated decision making) of the Planning Scheme has been recently amended and provides that:

Planning authorities and responsible authorities should endeavour to integrate the range of policies relevant to the issues to be determined and balance conflicting objectives in favour of net community benefit and sustainable development for the benefit of present and future generations. However, in bushfire affected areas, planning authorities and responsible authorities must prioritise the protection of human life over all other policy

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considerations.

Clause 13.02-1S (Bushfire) of the Planning Scheme applies to all decision making and seeks to:

To strengthen the resilience of settlements and communities to bushfire through **risk-based planning** that prioritises the protection of human life. **[Emphasis added]**

Clause 13.02-1S includes a number of strategies to achieve that objective. Broadly these strategies include:

- prioritising the protection of human life;
- requiring a robust assessment of the bushfire hazard and risk assessment before any strategic or statutory decision is made; and
- directing population growth and new settlements to low risk locations.

Importantly in relation to the protection of human life, clause 13.02-1S includes the following requirements:

Give priority to the protection of human life by:

- Prioritising the protection of human life over all other policy considerations.
- Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.
- Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision-making at all stages of the planning process.

In relation to Bushfire hazard identification and assessment, clause 13.02-1S includes the following relevant requirements:

Identify bushfire hazard and undertake appropriate risk assessment by:

- Applying the best available science to identify vegetation, topographic and climatic conditions that create a bushfire hazard.
- Considering the best available information about bushfire hazard including the map of designated bushfire prone areas prepared under the Building Act 1993 or regulations made under that Act.
- Considering and assessing the bushfire hazard on the basis of:
 - Landscape conditions meaning conditions in the landscape within 20 kilometres (and potentially up to 75 kilometres) of a site;
 - Local conditions meaning conditions in the area within approximately 1 kilometre of a site;
 - Neighbourhood conditions meaning conditions in the area within 400 metres of a site; and

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- o The site for the development. used for any purpose which may breach any copyright.
- Consulting with emergency management agencies and the relevant fire authority early in the process to receive their recommendations and implement appropriate bushfire protection measures.
- Ensuring that strategic planning documents, planning scheme amendments, planning permit applications and development plan approvals properly assess bushfire risk and include appropriate bushfire protection measures.
- Not approving development where a landowner or proponent has not satisfactorily demonstrated that the relevant policies have been addressed, performance measures satisfied or bushfire protection measures can be adequately implemented.

Importantly in relation to settlement planning, clause 13.02-1S includes the following requirements:

<u>Plan to strengthen the resilience of settlements and communities and prioritise protection of human life by:</u>

- Directing population growth and development to low risk locations, being those locations assessed as having a radiant heat flux of less than 12.5 kilowatts/square metres under AS 3959-2009 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2009).
- Ensuring the availability of, and safe access to, areas assessed as a BAL-LOW rating under AS 3959-2009 Construction of Buildings in Bushfireprone Areas (Standards Australia, 2009) where human life can be better protected from the effects of bushfire.
- Ensuring the bushfire risk to existing and future residents, property and community infrastructure will not increase as a result of future land use and development.
- Achieving no net increase in risk to existing and future residents, property and community infrastructure, through the implementation of bushfire protection measures and where possible reduce bushfire risk overall.
- Assessing and addressing the bushfire hazard posed to the settlement and the likely bushfire behaviour it will produce at a landscape, settlement, local, neighborhood and site scale, including the potential for neighborhood-scale destruction.
- Assessing alternative low risk locations for settlement growth on a regional, municipal, settlement, local and neighborhood basis.
- Not approving any strategic planning document, local planning policy, or planning scheme amendment that will result in the introduction or intensification of development in an area that has, or will on completion have, more than a BAL-12.5 rating under AS 3959-2009.

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In relation to use and development control in ଧାଞ୍ଚିମ୍ଫୋ ହେଉ ନୁକ୍ଷ ହୁଣ୍ଡାରେ may breach any copyright. 13.02-15 includes the following relevant requirements:

Use and development control in a Bushfire Prone Area In a bushfire prone area designated in accordance with regulations made under the Building Act 1993, bushfire risk should be considered when assessing planning applications for the following uses and development:
... Accommodation

When assessing a planning permit application for the above uses and development:

- Consider the risk of bushfire to people, property and community infrastructure.
- Require the implementation of appropriate bushfire protection measures to address the identified bushfire risk.
- Ensure new development can implement bushfire protection measures without unacceptable biodiversity impacts.

When these strategies are read together it is clear that any future development would be required to provide a considered assessment of the bushfire risk. As such, the development must ensure it responds to bushfire risk. The purpose of this report is to undertake such an assessment for the site including an assessment of the likely fire behaviour and the risk to future residents. It is acknowledged that this site is subject to the Bushfire Management Overlay and Parts 3 to 5 of this report specifically address the application requirements of Clause 44.06 and 53.02 of the East Gippsland Planning Scheme.

In the context of strategic planning decisions, these strategies need to be read as on balance and consider the 'net increase in risk to existing and future residents'. As it relates to the objectives at Clause 13.02-1S of the Planning Scheme, it is necessary to ensure that the protection of human life is prioritised when decisions are made. However the strategies listed at Clause 13.02-1S in the Planning Scheme are not 'mandatory requirements' and it is not necessary to 'tick every box'. It is more important to ensure that decisions are consistent with the State policy objectives and build resilient communities.

2.2 Planning Policy Framework Assessment

2.2.1 Objective

Clause 13.02-1S seeks to 'strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life'.

2.2.2 Application

The policy must be applied to all planning and decision making under the Planning and Environment Act 1987 relating to land which is within a designated bushfire prone area; or subject to a Bushfire Management Overlay.

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Bushfire Prone Area and Bushfire Management Overlay

The planning proposal area is included in the Bushfire Prone Area (BPA). As described in Planning Advisory Note 46 (2013), the BPA is a building regulation tool that identifies where moderate bushfire hazard can be expected. It applies to areas subject to the BMO, and to areas that experience a lower head fire intensity modelled to be between 4,000kW/m and 30,000kW/m. This level of hazard informs areas declared as bushfire prone in the building system. Areas at the upper end of the bushfire intensity range (that is 28,000kW/m and above and referred to as BHL1b) are considered, where appropriate, for applying the BMO based on the advice of the relevant fire authority. The land is contained in the BMO. The entire planning proposal site is subject to the BPA and the BMO. The greater area in Mallacoota is also in the BPA and BMO reflecting the moderate to high bushfire hazard that can be expected from the vegetation connecting to, distributed within and surrounding the residential area.

In December 2017, Clause 13.02-1S of the East Gippsland Planning Scheme was amended to specifically refer to Bushfire Prone Areas and to strengthen the consideration of bushfire risk in all planning decisions. As the site is fully contained within the Bushfire Prone Area, the minimum level of construction for all dwellings is BAL 12.5, and this bushfire risk must be considered.

2.2.3 Strategies

Protection of human life

	<u> </u>
Give priority to the protection of human life by:	Response
Prioritising the protection of human life over all other policy considerations	 This proposal provides for a new dwelling and outbuildings that respond to the risk of bushfire through siting and construction. The proposal can be undertaken in a manner that provide safety to the residents
Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.	 The lot has existed for many years and is part of an estate with many lots containing established dwellings. Existing dwellings exist adjacent to this development and the dwelling is sited in an area of the site that is substantially cleared. The overall design can respond to land not in their control by setback from the boundaries and establishment of defendable space between the dwelling and the boundary. The existing road network facilitates safe egress towards the established Mallacoota Township.

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	use	. ayayayayayayayayayayayayayaya	ch any copyright.
		Mirrabooka Road in two directions.	
Reducing the vulnerability of	-	An application to develop land needs	
communities to bushfire through the		to articulate how the design responds	
consideration of bushfire risk in decision-		to the identified bushfire risk.	
making at all stages of the planning	-	The dwelling and outbuildings have	
process.		been designed and sited to respond to	
		bushfire with the assessment of the	
		bushfire risk being undertaken to	
		ensure the dwelling maximises the	
		separation from the hazard and	
		achieves a radiant heat exposure no	
		greater than 29kW/m ² .	

Bushfire hazard identification and assessment

Identify bushfire hazard and undertake	Response
appropriate risk assessment by:	
Applying the best available science to identify vegetation, topographic and climatic conditions that create a bushfire hazard.	 The East Gippsland Planning Scheme relies on the planning proposal to respond to bushfire based on current assessment methods. Clauses 13.02-1S, 44.06 and 53.02 are to be considered for proposal. Clause 71.02-3 Integrated Decision Making strengthens the importance of bushfire planning as an appropriate tool to reconcile potential conflicts in design and vision. The assessment method aligns with AS3959-2018 and is provided in this report (see Section 4).
Considering the best available information about bushfire hazard including the map of designated bushfire prone areas prepared under the Building Act 1993 or regulations made under that Act.	 Consistent with the revised Clause 13.02-1S, the planning proposal responds to the Bushfire Prone Area and the Bushfire Management Overlay. This report demonstrates that sufficient setbacks from the vegetation can be achieved to meet Column C of Table 1 of Clause 53.02, which is an appropriate benchmark for this development. Detailed design and consideration of the development application is reinforced by the preliminary planning drawings.
Applying the Bushfire Management	- The BMO does apply to this land
Overlay in planning schemes to areas	recognising that the land is in an area of high bushfire hazard. The BMO is

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	used tadagyerungearawystb ana yatreat
an extreme bushfire hazard	report.
Considering and assessing the bushfire hazard on the basis of:	- As it is a dwelling in an established area the site conditions are
Landscape conditions - meaning	considered through the Bushfire
the conditions in the landscape	Hazard Site Assessment (Section 3.0)
within 20 kilometres and	- The landscape considerations show
potentially up to 75 kilometres	that BAL29 is sufficient in this
from a site;	neighbourhood addressing ember
Local conditions - meaning	attack. Settlement resilience is the
conditions in the area within	pathway chosen by Mallacoota to
approximately 1 kilometre from a	address being Landscape Type 4 –
site;	see image below.
 Neighbourhood conditions - 	
meaning conditions in the area	- NSP-PLR is located on the Mallacoota
within 400 metres of a site; and,	Foreshore.
 The site for the development 	
Consulting with emergency management	- It is expected that this development
agencies and the relevant fire authority	would be referred to CFA for
early in the process to receive their	consideration as it is in the Bushfire
recommendations and implement	Management Overlay. Preliminary
appropriate bushfire protection measures.	consultation has occurred with FRV
appropriate businine protection measures.	given the south-western neighbours
	vegetation and maximising
	separation from off-site vegetation.
Ensuring that strategic planning	- The content of this report provides a
documents, planning scheme	solid foundation for the design and
amendments, planning permit applications	subsequent approval of the planning
and development plan approvals properly	proposal, with regard to bushfire
assess bushfire risk and include	risk.
appropriate bushfire protection measures	- Assessing the site-based bushfire risk
appropriate businine protection measures	and including appropriate bushfire
	protection measures (e.g. managed
	land, BALs, separation from the
	hazard) enables the achievement of
	the direction of the Planning
	Scheme.
Not approving development where a	- This element of the revised Clause
landowner or proponent has not	13.02-1S is the most important
satisfactorily demonstrated that the	element and empowers the
relevant policies have been addressed,	Responsible Authority to not
performance measures satisfied, or	approve a permit application until it
bushfire protection measures can be	is satisfied with the bushfire
adequately implemented.	protection measures being
	implemented.
	- This report demonstrates that the
	risk of bushfire should not be a
	reason for refusal.
	. Cason for renasal.

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Settlement Planning

Plan to strengthen the resilience of settlements and communities and prioritise protection of human life by: Directing population growth and development to low-risk locations, being	 Response Recognising the land is an established lot in a highly vegetated area there is
those locations assessed as having a radiant heat flux of less than 12.5 kilowatts/square metres under AS3959-2018 Construction of Buildings in Bushfire-prone Areas (Standards Australia, 2009).	high risk from bushfire. Development of land with a dwelling should only proceed where all elements of the BMO are achieved. This report demonstrates that this goal is achieved including the provision of the greatest separation from the hazard and an increased level of construction. The dwelling has a siting that has been assessed as having a radiant heat flux of less than 29kW/m² under AS3959-2018.
Ensuring the availability of, and safe	- The nature of the settlement of
access to, areas assessed as a BAL-LOW	Mallacoota, provides ready access

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	Environment/tet reer: The decame
rating under AS3959-2018 Construction	used for anymhured by the analytherea
of Buildings in Bushfire-prone Areas	Mallacoota township that constitute
(Standards Australia, 2009) where human	BAL-LOW including the NSP-PLR at the
life can be better protected from the	waterfront.
effects of bushfire	
Ensuring the bushfire risk to existing and	- The establishment and maintenance
future residents, property and	of defendable space will accompany
community infrastructure will not	the approval of a dwelling.
increase as a result of future land use and	
development.	
Achieving no net increase in risk to	- The proposed dwelling and
existing and future residents, property	outbuildings will implement the
and community infrastructure, through	current regulations pertaining to
the implementation of bushfire	bushfire construction. This measure
protection measures and where possible	has been implemented in the design
reduce bushfire risk overall.	of the building and will be carried out
	through to the completion of the
	building.
Assessing and addressing the bushfire	- An assessment is provided in Section
hazard posed to the settlement and the	3.0 and 4.0 of this report.
likely bushfire behaviour it will produce	- All scales of consideration are applied.
at a landscape, settlement, local,	- The site conditions are best
neighbourhood and site scale, including	considered through the Bushfire
the potential for neighbourhood-scale	Hazard Site Assessment methodology.
destruction.	
Assessing alternative low risk locations	 The proposed single dwelling and
for settlement growth on a regional,	outbuildings are on a vacant lot in an
municipal, settlement, local and	established General Residential Zone.
neighbourhood basis.	
Not approving any strategic planning	- The proposal is a statutory planning
document, local planning policy, or	application only.
planning scheme amendment that will	
result in the introduction or	
intensification of development in an area	
that has, or will on completion have,	
more than a BAL-12.5 rating under	
AS3959-2018.	

Areas of high biodiversity conservation value

Ensure settlement growth and development approvals can implement bushfire protection measures without unacceptable biodiversity impacts by discouraging settlement growth and development in bushfire affected areas that are of high biodiversity conservation value.

Assessment of the development

- The clearing has been used to minimise the removal of vegetation, however a few trees at the southern extent of the defendable space will require canopy separation.
- The siting is within 200 metres of Mirrabooka Road and doesn't require passing bays to be established.

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Use and development control in a Bushfire Pเษรายน any purpose which may breach any copyright.

In a bushfire prone area designated in accordance with regulations made under the Building Act 1993, bushfire risk should be considered when assessing planning applications for accommodation.

Assessment of the proposal's response: As the proposal is to develop a dwelling and outbuildings, and 'dwelling' is a nested term in the 'single dwelling' of Clause 13.02-1S is relevant.

When assessing a planning permit application for the above uses and development:	Response
Consider the risk of bushfire to people, property and community infrastructure.	Consistent with Clause 13.02-15, Clause 53.02 of the Scheme has been used as a guide and is supported by a landscape analysis that demonstrates that the risk to people, property and the asset can be appropriately mitigated by its inherent design features in this specific location – specifically siting, separation from the hazard, building construction, and defendable space.
Require the implementation of appropriate bushfire protection measures to address the identified bushfire risk.	The development provides a siting that achieves Column C separation from the hazard in the north, and the maximum separation from the modified vegetation in the south-east. The design of the dwelling is in accordance with BAL29 of AS3959.
Ensure new development can implement bushfire protection measures without unacceptable biodiversity impacts.	The clearing has been used to site the dwelling.

2.2.4 Policy Guidelines

Planning must consider as relevant:	Response
Any relevant approved State, regional and	Fire prevention measures of the East
municipal fire prevention plan.	Gippsland Shire Municipal Fire Prevention
	Plan ensure the roadsides and the fire
	breaks in the area are managed.
	Management of the public land occurs as
	part of the township protection.
AS3959-2018 Construction of Buildings in	This is relevant through the derivation of
Bushfire-prone Areas (Standards Australia,	Bushfire Attack Levels, and is considered
2009).	when referring to BAL29
Building in bushfire-prone areas - CSIRO &	This is the handbook to AS3959 and does
Standards Australia (SAA HB36-1993, May	not need to be considered directly by the
1993).	planning proposal. 2018 is the current
	standard

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Any Bushfire Prone Area map prepared under the Building Act 1993 or regulations made under that Act.

াঙ্গনিবিদ্যান্তির কুমো/চয়্যুর্দানিক স্পৃত্যি ক্রিনিক প্রাথিক ক্রিনিক ক্রিনিক ক্রিনিক বিদ্যানিক ক্রিনিক ক্র

3.0 Bushfire Hazard Site Assessment

The Bushfire Hazard Site Assessment (Figure Three, larger in Appendix One) includes a plan that describes the bushfire hazard within 150 metres of the proposed development. The description of the hazard is prepared in accordance with AS3959:2018 Construction of buildings in bushfire prone areas (Standards Australia) excluding paragraph (a) of section 2.2.3.2 (Vegetation exclusions).



Figure Three – Bushfire Hazard Site Assessment

3.1 Vegetation

The vegetation in the broader landscape is predominantly forest, grassland, modified vegetation and low threat vegetation (see Figure 4).

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Figure Four – NatureKit Map of surrounds with subject site central to the image showing Lowland Forest (yellow), Coastal Scrub (grey), Wet Heathland (red), Damp Forest (green) and Wet Temperate Rainforest (black).

The vegetation within the 150-metre assessment area was classified according to AS3959:2018, Technical Guide: Planning Permit Applications Bushfire Management Overlay (i.e DELWP 2017) and the Overall Fuel Hazard Assessment Guide (DSE, 2010).

The Standard AS3959 approach uses a generalised description of vegetation based on the AUSLIG Australian Natural Resources Atlas" No.7 Native Vegetation classification system. According to this method, vegetation can be classified into seven categories. Each category indicates a particular type of fire behaviour and these categories or classifications are then used to determine bushfire intensity.

Vegetation Classification: Forest

AS3959:2018 Definition:

Open forest – Trees 10-30 m high; 30-70% foliage cover (may include understorey of sclerophyllous low trees and tall scrubs or grass). Typically dominated by eucalypts.

Site Description:

The site has a significant area of forest to the north-west (90 metres) with the forest being flat along the road/grassland interface. There is a gradual downslope (up to 5 degrees downslope) as the forest heads west. Beyond the assessment area, the forest does have a steeper downslope, however given the layout of the area, the slope closer to the road is expected to predict fire behaviour from this forest that affects the site.

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Image – Looking north-west to the forest

Vegetation Classification: Grassland

AS3959:2018 Definition:

Sown pasture – All forms, including situations with shrubs and trees, if the overstorey foliage cover is less than 10%.

Site Description:

The land has grassland to the rear of the property (north). The grassland is flat within the assessment area and is used as pasture.



Image – Looking north-east into the grassland (left) and neighbor's rear yard (right)

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Vegetation Classification: Modified vegetation used for any purpose which may breach any copyright.

Planning Scheme Definition:

Modified vegetation is vegetation that doesn't fit into the vegetation classifications in AS3959:2018 Construction of buildings in bushfire prone areas (the standard) because it:

- Has been modified, altered or is managed due to urban development, or gardening,
- Has different fuel loads from those assumed in the standard,
- Has limited or no understorey vegetation, or
- Is not low-threat or low-risk vegetation as defined in the standard.

Site Description

The proposed dwelling has modified vegetation in the south-east and south-west. Both of these parcels of land have dwellings with retained vegetation.



Image – Modified vegetation in the top left (south-east) and top right (south-west) of the site. Imagery with south to the top of image

Vegetation Classification: Excludable and Low threat vegetation

AS3959:2018 Definition:

2.2.3.2 Exclusions – Low threat vegetation and non-vegetated areas

The following vegetation shall be excluded from a BAL assessment:

- a. Vegetation of any type that is more than 100 m from the site
- b. Single areas of vegetation less than 1 ha in area and not within 100 m of other areas of vegetation being classified vegetation.
- c. Multiple areas of vegetation less than 0.25 ha in area and not within 20 m of the site, or each other or of other areas of vegetation being classified vegetation.

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- d. Strips of vegetation less than 20 m in width (means perpension) in width (means with the trip of vegetation) regardless of length and not within 20 m of the site or each other, or other areas of vegetation being classified vegetation.
- e. Non-vegetated areas, that is, areas permanently cleared of vegetation, including waterways, exposed beaches, roads, footpaths, buildings and rocky outcrops.
- f. Vegetation regarded as low threat due to factors such as flammability, moisture content or fuel load. This includes grassland managed in a minimal fuel condition, mangroves and other saline wetlands, maintained lawns, gold courses (such as playing areas and fairways), maintained public reserves and parklands, sporting fields, vineyards, orchards, banana plantations, market gardens (and other non-curing crops), cultivated gardens, commercial nurseries, nature strips and windbreaks.

NOTES:

- 1. Minimal fuel condition means there is insufficient fuel available to significantly increase the severity of the bushfire attack (recognizable as short-cropped grass for example, to a nominal height of 100 mm).
- 2. A windbreak is considered a single row of trees used as a screen or to reduce the effect of wind on the leeward side of the trees.

Site Description

The proposed dwelling has low threat vegetation in the immediate surrounds of the adjacent dwellings. The areas are maintained lawns and outbuildings (Clause 2.2.3.2(f)). Additionally, there are non-vegetated areas being driveways and Mirrabooka Road (Clause 2.2.3.2(e)).



Image – Managed low threat vegetation around adjacent dwellings

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3.2 Topography

The topography of the site and the surrounding is area is characterised by the high point of the homes.



Figure Five - Topography of area around the site (VicPlan, 2024)

3.3 Separation and Bushfire Attack Level for the Proposed Development

The bushfire attack level (BAL) is a means of measuring the severity of a building's potential exposure to ember attack, radiant heat and direct flame contact, using increments of radiant heat expressed in kilowatts per meter squared. The BAL is also the basis for establishing the requirements for construction to improve protection of building elements from attack by bushfire. The maximum separation from the hazard determines siting, and all attempts should be made to derive the greatest separation.

The highest BAL determines the construction requirements for the dwelling. A reduction of one BAL level may be applied if facades of the house are shielded from the bushfire hazard. The BAL for this site has been calculated using a Forest Fire Danger Index (FFDI) of 100 and a Flame Temperature of 1090K. These parameters are in accordance with the risk parameters set in Clause 53.02.

Orientation	Classified vegetation	Slope under classifiable vegetation	Separation distance	Separation from the hazard achieved
North	Grassland	Flat	32 metres	Column A BAL12.5
	Forest	5 degrees downslope	90 metres	Column A BAL12.5
East	Modified vegetation	Not applicable	Not applicable	Table 1 BAL29
	Low threat vegetation	Not applicable	Not applicable	Table 1 BAL12.5
South	Modified vegetation	Not applicable	Not applicable	Table 1 BAL29
	Low threat vegetation	Not applicable	Not applicable	Table 1 BAL12.5
West	Modified vegetation	Not applicable	Not applicable	Table 1 BAL29
	Low threat vegetation	Not applicable	Not applicable	Table 1 BAL12.5

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Table 2 - BAL determination - with implemental BAR of Peranda plants are the first and the same and copyright. Table 1 to Clause 53.02 (BAL29)

Orientation	Highest threat vegetation	Slope under classifiable vegetation	Defendable space required
North	Forest	5 degrees downslope	32 metres
East	Modified vegetation	Not applicable	50 metres or to the property boundary where lesser
South	Modified vegetation	Not applicable	50 metres or to the property boundary where lesser
West	Modified vegetation	Not applicable	50 metres or to the property boundary where lesser

The BAL determination has been made based on the following assumptions:

- The siting of the northern (rear) boundary achieves Column A from the grassland and ensures Column C from the forest (in addition to the grassland).
- The vegetation onsite will be managed to defendable space requirements.
- The adjacent lots contain existing dwellings and have a lot of disturbance in the vegetation reflecting modified vegetation.
- Given the vegetation in the greater landscape, it is appropriate and achievable for the dwelling to meet the requirements of BAL29 when 50 metres of defendable space (or to the property boundary where lesser) is provided.

4.0 Bushfire Management Plan

A Bushfire Management Plan is provided in Appendix Two for endorsement with the planning permit.

Bushfire Management Plan Page 1 of 2

112 Mirrabooka Road Mallacoota 3892

BUSHFIRE PROTECTION MEASURES

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development <u>authorised</u> by this permit has been completed

Defendable space

Defendable space extending around the dwelling for a distance of 50 metres (or to the boundary where lesser) and outbuildings for a distance of 10 metres (or to the property boundary where lesser) will be managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
 Plants greater than 10 cm in height must not be placed within 3m of a
- window or glass feature of the building.
- Shrubs must not be located under the canopy of trees
- Individual and clumps of shrubs must not exceed 5sg, metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Construction Standard

minimum BAL of BAL29 from AS 3959. No bushfire construction is specified for the outbuildings.

Firefighting water supply

The following requirements apply:

- An effective capacity of 10,000 litres Be stored in an above ground water tank constructed of concrete or metal
- Have all fixed above-ground water pipes and fittings required for firefighting purposes made of
- Include a separate outlet for occupant use.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building
- The outlet/s of the water tank must be within 4m of the accessway and be unobstructed. Incorporate a separate ball or gate valve (British Standard Pipe (BSP) 65mm) and coupling (64 mm CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 mm (excluding the CFA coupling).

- Access is required, and the following design and construction requirements apply:
- A load limit of at least 15 tonnes
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically. Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20% (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.
- A turning area for fire fighting vehicles must be provided close to the building and water supply by one of the following:
 - A turning circle with a minimum radius of eight metres
 - A driveway encircling the dwelling.
 - The provision of other vehicle turning heads such as a T or Y head which meet the specification of <u>Austroad</u> Design for an 8.8 <u>metre</u> Service Vehicle.

Figure Six: Bushfire Management Plan

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4.1 Proposed Planning Permit Conditions used for any purpose which may breach any copyright.

The following are the expected planning permit conditions.

- The Bushfire Management Plan [Ver.1 25/07/2024], included in the Bushfire Management Statement prepared by Euca Planning P/L, must be endorsed to form part of the permit and must not be altered unless otherwise agreed in writing by the CFA and the Responsible Authority
- The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

4.2 Design Response Against Clause 53.02

A selection of the sub clauses and associated objectives, approved measures (AM), alternative measures (AltM) and decision guidelines applies to this application. Table 3 details which clauses are relevant to this application and the following pages demonstrate how the requirements have been met for each relevant standard.

Table 3 – Relevant Subclauses

Clause	Approved Achieved		Justification	
	Measure			
Clause 53.02-3 Dwelling ir existing settlements – Bushfire protection objective	AM 1.1	Applicable	The siting of the dwelling and outbuilding are limited by the lot size, and surrounding lots. The dwelling and outbuildings achieve its best defendable space by being located central to the rear of the lot. Emergency vehicles can easily access the dwelling and water supply from Mirrabooka Road.	
	AM 1.2	Applicable	The dwelling and outbuildings are provided with the defendable space in accordance with Table 1 to Clause 53.02-5 and Table 6.	
	AM 1.3	Applicable	The dwelling and outbuildings will be provided with a static water supply for firefighting and property protection purposes specified in Table 4 to Clause 53.02-5, located adjacent the south side of one outbuilding and driveway.	
Clause 53.02-4.1 Landscape, siting and design objectives	AM 2.1	Not applicable	The dwelling and outbuildings are in an existing settlement as described in Clause 53.02.	
	AM 2.2	Not applicable	The dwelling and outbuildings are in an existing settlement as described in Clause 53.02.	

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			rironment Act 1987. The docume	
	AM 2.3		freame กษฐลคล องชาบันคิปกฎสมาย เคล an existing settlement as described in Clause 53.02.	ch any copyright.
Clause 53.02-	AM 3.1	Not applicable		
4.2 Defendable space and	AM 3.2	Not applicable		
construction objectives	AltM 3.3	Not applicable		
	AltM 3.4	Not applicable		
	AltM 3.5	Not applicable		
	AltM 3.6	Not applicable		
Clause 53.02-4.3 Water	AM 4.1	Applicable	The land is in a non-reticulated area.	
supply and	AM 4.2	Not applicable		
access objectives				
Clause 53.02-4.4	AM 5.1	Not applicable		
Subdivision objectives	AM 5.2	Not applicable		
	AM 5.3	Not applicable		
	AM 5.4	Not applicable		
	AltM 5.5	Not applicable		

Clause 53.02-3 Dwellings in existing settlements - Bushfire Protection objective

To specify bushfire design and construction measures for a single dwelling or alteration and extension to an existing dwelling that reduces the risk to life and property to an acceptable level.

Approved Measure	Requirement
AM 1.1	 A building is sited to ensure the site best achieves the following: The maximum separation distance between the building and the bushfire hazard The building is in close proximity to a public road Access can be provided to the building for emergency services vehicles.
	Response: The site is an existing lot in the coastal township of Mallacoota. The land is vacant, and the proposed dwelling and outbuildings are to be located in rear of the best achieve the maximum separation distance between the dwelling and the neighbouring vegetation within the lot's constraints. Mirrabooka Road is a well-maintained road that provides movement through the area. Access can be provided to the dwelling and water supply outlet for emergency vehicles from Mirrabooka Road.
AM 1.2	A building provides the defendable space in accordance with Column A, B, C, D or E of Table 1 to Clause 53.02-3 and Table 6 to Clause 53.02-3. Adjoining land may be included as defendable space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space. A building is constructed to the bushfire attack level: That corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-3, or

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- The next lower bushfire attack level that confide points to the space provided in accordance with Table 1 to Clause 53.02-3 where all of the following apply:
- A private bushfire shelter (a Class 10c building within the meaning of the Building Regulations 2006) is constructed on the same land as the dwelling.
- A minimum bushfire attack level of BAL12.5 is provided in all circumstances.

Response: The land is vacant, and the development will modify the vegetation further by a few tree removals in the mid of the lot. A BAL29 has been chosen based on managing defendable space, the modified vegetation in the south-east and south-west, and addressing the ember attack potential in Mallacoota. The dwelling is able to achieve all of the defendable space on the property. Outbuildings will not have a bushfire construction level as they are located a minimum of 10 metres from the dwelling and are contained within the defendable space, each achieving a minimum of 10 metres of defendable space (or to the property boundary where lesser).

AM 1.3

A building is provided with:

- A static water supply for firefighting and property protection purposes specified in Table 4 to Clause 53.02-3. The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for firefighting water supplies.
- Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-3.

Response: The dwelling will be provided with a new static water supply by a non-combustible water tank located south of the dwelling that has a minimum of 10,000 litres of water. Firefighting vehicles can access the property from Mirrabooka Road, and will be able to access within 4 metres of the water supply outlet. Turning will be provided near the dwelling and water supply.

5.0 References

Standards Australia (2018) Construction of Buildings in Bushfire Prone Areas. Standards Australia, North Sydney, NSW.

The State of Victoria Department of Environment, Land, Water and Planning (2021) NatureKit.

The State of Victoria (2024) VicPlan

The State of Victoria Technical Guide: Planning Permit Applications Bushfire Management Overlay (DELWP 2017)

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6.0 Appendices

Appendix One - Bushfire Hazard Site Assessment



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Appendix Two - Bushfire Management Pused for any purpose which may breach any copyright.

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BUSHFIRE PROTECTION MEASURES

Mandatory Condition

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed

Defendable space

Defendable space extending around the dwelling for a distance of 50 metres (or to the boundary where lesser) and outbuildings for a distance of 10 metres (or to the property boundary where lesser) will be managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals Within 10 metres of a building, flammable objects must not be located during the declared fire danger period.
- Plants greater than 10 cm in height must not be placed within 3m of a close to the vulnerable parts of the building.
 - window or glass feature of the building.
 - Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5sq. metres in area and must be separated by at least 5 metres
 - Trees must not overhang or touch any elements of the building.
 - The canopy of trees must be separated by at least 5 metres
- There must be a clearance of at least 2 metres between the lowest tree oranches and ground level.

Construction Standard

3uilding design and all construction works (except the outbuilding) need to comply with a minimum BAL of BAL29 from AS 3959. No bushfire construction is specified for the outbuildings.

Firefighting water supply

The following requirements apply:

- An effective capacity of 10,000 litres
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above-ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
 - Be located within 60 metres of the outer edge of the approved building.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP) 65mm) and coupling (64 The outlet/s of the water tank must be within 4m of the accessway and be unobstructed.
 - mm CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 mm (excluding the CFA coupling).

Access is required, and the following design and construction requirements apply:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
 - Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1 $^\circ$) with a maximum grade of no more than 1 in 5 $(20\% (11.3^{\circ}))$ for no more than 50 metres.
- A turning area for fire fighting vehicles must be provided close to the building and water supply Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle
 - A turning circle with a minimum radius of eight metres. by one of the following:
- A driveway encircling the dwelling.
- The provision of other vehicle turning heads such as a T or Y head which meet the specification of Austroad Design for an 8.8 metre Service Vehicle.

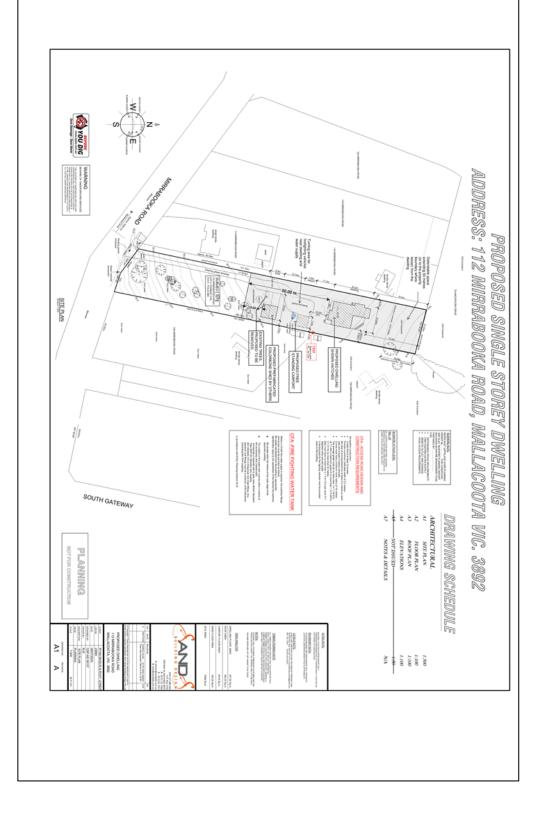
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BUSHFIRE PROTECTION MEASURES

Mandatory Condition

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed

Defendable space

Defendable space extending around the dwelling for a distance of 50 metres (or to the boundary where lesser) and outbuildings for a distance of 10 metres (or to the property boundary where lesser) will be managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 cm in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

ADVERTISED

Construction Standard

This copied document is made available for the sole Building design and all construction works (excepte has evaluable in the construction works) construction works (excepte has evaluable in the construction works) as minimum BAL of BAL29 from AS 3959. No bushfizetoonst pletioning spreaties fundles that buildings and

Firefighting water supply

Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

The following requirements apply:

- An effective capacity of 10,000 litres
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above-ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4m of the accessway and be unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP) 65mm) and coupling (64 mm CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 mm (excluding the CFA coupling).

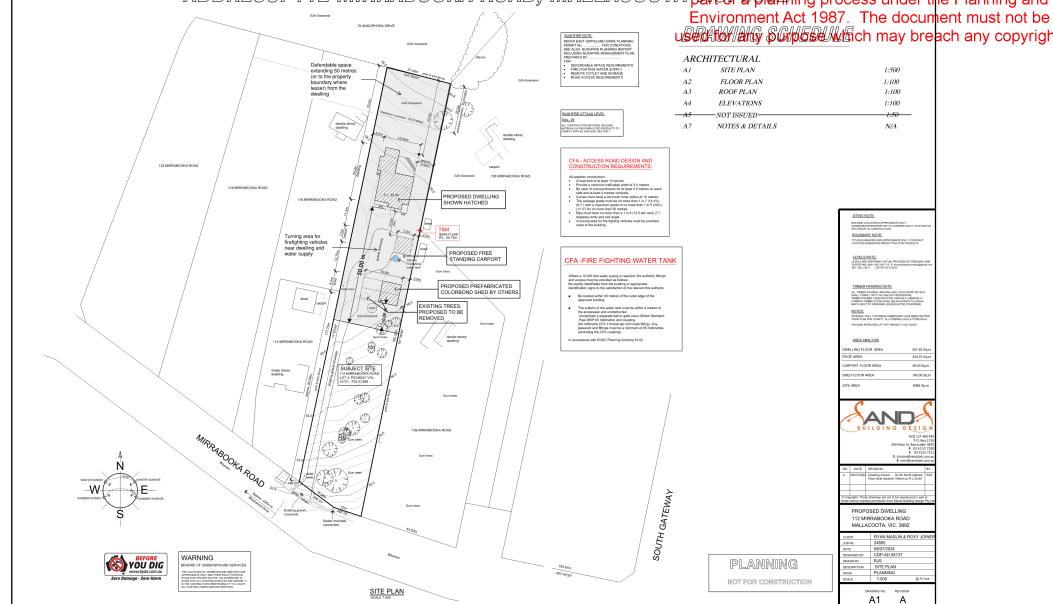
Access

Access is required, and the following design and construction requirements apply:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20% (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.
- A turning area for fire fighting vehicles must be provided close to the building and water supply by one of the following:
 - A turning circle with a minimum radius of eight metres.
 - A driveway encircling the dwelling.
 - The provision of other vehicle turning heads such as a T or Y head which meet the Printed 10/10/2024 specification of Austroad Design for an 8.8 metre Service Vehicle. Page 57 of 66

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of

Page

Bushfire Management Plan

389

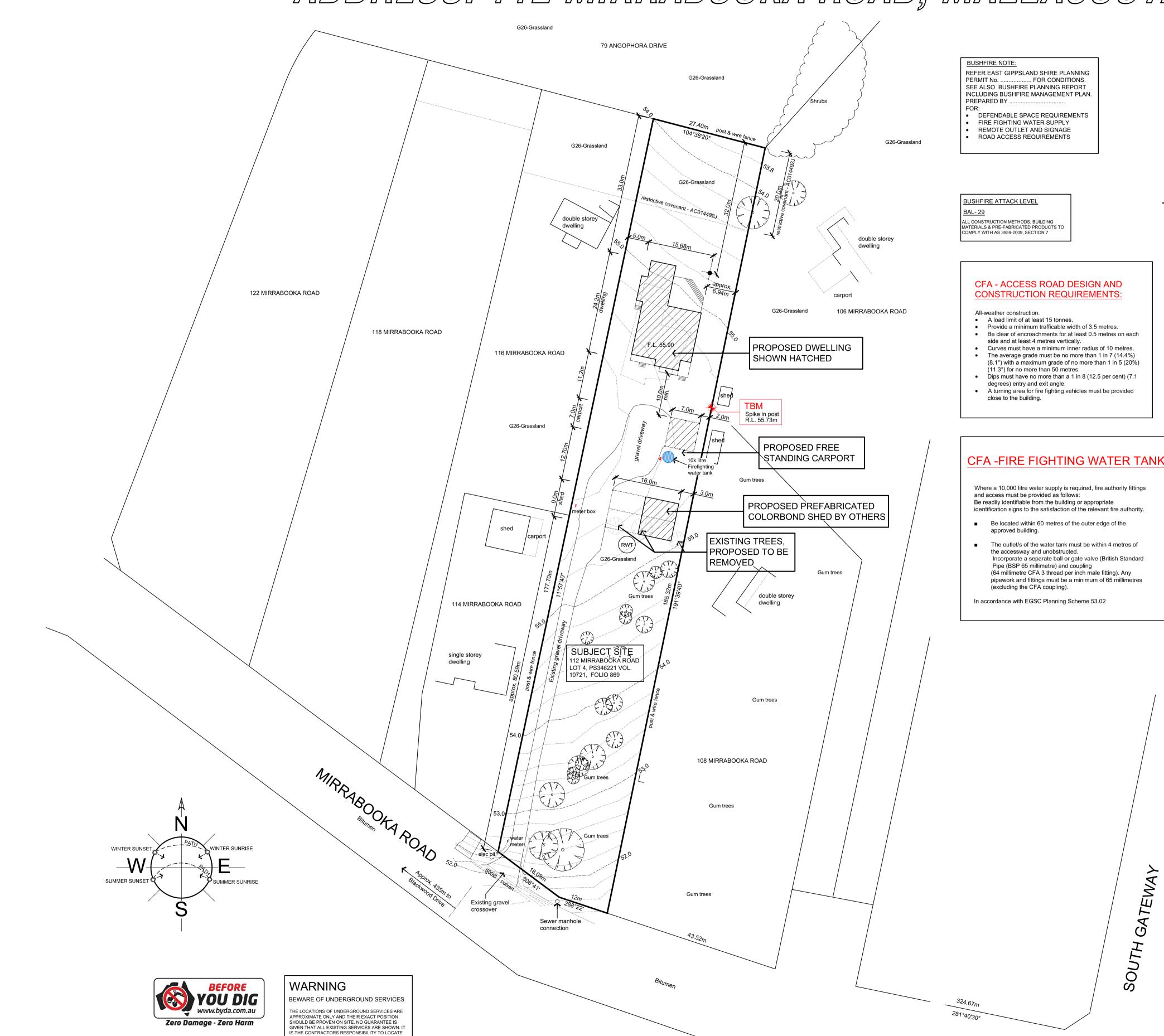
Road Mallacoota

Mirrabooka 1,25/07/2024 Euca

> **Printed 10/10/2024** Page 58 of 66

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PROPOSED SINGLE STOREY DWELLING ADDRESS: 112 MIRRABOOKA ROAD, MALLACOOTA VIC. 3892



LL EXISTING UNDER GROUND SERVICES.

DRAWING SCHEDULE

PLANNING

NOT FOR CONSTRUCTION

ARCHITECTURAL

A1	SITE PLAN	1:500
A2	FLOOR PLAN	1:100
A3	ROOFPLAN	1:100
A4	ELEVATIONS	1:100
A5		1:50
<i>A7</i>	NOTES & DETAILS	N/A

SITING	NOTE:	

BUILDING LOCATION IS APPROXIMATE ONLY, OWNER/BUILDER/SURVEYOR TO CONFIRM EXACT LOCATION OF SITE PRIOR TO CONSTRUCTION

BOUNDARY NOTE: TITLE BOUNDARIES ARE APPROXIMATE ONLY, FOR EXACT LOCATION & BEARINGS REFER TITLE PLAN PS346221D

LEVELS ARE ARBITRARY DATUM, PROVIDED BY FREEMAN LAND SURVEYING, Mob: 0427 843 710 E: freemanlandsurveying@gmail.com REF. NO. 23477 DATED 09/12/2023

ALL TIMBER FRAMING, BRACING AND HOLD-DOWN DETAILS SHALL COMPLY WITH AS 1684 2010 RESIDENTIAL TIMBER-ERAMED CONSTRUCTION MANUALS GENERALLY

MGP10 NEXT TO OPENINGS UNLESS NOTED OTHERWISE.

INTERNAL WALL THICKNESS DIMENSIONS HAVE BEEN OMITTED FROM PLAN FOR CLARITY, ALL INTERNAL WALLS TO BE 90mm PROVIDE APPROVED LIFT-OFF HINGES TO WC DOOR

AREA ANALYSIS

DWELLING FLOOR AREA	257.63 Sq.m
ROOF AREA	344.23 Sq.m
CARPORT FLOOR AREA	49.00 Sq.m
SHED FLOOR AREA	160.00 Sq.m
SITE AREA	5088 Sq.m



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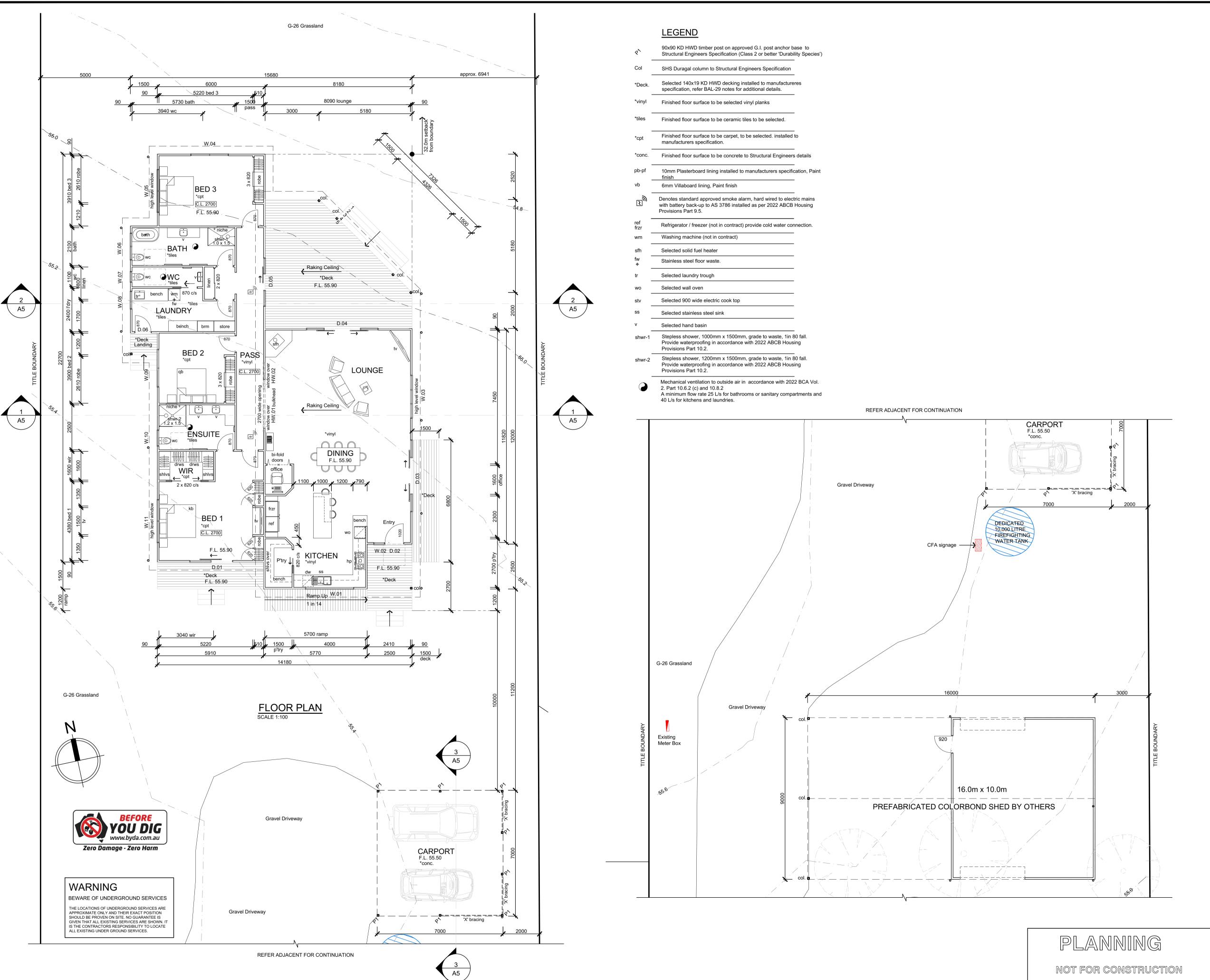
DATE	REVISION	BY
09/07/2024	Dwelling moved - 32.0m North setback Floor level lowered 100mm to R.L.55.90	RJS

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PROPOSED DWELLING 112 MIRRABOOKA ROAD MALLACOOTA, VIC. 3892

CLIENT	RYAN MASLIN & ROXY JOINEI
JOB N0.	24895
DATE	09/07/2024
DESIGNED BY	CDP-AD 58137
DRAWN BY	RJS
DESCRIPTION	SITE PLAN
ISSUE	PLANNING
SCALE	1:500 @ A1 size





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RATING TOTAL ENERGY ASSESSOR'S REFERENCE STARSMJ/m2 ACCREDITED ENERGY RATER FRATER CONSULTING SERVICES			
ELEMENT	SPECIFICATION		
FLOOR	R IN FLOOR OF FIRST FLOOR		
WALLS	R2.5 BULK INSULATION WITH 1 LAYER ANTIGLARE FOIL		
CEILINGS	R6.0 BULK INSULATION WITH ANTIGLARE SARKING		
WINDOWS	REFER WINDOW SCHEDULE		
ROOF COLOUR	MEDIUM TONING		
LIGHTING	IN CLASS 1 BUILDING- 5W/m2 ON VERANDAH OR BALCONY- 4W/m2 IN CLASS 1 BUILDING (GARAGE / SHED) -3W/m2		

BUSHFIRE ATTACK LEVEL

BAL- 29

ALL CONSTRUCTION METHODS, BUILDING
MATERIALS & PRE-FABRICATED PRODUCTS TO
COMPLY WITH AS 3959-2009, SECTION 7

SITING NOTE:

BUILDING LOCATION IS APPROXIMATE ONLY,
OWNER/BUILDER/SURVEYOR TO CONFIRM EXACT LOCATION ON
SITE PRIOR TO CONSTRUCTION

BOUNDARY NOTE:

LEVELS NOTE:

LEVELS ARE ARBITRARY DATUM, PROVIDED BY FREEMAN LAND SURVEYING, Mob: 0427 843 710 E: freemanlandsurveying@gmail.com REF. NO. 23477 DATED 09/12/2023

TITLE BOUNDARIES ARE APPROXIMATE ONLY, FOR EXACT LOCATION & BEARINGS REFER TITLE PLAN PS346221D

TIMBER FRAMING NOTE

ALL TIMBER FRAMING, BRACING AND HOLD-DOWN DETAILS SHALL COMPLY WITH AS 1684 2010 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION MANUALS. GENERALLY COMMON TIMBER STUDS SHALL BE 90x35 MGP10 & 2/90x45 MGP10 NEXT TO OPENINGS UNLESS NOTED OTHERWISE.

NOTES:
INTERNAL WALL THICKNESS DIMENSIONS HAVE BEEN OMITTED FROM PLAN FOR CLARITY, ALL INTERNAL WALLS TO BE 90mm
PROVIDE APPROVED LIFT-OFF HINGES TO WC DOOR

AREA ANALYSIS

DWELLING FLOOR AREA	257.63 Sq.m
ROOF AREA	344.23 Sq.m
CARPORT FLOOR AREA	49.00 Sq.m
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SITE AREA	5088 Sq.m



NO.	DATE	REVISION	BY
Α	09/07/2024	Dwelling moved - 32.0m North setback Floor level lowered 100mm to R.L.55.90	RJS

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112 MIRRABOOKA ROAD MALLACOOTA, VIC. 3892

CLIENT	RYAN MASLIN & ROXY JOINER	
JOB NO.	24895	
DATE	09/07/2024	
DESIGNED BY	CDP-AD 58137	
DRAWN BY	RJS	
DESCRIPTION	FLOOR PLANS	
ISSUE	PLANNING	
SCALE	1:100 @ A1 size	

RAWING NO. REVISION A2 Printed 10/10/20

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Selected location for Domestic Rain water drawing A6 note 17 for further information.

> BUILDING LOCATION IS APPROXIMATE ONLY, OWNER/BUILDER/SURVEYOR TO CONFIRM EXACT LOCATION ON SITE PRIOR TO CONSTRUCTION

TITLE BOUNDARIES ARE APPROXIMATE ONLY, FOR EXACT LOCATION & BEARINGS REFER TITLE PLAN PS346221D

LEVELS ARE ARBITRARY DATUM, PROVIDED BY FREEMAN LAND SURVEYING, Mob: 0427 843 710 E: freemanlandsurveying@gmail.com REF. NO. 23477 DATED 09/12/2023

TIMBER FRAMING NOTE

ALL TIMBER FRAMING, BRACING AND HOLD-DOWN DETAILS SHALL COMPLY WITH AS 1684 2010 RESIDENTIAL TIMBER-FRAMED CONSTRUCTION MANUALS. GENERALLY COMMON TIMBER STUDS SHALL BE 90x35 MGP10 & 2/90x45

INTERNAL WALL THICKNESS DIMENSIONS HAVE BEEN OMITTED FROM PLAN FOR CLARITY, ALL INTERNAL WALLS TO BE 90mm

PROVIDE APPROVED LIFT-OFF HINGES TO WC DOOR

257.63 Sq.m 344.23 Sq.m 49.00 Sq.m 160.00 Sq.m

5088 Sq.m



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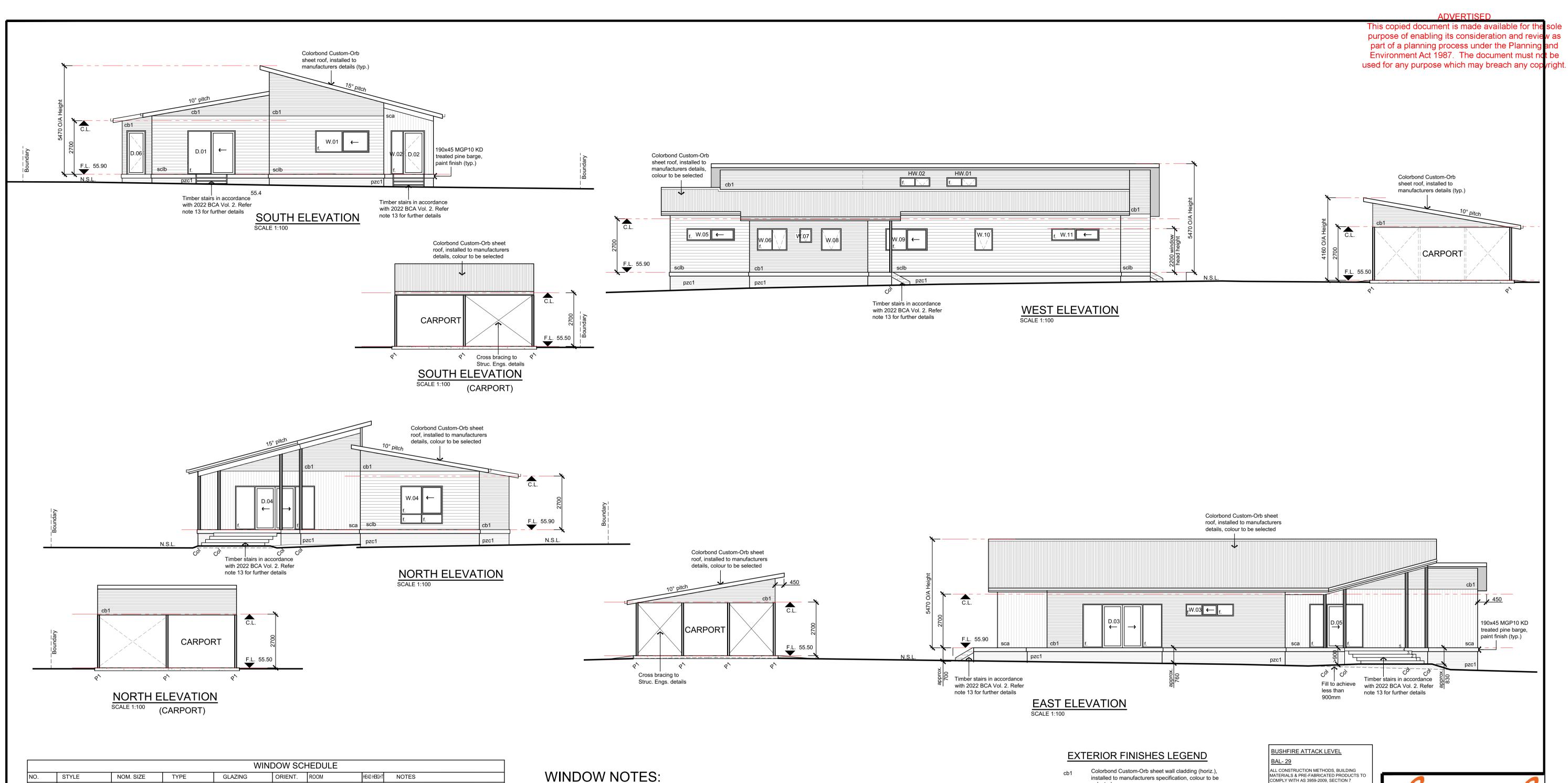
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PROPOSED DWELLING 112 MIRRABOOKA ROAD

RYAN MASLIN & ROXY JOINER 24895 09/07/2024 CDP-AD 58137 **ROOF PLAN** PLANNING 1:100 @ A1 size

DRAWING NO. REVISION





NO.	STYLE	NOM. SIZE	TYPE	GLAZING	ORIENT.	ROOM	HEAD HEIGH	NOTES
W.01	Fixed / Sliding	1100h x 2700w		Double glazed	South	Kitchen	2200	
W.02	Fixed	2200h x 600w		Double glazed	South	Entry	2200	Incorporate into Entry door frame
W.03	Fixed / Sliding	600h x 2400w		Double glazed	East	Lounge	2200	
W.04	Fixed / Sliding	1900h x 2100w		Double glazed	North	Bed 3	2200	
W.05	Fixed / Sliding	600h x 2400w		Double glazed	West	Bed 3	2200	
W.06	Fixed / Awning	1100h x 1500w	Powdercoat Aluminium	Double glazed	West	Bath	2200	
W.07	Awning	700h x 600w		Double glazed	West	wc	2200	Provide obscure glass
W.08	Awning	1100h x 1000w		Double glazed	West	Laundry	2200	
W.09	Fixed / Sliding	1100h x 2100w		Double glazed	West	Bed 2	2200	
W.10	Awning	1100h x 900w		Double glazed	West	Ensuite	2200	Provide obscure glass
W.11	Fixed / Sliding	600h x 2400w		Double glazed	West	Bed 1	2200	
HW.01	Fixed / Awning	450h x 1500w	1	Double glazed	West	Lounge	4770	Highlight windows
HW.02	Fixed / Awning	450h x 1500w]	Double glazed	West	Lounge	4770	Provide electric remote openers

DOOR SCHEDULE									
NO.	NOM. SIZE	DESCRIPTION	ROOM	GLASS	FRAME	HEAD HEIGHT	F.L.	FINISH	NOTES
D.01	2200h x2400w	ASD	Bed 1	Double glazed		2200	F.L. 56.00		
D.02	2200h x1020w	Aluminium swing door	Entry	Double glazed	Powder coated Aluminium	2200	F.L. 56.00	Powder Coat	Main Entry door, set down sill with floor level.
D.03	2200h x 4000w	ASD	Dining	Double glazed		2200	F.L. 56.00		
D.04	2200h x 4000w	ASD	Lounge	Double glazed		2200	F.L. 56.00		
D.05	2200h x 2700w	ASD	Passage	Double glazed		2200	F.L. 56.00		
D.06	2200h x 870w	Aluminium swing door	Laundry	Double glazed		2200	F.L. 56.00		

WINDOW NOTES:

All glazing to comply to as 1288, Contractor to provide thermal and safety assessment Windows to be Powder coated aluminium to be selected by client / builder Window sizes are nominal only Site measure prior to fabrication Provide head and sill flashing All external glazing shall be double glazed with air gap.

External leaf to be Viridian Lightbridge or similar approved. Internal leaf to be 'Vfloat' Clear or similar approved.

All external openable windows to be supplied with stainless steel flyscreens To be read in conjunction with Energy Rating Report

Refer BAL-29 notes for additional information Installed to manufacturers specification

DOOR NOTES:

Internal doors to be 2040 high x width as noted on drawings All external glazing shall be double glazed with air gap. Provide head and sill flashing to all external doors. Set all external sills flush with finished floor level Installed to manufacturers specification.

- Stramit Zincalume Perforated corrugated sheet (Horiz.) 0.42 BMT refer BAL notes for max. hole size. Profile cut / trim to concrete edge strip.
- sca Hardies Scyon Axon (vert.) 9mm thick, Smooth 133mm groove spacing, installed to manufacturers specification, paint finish, colour to be selected.
- Hardies Scyon Linea Board, 180mm width installed to manufacturers specification, paint finish.



E. reini@sandsbd.com.au NO. DATE REVISION A 09/07/2024 Dwelling moved - 32.0m North setback RJS Floor level lowered 100mm to R.L.55.90

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PROPOSED DWELLING 112 MIRRABOOKA ROAD MALLACOOTA, VIC. 3892

CLIENT	RYAN MASLIN & ROXY JOINE
JOB N0.	24895
DATE	09/07/2024
DESIGNED BY	CDP-AD 58137
DRAWN BY	RJS
DESCRIPTION	ELEVATIONS
ISSUE	PLANNING
SCALE	1:100 @ A1 size

DRAWING NO. REVISION

NOT FOR CONSTRUCTION

PLANNING

- 0.1 Land Description, Lot 4, PS346221, Volume 10721, Folio 869
- Terrain Category: TC 2.5 Shielding Classification: NS
- Topographic Classification: T3
- Wind Classification: N3 0.3 Soil Classification, refer Engineers Soil Report prepared by:

Dated/........ /2024

1. General

- 1.1 Written dimensions take precedence over scale, all dimensions are in millimetres U.N.O.
- 1.2 Materials and work practices shall comply with but not limited to Building Regulations 2018, National Construction Codes Series 2022 Building Code of Australia Vol 2, 2022 ABCB Housing Provisions and all relevant current Australian Standards
- 1.2.2 Unless otherwise specified, the term BCA 2022 shall refer to National Construction Codes Series 2022 Building Code of Australia Vol. 2. The term ABCB HP shall refer to 2022 Australian Building Codes Board, Housing Provisions Standard.
- 1.3 These plans shall be read in conjunction with any relevant structural and/or civil engineering computations and drawings related to this project.
- 1.4 The builder shall take all steps necessary to ensure the stability of new and existing structures during all works
- 1.5 The builder & subcontractors to verify all levels, dimensions, setbacks and specifications and all other relevant documentation prior to commencement of works. Report all discrepancies to this office for
- 1.6 All previously issued drawings marked preliminary shall now be
- 1.7 Exact set out of residence to be determined on site and shall be verified by Owner, Builder and Building surveyor

2. Footings

- 2.1 Soil classification to AS 2870. Refer Engineers Soil Report.
- 2.2 Concrete to be N20 grade unless noted otherwise.
- 2.3 Dimensions and Reinforcements shown are minimum requirements of AS2870.1.
- 2.4 The owners attention is drawn to Appendix A of AS2870.1. "Performance Requirements and Foundation Maintenance".
- 2.5 Footings not to encroach title boundaries and easement lines.

3. Termite Treatment

- 3.1 Where required termite treatment to comply with 2022 BCA Vol 2. Part H1 (o), ABCB HP Part 3.4 and in accordance with AS1694 or AS3360. 4. Drainage
- 4.1 Stormwater, spoon and sub-soil drains shall be taken to legal point of discharge (LPD).

building and its footing system

- 4.2 Sewer or septic system shall be in accordance with the relevant authority
- 4.3 The Builder and Subcontractors shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and / or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any
- 4.4 The Builder to provide sub soil drainage ie.100mm socked agi drain at the base (up-slope) of all retaining walls and at the base of footings where there is a possibility of water to enter under building or slab. Agi

 11. Copyright drains to be connected to legal point of discharge.

5. Brickwork

5.1 Provide wall ties to brickwork at maximum 600mm ctrs. in each direction and within 300mm of articulation joints.

5.2 Spacing of wall ties to top and sides of openings to be halved.

- 5.3 In areas less than 1km from sea or in heavy industrial areas wall ties shall be either:
 - Galvanised sheet steel min 7 600 or Galvanised wire min. 470g/m2. or Grade 316 stainless steel, or
- Engineered polymer ties. 5.4 Provide damp proof course, cavity flashing and weep holes in accordance with 2022 BCA Vol. 2, Part H1D5, ABCB HP Section 5 and
- 5.5 Provide vertical articulation joints in accordance with ABCB HP Part 5.6.8

6. Timber

- 6.1 For Climate Zone 'C', provide sub-floor ventilation to timber floors to achieve 6000sq.mm/metre run of perimeter wall in accordance with 2022 ABCB HP, Part 6.2.1 table 6.2.1a and Figures 6.2.1.b: and 6.2.1c:
- 6.2 Generally provide minimum clearance from underside of bearer to finished ground level of 400mm
- 6.3 Design wind classification: Refer Structural Engineers drawings 6.4 All timber sizes, wall and roof framing, fixing and bracing shall be in accordance with AS 1684.1 - AS 1684.4 2010 Residential timber-framed

7. Wet Areas

7.1 All wet areas to comply with 2022 BCA Vol 2 H4O1, ABCB HP Part 10.2

construction manuals parts 1-4 and TPC Timber Framing Span Tables

8. Building Fabric

- 8.1 Minimum R value of element as per 2022 BCA, Vol 2, H6D2 and ABCB
- 8.2 Any Sarking must have a flammability index of not more than 5.
- 8.3 All sarking and sisalation to be approved vapour permeable in accordance with AS/NZ 4200.1
- 8.4 See Bush Fire Attack Level (BAL) notes for further information on sarking

9. Doors, Windows & Glazing

- 9.1 All glass and glazing to conform with 2022 BCA, Vol 2 Section H, Part H1D8 3.6. ABCB HP Part 8, AS1288 and AS2047
- 9.2 Window sizes and type are nominal and may vary according to selected manufacturer. Site measure prior to fabrication.
- 9.3 Provide safety glass to shower screens & windows over baths in accordance with AS1288
- 9.4 All doors, windows, gaps & cracks to be sealed
- 9.5 All external doors to be weather stripped
- 9.6 All external doors and windows to be installed to manufacturers

further information and special glazing requirements.

specification and flashed all round. 9.6 Refer to Energy Raters thermal assessment and BAL Assessment for

10. Smoke Detectors

10.1 Smoke alarms to be installed in accordance with 2022 BCA, Vol 2, Part H3, ABCB HP Part 9.5 and to comply with AS3786, hard wired to electric mains with battery back-up.

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12. Driveways and Excavations

- 12.1 New driveways and crossovers to be in accordance with local requirements and owner/builder shall obtain relevant permits prior to commencement of work.
- 12.2 Any excavations, extent and position of any fill or stockpiling to verified on site with Owner/Builder
- 12.3 Control drainage and erosion during the course of construction by use use of suitable silt traps and sediment basins, no flow to be directed or discharge over any adjoining property. Soil disturbance to be kept to a minimum, cut and fill batters to be no steeper than 1 in 2 grade U.N.O Provide 100mm of top soil to all disturbed areas and sow to grass as soon as practicable after construction works have been completed.

13. Stairs, Steps & Balustrades

- 13.1 Stairs and steps; maximum riser(R) 190mm, minimum riser(R) 115mm, maximum going(G) 355mm, minimum going (G) 240mm, slope relationship (2R+G), minimum head room above nosing of stair 2000mm, Maximum 125mm vert. gap between treads on stringer
- 13.2 Barriers and Handrails in accordance with ABCB HP Part 11.3. Handrails to minimum 865mm above nosing of stairs and 1050mm above balconies and landings with maximum 125mm between rails or balustrades (except wire balustrades refer 13.3 below). Provide balustrades where balconies or landings exceeds 1000mm above adjacent finished surface level.
- 13.3 Wire balustrade construction to comply with 2022 BCA, Volume 2 Part H5V1 for Class 1 and 10 buildings and ABCB HP Part 11.3.6

14. Stormwater & Roof Drainage

- 14.1 All roofing, gutters, downpipes, drainage etc. to be installed in accordance with 2022 BCA Volume 2, VIC Part E3 & E4 and AS3500.3
- 14.2 Drawings show suggested location for downpipes, exact number of downpipes and locations to be determined on site by Builder, Plumber Each downpipe must not serve more area than the catchment area
- calculated in accordance with AS3500.3 Section 3.5.4 14.3 Builder to ensure that a downpipe is located as close as possible of an
- internal roof valley or provide slotted spouting or gutters (overflow) 14.4 Valley gutters on a roof less than 12.5 degrees -- must be designed as a box gutter with a minimum width of 300mm
- 14.5 Stormwater line to be laid to a minimum grade of 1:100 and connected to the legal point of discharge. Provide inspection openings @ 9000mm C/C and at each change of direction. The cover to underground stormwater drains shall not be less than: 100mm under soil 50mm under paved or concrete areas
- 100mm under unreinforced concrete or paved driveways 75mm under reinforced concrete driveways

15. Rescode

15.1 Building and siting to comply with current Rescode, designer to be notified if any discrepancies are found by surveyor/builder/owner prior to construction or any site works

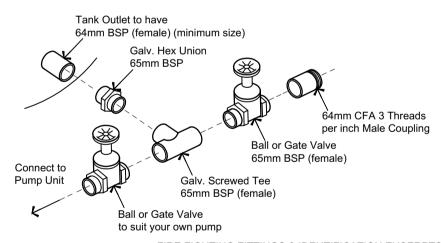
16. Energy Efficiency

16.1 Energy efficiency to be in accordance with 2022 BCA, Vol 2 Part H6 and ABCB HP part 13, all designs shall be constructed in accordance with the approved plans as provided and stamped by the accredited Energy Rater without alteration

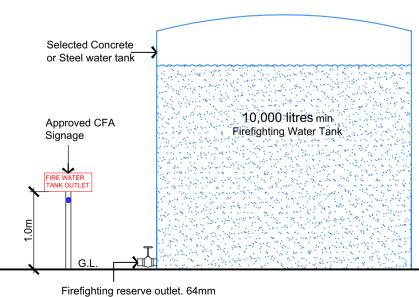
17. Rain Water Tank

- 17.1 A rainwater tank must be installed in a Class 1 Building in accordance with Regulations made under the Building Act 1993, Schedule 10 Victoria - Section B and in accordance with NCC 2022 Vol 3, Part B1 clauses VIC B6D2 and VIC B7D4.
- 17.2 The rainwater tank must have a minimum capacity of 2,000 litres, have a catchment area from a roof of at least 50sq.m and be connected to all sanitary flushing systems within a building.
- 17.3 Where it is necessary to connect both rainwater and drinking water for flushing purposes, the drinking water supply must be protected against backflow, either by providing an air gap or installing a backflow

THESE NOTES ARE A SUMMARY ONLY, REFER TO 2022 BCA VOLS. 2 & 3, ABCB HOUSING PROVISIONS AND RELEVANT STANDARDS FOR FURTHER DETAILS.



FIRE FIGHTING FITTINGS & IDENTIFICATION EXCERPTS FROM "BUILDING IN A WILDFIRE MANAGEMENT OVERLAY HANDBOOK" PREPARED BY THE CFA



CFA 3 threads per inch male fitting

FIREFIGHTING WATER TANK

Where a 10,000 litre water supply is required, fire authority fittings and access must be provided as follows: Be readily identifiable from the building or appropriate identification signs to the satisfaction of the relevant fire authority.

- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed. Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting). Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

In accordance with EGSC Planning Scheme 53.02

BUSHFIRE ATTACK LEVEL

ALL CONSTRUCTION METHODS, BUILDING MATERIALS & PRE-FABRICATED PRODUCTS TO OMPLY WITH AS 3959-2009, SECTION 7

CFA - ACCESS ROAD DESIGN AND

- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- degrees) entry and exit angle.

CONSTRUCTION REQUIREMENTS:

All-weather construction.

- A load limit of at least 15 tonnes. Provide a minimum trafficable width of 3.5 metres.
- Curves must have a minimum inner radius of 10 metres.
- Dips must have no more than a 1 in 8 (12.5 per cent) (7.1
- close to the building.

THE NOTES BELOW ARE A SUMMARY ONLY AND SHOULD BE READ IN CONJUNCTION WITH:-AS 3959 " CONSTRUCTION of BUILDINGS in BUSHFIRE PRONE AREAS AND 2019 BCA

All construction methods, building materials and prefabricated products to comply with AS 3959-2009 construction of buildings in bushfire-prone areas 'Sections 3 & 7'

BUSHFIRE ATTACK LEVEL (BAL) 29

SUBFLOOR SUPPORTS

The Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with a) a wall that complies with the requirements for an external wall below;

b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze or aluminium;

c) a combination of Items (a) and (b) above.

Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be -(i) of non-combustible material:

(ii) of bushfire-resisting timber (see appendix 'F' of AS 3959);

ii) a combination of Items (i) and (ii) above. NOTE: This requirement applies to the principal building only. See requirements below for verandas, decks, steps, ramps and landings

FLOORS

- DECKING Decking to be constructed of non-combustible material, or bushfire resisting timber (see appendix 'F' of AS 3959), or a timber species as specified in appendix 'E', table E1 of

- CONCRETE SLAB

No specific construction requirements for concrete slabs on ground.

- ELEVATED FLOORS * Enclosed subfloor space:

The Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed

(i) a wall that complies with the standards for an external wall below; (ii) a mesh or perforated sheet with a maximum aperture of 2 mm, made

of corrosion resistant steel, bronze or aluminium; (iii) a combination of Items (a) and (b) above.

* Unenclosed subfloor space: Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following: a) materials that comply with the following: (i) bearers and joists shall be -

> (A) non-combustible: (B) bushfire-resisting timber (see appendix 'F' of AS 3959);

(C) a combination of Items (i) and (ii) above.

(ii) flooring shall be -(A) non-combustible;

(B) bushfire-resisting timber (refer table in AS 3959);

(C) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral

(D) a combination of any of Items (A), (B) or (C).

b) a system complying with AS 1530.8.1

wool insulation;

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

For window assemblies less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings or similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110mm in width from the window frame, window frames and window joinery shall be made of metal

Where glazing is less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110mm in width from the window frame, the glazing shall be toughened glass minimum 5mm thick (also to comply with AS 1288, whichever is the greater)

Externally fitted hardware that supports the sash in its functions of opening and closing

aperture of 2mm. made of corrosion-resistant steel or bronze. Aluminium mesh must not

The openable portions of windows shall be screened with mesh with a maximum

be used in window screens.

DOORS - SIDE HUNG EXTERNAL All external side hung doors shall be non-combustible

shall be a solid timber door having a minimum thickness of 35mm for the first 400mm above the threshold

shall be a door, including a hollow core door, with a non-combustible kickplate on the outside for the first 400mm above the threshold shall be a fully framed glazed door, where the framing is made from materials required

for bushfire shutters, or from a timber species specified in appendix 'F', F4 tested species of AS 3959 Doors shall be tight-fitting to the door frame and to an abutting door, where applicable

Where any part of the door assembly is less than 400mm from the ground or less than 400mm above decks, carport roofs, awnings or similar elements or fittings having an

angle less than 18 degrees to the horizontal and extending more than 110mm in width

from the door, that part of the door assembly shall be made of metal

DOORS - SLIDING EXTERNAL

Sliding doors shall comply with one of the following: (a) They shall be protected by a bushfire shutter that complies with Clause 7.5.1.

(b) They shall be completely protected externally by screens with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel or bronze. Aluminium mesh must not be used in the door screens.

(c) They shall comply with the following: (i) Doorframes shall be of bushfire-resisting timber (see Appendix F) or aluminium or steel.

(ii) Externally fitted hardware that supports the panel in its functions of opening and closing shall be metal. (iii) Where sliding doors incorporate glazing, the glazed assembly shall be toughened glass minimum 6 mm except where both the fixed and openable portions of doors are screened by a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel or bronze.

Aluminium mesh must not be used in the door screens.

(a) Vehicle access doors shall be made from

(i) non-combustible material; or

(iv) Sliding doors shall be tight-fitting in the frames. DOORS - VEHICLE ACCESS DOORS (GARAGE DOORS) The lower portion of a vehicle access door that is within 400mm of the The following apply to vehicle access doors:

(ii) bushfire-resisting timber (see Appendix F); or (iii) fibre-cement sheet, a minimum of 6 mm in thickness; or (iv) a combination of any of Items (i), (ii) or (iii) above. (b) Panel lift, tilt doors or side-hung doors shall be fitted with suitable weather strips. draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm.

shall be fitted with a nylon brush that is in contact with the door (see Figure D4,

(c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and

Appendix D). (d) Vehicle access doors shall not include ventilation slots.

ROOF

The following apply to all types of roofs and roofing systems: (a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible (b) The roof/wall junction shall be sealed, to prevent openings greater than 3 mm, either by the use of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof and between the rafters at the line of the wall. (c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium. (d) A pipe or conduit that penetrates the roof covering shall be non-combustible. Sheet roofs

Sheet roofs shall: (a) be fully sarked in accordance with Clause 7.6.2, except that foil-backed insulation

blankets may be installed over the battens: (b) have any gaps greater than 3 mm under corrugations or ribs of sheet roofing and between roof components sealed at the fascia or wall line and at valleys, hins and

(i) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or (ii) mineral wool; or

(iii) other non-combustible material; or (iv) a combination of any of Items (i), (ii) or (iii) above. The following apply to veranda, carport and awning roofs:

(a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 7.6.1, 7.6.2, 7.6.3, 7.6.5 and 7.6.6. (b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures

D1(b) and D1(c), Appendix D] complying with Clause 7.4 shall have a non-combustible roof covering and the support structure shall bear (i) of non-combustible material; or (ii) bushfire-resisting timber (see Appendix F); or

6 mm in thickness, or with material complying with AS 1530.8.1; or (iv) a combination of any of Items (i), (ii) or (iii) above.

EXTERNAL WALLS Walls shall be one of the following:

(iii) timber rafters lined on the underside with fibre-cement sheeting a minimum of

(a) Made of non-combustible material (e.g., full masonry, brick veneer, mud brick, concrete, aerated concrete). (b) Made of timber-framed or steel-framed walls that are sarked on the outside of the

frame and clad with (i) fibre-cement external cladding, a minimum of 6 mm in thickness; or (ii) steel sheet; or (iii) bushfire-resisting timber (see Appendix F); or (iv) a combination of any of Items (i), (ii) or (iii) above.

(c) A combination of Items (a) and (b) above.

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3 mm. Alternatively, sarking-type material can be applied over the frame prior to fixing any external cladding.

to pass a circular probe o 2mm dia. through the aperture.

Vents and weepholes in external walls shall be screened with a mesh with a maximum

aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where they are less than 3 mm (see Clause 3.6).

Vents and weepholes

VENTS & WEEP HOLES Where a circular probe of 3mm dia. is capable of being passed through external vents,

weepholes or gaps, the vents, weepholes & gaps shall be screened as specified in

sections 3, 5, 6, 7, 8 & 9 except for weepholes from the frames of windows & glazed

To determine the maximum aperture size of screening material, it shall not be possible

Gaps between doors & door jambs, heads or sills (thresholds) sgall be as shown in figure 3.2 of AS 3959. Alternatively, gaps shall be protected by draught excluders.

'Non-combustible' - not deemed combustible as determined by AS 1530.1 'combustibility tests for materials' or not deemed combustible in accordance with the

SUMMARY ONLY, REFER AS 3959, SECTION 7 FOR FURTHER INFORMATION

TIMBER FRAMING SCHEDULE ALL TIMBER FRAMING, BRACING AND HOLD-DOWN DETAILS SHALL COMPLY WITH AS 1684 2010 RESIDENTIAL TIMBER-FRAMED STRUCTURAL ENGINEERS SPECIFICATIONS. WIND CLASSIFICATION: REFER STRUC. SOIL CLASSIFICATION: REFER STRUCTU DRAWINGS ROOF CLADDING SIZE mm STRESS CENTRES MAX HEIGHT / SPAN DESCRIPTION MGP12 900 900 SPAN **ROOF BATTENS** CEILING BATTENS 70x35 MGP10 450 900 SPAN 70x45 MGP12 450 1200 SPAN CEILING BATTENS 90x35 MGP10 450 OMMON WALL STUDS 2700 HEIGHT MAX. GENERAL TOP PLATES 90x45 MGP10 OADBEARING TOP PLATES 2/90x45 MGP10 BOTTOM PLATES 90x45 MGP10 WALL NOGGINGS 90x435 MGP10 1350 USPENDED CONC. FLOOR CONCRETE BLOCK WALLS POSTS / COLUMNS

REFER STRUCTURAL ENGINEERS DRAWINGS

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LEGEND

LINTELS, BEAMS

ROOF PURLINS

90x90 KD HWD timber post on approved G.I. post anchor base to Structural Engineers Specification (Class 2 or better 'Durability Species')

SHS Duragal column to Structural Engineers Specification

Selected 140x19 KD HWD decking installed to manufactureres

specification, refer BAL-29 notes for additional details. Finished floor surface to be selected vinyl planks

Finished floor surface to be ceramic tiles to be selected.

Finished floor surface to be carpet, to be selected. installed to manufacturers specification.

Finished floor surface to be concrete to Structural Engineers details 10mm Plasterboard lining installed to manufacturers specification, Paint

6mm Villaboard lining, Paint finish

Denotes standard approved smoke alarm, hard wired to electric mains with battery back-up to AS 3786 installed as per 2022 ABCB Housing

Refrigerator / freezer (not in contract) provide cold water connection. Washing machine (not in contract) Selected solid fuel heater

Stainless steel floor waste Selected laundry trough Selected wall oven

Selected 900 wide electric cook top

Selected stainless steel sink

40 L/s for kitchens and laundries

Selected hand basin Stepless shower, 1000mm x 1500mm, grade to waste, 1in 80 fall. Provide waterproofing in accordance with 2022 ABCB Housing Provisions Part 10.2.

Provide waterproofing in accordance with 2022 ABCB Housing Provisions Part 10.2. Mechanical ventilation to outside air in accordance with 2022 BCA Vol. 2. Part 10.6.2 (c) and 10.8.2

Stepless shower, 1200mm x 1500mm, grade to waste, 1in 80 fall.

A minimum flow rate 25 L/s for bathrooms or sanitary compartments and



PROPOSED DWELLING

112 MIRRABOOKA ROAD

MALLACOOTA, VIC. 3892 RYAN MASLIN & ROXY JOINER 24895 JOB NO. 09/07/2024 DATE CDP-AD 58137 DESIGNED BY DRAWN BY RJS NOTES & DETAILS DESCRIPTION PLANNING

DRAWING NO. REVISION

As Shown

SCALE

@ A1 size

NOT FOR CONSTRUCTION

A turning area for fire fighting vehicles must be provided

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Roof முன்னிர் வரும் முறைகள் whish comaychreach any copyright.					
Wall Cladding:	0.42 Corro bmt - 0.48 Corro tct				
Columns:	2C25024 "C" Purlin, Fixed with heavy duty plates and bolts				
Rafters:	2C25024 "C" Purlin, Fixed with heavy duty plates and bolts				
Purlins:	TH120100 purlin fixed with heavy duty framing teks				
Girt:	TH120100 girt fixed with heavy duty framing teks				
Gutter:	Quad				

To ground level

Bay Width: 4 x 4.000 m

Span: 9.000 m

Length(total): 16.000 m

Eave Height: 4.200 m

Overall Height: 5.075 m

Roof Pitch: 11 deg

Left Lean-to: N/A

N/A 0.000 m

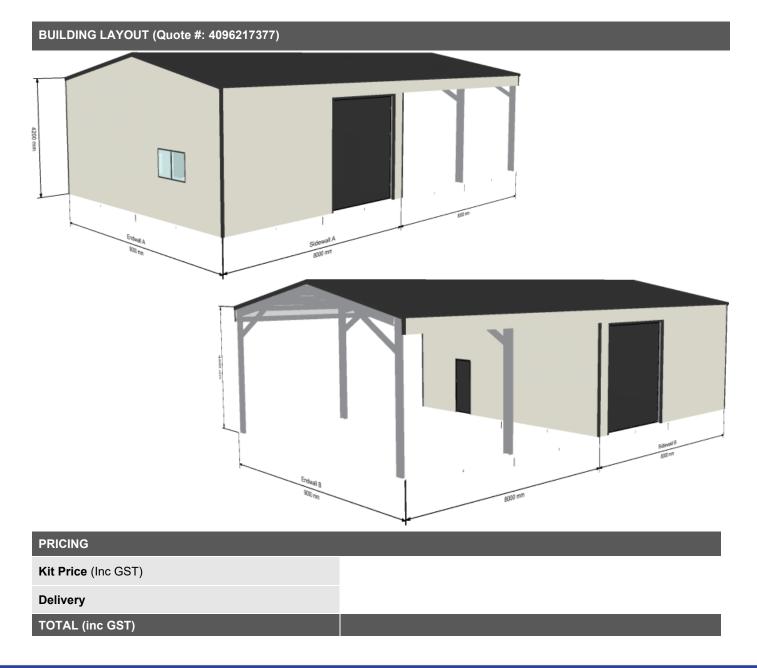
8.000 m

Right Lean-to:

Front Garaport:

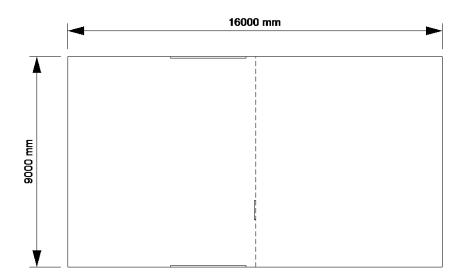
Back Garaport:

Note: Garaport length is included in Length(total) shown above.



Downpipes:

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ADDED INCLUSIONS

part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

2x 3600HX3150W B Industrial Roller Door Monolith

- 1x Sentry 650 door and frame 2040H x 820W Monolith
- 1x Sliding Window 900Hx1430W Monolith

OTHER: All bolts, screws, rivets etc. are supplied and are coloured if fixing to colormaster. Engineering and drawings for your council submission are supplied at no additional cost.

RECOMMENDED OPTIONAL EXTRAS

Personal Access Door	- Allows easy and direct access into your shed.			
Window 900mm x 1430mm	– Easy to install and great for light and ventilation.			
Barn Window	– 475 x 840mm. Great for creating that classic country style façade.			
Sliding Glass Doors	- 1810 (w) x 2100 mm (h). Excellent addition for Man Caves and She Sheds!			
Insulation	per roll, covering \sim 26m². The best way to increase comfort inside your new shed. Main Building (Roof - 3), (Walls – 7) Rolls Required. (Excludes Leantos).			
Roller Door Openers	- Domestic Automatic Roller Door Opener.			
Roller Door Openers	- Commercial Automatic Roller Door Opener.			

Please note these are not included in the above kit price unless stated in the ADDED INCLUSIONS section.

SITE LOCATION

Site Address	112 Mirrabooka Rd, Mallacoota, VIC, 3892
(Co-ordinates)	-37.5462528099298, 149.746358313757
Region	A5, Importance Level: 2.
Site Wind Speed	45.34 m/s
Internal Pressure - CPi	+0.5
Snow Load (kPa)	0 kPa

