

Form 2

**NOTICE OF AN APPLICATION FOR PLANNING PERMIT**

<b>The land affected by the application is located at:</b>	<b>215 Tambo Upper Road SWAN REACH 3903 Lot: 1 PS: 734366</b>
<b>The application is for a permit to:</b>	<b>Use and Development of a Second Dwelling</b>
<b>The applicant for the permit is:</b>	<b>Development Solutions Victoria Pty Ltd</b>
<b>The application reference number is:</b>	<b>5.2024.303.1</b>

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to the applicant giving notice</b>
---	---

If you object, the Responsible Authority will tell you its decision.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**

VOLUME 11658 FOLIO 708

Security no : 124117685179F  
Produced 23/08/2024 04:22 PM

**LAND DESCRIPTION**

Lot 1 on Plan of Subdivision 734366M.  
PARENT TITLES :  
Volume 10791 Folio 103 to Volume 10791 Folio 104  
Created by instrument PS734366M 27/05/2016

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Joint Proprietors

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AB253839T 02/05/2002

**DIAGRAM LOCATION**

SEE PS734366M FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 215 TAMBO UPPER ROAD SWAN REACH VIC 3903

See MI310772G for WATER FRONTAGE LICENCE details

**ADMINISTRATIVE NOTICES**



Copyright State of Victoria. No part of this publication may be reproduced except as permitted by the Copyright Act 1969 (Cth), to comply with a statutory requirement or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA REGD TM System. None of the State of Victoria, its agents or contractors, accepts responsibility for any subsequent publication or reproduction of the information.

The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

**REGISTER SEARCH STATEMENT (Title Search) transfer of  
Land Act 1958**

---

DOCUMENT END

Printed 3/10/2024  
Page 3 of 59



# Imaged Document Cover Sheet

ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	<b>Plan</b>
Document Identification	<b>PS734366M</b>
Number of Pages (excluding this cover sheet)	<b>4</b>
Document Assembled	<b>23/08/2024 16:22</b>

**Copyright and disclaimer notice:**

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.



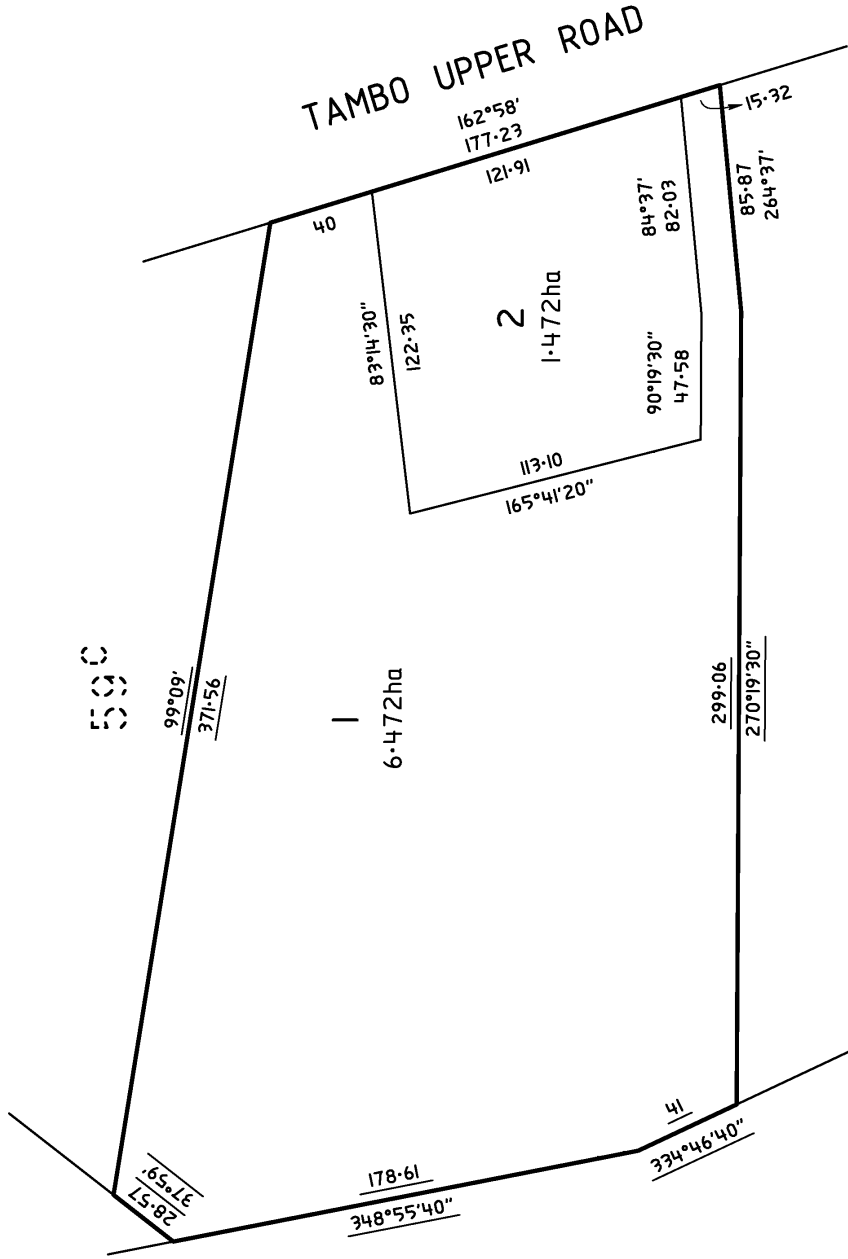
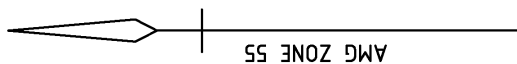


ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

PS 734366M

Signed by Council: East Gippsland Shire Council, PP Ref: 295/2014/P, Cert Ref: PS734366M, Original Certification: 19/06/2015, S.O.C.: 09/03/2016



SHEET 2 OF 3 SHEETS  
 ORIGINAL SHEET SIZE A9

LICENSED SURVEYOR ..... MICHAEL JOSEPH SADLER  
 DATE / /  
 DIGITALLY SIGNED BY LICENSED SURVEYOR:  
 REF 14759 VERSION 2

SCALE  
 20 0 20 40 60 80 100  
 LENGTHS ARE IN METRES  
 ORIGINAL SCALE 1:2000

**Crowther & Sadler Pty Ltd.**  
 LICENSED SURVEYORS & TOWN PLANNERS  
 162 MACLEOD STREET, BAIRNSDALE, VIC., 3876  
 TELEPHONE (03) 5162 6011

Printed 3/10/2024  
Page 6 of 59

Signed by: Michael Joseph Sadler (Crowther & Sadler - Crowther & Sadler) Surveyor's Plan Version (2) SPEAR Ref: S061768P 19/12/2014



ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



**Plan of Subdivision PS734366M**  
**Certification of plan by Council (Form 2)**

SUBDIVISION (PROCEDURES) REGULATIONS 2011

SPEAR Reference Number: S061768P  
Plan Number: PS734366M  
Responsible Authority Name: East Gippsland Shire Council  
Responsible Authority Permit Ref. No.: 295/2014/P  
Responsible Authority Certification Ref. No.: PS734366M  
Surveyor's Plan Version: 2

**Certification**

This plan is certified under section 6 of the Subdivision Act 1988

**Public Open Space**

A requirement for public open space under section 18 of the Subdivision Act 1988


Has not been made at Certification

Digitally signed by Council Delegate: Sarah McLaughlin  
Organisation: East Gippsland Shire Council  
Date: 19/06/2015

**Printed 3/10/2024**  
**Page 8 of 59**

AUG  
20  
24

ADVERTISED  
This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



APPLICATION FOR PLANNING PERMIT

# USE AND DEVELOPMENT OF A SECOND DWELLING

215 TAMBO UPPER ROAD, SWAN REACH  
NASTASSIA BENNETT  
REF: 24068

**CONTENTS**

1	Introduction	4
2	Site Context	5
3	The Proposal	11
4	Zones and Overlays	12
5	Planning Assessment	16
6	Conclusion	18

**APPENDIX**

- A Copy of Title and Plan of Subdivision
- B Proposed Development Plans
- C Geotechnical Risk Assessment Waiver
- D Land Capability Assessment

**DOCUMENT REVISION**

1	Draft Report	DAC	29/08/2024
2	Final Report	CMC	01/09/2024





ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.





## 1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of Nastassia and Jordan Bennett, the owner of land and the applicant for this planning permit application for the use and development of a second dwelling at 215 Tambo Upper Road, Swan Reach.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposed second dwelling will be used for the owner's elderly parents to reside in, offering a compassionate and practical solution to aging in place.

It is acknowledged that there is a current planning permit application for a Distillery on this land that is yet to be resolved. Family matters have taken priority, and it is requested that this application be considered completely independent.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

<b>Address</b>	215 Tambo Upper Road, Swan Reach
<b>Site Description</b>	Lot 1 on Plan of Subdivision 734366M
<b>Title Particulars</b>	Vol 11658 Fol 708
<b>Site Area</b>	6.472 hectares
<b>Proposal</b>	Use and Development of a Second Dwelling
<b>Planning Scheme</b>	East Gippsland Planning Scheme
<b>Zone</b>	Rural Living Zone – Schedule 2 (RLZ2)
<b>Overlays</b>	Erosion Management Overlay (EMO) Environmental Significance Overlay – Schedule 1-58 (ESO1-58)
<b>Aboriginal Cultural Heritage</b>	Partly identified as an area of Cultural Heritage Sensitivity
<b>Permit Triggers</b>	Clause 35.03-1 Rural Living Zone – Use Clause 35.03-4 Rural Living Zone – Buildings and Works Clause 44.01-2 Erosion Management Overlay
<b>Notice</b>	Exempt from notice and review at Clause 44.01-7
<b>Referrals</b>	No referrals required
<b>Work Authority Licence</b>	Not Applicable
<b>Planning Scheme requirements</b>	Municipal Planning Strategy – Clause 02 Settlement – Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Planning Policy Framework – Clause 10 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Erosion and landslip – Clause 13.04-2S Built environment and heritage – Clause 15 Housing – Clause 16 Rural Living Zone – Clause 35.03 Erosion Management Overlay - Clause 44.01 Decision guidelines – Clause 65



**2. SITE CONTEXT**

**Site**

The subject site is located at 215 Tambo Upper Road, Swan Reach. A copy of the Title and Plan of Subdivision is contained in **Appendix A**. The title is affected by a Section 173 Agreement registered on title as AB253839T.

**AB253839T**

This agreement restricts further subdivision of the allotment.

The site is irregular in shape with a total area of approximately 6.472 hectares and contains an existing outbuilding and dwelling under construction.

The site is undulating in nature, contains scattered vegetation throughout, a dam located along the eastern boundary and adjoins the Tambo River along the western boundary. Details of the site are depicted in the photographs provided below.

Access is existing via a gravel driveway entering in the northern portion of the eastern boundary connecting directly to Tambo Upper Road. A secondary informal access exists at the southern end of the eastern boundary.

Tambo Upper Road is a bitumen sealed road with gravel shoulders, traversing in a north to south direction.

The subject site in relation to Swan Reach as well as the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2**.

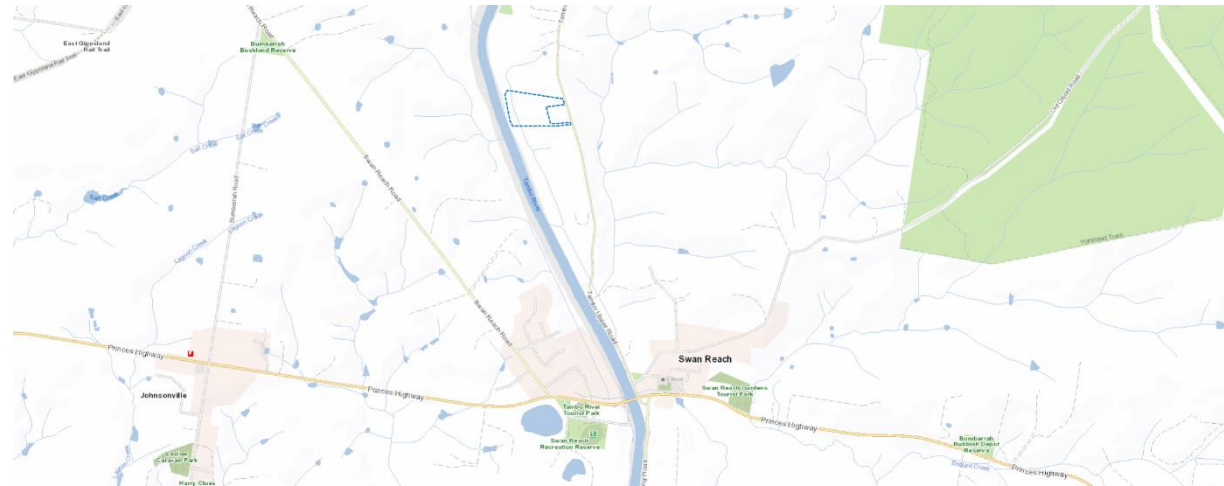


Figure 1 – Locality Plan – 215 Tambo Upper Road, Swan Reach (source: mapshare.vic.gov.au)



Figure 2 – Locality Plan – 215 Tambo Upper Road, Swan Reach (source: mapshare.vic.gov.au)

## Surrounds

The land in this locality is a combination of rural living, public land and farming land.

Adjoining the northern and southern boundary is vacant rural residential land. Adjoining the eastern boundary is Tambo Upper Road, an existing dwelling and associated facilities. Adjoining the western boundary is the Tambo River and further vacant farming land.

The subject site is located northwest of Swan Reach within an existing rural residential area. The area is undulating in nature, with dwellings scattered along the ridge maximising the views over the Tambo River.

Swan Reach is a small community located approximately 21km east of Bairnsdale along the Princes Highway. Swan Reach has limited services and facilities however, a full range of community and commercial services and facilities is located a short vehicle distance from the site in Bairnsdale or Lakes Entrance.

The subject site in relation to Swan Reach is shown in the aerial photograph below.





ADVERTISED

Photograph 1 - Aerial Photograph of the subject site and surrounding land  
- 215 Tambo Upper Road, Swan Reach (source: dpi.vic.gov.au)

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.







**Photograph 2** – Subject site at 215 Tambo Upper Road, Swan Reach.



**Photograph 4** – Existing outbuilding on subject site facing east.



**Photograph 6** – Existing dam on subject site facing south.



**Photograph 3** – Existing driveway access to subject site.



**Photograph 5** – Existing dwelling under construction on subject site facing north.



**Photograph 7** – Subject site facing north.





**Photograph 8** – Subject site facing east.



**Photograph 10** – Subject site facing west at proposed location of the second dwelling.



**Photograph 12** – Neighbouring property adjoining the eastern boundary at 201 Tambo Upper Road, Swan Reach along the western boundary of Tambo Upper Road.



**Photograph 9** – Subject site facing southwest.



**Photograph 11** – Neighbouring property adjoining northern boundary at 219 Tambo Upper Road, Swan Reach.



**Photograph 13** – Neighbouring property adjoining the eastern boundary at 208 Tambo Upper Road, Swan Reach along the eastern boundary of Tambo Upper Road.



**Photograph 14** – Neighbouring property adjoining the southern boundary at 185 Tambo Upper Road, Swan Reach.



**Photograph 16** – Tambo Upper Road facing south.



**Photograph 15** – Tambo Upper Road facing north.



### 3. THE PROPOSAL

This application seeks approval for use and development of a second dwelling. The proposed development plans are contained in **Appendix B**.

The proposed dwelling will be located in the southern portion of the subject site with a setback of approximately 20.36 metres to the southern boundary, 37.92 metres to the eastern boundary, 191.89 metres to the western boundary and approximately 103 metres to the dwelling under construction on the site.

The proposed dwelling will have a total building footprint of approximately 135.44m<sup>2</sup> and will be a single storey dwelling. The overall proposed height of the dwelling is 4.85 metres.

The finished materials and colours of the proposed dwelling will include James Hardie Axon cladding with a painted finish of Light Grey and custom orb roof sheeting in the Colorbond colour Monument. An extract of the proposed site plan and elevations is provided to the right and in **Appendix B**.

Vehicle access to the site is existing via a gravel driveway entering in the northern portion of the eastern boundary directly from Tambo Upper Road. An additional access point is

available in the southern portion of the eastern boundary as indicated on the proposed development plans.

The proposed second dwelling will connect to all available services including electricity, reticulated water, telecommunications and the existing road network. Wastewater will be treated and retained on site via a secondary treatment system as recommended within the Land Capability Assessment contained in **Appendix D**.

Some earthworks will be required however will not exceed 1 metre in depth. Given there will be two dwellings on the site a Geotechnical Risk Assessment waiver is contained in **Appendix C**.

No vegetation is required to be removed to facilitate the development of a second dwelling.

The proposed second dwelling will be used for residential purposes and will allow the owners elderly parents to live independently while being close to family, enhancing their safety, reducing isolation, and providing immediate access to support when needed, all of which contribute to their overall well-being and quality of life.

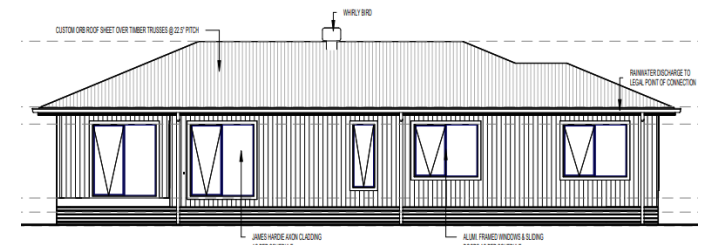
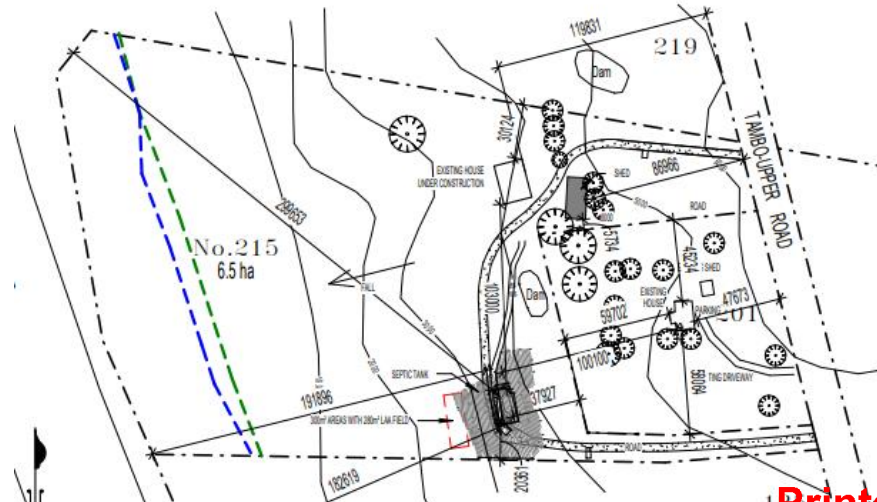


Figure 3 – Eastern Elevation – Stroud Homes



Printed 3/10/2024  
Figure 4 – Site Plan – Stroud Homes  
Page 19 of 59

#### 4. ZONES AND OVERLAYS

##### Rural Living Zone – Schedule 2

The purpose of the Rural Living Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for residential use in a rural environment.
- To provide for agricultural land uses which do not adversely affect the amenity of surrounding land uses.
- To protect and enhance the natural resources, biodiversity and landscape and heritage values of the area.
- To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.

An extract of the Rural Living Zone Map is provided to the right in **Figure 5**.

Clause 32.03-1 provides a permit is required for the use as the Section 1 condition cannot be met. All of the conditions set out in Clause 32.03-2 are met. Clause 35.03-4 provides a permit is required for buildings and works associated with a Section 2 use. As such a permit is required for the use and development

of a second dwelling, the relevant decision guidelines are addressed in Section 5 of this submission.



Figure 5 – Rural Living Zone – (source - mapshare.vic.gov.au)



## Erosion Management Overlay

The purpose of the Erosion Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.

An extract of the Erosion Management Overlay Map is provided to the right in **Figure 6**.

Clause 44.01-2 provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is not required for the development of a dwelling, replacement dwelling or small second dwelling. The proposal is seeking approval for a second dwelling and as such a permit is required. The relevant decision guidelines are addressed in Section 5.

A Geotechnical Risk Assessment Waiver is provided in **Appendix C**.



Figure 6 – Erosion Management Overlay – (source - mapshare.vic.gov.au)

**Environmental Significance Overlay - Schedule 1-58**

The purpose of the Environmental Significance Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas where the development of land may be affected by environmental constraints.
- To ensure that development is compatible with identified environmental values.

An extract of the Environmental Significance Overlay Map is provided in **Figure 7**.

Clause 42.01-2 provides a permit is required to construct a building or construct or carry out works. The proposed second dwelling will not be located in the area affected by the Environmental Significance Overlay and as such a permit is not required, this is not addressed further.



Figure 7 – Environmental Significance Overlay – (source - mapshare.vic.gov.au)

### Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is recognised as being partially within an area of Aboriginal Cultural Heritage Sensitivity.

The proposed buildings and works are not within the area identified as being of cultural heritage significance in addition to the development of one or two dwellings being an exempt activity, and as such a Cultural Heritage Management Plan is not required.

An extract of the Aboriginal Cultural Heritage Map is provided to the right in **Figure 8**.

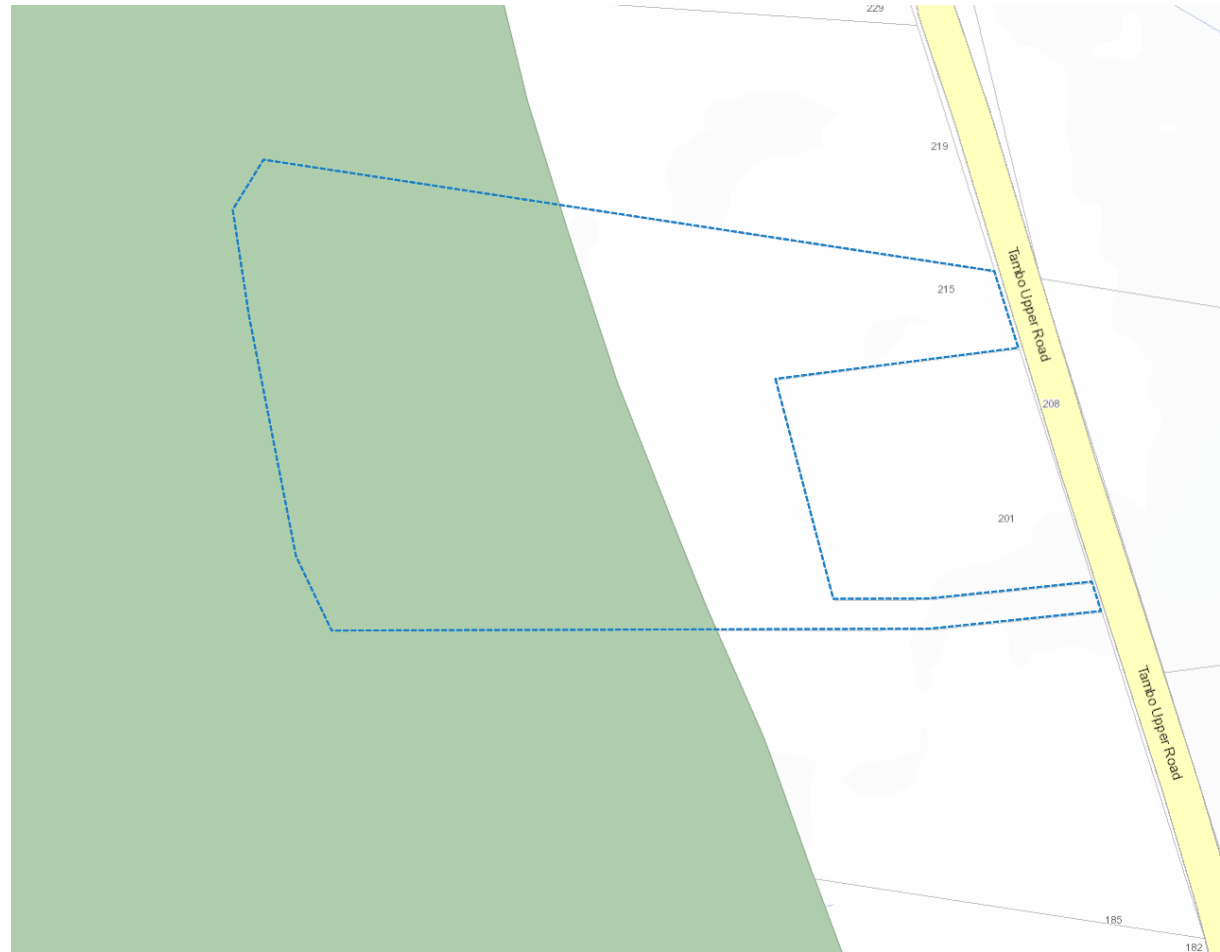


Figure 8 – Aboriginal Cultural Heritage Map – (source - mapshare.vic.gov.au)

## 5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of the applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate second dwelling that can be respectful of the existing surrounding development and the environment.
- The proposal will contribute to a high standard of environmental sustainability, urban design and amenity by designing the proposed second dwelling to meet the constraints of the land reducing any potential negative environmental implications as sought to achieve by the relevant clauses including **Clause 02.03** and **Clause 11**.
- **Clause 02.03-1** identifies Swan Reach as a rural settlement. The Twin Rivers region is located to the east of Bairnsdale and includes the smaller town of Johnsonville, Swan Reach and Nicholson.
- The proposed dwelling will connect to all available services and infrastructure including electricity, reticulated water, telecommunications and a good quality road network. Wastewater will be treated and retained within the allotment boundaries via a secondary treatment septic system as recommended in the Land Capability Assessment contained in **Appendix D**. Wastewater will be managed an appropriate distance from the nearby Tambo River.
- **Clause 13.04-2S** requires consideration of erosion and landslip. The subject site and proposed development is within an area identified as being susceptible to erosion. Some earthworks will be required to create a level surface for the construction of the proposed second dwelling however will not exceed 1 metre in depth. All preventative measures will be undertaken during the construction phase of the proposed development to ensure no erosion hazards occur. A Geotechnical Risk Assessment Waiver is contained in **Appendix C** that concludes the proposal is unlikely to contribute or cause additional erosion hazards.
- The proposal meets the objectives of **Clause 16** by providing for a second dwelling within an existing rural living area, that will in turn support housing for the community.
- The proposal is generally consistent with the decision guidelines of the Rural Living Zone at **Clause 35.03-5** which seeks to provide for residential use in a rural environment.
- The proposed use and development of a second dwelling will result in an appropriate development that will be used for residential purposes, specifically to accommodate the owner's elderly parents.
- The proposed development will be located in the southern portion of the and will have appropriate setbacks from the boundaries, watercourse and dwelling not in the same ownership.
- The Tambo River adjoins the subject site along the western boundary. The proposed development is likely to be visible from the water however will not be visually obtrusive or out of character to other development in the locality.
- Access to the subject site is existing via the gravel driveways directly from Tambo Upper Road. The southern access point will require upgrading.
- No vegetation is required to be removed to facilitate the proposed second dwelling.
- The proposal is consistent with the decision guidelines of the Erosion Management Overlay at **Clause 44.01** which seeks to

- protect areas prone to erosion, landslip, other land degradation.
- The proposal will require some earthworks to create a level building site however will not exceed 1 metre in depth. Disturbed ground will be appropriately battered and sown with grass to ensure no erosion occurs. A Geotechnical Risk Assessment Waiver is contained in **Appendix C** that concludes the risks associated with erosion can be reduced to an acceptable level.
  - This submission has addressed the decision guidelines of **Clause 65**, and the proposed use and development supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
  - Access will be provided for the proposed second dwelling as indicated on the proposed development plans, there will be no negative impact on the existing road network. The increased traffic as a result of the proposal is unlikely to generate any negative impact on the existing road network.
  - The subject site cannot be further subdivided, and this is not the intention. The proposed second dwelling does not create an unreasonable density in this

- location. The dwelling will be located a suitable distance from any other dwelling.
- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.



## 6. CONCLUSION

This submission is in support of a planning permit application for the use and development of a second dwelling at 215 Tambo Upper Road, Swan Reach.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed development is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Rural Living Zone and the Erosion Management Overlay.
- The risks associated with erosion can be reduced to an acceptable level.
- The design of the building is complementary to the existing surrounding development and is consistent with the character of the area.

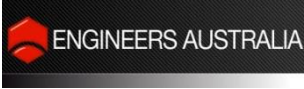
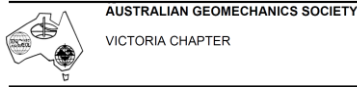
It is requested that a planning permit be granted for this development.

**Development Solutions Victoria**

### Disclaimer:

*This document has been prepared for planning permit application purposes only. The report has been made with careful consideration and with the best information available to Development Solutions Victoria Pty Ltd at the time.*

*No component of this document is to be reproduced for any purpose without prior written consent of Development Solutions Victoria Pty Ltd.*



**Simon Anderson**  
Consultants  
CIVIL | STRUCTURAL | PROJECT ENGINEERS

P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266 Ph: (03) 5153 1500	P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065 Ph: (03) 5144 6688
--	--



ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

16 May 2024

**Jordan Bennett**  
**215 Tambo Upper Rd**  
**Swan Reach VIC 3903**  
**Email: [info@logansmicrodistillery.com.au](mailto:info@logansmicrodistillery.com.au)**

Dear Jordan,

**Re: Proposed DPU Dwelling**  
**215 Tambo Upper Rd, Swan Reach**

After having visited the above mentioned property, I request a Geotechnical Risk Assessment report waiver for the planning application of the above mentioned development. The reasons for the waiver are as follows;

1. There is no evidence of soil erosion or landslip on the subject site or adjoining rural properties and I would consider the geotechnical risks to be low.
2. The site is situated (mid slope) on a rolling low hill landform with moderate grades (approx. 1 in 5) and excellent grass coverage, preventing topsoil from being washed away (even in the heaviest torrential downpours)
3. Natural soils of the site (Dense Gravelly, Silts, overlying Stiff Clays) will have adequate strength and stability for residential slabs, footings and retaining walls.
4. The dwelling development will be light framed, timber floor on concrete stumps and footings. This will result in the least amount of disturbance to the sites topsoils and eliminate any risk of erosion.
5. Any construction works associated with the new dwelling would be protected by Building Code of Australia, Australian Standards, Building and Planning Permit requirements, and normal construction practice.

If you have any further queries please don't hesitate to contact me.

Yours faithfully

**Simon Anderson CPEng MIEAust**  
**Chartered Professional Engineer**  
**NPER-3 No 930355 BCC No EC-1711**



This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



**Simon Anderson**  
Consultants  
CIVIL | STRUCTURAL | PROJECT ENGINEERS

P.O. Box 1700  
111 Main St  
Bairnsdale, Vic, 3875  
ACN 073 392 266

P.O. Box 566  
191-193 Raymond St  
Sale, Vic, 3850  
ACN 145 437 065

<b>Job:</b> Proposed Second Dwelling 215 Tambo Upper Rd Swan Reach
<b>Client:</b> Jordan Bennett
<b>Checked:</b>

<b>Date:</b> 16 May 2024
<b>Designed:</b> SJA
<b>Job No.:</b> 417762
<b>Page No.:</b> 1 of 11

# LAND CAPABILITY ASSESSMENT ON-SITE DOMESTIC WASTEWATER



**215 Tambo Upper Rd, Swan Reach**

## 1.0 INTRODUCTION

SAC were engaged to undertake an LCA for the purpose of on-site domestic wastewater management of the Proposed Second Dwelling at 215 Tambo Upper Rd, Swan Reach. The field investigation and report have been undertaken by suitable experienced staff.

The assessment was completed in accordance with the EPA’s *Code of Practice – Onsite Wastewater Management* (EPA Publ. No. 891.4, July 2016), EPA’s guidelines for *On-Site Wastewater Management* (May 2024), *On-Site Domestic Wastewater Management* (AS/NZS 1547:2012) and East Gippsland Shires *DWMP*.

Detailed recommendations presented pg 7 of report. LCA is to be read in conjunction with Site Features Plan 417762-LC1.

<b>Subject Land</b>	215 Tambo Upper Rd, Swan Reach
<b>Client</b>	Jordan Bennett
<b>Email Address</b>	<a href="mailto:info@logansmicrodistillery.com.au">info@logansmicrodistillery.com.au</a>
<b>Contact</b>	Mobile: 0448 653 554
<b>Map Reference</b>	Vicroads 84 F6
<b>Municipality</b>	East Gippsland Shire Council
<b>Proposed Development</b>	2 Bedroom Residence (Potential Occupancy = No. of Bedrooms + 1) <sup>1</sup>
<b>Design Flow</b>	150 L/person/day <sup>2</sup> (for reticulated water supply and full water reduction fixtures)
<b>Anticipated Wastewater Load</b>	450 L/day
<b>Treatment System Required</b>	Secondary treated effluent to minimum 20/30 standard (ie. AWTS <sup>3</sup> or sand filter)
<b>Disposal System Required</b>	Sub-surface irrigation – Area of 280m <sup>2</sup>

<sup>1</sup> As identified in Victorian EPA Draft Code of Practice – Onsite Wastewater Management (publication 891.4, July 2016) section 2.4  
<sup>2</sup> As identified in Victorian EPA Draft Code of Practice – Onsite Wastewater Management (publication 891.4, July 2016) Table 4  
<sup>3</sup> AWTS – Aerated Wastewater Treatment System (EPA approved)  
 417762 LCA (DPU)



This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

**Simon Anderson Consultants**  
 CIVIL | STRUCTURAL | PROJECT ENGINEERS

P.O. Box 1700  
 111 Main St  
 Bairnsdale, Vic, 3875  
 ACN 073 392 266

P.O. Box 566  
 191-193 Raymond St  
 Sale, Vic, 3850  
 ACN 145 437 065

<b>Job:</b> Proposed Second Dwelling 215 Tambo Upper Rd Swan Reach	<b>Date:</b> 16 May 2024
<b>Client:</b> Jordan Bennett	<b>Designed:</b> SJA
<b>Checked:</b>	<b>Job No.:</b> 417762

<b>Page No.:</b> 2 of 11
--------------------------

**2.0 PURPOSE/SCOPE OF ASSESSMENT**

<b>Purpose and Scope of Assessment</b>	Broad-scale assessment for subdivisational purposes (often requires further lot-specific assessment at later date)	<input type="checkbox"/>
	Detailed investigation for lot-specific management requirements	<input checked="" type="checkbox"/>

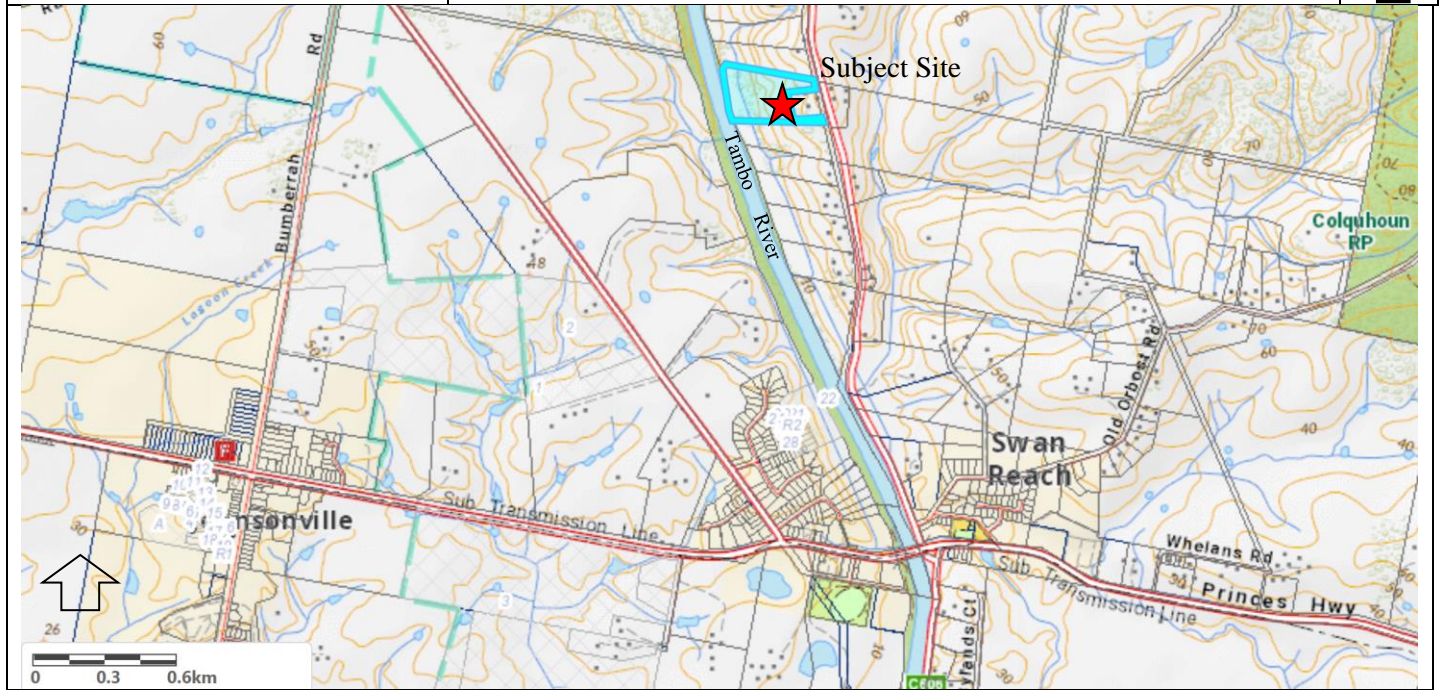


Figure 1: Locality Plan

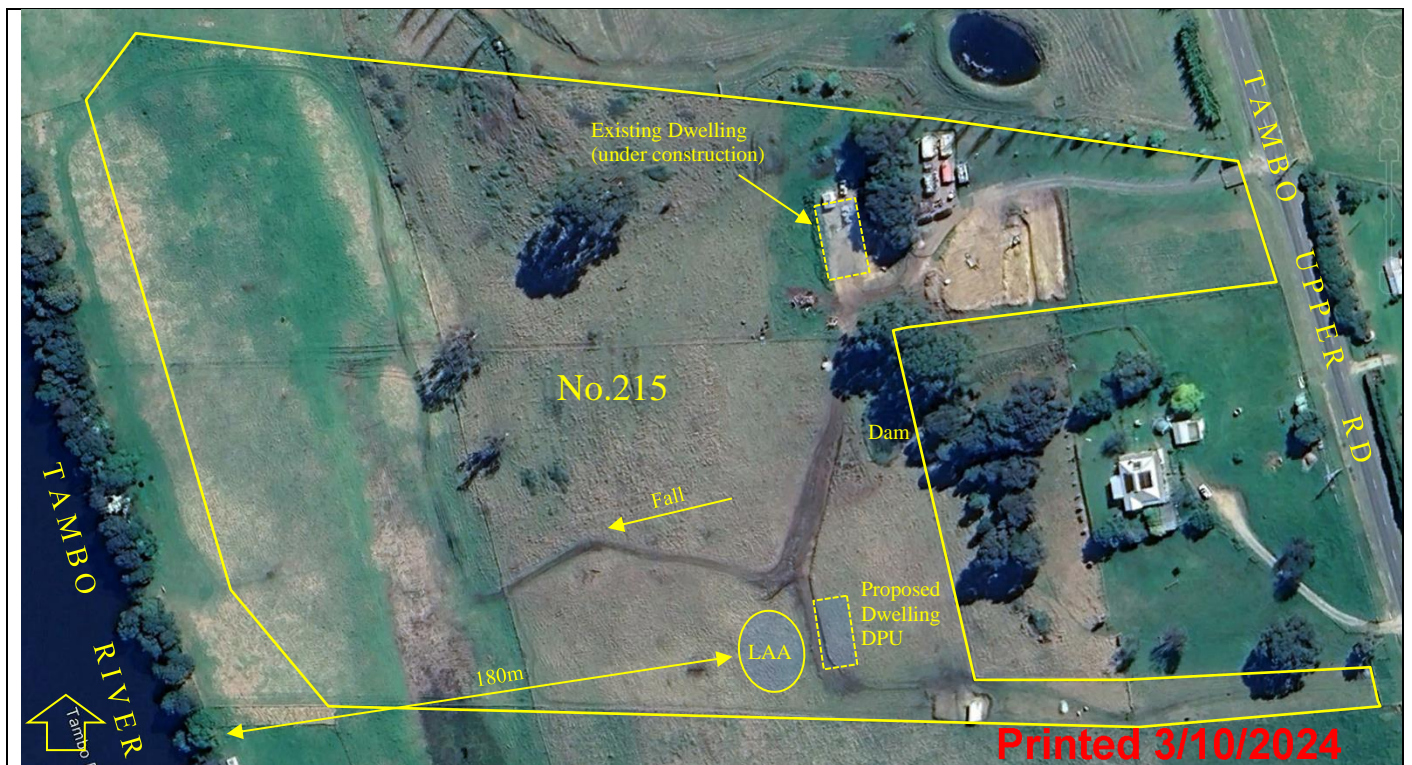



Figure 2: Aerial view of subject site (approximate title boundaries shown)

Printed 3/10/2024

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.


 <b>Simon Anderson Consultants</b> <small>CIVIL   STRUCTURAL   PROJECT ENGINEERS</small> P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266 P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065	<b>Job:</b> Proposed Second Dwelling 215 Tambo Upper Rd Swan Reach	<b>Date:</b> 16 May 2024 <b>Designed:</b> SJA <b>Job No.:</b> 417762
	<b>Client:</b> Jordan Bennett <b>Checked:</b>	<b>Page No.:</b> 3 of 11

### 3.0 SITE KEY FEATURES

Criteria / Feature	Description	Implications for Wastewater Management
<b>Allotment/s</b>		
Title details	Lot 1, PS 734366	Council Property No: 100281
No. of Lots Proposed	1	
Lot size (EPA recommended minimum lot size = 1.0 ha)	6.5 ha	Large allotment, with ample capacity to locate dwelling and effluent field in a number of sites within allotment boundaries and hence for effluent to be contained on-site.
Dwelling Usage	Dependent Persons Unit - Likely to be permanent	
Adjoining Lot sizes	Small rural lots 1.3 ha – 4.5 ha in size.	Overall volume of wastewater being disposed to land in the local district is low.
Current Land Use	Existing Dwelling (currently under construction)	Current Wastewater generation is negligible
<b>Infrastructure</b>		
Zoning & Overlays	Rural Living Zone (RLZ) Environ. Signif. Overlay-Schedule 1-58 (ESO1-58) Erosion Management Overlay (EMO)	
Nearest Reticulated Sewer	Township of Swan Reach	Not feasible to connect to reticulated sewer. The area is unlikely to be sewered in the short to medium term future.
Reticulated Water	Available on existing allotment	Increases the risk of excessive water usage by future dwellings.
Power	Available on existing allotment	Allows ready use of wastewater treatment plant
<b>Land Features</b>		
Geology	N1 (Tm-p) – Tertiary Non-Marine deposits consisting Marine, non-marine: gravel, sand. (from 1:250,000 Geological Map Series BAIRNSDALE )	Observed Soils dominated by sandy loams, overlying heavy clays
Elevation	Approx 25-35m AHD	
Landscape Elements	The site is situated on the mid slope (waxing divergent) of a rolling low hill system, with a yellow duplex sedimentary landscape	Well contoured landscape providing excellent surface water shedding accelerates and spreads run-off.
Fill	Natural soil profiles were observed throughout the site. No fill was observed.	No filling is proposed in the effluent management area.
Aspect	Site slopes west	Increases sun exposure for improved efficiency of effluent disposal field
River/Stream Catchment	Tambo River adjacent to subject sites west boundary	Necessary setbacks are easily achieved
Dams/Surface Water	Small agricultural dam located north, and upslope of the proposed LAA.	Risk is reduced
Rock Outcrop	None	Reduces limitations and maximises efficiency of effluent disposal fields
Erosion	No evidence of sheet or rill erosion.	The erosion hazard is low.
Vegetation	Pasture/Grass	No vegetation clearing required for establishment of effluent disposal field or dwelling development
Climate	Temperate	Reduces variation in efficiency of effluent field
Solar Exposure	High	Increases efficiency of effluent disposal field
Recommended Buffer Distances	All buffer distances recommended in Table 5 of EPA Publication 891.4, (July 2016) are achievable and do not significantly limit siting of the LAA in this case	
Available Land Application Area (LAA)	Considering all site constraints and the buffers mentioned above, the site has ample land that is suitable and available for land application of treated effluent.	By using a system that provides secondary treatment and pressurized sub-surface irrigation, there will be ample protection for surface and groundwater



This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

 <p><b>Simon Anderson Consultants</b> CIVIL   STRUCTURAL   PROJECT ENGINEERS</p> <p>P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266</p> <p>P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065</p>	<p><b>Job:</b> Proposed Second Dwelling 215 Tambo Upper Rd Swan Reach</p>	<p><b>Date:</b> 16 May 2024</p>
	<p><b>Client:</b> Jordan Bennett</p>	<p><b>Designed:</b> SJA</p>
<p><b>Checked:</b></p>	<p><b>Page No.:</b> 4 of 11</p>	

#### 4.0 SOIL ASSESSMENT & CONSTRAINTS

The sites soils have been assessed for their suitability for onsite wastewater management by a combination of soil survey and desktop review of published soil survey information as outlined below.

##### 4.1 Published Soils Information

Soils of the site have been mapped and described in Sustainable Soil Management “A reference manual to the major agricultural soils of the Bairnsdale and Dargo regions” and are described as belonging to the Stockdale (Sd) map unit with Munro (Mu). This unit occurs on rolling low hills and is comprised of Tertiary sediments and sands. Most of the land has been cleared of native vegetation and used for grazing. The surface soils are mostly fine textured soils, with a sandy loam to fine sandy loam sharply separated from a medium clay subsoil occurring at around 20-40cm, although some subsoils are clayey sands and sandy clays. Some of the sandier surface soils have developed a “coffee rock” layer at the base of the A2 horizon.

##### Soil Profile Morphology – Stockdale (Sd) Map unit

##### Surface soil

- A1** 0 – 300 Dark greyish brown (10YR4/2); *sandy loam*; weak medium (10 – 20 mm) polyhedral structure; firm moist; clear wavy change to:
- A2** 300 – 500 Pale brown (10YR6/3) conspicuously bleached (10YR/8/1d); *sandy loam or loamy sand*; apedal, single grain; firm consistence dry; sharp change to:

##### Subsoil

- B21** 500 – 800 Yellowish brown (10YR5/6); *heavy clay*; moderate coarse (20 – 50 mm) polyhedral structure; strong consistence, moist; diffuse change to:
- B22** 800 – 1m Yellowish brown (10YR5/6) with greyish brown (10YR5/2) and increasing yellowish red (5YR5/6) mottles; *heavy clay*; moderate coarse (20 – 50 mm) lenticular structure; strong consistence moist.

##### Key profile features

- Strong texture contrast between the surface (A horizons) and subsoil (B horizons).
- Conspicuously bleached subsurface (A2) horizon.




##### 4.2 Soil Survey and Analysis

A Soil survey was carried out at the site to determine suitability for application of treated effluent. Subsoil investigations were conducted at two locations in the vicinity of the proposed building, as shown on the Site Features Plan, using a hand auger (B1-2). This was sufficient to adequately characterise the soils, as only minor variation would be expected throughout the area of interest.

Samples of all discrete soil layers for test bore 1 was collected for subsequent laboratory analysis of pH<sup>4</sup>, electrical conductivity<sup>5</sup> and Emerson Aggregate Class<sup>6</sup>. The soil profile of bore 2 is detailed below.

Depth (m)	Description	Horizon	
0.0	<b>TOPSOIL:</b> 10YR4/2 Dark Greyish Brown Dry	<b>A1</b>	
0.1			
0.2	<b>SILT:</b> 10YR5/3 Brown Dry Very Dense Sandy	<b>A2</b>	
0.3			
0.4	<b>CLAY:</b> 10YR3/6 Dark Yellowish Brown	<b>B1</b>	
0.5	Moist, Stiff Clay		
0.6			
0.7			
0.8			
0.9			
1.0+			


<sup>4</sup> The pH of 1:5 soil/water suspensions was measured using a Merck pH strip  
<sup>5</sup> EC (dS m<sup>-1</sup>) was calculated by measuring the electrical conductivity of 1:5 soil water suspension.  
<sup>6</sup> Appendix C shows photographic results of Emerson Aggregate Test (Slaking/Dispersion)  
 417762 LCA (DPU)

 <p><b>Simon Anderson</b> Consultants <small>CIVIL   STRUCTURAL   PROJECT ENGINEERS</small></p> <p>P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266</p> <p>P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065</p>	<p><b>Job:</b> Proposed Second Dwelling 215 Tambo Upper Rd Swan Reach</p> <p><b>Client:</b> Jordan Bennett</p> <p><b>Checked:</b></p>	<p><b>Date:</b> 16 May 2024</p> <p><b>Designed:</b> SJA</p> <p><b>Job No.:</b> 417762</p>
	<p><b>Page No.:</b> 5 of 11</p>	

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Soil Features: TEST BORE B1			
Soil Horizon	A1	A2	B1
Depth (mm)	0-200	200-400	400+
Boundary Type		Gradual	Gradual
Field Texture Grade <sup>7</sup>	L	FSL	HC
Structure	Moderate	Weak	Massive
pH	6	6	6
EC (dS m <sup>-1</sup> )	0.00	0.00	0.03
Dominant Colour	10YR3/2 Very Dark Greyish Brown	10YR5/3 Brown	10YR4/67 Dark Yellowish Brown
Mottles	-	-	-
Dispersion	5	5	2
Coarse Fragments (% Volume)	None	None	None
<b>Soil Category<sup>8</sup> (AS/NZ1547:2012)</b>	<b>3a</b>	<b>3b</b>	<b>6c</b>
Design Irrigation Rate <sup>9</sup> (DIR mm/day)	4	4	2
Design Loading Rate <sup>10</sup> (DLR mm/day)	15	10	NR

NA: Not Applicable      NR: Not Recommended

	Depth (m)	Description	Horizon	
	0.0 0.1	<b>TOPSOIL:</b> Moist, Loamy	<b>A1</b>	
	0.2 0.3	<b>SILT:</b> Moist, Dense, Fine Sandy	<b>A2</b>	
	0.4 0.5 0.6 0.7 0.8 0.9 1.0 1.2 1.5+	<b>CLAY:</b> Moist, Stiff	<b>B1</b>	


Soil Bore Log Profile

<sup>7</sup> Refer Appendix D for description details (all soil samples have been sieved to minus 2mm and air-dried before being analyzed)

<sup>8</sup> As identified in Victorian EPA Code of Practice – Onsite Wastewater Management (publication 891.4 July 2010) Appendix A, Table 2

<sup>9</sup> For sub-surface irrigation (Refer Table M1 of AS/NZS 1547:2012)

<sup>10</sup> For absorption trenches/beds

 <b>Simon Anderson Consultants</b> <small>CIVIL   STRUCTURAL   PROJECT ENGINEERS</small> P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266	Job: Proposed Second Dwelling 215 Tambo Upper Rd Swan Reach	Date: 16 May 2024 Designed: SJA Job No.: 417762
	Client: Jordan Bennett Checked:	This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.


**5.0 LAND CAPABILITY ASSESSMENT MATRIX**

Land features	Land capability class rating				
	Very good (1)	Good (2)	Fair (3)	Poor (4)	Very Poor (5)
<b>General characteristics</b>					
Site drainage	No visible signs of dampness	Moist soil, but no water in pit		Visible signs of dampness	Water ponding on surface
Runoff	None	Low	Moderate	High - diversionary structures req'd	Very High - diversion not practical
Flood/inundation potential (yearly return exceedence)	Never		< 1 in 100	< 1 in 30	> 1 in 20
Proximity to watercourses	> 60m				< 60m
Slope (%)	0 - 2	2 - 8	8 - 12	12 - 20	> 20
Landslip	None Evident		Low potential for failure	High potential for failure	Present or past failure
Seasonal water table depth (m) (incl. perched water tables)	>5	5 - 2.5	2.5 - 2.0	2.0 - 1.5	< 1.5
Rock Outcrop (% of land surface containing rocks > 200mm)	0	< 10%	10-20%	20-50%	>50%
Vegetation Type	Turf or pasture				Dense forest with little understorey
Average Rainfall (mm/yr)	< 450	450 - 650	650 - 750	750 - 1000	> 1000
Pan Evaporation (mm/yr)	> 1500	1250 - 1500	1000 - 1250	-	< 1000
Fill	No Fill		Fill present		
<b>Soil profile characteristics*</b>					
Structure	High	Moderate	Weak	Massive	Single Grained
Profile depth (of limiting Horizon B1)	> 2.0m	1.5m - 2.0m	1.5m - 1.0m	1.0m - 0.5m	< 0.5m
Soil permeability category <sup>11</sup>	2 and 3	4		5	1 and 6
Presence of mottling	None		Some		Extensive
Coarse Fragments (% volume)	<10	10-20	20-40		>40
pH	6 - 8		4.5 - 6		<4.5, >8
Emerson Aggregate Test (dispersion/slaking)	4, 6, 8	5	7	2, 3	1
Salinity (dS/m) (Electrical Conductivity)	<0.3	0.3 - 0.8	0.8 - 2	2 - 4	>4
<b>Overall Site Rating<sup>12</sup></b>				<b>Poor</b>	<b>4</b>

\* relevant to the sites most restrictive soil layer(s)

<sup>11</sup> Refer Table 5.1 (Determination of Soil Category) of AS/NZS 1547:2012  
<sup>12</sup> A description of each Land Capability Class Rating is provided in Appendix A. 417762 LCA (DPU)



 <b>Simon Anderson</b> Consultants CIVIL   STRUCTURAL   PROJECT ENGINEERS P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266 P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065	<b>Job:</b> Proposed Second Dwelling 215 Tambo Upper Rd Swan Reach	<b>Date:</b> 16 May 2024
	<b>Client:</b> Jordan Bennett	<b>Designed:</b> SJA
<b>Checked:</b>	<b>Page No.:</b> 7 of 11	

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

## 6.0 CONCLUSION

This LCA has been prepared to accompany a development application to East Gippsland Shire Council for a Proposed Second Dwelling and associated necessary wastewater management system. As such, this report provides recommendations for treatment and land application systems that are appropriate to the land capability.

The site has a number of limitations that result in the development being unsuitable for Primary treatment only (i.e. traditional septic tank and subsoil absorption trenches):

- Limiting Horizon B1 (Heavy Clays) have a very low permeability rate,
- Heavy Clays at shallow depths (400mm),
- Massively structured (Category 6c) clay soils not suitable for disposal via absorption trenches.

The following section provides an overview of a suitable system, with sizing and design considerations. **Detailed design for the system is beyond the scope of this study, but should be undertaken at the time of building application and submitted to Council.**


## 7.0 RECOMMENDATIONS

It is recommended based on this LCA, that if the development of a Proposed Second Dwelling on 215 Tambo Upper Rd, at the location indicated on the Site Features Plan 417762 - LC1:

- Install a system that provides secondary treatment with disinfection to meet EPA requirements for irrigation. Indicative target effluent quality is a minimum EPA standard 20mg/L BOD and 30mg/L SS. Several suitable options are available, including aerated wastewater treatment systems (AWTS) and single pass sand filters. Either of these options is capable of achieving the desired level of performance and final selection is the responsibility of the property owner, who will forward details to Council for approval.
- On-site disposal of domestic wastewater should occur within the proposed Land Application Area (refer Site Features Plan 417762 - LC1). The client is allowed flexibility in selecting the final location and configuration of the irrigation system, provided it remains within this envelope and in accordance with the relevant codes/standards.
- Subsurface irrigation will provide beneficial reuse of wastewater and this will be especially desirable given that the site is not serviced by town water. It will ensure the risk of effluent being transported off this site will be negligible.
- Calculation of Irrigation Area based on AS/NZ 1547 equation  $A=Q/DIR$ 
  - Q – 450 L/day;
  - DIR<sup>13</sup> – 1.6 mm/day;
  - **Irrigation Area – 280 m<sup>2</sup>**
- To determine if the irrigation area recommended above is adequate, a water balance<sup>14</sup> modelling has been undertaken to achieve a maximum wet weather storage depth of less than 10mm. The calculations are summarized below, with full details in Appendix B.
  - Average daily effluent load – 450 L
  - Design irrigation rate (DIR) – 1.6 mm/day;
  - Crop factor – 0.6 to 0.85; and
  - Retained Rainfall – 75%.
  - Irrigation Area – 280m<sup>2</sup>
  - Max Wet Weather Storage Depth – 6 mm (*therefore area shown in bold to be adopted*)
- Minimum setbacks and buffer distances must be obtained when establishing effluent disposal envelopes, as per *EPA Code of Practice – Onsite Wastewater Management, publication 891.4, (July 2016)*.
- The owner shall consult an irrigation expert familiar with wastewater irrigation equipment, to help design and install the irrigation system. The irrigation plan must ensure good, even application of effluent.

<sup>13</sup> 20% reduction in DIR required due to LAA slopes greater than 10% (as per AS1547:2012, table M2, pg163)

<sup>14</sup> Water Balance undertaken in accordance with EPA Publication 168 (1991), Guidelines for Wastewater Treatment  
417762 LCA (DPU)

 <p><b>Simon Anderson</b> Consultants CIVIL   STRUCTURAL   PROJECT ENGINEERS</p> <p>P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266</p> <p>P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065</p>	<p><b>Job:</b> Proposed Second Dwelling 215 Tambo Upper Rd Swan Reach</p>	<p><b>Date:</b> 16 May 2024 <b>Designed:</b> SJA</p>
	<p><b>Client:</b> Jordan Bennett</p>	<p><b>Checked:</b></p>
<p><b>Page No.:</b> 8 of 11</p>		

## 8.0 MANAGEMENT PROGRAM

### 8.1 Installation Issues

To ensure the satisfactory installation and operation of the AWTS and sub-surface irrigation, the following measures are to be implemented:

- Construction of a shallow table or cut-off drain along the high sides of the effluent disposal area, extending to below the effluent disposal field;
- Overflow from any water storage tanks to be directed into a table drain, or equivalent, to discharge below the effluent disposal field in a manner to avoid scouring or washing away downstream of the discharge point;
- Stormwater flows from the roof must be discharged at a point well clear of the effluent disposal field and runoff from paved surfaces and driveways must be directed away from the disposal site.
- Installation of the sub-surface irrigation system to be undertaken when the soils are dry or moist, not when the ground is saturated;
- Sub-surface irrigation system to be designed to minimise root intrusion from trees;
- Sub-surface irrigation system to utilise pressure dosing to ensure effluent is applied uniformly throughout the effluent disposal area.

### 8.2 Ongoing Management & Maintenance Issues

To ensure the satisfactory ongoing performance of the proposed AWTS and sub-surface irrigation, the owners/occupiers will need to ensure that:

- No buildings or impermeable surfaces are constructed on or over the effluent disposal areas;
- Heavy equipment is kept away from effluent disposal areas whilst the soil is saturated;
- The effluent disposal field is maintained as a grassed area, or planted out with shrubs that tolerate wet conditions, have high evapotranspiration capacity and can tolerate phosphorus levels typically found in treated effluent;
- Trees and/or thick shrubs **are not** to be planted out along the northern or western edges of the effluent disposal areas to prevent exposure to both wind and sun .

The installer of the AWTS and sub-surface irrigation is to ensure that the owners/occupants are aware of and fully understand their responsibilities in relation to operating the treatment system, maintenance requirements and what should be done in the event of any problems. The satisfactory ongoing performance and longevity of the AWTS and sub-surface irrigation can be enhanced by:

- Ensuring that maintenance requirements are undertaken regularly in accordance with the systems' requirements and that both they and future owners/occupiers are aware of the systems capabilities, limitations and ongoing requirements;
- Using biodegradable soaps, low phosphorus detergents and detergents that have low salt, sodium and chlorine levels;
- Limiting the use of germicides (such as strong detergents, disinfectants, toilet cleaners, whiteners and bleaches);
- Not flushing disposable nappies, sanitary napkins or other hygiene products into the systems;
- Not flushing chemicals, paint or similar substances into the systems.

**NOTE:** This report and associated plan(s) does not constitute a Septic Tank Permit. Such a permit should be obtained separately from the Environmental Health Department of East Gippsland Shire Council after development approval is obtained and prior to plumbing works commencing.

## APPENDIX A

Capability Class	Degree of Limitation	General Description
Rating 1	None to Very Slight	The proposed subdivision is suitable for on-site disposal of septic tank discharge. The limitations or environmental hazard from long-term use are considered very slight. Standard performance measures for design, installation and management should prove satisfactory.
Rating 2	Slight	The site has been identified as generally suitable for on-site effluent disposal but there is a slight associated environmental hazard expected. One or more land limitations are present, which may not be compatible with 'straight forward' conventional on-site disposal. The wastewater management program will require careful planning, adherence to specifications and adequate supervision.
Rating 3	Moderate	The site has only a fair capability for on-site effluent disposal with a moderate associated environmental risk always present. Very careful site selection, preparation and specialized design will be required to address the identified land constraints. A management program should be delivered to the responsible authority with the development application and prior to earthworks commencing. It is recommended that, in order to achieve BPEM, wastewater-processing systems which can attain a higher level of treatment with basic monitoring should be considered as an alternative to standard conventional trench disposal.
Rating 4	High	Areas have a poor capability rating with a high associated environmental risk. Considerable difficulties are expected during siting and installation of the wastewater treatment system and during routine operation. A very high Engineering input and close supervision would be needed to minimize the environmental impact. Alternative wastewater processing systems capable of consistently producing a high quality secondary effluent (such as aerated wastewater treatment plants) together with a close monitoring program should be seriously investigated and adopted.
Rating 5	Severe	Areas have a very poor capability and there is severe associated environmental risk. The areas are not generally considered suitable for disposal of septic tank effluent by trench systems. The high levels of Engineering input and management needed at all stages are unlikely to adequately address the identified land constraints and achieve satisfactory outcomes. Reticulated sewerage is usually the only acceptable option.



**Simon Anderson**  
Consultants  
CIVIL | STRUCTURAL | PROJECT ENGINEERS

P.O. Box 1700  
111 Main St  
Bairnsdale, Vic, 3875  
ACN 073 392 266

P.O. Box 566  
191-193 Raymond St  
Sale, Vic, 3850  
ACN 145 437 065

**Job:** Proposed Second Dwelling  
215 Tambo Upper Rd  
Swan Reach

**Client:** Jordan Bennett

**Checked:**

**Date:** 16 May 2024

**Designed:** SJA

**Job No.:** 417762

**Page No.:** 9 of 11

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

**APPENDIX B**

**Bairnsdale 085279**

Evap.data

**Bairnsdale 084100**

Mean

average Pan evaporation

Source: AS1547-1994 - Table G1

(Prepared by R.A. Patterson, Lanfax Labs. Armidale updated April 2006)

1	2	3	4	5	6	7	8	9		
Month	Days	daily pan per month	Pan Eo	Et +C <sup>e</sup> Eo	Rainfall P	Retained Rainfall Re=(1-r)P	LTAR*N	Disposal rate/month (Et-Re)+ LTAR*N	Effluent applied per month	Size of area (8)/(7)
		(B.Met)					1.6		450	
		mm	mm	mm	mm	mm	mm	mm	L	m2
Jan	31	6.6	204.3	174	48.9	36.7	49.6	186.6	13950	75
Feb	28	6.1	170.0	144	50.8	38.1	44.8	151.2	12600	83
Mar	31	4.8	148.8	126	44.7	33.5	49.6	142.6	13950	98
Apr	30	3.7	109.8	66	55.8	41.9	48	72.0	13500	187
May	31	2.6	80.0	48	47.3	35.5	49.6	62.1	13950	225
Jun	30	2.4	70.8	42	59.7	44.8	48	45.7	13500	295
Jul	31	2.4	73.8	44	49.1	36.8	49.6	57.0	13950	245
Aug	31	3.0	93.0	56	36.3	27.2	49.6	78.2	13950	178
Sep	30	3.8	114.9	69	52.7	39.5	48	77.4	13500	174
Oct	31	4.7	144.8	123	60	45.0	49.6	127.7	13950	109
Nov	30	5.5	165.9	141	80.9	60.7	48	128.3	13500	105
Dec	31	6.3	195.9	167	59	44.3	49.6	171.9	13950	81
<b>Totals</b>			<b>1571.9</b>	<b>1201</b>	<b>645.2</b>	<b>483.9</b>				

**TABLE G2 - Depth of stored effluent First trial - choose from col.9 table above**


1	2	3	4	5	6	7	8	9	10	11
month	first trial area (m2)	application rate (8)/(2) (mm)	Disposal rate per month (above) (mm)	(3)-(4) (mm)	Increase depth of stored effluent (5)/porosity (mm)	Starting depth effluent for month	increase depth effluent +(6)	computed depth effluent (X) (mm)	reset if Et deficit <0 (mm)	equivalent storage 10 x area (L)
Dec								0.0	0	
Jan	280	50	187	-137	-342	0	-342	-342	0	0
Feb		45	151	-106	-265	0	-265	-265	0	0
Mar		50	143	-93	-232	0	-232	-232	0	0
Apr		48	72	-24	-60	0	-60	-60	0	0
May		50	62	-12	-31	0	-31	-31	0	0
Jun		48	46	3	6	0	6	6	6	527
Jul		50	57	-7	-18	6	-18	-12	0	0
Aug		50	78	-28	-71	0	-71	-71	0	0
Sep		48	77	-29	-73	0	-73	-73	0	0
Oct		50	128	-78	-195	0	-195	-195	0	0
Nov		48	128	-80	-200	0	-200	-200	0	0
Dec		50	172	-122	-305	0	-305	-305	0	0
Jan		50	187	-137	-342	0	-342	-342	0	0
Feb		45	151	-106	-265	0	-265	-265	0	0
Mar		50	143	-93	-232	0	-232	-232	0	0
Apr		48	72	-24	-60	0	-60	-60	0	0
May		50	62	-12	-31	0	-31	-31	0	0

From calculations in tables above for optimised drainfield area, using Appendix G AS1547-1994

<b>Variables Table</b>	<b>Porosity in disposal area</b>	<b>40%</b>
	<b>Runoff Coeff =</b>	<b>0.25</b> percentage runoff
	<b>Summer Crop Factor =</b>	<b>0.85</b> crop transpiration rate Oct-Mar
	<b>Winter Crop Factor =</b>	<b>0.6</b> crop transpiration rate -Apr-Sep
Change as required	<b>LTAR =</b>	<b>1.6</b> L/m2/day
	<b>FLOWS =</b>	<b>450</b> L/day

**Estimated area of effluent drainfield = 280 square metres**  
**Maximum depth of stored effluent = 6 mm depth**



 <b>Simon Anderson Consultants</b> <small>CIVIL   STRUCTURAL   PROJECT ENGINEERS</small> P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266 P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065	<b>Job:</b> Proposed Second Dwelling 215 Tambo Upper Rd Swan Reach	<b>Date:</b> 16 May 2024 <b>Designed:</b> SJA <b>Job No.:</b> 417762
	<b>Client:</b> Jordan Bennett <b>Checked:</b>	This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

**APPENDIX C**


RECORD OF FIELD TEXTURE DETERMINATION						
Soil	Grittiness	Stickiness	Plasticity	Stain	Ribbon (mm)	Grade
A1	None	Slight	Slight	Moderate	25	L
A2	Slight	Slight	None	None	20	FSL
B1	None	Extremely	Extremely	Extremely	75+	HC

NONE                  SLIGHT                  MODERATE                  VERY                  EXTREMELY

**APPENDIX D**

Soil Category	Field Texture Grade	Behaviour of moist blobs	Ribbon length (mm)	Approx clay content %
1	<b>S</b> Sand	coherence nil to very slight, cannot be moulded; sand grains of medium size; single sand grains stick to fingers	nil	< 5%
2	<b>LS</b> Loamy sand	slight coherence; sand grains of medium size; can be sheared between thumb and forefinger to give minimal ribbon of about 5mm	about 5	about 5%
	<b>CS</b> Clayey sand	slight coherence; sand grains of medium size; sticky when wet; many sand grains stick to fingers; discolours fingers with clay stain	5 - 15	5% to 10%
3	<b>SL</b> Sandy loam	bolus coherent but very sandy to touch; will form ribbon; dominant sand grains of medium size and readily visible	15 - 25	10% to 20%
	<b>FSL</b> Fine sandy loam	as for sandy loams, except that individual sand grains are not visible, although they can be heard and felt	15 - 25	10% to 20%
	<b>L</b> Loam	bolus coherent and rather spongy; smooth feel when manipulated but with no obvious sandiness or "silkeness"; may be somewhat greasy to touch if much organic material present	25	about 25%
4	<b>ZL</b> Silty loam	coherent bolus, very smooth to silky when manipulated, will form a very thin ribbon and dries out rapidly	25	10% to 25%
	<b>SCL</b> Sandy clay loam	strongly coherent bolus, sandy to touch; medium size sand grains visible in finer matrix	25 - 40	20% to 30%
	<b>FSCL</b> Fine sandy clay loam	as for sandy clay loam, except that individual sand grains are not visible although they can be heard and felt.	40 - 50	20% to 30%
	<b>CL</b> Clay loam	coherent plastic bolus, smooth to manipulate	40 - 50	30% to 35%
	<b>ZCL</b> Silty clay loam	as for clay loams but not spongy; very smooth and silky; dries out rapidly	40 - 50	30% to 35%
5	<b>SC</b> Sandy clay	plastic bolus; fine to medium sand can be seen, felt or heard in clayey matrix	50 - 75	35% to 40%
	<b>SiC</b> Silty clay	plastic bolus; smooth and silky to manipulate; long but very fragmentary ribbon; dries out rapidly	50 - 75	30% to 40%
	<b>LC</b> Light clay	plastic bolus; smooth to touch; slight resistance to shearing between thumb and forefinger	50 - 75	35% to 40%
6	<b>LMC</b> Light medium clay	plastic bolus; smooth to touch; slight to moderate resistance to ribboning shear	75	40% to 45%
	<b>MC</b> Medium clay	smooth plastic bolus; handles like plasticine and can be moulded into rods without fracture; has moderate resistance to ribboning shear	> 75	45% to 55%
	<b>HC</b> Heavy clay	smooth plastic bolus; handles like stiff plasticine; can be moulded into rods without fracture; has firm resistance to ribboning shear	> 75	50% +

Soil Texture Grade Table (International System, soil sieved < 2mm) & Table E1 (Assessment of Soil Textures) pg 106 of AS/NZS 1547:2012

 <p><b>Simon Anderson</b> Consultants CIVIL   STRUCTURAL   PROJECT ENGINEERS</p> <p>P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266</p> <p>P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065</p>	<p><b>Job:</b> Proposed Second Dwelling 215 Tambo Upper Rd Swan Reach</p>	<p><b>Date:</b> 16 May 2024</p>	
	<p><b>Client:</b> Jordan Bennett</p>	<p><b>Designed:</b> SJA</p>	<p><b>Job No.:</b> 417762</p>
	<p><b>Checked:</b></p>	<p><b>Page No.:</b> 11 of 11</p>	

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

**9.0 REFERENCES**

Environment Protection Authority (July 2016). Publication No. 891.4, *Code of Practice – Onsite Wastewater Management*.

Environment Protection Authority (Mar 2013). Publication No. 746.1, *Land Capability Assessment For On-Site Wastewater Management*.

Environment Protection Authority (1991). Publication 168, *Guidelines for Wastewater Irrigation*.

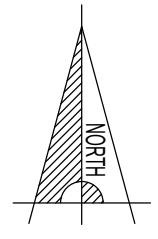
McDonald, R.C., Isbell, R.F., Spreight, J.G., Walker, J and Hopkins, M.S. (1990). *Australian Soil and Land Survey: Field Handbook. Second Addition*. Inkata Press, Melbourne.

Standards Australia / Standards New Zealand (2012). AS/NZS 1547:2012 *On-Site Domestic Wastewater Management*.

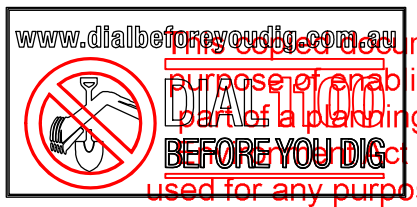
Victorian Resources Online; <http://vro.depi.vic.gov.au/dpi/vro/vrosite.nsf/pages/vrohome>

Munsell Soil-Color Charts (2009 Year Revised / 2012 Production)

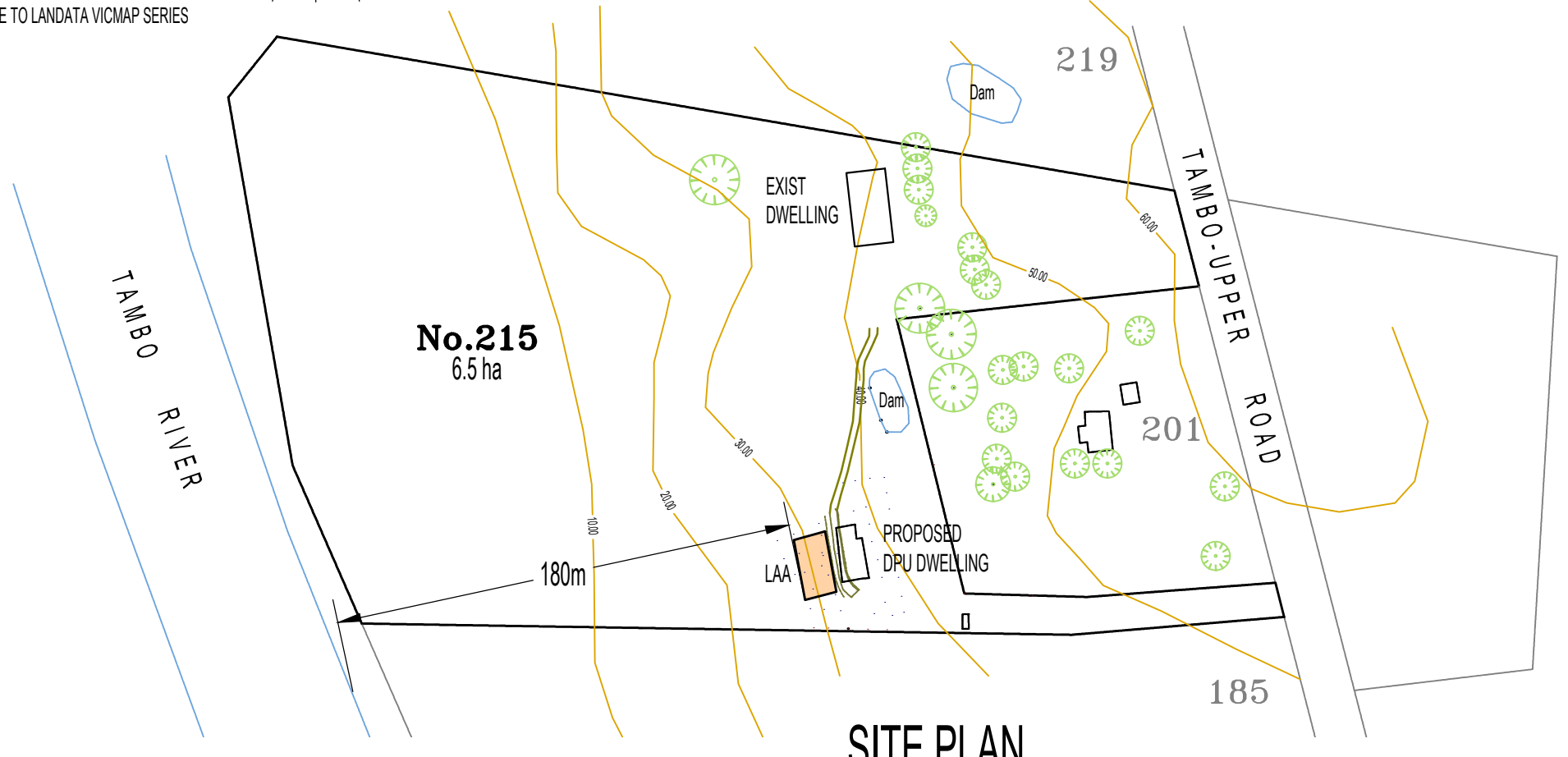
NOTES:  
 DENOTES NATURAL SURFACE LEVEL 10.23  
 DENOTES FLOOR LEVEL FL 12.00 APP.  
 ALL LENGTHS ARE IN METRES  
 CONTOUR INTERVAL IS 10m  
 LEVELS ARE TO LANDATA VICMAP SERIES



PLEASE NOTE:  
 TITLES BOUNDARIES SHOWN MAY NOT REPRESENT EXACT TITLE POSITION.  
 FOR EXACT TITLE POSITION IT IS RECOMMENDED THAT A TITLE RE ESTABLISHMENT SURVEY BE CARRIED OUT BY A LICENCED SURVEYOR

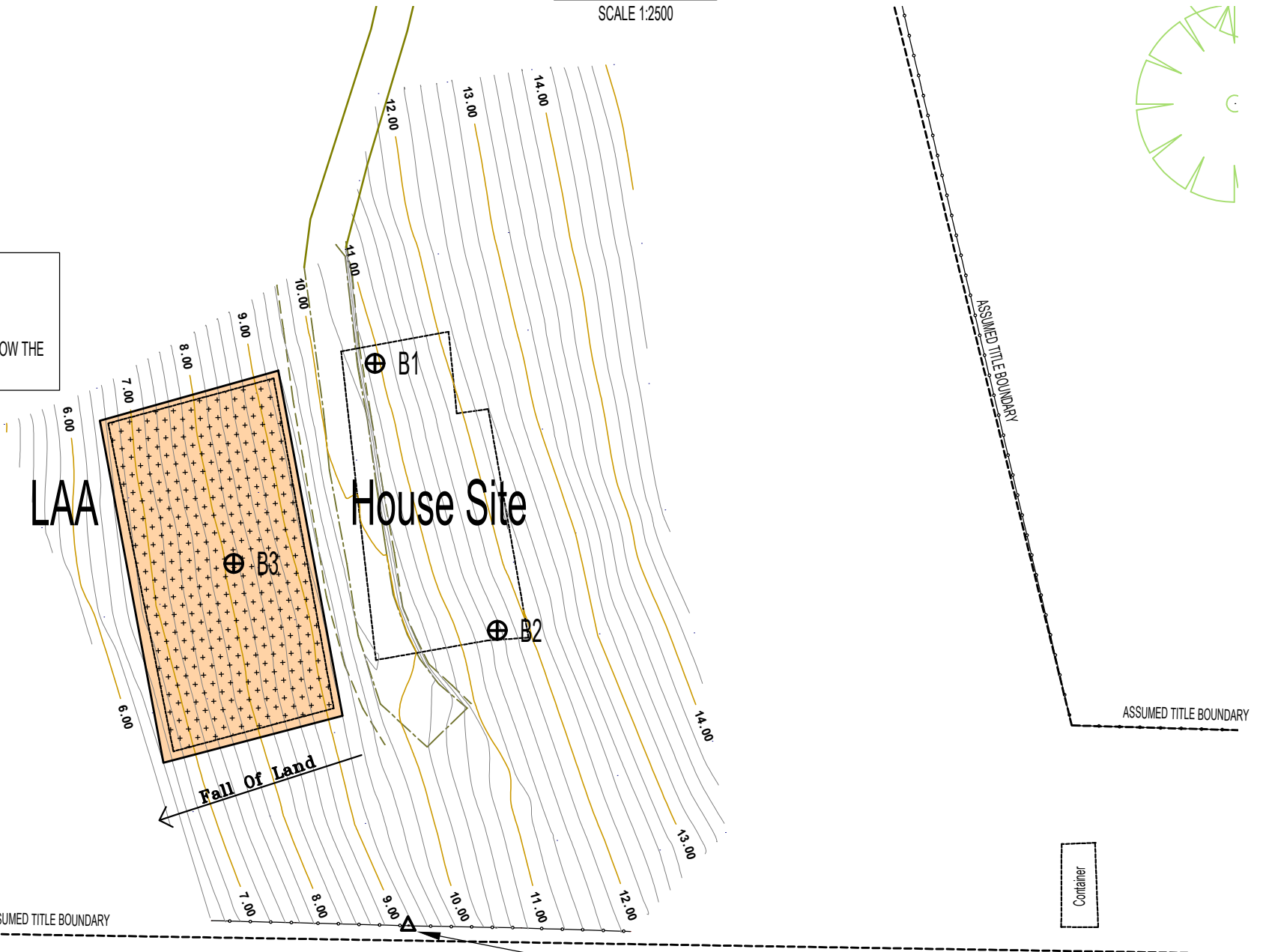


**ADVERTISED**  
**ALL EXISTING SERVICES ARE TO BE LOCATED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORKS.**



NOTES:  
 DENOTES NATURAL SURFACE LEVEL 10.23  
 DENOTES FLOOR LEVEL FL 12.00 APP.  
 ALL LENGTHS ARE IN METRES  
 CONTOUR INTERVAL IS 0.20m  
 LEVELS ARE TO ARBITRARY DATUM

PLEASE NOTE:  
 SHALLOW TABLE OR CUT-OFF DRAIN TO BE CONSTRUCTED ALONG THE HIGH SIDES OF THE EFFLUENT DISPOSAL AREA, EXTENDING TO BELOW THE DISPOSAL FIELD.



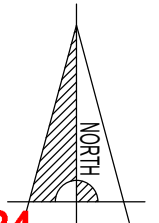
**legend**

- ⊕ B1 TEST BORE LOCATIONS
- SUITABLE LAND APPLICATION AREA (LAA - 320m<sup>2</sup>)
- IRRIGATION AREA - 280 m<sup>2</sup> required (for a 2 bedroom dwelling)

**SITE FEATURES PLAN**

SCALE 1:250

TBM 10.60 - NAIL IN TOP OF POST



**Printed 3/10/2024**  
**Page 39 of 59**

REV	DESCRIPTION	CHKD	DATE	Design: JDP	Project: SITE ANALYSIS	Job No: 417762
				Drawn: JDP	215 TAMBO UPPER RD, SWAN REACH	Drawing No: LC1
				Checked: SJA	Client: JORDAN BENNETT	Revision No: -
				Date: MAY 2024		

**Simon Anderson Consultants**  
 CIVIL | STRUCTURAL | PROJECT ENGINEERS

P.O. Box 1700 111 Main St, Bairnsdale  
 T: 03 5153 1500  
 ACN 073 392 266  
 bairnsdale@simonandersonconsultants.com.au  
 BAIRNSDALE | SALE | GEELONG





# Imaged Document Cover Sheet

ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	<b>Instrument</b>
Document Identification	<b>AB253839T</b>
Number of Pages (excluding this cover sheet)	<b>5</b>
Document Assembled	<b>23/08/2024 16:22</b>

**Copyright and disclaimer notice:**

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

ADVERTISED

This copied document is made available for the sole purpose of enabling its contents to be reviewed as part of a planning process under the Planning and Environment Act 1987. This document must not be used for any purpose which may breach any copyright.

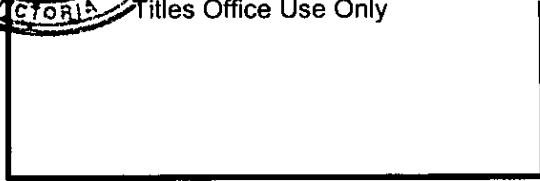
AB253839T



LODGED BY Warren, Graham & Murphy,  
CODE 1716W VICTORIA



Titles Office Use Only



**APPLICATION BY A RESPONSIBLE AUTHORITY under Section 181  
Planning and Environment Act 1987 for ENTRY OF A  
MEMORANDUM OF AGREEMENT under Section 173 of that Act.**

The Responsible Authority under the Planning Scheme having entered into an Agreement with the parties named for the land described requires that a Memorandum of Agreement be entered on the Certificate of Title to the land referred to.

LAND Certificate of Title Volume 8294 Folio 669

ADDRESS OF LAND Tambo Upper Road, Swan Reach

RESPONSIBLE AUTHORITY East Gippsland Shire Council

PLANNING SCHEME East Gippsland Planning Scheme

AGREEMENT DATE  
AGREEMENT WITH Robert Alfred Cunningham



A copy of the Agreement is attached to this Application

Signature of the Responsible Authority

Name of Officer

JOHN TRAA (PLANNING OFFICER)

Date

26/4/02

5-C  
2.5.02

ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

THIS AGREEMENT is made the 21<sup>st</sup> day of March 2002

BETWEEN:

EAST GIPPSLAND SHIRE COUNCIL of 273 Main Street, Bairnsdale ("the Responsible Authority") of the first part

and



ROBERT ALFRED CUNNINGHAM of Tambo Upper Road, Swan Reach ("the Owner") of the second part

WHEREAS

A. The Owner is the registered proprietor of the land described in the First Schedule hereto ("the subject land") and have made Application to the Responsible Authority under the East Gippsland Planning Scheme ("the Scheme") for a Permit to subdivide the subject land into 2 Lots.

B. The Responsible Authority has granted Planning Permit No. 01/00267/DS dated the 20<sup>th</sup> October, 2001 ("the Permit") for a two Lot subdivision of the subject land subject (inter alia) to a condition as follows:-

"The owner of the land must enter into an Agreement with the responsible authority in accordance with Section 173 of the Planning and Environment Act 1987 which will provide and covenant that:-

- (a) The Lot 1 may not be further subdivided so as to increase the number of Lots.
- (b) The Lot 2 may not be further subdivided so as to increase the number of Lots beyond five.

C. The Responsible Authority and the Owner have agreed that without restricting or limiting their respective powers to enter into this agreement and insofar as it can be so treated this Agreement shall be treated as being an Agreement under Section 173(1) of the Planning and Environment Act 1987.

**AB253839T**  
 Printed 3/10/2024  
 02/05/2002 \$59 173  
 Page 42 of 59



ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

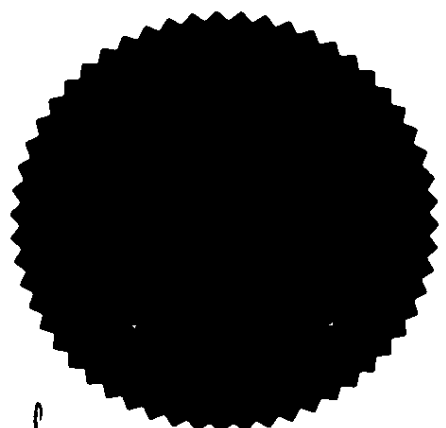


NOW THIS AGREEMENT WITNESSETH as follows:-

1. In this agreement unless inconsistent with the context or subject matter "Owner" shall mean the person or persons entitled from time to time to be registered by the Registrar of Titles as the proprietor or proprietors of an estate in fee simply of the subject land or any part thereof.
2. The Owner with the intent that its covenant hereunder shall run with the land hereby covenant and agree that:-
  - (i) It will comply with the conditions of the Permit;
  - (ii) Lot 1 may not be further subdivided so as to increase the number of Lots.
  - (iii) Lot 2 may not be further subdivided so as to increase the number of Lots beyond five.
  - (iv) This Agreement will being the Owner as the owner and shall run with the land so that all successors in title are bound by the Agreement. This Agreement will be prepared at the Owner's cost and to the satisfaction of the responsible authority, and shall be registered on title in accordance with Section 181 of the Planning and Environment Act 1987.

IN WITNESS whereof the parties hereto have hereunto set their hands and seals the day and year first hereinbefore written.

THE COMMON SEAL of the EAST GIPPSLAND SHIRE COUNCIL was affixed on the 21<sup>ST</sup> day of MARCH 2002



*[Signature]* Chief Executive Officer  
M. Bennett Witness

SIGNED by the said ROBERT ALFRED CUNNINGHAM in the presence of:-

*[Signature]*

*[Signature]* Witness

AB253839T  
02/05/2002 \$59 173  
Printed 3/10/2024  
Page 43 of 59

**ADVERTISED**

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

**SCHEDULE**

Certificate of Title Volume 8294 Folio 669



**DAB253839T-4-9**

**AB253839T**

02/05/2002 \$59 173

**Printed 3/10/2024**

**Page 44 of 59**

**ADVERTISED**

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

EAST GIPPSLAND SHIRE COUNCIL

and

ROBERT ALFRED CUNNINGHAM



**DAB253839T-5-7**

---

**SECTION 173 AGREEMENT**

---

**Printed 3/10/2024**  
**Page 45 of 59**



**GENERAL NOTES**

DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY.

THE OWNER/BUILDER SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS

CONFORM TO THE NCC OF AUSTRALIA 2017, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS, REPORT ANY DISCREPANCIES TO THIS OFFICE.

ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE NCC AND THE AUSTRALIAN STANDARDS.

- AS1288-2006 GLASS IN BUILDINGS – SELECTION AND INSTALLATION
- AS2047-2014 WINDOWS & EXTERNAL GLAZED DOORS IN BUILDINGS
- AS1562-1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING
- AS1684-2010 NATIONAL TIMBER FRAMING CODE
- AS2049-2002 ROOF TILES
- AS2050-2002 INSTALLATION OF ROOF TILES
- AS2870-2011 RESIDENTIAL SLAB AND FOOTINGS – CONSTRUCTION
- AS/NZ2904-1995 DAMP-PROOF COURSES AND FLASHINGS
- AS3600-2009 CONCRETE STRUCTURES
- AS3660 – 2014 BARRIERS FOR SUBTERRANEAN TERMITES
- AS3700-2011 MASONRY IN BUILDINGS
- AS3740-2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
- AS3786-2014 SMOKE ALARMS TO BE HARWIRED & INTERLINKED
- AS4055-2012 WIND LOADING FOR HOUSING
- AS4100-1998 STEEL STRUCTURES

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL AND CIVIL ENGINEERING COMPACTONS AND DRAWINGS.

ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS3660.1 AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS.

- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES-
- ALL ROOMS-WITHIN 500mm VERTICAL OF THE FLOOR
  - BATHROOMS-WITHIN 1500mm VERTICAL OF THE BATH BASE
  - FULLY GLAZED DOORS
  - SHOWER SCREENS
  - WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL
  - WINDOW SIZES ARE NOMINAL ONLY ACTUAL SIZES WILL VARY
  - WITH MANUFACTURER FLASHING ALL ROUND.

GUTTERS WILL BE AS PER SPECIFICATION WITH MIN. 100 X 50 RECTANGULAR, DOWNPIPES, BE POSITIONED AS PER AS 3500.3, 2003, SECTION 3.

STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS DETERMINED BY THE RELEVANT AUTHORITY.

TILED DECKS OVER LIVABLE AREAS ARE TO BE IN THE FOLLOWING ORDER OVER THE FLOOR JOISTS; 19mm COMPRESSED FIBRE CEMENT SHEET,

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS, IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENSED SURVEYOR.

ALL WET AREAS TO COMPLY WITH NCC AND AS 3740 . SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF THE WALL.

SUB-FLOOR VENTILATION MINIMUM 750mm.SQ FOR EXTERNAL WALLS AND 1500mm. SQ FOR INTERNAL WALLS BELOW BEARER.

THERMAL INSULATION AS PER ENERGY RATING REPORT.

**DRAWING LIST**

DRAWING No.	DRAWING TITLE	DATE DRAWN	REVISION
01	TITLE PAGE	07/02/2024	B
02	BAL REQUIREMENTS	07/02/2024	B
03	SITE PLAN	07/02/2024	B
04	GROUND FLOOR PLAN	07/02/2024	B
05	BUILDING ELEVATIONS	07/02/2024	B
06	BUILDING ELEVATIONS	07/02/2024	B
07	BUILDING SECTIONS	07/02/2024	B
08	ROOF PLAN	07/02/2024	B
09	LIGHTING & ELECTRICAL PLAN	07/02/2024	B
10	TIMBER SUB FLOOR PLAN	07/02/2024	B
11	FLOOR COVERING	07/02/2024	B
12	WET AREA ELEVATIONS	07/02/2024	B
13	WET AREA ELEVATIONS	07/02/2024	B
14	BUILDING DETAILS	07/02/2024	B



LOCAL COUNCIL: EAST GIBSLAND  
 WATER AUTHORITY: EAST GIPPSLAND COUNCIL  
 BUILDING SURVEYOR: TBA  
 ENGINEER: SIMON ANDERSON CONSULTANTS PTY LTD  
 THERMAL PERFORMANCE ASSESSOR: ELITE ENERGY ASSESMENTS

STAIR REQUIREMENTS: MIN. TREAD 250mm. RISER 115mm. MAX. RISER 190mm, SPACE BETWEEN OPEN TREADS MAX. 125mm. TREADS TO BE NON SLIP SURFACE. BALUSTRADES: MIN. 1000mm ABOVE LANDINGS WITH MAX. OPENING OF 125mm. AND IN ACCORDANCE WITH NCC FOR STAINLESS STEEL BALUSTRADES REFER TO TABLE 3.9.2.1. (WIRE BALUSTRADE CONSTRUCTION – REQUIRED WIRE TENSION AND MAXIMUM PERMISSIBLE DEFLECTION) OF THE NCC.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF EXISTING AND NEW STRUCTURES THROUGH-OUT CONSTRUCTION.

IMAGES AND PHOTOGRAPHS MAY DEPICT FIXTURES, FINISHES AND FEATURES EITHER NOT SUPPLIED BY G.J. GARDNER HOMES OR NOT INCLUDED IN THE QUOTE AND CONTRACTS, INCLUDING SPECIFICATIONS AND COLOUR SELECTIONS. THESE ITEMS MAY INCLUDE FURNITURE, SWIMMING POOLS, POOL DECKS, FENCES, LANDSCAPING - INCLUDING PATHS, DRIVEWAYS, PLANTS, GARDENS, PLANTER BOXES, RETAINING WALLS, WATER FEATURES, PERGOLAS, SCREENS AND DECORATIVE LANDSCAPING ITEMS SUCH AS FENCING AND OUTDOOR KITCHENS AND BARBEQUES.

ADVERTISED

This copied document is made available for the sole use of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

**LEGEND**

DP	DOWNPIPE	NGL	NATURAL GROUND LINE
FP	FIRE PLACE	UBO	UNDER BENCH OVEN
FW	FLOOR WASTE	WCO	WALL OVEN
HWS	HOT WATER SYSTEM	DW	DISHWASHER
AC	AIR CONDITIONING	DWP	DISHWASHER PROVISION
PS	PLUMBING STACK/DUCT	MW	MICROWAVE
SP	STEEL POST	WM	WASHING MACHINE
TBC	TO BE CONFIRMED	WIR	WALK-IN ROBE
RL	RELATIVE LEVEL	SD	SLIDING GLASS DOOR
AHD	AUSTRALIAN HEIGHT DATUM	AAW	ALUMINIUM AWNING WINDOW
CSD	CAVITY SLIDING DOOR	ADH	ALUMINIUM DOUBLE HUNG WINDOW
OHC	OVER HEAD CUPBOARD	ASW	ALUMINIUM SLIDING WINDOW
FG	FIXED GLASS	ALW	ALUMINIUM LOUVRE WINDOW
FSR	FLOOR SPACE RATIO	NCC	NATIONAL CONSTRUCTION CODE OF AUSTRALIA
LB	LOAD BEARING	AS	AUSTRALIAN STANDARDS

WIND SPEED N2 - W33.

PROVIDE LIFT OF HINGES TO W.C. OR OPEN OUT DOOR OR MIN. 1200MM CLEARANCE FROM DOOR TO PAN.

EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED TO THE OUTSIDE AREA AIR OR TO A VENTED ROOF SPACE AND AS PER AS 1668.2.

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS.

ALL CONSTRUCTION MATERIALS SUPPLIED MUST TAKE INTO ACCOUNT PROXIMITY TO COSTAL OR INDUSTRIAL ENVIRONMENTS, IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

THE CONSTRUCTION OF DECK/S MORE THAN 1000mm ABOVE GROUND ARE TO BE SECURELY FIXED TO THE EXISTING BUILDING BY THE MEANS OF A POLE PLATE OF EQUAL OR GREATER STRENGTH AS THE BEAM/S IN THE DECK CONSTRUCTION. THE POLE PLATE IS TO BE FIXED TO THE EXISTING BUILDING BY THE USE OF 2/M12 BOLTS TO & BOTTOM @ 450 CENTERS. IF A SECURE FIXING CAN NOT BE MADE BY WAYS OF A POLE PLATE THAN IT IS THE RESPONSIBILITY OF THE BUILDER TO CONTACT TONY JAMES DESIGN FOR ADDITIONAL DESIGN INFORMATION

**SITE NOTES**

ALL STORMWATER AND DRAINAGE TO BE IN COMPLIANCE WITH NCC AS WELL AS/NZ8 3600-2009

ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PIT/S TO THE RBS REQUIREMENTS.

THE EXTERNAL FINISHED SURFACE SURROUNDING THE BUILDING MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADE TO PROVIDE A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.

A MINIMUM HEIGHT OF 150mm SHALL BE MAINTAINED BETWEEN THE TOP OF THE OVERFLOW GULLY RISER & THE LOWEST FIXTURE CONNECTED TO THE DRAIN. THE OVERFLOW GULLY RISER SHALL BE LOCATED AT 75mm ABOVE SURROUNDING GROUND LEVEL OR SHALL BE FINISHED AT A HEIGHT TO PREVENT THE INGRESS OF WATER WHEN LOCATED IN A PATH OR PAVED AREA.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100, DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.

ALL STORMWATER DRAINAGE BELOW GROUND SHALL BE SEWER GRADE WITH NO JOINTS UNDER SLAB INSTALLED TO AS3500:3,2003.

ALL POOL FENCING SHALL BE MINIMUM 1200mm HIGH AND IN ACCORDANCE WITH AS 1926.1-2012



**STROUD HOMES**  
 EAST GIPPSLAND  
 89 MAIN STREET, BAIRNSDALE VIC 3875  
**M: 0428 363 888**  
 E: terry.young@stroudhomes.com.au

**HOUSE TYPE:**  
**CUSTOM HOME**

©THESE PLANS ARE COPYRIGHT AND MUST NO BE REPRODUCED WITHOUT WRITTEN AUTHORISATION & REMAIN THE SOLE PROPERTY OF STROUD HOMES PTY LTD

**SITE ADDRESS**  
 LOT 01 PS 734366  
 215 TAMBO UPPER ROAD  
 SWAN REACH VIC 3903

**CLIENT DETAILS:**  
 NASTASSIA & JORDAN BENNETT

REV.	DETAILS:	DATE:	TONY JAMES DESIGN PTY LTD
A	CONSTRUCTION	02/02/2024	A. B.N: 96 486 946 536
B	TOWN PLANNING	12/07/2024	B. License: DP-AD-44789
			M: 0412 832 646
			P: (07) 5665 9230
			E: anthony@tonyjames.com.au
			W: www.tonyjames.com.au

**TITLE PAGE**

**JOB NO:**

DRAWN:	PAGES:	SHEET SIZE:
TJ	01 OF 13	A3
DATE:	07/02/2024	SCALE:

Printed 3/10/2024  
 Page 46 of 59

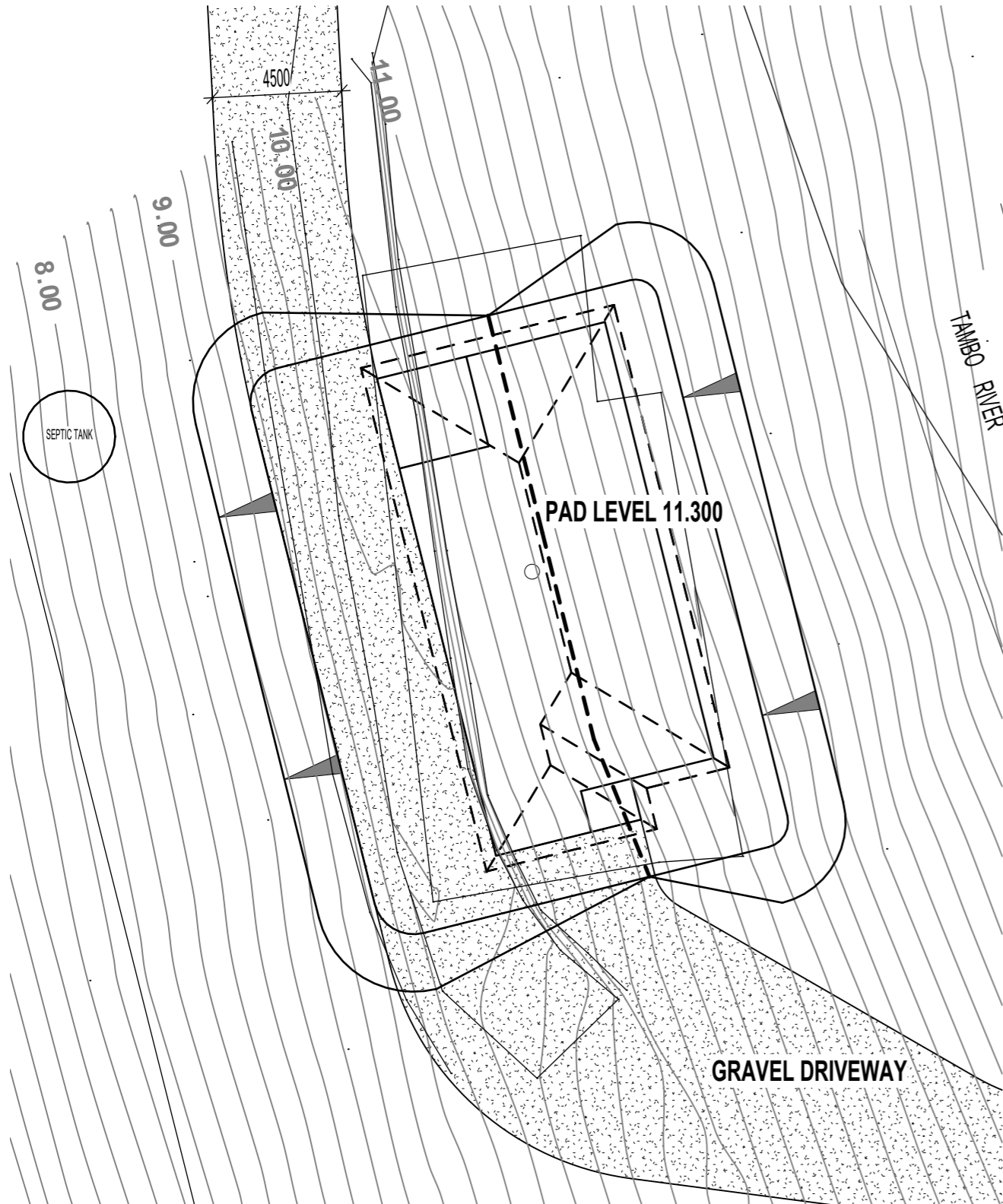




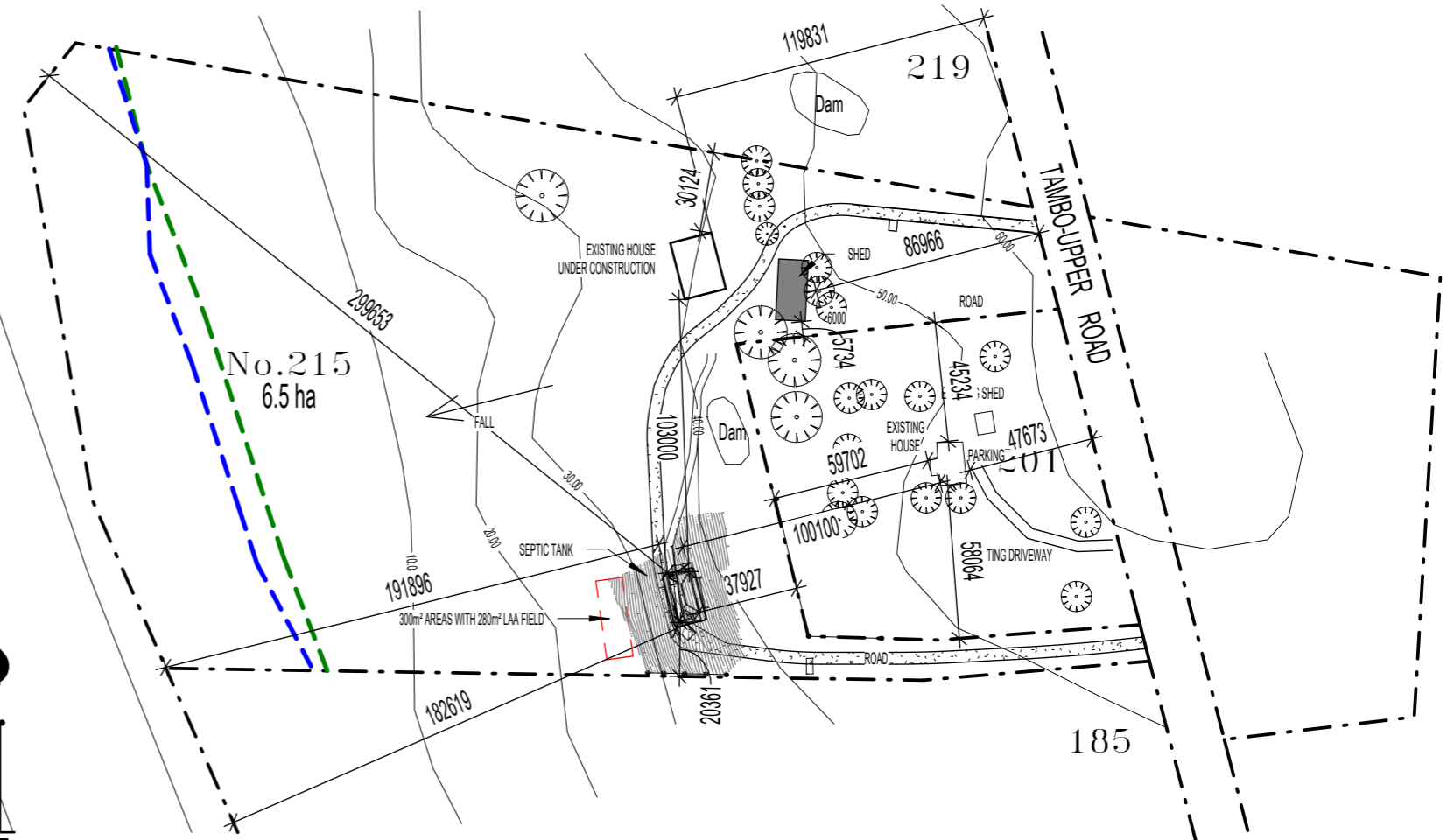
ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

WATER COURSE  
ESO SETBCKS



SITE PLAN  
1:2500



SITE INFORMATION

WIND CLASSIFICATION	<b>N3</b>
SLAB CLASSIFICATION	<b>P</b>
BUSHFIRE ATTACK LEVEL	<b>12.5</b>

SITE PLAN  
1:200



**STROUD HOMES**  
 EAST GIPPSLAND  
 89 MAIN STREET BAIRNSDALE VIC 3875  
 M: 0428 363 888  
 E: terry.young@stroudhomes.com.au

HOUSE TYPE:  
**CUSTOM HOME**

©THESE PLANS ARE COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT WRITTEN AUTHORISATION & REMAIN THE SOLE PROPERTY OF STROUD HOMES PTY LTD

SITE ADDRESS  
 LOT 01 PS 734366  
 215 TAMBO UPPER ROAD  
 SWAN REACH VIC 3903

CLIENT DETAILS:  
 NASTASSIA & JORDAN BENNETT

REV: A  
 B

DETAILS:  
 CONSTRUCTION  
 TOWN PLANNING

DATE:  
 02/07/2024  
 12/07/2024

TONY JAMES DESIGN PTY LTD  
 P: 0428 363 888  
 V.B.A License: DP-AD-44789  
 F: 07 5665 9230  
 E: anthony@tonyjames.com.au  
 W: www.tonyjames.com.au

SITE PLAN

JOB NO:

DRAWN: TJ  
 DATE: 07/02/2024

PAGES: 03 OF 13  
 SCALE: As indicated  
 SHEET SIZE: A3

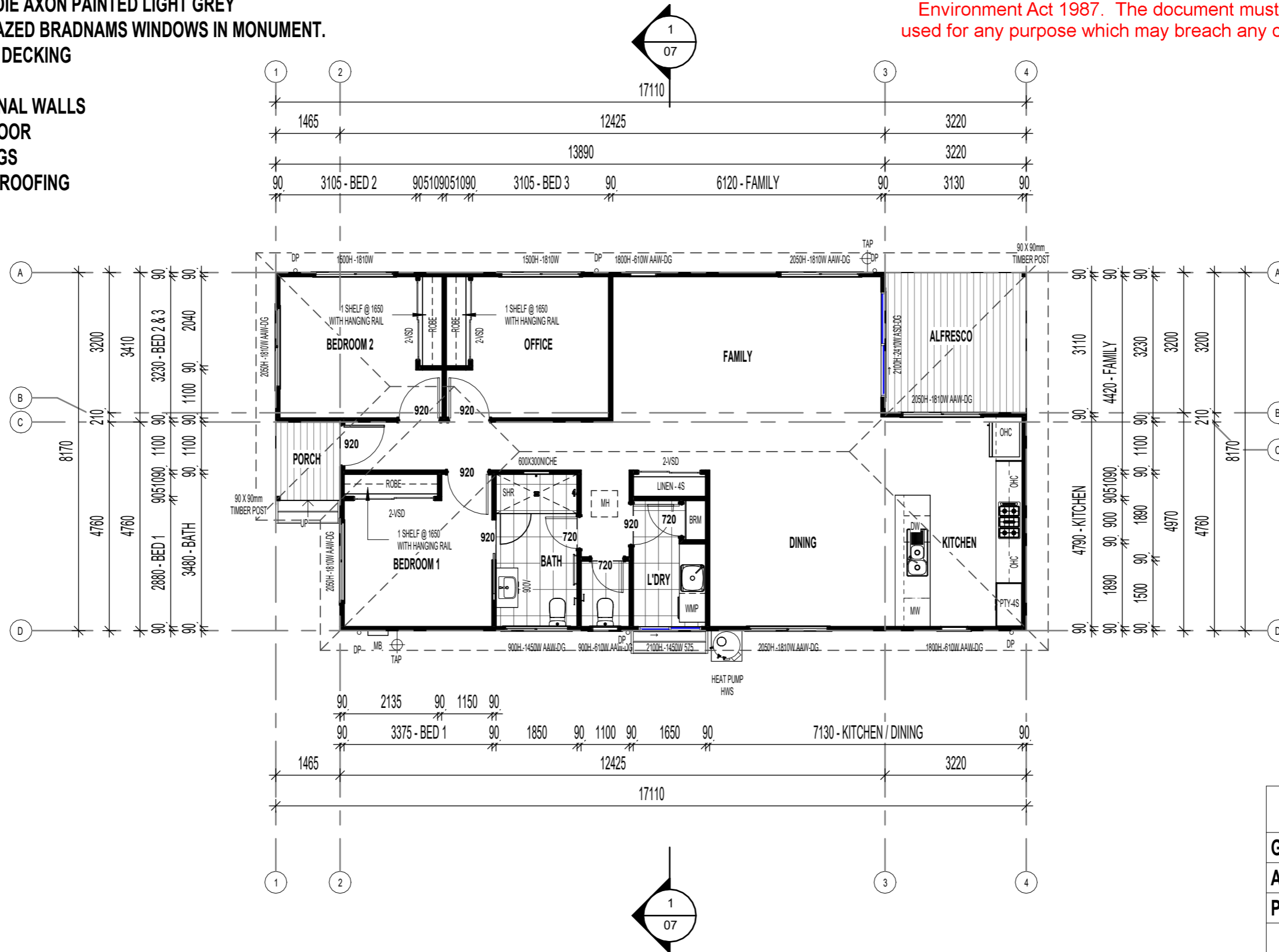
Printed 3/10/2024  
 Page 48 of 59



This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

- NOTE:**  
**ROOFING:** MONUMENT CUSTOM ORB ROOFING  
**CLADDING:** JAMES HARDIE AXON PAINTED LIGHT GREY  
**WINDOWS:** DOUBLE GLAZED BRADNAMS WINDOWS IN MONUMENT.  
**DECKING:** HARDWOOD DECKING

- R2.5 INSULATION TO EXTERNAL WALLS**  
**R3.5 INSULATION TO SUBFLOOR**  
**R4.0 INSULATION TO CEILINGS**  
**R1.5 ANTICON BLANKET TO ROOFING**



FLOOR AREAS	
GROUND FLOOR	122.51 m <sup>2</sup>
ALFRESCO	10.30 m <sup>2</sup>
PORTICO	2.62 m <sup>2</sup>
	135.44 m <sup>2</sup>

**GROUND FLOOR PLAN**  
1:100



**STROUD HOMES**  
 EAST GIPPSLAND  
 89 MAIN STREET BAIRNSDALE VIC 3875  
 M: 0428 363 888  
 E: terry.young@stroudhomes.com.au

**HOUSE TYPE:**  
**CUSTOM HOME**  
 ©THESE PLANS ARE COPYRIGHT AND MUST NO BE REPRODUCED WITHOUT WRITTEN AUTHORISATION & REMAIN THE SOLE PROPERTY OF STROUD HOMES PTY LTD

**SITE ADDRESS**  
 LOT 01 PS 734366  
 215 TAMBO UPPER ROAD  
 SWAN REACH VIC 3903

**CLIENT DETAILS:**  
 NASTASSIA & JORDAN BENNETT

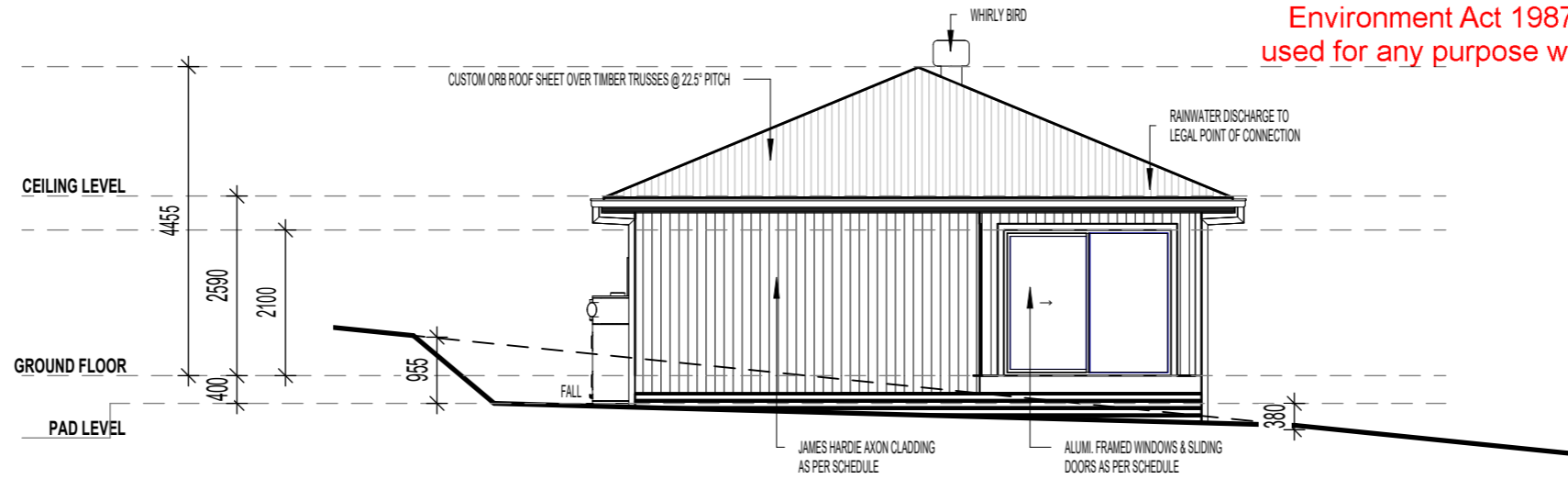
**REV:** A  
**DETAILS:** CONSTRUCTION  
**DATE:** 02/07/2024  
**TONY JAMES DESIGN PTY LTD**  
 36 946 536  
 V.B.A License: DP-AD-44789  
 832 646  
 P: (07) 5665 9230  
 E: anthony@tonyjames.com.au  
 W: www.tonyjames.com.au

**GROUND FLOOR PLAN**  
**JOB NO:**  
**DRAWN:** TJ  
**PAGES:** 04 OF 13  
**DATE:** 07/02/2024  
**SCALE:** 1:100  
**SHEET SIZE:** A3

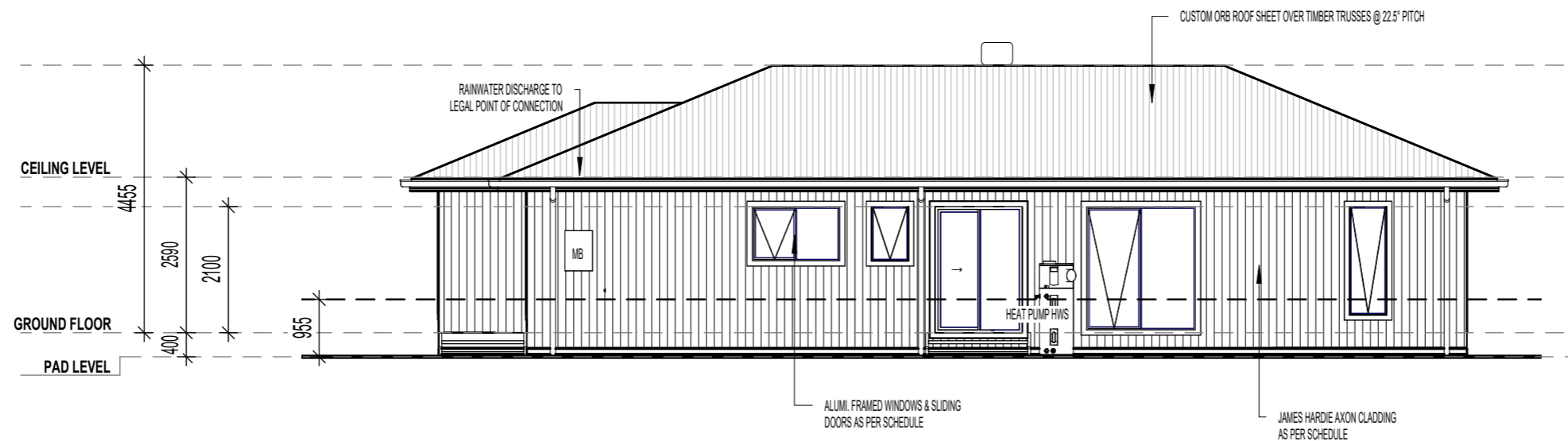
Printed 3/10/2024  
 Page 49 of 59

ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



**NORTHERN ELEVATION**  
1 : 100



**EASTERN ELEVATION**  
1 : 100



**STROUD HOMES**  
EAST GIPPSLAND  
89 MAIN STREET BAIRNSDALE VIC 3875  
M: 0428 363 888  
E: terry.young@stroudhomes.com.au

HOUSE TYPE:  
**CUSTOM HOME**

©THESE PLANS ARE COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT WRITTEN AUTHORISATION & REMAIN THE SOLE PROPERTY OF STROUD HOMES PTY LTD

SITE ADDRESS  
LOT 01 PS 734366  
215 TAMBO UPPER ROAD  
SWAN REACH VIC 3903

CLIENT DETAILS:  
NASTASSIA & JORDAN BENNETT

REV:	DETAILS:
A	CONSTRUCTION
B	TOWN PLANNING

DATE:  
02/07/2024  
12/07/2024

TONY JAMES DESIGN PTY LTD  
A.B.N. 62 090 36 946 536  
V.B.A License: DP-AD-44789  
P: (07) 5665 9230  
E: anthony@tonyjames.com.au  
W: www.tonyjames.com.au

**BUILDING ELEVATIONS**

JOB NO:

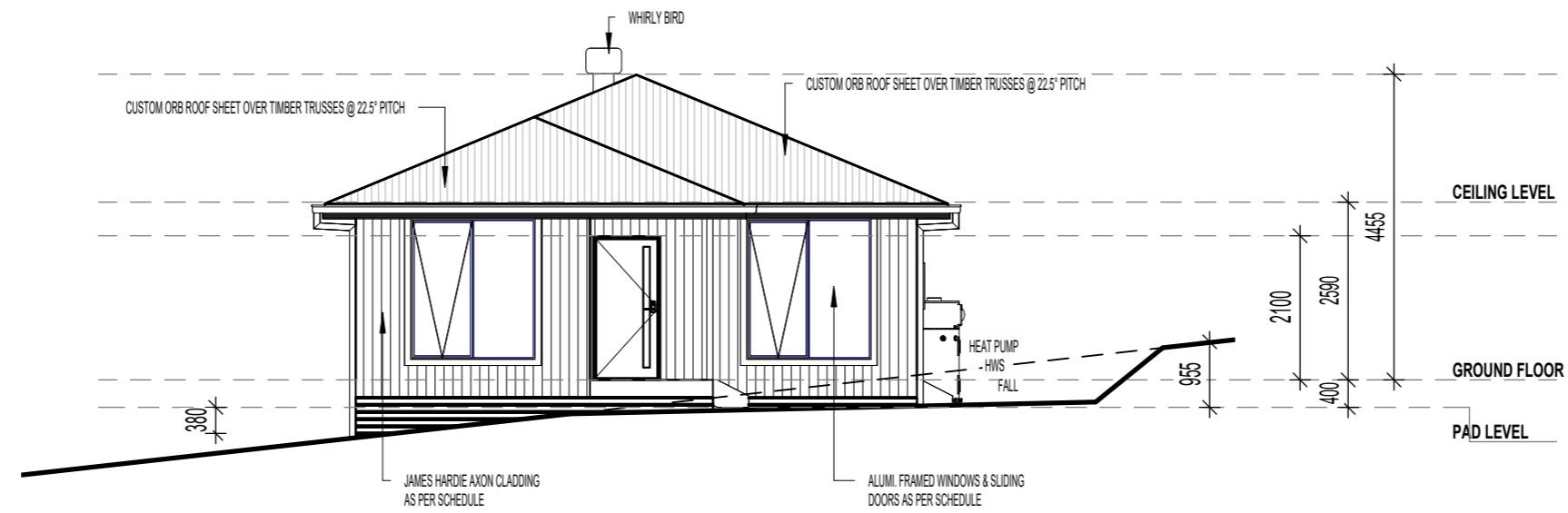
DRAWN:	PAGES:
TJ	05 OF 13
DATE:	SCALE:
07/02/2024	1 : 100

SHEET SIZE:  
**A3**

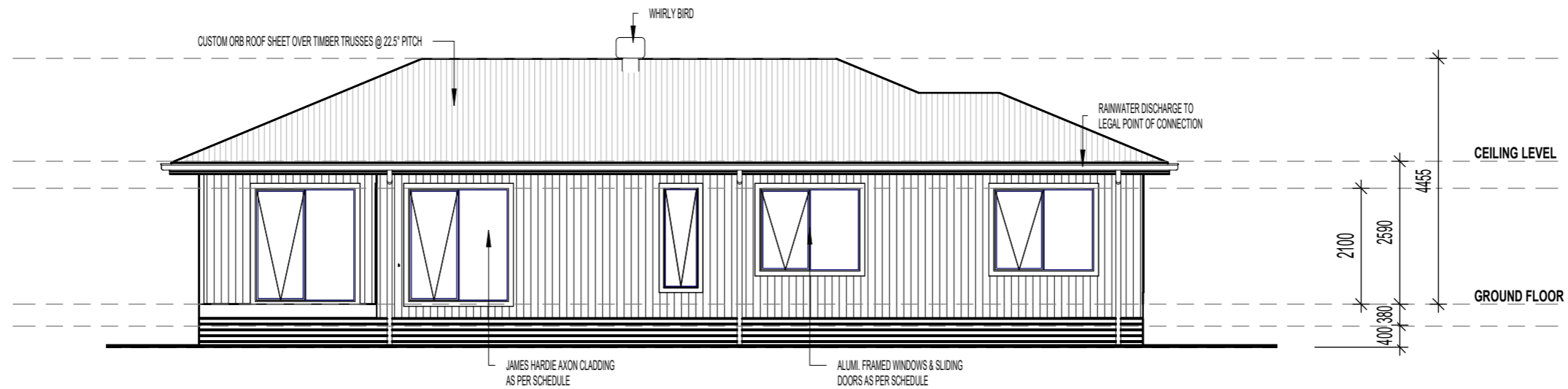
Printed 3/10/2024  
Page 50 of 59

ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



**SOUTHERN ELEVATION**  
1:100



**WESTERN ELEVATION**  
1:100



**STROUD HOMES**  
EAST GIPPSLAND  
89 MAIN STREET BAIRNSDALE VIC 3875  
M: 0428 363 888  
E: terry.young@stroudhomes.com.au

HOUSE TYPE:  
**CUSTOM HOME**

©THESE PLANS ARE COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT WRITTEN AUTHORISATION & REMAIN THE SOLE PROPERTY OF STROUD HOMES PTY LTD

SITE ADDRESS  
LOT 01 PS 734366  
215 TAMBO UPPER ROAD  
SWAN REACH VIC 3903

CLIENT DETAILS:  
NASTASSIA & JORDAN BENNETT

REV:	DETAILS:	DATE:
A	CONSTRUCTION	02/07/2024
B	TOWN PLANNING	12/07/2024

TONY JAMES DESIGN PTY LTD  
P: 03 5665 536  
V.B.A License: DP-AD-44789  
M: 04 832 646  
P: (07) 5665 9230  
E: anthony@tonyjames.com.au  
W: www.tonyjames.com.au

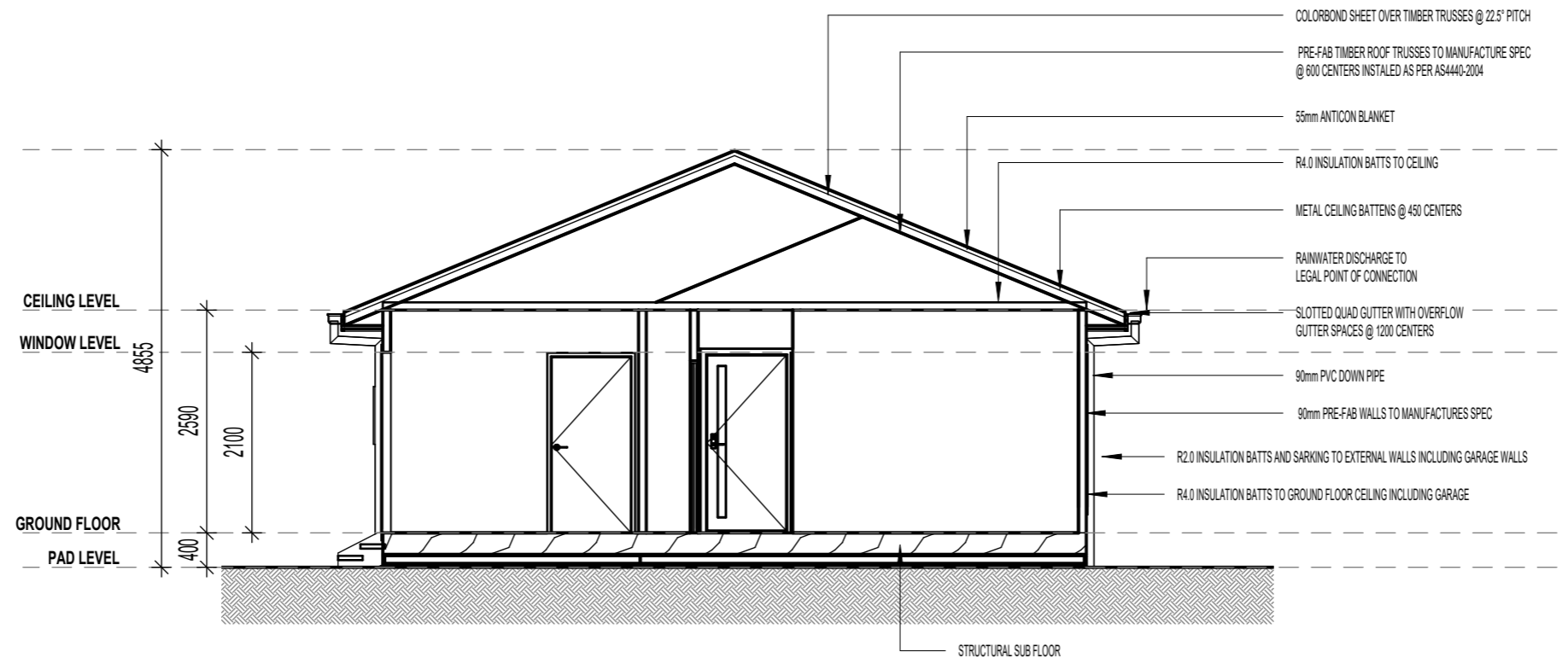
BUILDING ELEVATIONS			
JOB NO:			
DRAWN:	TJ	PAGES:	06 OF 13
DATE:	07/02/2024	SCALE:	1:100
			SHEET SIZE: <b>A3</b>

Printed 3/10/2024  
Page 51 of 99



ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



SECTION S1  
1:75



**STROUD HOMES**  
EAST GIPPSLAND  
89 MAIN STREET BAIRNSDALE VIC 3875  
M: 0428 363 888  
E: terry.young@stroudhomes.com.au

HOUSE TYPE:  
**CUSTOM HOME**

©THESE PLANS ARE COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT WRITTEN AUTHORISATION & REMAIN THE SOLE PROPERTY OF STROUD HOMES PTY LTD

SITE ADDRESS  
LOT 01 PS 734366  
215 TAMBO UPPER ROAD  
SWAN REACH VIC 3903

CLIENT DETAILS:  
NASTASSIA & JORDAN BENNETT

REV:	DETAILS:
A	CONSTRUCTION
B	TOWN PLANNING

DATE:  
02/07/2024  
12/07/2024

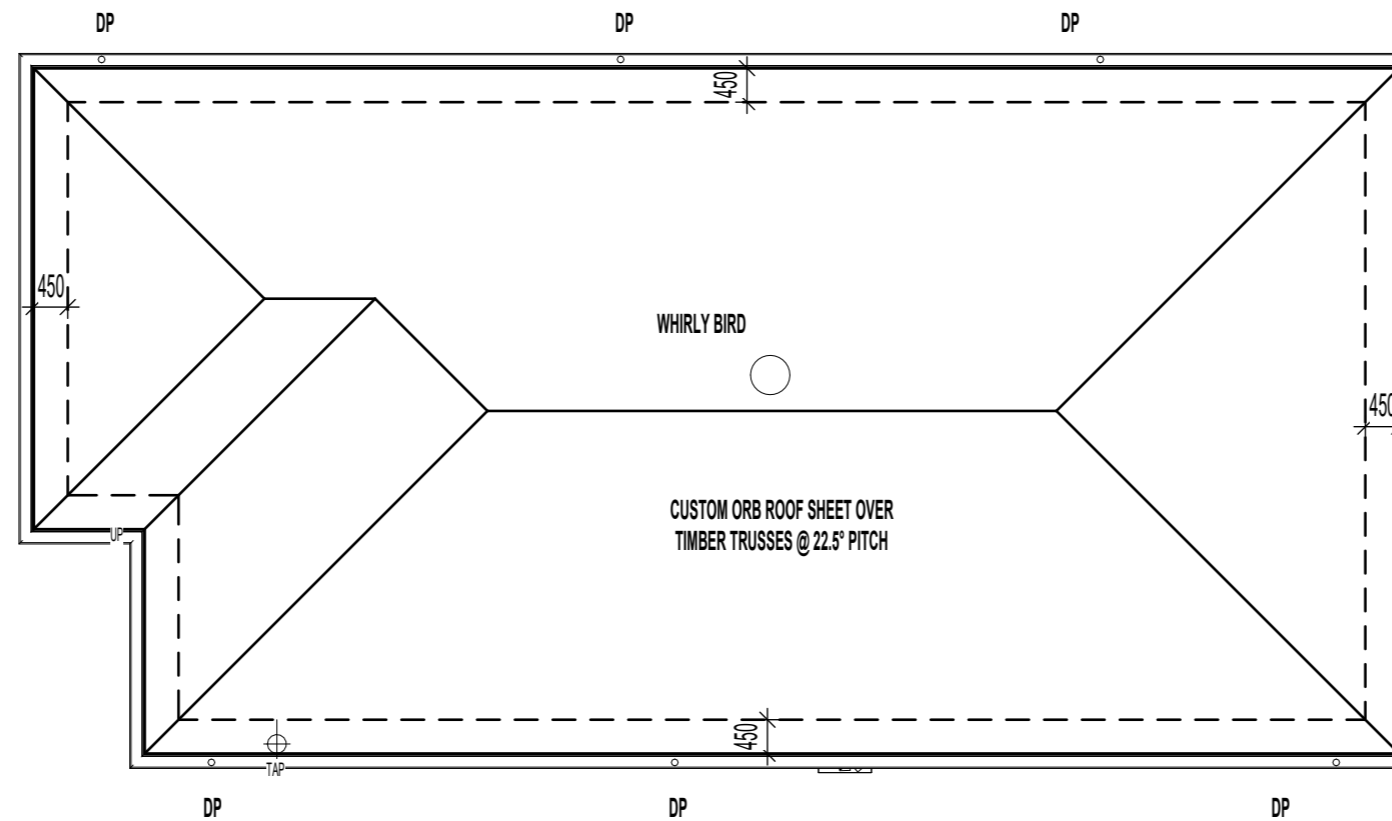
TONY JAMES DESIGN PTY LTD  
M: 0428 36 946 536  
V.B.A License: DP-AD-44789  
P: (07) 5665 9230  
E: anthony@tonyjames.com.au  
W: www.tonyjames.com.au

BUILDING SECTIONS	
JOB NO:	
DRAWN: TJ	PAGES: 07 OF 13
DATE: 07/02/2024	SCALE: 1:75 SHEET SIZE: A3

Printed 3/10/2024  
Page 52 of 59

ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



ROOF PLAN  
1:100



**STROUD HOMES**

EAST GIPPSLAND  
89 MAIN STREET BAIRNSDALE VIC 3875  
M: 0428 363 888  
E: terry.young@stroudhomes.com.au

HOUSE TYPE:  
**CUSTOM HOME**

©THESE PLANS ARE COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT WRITTEN AUTHORISATION & REMAIN THE SOLE PROPERTY OF STROUD HOMES PTY LTD

SITE ADDRESS  
LOT 01 PS 734366  
215 TAMBO UPPER ROAD  
SWAN REACH VIC 3903

CLIENT DETAILS:  
NASTASSIA & JORDAN BENNETT

REV:	DETAILS:
A	CONSTRUCTION FILE
B	TOWN PLANNING

DATE:
02/07/2024
12/07/2024

DATE:
07/02/2024

TONY JAMES DESIGN PTY LTD  
M: 0428 36 946 536  
V.B.A License: DP-AD-44789  
P: 04 832 646  
E: anthony@tonyjames.com.au  
W: www.tonyjames.com.au

ROOF PLAN

JOB NO:



DRAWN: TJ  
PAGES: 08 OF 13

DATE: 07/02/2024  
SCALE: 1:100  
SHEET SIZE: A3

Printed 3/10/2024  
Page 53 of 59

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

**ELECTRICAL LEGEND**

-  DOUBLE GPO - 11
-  DOUBLE GPO WITH USB - 0
-  WATER PROOF DOUBLE GPO - 2
-  CEILING MOUNTED PENDANT LIGHT - 0
-  LED STRIP LIGHT - 0
-  SINGLE GPO - 4
-  WATERPROOF SINGLE GPO - 0
-  LED LIGHTS - 20
-  EXTRACTION FAN (VENTILATED TO OUTSIDE AIR) - 1
-  1200mm LED LIGHT - 0
-  HARD WIRED SMOKE ALARM - 2
-  TELEVISION POINT - 1
-  TELEPHONE POINT - 0
-  HEAT / LIGHT / FAN - 0
-  AV POINT - 1
-  EXTERNAL UP / DOWN LIGHTS - 0
-  SPOT LIGHT - 1
-  DUCTED HEATING OUTLET - 0
-  CEILING FAN WITHOUT LIGHT - 0



**ELECTRICAL PLAN**

1 : 100

**GENERAL NOTES:**

- METERBOX LOCATION TO BE CONFIRMED.
- THE POSITIONING OF ELECTRICAL OUTLETS & LIGHT SWITCHES, AS SHOWN, ARE INDICATIVE. LIMITATIONS IE. STUD POSITIONS.
- ALL ELECTRICAL OUTLETS & LIGHT SWITCH POSITIONS SHOULD BE CONFIRMED BY CLIENT. ALL WIRING & ELECTRICAL WORK IS TO BE IN ACCORDANCE WITH AS 3000
- AS3786-2014 SMOKE ALARMS TO BE HARDWIRED & INTERLINKED
- ALL EXHAUST FANS ARE TO BE VENTILATED TO THE OUTSIDE AIR



**STROUD HOMES**

EAST GIPPSLAND  
89 MAIN STREET BAIRNSDALE VIC 3875  
M: 0428 363 888  
E: terry.young@stroudhomes.com.au

HOUSE TYPE:  
**CUSTOM HOME**

©THESE PLANS ARE COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT WRITTEN AUTHORISATION & REMAIN THE SOLE PROPERTY OF STROUD HOMES PTY LTD

SITE ADDRESS  
LOT 01 PS 734366  
215 TAMBO UPPER ROAD  
SWAN REACH VIC 3903

CLIENT DETAILS:  
NASTASSIA & JORDAN BENNETT

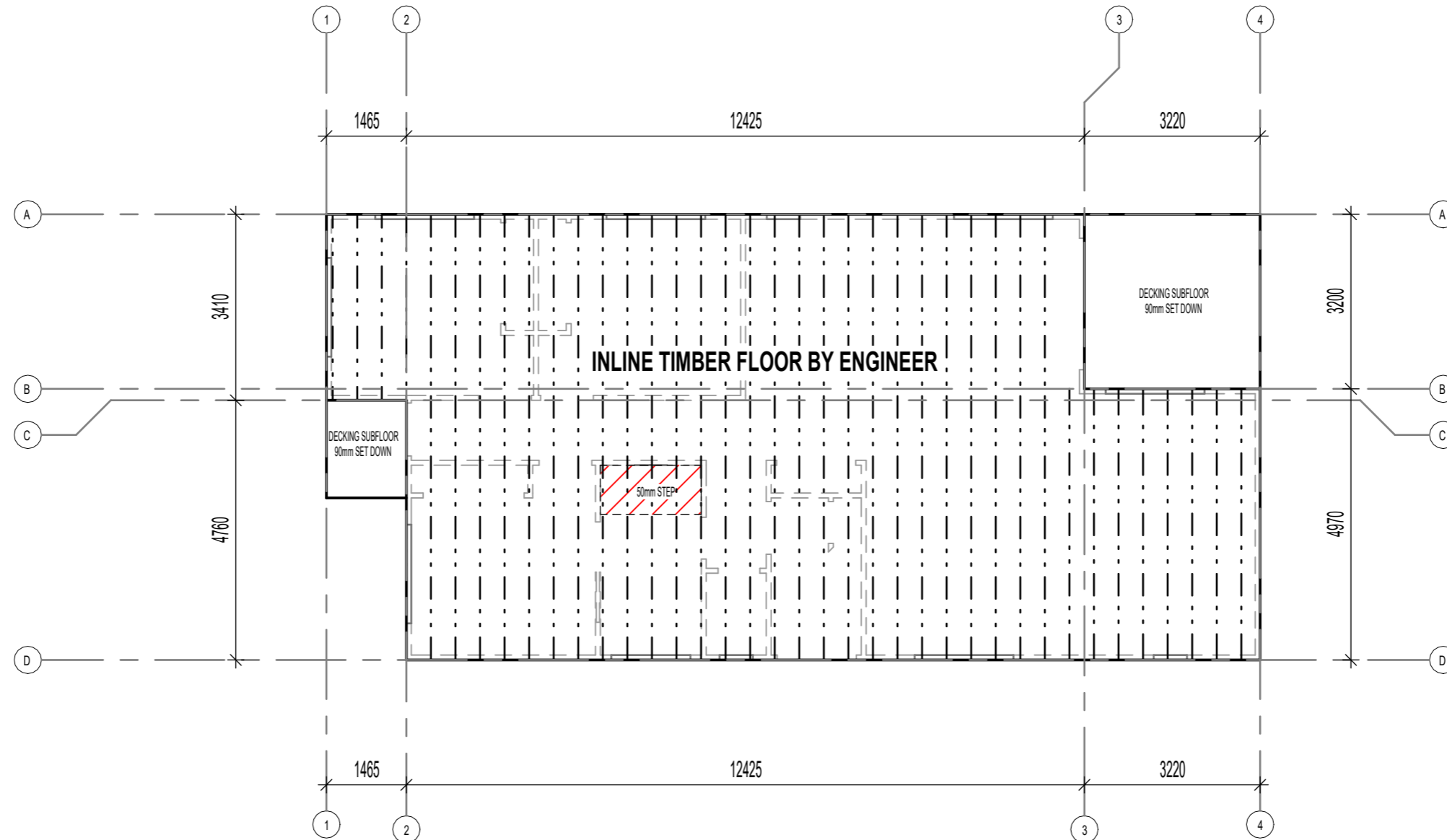
REV:	DETAILS:	DATE:	TONY JAMES DESIGN PTY LTD
A	CONSTRUCTION	02/02/2024	A.B.N. 59 36 946 536
B	TOWN PLANNING	12/07/2024	V.B.A License: DP-AD-44789
			F: 03 832 646
			P: (07) 5665 9230
			E: anthony@tonyjames.com.au
			W: www.tonyjames.com.au

Printed 3/10/2024  
Page 54 of 59

LIGHTING & ELECTRICAL PLAN	
JOB NO:	
DRAWN: TJ	PAGES: 09 OF 13
DATE: 07/02/2024	SCALE: 1 : 100 SHEET SIZE: A3

ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



### TIMBER SUBFLOOR PLAN

1:100



#### STROUD HOMES

EAST GIPPSLAND  
 89 MAIN STREET BAIRNSDALE VIC 3875  
 M: 0428 363 888  
 E: terry.young@stroudhomes.com.au

#### HOUSE TYPE:

**CUSTOM HOME**

©THESE PLANS ARE COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT WRITTEN AUTHORISATION & REMAIN THE SOLE PROPERTY OF STROUD HOMES PTY LTD

#### SITE ADDRESS

LOT 01 PS 734366  
 215 TAMBO UPPER ROAD  
 SWAN REACH VIC 3903

#### CLIENT DETAILS:

NASTASSIA & JORDAN BENNETT

#### REV:

#### DETAILS:

#### DATE:

A CONSTRUCTION  
 B TOWN PLANNING

02/07/2024  
 12/07/2024

#### TONY JAMES DESIGN PTY LTD

M: 0390 36 946 536  
 V.B.A License: DP-AD-44789  
 P: 832 646  
 E: anthony@tonyjames.com.au  
 W: www.tonyjames.com.au

#### TIMBER SUB FLOOR PLAN

JOB NO:

DRAWN: TJ  
 PAGES: 10 OF 13

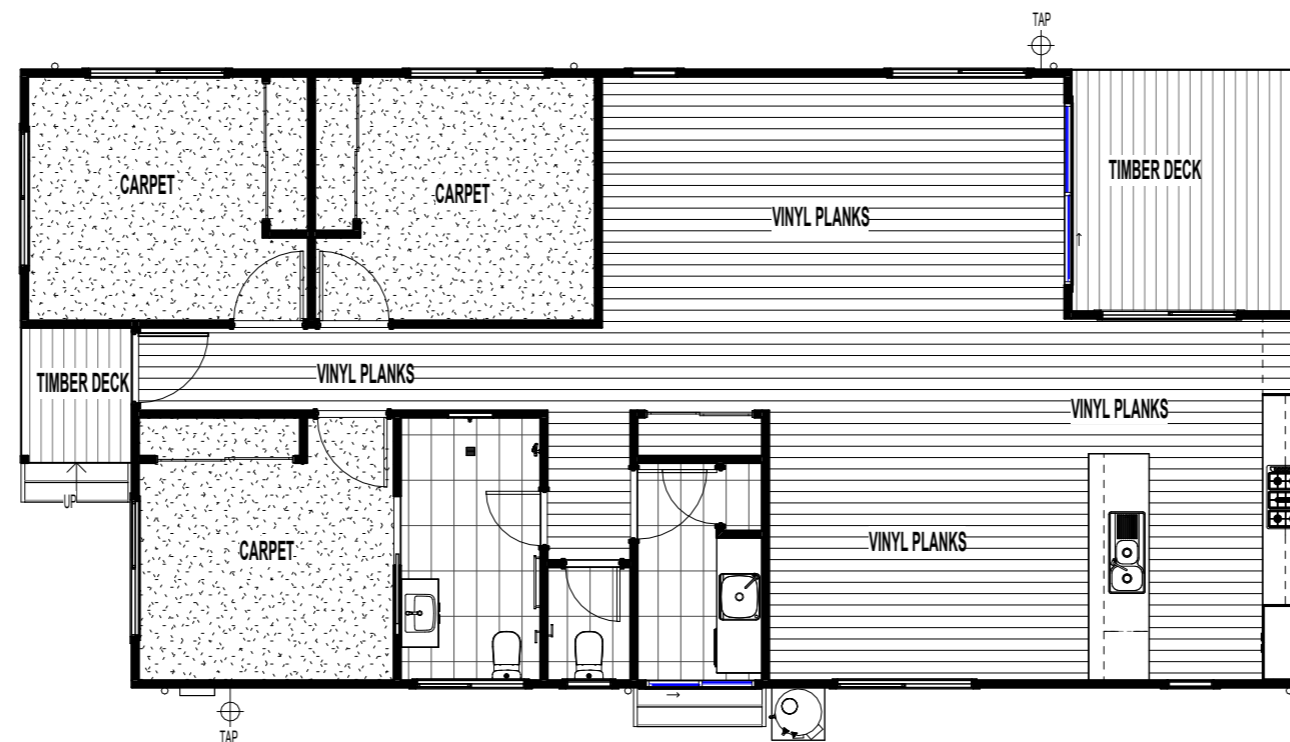
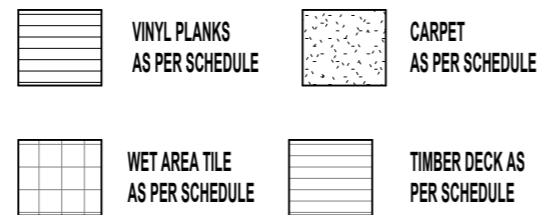
DATE: 07/02/2024  
 SCALE: 1:100  
 SHEET SIZE: A3

Printed 3/10/2024  
 Page 55 of 99



This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

LEGEND



FLOOR COVERING

1 : 100



STROUD HOMES

EAST GIPPSLAND  
89 MAIN STREET BAIRNSDALE VIC 3875  
M: 0428 363 888  
E: terry.young@stroudhomes.com.au

HOUSE TYPE:  
CUSTOM HOME

©THESE PLANS ARE COPYRIGHT AND MUST NO BE REPRODUCED WITHOUT WRITTEN AUTHORISATION & REMAIN THE SOLE PROPERTY OF STROUD HOMES PTY LTD

SITE ADDRESS  
LOT 01 PS 734366  
215 TAMBO UPPER ROAD  
SWAN REACH VIC 3903

CLIENT DETAILS:  
NASTASSIA & JORDAN BENNETT

REV: A B

DETAILS: CONSTRUCTION TOWN PLANNING

DATE: 02/07/2024 12/07/2024

TONY JAMES DESIGN PTY LTD  
M: 0428 36 946 536  
V.B.A License: DP-AD-44789  
P: 832 646  
E: anthony@tonyjames.com.au  
W: www.tonyjames.com.au

FLOOR COVERING

JOB NO:

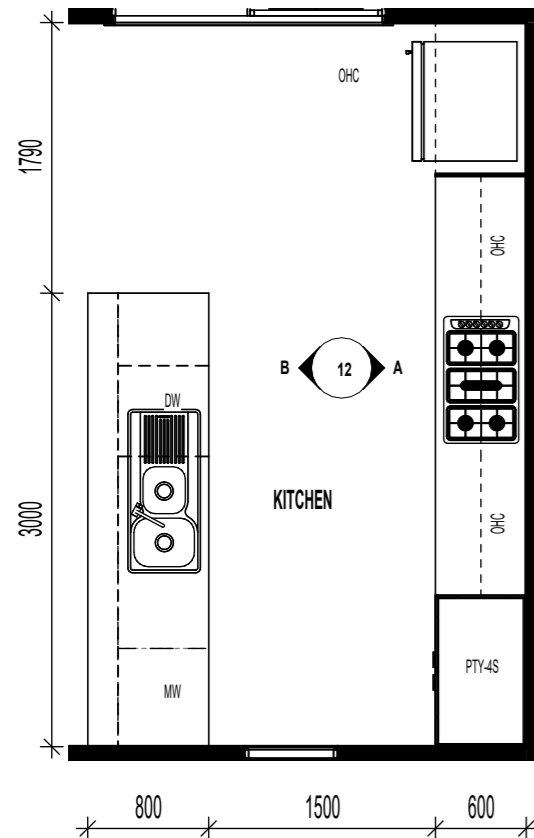
DRAWN: TJ  
PAGES: 11 OF 13

DATE: 07/02/2024  
SCALE: 1 : 100  
SHEET SIZE: A3

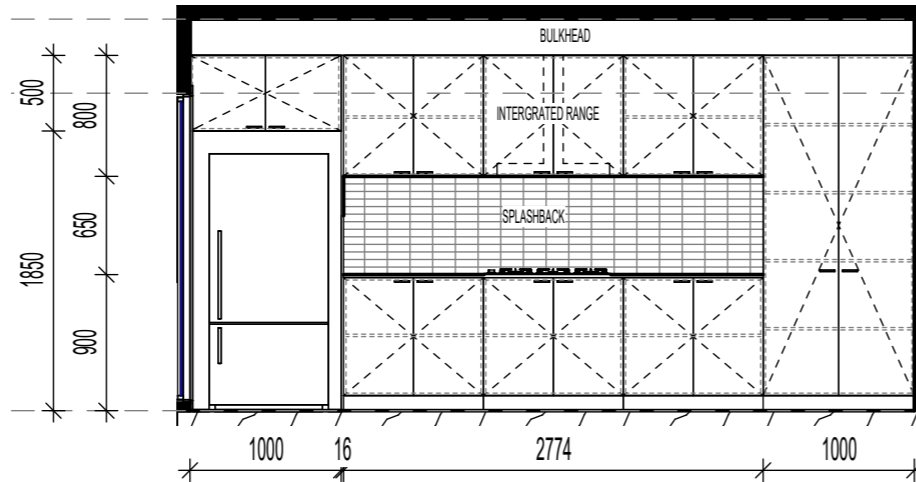
Printed 3/10/2024  
Page 56 of 59

ADVERTISED

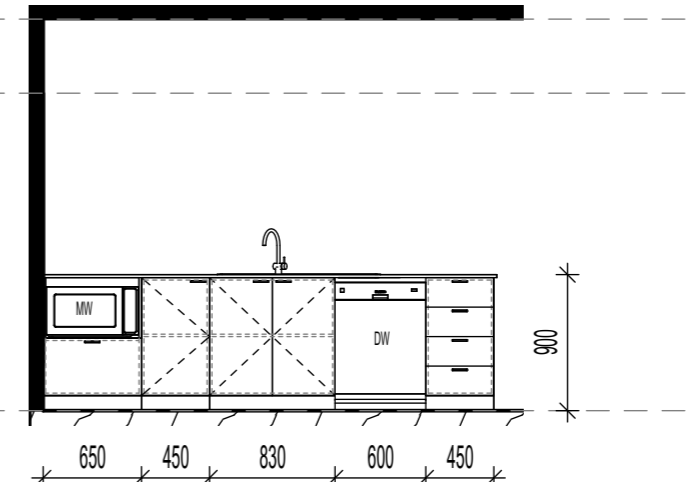
This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



**KITCHEN FLOOR PLAN**  
1 : 50



**A**  
1 : 50



**B**  
1 : 50

PLEASE NOTE:  
FRIDGE SPACE OF 1020mm IS MEASURED  
FROM FAME TO CABINET GABLE - ALLOWING  
FOR A FRIDGE OF 900mm WIDE.



CLIENT SIGNATURE



**STROUD HOMES**  
EAST GIPPSLAND  
89 MAIN STREET BAIRNSDALE VIC 3875  
M: 0428 363 888  
E: terry.young@stroudhomes.com.au

HOUSE TYPE:  
**CUSTOM HOME**

©THESE PLANS ARE COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT WRITTEN AUTHORISATION & REMAIN THE SOLE PROPERTY OF STROUD HOMES PTY LTD

SITE ADDRESS  
LOT 01 PS 734366  
215 TAMBO UPPER ROAD  
SWAN REACH VIC 3903

CLIENT DETAILS:  
NASTASSIA & JORDAN BENNETT

REV:	DETAILS:	DATE:
A	CONSTRUCTION FILE	02/07/2024
B	TOWN PLANNING	12/07/2024

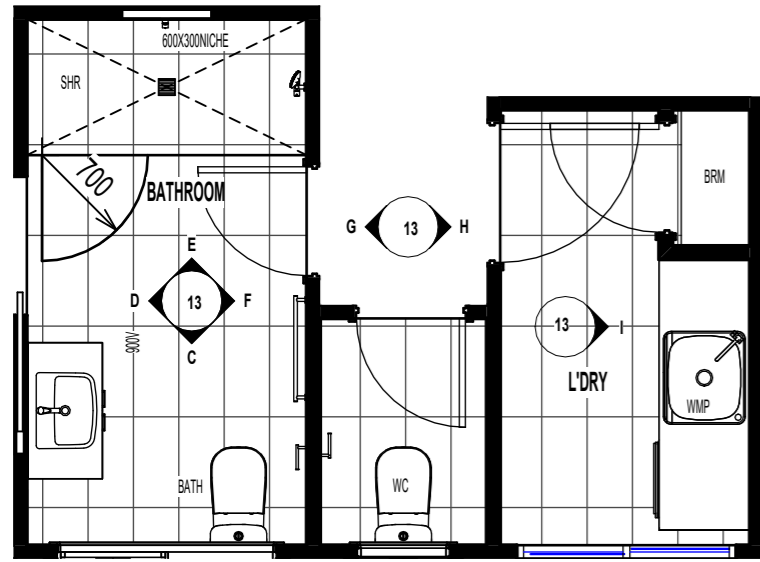
TONY JAMES DESIGN PTY LTD  
P: 03 5665 9230  
E: anthony@tonyjames.com.au  
W: www.tonyjames.com.au

WET AREA ELEVATIONS			
JOB NO:			
DRAWN:	TJ	PAGES:	12 OF 13
DATE:	07/02/2024	SCALE:	1 : 50
			SHEET SIZE: <b>A3</b>

Printed 3/10/2024  
Page 57 of 59

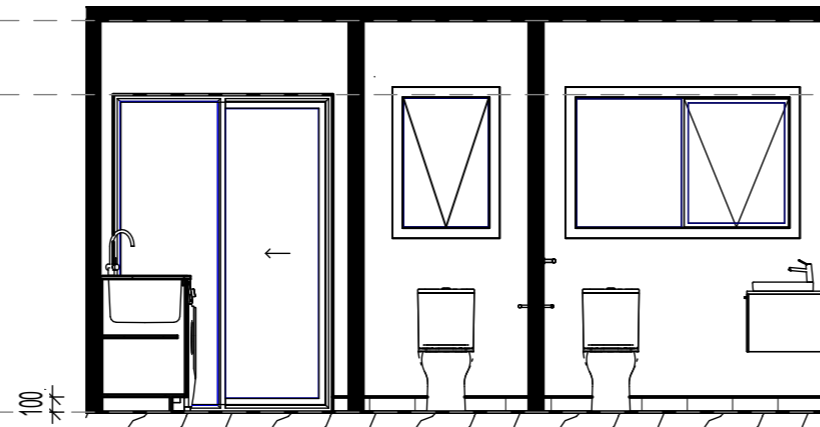
ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

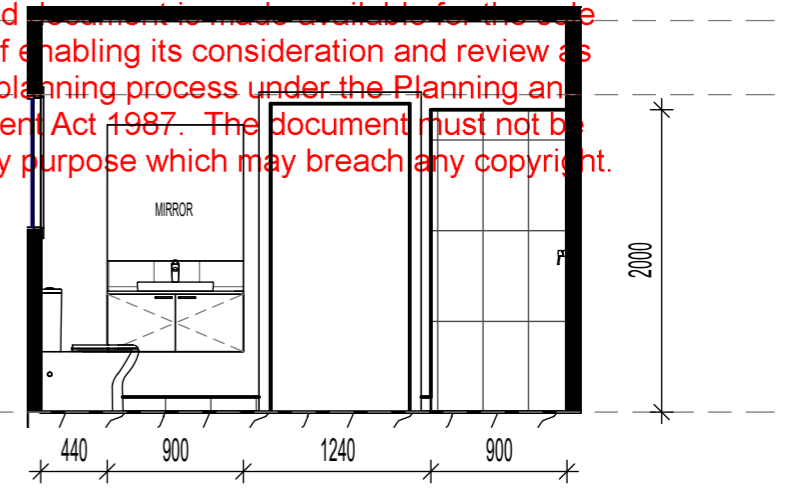


BATHROOM FLOOR PLAN

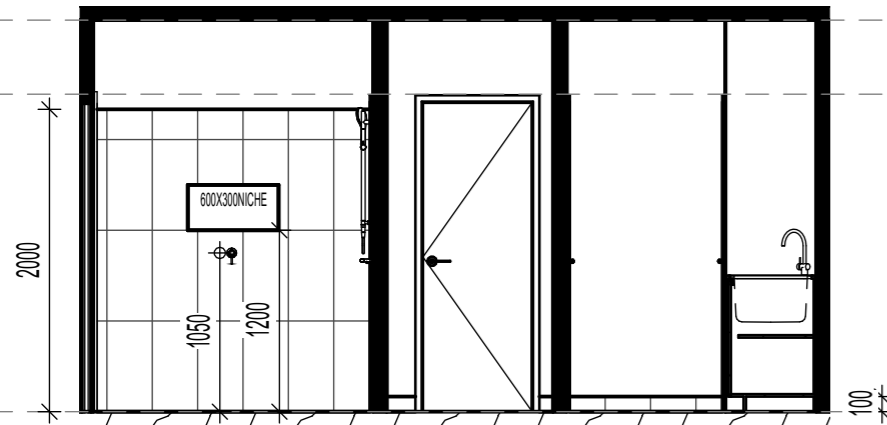
1:50



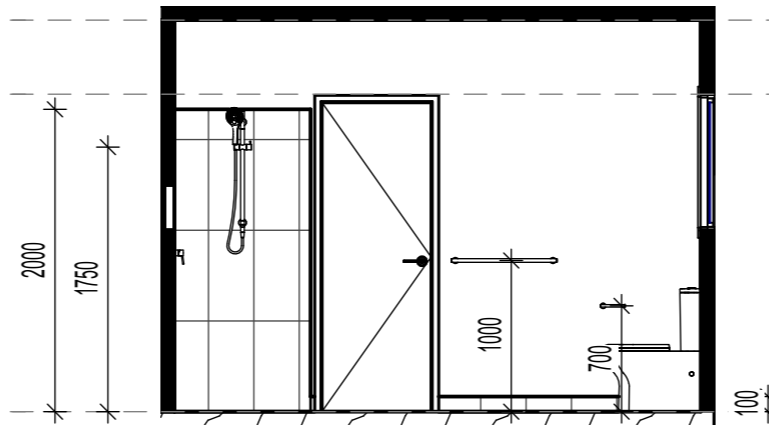
C  
1:50



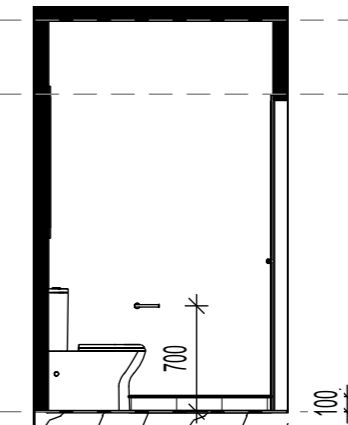
D  
1:50



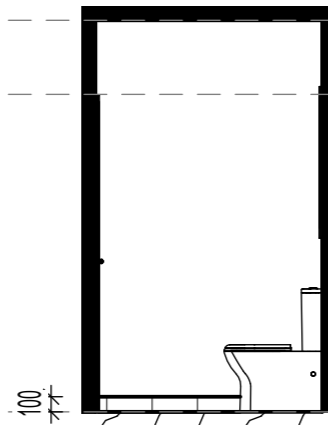
E  
1:50



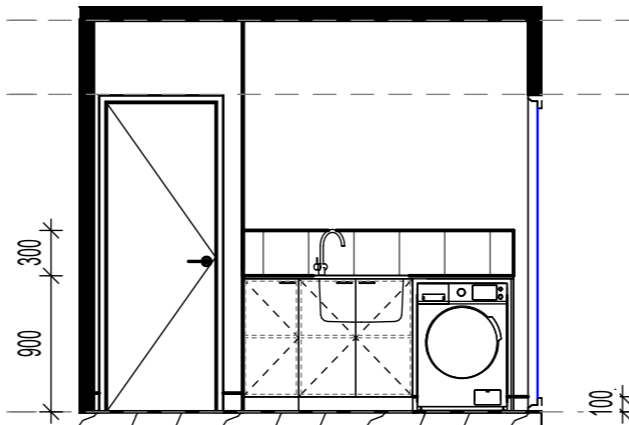
F  
1:50



G  
1:50



H  
1:50



I  
1:50

CONSTRUCTION TO BE IN ACCORDANCE TO BAL 12.5



STROUD HOMES

EAST GIPPSLAND  
89 MAIN STREET BAIRNSDALE VIC 3875  
M: 0428 363 888  
E: terry.young@stroudhomes.com.au

HOUSE TYPE:  
CUSTOM HOME

©THESE PLANS ARE COPYRIGHT AND MUST NO BE REPRODUCED WITHOUT WRITTEN AUTHORISATION & REMAIN THE SOLE PROPERTY OF STROUD HOMES PTY LTD

SITE ADDRESS  
LOT 01 PS 734366  
215 TAMBO UPPER ROAD  
SWAN REACH VIC 3903

CLIENT DETAILS:  
NASTASSIA & JORDAN BENNETT

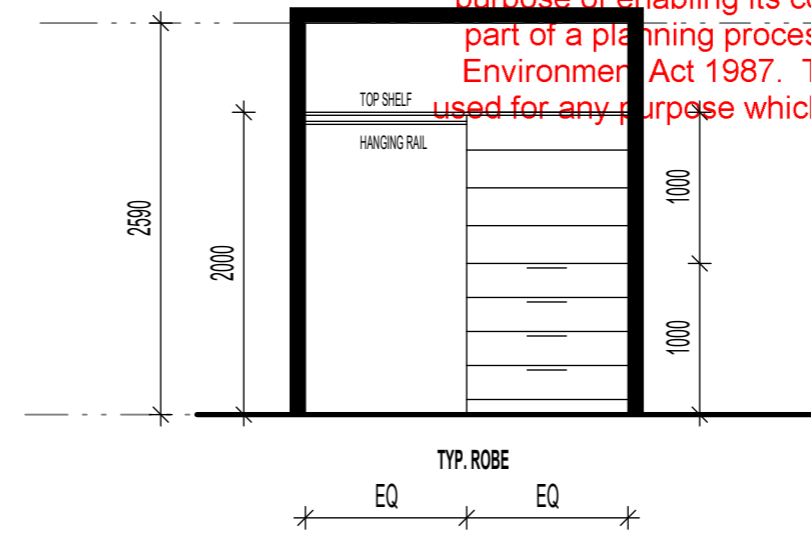
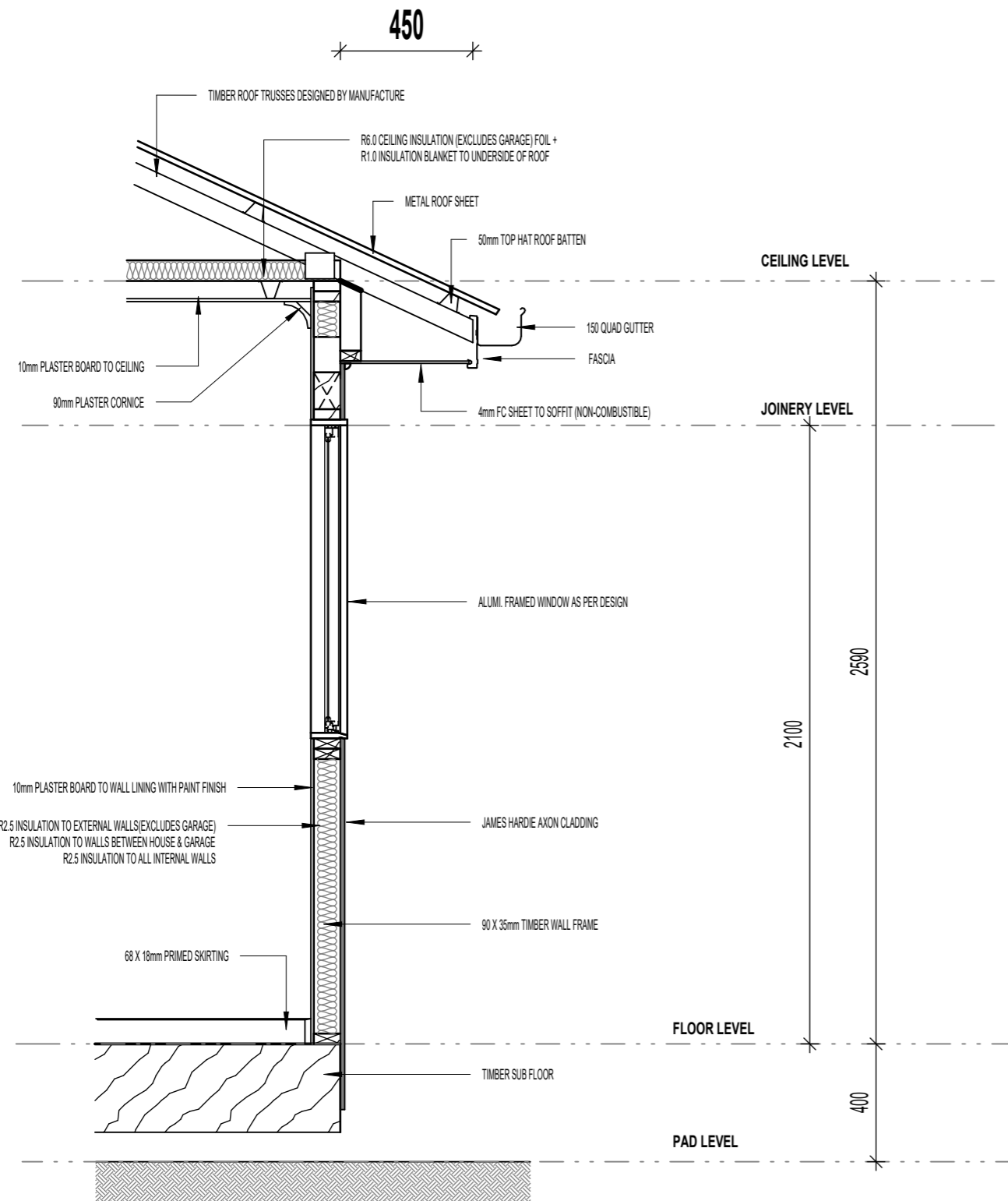
REV:	DETAILS:	DATE:
A	CONSTRUCTION	02/02/2024
B	TOWN PLANNING	12/07/2024

Printed 3/10/2024  
Page 58 of 59

TONY JAMES DESIGN PTY LTD  
P: 03 946 536  
V.B.A License: DP-AD-44789  
M: 832 646  
P: (07) 5665 9230  
E: anthony@tonyjames.com.au  
W: www.tonyjames.com.au

WET AREA ELEVATIONS	
JOB NO:	
DRAWN: TJ	PAGES: 13 OF 13
DATE: 07/02/2024	SCALE: 1:50 SHEET SIZE: A3

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



**TYPICAL ROBE SHELVING DETAIL**  
1 : 50

**TYP. BRICK VENEER WALL DETAIL**

1 : 20



**STROUD HOMES**

EAST GIPPSLAND  
 89 MAIN STREET BAIRNSDALE VIC 3875  
 M: 0428 363 888  
 E: terry.young@stroudhomes.com.au

HOUSE TYPE:  
**CUSTOM HOME**

©THESE PLANS ARE COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT WRITTEN AUTHORISATION & REMAIN THE SOLE PROPERTY OF STROUD HOMES PTY LTD

SITE ADDRESS  
 LOT 01 PS 734366  
 215 TAMBO UPPER ROAD  
 SWAN REACH VIC 3903

CLIENT DETAILS:  
 NASTASSIA & JORDAN BENNETT

REV:	DETAILS:	DATE:	TONY JAMES DESIGN PTY LTD
A	CONSTRUCTION	02/02/2024	P: 04 832 646
B	TOWN PLANNING	12/07/2024	V.B.A License: DP-AD-44789 E: anthony@tonyjames.com.au W: www.tonyjames.com.au

Printed 3/10/2024  
 Page 59 of 59

**BUILDING DETAILS**

JOB NO:	
DRAWN: TJ	PAGES: 14 OF 13
DATE: 07/02/2024	SCALE: As indicated
SHEET SIZE: <b>A3</b>	