Form 2

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NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	215 Tambo Upper Road SWAN REACH 3903 Lot: 1 PS: 734366
The application is for a permit to:	Use and Development of a Second Dwelling
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2024.303.1

You may look at the application and any documents that support the application free of charge at: https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must •

- be made to the Responsible Authority in writing,
- include the reasons for the objection, and
- state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before: Subject to the applicant giving notice
--

If you object, the Responsible Authority will tell you its decision.



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VOLUME 11658 FOLIO 708

Security no : 124117685179F Produced 23/08/2024 04:22 PM

LAND DESCRIPTION

Lot 1 on Plan of Subdivision 734366M.

PARENT TITLES:

Volume 10791 Folio 103 to Volume 10791 Folio 104

Created by instrument PS734366M 27/05/2016

REGISTERED PROPRIETOR

Estate Fee Simple Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987 AB253839T 02/05/2002

DIAGRAM LOCATION

SEE PS734366M FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

-------END OF REGISTER SEARCH STATEMENT------

Additional information: (not part of the Register Search Statement)

Street Address: 215 TAMBO UPPER ROAD SWAN REACH VIC 3903

See MI310772G for WATER FRONTAGE LICENCE details

ADMINISTRATIVE NOTICES

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Title 11658/708 Page 1 of 2



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Delivered by LANDATA®, timestamp 23/08/2024 16:22 Page 1 of 4 Signed by Council: East Gippsland Shire Council, PP Ref: 295/2014/P, Cert Ref: PS734366M, Original Certification: 19/06/2015, S.O.O.Ada/de/tater ISED LVhistcoppied dodument is made available for the sple EDITION grapling its RSn 7 ich Htip 6 to Meview as PLAN OF SUBDIVISION part of a planning process under the Planning and Enciounce deartification and encorsement not be LOCATION OF LAND for any purpose which may breach any copyright. **PARISH: BUMBERRAH TOWNSHIP: SECTION: CROWN ALLOTMENT:** 59B (PART) **CROWN PORTION:** TITLE REFERENCE: VOL 10791 FOL 103 VOL 10791 FOL 104 LAST PLAN REFERENCE: LOTS | & 2 - PS521908P **POSTAL ADDRESS:** 201 TAMBO UPPER ROAD, (At time of subdivision) SWAN REACH, 3903 MGA94 Co-ordinates **NOTATIONS** (of approx centre of land 575 280 **ZONE:** 55 in plan) GDA 94 5815 460 DEPTH LIMITATION DOES NOT APPLY **VESTING OF ROADS AND/OR RESERVES** COUNCIL/BODY/PERSON Survey: This plan is/is not based on survey. **IDENTIFIER** To be completed where applicable. This survey has been connected to permanent marks no(s) In Proclaimed Survey Area No. STAGING This is/is not a staged subdivision. Planning Permit No. 295/2014/P WATERWAY NOTATION: LOT 1 IN THIS PLAN MAY ABUT CROWN LAND THAT MAY BE SUBJECT TO A CROWN LICENCE TO USE DIMENSIONS SHOWN UNDERLINED ARE NOT THE RESULT OF THIS SURVEY THE AREA OF LOT I IS BY DEDUCTION FROM TITLE EASEMENT INFORMATION LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road) Fasement Width Purpose Origin Land Benefited/In Favour Of (Metres) Reference SHEET | OF 3 SHEETS ORIGINAL SHEET SIZE MICHAEL JOSEPH Crowther&Sadler Pty.Ltd. LICENSED SURVEYOR Uted My Merchen LICENSED SURVEYORS & TOWN PLANNERS ₫N5: 0f05\9 DIGITALLY SIGNED BY LICENSED SURVEYOR: DATE 152 MACLEOD STREET, BAIRNSDALE, VIC., 3875 DATE: 27/5/2016 TELEPHONE (03) 5152 5011 **C.MEADEN** REF 14759 VERSION Assistant Registrar of Titles

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Plan of Subdivision PS734366M Certification of plan by Council (Form 2)

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SUBDIVISION (PROCEDURES) REGULATIONS 2011

SPEAR Reference Number: S061768P

Plan Number: PS734366M

Responsible Authority Name: East Gippsland Shire Council Responsible Authority Permit Ref. No.: 295/2014/P Responsible Authority Certification Ref. No.: PS734366M

Surveyor's Plan Version: 2

Certification

This plan is certified under section 6 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988

Has not been made at Certification

Digitally signed by Council Delegate: Sarah McLaughlin

Organisation: East Gippsland Shire Council

Date: 19/06/2015

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2	Site Context	5
3	The Proposal	11
4	Zones and Overlays	12
5	Planning Assessment	16
6	Conclusion	18

APPENDIX

- A Copy of Title and Plan of Subdivision
- **B** Proposed Development Plans
- **C** Geotechnical Risk Assessment Waiver
- **D** Land Capability Assessment

DOCUMENT REVISION

1	Draft Report	DAC	29/08/2024

2 Final Report CMC 01/09/2024



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1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of Nastassia and Jordan Bennett, the owner of land and the applicant for this planning permit application for the use and development of a second dwelling at 215 Tambo Upper Road, Swan Reach.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposed second dwelling will be used for the owner's elderly parents to reside in, offering a compassionate and practical solution to aging in place.

It is acknowledged that there is a current planning permit application for a Distillery on this land that is yet to be resolved. Family matters have taken priority, and it is requested that this application be considered completely independent.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

	decented any perpose which may breach any copyrigi	
Address	215 Tambo Upper Road, Swan Reach	
Site Description	Lot 1 on Plan of Subdivision 734366M	
Title Particulars	Vol 11658 Fol 708	
Site Area	6.472 hectares	
Proposal	Use and Development of a Second Dwelling	
Planning Scheme	East Gippsland Planning Scheme	
Zone	Rural Living Zone – Schedule 2 (RLZ2)	
Overlays	Erosion Management Overlay (EMO)	
	Environmental Significance Overlay – Schedule 1-58 (ESO1-58)	
Aboriginal Cultural Heritage	Partly identified as an area of Cultural Heritage Sensitivity	
Permit Triggers	Clause 35.03-1 Rural Living Zone – Use	
	Clause 35.03-4 Rural Living Zone – Buildings and Works	
	Clause 44.01-2 Erosion Management Overlay	
Notice	Exempt from notice and review at Clause 44.01-7	
Referrals	No referrals required	
Work Authority Licence	Not Applicable	
Planning Scheme	Municipal Planning Strategy – Clause 02	
requirements	Settlement – Clause 02.03-1	
	Environmental and landscape values – Clause 02.03-2	
	Environmental risks and amenity – Clause 02.03-3	
	Built environment and heritage – Clause 02.03-5	
	Planning Policy Framework – Clause 10	
	Settlement – Clause 11	
	Environmental and landscape values – Clause 12	
	Environmental risks and amenity – Clause 13	
	Erosion and landslip – Clause 13.04-2S	
	Built environment and heritage – Clause 15	
	Housing – Clause 16	
	Rural Living Zone – Clause 35.03	
	Erosion Management Overlay - Clause 44.01	
	Decision guidelines – Clause 65	

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2. SITE CONTEXT

Site

The subject site is located at 215 Tambo Upper Road, Swan Reach. A copy of the Title and Plan of Subdivision is contained in Appendix A. The title is affected by a Section 173 Agreement registered on title as AB253839T.

AB253839T

This agreement restricts further subdivision of the allotment.

The site is irregular in shape with a total area of approximately 6.472 hectares and contains an existing outbuilding and dwelling under construction.

The site is undulating in nature, contains scattered vegetation throughout, a dam located along the eastern boundary and adjoins the Tambo River along the western boundary. Details of the site are depicted in the photographs provided below.

Access is existing via a gravel driveway entering in the northern portion of the eastern boundary connecting directly to Tambo Upper Road. A secondary informal access exists at the southern end of the eastern boundary.

Tambo Upper Road is a bitumen sealeded for any purposed which impliationach sway reportight. with gravel shoulders, traversing in a north to well as the surrounding land, is shown in the south direction. locality plans in Figure 1 and Figure 2.



Figure 1 - Locality Plan - 215 Tambo Upper Road, Swan Reach (source: mapshare.vic.gov.au)



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Surrounds

The land in this locality is a combination of rural living, public land and farming land.

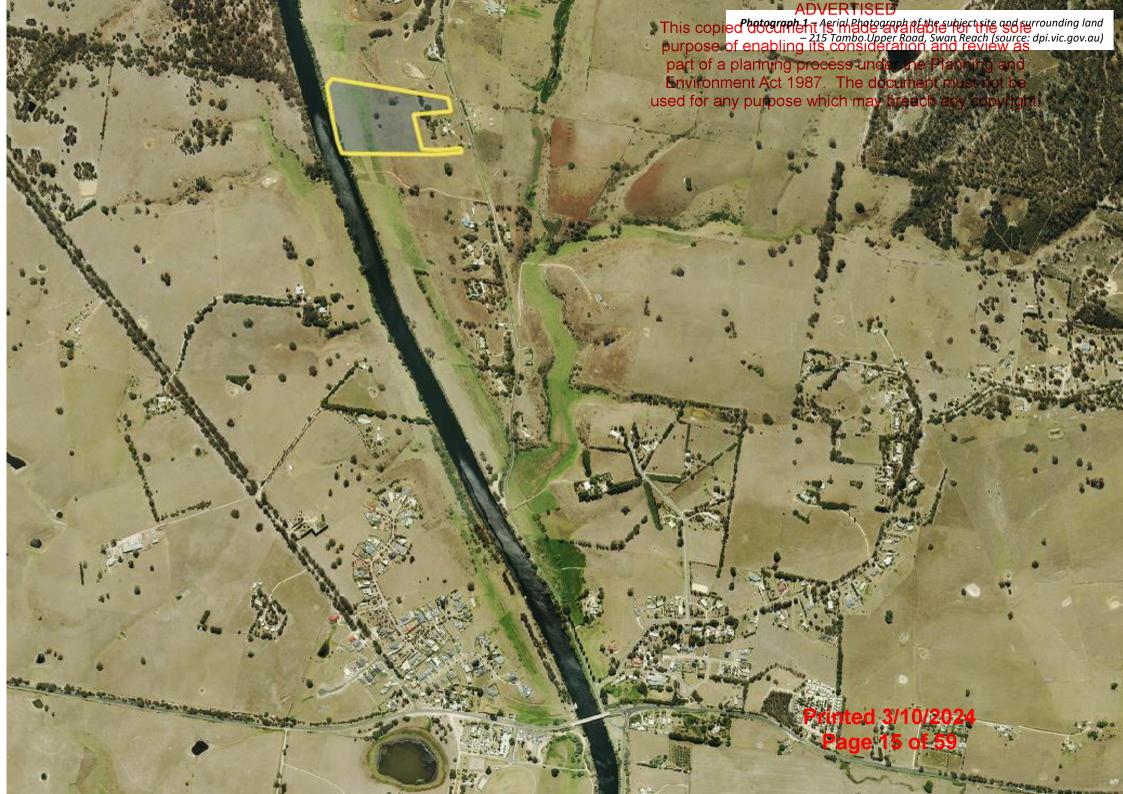
Adjoining the northern and southern boundary is vacant rural residential land. Adjoining the eastern boundary is Tambo Upper Road, an existing dwelling and associated facilities. Adjoining the western boundary is the Tambo River and further vacant farming land.

The subject site is located northwest of Swan Reach within an existing rural residential area. The area is undulating in nature, with dwellings scattered along the ridge maximising the views over the Tambo River.

Swan Reach is a small community located approximately 21km east of Bairnsdale along the Princes Highway. Swan Reach has limited services and facilities however, a full range of community and commercial services and facilities is located a short vehicle distance from the site in Bairnsdale or Lakes Entrance.

The subject site in relation to Swan Reach is shown in the aerial photograph below.







Photograph 2 – Subject site at 215 Tambo Upper Road, Swan Reach.



Photograph 4 – Existing outbuilding on subject site facing east.



Photograph 6 – Existing dam on subject site facing south.



Photograph 3 – Existing driveway access to subject site.



Photograph 5 – Existing dwelling under construction on subject site facing north.



Photograph 7 – Subject site facing north.

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Photograph 8 – Subject site facing east.



Photograph 10 - Subject site facing west at proposed location of the second dwelling.



Photograph 12 – Neighbouring property adjoining the eastern boundary at 201 Tambo Upper Road, Swan Reach along the western boundary of Tambo Upper Road.



Photograph 9 – Subject site facing southwest.



Photograph 11 – Neighbouring property adjoining northern boundary at 219 Tambo Upper Road, Swan Reach.



Photograph 13 – Neighbouring property adjoining the eastern boundary at 208 Tambo Upper Road, Swan Reach along the eastern boundary of Tambo Upper Road.

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Photograph 14 – Neighbouring property adjoining the southern boundary at 185 Tambo Upper Road, Swan Reach.



Photograph 16 – Tambo Upper Road facing south.



Photograph 15 – Tambo Upper Road facing north.

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3. THE PROPOSAL

This application seeks approval for use and development of a second dwelling. The proposed development plans are contained in Appendix B.

The proposed dwelling will be located in the southern portion of the subject site with a setback of approximately 20.36 metres to the southern boundary, 37.92 metres to the eastern boundary, 191.89 metres to the western boundary and approximately 103 metres to the dwelling under construction on the site.

The proposed dwelling will have a total building footprint of approximately 135.44m² and will be a single storey dwelling. The overall proposed height of the dwelling is 4.85 metres.

The finished materials and colours of the proposed dwelling will include James Hardie Axon cladding with a painted finish of Light Grey and custom orb roof sheeting in the Colorbond colour Momument. An extract of the proposed site plan and elevations is provided to the right and in Appendix B.

Vehicle access to the site is existing via a gravel driveway entering in the northern portion of the eastern boundary directly from Tambo Upper Road. An additional access point is is

available in the southern portion of the least for any purpose available in the southern portion of the least for a southern port boundary as indicated on the proposed development plans.

The proposed second dwelling will connect to all available services including electricity, reticulated water, telecommunications and the existing road network. Wastewater will be treated and retained on site via a secondary treatment system as recommended within the Land Capability Assessment contained in Appendix D.

Some earthworks will be required however will not exceed 1 metre in depth. Given there will be two dwellings on the site a Geotechnical Risk Assessment waiver is contained in Appendix C.

facilitate the development of a second dwelling.

The proposed second dwelling will be used for residential purposes and will allow the owners elderly parents to live independently while being close to family, enhancing their safety, reducing isolation, and providing immediate access to support when needed, all of which contribute to their overall well-being and quality of life.

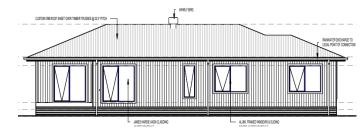
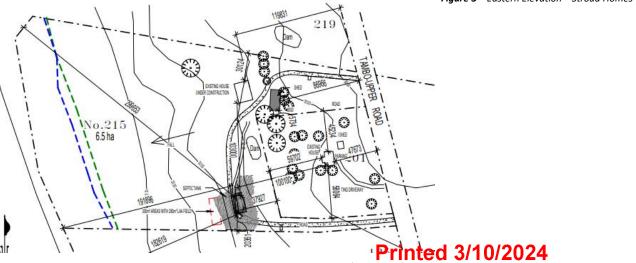


Figure 3 – Eastern Elevation – Stroud Homes



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4. ZONES AND OVERLAYS

Rural Living Zone – Schedule 2

The purpose of the Rural Living Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for residential use in a rural environment.
- To provide for agricultural land uses which do not adversely affect the amenity of surrounding land uses.
- To protect and enhance the natural resources, biodiversity and landscape and heritage values of the area.
- To encourage use and development of land based on comprehensive and sustainable management practices and infrastructure provision.

An extract of the Rural Living Zone Map is provided to the right in Figure 5.

Clause 32.03-1 provides a permit is required for the use as the Section 1 condition cannot be met. All of the conditions set out in Clause 32.03-2 are met. Clause 35.03-4 provides a permit is required for buildings and works associated with a Section 2 use. As such a permit is required for the use and development of a second dwelling, the relevant ଧୃକଣ୍ଡର୍ଗନ୍ୟ any purpose which may breach any copyright. guidelines are addressed in Section 5 of this submission.



Figure 5 – Rural Living Zone – (source - mapshare.vic.gov.au)

Erosion Management Overlay

The purpose of the Erosion Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.

An extract of the Erosion Management Overlay Map is provided to the right in *Figure 6*.

Clause 44.01-2 provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is not required for the development of a dwelling, replacement dwelling or small second dwelling. The proposal is seeking approval for a second dwelling and as such a permit is required. The relevant decision guidelines are addressed in Section 5.

A Geotechnical Risk Assessment Waiver is provided in *Appendix C*.

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Figure 6 – Erosion Management Overlay – (source - mapshare.vic.gov.au)

Environmental Significance Overlay - Schedule 1-58

The purpose of the Environmental Significance Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas where the development of land may be affected by environmental constraints.
- To ensure that development is compatible with identified environmental values.

An extract of the Environmental Significance Overlay Map is provided in *Figure 7*.

Clause 42.01-2 provides a permit is required to construct a building or construct or carry out works. The proposed second dwelling will not be located in the area affected by the Environmental Significance Overlay and as such a permit is not required, this is not addressed further.

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Figure 7 – Environmental Significance Overlay – (source - mapshare.vic.gov.au)

Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is recognised as being partially within an area of Aboriginal Cultural Heritage Sensitivity.

The proposed buildings and works are not within the area identified as being of cultural heritage significance in addition to the development of one or two dwellings being an exempt activity, and as such a Cultural Heritage Management Plan is not required.

An extract of the Aboriginal Cultural Heritage Map is provided to the right in *Figure 8*.

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Figure 8 – Aboriginal Cultural Heritage Map – (source - mapshare.vic.gov.au)

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5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of the applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at Clause 02 and the Planning Policy Framework at Clause 10 providing for an appropriate second dwelling that can be respectful of the existing surrounding development and the environment.
- The proposal will contribute to a high standard of environmental sustainability, urban design and amenity by designing the proposed second dwelling to meet the constraints of the land reducing any potential negative environmental implications as sought to achieve by the relevant clauses including Clause 02.03 and Clause 11.
- Clause 02.03-1 identifies Swan Reach as a rural settlement. The Twin Rivers region is located to the east of Bairnsdale and includes the smaller town of Johnsonville, Swan Reach and Nicholson.
- The proposed dwelling will connect to all available services and infrastructure

including electricity, reticulated used for any purpose which may he he any heart the limit including electricity, reticulated used for any purpose which may he he any heart the limit is a limit of the limit including the limit is a limit of the limit telecommunications and a good quality road network. Wastewater will be treated retained within the allotment boundaries via a secondary treatment septic system as recommended in the Land Capability Assessment contained in Appendix D. Wastewater will be managed an appropriate distance from the nearby Tambo River.

- Clause 13.04-25 requires consideration of erosion and landslip. The subject site and proposed development is within an area identified as being susceptible to erosion. Some earthworks will be required to create a level surface for the construction of the proposed second dwelling however will not exceed 1 metre in depth. All preventative measures will be undertaken during the construction phase of the proposed development to ensure no erosion hazards occur. A Geotechnical Risk Assessment Waiver is contained in Appendix C that concludes the proposal is unlikely to contribute or cause additional erosion hazards.
- The proposal meets the objectives of **Clause 16** by providing for a second dwelling within an existing rural living area, that will in turn support housing for the community.

- the decision guidelines of the Rural Living Zone at Clause 35.03-5 which seeks to provide for residential use in a rural environment.
- The proposed use and development of a second dwelling will result in an appropriate development that will be used for residential purposes, specifically to accommodate the owner's elderly parents.
- The proposed development will be located in the southern portion of the and will have appropriate setbacks from the boundaries, watercourse and dwelling not in the same ownership.
- The Tambo River adjoins the subject site along the western boundary. The proposed development is likely to be visible from the water however will not be visually obtrusive or out of character to other development in the locality.
- Access to the subject site is existing via the gravel driveways directly from Tambo Upper Road. The southern access point will require upgrading.
- No vegetation is required to be removed to facilitate the proposed second dwelling.
- The proposal is consistent with the decision guidelines of the Erosion Management Overlay at Clause 44.01 which seeks to

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location. The dwelling will be loussed for any purpose which may breach any copyright, suitable distance from any other dwelling.

 There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.

- protect areas prone to erosion, landslip, other land degradation.
- The proposal will require some earthworks to create a level building site however will not exceed 1 metre in depth. Disturbed ground will be appropriately battered and sown with grass to ensure no erosion occurs. A Geotechnical Risk Assessment Waiver is contained in *Appendix C* that concludes the risks associated with erosion can be reduced to an acceptable level.
- This submission has addressed the decision guidelines of Clause 65, and the proposed use and development supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
- Access will be provided for the proposed second dwelling as indicated on the proposed development plans, there will be no negative impact on the existing road network. The increased traffic as a result of the proposal is unlikely to generate any negative impact on the existing road network.
- The subject site cannot be further subdivided, and this is not the intention.
 The proposed second dwelling does not create an unreasonable density in this

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6. CONCLUSION

This submission is in support of a planning permit application for the use and development of a second dwelling at 215 Tambo Upper Road, Swan Reach.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed development is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Rural Living Zone and the Erosion Management Overlay.
- The risks associated with erosion can be reduced to an acceptable level.
- The design of the building is complementary to the existing surrounding development and is consistent with the character of the area.

It is requested that a planning permit be granted for this development.

Development Solutions Victoria

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Disclaimer:

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P.O. Box 1700 P.O. Box 566 111 Main St 191-193 Raymond St Bairnsdale, Vic, 3875 Sale, Vic, 3850 ACN 145 437 065 ACN 073 392 266 Ph: (03) 5153 1500 Ph: (03) 5144 6688



le for the sole

16 May 2024

Jordan Bennett 215 Tambo Upper Rd Swan Reach VIC 3903

Email: info@logansmicrodistillery.com.au

Dear Jordan,

Proposed DPU Dwelling Re: 215 Tambo Upper Rd, Swan Reach

After having visited the above mentioned property, I request a Geotechnical Risk Assessment report waiver for the planning application of the above mentioned development. The reasons for the waiver are as follows;

- 1. There is no evidence of soil erosion or landslip on the subject site or adjoining rural properties and I would consider the geotechnical risks to be low.
- The site is situated (mid slope) on a rolling low hill landform with moderate grades (approx. 1 in 5) and excellent grass coverage, preventing topsoil from being washed away (even in the heaviest torrential downpours)
- Natural soils of the site (Dense Gravelly, Silts, overlying Stiff Clays) will have adequate strength and stability for residential slabs, footings and retaining walls.
- The dwelling development will be light framed, timber floor on concrete stumps and footings. This will result in the least amount of disturbance to the sites topsoils and eliminate any risk of erosion.
- Any construction works associated with the new dwelling would be protected by Building Code of Australia, Australian Standards, Building and Planning Permit requirements, and normal construction practice.

If you have any further queries please don't hesitate to contact me.

Yours faithfully

Simon Anderson CPEng MIEAust **Chartered Professional Engineer** NPER-3 No 930355 BCC No EC-1711

417762 gra letter

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P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266

P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065

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Environment Act 1987. Client: Jordan Bennett

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LAND CAPABILITY ASSESSMENT **ON-SITE DOMESTIC WASTEWATER**



215 Tambo Upper Rd, Swan Reach

INTRODUCTION 1.0

SAC were engaged to undertake an LCA for the purpose of on-site domestic wastewater management of the Proposed Second Dwelling at 215 Tambo Upper Rd, Swan Reach. The field investigation and report have been undertaken by suitable experienced staff.

The assessment was completed in accordance with the EPA's Code of Practice - Onsite Wastewater Management (EPA Publ. No. 891.4, July 2016), EPA's guidelines for On-Site Wastewater Management (May 2024), On-Site Domestic Wastewater Management (AS/NZS 1547:2012) and East Gippsland Shires DWMP.

betailed recommendations presented pg 7 of report. LCA is to be read in conjunction with Site Features Plan $417/62$ -LC1			
Subject Land	215 Tambo Upper Rd, Swan Reach		
Client	Jordan Bennett		
Email Address	info@logansmicrodistillery.com.au		
Contact	Mobile: 0448 653 554		
Map Reference	Vicroads 84 F6		
Municipality	East Gippsland Shire Council		
Proposed Development	2 Bedroom Residence (Potential Occupancy = No. of Bedrooms + 1) ¹		
Design Flow	150 L/person/day ² (for reticulated water supply and full water reduction fixtures)		
Anticipated Wastewater Load	450 L/day		
Treatment System Required	Secondary treated effluent to minimum 20/30 standard (ie. AWTS ³ or sand filter)		
Disposal System Required	Sub-surface irrigation – Area of 280m ²		

¹ As identified in Victorian EPA Draft Code of Practice – Onsite Wastewater Management (publication Printing 18 Mac 0 12.0124.

² As identified in Victorian EPA Draft Code of Practice – Onsite Wastewater Management (publication 891.4, July 2016) Table 4

417762 LCA (DPU)

³ AWTS – Aerated Wastewater Treatment System (EPA approved)



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2.0 PURPOSE/SCOPE OF ASSESSMENT

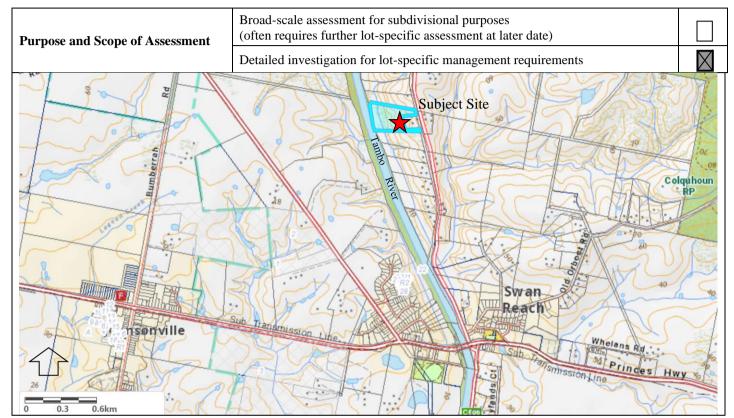


Figure 1: Locality Plan



Figure 2: Aerial view of subject site (approximate title boundaries sipple 29 of 59



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3.0 SITE KEY FEATURES

Criteria / Feature	Description	Implications for Wastewater Management
Allotment/s		
Title details	Lot 1, PS 734366	Council Property No: 100281
No. of Lots Proposed	1	1 2
Lot size	6.5 ha	Large allotment, with ample capacity to locate
(EPA recommended minimum		dwelling and effluent field in a number of sites
lot size = 1.0 ha)		within allotment boundaries and hence for effluent
		to be contained on-site.
Dwelling Usage	Dependent Persons Unit - Likely to be permanent	
Adjoining Lot sizes	Small rural lots 1.3 ha – 4.5 ha in size.	Overall volume of wastewater being disposed to land
C I III	Did D W (d l , d d)	in the local district is low.
Current Land Use	Existing Dwelling (currently under construction)	Current Wastewater generation is negligible
Infrastructure	T = 121	T
Zoning & Overlays	Rural Living Zone (RLZ)	
	Environ. Signif. Overlay-Schedule 1-58 (ESO1-58)	
Nearest Reticulated Sewer	Erosion Management Overlay (EMO) Township of Swan Reach	Not feasible to connect to reticulated sewer. The area
Nearest Reticulated Sewel	Township of Swan Reach	is unlikely to be sewered in the short to medium term
		future.
Reticulated Water	Available on existing allotment	Increases the risk of excessive water usage by future
	Transcre on Chisting arrounded	dwellings.
Power	Available on existing allotment	Allows ready use of wastewater treatment plant
Land Features		,
Geology	Nl (Tm-p) – Tertiary Non-Marine deposits	Observed Soils dominated by sandy loams,
	consisting Marine, non-marine: gravel, sand. (from	overlying heavy clays
	1:250,000 Geological Map Series BAIRNSDALE)	
Elevation	Approx 25-35m AHD	
Landscape Elements	The site is situated on the mid slope (waxing	Well contoured landscape providing excellent
	divergent) of a rolling low hill system, with a	surface water shedding accelerates and spreads run-
	yellow duplex sedimentary landscape	off.
Fill	Natural soil profiles were observed throughout the	No filling is proposed in the effluent management
	site. No fill was observed.	area.
Aspect	Site slopes west	Increases sun exposure for improved efficiency of effluent disposal field
River/Stream Catchment	Tambo River adjacent to subject sites west boundary	Necessary setbacks are easily achieved
Dams/Surface Water	Small agricultural dam located north, and upslope of	Risk is reduced
Ballis, Sarrace Water	the proposed LAA.	THIS IS ISSUED
Rock Outcrop	None	Reduces limitations and maximises efficiency of
•		effluent disposal fields
Erosion	No evidence of sheet or rill erosion.	The erosion hazard is low.
Vegetation	Pasture/Grass	No vegetation clearing required for establishment of
		effluent disposal field or dwelling development
Climate	Temperate	Reduces variation in efficiency of effluent field
Solar Exposure	High	Increases efficiency of effluent disposal field
Recommended Buffer	All buffer distances recommended in Table 5 of EPA	
Distances	Publication 891.4, (July 2016) are achievable and do	
A 11.11 T 1.4 11 11	not significantly limit siting of the LAA in this case	D i d d i
Available Land Application	Considering all site constraints and the buffers	By using a system that provides secondary treatment
Area (LAA)	mentioned above, the site has ample land that is	and pressurized sub-surface irrigation, there will be
	suitable and available for land application of treated	ample protection for surface and groundwater
	effluent.	



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4.0 SOIL ASSESSMENT & CONSTRAINTS

The sites soils have been assessed for their suitability for onsite wastewater management by a combination of soil survey and desktop review of published soil survey information as outlined below.

4.1 Published Soils Information

Soils of the site have been mapped and described in Sustainable Soil Management "A reference manual to the major agricultural soils of the Bairnsdale and Dargo regions" and are described as belonging to the Stockdale (Sd) map unit with Munro (Mu). This unit occurs on rolling low hills and is comprised of Tertiary sediments and sands. Most of the land has been cleared of native vegetation and used for grazing. The surface soils are mostly fine textured soils, with a sandy loam to fine sandy loam sharply separated from a medium clay subsoil occurring at around 20-40cm, although some subsoils are clayey sands and sandy clays. Some of the sandier surface soils have developed a "coffee rock" layer at the base of the A2 horizon.

Soil Profile Morphology - Stockdale (Sd) Map unit

Surface soil

A1 0 – 300 Dark greyish brown (10YR4/2); sandy loam; weak medium (10 – 20 mm) polyhedral structure; firm moist; clear wavy change to:

A2 300 – 500 Pale brown (10YR6/3) conspicuously <u>bleached</u> (10YR/8/1d); sandy loam or loamy sand; apedal, single grain; firm consistence dry; sharp change to:

Subsoil

B21 500 – 800 Yellowish brown (10YR5/6); *heavy clay*; moderate coarse (20 – 50 mm) polyhedral structure; strong <u>consistence</u>, moist; diffuse change to:

B22 800 – 1m Yellowish brown (10YR5/6) with greyish brown (10YR5/2) and increasing yellowish red (5YR5/6) mottles; heavy clay; moderate coarse (20 – 50 mm) lenticular structure; strong consistence moist.

Key profile features

- Strong texture contrast between the surface (A) horizons and subsoil (B) horizons.
- Conspicuously bleached subsurface (A2) horizon.

4.2 Soil Survey and Analysis

A Soil survey was carried out at the site to determine suitability for application of treated effluent. Subsoil investigations were conducted at two locations in the vicinity of the proposed building, as shown on the Site Features Plan, using a hand auger (B1-2). This was sufficient to adequately characterise the soils, as only minor variation would be expected throughout the area of interest.

Samples of all discrete soil layers for test bore 1 was collected for subsequent laboratory analysis of pH⁴, electrical conductivity⁵ and Emerson Aggregate Class⁶. The soil profile of bore 2 is detailed below.

Depth (m)	Description	Horizon
0.0	TOPSOIL: 10YR4/2 Dark Greyish Brown Dry	A1
0.1		
0.2	SILT: 10YR5/3 Brown Dry Very Dense Sandy	A2
0.3		
0.4	CLAY: 10YR3/6 Dark Yellowish Brown	B1
0.5	Moist, Stiff Clay	
0.6		
0.7		
0.8		
0.9		
1.0+		



⁴ The pH of 1:5 soil/water suspensions was measured using a Merck pH strip

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⁵ EC (dS m⁻¹) was calculated by measuring the electrical conductivity of 1:5 soil water suspension.

⁶ Appendix C shows photographic results of Emerson Aggregate Test (Slaking/Dispersion) 417762 LCA (DPU)

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Soil Features: TEST BORE B1					
Soil Horizon	A1	A2	B1		
Depth (mm)	0-200	200-400	400+		
Boundary Type		Gradual	Gradual		
Field Texture Grade ⁷	L	FSL	НС		
Structure	Moderate	Weak	Massive		
pH	6	6	6		
EC (dS m ⁻¹)	0.00	0.00	0.03		
Dominant Colour	10YR3/2 Very Dark Greyish Brown	10YR5/3 Brown	10YR4/67 Dark Yellowish Brown		
Mottles	-	-	-		
Dispersion	5	5	2		
Coarse Fragments (% Volume)	None	None	None		
Soil Category ⁸ (AS/NZ1547:2012)	3a	3b	6с		
Design Irrigation Rate ⁹ (DIR mm/day)	4	4	2		
Design Loading Rate ¹⁰ (DLR mm/day)	15	10	NR		

NA: Not Applicable NR: Not Recommended

	Depth (m)	Description	Horizon
	0.0	TOPSOIL: Moist, Loamy	A1
	0.1		
	0.2	SILT: Moist, Dense, Fine Sandy	A2
	0.3		
	0.4	CLAY: Moist, Stiff	B1
	0.5		
	0.6		
	0.7		
	0.8		
	0.9		
	1.0		
	1.2		
	1.5+		



Soil Bore Log Profile

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⁷ Refer Appendix D for description details(all soil samples have been sieved to minus 2mm and air-dried before being analized)

⁸ As identified in Victorian EPA Code of Practice – Onsite Wastewater Management (publication 891.4<mark>P) | pipel</mark> | pipel |

⁹ For sub-surface irrigation (Refer Table M1 of AS/NZS 1547:2012)

¹⁰ For absorption trenches/beds



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Land features	Land capability class rating							
	Very good (1)	Good (2)	Fair (3)	Poor (4)	Very Poor (5)			
General characteristics								
Site drainage	No visible signs of dampness	Moist soil, but no water in pit		Visible signs of dampness	Water ponding on surface			
Runoff	None	Low	Moderate	High - diversionary structures req'd	Very High - diversion not practical			
Flood/inundation potential (yearly return exceedence)		ver	< 1 in 100	< 1 in 30	> 1 in 20			
Proximity to watercourses	> 6	0m			< 60m			
Slope (%)	0 - 2	2 - 8	8 - 12	12 - 20	> 20			
Landslip	None I	Evident	Low potential for failure	High potential for failure	Present or past failur			
Seasonal water table depth (m) (incl. perched water tables)	>5	5 - 2.5	2.5 - 2.0	2.0 - 1.5	< 1.5			
Rock Outcrop (% of land surface containing rocks > 200mm)	0	< 10%	10-20%	20-50%	>50%			
Vegetation Type	Turf or pasture				Dense forest with little understorey			
Average Rainfall (mm/yr)	< 450	450 - 650	650 - 750	750 - 1000	> 1000			
Pan Evaporation (mm/yr)	> 1500	1250 - 1500	1000 - 1250	-	< 1000			
Fill	No Fill		Fill present					
Soil profile characteristics*								
Structure	High	Moderate	Weak	Massive	Single Grained			
Profile depth (of limiting Horizon B1)	> 2.0m	1.5m - 2.0m	1.5m - 1.0m	1.0m - 0.5m	< 0.5m			
Soil permeability category ¹¹	2 and 3	4		5	1 and 6			
Presence of mottling	None		Some		Extensive			
Coarse Fragments (% volume)	<10	10-20	20-40		>40			
рН	6 - 8		4.5 - 6		<4.5,>8			
Emerson Aggregate Test (dispersion/slaking)	4, 6, 8	5	7	2, 3	1			
Salinity (dS/m) (Electrical Conductivity)	<0.3	0.3 - 0.8	0.8 - 2	2 - 4	>4			
Overall Site Rating ¹²			Poor		4			

^{*} relevant to the sites most restrictive soil layer(s)

¹² A description of each Land Capability Class Rating is provided in Appendix A. 417762 LCA (DPU)

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¹¹ Refer Table 5.1 (Determination of Soil Category) of AS/NZS 1547:2012

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6.0 CONCLUSION

This LCA has been prepared to accompany a development application to East Gippsland Shire Council for a Proposed Second Dwelling and associated necessary wastewater management system. As such, this report provides recommendations for treatment and land application systems that are appropriate to the land capability.

The site has a number of limitations that result in the development being unsuitable for Primary treatment only (i.e. traditional septic tank and subsoil absorption trenches:

- Limiting Horizon B1 (Heavy Clays) have a very low permeability rate,
- Heavy Clays at shallow depths (400mm),
- Massively structured (Category 6c) clay soils not suitable for disposal via absorption trenches.

The following section provides an overview of a suitable system, with sizing and design considerations. **Detailed design for the system is beyond** the scope of this study, but should be undertaken at the time of building application and submitted to Council.

7.0 RECOMMENDATIONS

It is recommended based on this LCA, that if the development of a Proposed Second Dwelling on 215 Tambo Upper Rd, at the location indicated on the Site Features Plan 417762 - LC1:

- Install a system that provides secondary treatment with disinfection to meet EPA requirements for irrigation. Indicative target effluent quality is a minimum EPA standard 20mg/L BOD and 30mg/L SS. Several suitable options are available, including aerated wastewater treatment systems (AWTS) and single pass sand filters. Either of these options is capable of achieving the desired level of performance and final selection is the responsibility of the property owner, who will forward details to Council for approval.
- On-site disposal of domestic wastewater should occur within the proposed Land Application Area (refer Site Features Plan 417762 LC1). The client is allowed flexibility in selecting the final location and configuration of the irrigation system, provided it remains within this envelope and in accordance with the relevant codes/standards.
- Subsurface irrigation will provide beneficial reuse of wastewater and this will be especially desirable given that the site is not serviced by town water. It will ensure the risk of effluent being transported off this site will be negligible.
- Calculation of Irrigation Area based on AS/NZ 1547 equation A=Q/DIR
 - \triangleright Q 450 L/day;
 - \triangleright DIR¹³ 1.6 mm/day;
 - ➤ Irrigation Area 280 m²
- To determine if the irrigation area recommended above is adequate, a water balance 14 modelling has been undertaken to achieve a maximum wet weather storage depth of less than 10mm. The calculations are summarized below, with full details in Appendix B.
 - ➤ Average daily effluent load 450 L
 - ➤ Design irrigation rate (DIR) 1.6 mm/day;
 - ightharpoonup Crop factor 0.6 to 0.85; and
 - ➤ Retained Rainfall 75%.
 - ➤ Irrigation Area 280m²
 - ➤ Max Wet Weather Storage Depth 6 mm (therefore area shown in bold to be adopted)
- Minimum setbacks and buffer distances must be obtained when establishing effluent disposal envelopes, as per EPA Code of Practice Onsite Wastewater Management, publication 891.4, (July 2016).
- The owner shall consult an irrigation expert familiar with wastewater irrigation equipment, to help design and install the irrigation system. The irrigation plan must ensure good, even application of effluent.

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^{13 20%} reduction in DIR required due to LAA slopes greater than 10% (as per AS1547:2012, table M2, pg 163)
14 Water Balance undertaken in accordance with EPA Publication 168 (1991), Guidelines for Wastewater Fra.g.e. 34 of 59
417762 LCA (DPU)

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8.0 MANAGEMENT PROGRAM

8.1 Installation Issues

To ensure the satisfactory installation and operation of the AWTS and sub-surface irrigation, the following measures are to be implemented:

- Construction of a shallow table or cut-off drain along the high sides of the effluent disposal area, extending to below the effluent disposal field;
- Overflow from any water storage tanks to be directed into a table drain, or equivalent, to discharge below the effluent disposal field in a manner to avoid scouring or washing away downstream of the discharge point;
- Stormwater flows from the roof must be discharged at a point well clear of the effluent disposal field and runoff from paved surfaces and driveways must be directed away from the disposal site.
- Installation of the sub-surface irrigation system to be undertaken when the soils are dry or moist, not when the ground is saturated;
- Sub-surface irrigation system to be designed to minimise root intrusion from trees;
- Sub-surface irrigation system to utilise pressure dosing to ensure effluent is applied uniformly throughout the effluent disposal area.

8.2 Ongoing Management & Maintenance Issues

To ensure the satisfactory ongoing performance of the proposed AWTS and sub-surface irrigation, the owners/occupiers will need to ensure that:

- No buildings or impermeable surfaces are constructed on or over the effluent disposal areas;
- Heavy equipment is kept away from effluent disposal areas whilst the soil is saturated;
- The effluent disposal field is maintained as a grassed area, or planted out with shrubs that tolerate wet conditions, have high evapotranspiration capacity and can tolerate phosphorus levels typically found in treated effluent;
- Trees and/or thick shrubs <u>are not</u> to be planted out along the northern or western edges of the effluent disposal areas to prevent exposure to both wind and sun .

The installer of the AWTS and sub-surface irrigation is to ensure that the owners/occupants are aware of and fully understand their responsibilities in relation to operating the treatment system, maintenance requirements and what should be done in the event of any problems. The satisfactory ongoing performance and longevity of the AWTS and sub-surface irrigation can be enhanced by:

- Ensuring that maintenance requirements are undertaken regularly in accordance with the systems' requirements and that both they and future owners/occupiers are aware of the systems capabilities, limitations and ongoing requirements;
- Using biodegradable soaps, low phosphorous detergents and detergents that have low salt, sodium and chlorine levels;
- Limiting the use of germicides (such as strong detergents, disinfectants, toilet cleaners, whiteners and bleaches);
- Not flushing disposable nappies, sanitary napkins or other hygiene products into the systems;
- Not flushing chemicals, paint or similar substances into the systems.

NOTE: This report and associated plan(s) does not constitute a Septic Tank Permit. Such a permit should be obtained separately from the Environmental Health Department of East Gippsland Shire Council after development approval is obtained and prior to plumbing works commencing.

APPENDIX A

Capability Class	Degree of Limitation	General Description
Rating 1	None to Very Slight	The proposed subdivision is suitable for on-site disposal of septic tank discharge. The limitations or environmental hazard from long-term use are considered very slight. Standard performance measures for design, installation and management should prove satisfactory.
Rating 2	Slight	The site has been identified as generally suitable for on-site effluent disposal but there is a slight associated environmental hazard expected. One or more land limitations are present, which may not be compatible with 'straight forward' conventional on-site disposal. The wastewater management program will require careful planning, adherence to specifications and adequate supervision.
Rating 3	Moderate	The site has only a fair capability for on-site effluent disposal with a moderate associated environmental risk always present. Very careful site selection, preparation and specialized design will be required to address the identified land constraints. A management program should be delivered to the responsible authority with the development application and prior to earthworks commencing. It is recommended that, in order to achieve BPEM, wastewater-processing systems which can attain a higher level of treatment with basic monitoring should be considered as an alternative to standard conventional trench disposal.
Rating 4	High	Areas have a poor capability rating with a high associated environmental risk. Considerable difficulties are expected during siting and installation of the wastewater treatment system and during routine operation. A very high Engineering input and close supervision would be needed to minimize the environmental impact. Alternative wastewater processing systems capable of consistently producing a high quality secondary effluent (such as aerated wastewater treatment plants) together with a close monitoring program should be seriously investigated and adopted.
Rating 5	Severe	Areas have a very poor capability and there is severe associated environmental risk. The areas are not generally considered suitable for disposal of septic tank effluent by trench systems. The high levels of Engineering input and management needed at all stages are unlikely to adequately address the identified land constraints and achie last table of the constraints are not generally considered severally and the constraints are not generally considered suitable for disposal of septic tank efficient and the constraints are not generally considered suitable for disposal of septic tank efficient and the constraints are not generally considered suitable for disposal of septic tank efficient and the constraints are not generally considered at all stages are unlikely to adequately address the identified land constraints and achieved a septiment of the constraints are not generally considered at all stages are unlikely to adequately address the identified land constraints and achieved a septiment of the constraints are not generally considered at all stages are unlikely to adequately address the identified land constraints and achieved a septiment of the constraints are not generally and the constraints are not generally considered at all stages are not generally and the constraints are not general

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APPENDIX B

Bairnsdale 085279 Evap.data Bairnsdale 084100

Mean average Pan evaporation

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Source: AS1547-1994 - Table G1 (Prepared by R.A. Patterson, Lanfax Labs. Armidale updated April 2006)

1			2	3	4	5	6	7	8	9
Month	Days	daily pan	Pan Eo	Et	Rainfall	Retained	LTAR*N	Disposal	Effluent	Size of
	per	Eo		+Cf*Eo	Р	Rainfall		rate/month	applied	area
	month	(B.Met)				Re=(1-r)P	1.6	(Et-Re)+	per month	(8)/(7)
								LTAR*N	450	
		mm	mm	mm	mm	mm	mm	mm	L	m2
Jan	31	6.6	204.3	174	48.9	36.7	49.6	186.6	13950	75
Feb	28	6.1	170.0	144	50.8	38.1	44.8	151.2	12600	83
Mar	31	4.8	148.8	126	44.7	33.5	49.6	142.6	13950	98
Apr	30	3.7	109.8	66	55.8	41.9	48	72.0	13500	187
May	31	2.6	80.0	48	47.3	35.5	49.6	62.1	13950	225
Jun	30	2.4	70.8	42	59.7	44.8	48	45.7	13500	295
Jul	31	2.4	73.8	44	49.1	36.8	49.6	57.0	13950	245
Aug	31	3.0	93.0	56	36.3	27.2	49.6	78.2	13950	178
Sep	30	3.8	114.9	69	52.7	39.5	48	77.4	13500	174
Oct	31	4.7	144.8	123	60	45.0	49.6	127.7	13950	109
Nov	30	5.5	165.9	141	80.9	60.7	48	128.3	13500	105
Dec	31	6.3	195.9	167	59	44.3	49.6	171.9	13950	81
		Totals	1571.9	1201	645.2	483.9				

TABLE G2 - Depth of stored effluent First trial - choose from col.9 table above

				-					10	
1	2	3	4	5	6	7	8	9	10	11
month	first trial	application	Disposal	(3)-(4)	Increase	Starting	increase	computed	reset if	equivalent
	area	rate	rate		depth of	depth	depth	depth	Et deficit	storage
	(m2)	(8)*/(2)	per month		stored	effluent	effluent	effluent	<0	10 x area
			(above)'		effluent	for		(X)		
		(mm)	(mm)	(mm)	(5)/porosity	month	+(6)	(mm)	(mm)	(L)
Dec								0.0	0	
Jan	280	50	187	-137	-342	0	-342	-342	0	0
Feb		45	151	-106	-265	0	-265	-265	0	0
Mar		50	143	-93	-232	0	-232	-232	0	0
Apr		48	72	-24	-60	0	-60	-60	0	0
May		50	62	-12	-31	0	-31	-31	0	0
Jun		48	46	3	6	0	6	6	6	527
Jul		50	57	-7	-18	6	-18	-12	0	0
Aug		50	78	-28	-71	0	-71	-71	0	0
Sep		48	77	-29	-73	0	-73	-73	0	0
Oct		50	128	-78	-195	0	-195	-195	0	0
Nov		48	128	-80	-200	0	-200	-200	0	0
Dec		50	172	-122	-305	0	-305	-305	0	0
Jan		50	187	-137	-342	0	-342	-342	0	0
Feb		45	151	-106	-265	0	-265	-265	0	0
Mar		50	143	-93	-232	0	-232	-232	0	0
Apr		48	72	-24	-60	0	-60	-60	0	0
May		50	62	-12	-31	0	-31	-31	0	0

From calculations in tables above for optimised drainfield area, using Appendix G AS1547-1994

Porosity in disposal area Variables Table Runoff Coeff = 0.25 percentage runoff Summer Crop Factor = 0.85 crop transpiration rate Oct-Mar

Winter Crop Factor 0.6 crop transpiration rate -Apr-Sep LTAR = 1.6 L/m2/day Change as required

FLOWS= 450 L/day

Estimated area of effluent drainfield = 280 square metres Maximum depth of stored effluent 6 mm depth

Water Balance Model for 2 bedroom dwelling

Printed 3/10/2024

(prepared by R.A. Patterson, Lanfax Labs. Armidale April 2007)

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P.O. Box 1700 111 Main St Bairnsdale, Vic, 3875 ACN 073 392 266

P.O. Box 566 191-193 Raymond St Sale, Vic, 3850 ACN 145 437 065

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APPENDIX C

RECORD OF FIELD TEXTURE DETERMINATION						
Soil	Grittiness	Stickiness	Plasticity	Stain	Ribbon (mm)	Grade
A 1	None	Slight	Slight	Moderate	25	L
A2	Slight	Slight	None	None	20	FSL
B1	None	Extremely	Extremely	Extremely	75+	HC

EXTREMELY NONE SLIGHT MODERATE VERY

APPENDIX D

		Texture Grade	Behaviour of moist blobs	Ribbon length (mm)	Approx clay content %
		Sand	coherence nil to very slight, cannot be moulded; sand grains of medium size; single sand grains stick to fingers	nil	< 5%
	LS	Loamy sand	slight coherence; sand grains of medium size; can be sheared between thumb and forefinger to give minimal ribbon of about 5mm	about 5	about 5%
2	CS	Clayey sand	slight coherence; sand grains of medium size; sticky when wet; many sand grains stick to fingers; discolours fingers with clay stain	5 - 15	5% to 10%
	SL	Sandy loam	bolus coherent but very sandy to touch; will form ribbon; dominant sand grains of medium size and readily visible	15 - 25	10% to 20%
	FSL	Fine sandy loam	as for sandy loams, except that individual sand grains are not visible, although they can be heard and felt	15 - 25	10% to 20%
3	L	Loam	bolus coherent and rather spongy; smooth feel when manipulated but with no obvious sandiness or "silkiness"; may be somewhat greasy to touch if much organic material present	25	about 25%
	ZL	Silty loam	coherent bolus, very smooth to silky when manipulated, will form a very thin ribbon and dries out rapidly	25	10% to 25%
	SCL	Sandy clay loam	strongly coherent bolus, sandy to touch; medium size sand grains visible in finer matrix	25 - 40	20% to 30%
	FSCL	Fine sandy clay loam	as for sandy clay loam, except that individual sand grains are not visible although they can be heard and felt.	40 - 50	20% to 30%
4	CL	Clay loam	coherent plastic bolus, smooth to manipulate	40 - 50	30% to 35%
	ZCL	Silty clay loam	as for clay loams but not spongy; very smooth and silky; dries out rapidly	40 - 50	30% to 35%
	SC	Sandy clay	plastic bolus; fine to medium sand can be seen, felt or heard in clayey matrix	50 - 75	35% to 40%
	SiC	Silty clay	plastic bolus; smooth and silky to manipulate; long but very fragmentary ribbon; dries out rapidly	50 - 75	30% to 40%
5	LC	Light clay	plastic bolus; smooth to touch; slight resistance to shearing between thumb and forefinger	50 - 75	35% to 40%
	LMC	Light medium clay	plastic bolus; smooth to touch; slight to moderate resistance to ribboning shear	75	40% to 45%
	МС	Medium clay	smooth plastic bolus; handles like plasticine and can be moulded into rods without fracture; has moderate resistance to ribboning shear	> 75	45% to 55%
6	НС	Heavy clay	smooth plastic bolus; handles like stiff plasticine; can be moulded into rods without fracture; has firm resistance to ribboning shear		50% +

Soil Texture Grade Table (International System, soil sieved < 2mm) & Table E1 (Assessment of Soil Textures) pg 106 of AS/NZS 1547:2012 Page 37 of 59



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Page No.: 11 of 11

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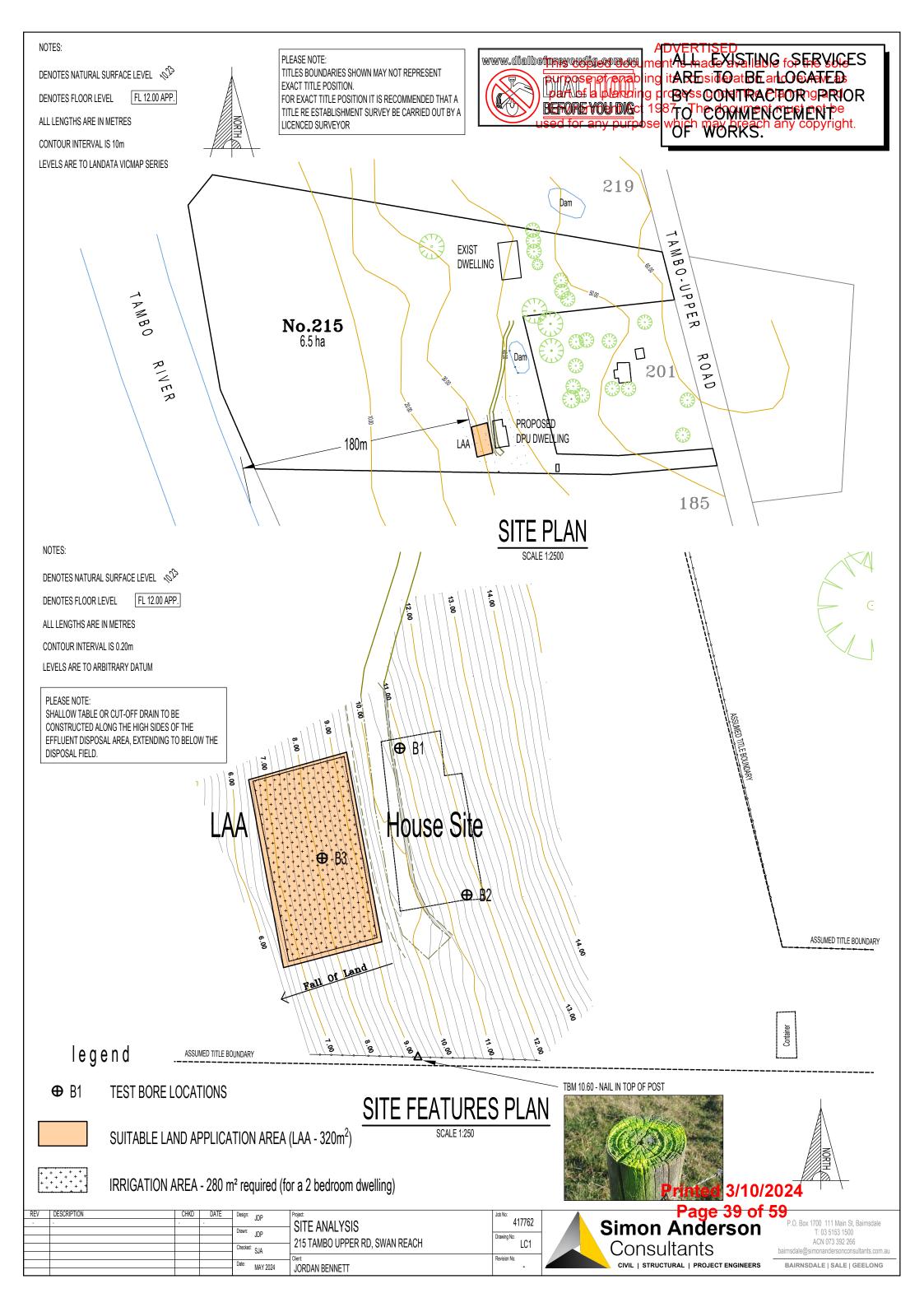
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Munsell Soil-Color Charts (2009 Year Revised / 2012 Production)





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APPLICATION BY A RESPONSIBLE AUTHORITY under Section 181 Planning and Environment Act 1987 for ENTRY OF A MEMORANDUM OF AGREEMENT under Section 173 of that Act.

CTORLE

The Responsible Authority under the Planning Scheme having entered into an Agreement with the parties named for the land described requires that a Memorandum of Agreement be entered on the Certificate of Title to the land referred to.

LAND Certificate of Title Volume 8294 Folio 669 ADDRESS OF LAND Tambo Upper Road, Swan Reach RESPONSIBLE AUTHORITY East Gippsland Shire Council PLANNING SCHEME East Gippsland Planning Scheme AGREEMENT DATE

A copy of the Agreement is attached to this Application

Robert Alfred Cunningham

Signature of the Responsible Authority

Name of Officer

AGREEMENT WITH

Date

JOHN TRAA (PLANNING OFFICER)

26/4/02

Printed 3/10/2024 Page 41 of 59

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THIS AGREEMENT is made the

BETWEEN:

EAST GIPPSLAND SHIRE COUNCIL of 273 Main Street, Bairnsdale ("the Responsible Authority") of the first part

and



ROBERT ALFRED CUNNINGHAM of Tambo Upper Road, Swan Reach ("the Owner") of the second part

WHEREAS

- A. The Owner is the registered proprietor of the land described in the First Schedule hereto ("the subject land") and have made Application to the Responsible Authority under the East Gippsland Planning Scheme ("the Scheme") for a Permit to subdivide the subject land into 2 Lots.
- B. The Responsible Authority has granted Planning Permit No. 01/00267/DS dated the 20th October, 2001 ("the Permit") for a two Lot subdivision of the subject land subject (inter alia) to a condition as follows:-

"The owner of the land must enter into an Agreement with the responsible authority in accordance with Section 173 of the Planning and Environment Act 1987 which will provide and covenant that:-

- (a) The Lot 1 may not be further subdivided so as to increase the number of Lots.
- (b) The Lot 2 may not be further subdivided so as to increase the number of Lots beyond five.
- C. The Responsible Authority and the Owner have agreed that without restricting or limiting their respective powers to enter into this agreement and insofar as it can be so treated this Agreement shall be treated as being an Agreement under Section 173(1) of the Planning and Environment Act 1987.



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NOW THIS AGREEMENT WITHNESSETH as follows for

- In this agreement unless inconsistent with the context or subject matter "Owner" shall 1. mean the person or persons entitled from time to time to be registered by the Registrar of Titles as the proprietor or proprietors of an estate in fee simply of the subject land or any part thereof.
- 2. The Owner with the intent that its covenant hereunder shall run with the land hereby covenant and agree that:-
 - It will comply with the conditions of the Permit; (i)
 - Lot 1 may not be further subdivided so as to increase the number of Lots. (ii)
 - (iii) Lot 2 may not be further subdivided so as to increase the number of Lots beyond five.
 - (iv) This Agreement will being the Owner as the owner and shall run with the land so that all successors in title are bound by the Agreement. This Agreement will be prepared at the Owner's cost and to the satisfaction of the responsible authority, and shall be registered on title in accordance with Section 181 of the Planning and Environment Act 1987.

IN WITNESS whereof the parties hereto have hereunto set their hands and seals the day and year first hereinbefore written.

THE COMMON SEAL of the EAST GIPPSLAND SHIRE COUNCIL

was affixed on the

2002

day

. Chief Executive Officer

M Benett

SIGNED by the said ROBERT ALFRED

CUNNINGHAM in the presence of:-

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EAST GIPPSLAND SHIRE COUNCIL

and

ROBERT ALFRED CUNNINGHAM

DAB253839T-5-7

SECTION 173 AGREEMENT

Printed 3/10/2024 Page 45 of 59

GENERAL NOTES

DO NOT SCALE PLANS, USE WRITTEN DIMENSIONS ONLY

THE OWNER/BUILDER SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS,

SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING

CONFORM TO THE NCC OF AUSTRALIA 2017, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS, REPORT ANY DISCREPANCIES TO THIS OFFICE

ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE NCC AND THE AUSTRALIAN STANDARDS.

AS1288-2006 GLASS IN BUILDINGS - SELECTION AND INSTALLATION AS2047-2014 WINDOWS & EXTERNAL GLAZED DOORS IN BUILDINGS AS1562-1992 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING AS1684-2010 NATIONAL TIMBER FRAMING CODE AS2049-2002 ROOF TILES AS2050-2002 INSTALLATION OF ROOF TILES AS2870-2011 RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION

AS/NZ2904-1995 DAMP-PROOF COURSES AND FLASHINGS AS3600-2009 CONCRETE STRUCTURES

AS3660 - 2014 BARRIERS FOR SUBTERRANEAN TERMITES

AS3700-2011 MASONRY IN BUILDINGS AS3740-2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

AS3786-2014 SMOKE ALARMS TO BE HARWIRED & INTERLINKED AS4055-2012 WIND LOADING FOR HOUSING

AS4100-1998 STEEL STRUCTURES

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL AND

ENGINEERING COMPACTIONS AND DRAWINGS.

ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE

WITH AS3660.1.AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS.

SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES--ALL ROOMS-WITHIN 500mm VERTICAL OF THE FLOOR -BATHROOMS-WITHIN 1500mm VERTICAL OF THE BATH BASE -FULLY GLAZED DOORS -SHOWER SCREENS -WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL -WINDOW SIZES ARE NOMINAL ONLY ACTUAL SIZES WILL VARY -WITH MANUFACTURER FLASHING ALL ROUND.

GUTTERS WILL BE AS PER SPECIFICATION WITH MIN.100 X 50 RECTANGULAR, DOWNPIPES, BE POSITIONED AS PER AS 3500.3, 2003, SECTION 3.

STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE AS **DETERMINED BY** THE RELEVANT AUTHORITY.

TILED DECKS OVER LIVABLE AREAS ARE TO BE IN THE FOLLOWING ORDER OVER THE FLOOR JOISTS: 19mm COMPRESSED FIBRE CEMENT SHEET,

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS, IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE **PROXIMITY**

OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENSED SURVEYOR.

ALL WET AREAS TO COMPLY WITH NCC AND AS 3740 . SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN

OF THE WALL

SUB-FLOOR VENTILATION MINIMUM 750mm.SQ FOR EXTERNAL WALLS AND

SQ FOR INTERNAL WALLS BELOW BEARER.

THERMAL INSULATION AS PER ENERGY RATING REPORT

DRAWING LIST

DRAWING No.	DRAWING TITLE	DATE DRAWN	REVISION
01	TITLE PAGE	07/02/2024	В
02	BAL REQUIREMENTS	07/02/2024	В
03	SITE PLAN	07/02/2024	В
04	GROUND FLOOR PLAN	07/02/2024	В
05	BUILDING ELEVATIONS	07/02/2024	В
06	BUILDING ELEVATIONS	07/02/2024	В
07	BUILDING SECTIONS	07/02/2024	В
08	ROOF PLAN	07/02/2024	В
09	LIGHTING & ELECTRICAL PLAN	07/02/2024	В
10	TIMBER SUB FLOOR PLAN	07/02/2024	В
11	FLOOR COVERING	07/02/2024	В
12	WET AREA ELEVATIONS	07/02/2024	В
13	WET AREA ELEVATIONS	07/02/2024	В
14	BUILDING DETAILS	07/02/2024	В



LOCAL COUNCIL: WATER AUTHORITY: BUILDING SURVEYOR:

EAST GIBSLAND EAST GIPPSLAND COUNCIL

SIMON ANDERSON CONSULTANTS PTY LTD THERMAL PERFORMANCE ASSESSOR: ELITE ENERGY ASSESMENTS

STAIR REQUIREMENTS: MIN. TREAD 250mm. RISER 115mm. MAX. RISER 190mm, SPACE BETWEEN OPEN TREADS MAX. 125mm TREADS TO BE NON SLIP SURFACE. BALUSTRADES: MIN. 1000mm ABOVE LANDINGS WITH MAX.

OPENING OF 125mm, AND IN ACCORDANCE WITH NCC FOR STAINLESS STEEL BALUSTRADES REFER TO TABLE 3.9.2.1. (WIRE BALUSTRADE CONSTRUCTION - REQUIRED WIRE TENSION AND MAXIMUM PERMISSIBLE DEFLECTION) OF THE NCC.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF EXISTING AND NEW STRUCTURES THROUGH-OUT

IMAGES AND PHOTOGRAPHS MAY DEPICT FIXTURES, FINISHES AND FEATURES EITHER NOT SUPPLIED BY G.J. GARDNER HOMES OR NOT INCLUDED IN THE QUOTE AND CONTRACTS, INCLUDING SPECIFICATIONS AND COLOUR SELECTIONS. THESE ITEMS MAY INCLUDE FURNITURE, SWIMMING POOLS, POOL DECKS, FENCES, LANDSCAPING - INCLUDING PATHS, DRIVEWAYS, PLANTS, GARDENS, PLANTER BOXES, RETAINING WALLS, WATER FEATURES. PERGOLAS, SCREENS AND DECORATIVE LANDSCAPING ITEMS SUCH AS FENCING AND **OUTDOOR KITCHENS AND BARBEQUES.**

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NATIONAL CONSTRUCTION CODE OF AUSTRALIA

AUSTRALIAN STANDARDS

WIND SPEED N2 - W33

FSR

LB

FLOOR SPACE RATIO

LOAD BEARING

PROVIDE LIFT OF HINGES TO W.C. OR OPEN OUT DOOR OR MIN.1200MM CLEARANCE FROM DOOR TO PAN

NCC

AS

EXHAUST FANS FROM SANITARY COMPARTMENTS TO BE DUCTED TO THE OUTSIDE AREA AIR OR TO A VENTED ROOF SPACE AND AS PER AS 1668.2.

THESE NOTES ARE NEITHER EXHAUSTIVE NOR A SUBSTITUTE FOR REGULATIONS STATUTORY REQUIREMENTS, BUILDING PRACTICE OR CONTRACTUAL OBLIGATIONS.

ALL CONSTRUCTION MATERIALS SUPPLIED MUST TAKE INTO ACCOUNT PROXIMITY TO COSTAL OR INDUSTRIAL ENVIRONMENTS, IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

THE CONSTRUCTION OF DECK/S MORE THAN 1000mm ABOVE GROUND ARE TO BE SECURELY FIXED TO THE EXISTING BUILDING BY THE MEANS OF A POLE PLATE OF EQUAL OR GREATER STRENGTH AS THE BEAM/S IN THE DECK CONSTRUCTION. THE POLE PLATE IS TO BE FIXED TO THE EXISTING BUILDING BY THE USE OF 2/M12 BOLTS TO & BOTTOM @ 450 CENTERS. IF A SECURE FIXING CAN NOT BE MADE BY WAYS OF A POLE PLATE THAN IT IS THE RESPONSIBILITY OF THE BUILDER TO CONTACT TONY JAMES DESIGN FOR ADDITIONAL DESIGN INFORMATION

SITE NOTES

ALL STORMWATER AND DRAINAGE TO BE IN COMPLIANCE WITH NCC AS WELL AS/NZ8 3600-2009

ENSURE 90mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SILT PIT/S TO THE RBS

THE EXTERNAL FINISHED SURFACE SURROUNDING THE BUILDING MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADE TO PROVIDE A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.

A MINIMUM HEIGHT OF 150mm SHALL BE MAINTAINED BETWEEN THE TOP OF THE OVERFLOW GULLY RISER & THE LOWEST FIXTURE CONNECTED TO THE DRAIN. THE OVERFLOW GULLY RISER SHALL BE LOCATED AT 75mm ABOVE SURROUNDING GROUND LEVEL OR SHALL BE FINISHED AT A HEIGHT TO PREVENT THE INGRESS OF WATER WHEN LOCATED IN A PATH OR PAVED AREA.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100, DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY

ALL STORMWATER DRAINAGE BELOW GROUND SHALL BE SEWER GRADE WITH NO JOINTS UNDER SLAB INSTALLED TO AS3500:3,2003.

ALL POOL FENCING SHALL BE MINIMUM 1200mm HIGH AND IN ACCORDANCE WITH AS 1926.1-2012



STROUD HOMES

89 MAIN STREET, BAIRNSDALE VIC 3875 M: 0428 363 888

E: terry.young@stroudhomes.com.au

HOUSE TYPE:

CUSTOM HOME

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SITE ADDRESS

LOT 01 PS 734366 215 TAMBO UPPER ROAD **SWAN REACH VIC 3903**

CLIENT DETAILS:

NASTASSIA & JORDAN BENNETT

DETAILS CONSTRUCTION PLANNING DATE: TOWN PLANNING DATE: TOWN JAMES DESIGN PTY LTD TITLE PAGE 12/07/2024 A.B.N: 96 486 946 536 PER Ocense: DP-AD-44789 M: 0412 832 646 JOB NO: PAGES: P: (07) 5665 9230 01 OF 13 **A3** E: anthony@tonyjames.com.au SCALE: W: www.tonyjames.com.au

NOTE: BAL-12.5 is primarily concerned with protection from ember attack and radiant heat up to and including 12.5 kW/m² where the site is less than 100 m from the source of bushfire attack.

5.2 SUB-FLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor support where the subfloor space is enclosed with-

- a wall that conforms with Clause 5.4; or a mesh or perforated sheet with a maximum aperture of 2 mm, made of
- corrosion-resistant steel, bronze or aluminium; or a combination of Items (a) and (b)
- NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 5.7).
 - C5.2 Combustible materials stored in the subfloor space may be ignited by embers and cause an impact to the building.

5.3 FLOORS

5.3.1 General

This Standard does not provide construction requirements for concrete slabs on the ground.

5.3.2.1 Enclosed subfloor space

This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with-

- a wall that conforms with Clause 5.4: or
- a mesh or perforated sheet with a maximum aperture of 2 mm, made of
- corrosion-resistant steel, bronze or aluminium; or

5.3.2.2 Unenclosed subfloor space

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following:

- Materials that conform with the following: Bearers and joists shall be
 - non-combustible; o

 - bushfire-resisting timber (see Appendix F):or a combination of Items (A) and (B).
 - (i) Flooring shall be-
 - - bushfire-resisting timber (see Appendix F); or
 - timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation: or
 - a combination of any of Items (A), (B) or (C); or A system conforming with AS 1530.8.1.

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

5.4 WALLS

5.4.1 General

The exposed components of an external wall that are less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle of less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D) shall be one of the following:

- Non-combustible material including the following provided the minimum thickness
 - (i) Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.
 - Precast or in situ walls of concrete or aerated concrete (iii) Earth wall including mud brick; or
- Timber logs of a species with a density of 680 kg/rh or greater at a 12% moisture content; of a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.11); and gauge planed; or
- Cladding that is fixed externally to a timber-framed or a steel-framed wall and is
- non-combustible material: or
 - fibre-cement a minimum of 6 mm in thickness; or
- bushfire-resisting timber (see Appendix F); or
- a timber species as specified in Paragraph El, Appendix E; or
- a combination of any of Items (i), (ii), (iii) or (iv); or
- A combination of any of Items (a), (b) or (c), This Standard does not provide construction requirements for the exposed components of an external wall that are 400 mm or more from the ground or 400 mm or more above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall.

5-W/PSRintsK "http://www.standards.org.au"

All joints in the external surface material of walls shall be covered, sealed, overlapped

5.4.3 Vents and weepholes

Except for exclusions provided in Clause 3.6, vents and weepholes in external walls shall be screened with a mesh made of corrosion-resistant steel, bronze or aluminium.

5.5 EXTERNAL GLAZED ELEMENTS, ASSEMBLIES AND DOORS

Where fitted, bushfire shutters shall conform with Clause 3.7 and be made from

- non-combustible material: or
- a timber species as specified in Paragraph El, Appendix E; or
- bushfire-resisting timber (see Appendix F): or
- a combination of any of Items (a), (b) or (c). 5.5.2 Screens for windows and doors

Where fitted, screens for windows and doors shall have a mesh or perforated sheet made of corrosion-resistant steel, bronze or aluminium.

- The frame supporting the mesh or perforated sheet shall be made from
- metal: or bushfire-resisting timber (see Appendix F); or
- a timber species as specified in Paragraph E2, Appendix E. 5.5.3 Windows and sidelights

Window assemblies shall:

- Be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 5.5.1: or
- Be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2.
 - C5.5.3 For Clause 5.5.3(b), the screening needs to be applied to cover the entire assembly, that is including framing, glazing, sash, sill and hardware.
 - Conform with the following
 - Frame material For window assemblies less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3. Appendix D), window frames and window joinery shall be made
 - from one of the following: Bushfire-resisting timber (see Appendix F); or
 - A timber species as specified in Paragraph E2, Appendix E; or

(D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium stainless steel or corrosion-resistant steel

- There are no specific restrictions on frame material for all other
- Hardware There are no specific restrictions on hardware for windows Glazing Where glazing is less than 400 mm from the ground or less than
- 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more
- than 110 mm in width from the window frame (see Figure D3, Appendix D), this glazing shall be Grade A safety glass a minimum of 4 mm in thickness or glass blocks with no restriction on glazing methods.
- NOTE: Where double-glazed assemblies are used above, the requirements
- to the external pane of the glazed assembly only. For all other glazing, annealed glass may be used in accordance with AS 1288.
- Seals and weather strips There are no specific requirements for seals and weather
- strips at this BAL level
- Screens The openable portions of windows shall be screened internally or
- with screens that conform with Clause 3.6 and Clause 5.5.2.

C5.5.3 For Clause 5.5.3(c), screening to openable portions of all windows is required in all BALs to prevent the entry of embers to the building when the window is open.

For Clause 5.5.3(c)(v), screening of the openable and fixed portions of some windows is required to reduce the effects of radiant heat on annealed glass and has to be externally fixed. For Clause 5.5.3(c)(v), if the screening is required only to prevent the entry of embers, the screening may be fitted externally or internally.

5.5.4 Doors—Side-hung external doors (including French doors, panel fold and bi-fold doors) Side-hung external doors, including French doors, panel fold and bi-fold doors, shall-

- be completely protected by bushfire shutters that conform with Clause 3.7 and Clause 5.5.1
- be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2;
- (c) conform with the following:
 - Door panel material Materials shall be
 - non-combustible; or
 - solid timber, laminated timber or reconstituted timber, having a
 - thickness of 35 mm for the first 400 mm above the threshold; or hollow core, solid timber, laminated timber or reconstituted timber
 - non-combustible kickplate on the outside for the first 400 mm above the threshold: or
 - hollow core, solid timber, laminated timber or reconstituted timber
 - externally by a screen that conforms with Clause 5.5.2; or (E) for fully framed glazed door panels, the framing shall be made from
 - metal or bushfire resisting timber (see Appendix F) or a timber species as specified in Paragraph E2, Appendix E or uPVC.

(ii) Door frame material Door frame materials shall be-

- bushfire resisting timber (see Appendix F); or
- a timber species as specified in Paragraph E2 of Appendix E; or
- metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
- (iii) Hardware There are no specific requirements for hardware at this BAL level (iv) Glazing the glazing shall be Grade A safety glass a minimum of 4 mm in thickness
 - or glass blocks with no restriction on glazing methods. NOTE: Where double glazed units are used the above requirements apply to
 - the external face of the window assembly only Seals and weather strips Weather strips, draft excluders or draft seals shall be
 - installed (vi) Screens There are no requirements to screen the openable part of the door at this BAL
 - (vii) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.

5.5.5 Doors—Sliding doors

- Sliding doors shallbe completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause
- be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2; or
- conform with the following (i) Frame material The material for door frames, including fully framed glazed doors, shall
 - bushfire-resisting timber (see Appendix F); or
 - a timber species as specified in Paragraph E2, Appendix E; or metal: or
 - metal-reinforced uPVC and the reinforcing members shall be made
 - aluminium, stainless steel, or corrosion-resistant steel
- (ii) Hardware There are no specific requirements for hardware at this BAL level. (iii) Glazing Where doors incorporate glazing, the glazing shall be grade A safety glass a minimum of 4 mm in thickness
 - (iv) Seals and weather strips There are no specific requirements for seals and weather strips at this BAI level
 - Screens There is no requirement to screen the openable part of the sliding door
 - Sliding panels Sliding panels shall be tight-fitting in the frames.

5.5.6 Doors-Vehicle access doors (garage doors)

- The following applies to vehicle access doors
- The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from-
- non-combustible material; or
- bushfire-resisting timber (see Appendix F); or
- fibre-cement sheet a minimum of 6 mm in thickness; or a timber species as specified in Paragraph El, Appendix E; or
- a combination of any of Items (i), (ii), (iii) or (iv), (b) All vehicle access doors shall be protected with suitable weather strips, draught excluders, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.
 - NOTES: Refer to AS/NZS 4505 for door types.
 - Gaps of door edges or building elements should be protected as per Section 3. C5.5.6(b) These guide tracks do not provide a direct passage for embers into the building.

(c) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6. 5.6 ROOFS (INCLUDING PENETRATIONS, EAVES, FASCIAS AND GABLES, AND GUTTERS AND DOWNPIPES)

5.6.1 General

- The following applies to all types of roofs and roofing systems: Roof tiles, roof sheets and roof-covering accessories shall be non-combustible The roof/wall and roof/roof junction shall be sealed or otherwise protected in
- accordance with Clause 3.6.Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a
- mesh or perforated sheet conforming with Clause 3.6 and, made of corrosion-resistant steel bronze or aluminium
- Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need not be screened externally

5.6.2 Tiled roofs

- Tiled roofs shall be fully sarked. The sarking shall
- be located on top of the roof framing, except that the roof battens may be fixed above the sarking
- HYPERLINK "http://www.standards.org.au"
- cover the entire roof area including ridges and hips; and extend into gutters and valleys.

5.6.3 Sheet roofs

- Sheet roofs shallbe fully sarked in accordance with Clause 5.6.2, except that foil-backed insulation
- blankets may be installed over the battens: or have any gaps sealed at the fascia or wall line, hips and ridges by a mesh or perforated sheet that conforms with Clause 3.6 and that is made
 - of corrosion-resistant steel, bronze or aluminium; or
 - mineral wool: or other non-combustible material; or
 - a combination of any of Items (i), (ii) or (iii) C5.6.3 Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

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The following applies to vote the consideration applies to the consideration applies

- A veranda, carport or awning port forming part of the main roof space

 the trafficiale surfaces of ramps and landings that are more than 300 mm from a glazed element.

 [see Figure D19, Appendix b] sau Recall the duling exclusions of the control o
 - A veranda, carport of awing roof sparaet from the main roof space by an external
 - wall [see Figure 2] (Inferrit the hope rough proprogram with Physical Asharthery breach non-combustible root covering, except where the root covering is a translucent or bushfirer esisting limber (see Appendix F); or
 - transparent material.
 - NOTE: There is no requirement to line the underside of a veranda, carport or awning roof that is separated from the main roof space.

5.6.5 Roof penetrations

- The following applies to roof penetrations:
- Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors or the like, shall be sealed. The material used to seal the penetration shall be non-combustible
- Openings in vented roof lights, roof ventilators or vent pipes shall conform with
- Clause 3.6 and he made of corrosion-resistant steel, bronze or aluminium This requirement does not apply to a room sealed gas appliance. NOTE: A gas appliance designed such that air for combustion does not enter from, or combustion products enter into, the room in which the appliance is located. In the case of gas appliance flues, ember guards shall not be fitted. NOTE: AS/NZS 5601 contains requirements for gas appliance flue systems and cowls. Advice can be obtained from manufacturers and State and Territory gas technical
- All overhead glazing shall be Grade A safety glass conforming with AS 1288.
- Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, conforming with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass of minimum 4 mm in thickness shall be used in the outer pane of the IGU.
- Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index not exceeding five.
- Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- Vent pipes made from PVC are permitted Eaves lighting shall be adequately sealed and not compromise the performance of the element.

5.6.6 Eaves linings, fascias and gables

- The following applies to eaves linings, fascias and gables:
- Gables shall conform with Clause 5.4. Eaves penetrations shall be protected in the same way as roof penetrations,
- as specified in Clause 5.6.5. Eaves ventilation openings shall be fitted with ember guards in accordance with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium

Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds. This Standard does not provide construction requirements for fascias, hargeboards and eaves linings

gutters, with the exception of box gutters; and

This Standard does not provide material requirements for-

If installed, gutter and valley leaf guards shall be non-combustible. Box gutters shall be non-combustible and flashed at the junction with the roof with

5.7 VERANDAS, DECKS, STEPS AND LANDINGS

5.7.1 General

5.6.7 Gutters and downpipes

There is no requirement to enclose the subfloor spaces of verandas, decks,

steps, ramps or landings HYPERLINK "http://www.standards.org.au"C5.7.7 Spaced decking is nominally spaced at 3 mm (in accordance

with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0 mm-5 mm during service. It should be noted that recent research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacing of 10 mm may preclude this from happening but

such a spacing regime may not be practical for a timber deck. 5.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings 5.7.2.1 Materials to enclose a subfloor space

This Standard does not provide construction requirements for the materials used to enclose a subfloor space except where those materials are less than 400 mm from the ground. Where the materials used to enclose a subfloor space are less than 400 mm from the ground, they shall conform with Clause 5.4.

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

5.7.2.2 Supports

CLIENT DETAILS:

This Standard does not provide construction requirements for the framing of verandas, pergolas, decks, ramps or landings (i.e. bearers and joists).

a timber species as specified in Paragraph El, Appendix E; or

a combination of any of Items (a), (b), (c) or (d).

5.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings 5.7.3.1 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles5.7.3.2 Framing 5.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings

This Standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element. Decking, stair treads and the trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from-

- non-combustible material: or
- bushfire-resisting timber (see Appendix F); or a timber species as specified in Paragraph EI, Appendix E; or a combination of any of Items (a) (b) or (c) above

5.7.4 Balustrades, handrails or other barriers

This Standard does not provide construction requirements for balustrades handrails and other barriers.

5.7.5 Veranda posts

- Veranda posts shall be timber mounted on galvanized mounted shoes or stirrups with a
- clearance of not less than 75 mm above the adjacent finished ground level; or less than 400 mm (measured vertically) from the surface of the deck or ground
 - (see Figure D2, Appendix D) shall be made from non-combustible material: or
 - bushfire-resisting timber (see Appendix F); or a timber species as specified in Paragraph EI, Appendix E; or a combination of any of Items (a) or (b).

5.8 WATER AND GAS SUPPLY PIPES Above-ground, exposed water supply pipes shall be metal. External gas pipes and fittings above ground shall be of steel or copper construction having a minimum wall thickness in accordance with gas regulations or 0.9 mm

whichever is the greater. The metal pipe shall extend a minimum of 400 mm within the building and 100 mm below ground. NOTE: Refer to State and Territory gas regulations, AS/NZS 5601.1 and AS/NZS 4645.1.



STROUD HOMES

89 MAIN STREET, BAIRNSDALE VIC 3875

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CUSTOM HOME

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SITE ADDRESS

LOT 01 PS 734366 215 TAMBO UPPER ROAD **SWAN REACH VIC 3903**

NASTASSIA & JORDAN BENNETT

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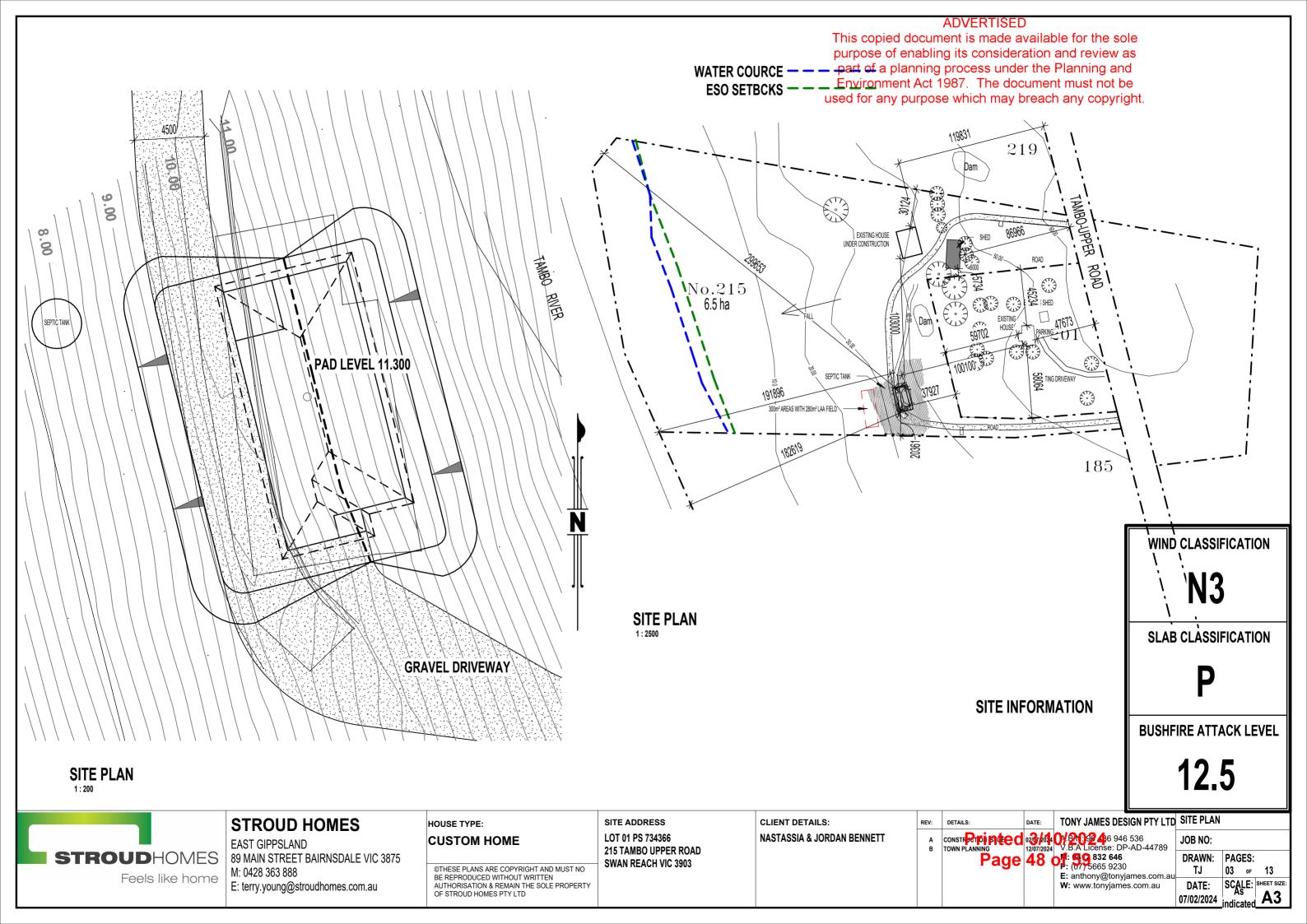
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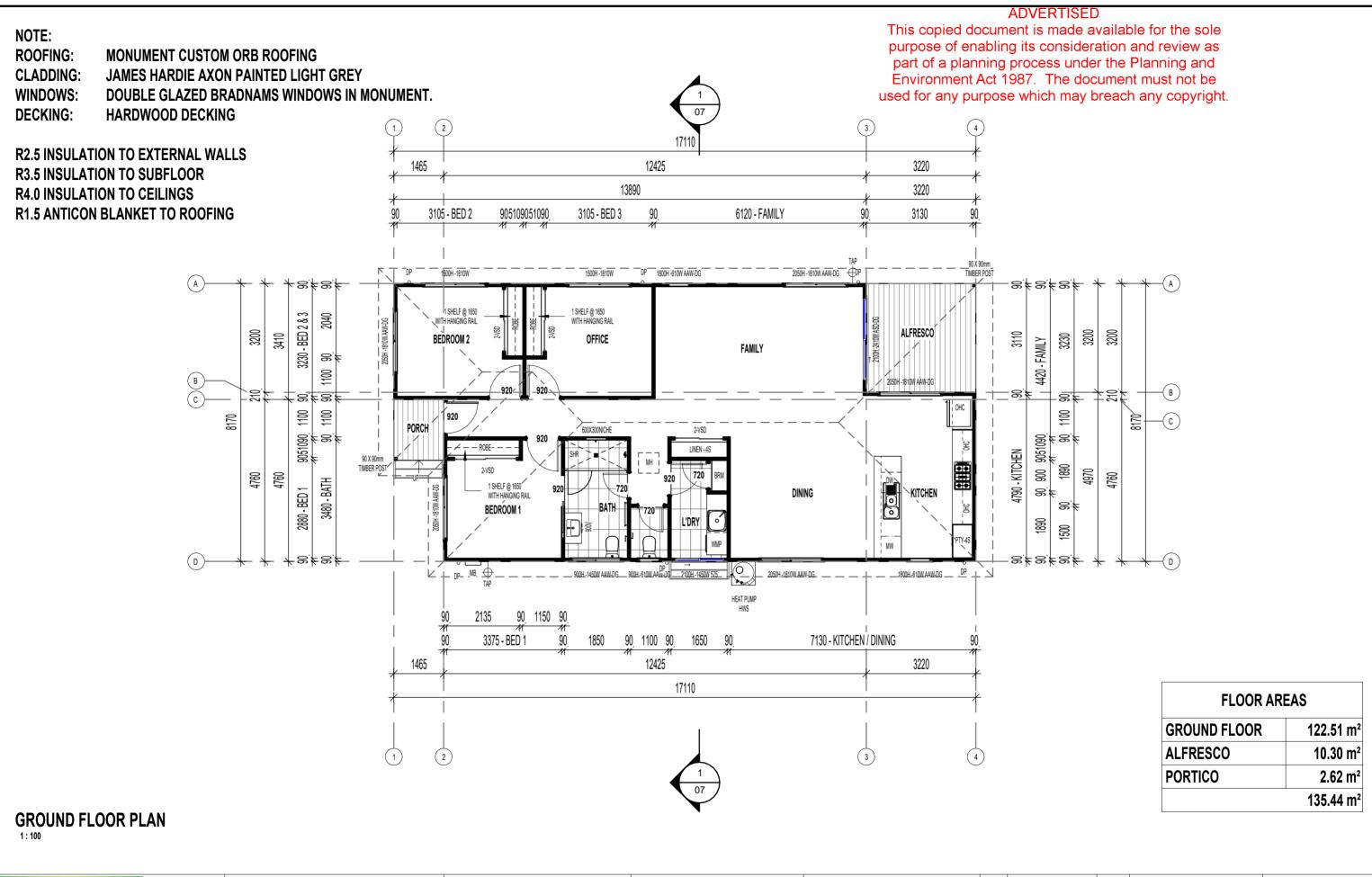
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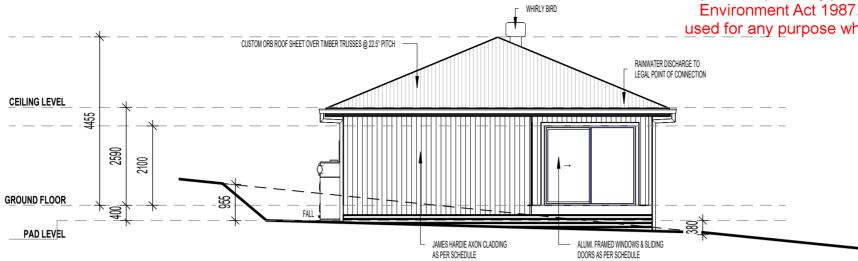
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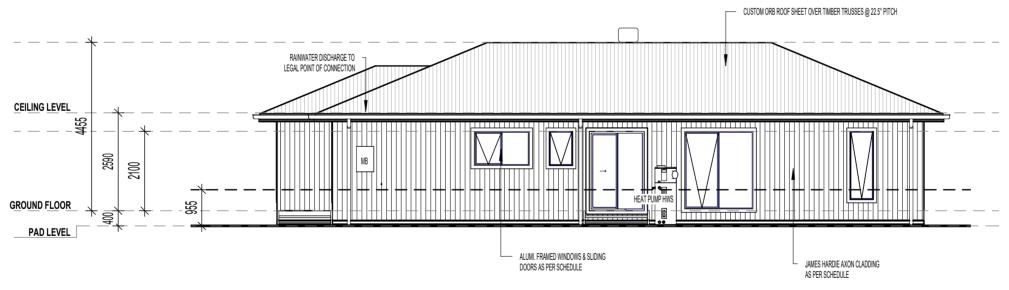
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GROUND FLOOR PLAN JOB NO: DRAWN: PAGES: TJ 04 of 13 SCALE: SHEET SIZE DATE: 1:100 A3 07/02/2024

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NORTHERN ELEVATION



EASTERN ELEVATION



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	LOT 01 PS 734366
	215 TAMBO UPPER ROAD
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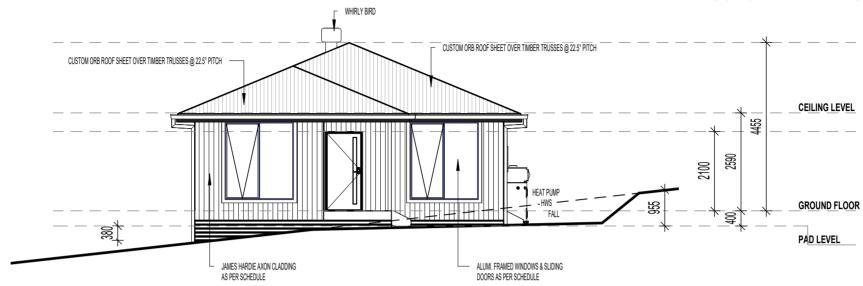
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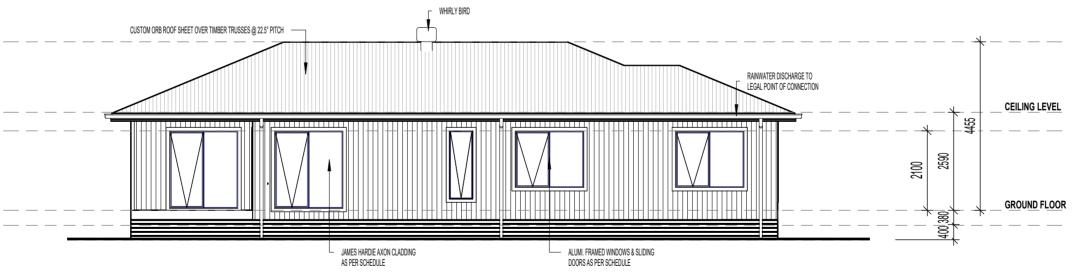
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SOUTHERN ELEVATION



WESTERN ELEVATION



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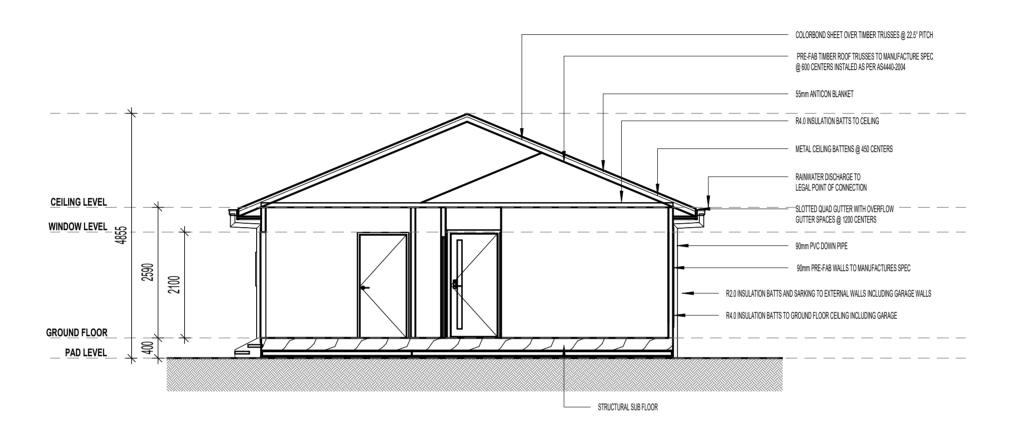
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SECTION S1



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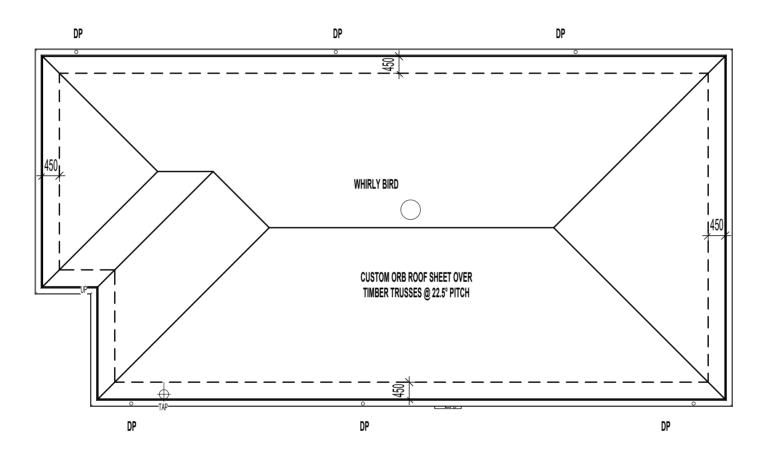
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ROOF PLAN 1:100



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ELECTRICAL LEGEND

DOUBLE GPO - 11

USB DOUBLE GPO WITH USB - 0 -

WATER PROOF DOUBLE GPO - 2

(P)

CEILING MOUNTED PENDANT LIGHT - 0

LED STRIP LIGHT - 0

SINGLE GPO - 4

WATERPROOF SINGLE GPO - 0

LED LIGHTS - 20

Œ

EXTRACTION FAN (VENTILATED TO OUTSIDE AIR) - 1

HARD WIRED SMOKE ALARM - 2

1200mm LED LIGHT - 0

TELEVISION POINT - 1 TELEPHONE POINT - 0

••

HEAT / LIGHT / FAN - 0

 \bigvee

AV POINT - 1

SPOT LIGHT - 1

 \bigcirc

EXTERNAL UP / DOWN LIGHTS - 0

DUCTED HEATING OUTLET - 0



CEILING FAN WITHOUT LIGHT - 0



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ELECTRICAL PLAN

STROUDHOMES Feels like home

STROUD HOMES

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CUSTOM HOME

SITE ADDRESS LOT 01 PS 734366 215 TAMBO UPPER ROAD **SWAN REACH VIC 3903**

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TONY JAMES DESIGN PTY LTD LIGHTING & ELECTRICAL DETAILS: CONSTR**PLITO NEC O 123/604 O P. 1207/2024** O P. 1207/2024 O P. 120 OF: (07) 5665 9230 E: anthony@tonyjames.com.au W: www.tonviames.com.au

- METERBOX LOCATION TO BE CONFIRMED.

THE POSITIONING OF ELECTRICAL OUTLETS & LIGHT SWITCHES, AS SHOWN, ARE INDICATIVE. LIMITATIONS

- ALL ELECTRICAL OUTLETS & LIGHT SWITCH POSITIONS

WORK IS TO BE IN ACCORDANCE WITH AS 3000

SHOULD BE CONFIRMED BY CLIENT. ALL WIRING & ELECTRICAL

AS3786-2014 SMOKE ALARMS TO BE HARDWIRED & INTERLINKED

GENERAL NOTES:

IE. STUD POSITIONS.

- ALL EXHAUST FANS ARE TO BE VENTILATED TO THE OUTSIDE AIR

PLAN JOB NO:

TJ

DATE:

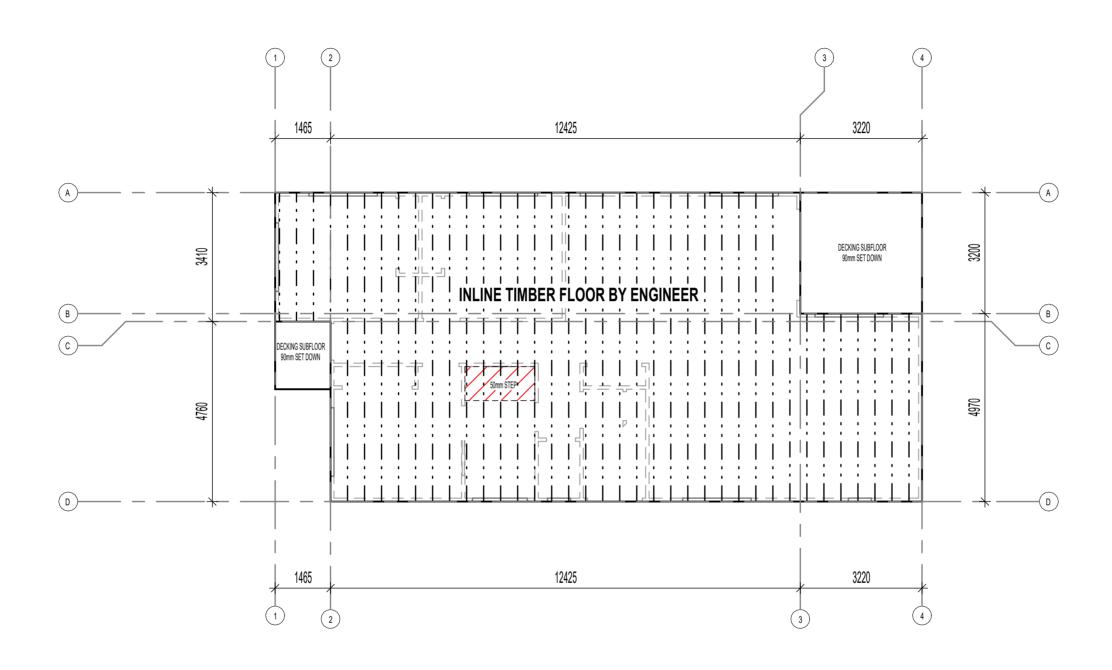
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TIMBER SUBFLOOR PLAN



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LEGEND

VINYL PLANKS AS PER SCHEDULE

WET AREA TILE

CARPET AS PER SCHEDULE

AS PER SCHEDULE

TIMBER DECK AS PER SCHEDULE



FLOOR COVERING



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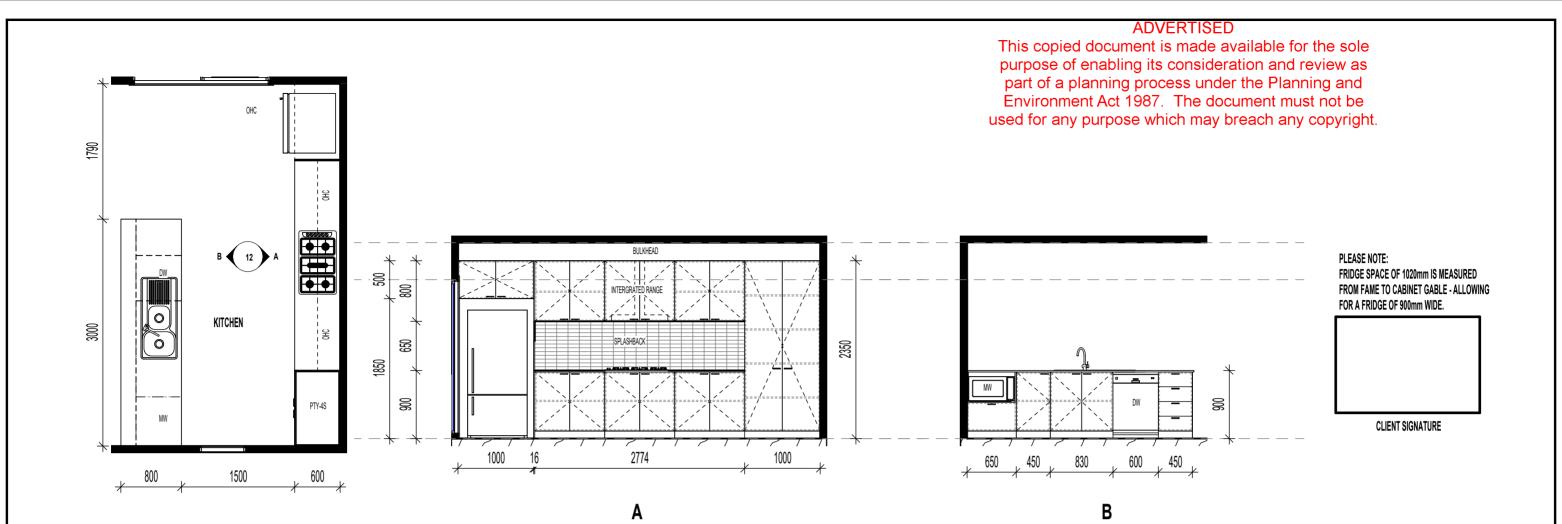
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KITCHEN FLOOR PLAN

STROUD HOMES

EAST GIPPSLAND M: 0428 363 888

E: terry.young@stroudhomes.com.au

HOUSE TYPE: **CUSTOM HOME**

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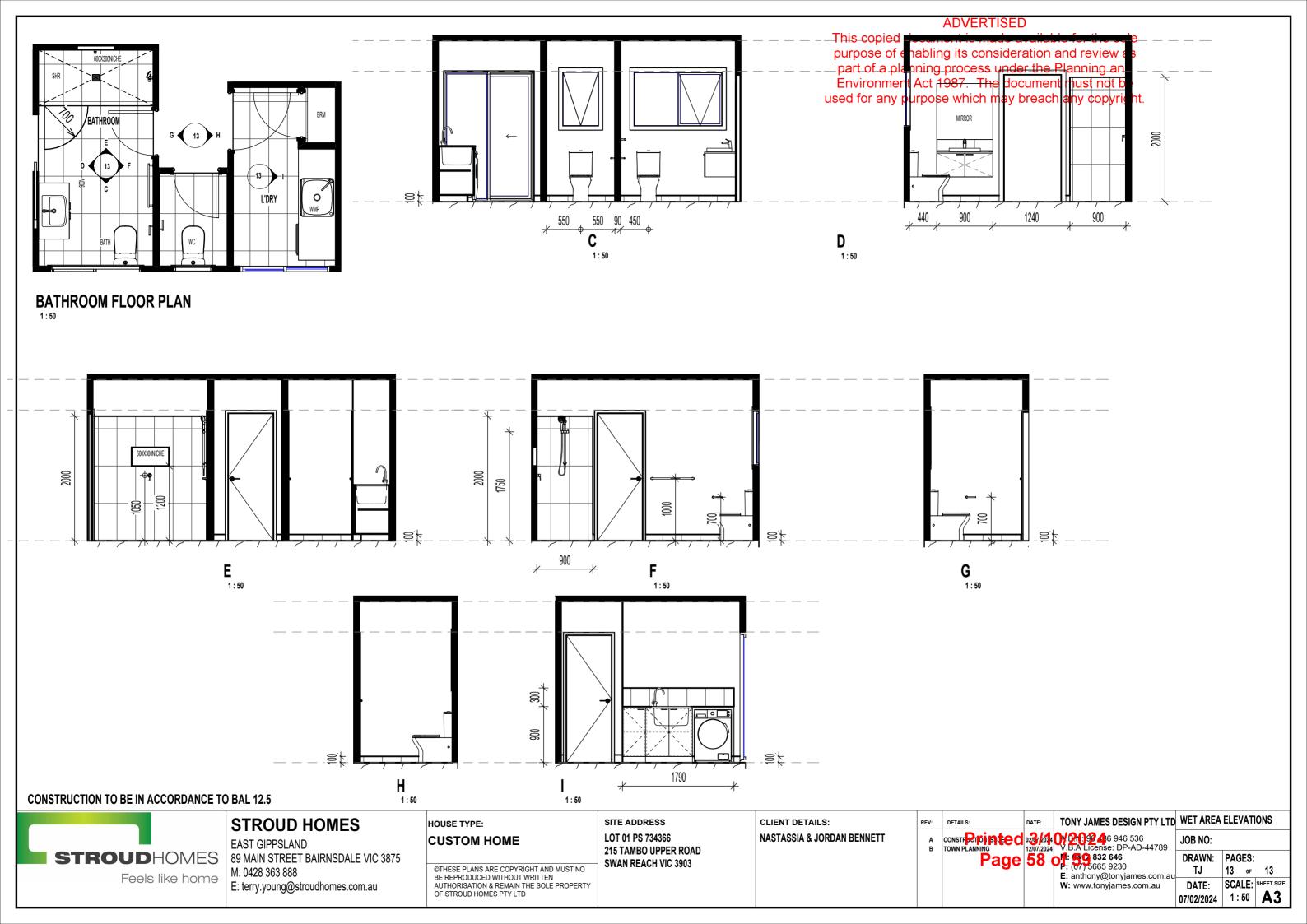
SITE ADDRESS LOT 01 PS 734366 215 TAMBO UPPER ROAD **SWAN REACH VIC 3903**

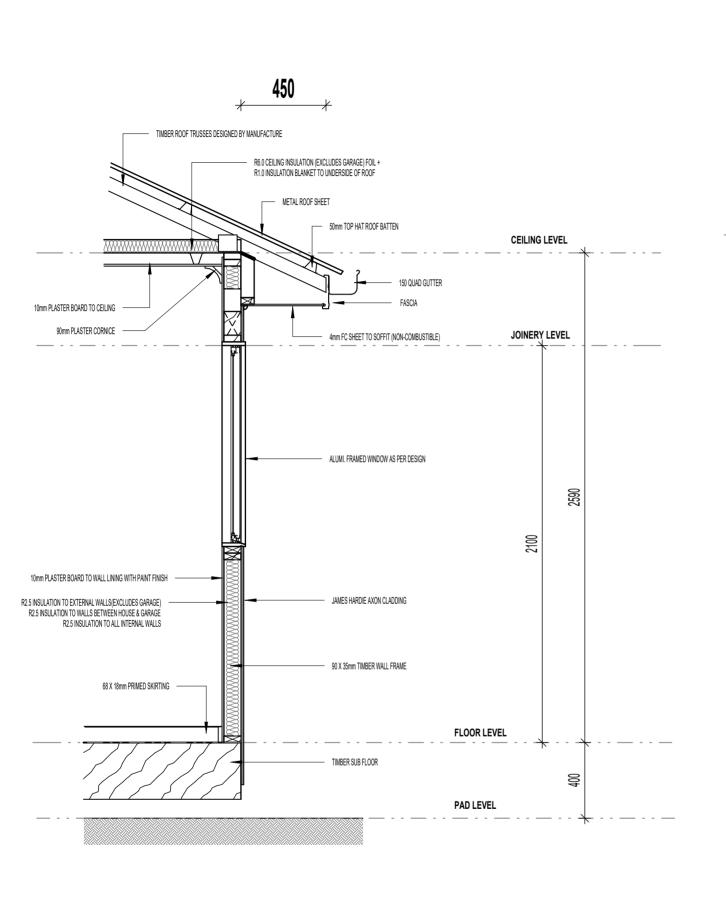
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TYPICAL ROBE SHELVING DETAIL

TYP. BRICK VENEER WALL DETAIL



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