

Form 2

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	66 Maurice Avenue MALLACOOTA 3892 CA: 9 Sec: 2
The application is for a permit to:	Buildings and Works for alterations to an existing building
The applicant for the permit is:	E A Van Der Merwe
The application reference number is:	5.2024.33.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to the applicant giving notice</b>
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If you object, the Responsible Authority will tell you its decision.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958** Page 1 of 3

VOLUME 10565 FOLIO 137

Security no : 124112378821L  
Produced 05/02/2024 11:31 AM

CROWN GRANT

**LAND DESCRIPTION**

Crown Allotment 9 Section 2 Township of MALLACOOTA Parish of MALLACOOTA.

**REGISTERED PROPRIETOR**

Estate Fee Simple  
TENANTS IN COMMON  
As to 1 of a total of 2 equal undivided shares  
Sole Proprietor  
MALLACOOTA & GENOA BROADCASTING ASSOCIATION INC

As to 1 of a total of 2 equal undivided shares  
Sole Proprietor  
MALLACOOTA ARTS COUNCIL INC of DEVLIN DRIVE MALLACOOTA 3892  
X487332M 22/05/2001

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any crown grant reservations exceptions conditions limitations and powers noted on the plan or imaged folio set out under DIAGRAM LOCATION below.  
For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE TP774775E FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 66 MAURICE AVENUE MALLACOOTA VIC 3892

DOCUMENT END



# Imaged Document Cover Sheet

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Document Type	<b>Plan</b>
Document Identification	<b>TP774775E</b>
Number of Pages (excluding this cover sheet)	<b>2</b>
Document Assembled	<b>05/02/2024 11:31</b>

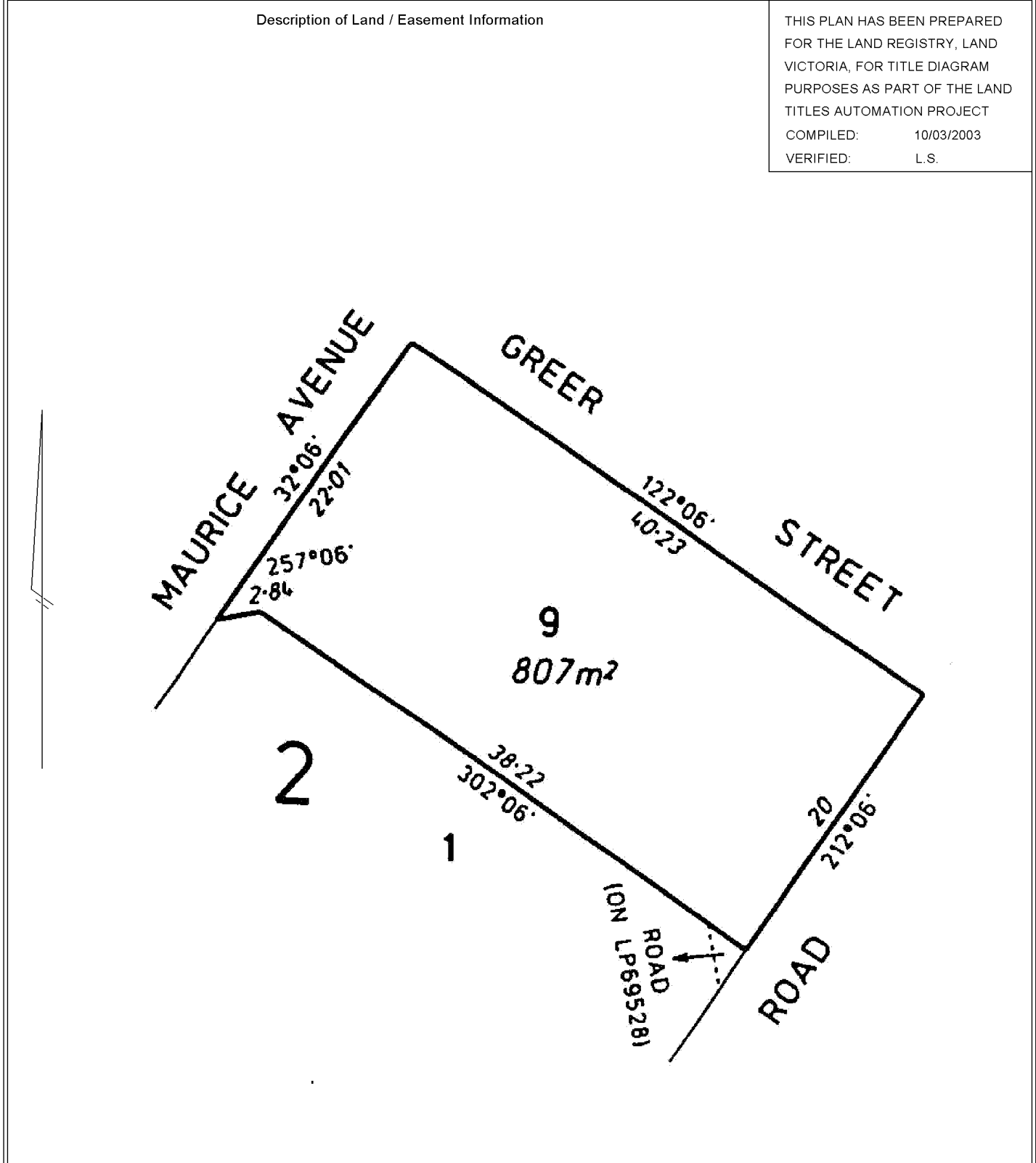
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<b>TITLE PLAN</b>		<b>EDITION 1</b>	<b>TP 74775E</b>
<b>Location of Land</b> Parish: MALLACOOTA Township: MALLACOOTA Section: 2 Crown Allotment: 9 Crown Portion:		Notations SUBJECT TO THE RESERVATIONS, EXCEPTIONS, CONDITIONS AND POWERS CONTAINED IN CROWN GRANT VOL. 10565 FOL. 137 AND NOTED ON SHEET 2 OF THIS PLAN	
Last Plan Reference: Derived From: VOL 10565 FOL 137 Depth Limitation: 15 m		ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN	



LENGTHS ARE IN METRES	Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 1 of 2 sheets
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TP 774775E

TITLE PLAN

LAND DESCRIPTION INCLUDING RESERVATIONS EXCEPTIONS  
 CONDITIONS AND POWERS SHOWN ON THE CROWN GRANT

Allotment 9 of Section 2 in the Township of MALLACOOTA Parish of MALLACOOTA and being the land shown enclosed by continuous lines in the map hereon and identified by that allotment number

PROVIDED that this Grant is made subject to -

- (a) the reservation to Us Our heirs and successors of -
  - (i) any minerals within the meaning of the *Mineral Resources Development Act* 1990 and petroleum within the meaning of the *Petroleum Act* 1958 (hereinafter called "the reserved minerals");
  - (ii) rights of access for the purpose of searching for and obtaining the reserved minerals in any part of the said land;
  - (iii) rights for access and for pipe-lines works and other purposes necessary for obtaining and conveying on and from the said land any of the reserved minerals which is obtained in any part of the said land;
- (b) the right to resume the said land for mining purposes pursuant to section 205 of the *Land Act* 1958;
- (c) the right of any person being a licensee under the *Mineral Resources Development Act* 1990 or any corresponding previous enactment to enter on the said land and to do work within the meaning of that Act and to erect and occupy mining plant or machinery thereon in the same manner and under the same conditions and provisions as those under which such a person has now the right to do such work in and upon Crown lands provided that compensation as prescribed by Part 8 of that Act is paid for surface damage to be done to the said land by reason of doing such work or, it.

LENGTHS ARE IN METRES

Metres = 0.3048 x Feet  
 Metres = 0.201168 x Links

Sheet 2 of 2 sheets



# PLANNING PROPERTY REPORT

From [www.planning.vic.gov.au](http://www.planning.vic.gov.au) at 05 February 2024 12:28 PM

## PROPERTY DETAILS

Address: **66 MAURICE AVENUE MALLACOOTA 3892**

Crown Description: **Allot. 9 Sec. 2 TOWNSHIP OF MALLACOOTA**

Standard Parcel Identifier (SPI): **9~2\PP5494**

Local Government Area (Council): **EAST GIPPSLAND** [www.eastgippsland.vic.gov.au](http://www.eastgippsland.vic.gov.au)

Council Property Number: **79733**

Planning Scheme: **East Gippsland** [Planning Scheme - East Gippsland](#)

Directory Reference: **Vicroads 683 S6**

## UTILITIES

Rural Water Corporation: **Southern Rural Water**

Urban Water Corporation: **East Gippsland Water**

Melbourne Water: **Outside drainage boundary**

Power Distributor: **AUSNET**

## STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**

Legislative Assembly: **GIPPSLAND EAST**

## OTHER

Registered Aboriginal Party: **None**

[View location in VicPlan](#)

## Planning Zones

[COMMERCIAL 1 ZONE \(C1Z\)](#)  
[SCHEDULE TO THE COMMERCIAL 1 ZONE \(C1Z\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.





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Web page: [www.egbp.com.au](http://www.egbp.com.au)

Email: [egbp@egbp.com.au](mailto:egbp@egbp.com.au)

**Form 2**  
**Building Act 1993**  
**Building Regulations 2006 : Regulation 313**

**AMENDED PERMIT BS-U1274/20136273/0**

**TO: OWNER** **Mallacoota & Genoa Broadcasting Association Inc. and; Mallacoota Arts Council Inc.**  
PO BOX 555  
Mallacoota 3892

**AGENT** Russell Grabert  
PO BOX 555  
Mallacoota 3892

**ADDRESS FOR SERVING OF NOTICES**

Name Russell Grabert PO BOX 555 Mallacoota 3892  
Ph1 Ph2 Fax no:

**PROPERTY DETAILS 66 Lot CA9 Maurice Avenue Mallacoota 3892**

Allotment area m2 Title details TP774775E Volume 10565 Folio 137

**Municipal District: East Gippsland Shire Council** Prop No:

**Builder** **Mallacoota & Genoa Broadcasting Association Inc. PO BOX 555 Mallacoota 3892**  
**Mallacoota Arts Council Inc.**

**PRACTITIONERS**

Watts Christopher David EC1402  
Crozier Damian Andrew EC18192  
Darby Vernon Cavell DPAD505  
Cockburn Grant DBU8754

**FUNCTION AND ENGAGEMENT**

Prepared documents only  
Prepared documents only  
Engaged in various parts of the building work  
Engaged in various parts of the building work

**Architect or Draftsman**

Who were engaged to prepare documents forming part of the application for this permit  
Chris Watts EC 1402

**DETAILS OF RELEVANT PLANNING PERMIT (if applicable)**

Planning Permit No: 649/2011/P Planning Permit Date: 1/03/2013

**STAGES OF WORK PERMITTED As shown on approved plans**

Project estimated value: \$567,775.00

**NATURE OF BUILDING WORK Construction of office building - community radio**

**Building details:**

Class	5&6	BAL-level:	Persons accommodated for	20
No of storeys	1		Allowable live load	4kpa
Area (m2)	317		New floor area, m2	317

**OCCUPATION/USE OF A BUILDING: An Occupancy Permit is required prior to use or Occupation**

**COMMENCEMENT AND COMPLETION** This building work must commence by 7/06/2014 and must be completed by 7/06/2016

**MANDATORY INSPECTIONS**

- Inspection of footings
- Inspection of pre-slab
- Inspection of steel for slab
- Inspection of framework
- Inspection for Occupancy permit

**PERMIT CONDITIONS**

- 1 Refer to Attachment A.
- 2 Part J compliance certificate.
- 3 Entry double doors and rear entry door to swing outwards.
- 4 Disabled access from car park to be provided - curb ramp.

**RELEVANT BUILDING SURVEYOR: Brian Ross**

**Date of issue: 07-Jun-2013**

**Amendment date: 24-Jun-2013**

**Registration No: BS-U1274 Page 1 of 2**

NOTE: No alteration to or variation from the stamped Plans and Specifications may be made without written consent of the Building Surveyor. This building approval is granted ONLY in respect of building work to be carried out in accordance with the Building Act 1993 and the Building Regulations 2006. Before building work is commenced additional permits or approvals may need to be obtained under other Acts or other regulations - including the Planning and Environment Act 1987. Domestic builders carrying out domestic building work forming part of this Permit (where contract price for that work > \$12,000) must be covered by an insurance policy as required under Section 135 of the Building Act 1993.

**BAIRNSDALE - Head Office**  
30 Macleod Street Bairnsdale  
PO Box 1495 Bairnsdale 3875  
Phone 5153 0199, Fax 5153 0198

**CASTLEMAINE**  
83 Forest Street, Castlemaine  
PO Box 427 Castlemaine 3450  
Phone 5472 4998, Fax 5470 6895

**SALE**  
30 Princes Highway, Sale  
PO Box 1257 Sale 3850  
Phone 5143 1882, Fax 5143 1181

**TRARALGON**  
20 Breed Street, Traralgon  
Phone 5176 5599, Fax 5176 5755  
**Printed 22/04/2024**  
**Page 7 of 26**

# PLANNING PROPERTY REPORT

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## Planning Overlays

VEGETATION PROTECTION OVERLAY (VPO)

VEGETATION PROTECTION OVERLAY - SCHEDULE 8 (VPO8)



VPO - Vegetation Protection Overlay

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

### OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

BUSHFIRE MANAGEMENT OVERLAY (BMO)

DESIGN AND DEVELOPMENT OVERLAY (DDO)



BMO - Bushfire Management Overlay

DDO - Design and Development Overlay

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

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Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32C(1) of the Sale of Land 1962 (Vic).



# PLANNING PROPERTY REPORT

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## Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this property is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <http://www.aav.nrms.net.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.aboriginalvictoria.vic.gov.au/aboriginal-heritage-legislation>



Aboriginal Cultural Heritage

# PLANNING PROPERTY REPORT

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## Further Planning Information

Planning scheme data last updated on 7 December 2023.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council

or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**.

It does not include information about exhibited planning scheme amendments, or zonings that may affect the land.

To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit

<https://mapshare.maps.vic.gov.au/vicplan>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

# PLANNING PROPERTY REPORT

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## Designated Bushfire Prone Areas

**This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.**

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated Bushfire Prone Areas

Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

## Native Vegetation

Native plants that are indigenous to the region and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#)

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Information Management system <https://nvim.delwp.vic.gov.au/> and [Native vegetation \(environment.vic.gov.au\)](http://Native%20vegetation%20(environment.vic.gov.au)) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](http://NatureKit%20(environment.vic.gov.au))

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PLANNING PROPERTY REPORT: 66 MAURICE AVENUE MALLACOOTA 3892

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Form 2  
Building Act 1993  
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**AMENDED PERMIT BS-U1274/20136273/0**

**TO: OWNER** Mallacoota & Genoa Broadcasting Association Inc. and; Mallacoota Arts Council Inc. PO BOX 555 Mallacoota 3892

**AGENT** Russell Grabert PO BOX 555 Mallacoota 3892

**ADDRESS FOR SERVING OF NOTICES**

Name Russell Grabert PO BOX 555 Mallacoota 3892  
Ph1 Ph2 Fax no:

**PROPERTY DETAILS 66 Lot CA9 Maurice Avenue Mallacoota 3892**

Allotment area m2 Title details TP774775E Volume 10565 Folio 137

**Municipal District: East Gippsland Shire Council Prop No:**

**Builder** Mallacoota & Genoa Broadcasting Association Inc. PO BOX 555 Mallacoota 3892  
Mallacoota Arts Council Inc.

**PRACTITIONERS**

Watts Christopher David EC1402  
Crozier Damian Andrew EC18192  
Darby Vernon Cavell DPAD505  
Cockburn Grant DBU8754

**FUNCTION AND ENGAGEMENT**

Prepared documents only  
Prepared documents only  
Engaged in various parts of the building work  
Engaged in various parts of the building work

**Architect or Draftsman**

Who were engaged to prepare documents forming part of the application for this permit  
Chris Watts EC 1402

**DETAILS OF RELEVANT PLANNING PERMIT (if applicable)**

Planning Permit No: 649/2011/P Planning Permit Date: 1/03/2013

**STAGES OF WORK PERMITTED As shown on approved plans**

Project estimated value: \$567,775.00

**NATURE OF BUILDING WORK Construction of office building - community radio**

**Building details:**

Class 5&6 BAL-level: Persons accommodated for 20  
No of storeys 1 Allowable live load 4kpa  
Area (m2) 317 New floor area, m2 317

**OCCUPATION/USE OF A BUILDING: An Occupancy Permit is required prior to use or Occupation**

**COMMENCEMENT AND COMPLETION** This building work must commence by 7/06/2014 and must be completed by 7/06/2016

**MANDATORY INSPECTIONS**

- Inspection of footings
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**PERMIT CONDITIONS**

- 1 Refer to Attachment A.
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**Date of issue: 07-Jun-2013**

**Amendment date: 24-Jun-2013**

**Registration No: BS-U1274 Page 1 of 2**

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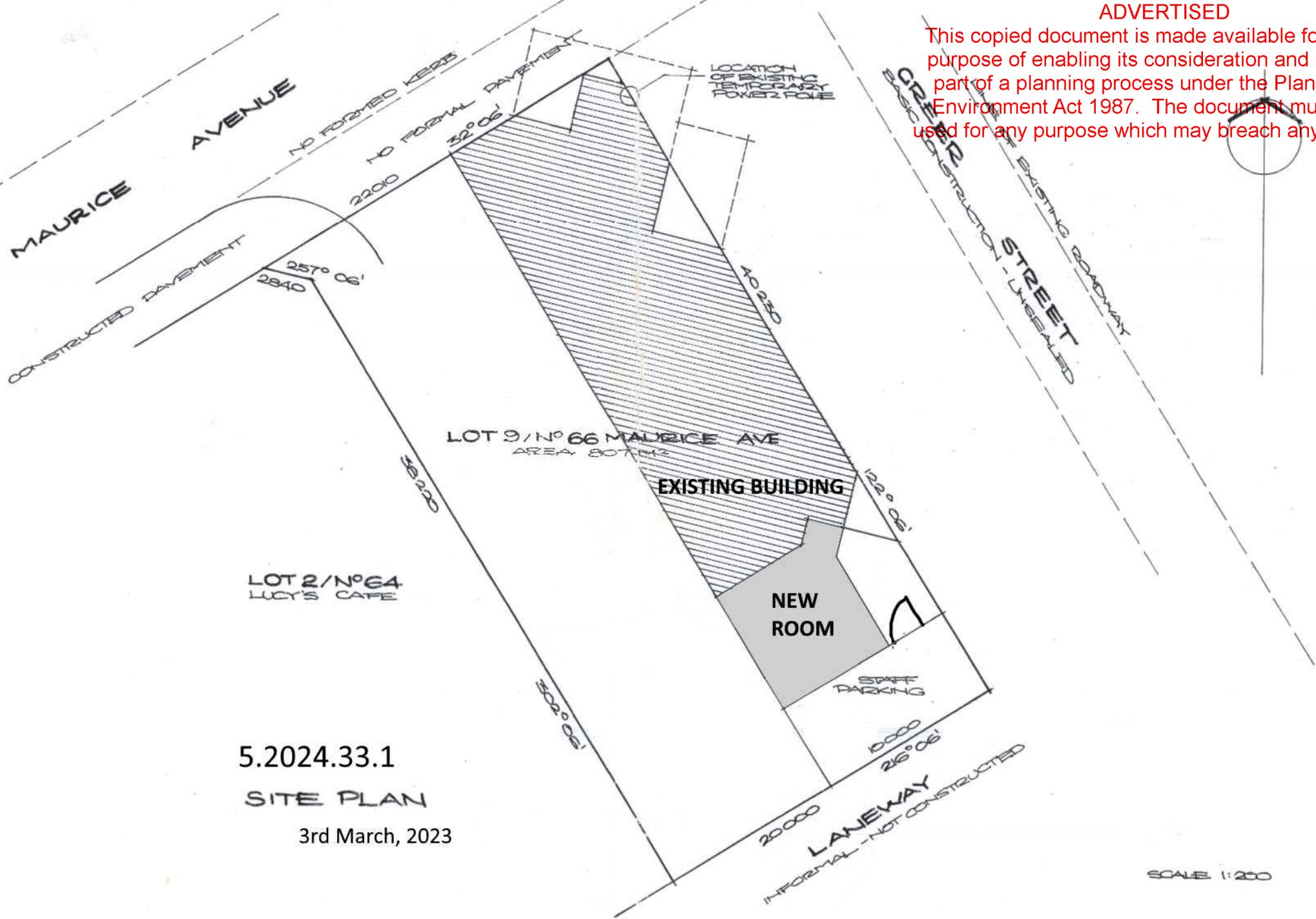
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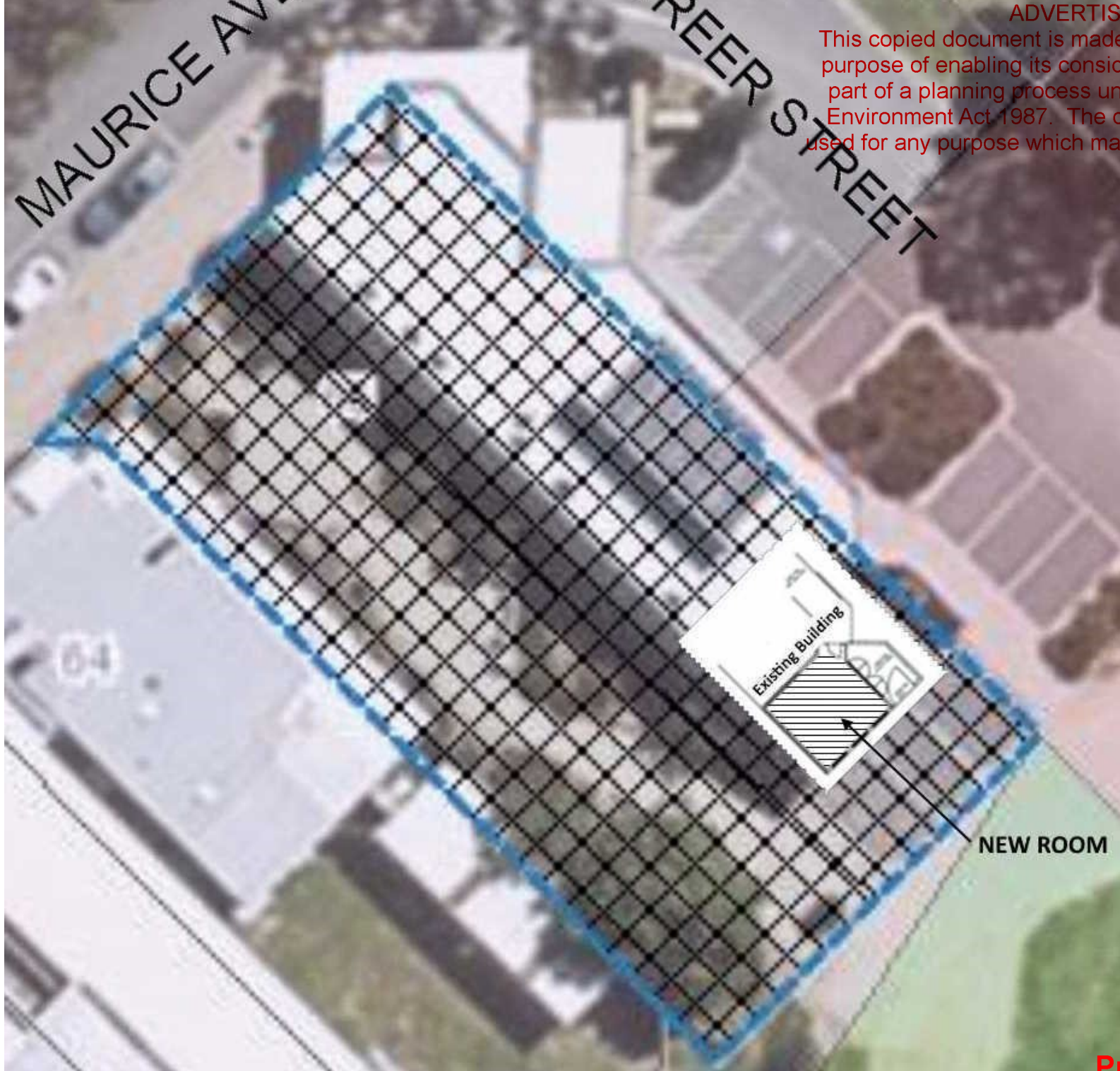


5.2024.33.1  
SITE PLAN  
3rd March, 2023

SCALE 1:200



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66 Maurice Ave

DATE DRAWN

4th June 2021

UPDATED 3 MARCH 2024

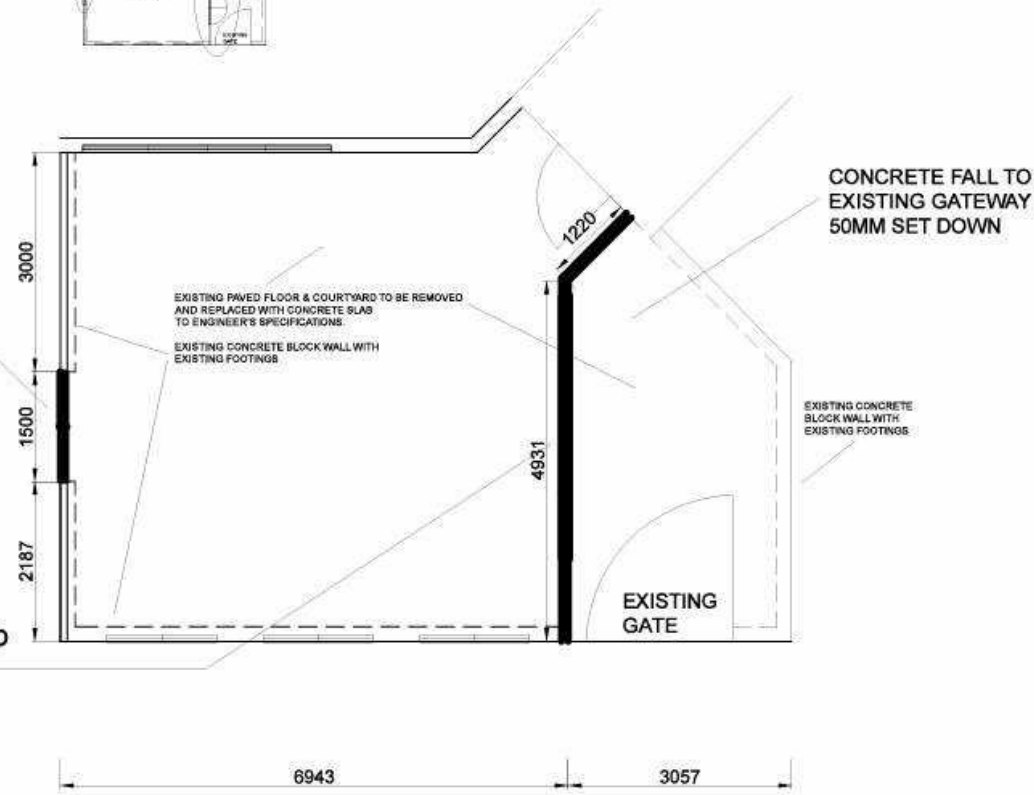
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FOOTING DESIGN FOR BLOCK WALL - SEPT 2012  
 M CLASS SOIL TYPE  
 REFER GEOTECH ENGINEER REPORT



2115 sliding door with 0915 louvre above, requires concrete slab under door keyed to existing footing

New light gauge steel framed wall to have concrete strip footing



**FLOOR PLAN DETAILS FOR NEW ROOM**

66 Maurice Ave MALLACOOTA 3892

JOB DETAILS

Mallacoota Arts Council

5.2024.33.1

SCALE  
 1 : 100  
 ON  
 A4-Sheet

Date 4th April 2024

Printed 22/04/2024

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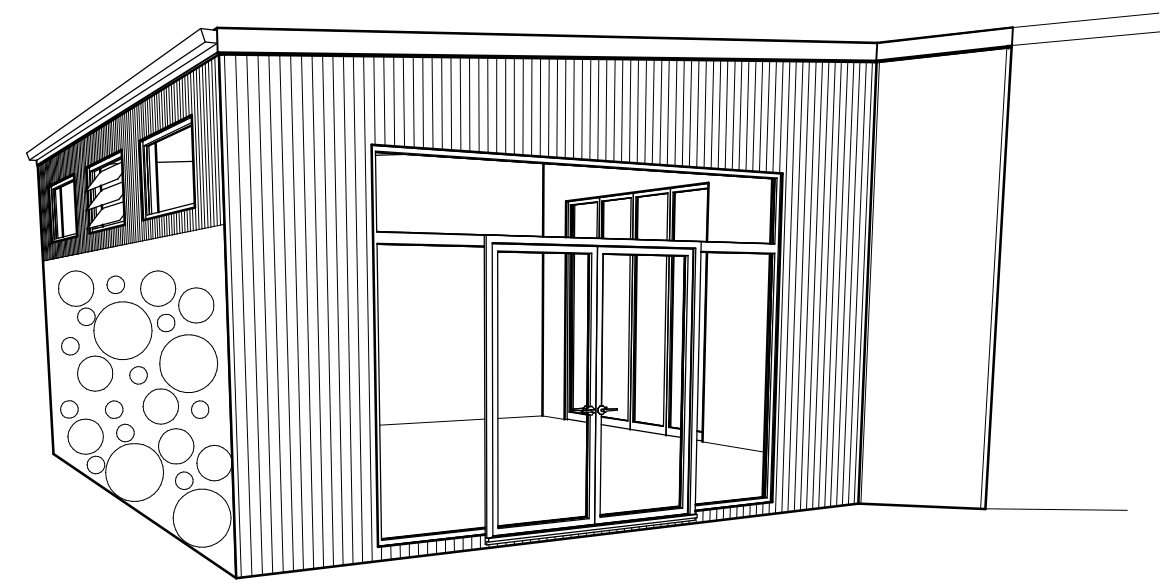


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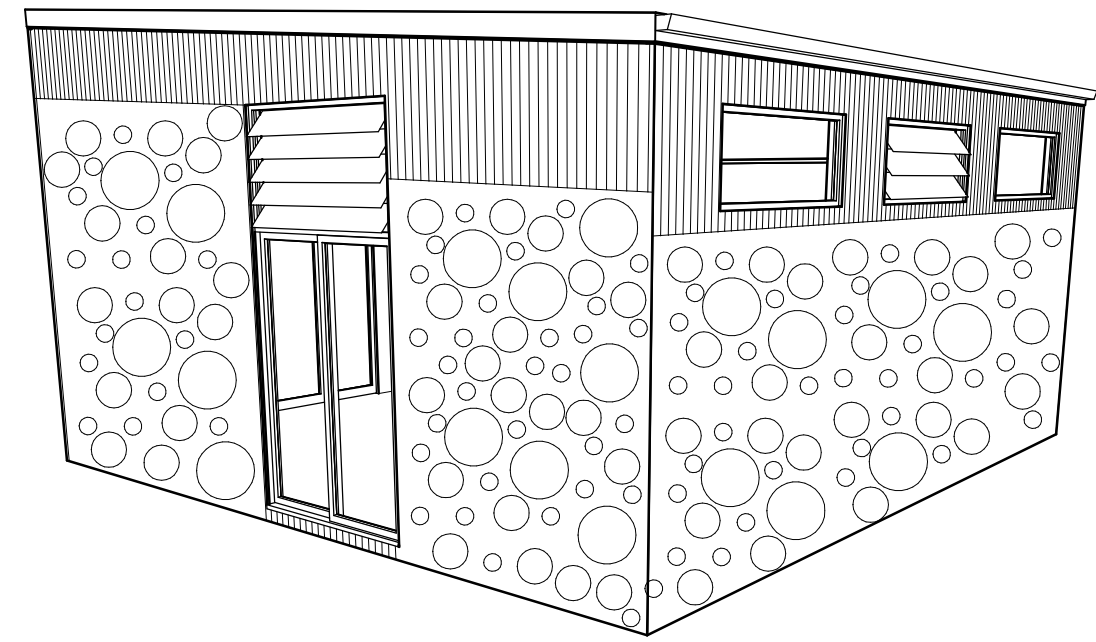


# The Steel Framing Company

Mallacoota Arts Council Inc  
66 Maurice Ave  
Mallacoota VIC 3892  
LOT 1 P5712497  
SPI 9-2/PP5494  
  
4th June 2021



The Steel Framing Company Pty Ltd  
52 Moorlands Lane  
Frogs Hollow via Beqa NSW 2550  
p: 1300 63 2266  
e: sales@tsfc.com.au  
w: www.tsfc.com.au



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1	CUSTOMER DETAILS
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3	GENERAL NOTES
4	FLOOR PLAN
5	ELEVATIONS N & E
6	ELEVATIONS S & W
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8	PLUMBING PLAN
9	SECTION LAYOUT
10	FOOTINGS LAYOUT
11	RENOVATION PLAN



The Steel Framing Company Pty Ltd  
52 Moorlands Lane,  
Frogs Hollow via Beqa NSW 2550  
www.tsfc.com.au

DATE DRAWN  
4th June 2021  
  
DWG FILE  
Mallacoota Arts Council Inc Plans

DRAWN  
SM  
  
VIEW NAME  
1 of 11  
  
CHECKED  
WM

PROPOSED DWELLING FOR:  
Mallacoota Arts Council Inc  
66 Maurice Ave  
Mallacoota VIC 3892

The information contained within is intended to be an aid for fabricators and detailers and is not a substitute for professional judgement.  
<DO NOT SCALE - IF IN DOUBT ASK>

Customer  
Details

JOB REFERENCE  
TSFC# 21091  
REVISED  
REV

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**SITE DRAINAGE**

Surface and subsurface water occurring on the building site shall be diverted to prevent it from flowing under the structure. Ponding of water under the structure shall be prevented by filling, grading or the provision of drainage or diversion channels.  
NOTE: The ground surface shall be graded to fall away from the building.

Discharge stormwater to street through 100mm diameter pvc pipe as directed by local authority, or to rainwater holding tank where applicable.

All runoff water to be directed so as not to interfere with neighbouring allotments. The roofwater drainage system shall be completed in accordance with BCA part 3.5.2 prior to the final inspection.

**SELECTION OF GUTTERING**

The size of guttering must:  
(a) be accordance with Table 3.5.2.2 of the Building Code of Australia (BCA)  
(b) be suitable to remove rain when falling at the appropriate rainfall intensity listed in Table 3.5.2.1 in BCA for 20 year average occurrence interval.  
(c) be installed with a fall of not less than 1:500 (2mm for each meter of gutter).  
(d) be supported by brackets spaced at not more than 1200mm centres.

**DOWNPIPES**

(a) Downpipes must be securely fixed to walls.  
(b) The spacing between downpipes is to be no more than 12m.  
(c) Downpipes must be as close as possible to a valley gutter, and if more than 1200mm from a valley gutter, provision for overflow must be made.  
(d) Downpipes must be selected in accordance with Table 3.5.2.2 of the Building Code of Australia.

**TIE DOWN SCHEDULE**

All tie-down and framing to engineer's specifications.

**NOTE**

Temporary bracing shall be equivalent to at least 60% of permanent bracing required.

**BE AWARE:** Substitution of any structural members, and or variations to any part of the design, WILL VOID any responsibilities of The Steel Framing Company Pty Ltd for the structural integrity and performance of the building.

**ACCEPTABLE CONSTRUCTION PRACTICE**

The steel frame must be designed and constructed in accordance with-  
(1) AS/ NZS 4600; or  
(2) NASH - Residential and low-rise steel framing - part I Design criteria; and the frame material has a yield stress of not less than 250 Mpa.

Copper and brass pipes and fittings must be prevented from coming into contact with the steel frame by one of the following methods;

- (1) Where plumbing services pass through service holes, plastic grommets must be snapped into the service hole.
  - (2) In other areas where copper pipes may come into contact with metal framing they must be lagged or isolated with neoprene sheeting or tape.
- Electrical cables must pass through pre punched holes located as near as possible to the center of the stud and be insulated by plastic grommets.

**MINIMUM DESIGN STANDARDS ARE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA**

Bushfire Protection (If required)	AS 3959
Termite Protection	AS 3660.1
Timber Durability classification to	AS 1604.1
Preservative treatment to	AS 1604.1
Groundwork for Slabs and Footings to	AS 2870
Demolition to	AS 2610
Concrete Structures generally to	AS 3600
Ground Slab and Footings to	AS 2870
Ready Mixed Concrete to	AS 1379
Timber Framing and Flooring to	AS 1684.4 or AS 1720.1
Structural Steel to	AS 4100
Cold Formed Steel Framing to	AS 3623
Preparation of Metal Surfaces to	AS 1627
Welding to	AS/ NZS 1554.1
Particleboard Flooring to	AS/ NZS 1859.1
Fibre Cement Flooring to	AS/ NZS 2908.2
Plywood Flooring to	AS/ NZS 2269
Roof Trusses installed to	AS 4440
Masonry Generally to	AS 3700
Masonry Units to	AS/ NZS 4455
Clay Brick Durability to	AS/ NZS 4456.10
Wall Ties to	AS/ NZS 2669.1
Flashings and Dampcourses to	AS/ NZS 2904

**INSULATION AND SARKING**

Cellulose Fibre to	AS 2462
Mineral Wool batts and Blankets to	AS 3742
Mineral Wool in loose fill to	AS 2461
Polystyrene to	AS 1366.4
Wool to	AWRAP / A202
Bulk Insulation installed to	AS 3999
Sarking installed to	AS/ NZS 4200.2
Roof Flashing material to	AS/ NZS 2904
Products that come into contact with drinking water	AS/ NZS 4020

**GENERAL**

(a) The steel frame must be protected from corrosion in accordance with the following:  
(1) Where the steel frame is within the building envelope in locations-  
(a) more than 300m from breaking surf; or  
(b) not in a heavy industrial area; or  
(2) Where the steel frame is outside the building envelope - in locations -  
(a) more than 1km from salt water which is not subject to breaking surf; or  
(b) more than 10km from a coastal area with breaking surf; or  
(c) not in a heavy industrial area,  
the steel frame must have a minimum coating class in accordance with AS1397 of Z272 (275 grams of zinc per sqm) or AZ150 (150 grams of aluminum/ zinc per sqm).

(3) In areas not specified in (1) or (2), a higher level of corrosion protection is required.  
(a) The frame must be permanently earthed on completion of fixing.

Roof Fasteners	AS 3566
Tiling Materials to	AS 2049
Metal roofing Design and Installation to	AS 1562.1
Roof Plumbing to	AS/ NZS 3500.3.2
Cladding Flashing Material to	AS 2904
Self Drilling Screws to	AS 3566
Hardboard Cladding to	AS/ NZS 1859.4
Fibre Cement Cladding to	AS/ NZS 2908.2
Metal Cladding to	AS 1562.1
Plastic Cladding uPVC to	AS/ NZS 4256.4
GFR sheet to	AS/ NZS 4256.3
Polycarbonate to	AS/ NZS 4256.3
Glass to	AS 1288
Window selection to	AS 2047
Window Installation to	AS 1909
Garage Doors to	AS/ NZS 4505
Plasterboard to	AS/ NZS 2588
Plasterboard Installation to	AS/ NZS 2589.1
Waterproofing Wet Areas to	AS 3740
Plumbing and Drainage Products to	SAA MP52
Stormwater to	AS/ NZS 3500.3.2 or AS/ NZS 3500.5
Wastewater to	AS/ NZS 3500.2.2 or AS/ NZS 3500.5
Septic Tanks to	AS/ NZS 1546.1
Effluent Disposal to	AS 1547
Freshwater to	AS/ NZS 3500.1.2 and AS/ NZS 3500.4.2
Rainwater Tanks installed to	AS/ NZS 3500.1.2
Gas Installation to	AS 5601
Masonry Units and Segmented Pavers to	AS/ NZS 4455
In Situ Concrete Paving to	AS 1379
Electrical Installation to	AS/ NZS 3018 and comply with the EDS&IR
Telecommunications installation must comply to AUSTRAL TEL TS 009 and the recommendations of	SAA HB29



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<b>DWG FILE</b> Mallacoota Arts Council Inc Plans	<b>CHECKED</b> WM	

<b>JOB DETAILS</b> Mallacoota Arts Council Inc 6 Edith Terrace Ave Mallacoota VIC 3892
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Standards Information

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GENERAL NOTES

- G1 These drawings shall be read in conjunction with all other project drawings and specifications and with such other written instructions as may be issued during the course of the work. All discrepancies shall be referred for decision before proceeding with the work.
- G2 All dimensions are to be checked on site before work commences. Variations are to be confirmed and agreed. Dimensions shall not be obtained by scaling from the drawing.
- G3 During construction the contractor shall be responsible for maintaining excavations in a stable condition.
- G4 Safety requirements shall be in accordance with the requirements of the workplace health and safety act as administered by the division of accident prevention.
- G5 The approval for the use of alternatives shall be sought before the work commences.
- G6 All dimensions are in millimetres unless noted otherwise. All reduced levels are expressed in metres and are to assume datum unless noted otherwise.

These drawings contain information for obtaining a building permit. They are not detailed sufficiently for a specification for a binding contract with a builder. An additional specification should be written to include painting, electrical and plumbing fittings and second fixings (kitchens, robes, cupboards, etc).

Windows and doors including frames, glazing and fixings are to comply with AS1288-1994 (Glazing and Impact) and AS2047-1999 (Construction) and be certified by the manufacturer (including fixing details). Refer to DTCM/ 412/ 1-2 for design pressure criteria. Builder to check that frame sizes suit constructed openings (especially blockwork). Windows less than 1500mm from the base of a bath or shower substrate are required to be safety glass as per AS1288.

Sliding glass door to have safety motifs at mid height where the lowest visible sight line is less than 1200mm above the highest abutting finished floor level. Safety glass is required where the glass panel exceeds 0.5sqm.

Smoke alarms (complying with AS3786) are to be installed where shown on the plan in accordance with BCA3.7.2. Photo electric or ionisation types are to be fitted in or under ceiling with no dead air spaces and in the hallway between bedrooms and other habitable areas as required.

Sanitary compartments (toilets) are to have a removable door as per BCA3.8.3.3(C) if the distance from the pan to the nearest part of the door is less than 1200mm. Alternatives include a sliding door or door opening outwards.

Proprietary items and non-structural materials with unspecified fixing shall be constructed as per manufacturer's specification for the relevant region.

TERMITE RISK MANAGEMENT

Termite control to be in accordance with AS3660.1 and BCA3.1.3. Monolithic concrete slab laid in accordance with AS2870.1 with 75mm exposed vertical concrete edge for visual termite control. All penetrations and construction joints to be fitted with Termimesh or other approved physical barriers installed or applied by licenced applicator to manufacturer's specification. Any untreated timber posts, stairs and the like shall be set 75mm minimum clear of ground for visual inspection. Any active nest containing economically significant termites within the property boundaries up to a distance of 50m from the proposed building shall be eliminated prior to construction. All timber offcuts, building debris and other materials such as cardboard and paper containing cellulose shall be removed from the site.

Two approved notices shall be affixed to the dwelling as required advising owner's of the method of termite risk management used and their ongoing responsibility for the maintenance of the system.

STEELWORK

1. Cold formed steel sections of 1.2mm thickness or less shall have a minimum yield stress of 550MPa and 450MPa for greater thickness.
2. Cold formed girts and purlins shall be Bluescope Steel. Fabrication shall comply to all manufacturers' catalogues and manuals conforming to AS1533-1988, The Cold Formed Steel Structures Code.
3. All M16 bolts shall be 8.8/ 5, 830MPa minimum tensile strength to AS1111.
4. Steel flat bars, angular bars, universal beams/ columns shall be grade 250 to AS3679 with a 410MPa minimum tensile strength.
5. RHS and SHS shall be as indicated in the drawing to comply with AS1163 and AS4100.
6. Reinforcing round bars shall be as indicated in the drawing.
  - \* low strength plain bars to AS1302-250R, marked "R"
  - \* low strength deformed bars to AS1302-250Y, marked "Y"
  - \* high strength deformed bars to AS1302-400Y, marked "Y"
7. Wire mesh reinforcement for concrete slab shall be F62 with 25mm top cover for light loading and F72 to F82 for heavier.
8. Roof, wall, sway braces and fly braces shall be as shown in the drawing or to manufacturers' manuals.
9. All weldments shall be 6mm fillet minimum and to receive an appropriate coat of anti-corrosive paint before any final finish coating is applied.
10. Stability of the structure during construction is the builder's responsibility. Provide suitable temporary bracing as required.

STRUCTURAL STEELWORK NOTES

- S1 All workmanship and materials shall be in accordance with AS4100-1990.
- S2 Unless otherwise specified, all steelwork not hot dip galvanized shall be shop painted with one coat of zinc phosphate primer.
- S3 Except where otherwise shown, welds are to be a 6mm continuous fillet, E4 IXX electrode.
- S4 Unless otherwise shown, all nuts, bolts and washers shall be galvanized in accordance with AS1214.
- S5 Site welds to be painted with zinc rich paint.
- S6 Dissimilar metals shall be separated so as to prevent galvanic corrosion.
- S7 All metal used in structural timber connections shall be provided with suitable corrosion protection for particular conditions in accordance with AS/ NZS4791 and AS1214.

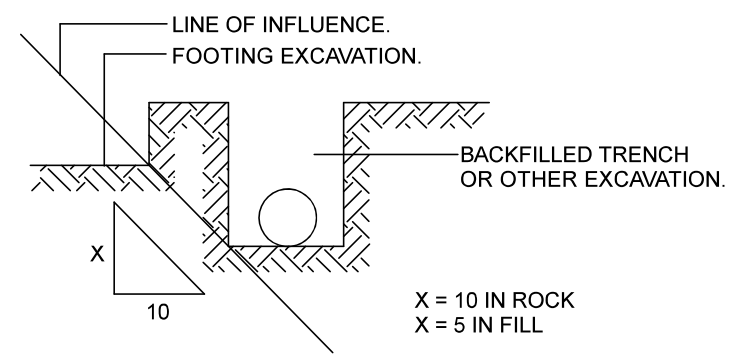
CONCRETE WORK

- C1 All workmanship and materials shall be in accordance with AS3600-1994.
- C16 Damp proof membrane to be 200um thick polyethylene film with lap joints 200mm. Seal lap penetrations and punctures with double sided butyl adhesive tape.
- C21 Maintain minimum cover to reinforcement around penetrations of the slab.

1. Concrete for the footing shall be 20MPa and 25MPa for slab, minimum compressive strength at 28th day with 20mm maximum aggregate size. At concrete pouring, slump shall be from 60mm to 100mm dependent on site conditions and shall be vibrated by an approved method. Curing of concrete shall be done just after initial set for 3 to 7 days continuous.
2. All crack control joints shall be 4mm wide x 45mm deep saw cut. Locations shall be from 6.0m to 12.0m on centres.
3. Reinforcement shall be aligned correctly using approved spacers.
4. Prior to the concrete pour the builder shall comply to all local Council requirements, seek advice and perform the best building practice.

SITE PREPARATIONS, EARTHWORKS & FOUNDATIONS NOTES

- E1 Earthworks shall be in accordance with AS3798 and as follows.
- E2 Refer geotechnical report as noted on drawings.
- E3 All vegetation and top soil shall be removed to stockpile.
- E4 The contractor shall check all excavations for organic material and rubbish. If any of this material is found, it shall be removed from the works to a place designated by the owner or builder.
- E5 Where indicated in the specification or on the drawings, excavated material adequate for filling shall be stockpiled for re-use.
- E6 Unless noted otherwise in specification, footings and slabs shall be founded on compacted material or controlled fill as per the geotechnical report.
- E7 Footings have been designed for a uniform bearing pressure of 100kPa. Before any concrete is placed, the safe bearing of the ground shall be verified.
- E8 Prior to carrying out earthworks operations, the contractor shall locate all services and advise the superintendent of any conflicts.
- E9 Levels shown are to be confirmed on site prior to commencing work.
- E10 Termite treatment under slab in accordance with the relevant requirements as per AS3660 Pt1.
- E11 The limitations of excavations near footings shall be as follows:



E12 All free draining granular fill material behind retaining walls shall be of strong durable particles conforming to the following gradings:

A. S. SIEVE SIZE	% PASSING
26.5mm	100
9.5mm	45 - 100
2.36mm	20 - 75
75 microns	0 - 15

E13 DRAINAGE: For all forms of termite protection, the sub-floor area below a suspended floor shall be graded and drained to prevent the ponding of water under buildings. All paving and other ground surfaces abutting external walls shall grade away from the building.

E14 Builder to comply with health and safety regulations and government and local authority requirements.



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Mallacoota Arts Council Inc  
66 Maurice Ave  
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General Notes

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PROPERTY DESCRIPTION

LOT 1 - P5712497

Local Authority - East Gippsland Shire Council

EXISTING ROOF AREA - 36sqm  
EXISTING COURTYARD AREA - 58.4sqm  
TOTAL PROPOSED ROOF AREA - 45sqm

DESIGN CRITERIA

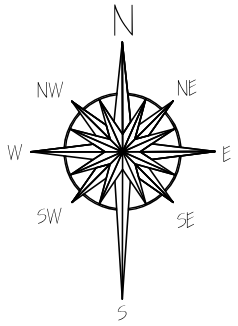
BAL 29  
N3 WIND RATING

NOTE:

Works with the potential to cause adverse effects on water quality, and land degradation must have sediment fences placed down-slope of soil disturbance areas and around all open storm water pits likely to receive run-off water from the site. Downpipes must be connected to temporary or permanent means of controlling roof water run off. Ensure ground above structure slopes away to spoon drain so as to divert water run off away from under house. Unprotected embankments must be within the parameters described in Table 3.1.1.1 of B.C.A. and if left exposed at the end of construction works, must be stabilised by vegetation or similar works to prevent erosion.

NOTE:

If no connection is available to a reticulated water supply, the dwelling must be provided with water storage capacity of at least 45,000 litres and must comply with AS/NZS 3500:2003 and the Water Act 2000. SD Approved smoke alarm to comply with AS 3786 and Part 3.7.2 of BCA. All wet areas to be treated to BCA 3.8.1 with approved waterproofing system and must comply with AS 3740-2004.



Northern Elevation

Western Elevation

Eastern Elevation

Southern Elevation

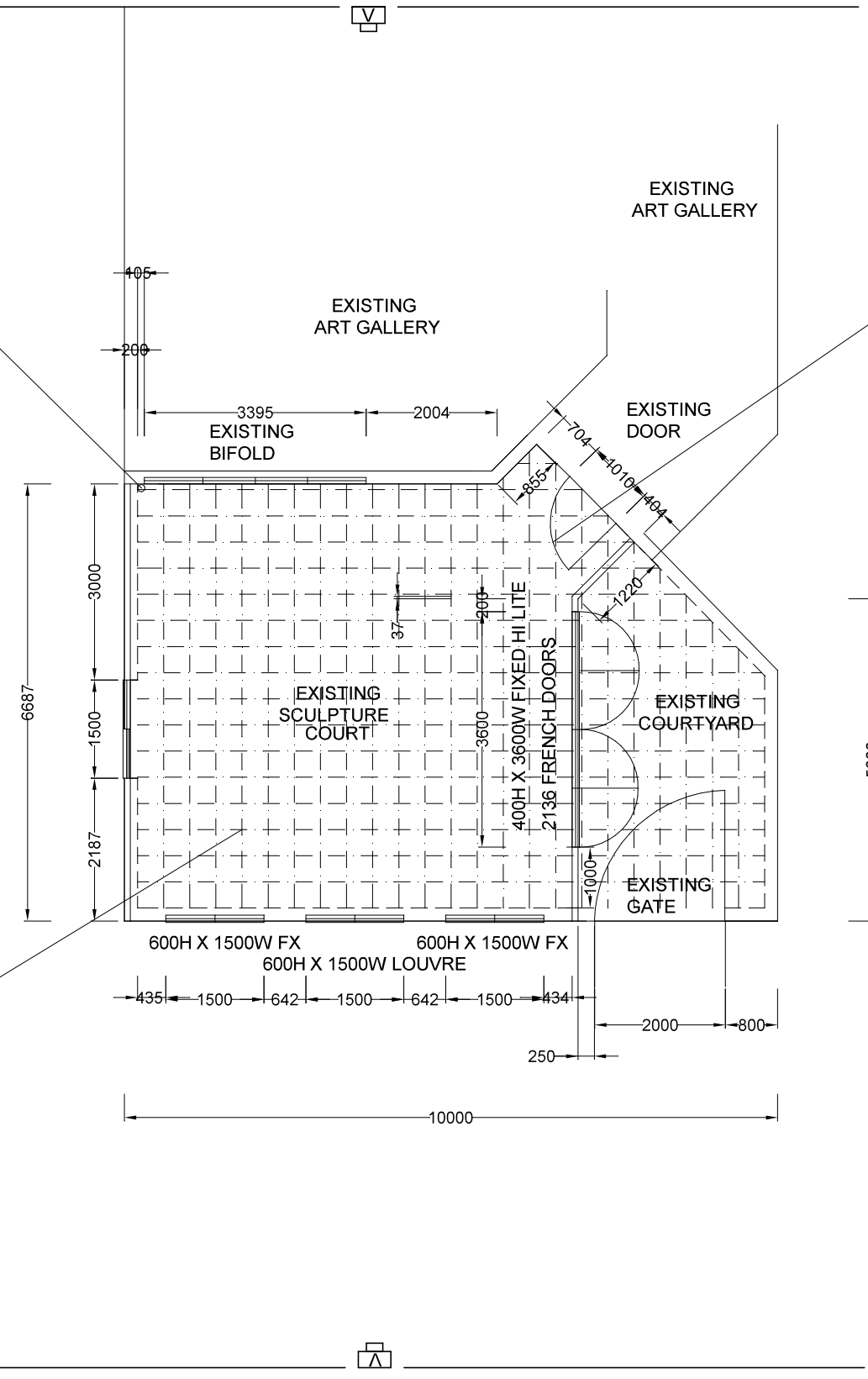
existing downpipe to be relocated

DP

roof extension proposed over doorway to make it safe and dry when holding workshops in the Sculpture Court

existing paving to be retained

2100H x 1500W SGD  
900H x 1500W LOUVRE



Building footprint remaining the same.  
New roof and part walls proposed  
Proposed to weatherproof the workshop area.



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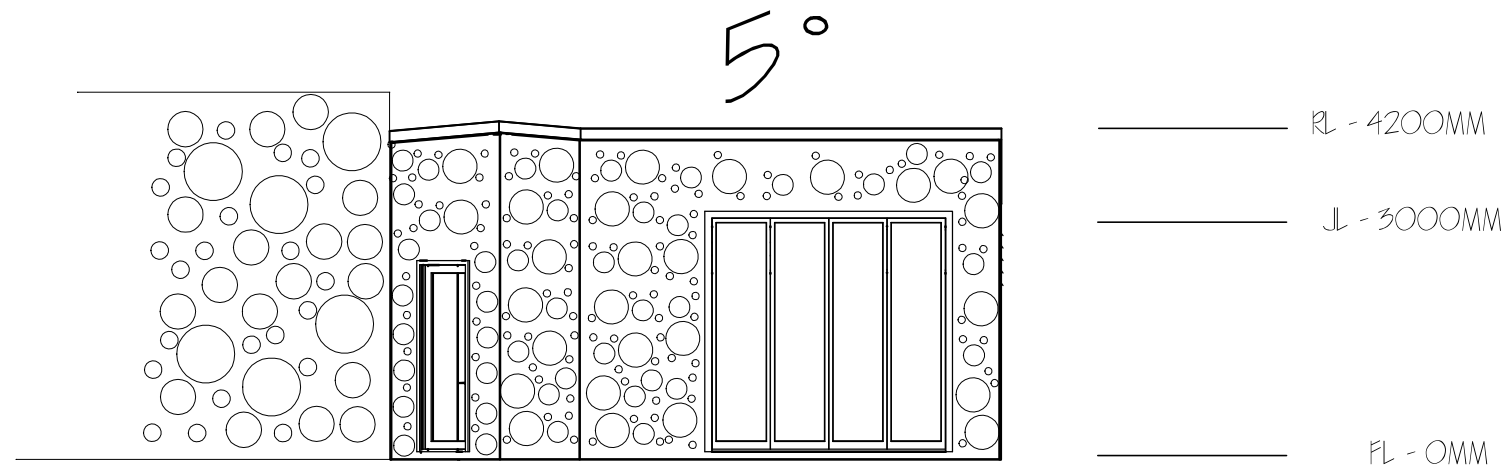
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Floor Plan

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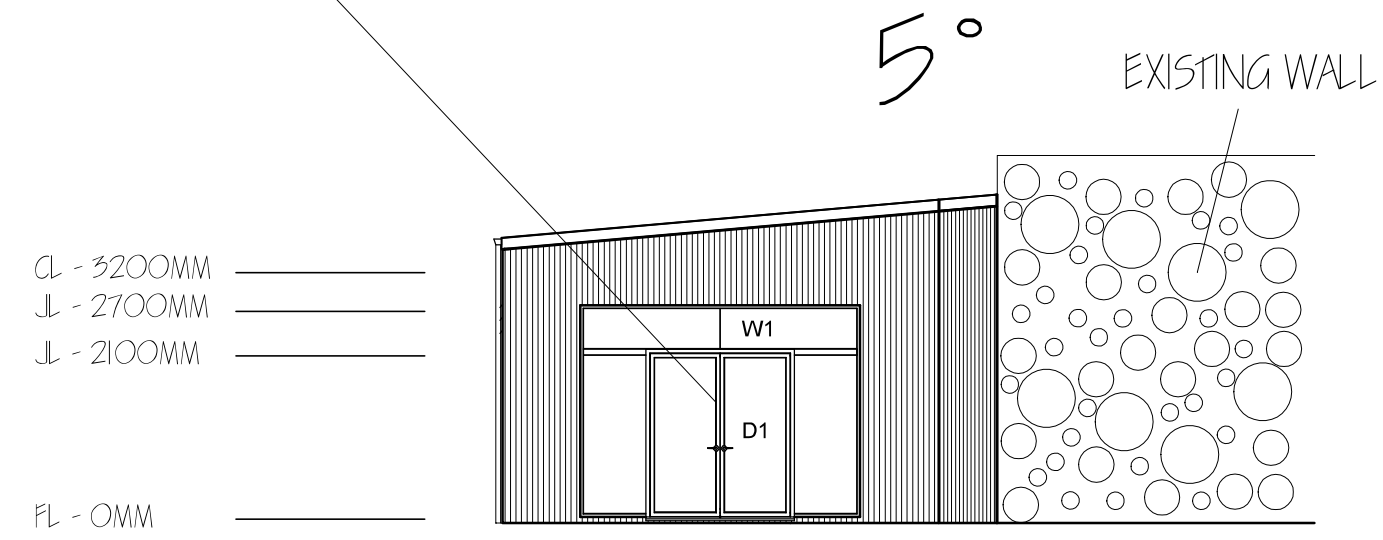
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EXISTING WALL  
INTERNAL VIEW FROM ART GALLERY



NORTH-INTERNAL

ALUMINIUM WINDOWS  
AND DOORS



EAST FROM INSIDE COURTYARD

- Colours**
- Mini Panel Cladding (Colorbond Ultra)
    - Monument
  - Mini Panel Lining (Colorbond)
    - Surfmist
  - Roof (Colorbond)
    - Shale Grey
  - Gutter/Fascia/Barge/Flashings (Colorbond Ultra)
    - Monument



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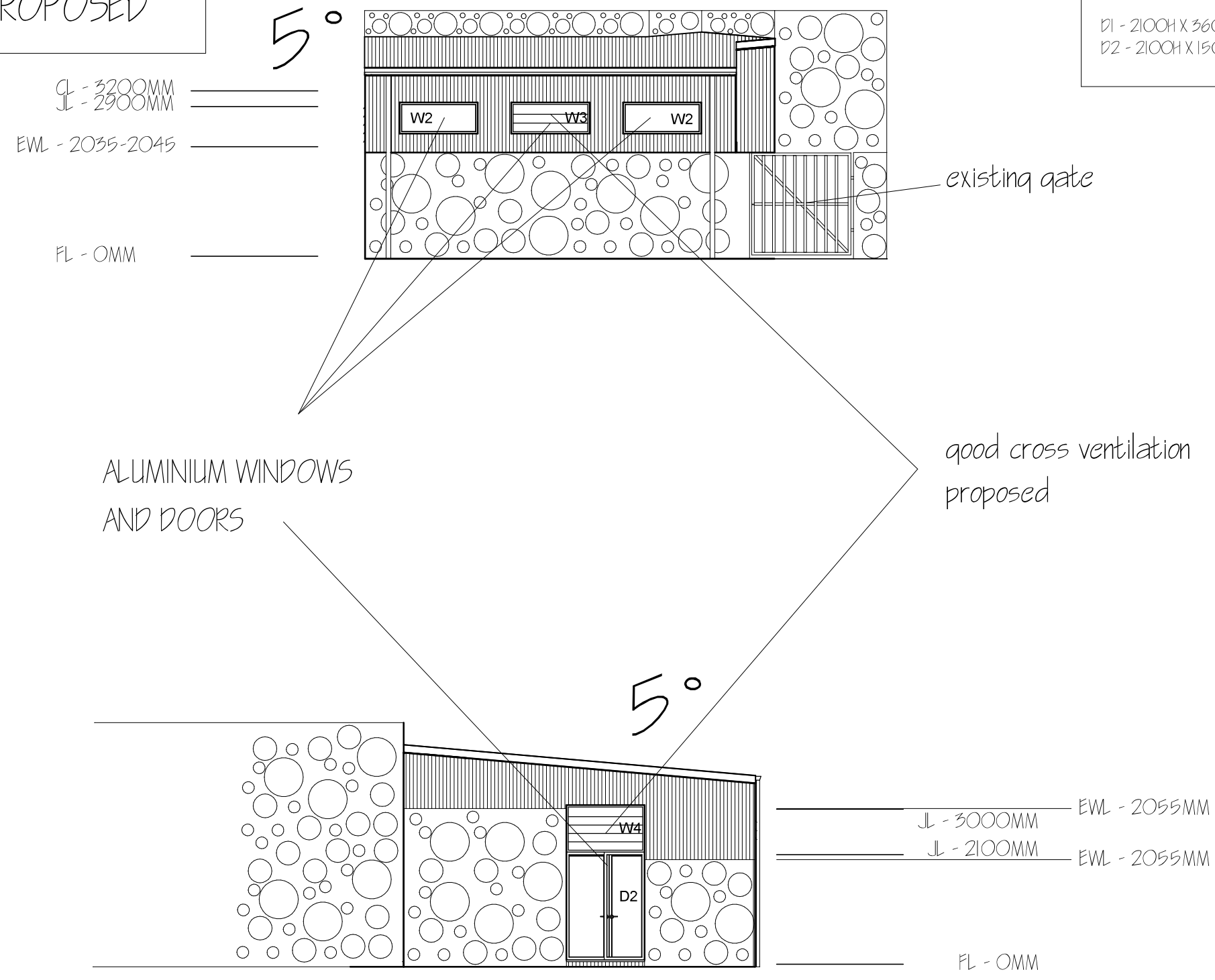
Elevations  
North/ East

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EXISTING RENDERED BLOCK WALL  
COLORBOND MINI PANEL PROPOSED



SOUTH

WEST

CONCRETE STRIP FOOTING TO ENGINEER'S SPECIFICATIONS



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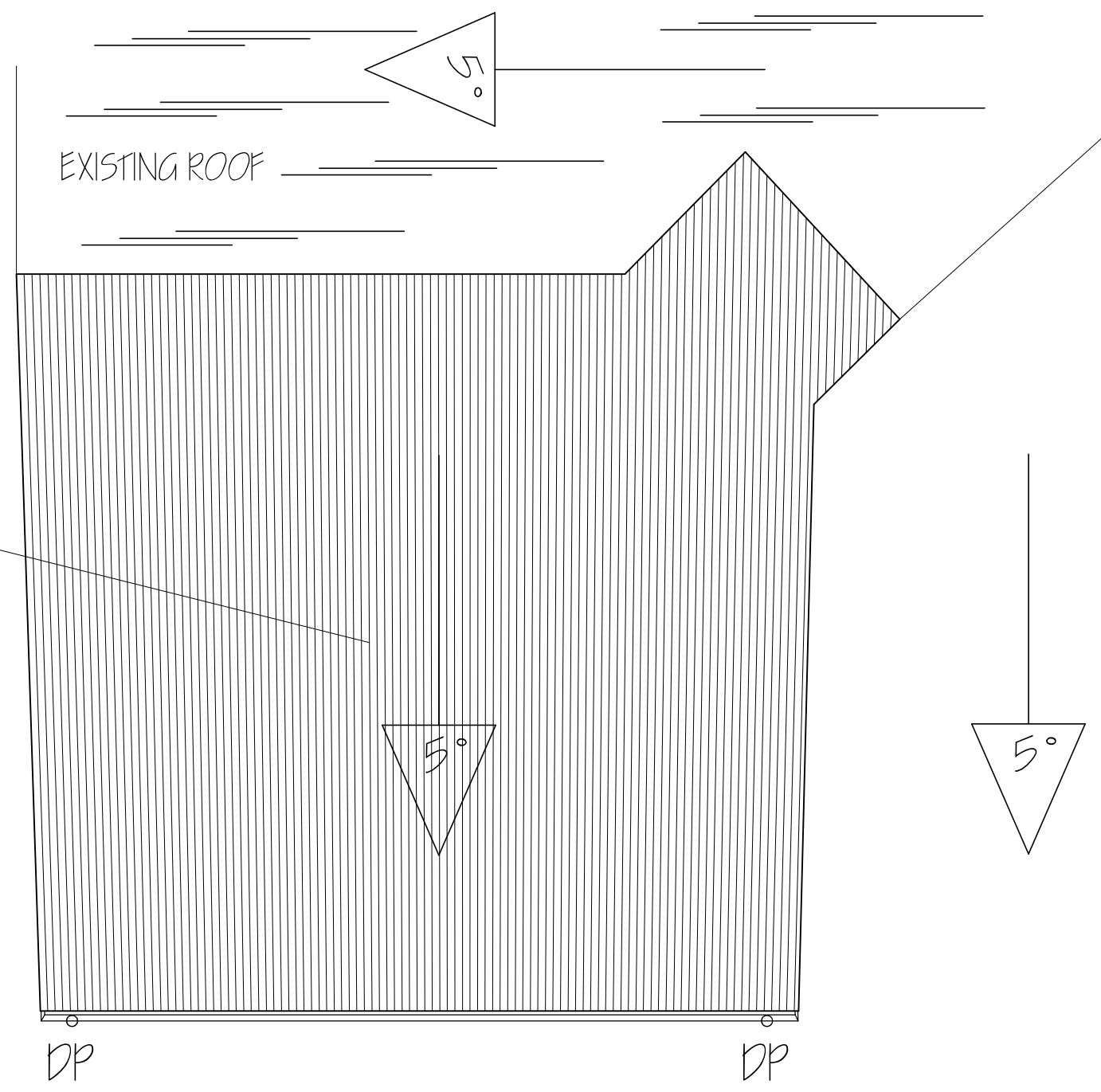
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Elevations  
South/ West

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COLORBOND ROOFING - CUSTOMER TO CHOOSE COLOUR



ROOF CHANGING FROM A VINYL STRUCTURE TO A METAL STRUCTURE WITH GUTTERING

DOWNPIPES TO BE CONFIRMED BY A PLUMBER ONSITE



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Roof Plan

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**Shower Roses:** (to reticulated mains water supply only)  
 This applies to new Class 1 buildings and sole-occupancy of new class 2 buildings, or where the bathroom of these buildings undergoes renovation. Shower Roses to be 3 Star rating under the Water Efficiency Labeling scheme (WELS) or a AAA rating when assessed against AS/NZS 6400:2005 Water Efficient Products - rating and labeling.

**Water Pressure Limiting:** (to reticulated water supply areas only)  
 The maximum pressure level of water from any outlet within the property boundaries of a new class 1 building must not exceed 500kPa. Compliance can be achieved through the installation of a water pressure limiting device inline with the water meter. Where it is known that the pressure level of the water supply does not exceed 500kPa, a water pressure limiting device is not required.

**Dual Flush Toilets:**  
 This applies to new class 1 buildings and sole occupancy units of new class 2 buildings or where toilets are replaced in bathrooms of these buildings classifications undergo renovations. A toilet must have a dual flush capacity that does not exceed 6 litres on full flush and 3 litres on half flush.

**Mosquito protection requirements**  
 QDC MP 4.2 and 4.3 require rainwater tanks to have suitable measures in place to prevent mosquitoes and vermin from entering the tank.  
 Acceptable solutions involve the installation of mosquito-proof screens or flap valves at each of the tank's outlets and a screened downpipe rain head on each downpipe.

**ROOFWATER DRAINAGE RAINFALL INTENSITY**  
 of 240mm/hr with ARI of 1 in 100 years (Merimbula NSW)  
 To be confirmed by the licensed plumber on site.

As per Part 3.5.2 of the B.C.A., the roof area per downpipe is calculated using the Steeline squareline gutter with a effective cross-sectional area of 7769 sq.mm. Achieving a maximum area of roof per downpipe of 40 sq.m. Which gives a maximum plan dimension 39.84 sq.m. at 5°, 39.36 sq.m at 10°, 38.64 sq.m. at 15°, 37.6 sq.m. at 20°, 36.9 sq.m. at 22.5°, 36.2 sq.m. at 25° and using 90mm round downpipes.

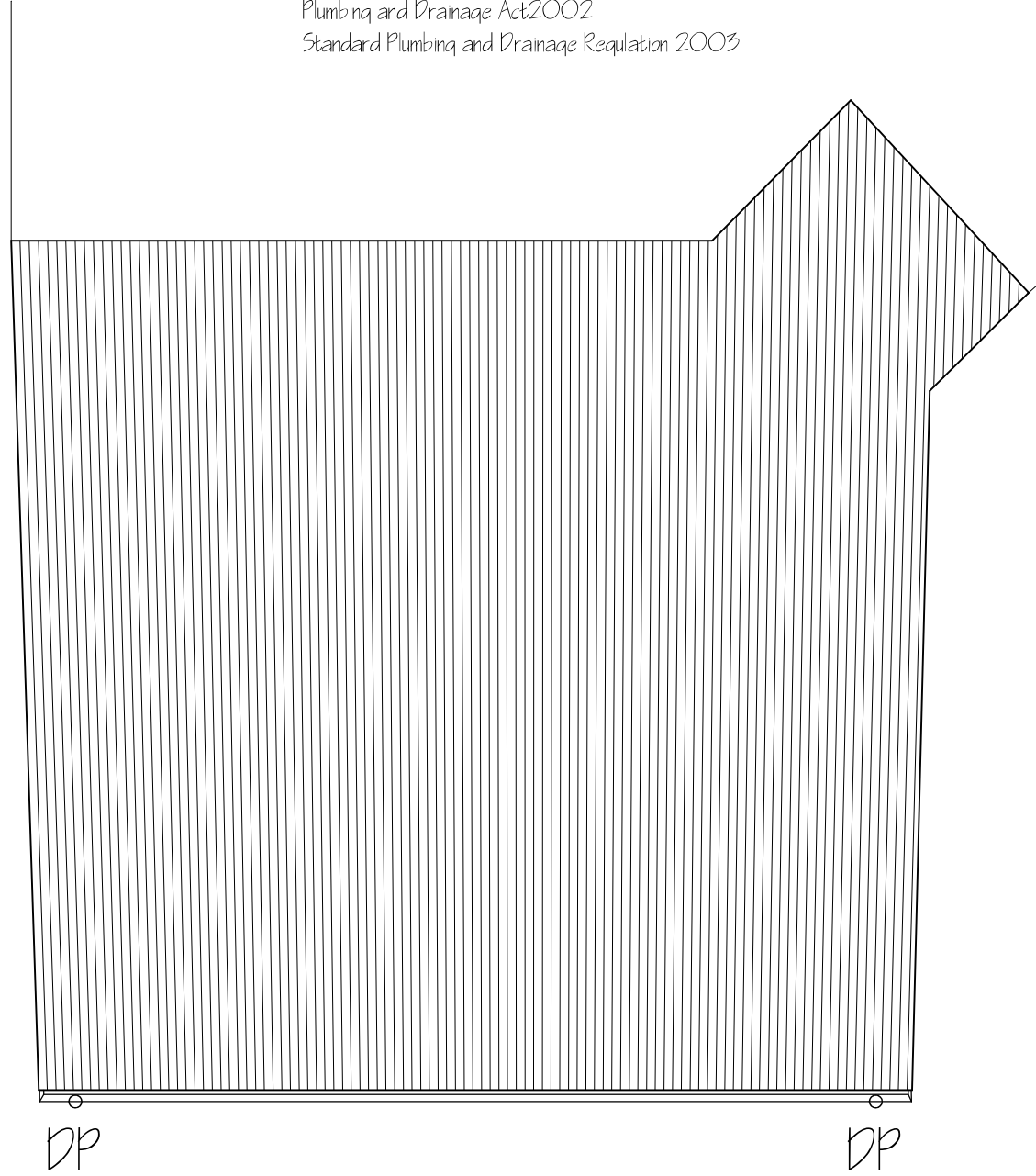
As per Part 3.1.2 of the B.C.A. in accordance with AS/NZS 3500.3.2, UPVC stormwater pipelines having a smooth (non-profiled) internal bore with a fall of 1:100 minimum and a nominal diameter of 100mm achieves a hydraulic capacity of 8 litres per second, giving a maximum actual roof area of 114.7 sq.m. or a maximum plan dimension of 110.2 sq.m. at 5°, 105.2 sq.m. at 10.5°, 101.0 sq.m. at 15°, 97.2sq.m. at 20°, 95.2 sq.m. at 22.5°, 93.2 sq.m. at 25° per stormwater pipe.

**Hot Water Supply:** In a new class 1 building,  
 A suitable hot water system includes:  
 (a) a gas hot water system with a five star energy rating, or  
 (b) a heat pump or solar hot water system where:  
 (i) in a building with 3 or more bedrooms, the hot water system, must be eligible to receive at least 22

Renewable Energy Certificates.  
 If choosing GAS hot water system system be aware that the system must be kept clear of window and door openings (including air vents, weep holes and drains) for a horizontal distance of 1m and with a vertical separation of 500mm. to any openings above. Refer to AS5601-2004. Depending on the type of gas storage bottle (Exchange or insitu), you can not have an ignition source surrounding the gas storage bottle, 1.5m. radius for Exchange bottler, or 3.5m. radius for insitu bottle.

**Reference Standards and Legislations:**  
 AS/NZS 3500.1: 2003 Plumbing and drainage - Water services  
 AS/NZS 6400: 2005 Water Efficient Products - Rating and Labeling.  
 Plumbing and Drainage Act 2002  
 Standard Plumbing and Drainage Regulation 2003

○  
 DP  
 DOWNPIPE



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Plumbing  
 Plan

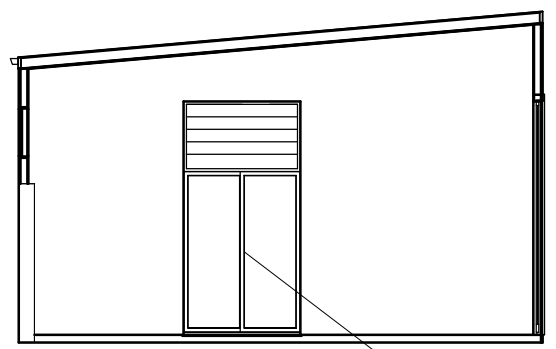
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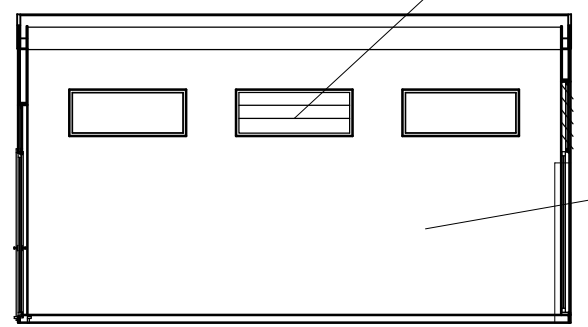
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# Section A

5°

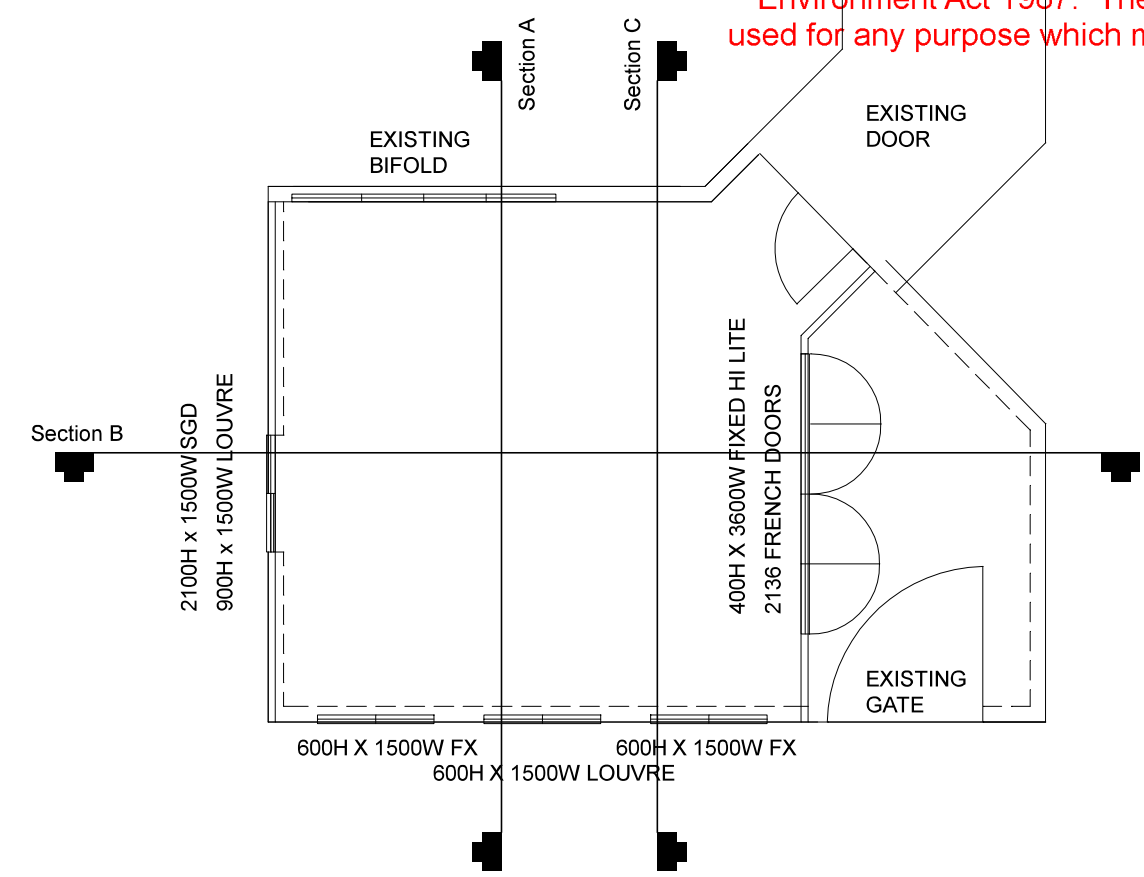
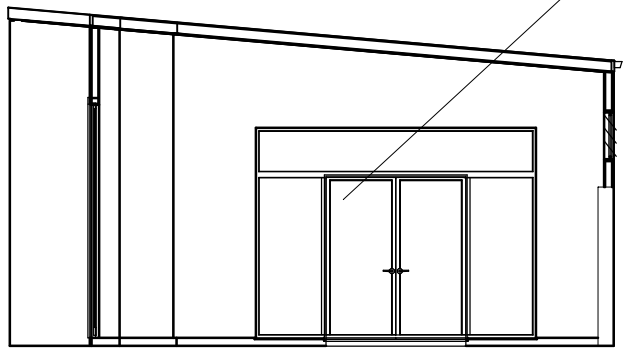


# Section B

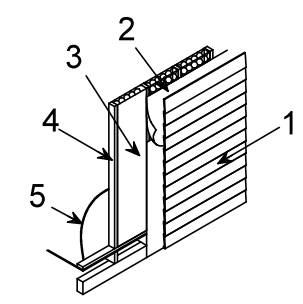
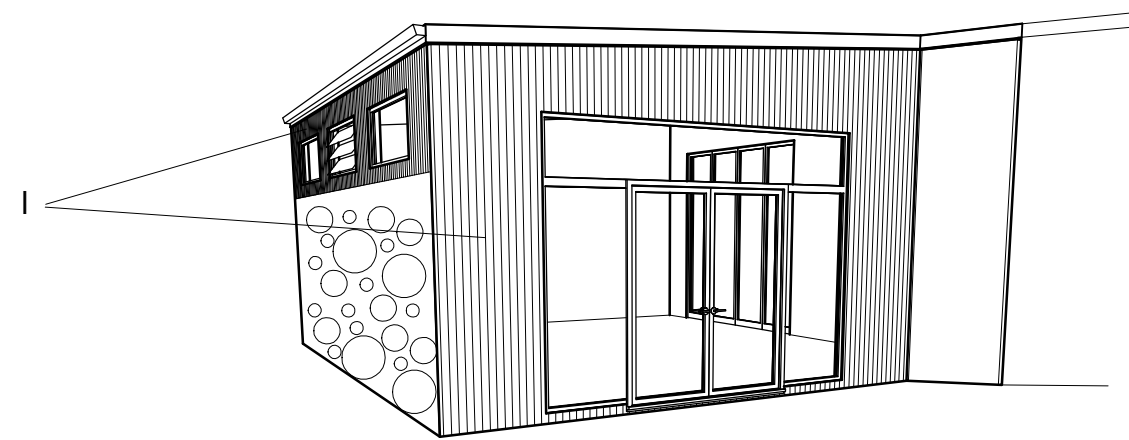


# Section C

5°



FLOOR PLAN SCALED DOWN FOR SECTIONAL  
RELY ON WRITTEN MEASUREMENTS ONLY



- 1 CUSTOMER SELECT CLADDING
- 2 THERMAL BREAK INSULATION
- 3 INSULATION BATT R2
- 4 90MM LIPPED 'C' SECTION METAL STUD
- 5 10MM GYPROCK LINING
- 6 COLORBOND CUSTOM ORB ROOFING
- 7 ALUMINIUM WINDOWS



The Steel Framing Company Pty Ltd  
52 Moorlands Lane,  
Frogs Hollow via Beqa NSW 2550  
www.tsfc.com.au

DATE DRAWN  
4th June 2021  
DWG FILE  
Mallacoota Arts Council Inc Plans

DRAWN  
SM  
VIEW NAME  
9 of 11  
CHECKED  
WM  
SCALE  
1:100@A3

JOB DETAILS  
Mallacoota Arts Council Inc  
66 Maurice Ave  
Mallacoota VIC 3892

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Section  
Layout

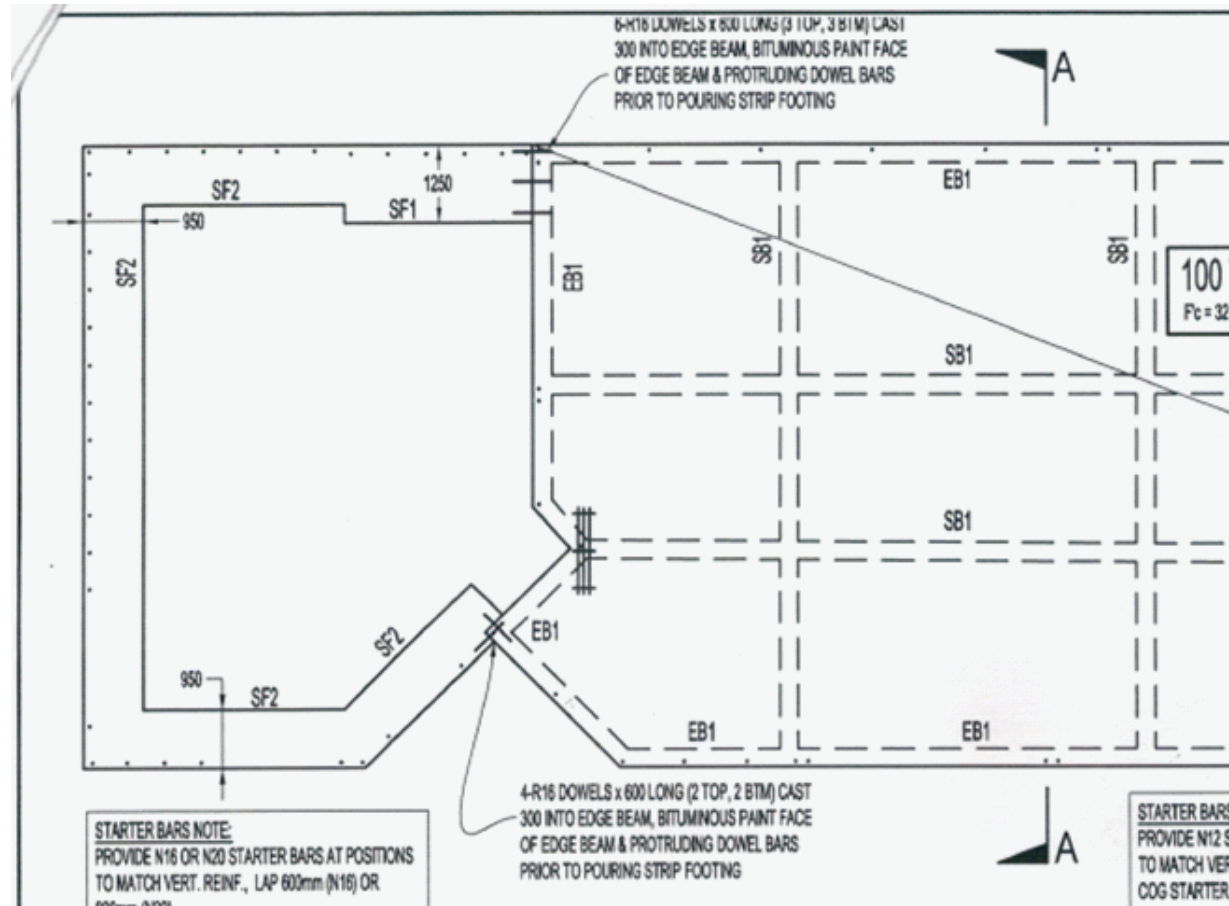
JOB REFERENCE  
TSFC#21091  
REVISIONS  
REV  
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# FOOTING DESIGN FOR BLOCK WALL - SEPT 2012

ADVERTISED

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M CLASS SOIL TYPE  
REFER GEOTECH ENGINEER REPORT

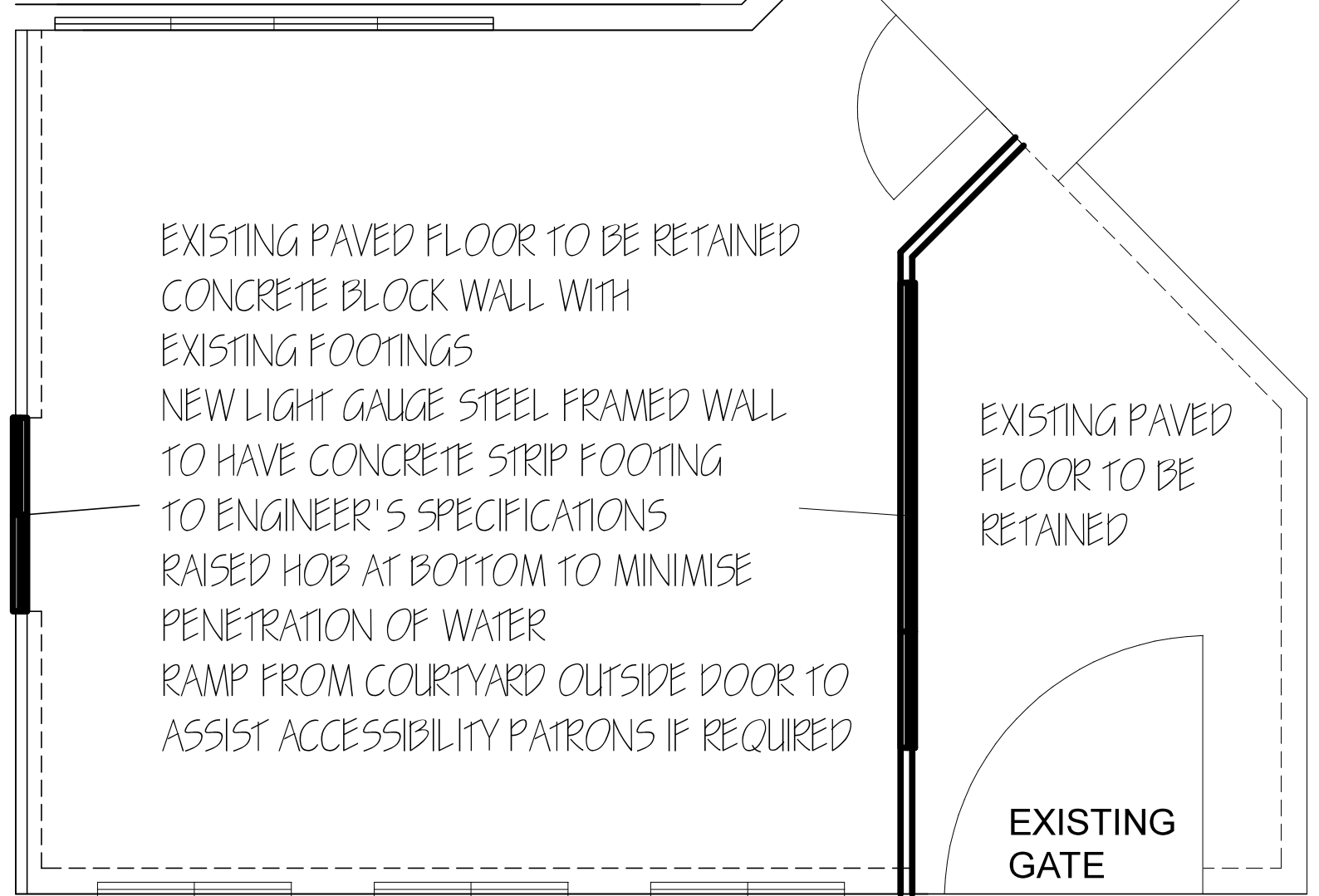
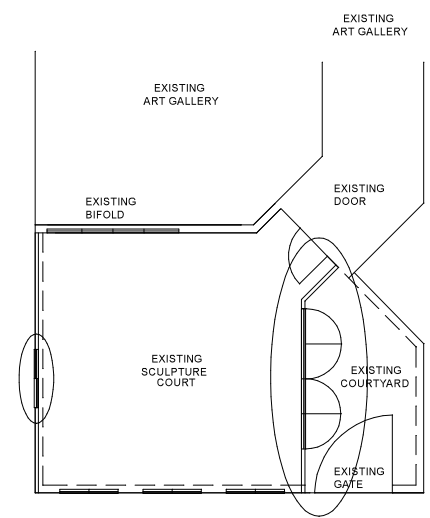


**SLAB & FOOTING PLAN**  
SCALE 1:100

FOOTING SCHEDULE		
MARK	SIZE	COMMENT
F1	600Ø x 1200 D BORED PIER	MASS CONC.
EB1	400 D x 300 W EDGE BEAM	34.11TM BOTTOM
EB2	400 D x 350 W EDGE BEAM	34.11TM BOTTOM
SB1	400 D x 300 W STIFFENING BEAM	34.11 TM BOTTOM
SF1	500 D x 1250 W STRIP FOOTING	SL72 TOP, #16 @ 800 CRS STARTERS, #16 @ 400 CRS LONG.
SF2	500 D x 950 W STRIP FOOTING	SL72 TOP, #16 @ 800 CRS STARTERS, #16 @ 400 CRS LONG.

ALL EDGE BEAMS AND STRIP FOOTINGS TO BE FOUNDED 100mm INTO NATURAL YELLOW SILTY CLAY (APPROX. 600mm BELOW EXISTING SURFACE LEVEL). USE BLINDING CONCRETE AS REQUIRED TO ACHIEVE CORRECT FOUNDING DEPTH

REV	DESCRIPTION	CHKD	DATE	Design: DC	Project: MALLACOOTA ARTS BUILDING
				Drawn: DC	MAURICE AVENUE, MALLACOOTA
				Checked: DC / SA	Client: 3CA
				Date: 14 SEP 2012	



EXISTING PAVED FLOOR TO BE RETAINED  
 CONCRETE BLOCK WALL WITH  
 EXISTING FOOTINGS  
 NEW LIGHT GAUGE STEEL FRAMED WALL  
 TO HAVE CONCRETE STRIP FOOTING  
 TO ENGINEER'S SPECIFICATIONS  
 RAISED HOB AT BOTTOM TO MINIMISE  
 PENETRATION OF WATER  
 RAMP FROM COURTYARD OUTSIDE DOOR TO  
 ASSIST ACCESSIBILITY PATRONS IF REQUIRED

CONCRETE STRIP FOOTING TO ENGINEER'S SPECIFICATIONS



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 52 Moorlands Lane,  
 Frogs Hollow via Beqa NSW 2550  
 www.tsfc.com.au

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4th June 2021  
 DWG FILE  
Mallacoota Arts Council Inc Plans

DRAWN  
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10 of 11  
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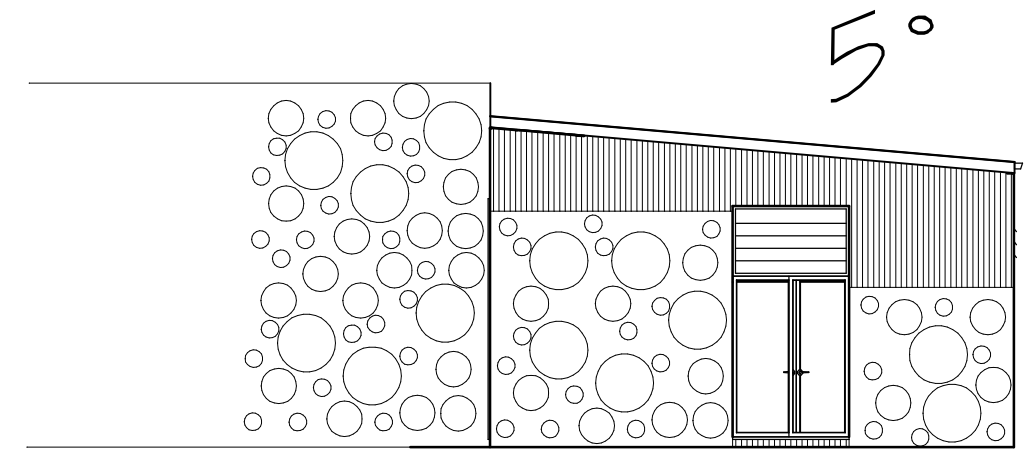
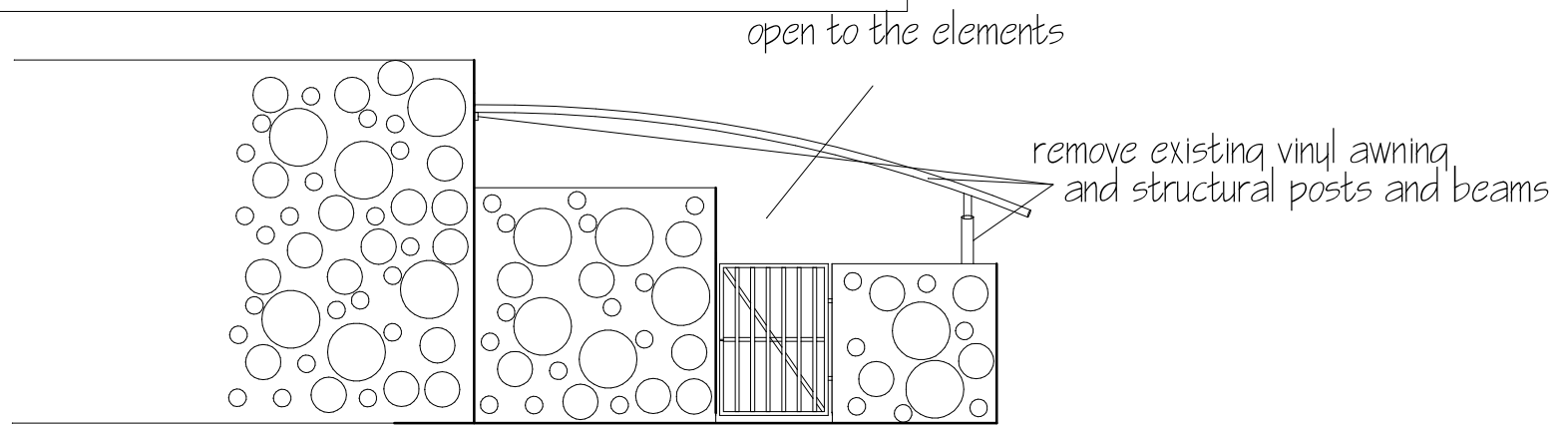
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Footings Layout  
 Plan

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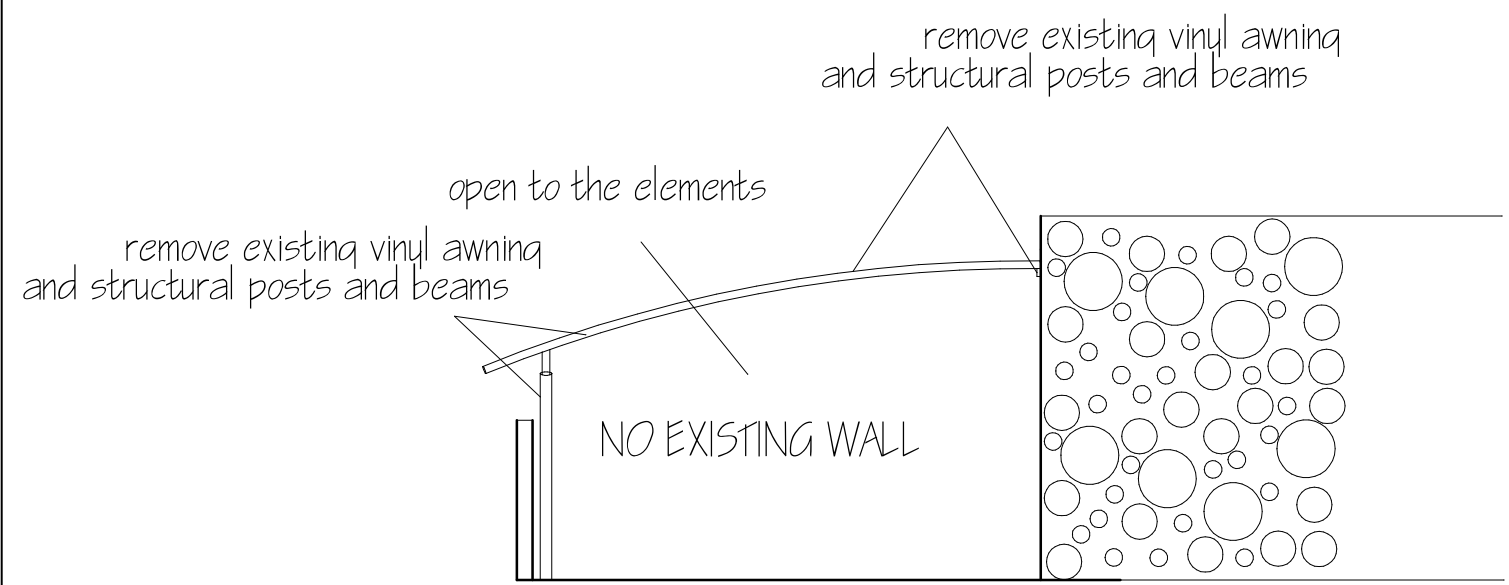
EXISTING RENDERED BLOCK WALL
   
 COLORBOND MINI PANEL PROPOSED



WEST

EXISTING STRUCTURE

PROPOSED STRUCTURE



EAST

