This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be

NOTICE OF AN APPLICATION FOR PLANNING PERMIT Act 1987. The document must not be used for any purpose which may breach any copyright.

The land affected by the application is located at: The application is for a permit to:	6 Hakea Court MALLACOOTA 3892 Lot: 10 PS: 616253 Buildings and Works for a Dwelling		
A permit is required under t	he following clauses of the planning scheme:		
Planning Scheme Clause	Matter for which a permit is required		
43.02-2	To construct a building with a height in excess of 7.5 metres		
44.06-2	To construct a building associated with accommodation.		
The applicant for the permit is:	Sean Caracella Management Pty Ltd		
The application reference number is:	5.2024.349.1		

You may look at the application and any documents that support the application free of charge at: https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- be made to the Responsible Authority in writing,
- include the reasons for the objection, and
- state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
--	--

If you object, the Responsible Authority will tell you its decision.

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be

		used for any p	urpos	se willcitilla	
East Gippsland Shire Council					
273 Main Street (PO Box 1 Bairnsdale VIC 3875 Website www.eastgepsla Email feedback@egions v Follow us on Twitter @eg	nd vic gov. au	National	Fax: (03 Relay Servi) 5153 9500) 5153 9576 De: 133 677 57 967 765	
Applicant Details:	Planning Permit A	pplication			
Name: SEAN CA	RACELLA				
Business trading name: (if ap	plicable)				
Email address:					
Postal address: 17 KIN	GFISHER PLACE,	SOUTH MO	OR SHEET SHOWS	medical blooming and state over the	
Phone number: Home:	Work:	12.	Marian I	ostcode 3752	
		M	obile		
Owners Details: (if not the app	30.00000 C				
Name: SEAN CARU					
Business trading name: (if ap	plicable) S.ZAN CAN	ACULLA MAN	AGGT	IENT PTY LIT	
Postal address					
17 KIN	SEFISHER PLACE,	South MORE	17.0	Postcode 375	
Phone number: Home:	Work:	1	Mobile:	3 1 3	
Description of the Land:	The state of the s				
Street number: 6	Street name: ப	KEA COURT	_		
Town: MALLACOOT		nea abore	COLUMN 12	Postcode 389	
egal Description:		-	-	Tourse DM	
THE SECTION OF THE PROPERTY.	odged plan Title plan	Plan of Subdivision	Nur	mber: 6	
rown Allotment Number:	and have the brane to	Section	W. C. C.		
	ACCO.T.	GGGGGT			
arish/Township Name: MAN		Officers name:			
as there been a pre-application	in meeting. Tes 2 No	Officers flattle.			
our reference number:					

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be

East Ginnelan	J 61			
ero main Street (PO Box 1818)	d Shire Council			
Bairnsdale VIC 3875 Website yow easippostand vic gov au Email feedback feedpost vic gov au Follow us on Twitter Gegsc FANT au	National Rela	ne: (03) 5153 950 xx: (03) 5153 957 Service: 133 67 N: 81 957 967 76	7	
Is there any encumbrance on the Title such as a restrict agreement or other obligation such as an easement or be		□Yes	ZÍNo	
Will the proposal result in a breach of a registered cover agreement?	nant restriction or	Yes	□No	Delete
Description of proposal: Describe the use, developme DUELLING IS TO BE USE LIVE IN/ REUTAL	ent or other matter which need	ods a permit	25€/_	
		200		
A STATE OF THE PARTY OF THE PAR				
xisting conditions: Describe how the land is used and	d developed currently:	-		
xisting conditions: Describe how the land is used and				PgUp
xisting conditions: Describe how the land is used and				PgUp
				. PgUp
imated cost of development:		.00		
imated cost of development: e: You may be required to verify this estimate	\$500,000	.00		
imated cost of development: e: You may be required to verify this estimate u need more space or have more information, please	\$500,000	.00		
mated cost of development: e: You may be required to verify this estimate need more space or have more information, please se make sure that:	\$500,000	.00		
mated cost of development: e: You may be required to verify this estimate need more space or have more information, please se make sure that:	\$500,000	.00		
imated cost of development: e: You may be required to verify this estimate u need more space or have more information, please se make sure that: orm is filled in fully and signed	\$500,000	.00		
imated cost of development: e: You may be required to verify this estimate u need more space or have more information, please se make sure that: orm is filled in fully and signed the correct fee is paid or payment enclosed	\$500,000	.00		
imated cost of development: e: You may be required to verify this estimate u need more space or have more information, please se make sure that: orm is filled in fully and signed the correct fee is paid or payment enclosed ttached any supporting information or documents	\$500,000 attach with this form.	.00		
imated cost of development: e: You may be required to verify this estimate a need more space or have more information, please se make sure that: form is filled in fully and signed the correct fee is paid or payment enclosed ttached any supporting information or documents Required - Title (must have been generated within Covenants or Section 173 agreements	\$500,000 attach with this form.	.00		
imated cost of development: e: You may be required to verify this estimate u need more space or have more information, please se make sure that: orm is filled in fully and signed the correct fee is paid or payment enclosed ttached any supporting information or documents Required - Title (must have been generated within Covenants or Section 173 agreements Site plan/floor - plan/elevations	\$500,000 attach with this form.	.00		
imated cost of development: e: You may be required to verify this estimate u need more space or have more information, please se make sure that: orm is filled in fully and signed the correct fee is paid or payment enclosed ttached any supporting information or documents Required - Title (must have been generated within Covenants or Section 173 agreements	\$500,000 attach with this form.		ent	

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be

used for any purpose which in **East Gippsland Shire Council** 273 Main Street (PO Box 1618) Bairnsdale VIC 3875 Website www.eastoposland.vic.gov.au Email feedback@egpps.vic.gov.au Fax: (03) 5153 9576 National Relay Service: 133 677 ABN: 81 957 967 765 Follow us on Twitter @egsc This application has an associated cost to be determined by a town planner Who is the invoice to be made out to? SOAN CARACELLA Declaration: I declare that I am the applicant and that all the information in this application is true and correct and the owner (if not myself) has been notified of the permit application. I confirm that I have authority to use the relevant documents. In the event that the giving of notice is required pursuant to Section 52 of the Planning and Environment Act 1987, I permit documents submitted as part of this application, including my full contact information, to be made available for public viewing on Council's website. Applicant signature Name: SEAN CARACIELLA Date: \1 11012024 Submitting your application: Fax to 03 5153 9576 Electronic Email to planning@egipps.vic.gov.au Post the signed, completed form together with any applicable fees or copies of any documentation to; Mail PO Box 1618 BAIRNSDALE VIC 3875. In Person Bring the completed form and supporting documents to any of the following locations; Service Centre Opening Hours: Bairnsdale Corporate Centre: 273 Main Street. Bairnsdale Service Centre: 24 Service Street. 9.00am to 5:00pm. Bairnsdale Business Centre: 34 Pyke Street. Monday to Friday. Lakes Entrance Service Centre: 18 Mechanics Street. Omeo Service Centre: 179 Day Avenue. Orbost Service Centre: 1 Ruskin Street. Paynesville Service Centre: 55 The Esplanade. Mallacoota Service Centre Opening Hours: Mallacoota Service Centre: 70 Maurice Avenue Monday and Tuesday 10.00am to 2.00pm Wednesday, Thursday, Friday 2.00pm to 5.00pm Privacy Statement
The East Gippstand Shire Council asks for details about you to collect rates, approve permits and licences, and run a range of community services. The information you give to us on this form is used only for the reasons set out in the form and is not given to anybody else. Sometimes we may supply details about you to someone else, but only if we are allowed by law, or to protect someone or property. When submitting documents to Council you are confirming that you have authority to use those documents. In the event that the giving of notice is required pursuant to Section 52 of the Planning and Environment Act 1987, you permit documents submitted as part of this application, including your full contact information to be made available for public viewing on Council's website



This copied document is made available for the sole

Copyright State of Victoria. No part of this publication may be reproduced except as permitted by the Copyright Act 1968 (Ch) to comply with a fraultony additional or interpretation of the publication may be reproduced except as permitted by the Copyright Act 1968 (Ch) to comply with a fraultony additional or interpretation of the information of the inf

REGISTER SEARCH STATEMENT (Title Seatech for pay steposof which may breach any breach and Act 1958

VOLUME 11194 FOLIO 688

Security no: 124118952509X Produced 11/10/2024 12:36 PM

LAND DESCRIPTION

Lot 10 on Plan of Subdivision 616253L. PARENT TITLE Volume 10600 Folio 829 Created by instrument PS616253L 01/04/2010

REGISTERED PROPRIETOR

Estate Fee Simple Sole Proprietor SEAN CARACELLA MANAGEMENT PTY LTD

AT436713S 17/07/2020

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS616253L FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NTI

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 6 HAKEA COURT MALLACOOTA VIC 3892

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END



This copied document is made available for the sole purpose of enabling its consideration and review as **Imaged Document Gover** in **Sheet** under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

The document following this cover sheet is an imaged document supplied by LANDATA®, Secure Electronic Registries Victoria.

Document Type	Plan
Document Identification	PS616253L
Number of Pages	5
(excluding this cover sheet)	
Document Assembled	11/10/2024 12:36

Copyright and disclaimer notice:

© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 86 627 986 396) as trustee for the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

The document is invalid if this cover sheet is removed or altered.

This copied document is made available for the sole abling its consi**RS616253** review as

right.

brankfing process when the Planning and Environmed Adon83 be

PLAN OF SUBDIVISION

LOCATION OF LAND

PARISH:

MALLACOOTA

TOWNSHIP:

SECTION: CROWN ALLOTMENT:

4 (PART)

CROWN PORTION:

TITLE REFERENCES:

VOL 10600 FOL 829

LAST PLAN REFERENCE:

LOT 4 PS420978E

POSTAL ADDRESS: (At time of subdivision) MIRRABOOKA ROAD MALLACOOTA, 3892

MGA94CO-ORDINATES: (Of approx. centre of land in plan)

E 742 700

N 5841 300

ZONE: 55

EASEMENT

DIAG.

SEE

DIAG.

SEE DIAG.

SEE DIAG

THIS PLAN

THIS PLAN

THIS PLAN

2. This plan is certified under-Section 11(7) of the Subdivision Act 1988. Date of original certification under Section 6-

1. This plan is certified under Section 6 of the Subdivision Act 1988.

COUNCIL NAME: EAST GIPPSLAND SHIRE COUNCIL REF: 43/2008/CRT

COUNCIL CERTIFICATION AND ENDORSEMENT

-This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.

OPEN SPACE

- (i) A requirement for public open space under Section 18 Subdivision Act 1988 has / has not been made.
- (ii) The requirement has been satisfied.

(iii) The requirement is to be satisfied in stage

Council Delegate Council seal

Date 09/09/1209

Re-certified under Section 11(7) of the Subdivision Act 1988

Council Delegate-Council seal-

Date -

VESTING OF ROADS AND/OR RESERVES						
IDENTIFIER	COUNCIL/BODY/PERSON					
R1 ROAD R2 ROAD RESERVE 2 RESERVE 3	EAST GIPPSLAND SHIRE COUNCIL EAST GIPPSLAND SHIRE COUNCIL EAST GIPPSLAND SHIRE COUNCIL SPI ELECTRICITY PTY LTD					
R3 ROAD	EAST GIPPSLAND SHIRE COUNCIL					

NOTATIONS

STAGING This is / is not a staged subdivision Planning Permit No II/2006/P

DEPTH LIMITATION 15.24m BELOW THE SURFACE

LOTS NUMBERS 3 TO 7, 28 TO 43 AND 48 TO 59 HAVE BEEN OMITTED FROM THIS PLAN UPON REGISTRATION OF THIS PLAN THE EASEMENTS E-2, E-3, E-4 AND E-5 AS SHOWN ON C/T VOL 10600 FOL 829 WILL BE VARIED OR REMOVED BY DIRECTION IN PLANNING PERMIT 11/2006/P.

SURVEY:

INFORMATION

THIS PLAN IS / IS NOT BASED ON SURVEY

THIS SURVEY IS CONNECTED TO PERMANENT MARK No(s)

MIRRABOOKA ESTATE STAGE 1A

E-11, E-10

E-7 & E-8

LEGEND A - A	Appurtenant Easement	E - 1	Encumbering Easement	R - Encumbering Easement (Road)	STATEMENT OF COMPLIANCE / EXEMPTION STATEMENT		
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	RECEIVED		
A-1	CARRIAGEWAY, SEWERAGE WATER & ELECTRICITY	SEE DIAG.	PS322377E	LAND IN THIS PLAN		Y	
E-1, E-3, E-5,	DRAINAGE	SEE DIAG.	THIS PLAN	LAND IN THIS PLAN	DATE	23 / 3 / 2010	
E-2, E-3, E-6,	SEWERAGE	SEE DIAG.	THIS PLAN	EAST GIPPSLAND REGION WATER AUTHORITY			
E-4, E-S, E-6, E-11	POWERLINE	SEE DIAG.	PS 322377E - STAGE 2 SECTION 44 OF THE ELECTRICITY INDUSTRY ACT 1993	EASTERN ENERGY LTD.		LAND VICTORIA PILED PLAN	
F_7	WAY, DRAINAGE, GAS	SEE	LP 209167P	AND IN 1 P 209167P	FOR [DETAILS SEE	

consulting group Traralgon - T 03 5173 0100

CARRIAGEWAY

TELEPHONE, SEWERAGE,

ELECTRICITY & WATER

CARRIAGEWAY

DRAINAGE

LICENSED SURVEYOR

JON MARK BRODZIK

SIGNATURE

...DATE 4/9 /2009

REF 34201335 1A VERSION

LAND IN THIS PLAN

LAND IN THIS PLAN

5

EAST GIPPSLAND SHIRE COUNCIL

LRS USE ONLY

DATE 09 / 09 / 2009

MODIFICATION TABLE

HEREIN

SHEET 1 OF 4 SHEETS

2

E-8

Printed

This copied document is made available for the sole

right.

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

MODIFICATION TABLE

MASTER PLAN (STAGE 1) REGISTERED DATE 01/04/2010 TIME 3:17 pm

WARNING: THE IMAGE OF THIS DOCUMENT OF THE REGISTER HAS BEEN DIGITALLY AMENDED.

			Pri	nted 1	18/11/20 11 of 48
		1			
NOAD NO					
LOTS 1 & 2	STAGE PLAN	PS616253L/S3	03/05/23	3	RR
ROAD R-2	RECTIFICATION	AN494789F	25/01/17	2	B.J.S.
LOT S3 & LOTS 11-21 (B.I.)	STAGE PLAN	PS616253L/S2	24/01/17	2	T.M.
IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
• • • • • • • • • • • • • • • • • • • •	LAND/PARCEL IDENTIFIER CREATED LOT S3 & LOTS 11-21 (B.I.)	LOT S3 & LOTS 11-21 (B.I.) ROAD R-2 RECTIFICATION STAGE PLAN ROAD R-2 RECTIFICATION	LAND/PARCEL IDENTIFIER MODIFICATION DEALING NUMBER LOT S3 & LOTS 11-21 (B.I.) STAGE PLAN PS616253L/S2 ROAD R-2 RECTIFICATION AN494789F	LAND/PARCEL IDENTIFIER MODIFICATION DEALING NUMBER DATE LOT S3 & LOTS 11-21 (B.I.) ROAD R-2 RECTIFICATION AN494789F 25/01/17	LAND/PARCEL IDENTIFIER CREATED MODIFICATION DEALING NUMBER DATE EDITION NUMBER LOT S3 & LOTS 11-21 (B.I.) STAGE PLAN PS616253L/S2 24/01/17 2 ROAD R-2 RECTIFICATION AN494789F 25/01/17 2



Appendix 4 BMP

Bushfire Management Plan

6 Hakea Court Mallacoota 3892

ADVERTISED

This copied document is made available for the sole pose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be sep-2024 Ref# C25069\1.0 used for any purpose which may breach any copyright.

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be naintained to the satisfaction of the responsible authority on a continuing basis. This condition continues have force and effect after the development authorised by this permit has been completed.

a) Construction Standard

Building designed and constructed to a minimum Bushfire Attack Level of BAL 29 b) Defendable Space

Defendable space for a distance of 25m around the proposed building (or to the property boundary, whichever is the lesser distance) must be provided where vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire
- . Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- . Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres
- . Trees must not overhang or touch any elements of the building.
- . The canopy of trees must be separated by at least 5 meters.
- . There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

The following requirements apply:

- An effective capacity of 5,000 litres
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.



This copied document is made available for the sole purpose of enabling its consideration and review as

not be copyright.

Bushfire Management Statement Pathway 1

Property Address:

6 Hakea Court Mallacoota 3892

Prepared for: Sean Caracella

Date: September 2024

Ref# 25069\1.0

Prepared by

Paul Oikonomidis

Bushfire Consultant

Post Graduate Diploma in Bushfire Protection Western Sydney University

Assessing property in bushfire prone areas since 2010







This copied document is mac vailable for the sole purpose of enabling its consideration and review as Keystone Alliance Bushfire Assessments so under the Planning and ation and review as

Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Bushfire Assessments project: 25069\1.0 Cover image: Looking at the proposal's site.

Bushfire Assessments Pty Ltd

ABN 44 103 792 088 713 Plenty Road, Reservoir Vic

M: 0450 770 778

Version Control

Version	Date		Name
1.0	3/09/2024	Analysis, mapping and report compilation	Paul Oikonomidis Manager, Bushfire Planning and Design
1.0	4/09/2024	Peer review	Viky Patsari Admin
1.0	4/09/2024	Bushfire Assessment and BMP reports	To client

Copyright

Unless otherwise agreed in writing, this report is the intellectual property of BUSHFIRE ASSESSMENTS. The report is designed to be used exclusively by the person that commissioned it. Permission must be sought prior to the reproduction of any portion of this document and every effort made to ensure proper referencing of this document.

Disclaimer

This report may be of assistance to you and has been made with careful consideration and with the best information available to BUSHFIRE ASSESSMENTS at the time of writing. Before relying on information in this report, users should carefully evaluate the accuracy, completeness, and relevance of the information provided for their purposes. BUSHFIRE ASSESSMENTS Pty Ltd, its directors, and employees do not guarantee that it is without flaw or omission of any kind or is wholly appropriate for your particular purposes and therefore disclaim all liability for any error, loss or other consequence that may arise from you relying on any information in this report.

M 0450 770 778



Contents

This copied document is mac vailable for the sole purpose of enabling its consideration and review as **Keystone Alliance Bushfire Assessments**ss under the Planning and Environment Act 1987. The document must not be

used for any purpose which may breach any copyright.

ADVERTISED

Cc	ontents		2
1	Executiv	ve Summary	3
2	Introduc	ction	4
3	Site Des	cription	5
4	Bushfire	hazard site assessment	6
	4.1 Haz	zard Assessment	6
	1.1 Ve	getation	7
	4.2 Pho	otos of Assessment Area	8
5	Bushfire	Management Statement	10
ļ	5.1 Dw	ellings in existing settlements – Bushfire protection objective	10
	5.1.1	Siting & Access (AM1.1)	10
	5.1.2	Defendable Space (AM1.2)	10
	5.1.3	Building defendable space	11
	5.1.4	Adjoining property defendable space	12
	5.1.5	Access & Water (AM1.3)	12
6	Clause	13.02-1S Bushfire	13
7	Overall	Conclusion	14
Αp	pendix 1:	BMO vegetation management standards	15
Αp	pendix 2:	BMO static water supply requirements	16
Αp	pendix 3:	BMO access requirements	18
Αp	pendix 4	BMP	19



ADVERTISED This copied document is mace yailable for the sole

purpose of enabling its consideration and review as **Keystone Alliance Bushfire Assessments**ss under the Planning and

Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

1 Executive Summary

The assessment of this site was undertaken on **September 2024** to determine the Bushfire Attack Level (BAL) in accordance with the Victorian Planning Provisions and AS 3959-2018.

The site is a residential lot in a General Residential Zone of East Gippsland Shire

The parcel to be developed has a total area of approximately 802m².

We are seeking development approval to construct a habitable building.

On-site and surrounding area vegetation within the 150m assessment area is classified as **forest grassland & low threat**.

Classified vegetation forest on a $0-5^\circ$ downslope constructing with a BAL 29 defendable space around the building is 25m.

A **5,000**-litre water tank will be required for firefighting purposes since a Fire Plug is sited @<120m.

Access can meet BMO's access requirements (Appendix 3).



Figure 1 Aerial view of site highlighted parcel to be developed QGIS, maps data.vic.gov.au, google & nearmap



This copied document is mac vailable for the sole purpose of enabling its consideration and review as **Keystone Alliance Bushfire Assessments**ss under the Planning and

ADVERTISED

(eystone Alliance Bu**shfire** As**sesisments**ss under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

2 Introduction

The proposal seeks development approval to **construct a habitable building** on the land known as; **6 Hakea Court Mallacoota 3892**. The property comprises of one parcel as in *Figures 1 & 2*.

Keystone Alliance Bushfire Assessments has been engaged by; **Sean Caracella** to provide a Bushfire Management Statement in accordance with Clause 44.06 Bushfire Management Overlay and 53.02 Bushfire Planning Requirements at which is to accompany the planning permit application lodged with **East Gippsland Shire**.

This assessment describes the subject site and surrounding area in relation to the risk associated with the Bushfire Attack Level (BAL), together with the relevant planning controls, namely, Australian Standard 3959, "Construction of buildings in bushfire-prone areas."

The parcel to be developed has a rectangular shape and an area of approx. **802m**² it is located within the township of Mallacoota in one of **East Gippsland Shire urban** areas. The property is connected to towns reticulated water supply, static water supply will be from water tanks, a fire plug is sited in front of **#5 Hakea Court**. It is provided with telecommunication services and is connected to the sealed road. Vehicular access to the land is via **Hakea Court**.

The purpose of the report is to assist in a decision of issuing a planning permit for the construction of the proposed development in a Bushfire Management Overlay.



ADVERTISED

This copied document is mad vailable for the sole

purpose of enabling its consideration and review as

purpose of enabling its consideration and review as **Keystone Alliance Bushfire Assessments**ss under the Planning and

Environment Act 1987. The document must not be

Site Description

used for any purpose which may breach any copyright.

3.1 Site shape, dimensions, size and planning controls

Local government: East Gippsland Shire

Lot and Plan Number: Lot 10 PS616253

The shape of the site is: rectangular

The dimensions of the site are: please refer at Figure 2 Site area

The site has a total area of: approximately 802m²

The zoning of the site is: GENERAL RESIDENTIAL ZONE (GRZ)

GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)

The overlays that apply to the site are:

Affected: Bushfire Management Overlay, DDO, VPO
Areas of Aboriginal Cultural Heritage Sensitivity

Assessed by: Keystone Alliance Bushfire Assessements



Figure 2 Property's area QGIS data.vic.gov.au, google maps & nearmap



This copied document is macking allable for the sole purpose of enabling its consideration and review as **Keystone Alliance Bushfire Assessments**ss under the Planning and ation and review as

ADVERTISED

Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Bushfire hazard site assessment

4.1 Hazard Assessment

A vegetation hazard assessment was carried out within a 150m radius from the proposed development. Within this area our interest was directed on the type of vegetation surrounding the proposal the distance from the proposal and the effective slope it stood please refer Figure 3 below. The proposed development has been assessed under Victoria's Planning Provisions Clause 44.06, 53.02 and AS 3959 "Construction of buildings in bushfire prone areas."



Vegetation to the northeast and west around the proposal is maintained to low fuel levels. Forest is of low treat since it is sited at a distance of more than 100m. South of the site adjacent to a residential property with large areas of grassland, which can be considered a minimal fire risk.



This copied document is mac vailable for the sole purpose of enabling its consideration and review as **Keystone Alliance Bushfire Assessments**ss under the Planning and

(**eystone Alliance Bushfire Assessments**ss uঁলিder the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Table 1 Assessment

Plot	Classified Vegetation	Eff	ective Slope (degrees)	Separation (m)	BAL	Defendable Space (m)
1	Excludable - Clause 2.2.3.2(f)	N/A	N/A	N/A	BAL – LOW	РВ
2	Excludable - Clause 2.2.3.2(f)	N/A	N/A	N/A	BAL – LOW	РВ
3	Class G Grassland	0	flat/upslope	10.25	BAL – 29	9
4	Class A - Forest	0	Slope	>100	BAL – 29	25

PB= property boundary

An assessment of the site conditions has categorized this site as **BAL-29** fire risk and a requirement of defendable space around the building is **25m**.

1.1 Vegetation

Vegetation on and around the site has been classified in accordance with the likely fire behaviour it may generate.

Forest

Trees 10–30 metres high with foliage cover in the range of 30 per cent to 70 per cent at maturity, predominantly dominated by Eucalypts. Sclerophyllous understorey (vegetation that has hard leaves and short internodes [the distance between leaves along the stem]), small trees, tall scrubs or tall shrubs. Forests generally have several layers of tiered vegetation arranged vertically extending from the surface to the canopy including a pronounced shrubby middle layer in addition to a taller canopy and an underlying layer of grasses, herbs or sedges. AS 3959 Method 1 cannot differentiate between open, closed, tall or short forest. It should all be classified as Class A Forest. Includes plantations, which are classified as Class A Forest.

Grassland

All forms, including situations with shrubs and trees, if the over storey foliage cover is <10%.

The understorey doesn't support a typical shrub layer, although there are often scattered shrubs in on deeper soils, in drainage lines or near rocky outcrops. The ground layer is dominated by perennial, mostly tufted or tussock-forming grasses (Kangaroo Grass, Tussock Grass, Spear Grass, Wallaby Grass, Windmill Grass) with some rhizomatous or stoloniferous species (Weeping Grass) and a few annuals (Blown Grass). In most areas the grasses are accompanied by a wide range of perennial and annual herbs (wood-sorrel, bindweed, sundew, woodruff, everlasting, bidgee-widgee, lobelia, trigger plant, blue devil), sedges (Carex, Schoenus), lilies (mat-rush, chocolate lily, milkmaids, early nancy) and small shrubs (rice-flower, sida, astroloma, peas).

Low Threat Vegetation

Excluded vegetation and non-vegetated areas

Areas of low threat vegetation and non-vegetated areas have been excluded under one or more of the following AS 3959-2009 exclusion criteria (Standards Australia, 2009):

- i. Vegetation more than 150m from the site.
- ii. Non-vegetated areas, including waterways, roads, footpaths, buildings and rocky outcrops.

iii. Low threat vegetation, including grassland managed in a minimal fuel condition, maintained lawns, golf courses, maintained public reserves and parklands, vineyards, orchards, cultivated gardens, commercial nurseries, nature strips and windbreaks'.



ADVERTISED

This copied document is made vailable for the sole purpose of enabling its consideration and review as

Keystone Alliance Bushfire Assessments as winder the Planning and ent Area

Environment Act 1987. The document must not be

used for any purpose which may breach any copyright.

Photos of Assessment Area 4.2



PLOT1 vegetation low threat



6 Hakea Court Mallacoota 3892



This copied document is made vailable for the sole purpose of enabling its consideration and review as **Keystone Alliance Bushfire Assessments**ss under the Planning and Environment Act 1987. The document must not be

used for any purpose which may breach any copyright.





PLOT4 vegetation forest @>100m.



This copied document is mack ailable for the sole purpose of enabling its consideration and review as Keystone Alliance Bushfire Assessments surreder the Planning and ation and review as

Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Bushfire Management Statement

Dwellings in existing settlements - Bushfire protection objective

To specify bushfire design and construction measures for a single building or alteration and extension to an existing dwelling that reduces the risk to life and property to an acceptable level

Siting & Access (AM1.1) 5.1.1

A building is sited to ensure the site best achieves the following:

- The maximum separation distance between the building and the bushfire hazard.
- The building is near a public road.
- Access can be provided to the building for emergency service vehicles.

Compliance with these objectives at Clause 53.02-3 is proposed via the following Approved measures.

The site is a conventional residential lot with an existing house and no opportunities for considering slope, aspect or orientation in lowering bushfire risk nevertheless, it is sufficiently distant to achieve BAL-29 defendable space.

The building will be sufficiently distant from hazardous vegetation such that 'Table 1' to Clause 53.02-5 setbacks are achieved (see Map 3).

The proposed development has vehicular access from a main public road, enabling access and egress in compliance with BMO requirements for emergency vehicles and occupants /visitors.

Defendable Space (AM1.2) 5.1.2

A building provides the defendable space in accordance with Column A, B, C, D or E of Table 1 to Clause 53.02-5. Adjoining land may be included as defendable space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space. A building is constructed to the bushfire attack level:

- That corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-5 or
- Adjoining land may be included as defendable space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space.
 - The next lower bushfire attack level that corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-5 where all the following apply:
 - A private bushfire shelter (a Class 10c building within the meaning of the Building Regulations 2006) is constructed on the same land as the dwelling.
 - A minimum bushfire attack level of BAL12.5 is provided in all circumstances.

The building will be constructed to the BAL 29, corresponding to defendable space of 25m, in accordance with Clause 53.02-5 Table1 details of the required separation is provided in Figure 4 (below).



This copied document is mac vailable for the sole purpose of enabling its consideration and review as **Keystone Alliance Bushfire Assessments**ss under the Planning and

ADVERTISED

Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

5.1.3 Building defendable space

The habitable building will be constructed with a BAL-29 vegetation classified as forest on an effective slope of flat/upslope, required defendable space from classified vegetation is 25m from the edges of the proposal as shown in Figure 4 corresponding to Clause 53.02-5 Table 2.





This copied document is mac ailable for the sole

purpose of enabling its consideration and review as Keystone Alliance Bushfire Assessments surreder the Planning and ation and review as

Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

ADVERTISED

Adjoining property defendable space

Alternative measures 3.3 (AltM 3.3)

Adjoining land may be included as defendable space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space.

Required vegetation setback of 25m are achieved within adjacent property where vegetation is maintained to low fuel levels as in Clause 53.02-5 Table 6 standards.

5.1.5 Access & Water (AM1.3)

A building is provided with:

- A static water supply for firefighting and property protection purposes specified in Table 4 to Clause 53.02-5. The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for firefighting water supplies.
- Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5'

The site is in a highly urbanized area with a fire hydrant/plug sited in front of #5 Hakea Court at less than 120m to the rear of the proposal.

It is proposed that subject site has a minimum total capacity of 5,000 litres of water dedicated solely for bushfire fighting purposes (details are provided in Table 1 & Appendix 3).

The subject site domestic and potable water will be stored in water storage tanks.

The BMS proposes:

- -Non-Combustible water tank.
- -Static Water Supply of 5,000 litres reserve capacity of water dedicated solely to firefighting purposes

All internal roads should provide access in accordance with the vehicle access design and construction specifications in Table 5 to Clause 53.02-5 (detail provided as Appendix 4).

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be

6 Clause 13.02-1S Bushfire

- Protection of human life;
- Bushfire hazard identification and assessment;
- Settlement planning;
- Areas of high biodiversity conservation value; and
- Use and development control in a BPA.

This development addresses the requirements of Clause 13.02-1S in several ways. It is considered that the development can appropriately prioritise the protection of human life by ensuring that the proposed building within the development will not be exposed to a radiant heat flux of more than **29** kilowatts/square metre, which is commensurate to a BAL **29** construction standard.

The lot is **802** m² and is required to provide a minimum static water supply of **5,000** - litres as per Table 4 to Clause 53.02-5. Vehicles can easily access the development since its on a main public road.

This report identifies the bushfire hazard and applies the standard site assessment methodology used in AS3959-2018 and Clause 53.02, which is applied to developments in the BMO and is based on the best available science. The bushfire modelling inputs that form the basis for this methodology factor in vegetation type (e.g. Woodland, Grassland), potential fuel-loads in a long-unburnt vegetation community, weather conditions on higher bushfire risk days (e.g. wind speed, fuel moisture content, days since last rainfall) and the effect of slope gradient on the way fire travels through unmanaged vegetation. The site assessment process and desktop assessment using GIS software has determined the most appropriate vegetation type and commensurate slope category for each section/aspect of unmanaged vegetation.

Non-vegetated areas such as dwellings, roads, driveways and footpaths are considered part of a landscape in which a building would be rated as BAL-LOW (AS3959- 2018). Occupants will be able to move towards areas rated as BAL-LOW by travelling in a generally **southeastern** direction into a highly urbanised area, or at the more localised scale, directly **west** on **Hakea Court** leading to the closest urbanized area.

The CFA specify that areas where development should not proceed could include:

- Isolated settlements where the size and/or configuration of the settlements will be insufficient to modify fire behaviour and provide protection from a bushfire.
- Where bushfire protection measures will not reduce the risk to an acceptable level.
- Where evacuation (access) is severely restricted.
- Where the extent and potential impact of required bushfire protection measures may be incompatible with other environmental objectives or issues, e.g. vegetation protection, land subject to erosion or landslip' (CFA, 2015).

None of these criteria or characteristics are applicable to the area of the proposed





This copied document is made ilable for the sole purpose of enabling its consideration and review as **Keystone Alliance Bushfire Assessments**s under the Planning and

ADVERTISED

Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Overall Conclusion

The proposed development has been assessed under Clause 53.02 & AS 3959 - 2018.

An assessment of the site conditions & adjoining property has categorised this site as "BAL 29" fire risk, with Sections 3, & 7 utilised for the building construction under AS3959 and is subject to the recommendations outlined above.

The proposed development has been sited and designed to avoid on and off-site constraints. AS3959 2009' Construction of buildings in a bushfire prone area' describes risk category for:

- BAL 12.5 as: "Ember Attack"
- BAL 19 as: "Increasing levels of Ember Attack and burning debris ignited by wind borne embers with increasing heat flux between 12.5-19KW"
- BAL 29 as: "Increasing levels of Ember Attack and burning debris ignited by wind borne embers with increasing heat flux between 19-29KW"
- BAL 40 as: "Increasing levels of Ember Attack and burning debris ignited by wind borne embers with increasing heat flux with the increased likelihood of exposure to flames.
- BAL FZ as: Direct exposure to flames from fire front in addition to heat flux and ember attack.

The final categorization of this site is subject to the relevant fire authority (CFA/MFB) review and approval.

Overall, the proposed development meets the requirements of the BMO and Clause 53.02 – Bushfire Protection: Planning requirements.





This copied document is made ilable for the sole purpose of enabling its consideration and review as **Keystone Alliance Bushfire Assessments**s under the Planning and

Environment Act 1987. The document must not be

Appendix 1: BMO vegetation management standards which may breach any copyright.

Clause 53.02.5 Table 6 Vegetation management requirement

Vegetation management requirement

Defendable space is provided and is managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3 metres of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 square metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Unless specified in a schedule or otherwise agreed in writing to the satisfaction of the relevant fire authority.

This copied document is made ilable for the sole

purpose of enabling its consideration and review as **Keystone Alliance Bushfire Assessments**s under the Planning and

Appendix 2: BMO static water supply requirement 1987. The document must not be used for any purpose which may breach any copyright.

Table 4 from Clause 53.02-5

Table 4 Water supply

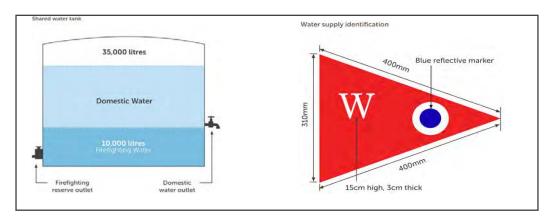
Lot sizes (square meters)	Hydrant available	Capacity (litres)	Fire authority fittings and access required
Less than 500	Not applicable	2,500	No
500-1,000	Yes	5,000	No
500-1,000	No	10,000	Yes
1,001 and above	Not applicable	10,000	Yes

Note 1: A hydrant is available if it is located within 120 metres of the rear of the building

Note 2: Fittings must be in accordance with the published requirements of the relevant fire authority.

Water tank requirements

'The water supply should be stored in an above ground water tank constructed of concrete, steel or corrugated iron. The water supply should be identified. The water supply may be provided in the same water tank as other water supplies



provided they are separated with different outlets'.

CFA Fittings (CFA, 2014b)

If specified within Table 4 to Clause 53.02-5 (if fire brigade access to your water supply is required), CFA's standard BMO permit conditions require the pipe work, fittings and tank outlet to be a minimum size of 64 mm.

65 mm BSP (British Standard Pipe) is the most common size available. A 65mm fitting is equivalent to the old 21/2 inch. A 65 mm BSP (21/2 inch) fitting exceeds CFA's requirements and will therefore comply with CFA's standard permit conditions for the BMO.

Diagram1 below shows some common tank fittings available at most plumbing suppliers which meet the connection requirements. It includes a 65mm tank outlet, two 65 mm ball or gate valves with a 65mm male to 64 mm CFA 3 threads per inch male coupling. This is a special fitting which allows the CFA fire truck to connect to the water supply. An additional ball or gate valve will provide access to the water supply for the resident of the dwelling'





This copied document is made ilable for the sole

purpose of enabling its consideration and review as **Keystone Alliance Bushfire Assessments** under the Planning and Environment Act 1987. The document must not be



Diagram 1 CFA Standard permit conditions for water supply, in FRV areas pls check if they use same fittings or Storz Fitting apply.

Conditions required for all applications

'Show [xx litres] of effective water supply for firefighting purposes which meets the following requirements:

- Is stored in an above ground water tank constructed of concrete or metal.
- · All fixed above-ground water pipes and fittings required for firefighting purposes must be made of corrosive resistant metal'.

Additional conditions to apply if CFA fittings and access is required 'The water supply must also -

- Incorporate a ball or gate valve (British Standard Pipe (BSP) 65mm) and coupling (64 mm CFA 3 thread per inch male fitting).
- The outlet/s of the water tank must be within 4m of the access way and be unobstructed.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of CFA must be provided.
- Any pipework and fittings must be a minimum of 65 mm (excluding the CFA coupling)'.

This copied document is made vilable for the sole purpose of enabling its consideration and review as **Keystone Alliance Bushfire Assessments**s under the Planning and

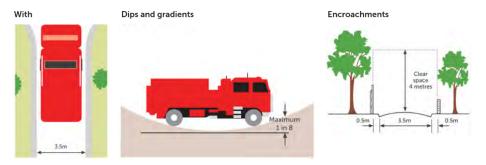
Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Appendix 3: BMO access requirements

Where the length of access is greater than 30 metres the following design and construction requirements apply:

- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.1°) entry and exit angle.
- A load limit of at least 15 tonnes and be of all-weather construction.

- Provide a minimum trafficable width of 3.5 metres
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- A cleared area of 0.5 metres is required to allow for the opening of vehicle doors along driveways.



Practice Note 65 | Preparing and Assessing a Planning Application Under the Bushfire Provisions in Planning Schemes

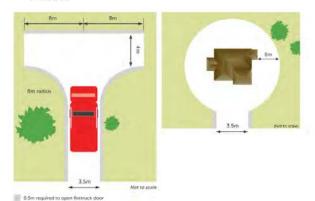
Access between 100 metres to 200 metres in length

In addition to the above:

A turning area for fire fighting vehicles must be provided close to the building by one of the following:

 a turning circle with a minimum radius of 8 metres

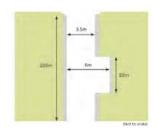
- · a driveway encircling the dwelling
- other vehicle turning heads such as a T or Y head which meet the specification of Austroad Design for an 8.8 metre service vehicle.



Access greater than 200 metres in length

In addition to the above, passing bays are required at least every 200 metres that are:

- · a minimum of 20 metres long
- with a minimum trafficable width of 6 metres.





KEYSTONE ALLIANCE

6 Hakea Court Mallacoota 3892 **Appendix 4 BMP** Bushfire Management Plan

Sep-2024

ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and

Ref# C25069\ E. ovironment Act 1987. The document must not be used for any purpose which may breach any copyright.

Bushfire Protection Measures

Mandatory Condition

The bushfire protection measures forming part of this permit or shown on the endorsed plans, ncluding those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues of have force and effect after the development authorised by this permit has been completed.

Building designed and constructed to a minimum Bushfire Attack Level of BAL 29

b) Defendable Space

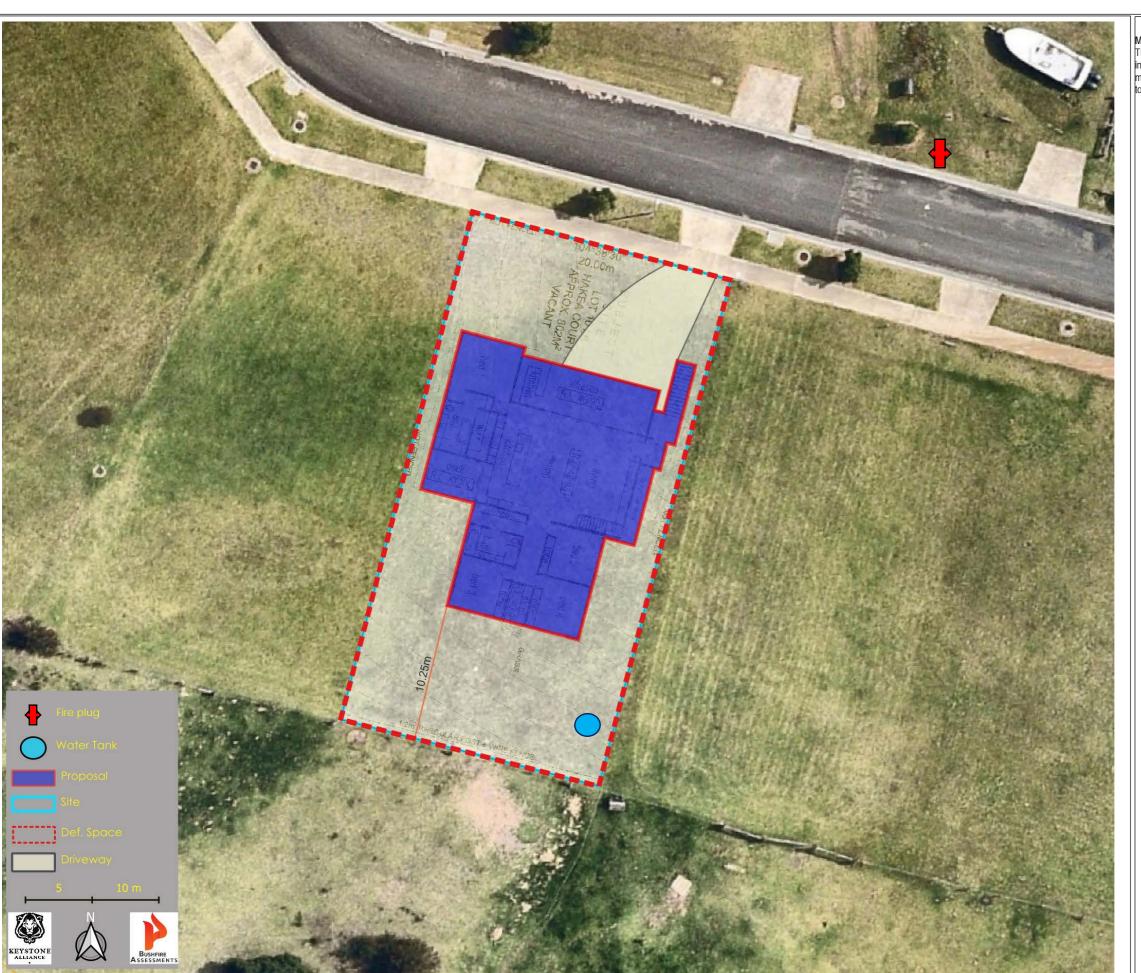
Defendable space for a distance of 25m around the proposed building (or to the property boundary, whichever is the lesser distance) must be provided where vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- . Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 meters.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

c) Water Supply

The following requirements apply:

- An effective capacity of 5,000 litres
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.



Project Information

Job No. 0999 Town Planning Ver.01 (A3 Sheet Size - To Scale) Date 19/09/24

ADVERTISED

This copied document is made mention for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document for construction be used for any purpose which may breach any copyright.

PROPOSED DWELLING

At: 6 Hakea Crescent, Mallacoota VIC 3892 For: Sean Caracella



This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

TOWN PLANNING DRAWINGS

TP01 - Neighborhood and Site Description

TP02 - Proposed Site/Roof Plan (Outer) Defendable Space - 25m

TP03 - Proposed Site/Roof Plan

TP04 - Design Response / Garage Ground Floor Plan

TP05 - Design Response / First Floor Plan

TP06 - Proposed Garage Ground Floor Plan

TP07 - Proposed First Floor Plan

TP08 - Proposed Elevations

TP09 - Proposed Elevations

TP10 - Proposed Site / Shadow Diagram 9am, 12pm & 3pm

TP11 - Bal 29 Notes

	[
REVI	REVISIONS					
REV.	DESCRIPTION	BY	DATE			

This drawing & design must not be copied in part or whole without the written authorisation from LMD Design & Drafting Pty Ltd.

Ver.02	Town	Planning	

DOCUMENTATION ISSUE

PLANNING (NOT FOR CONSTRUCTION)

PRELIMINARY (NOT FOR CONSTRUCTION)

TENDER (NOT FOR CONSTRUCTION)
CONSTRUCTION

GENERAL NOTES -

Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.

Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies

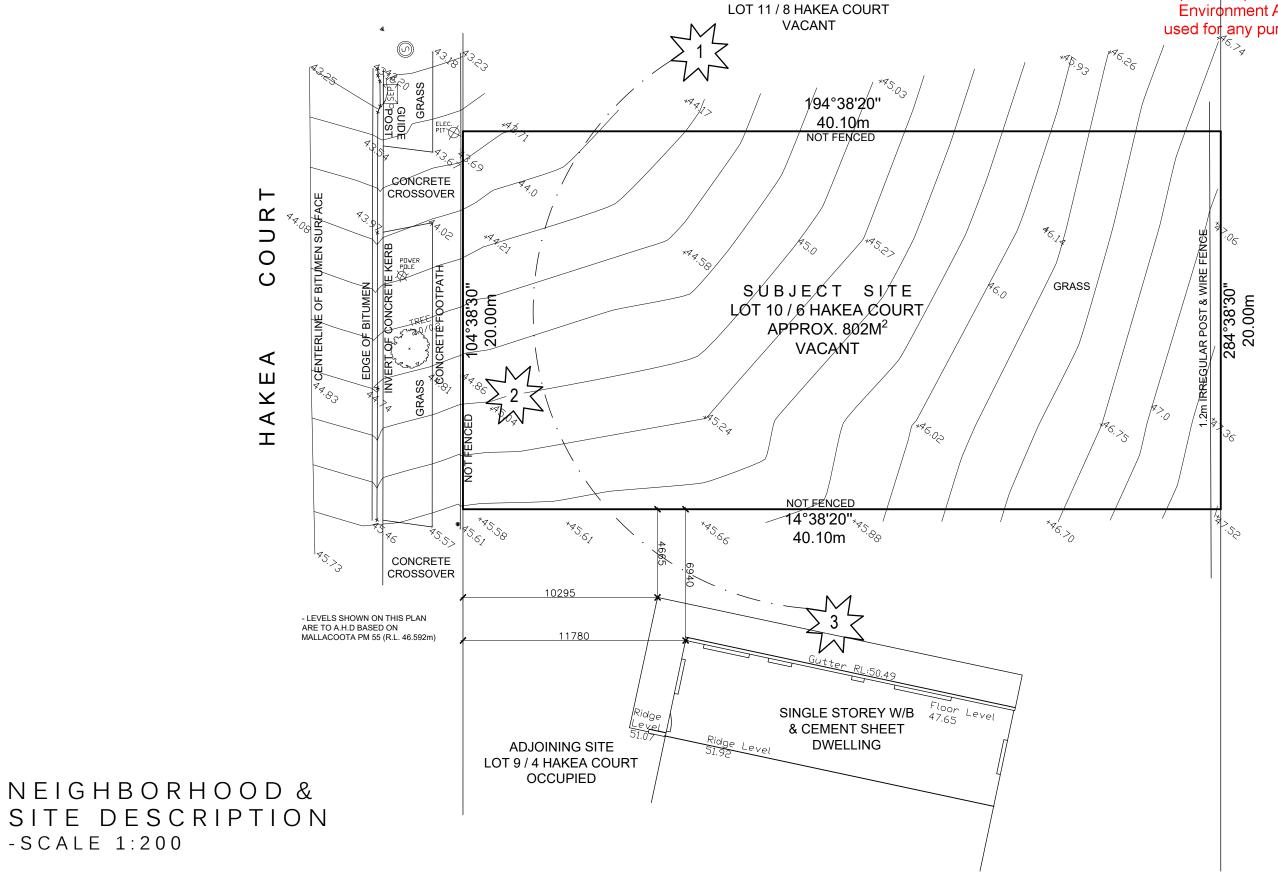
to the office of LMD Design & drafting for clarification.

These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.

	JOB NO 0999	DRAWN BY - LD	SCALE -	SHEET SIZE - A3	DRAWING NO	DATE - 19/09/2024
	ADDRESS - 6 Hakea Court, Mallacoota VIC		FOR - Sean Caracella		DESIGNER - LMD Design & Drafting Pty Ltd	
			DRAWING	_	BUILDER -	
	PROJECT - Proposed Dwelling		Contents Sheet		TBC	



This copied document is made available for the sole purpose of enabling in the remaining president the purpose of a planning president the property of a planning president the property of a planning president with the property of a planning president purposes the property of a planning president purposes the property of a planning president purposes the property of the purpose of t used for any purpose which may breach any copyright.



ADJOINING SITE

REVI	REVISIONS				
REV.	DESCRIPTION	BY	DATE		

-SCALE 1:200

© This drawing & design must not be copied in part or whole without the written authorisation from LMD Design & Drafting Pty Ltd.

Ver.02 Town Planning

DI. . . .

DOCUMENTATION ISSUE

PLANNING (NOT FOR CONSTRUCTION) PRELIMINARY (NOT FOR CONSTRUCTION)

TENDER (NOT FOR CONSTRUCTION)

Check and verify all dimensions and details on site prior to the commencement of any works, and CONSTRUCTION report any discrepancies or anomalies

GENERAL NOTES -

Do not scale drawings, use written to the office of LMD Design & drafting dimensions only. These drawings are to be read in conjunction with for clarification These drawings are neither exhaustive stamped town planning drawings and all engineering documentation where

or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.

JOB NO	DRAWN BY -
0999	LD

ADDRESS -6 Hakea Court, Mallacoota

PROJECT -Proposed Dwelling

SCALE -SHEET SIZE 1:200 FOR -

Description

DRAWING DATE -NO. - TP01 19/09/2024

DESIGNER -

LMD Design & Drafting Pty Ltd Sean Caracella DRAWING -**BUILDER** -Neighborhood and Site TBC

NORTH

Sun Risers.

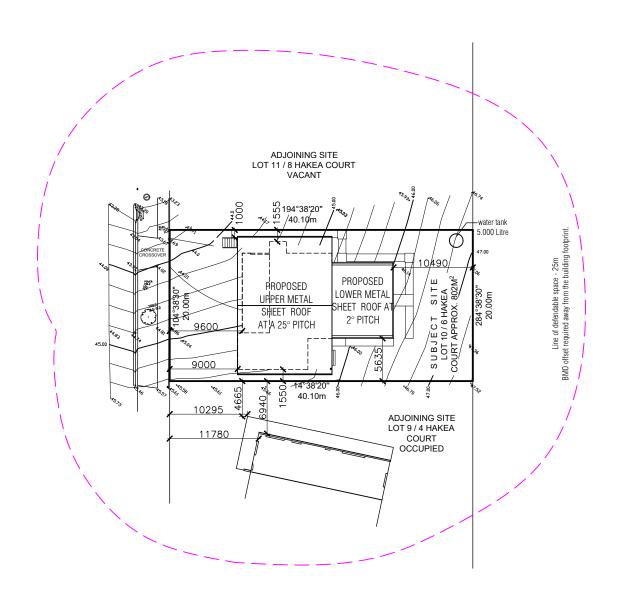
Sun Sets

Path of Suns Travel- East to West.

A: 'Regus' Lower Heidelberg Rd,

Printed 69 8/11/2024
Eluke@Inddesign.com.au
Page 35 of 48

This copied document is made available for the sole purpose of enabling its consumer of the purpose of the purpos part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



PROPOSED SITE/ROOF PLAN (OUTER) DEFENDABLE SPACE - 25M -SCALE 1:500

REVISIONS			
REV.	DESCRIPTION	BY	DATE

This drawing & design must not be copied in part or whole without the written authorisation from LMD Design & Drafting Pty Ltd.

DOCUMENTATION ISSUE

PLANNING (NOT FOR CONSTRUCTION) PRELIMINARY (NOT FOR CONSTRUCTION)

TENDER (NOT FOR CONSTRUCTION) CONSTRUCTION

GENERAL NOTES -

Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where

Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies

to the office of LMD Design & drafting for clarification

These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.

JOB NO	DRAWN BY -
0999	LD

ADDRESS -6 Hakea Court, Mallacoota

PROJECT -Proposed Dwelling

SCALE -SHEET SIZE -DRAWING NO. - TP02 1:500 FOR -DESIGNER -Sean Caracella

DRAWING -

Defendable Space - 25m

LMD Design & Drafting Pty Ltd BUILDER -Proposed Site/Roof Plan (Outer) TBC



DATE -

19/09/2024



Printed 469 8/11/2024
Eluke@Inddesign.com.au
Page 36 of 48

Proposed Dwelling

2000 litre rain water tank. 7m(L) x 0.7m(W) x 1.86m(H) rainwater tank to be connected

area analysis:

Dwelling:

site area: 802m2 (approx.)

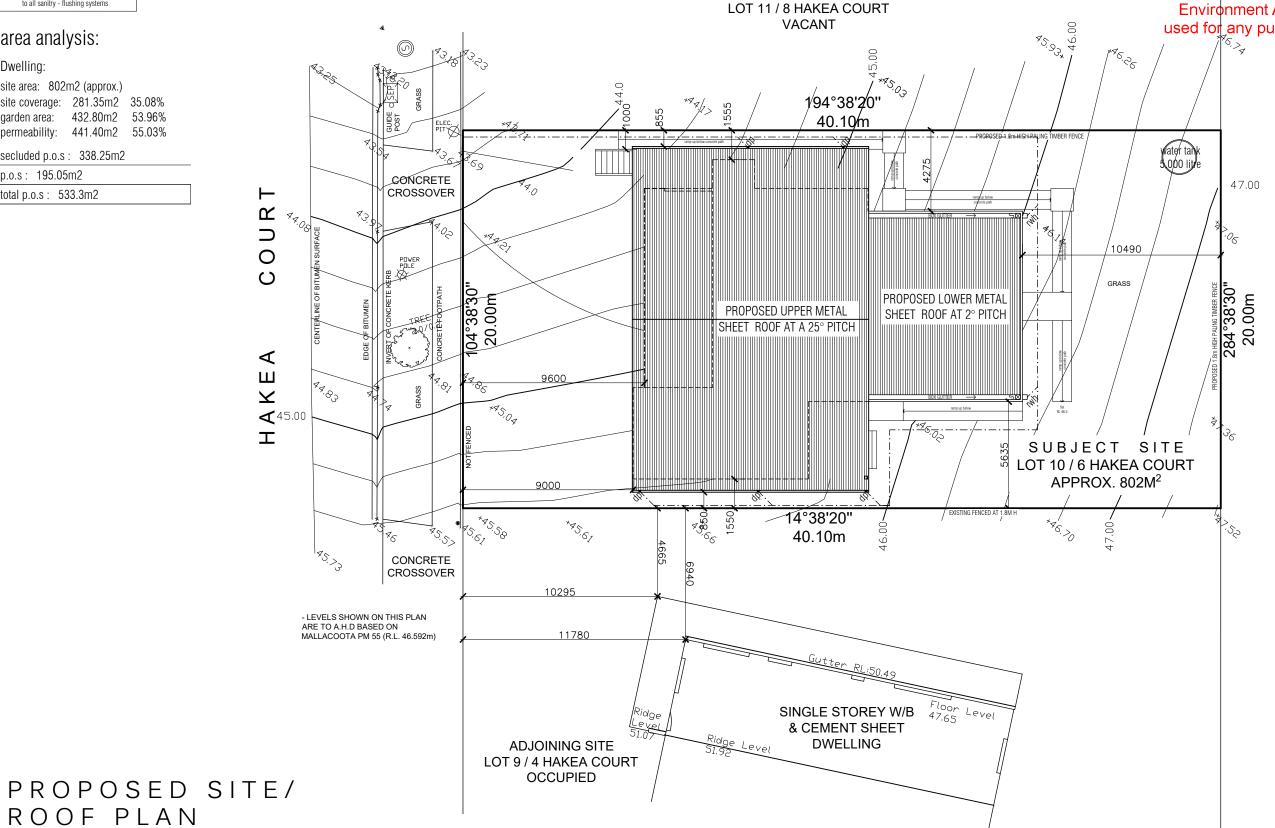
site coverage: 281.35m2 35.08% 432.80m2 53.96% garden area: 441.40m2 55.03% permeability:

secluded p.o.s: 338.25m2

p.o.s: 195.05m2 total p.o.s: 533.3m2

ADVERTISED

This copied document is made available for the sole purpose of enabling him was identified and creation and creation and creation and creation and creation and creation and comment of a planning process consists the property and Environment Act 1987 ADJACENT BUILDINGS APPROXIMATE not be used for any purpose which may breach any copyright.



ADJOINING SITE

ROOF NOTES:

PROPOSED STORMWATER DRAINAGE LAYOUT AS SHOWN, WITH MIN. 100MM DIA. PVC PIPES SET MIN. 200MM BELOW SURFACE LEVEL, AT MIN. FALL TO BE CONNECTED TO EXISTING STORMWATER PIPE LAYOUT. TO BE DISBURSED TO THE LEGAL POINT OF DISCHARGE AS PER AS 3500.3.1—2018 -BUILDER/DRAINAGE CONTRACTOR TO CONFIRM SIZE, TYPE,
OFFSETS & DEPTHS OF EXISTING STORMWATER PIPES PRIOR TO

ALL ROOF STRUCTURE/S AS PER ENGINEERS DESIGN & MANUFACTURE DETAILS.

WATER TO BE CARRIED THROUGH DP's INTO DRAINAGE SYSTEM, AND DISBURSED TO LEGAL POINT OF DISCHARGE (Typ).

SELECTED FLASHING & RIDGE CAPPING FOR WATERPROOFING REQUIREMENTS TO ALL FIXING/CONNECTION POINTS (Typ.)

PROPOSED UPPER METAL SHEET ROOF TO DWELLING (COLORBOND OR EQUALLY APPROVED) AT 25° PITCH, WITH A

PROPOSED LOWER METAL SHEET ROOFS TO DWELLING (KLIP-LOK OR EQUALLY) TO PORTION OF GARAGE AT A 2° FALL, WITH A PROPOSED MIN. 250MM WIDE X 100MM DEEP ZINCALUME BOX GUTTER, WITH SUMPS INSTALLED. ALL TO BE AS PER A.S. 3500.3

PROPOSED METAL SHEET ROOFS (KLIP-LOK OR EQUALLY) TO PORTION OF GARAGE AT A 2° FALL, WITH A PROPOSED MIN. 250MN WIDE X 100MM DEEP ZINCALUME BOX GUTTER, WITH SUMPS NSTALLED. ALL TO BE AS PER A.S. 3500.3 - 2018.

SELECTED RAINWATER TANK TO PROPOSED DWELLING AND TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS AND SPECIFICATIONS. TANK TO BE CONNECTED TO ALL SANITARY FLUSHING SYSTEMS. TANK TO BE FITTED WITH OVERFLOW SYSTEM CONNECTED TO STORMWATER SYSTEM AND TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE LOCAL AND GOVERNING AUTHORITIES. WATER TANK TO BE

-LOCATION TO BE CONFIRMED ON SITE.

REVISIONS REV. DESCRIPTION BY DATE

ROOF PLAN

-SCALE 1:200

(C) This drawing & design must not be copied in part or whole without the written authorisation from LMD Design & Drafting Pty Ltd.

Ver.02 Town Planning

DOCUMENTATION ISSUE

PLANNING (NOT FOR CONSTRUCTION)

PRELIMINARY (NOT FOR CONSTRUCTION) TENDER (NOT FOR CONSTRUCTION)

CONSTRUCTION

GENERAL NOTES -

Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where

Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies

to the office of LMD Design & drafting for clarification

These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as quidelines. No responsibility is accepted for their use.

JOB NO	DRAWN BY -
0999	LD

1:200

FOR -

DRAWING -

Proposed Site/Roof Plan

ADDRESS -6 Hakea Court, Mallacoota

PROJECT -Proposed Dwelling

SHEET SIZE SCALE -DRAWING NO. - TP03 Sean Caracella

DESIGNER -LMD Design & Drafting Pty Ltd

BUILDER -TBC

DATE -

19/09/2024

NORTH



A: 'Regus' Lower Heidelberg Rd,

Proposed Dwelling

2000 litre rain water tank. 7m(L) x 0.7m(W) x 1.86m(H) rainwater tank to be connected to all sanitry - flushing systems

area analysis:

Dwelling:

site area: 802m2 (approx.)

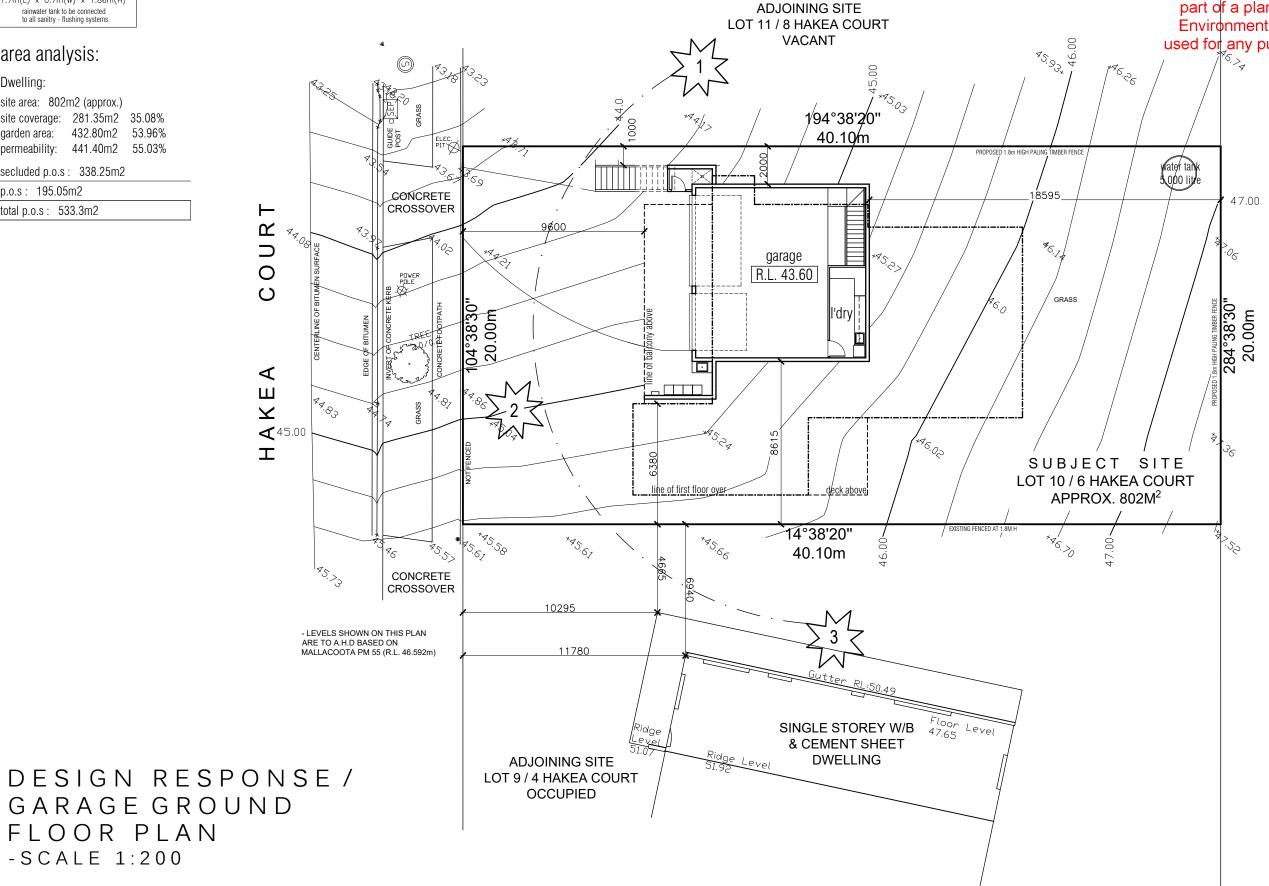
site coverage: 281.35m2 35.08% 432.80m2 53.96% 441.40m2 55.03%

secluded p.o.s: 338.25m2

p.o.s: 195.05m2 total p.o.s: 533.3m2

ADVERTISED

This copied document is made available for the sole purpose of enabling the remaining president strain and review as part of a planning president supplies the property of a planning president supplies approximate the Environment Act 1987. The document must not be used for any purpose which may breach any copyright.



Sun Risers.

Path of Suns Travel- East to West.

REVI	REVISIONS			
REV.	DESCRIPTION	BY	DATE	

FLOOR PLAN

-SCALE 1:200

This drawing & design must not be copied in part or whole without the written authorisation from LMD Design & Drafting Pty Ltd.

Ver.02 Town Planning

DOCUMENTATION ISSUE

PLANNING (NOT FOR CONSTRUCTION)

PRELIMINARY (NOT FOR CONSTRUCTION) TENDER (NOT FOR CONSTRUCTION)

CONSTRUCTION

GENERAL NOTES -

Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where

Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies

to the office of LMD Design & drafting for clarification.

These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as auidelines. No responsibility is accepted for their use.

JOB NO 0999	DRAWN BY -	SCALE 1:200
ADDRESS	-	FOR -
6 Hakea Cour	t, Mallacoota	Sean Car
\ / / /		

Proposed Dwelling

PROJECT -

-	SCALE -	SHEET SIZE -	DRAWING	DATE -
	1:200	A3	NO TP04	19/09/2024
	FOR -		DESIGNER -	
	Sean Caracell	а	LMD Design & Dra	afting Pty Ltd
	DRAWING	-	BUILDER -	
	Design Respo	nse / Garage	TBC	

Ground Floor Plan



DATE -

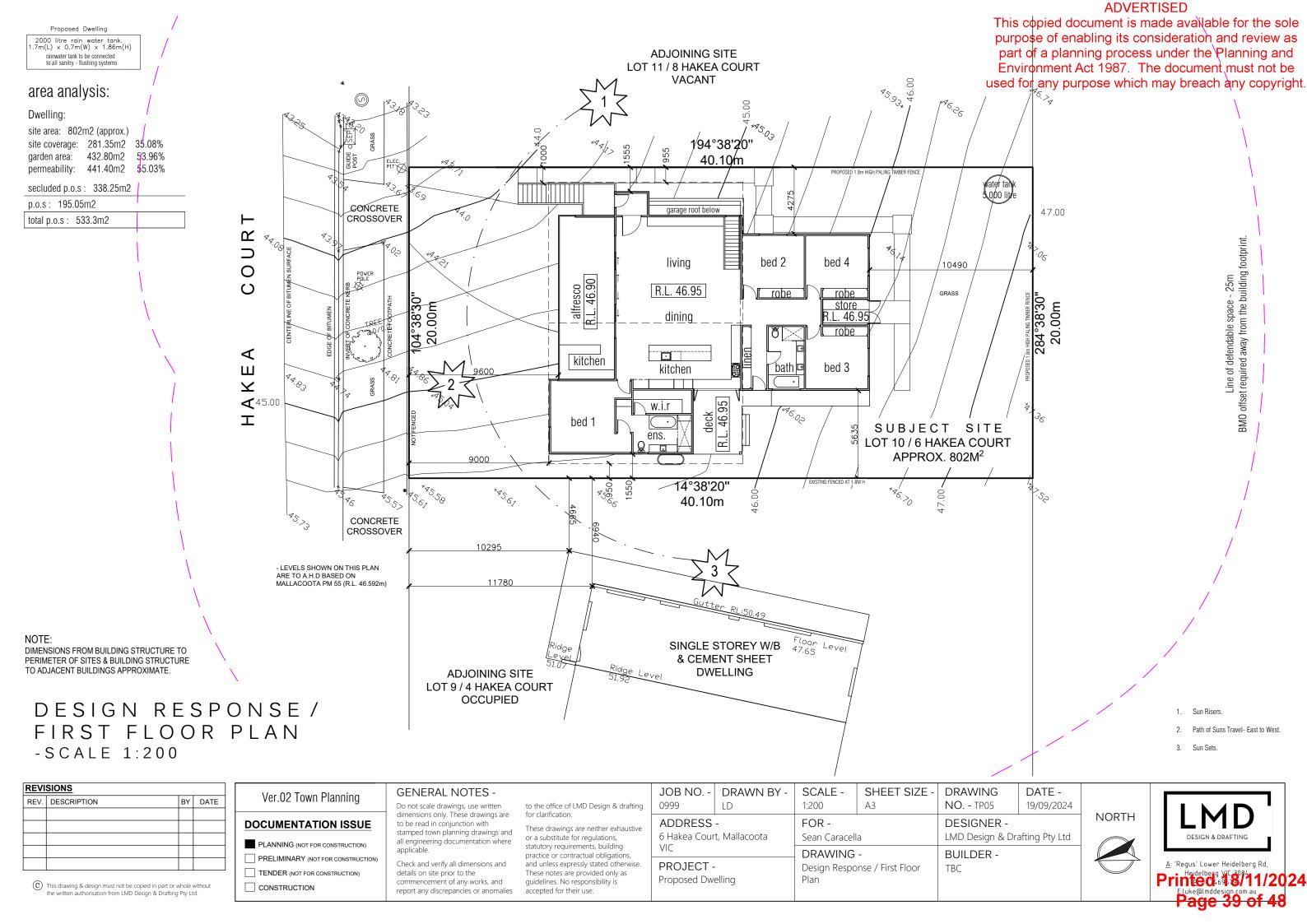


A: 'Regus' Lower Heidelberg Rd,

Printed 1.69 8/11/2024

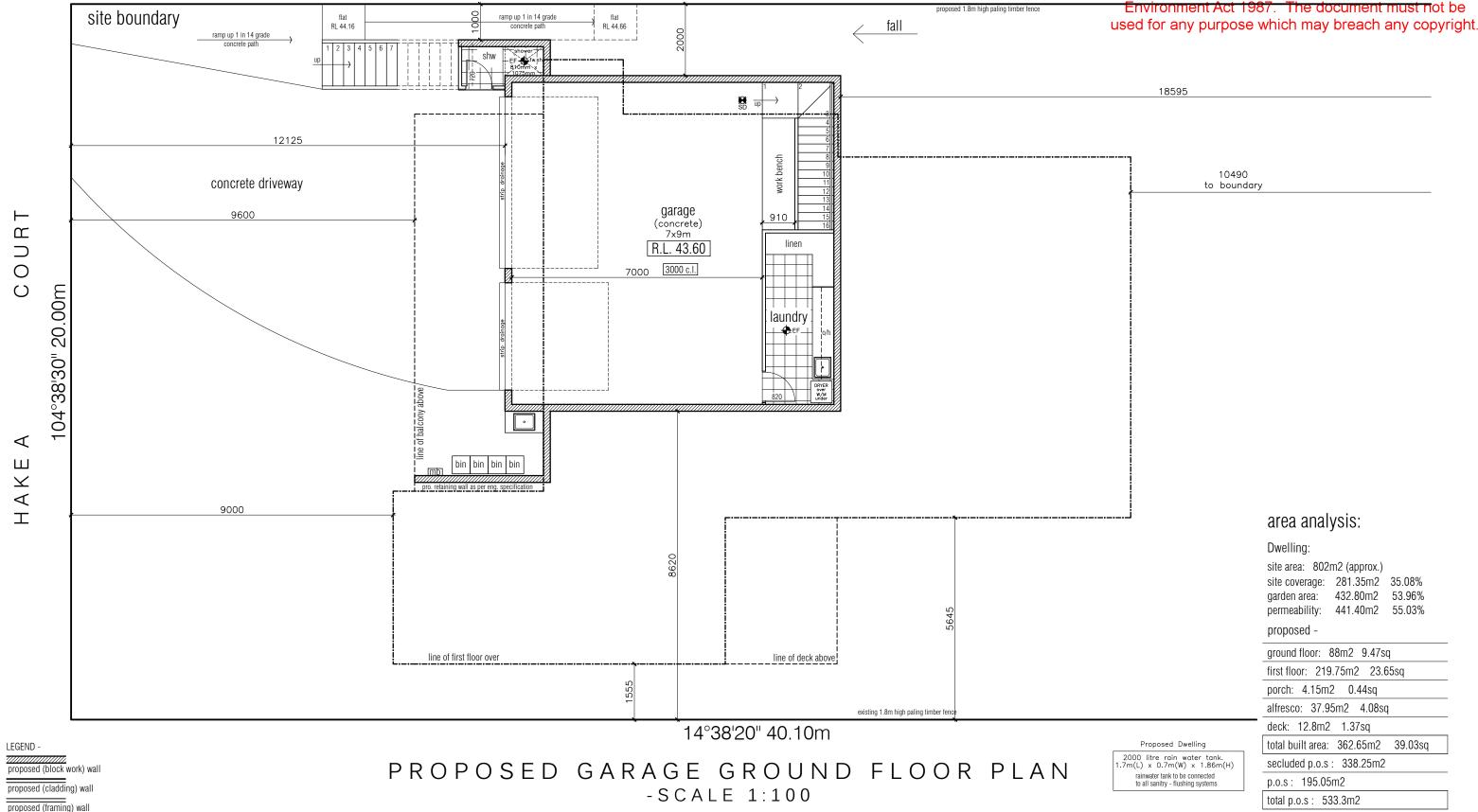
Euke@Imddesign.com.au

Page 38 of 48



ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be



194°38'20" 40.10m

REVISIONS			
REV.	DESCRIPTION	BY	DATE

This drawing & design must not be copied in part or whole without the written authorisation from LMD Design & Drafting Pty Ltd.

Ver.02 Town Planning

DOCUMENTATION ISSUE

PLANNING (NOT FOR CONSTRUCTION)

PRELIMINARY (NOT FOR CONSTRUCTION) TENDER (NOT FOR CONSTRUCTION) CONSTRUCTION

GENERAL NOTES -

Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where

Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies

to the office of LMD Design & drafting for clarification.

These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as auidelines. No responsibility is accepted for their use.

JOB NO	DRAWN BY -
)999	LD

ADDRESS -6 Hakea Court, Mallacoota

VIC PROJECT -Proposed Dwelling

SCALE -SHEET SIZE -1:100

FOR -

DESIGNER -LMD Design & Drafting Pty Ltd Sean Caracella

DRAWING -BUILDER -Proposed Garage Ground TBC Floor Plan

DRAWING

NO. - TP06



DATE -

19/09/2024



A: 'Regus' Lower Heidelberg Rd,

ADVERTISED

10490

to boundary

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

194°38'20" 40.10m proposed 1.8m high paling timber fence SITE BOUNDARY flat RL 44.16 ramp up 1 in 14 grade ramp up 1 in 14 grade flat RL 45.19 RI 44.66 ramp up 1 in 14 grade porch (timber) entry (timber) 2x1.4m garage roof below entertainment unit/gas fire ramp up 1 in 14 grade -1000 🖈 RL 45.30 RL 45.81 alfresco living (tile) 3.6x10.4m concrete driveway below (timber) 7.1x4.5m R.L. 46.90 bed 2 bed 4 (timber) (timber) 4000 20.00m robe robe R.L. 46.95 8000 store (timber) 3x1.6m 2700 c.l. dining RL 46.175 (timber) R.L. 46.95 104°38'30" exposed beams 6.5x3.75m raking roof over robe **₩**EF 2700 c.l. 9600 4000 1295 4000x1000mm island bench

o D/W UNDER

pantry

W.i.r (carpet)

ensuite

2000lts

eauty ba

kitchen

(timber)

8x2.8m

area analysis:

Dwelling:

flat RL 46.5

Proposed Dwelling

2000 litre rain water tank. .7m(L) x 0.7m(W) x 1.86m(H)

rainwater tank to be connected to all sanitry - flushing systems

site area: 802m2 (approx.) site coverage: 281.35m2 35.08% garden area: 432.80m2 53.96% permeability: 441.40m2 55.03%

proposed -

ground floor: 88m2 9.47sq first floor: 219.75m2 23.65sq porch: 4.15m2 0.44sq alfresco: 37.95m2 4.08sq

deck: 12.8m2 1.37sq

total built area: 362.65m2 39.03sq

secluded p.o.s: 338.25m2 p.o.s: 195.05m2

total p.o.s: 533.3m2

14°38'20" 40.10m

PROPOSED FIRST FLOOR PLAN

servery window

(timber) 3.1x4.1m

R.L. 46.95

-SCALE 1:100

REVISIONS				
REV.	DESCRIPTION	BY	DATE	

 \square \supset

0

 \triangleleft

Ш

 \leq

 \forall \exists

LEGEND -

proposed (block work) wall

proposed (cladding) wall

proposed (framing) wall

(C) This drawing & design must not be copied in part or whole without

Ver.02 Town Planning

DOCUMENTATION ISSUE

9000

PLANNING (NOT FOR CONSTRUCTION) PRELIMINARY (NOT FOR CONSTRUCTION)

TENDER (NOT FOR CONSTRUCTION) CONSTRUCTION

GENERAL NOTES -

outdoor kitchen

bed 1 (timber) 4.1x4.6m

Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where

Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies

to the office of LMD Design & drafting for clarification

These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as quidelines. No responsibility is accepted for their use.

0999	DRAWN BY -	1:100
ADDRESS	-	FOR -

6 Hakea Court, Mallacoota

DRAWING -PROJECT -Proposed First Floor Plan Proposed Dwelling

existing 1.8m high paling timber fence

Sean Caracella

bath '

bed 3

(timber) 4x3.4m

ramp up (1 in 14 grade)

fall

SHEET SIZE -DRAWING DATE -NO. - TP07 19/09/2024 DESIGNER -LMD Design & Drafting Pty Ltd **BUILDER** -

TBC

NORTH

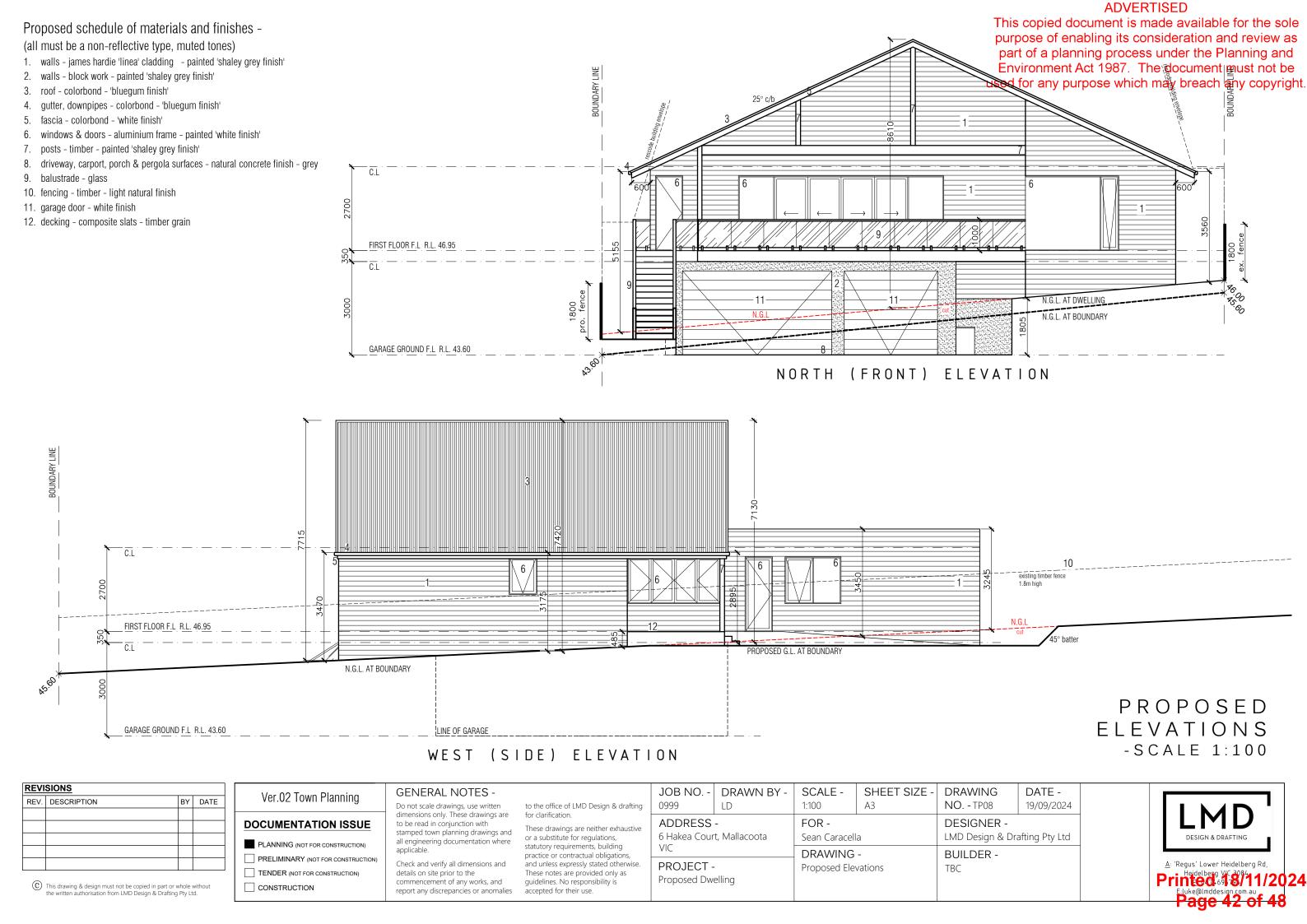


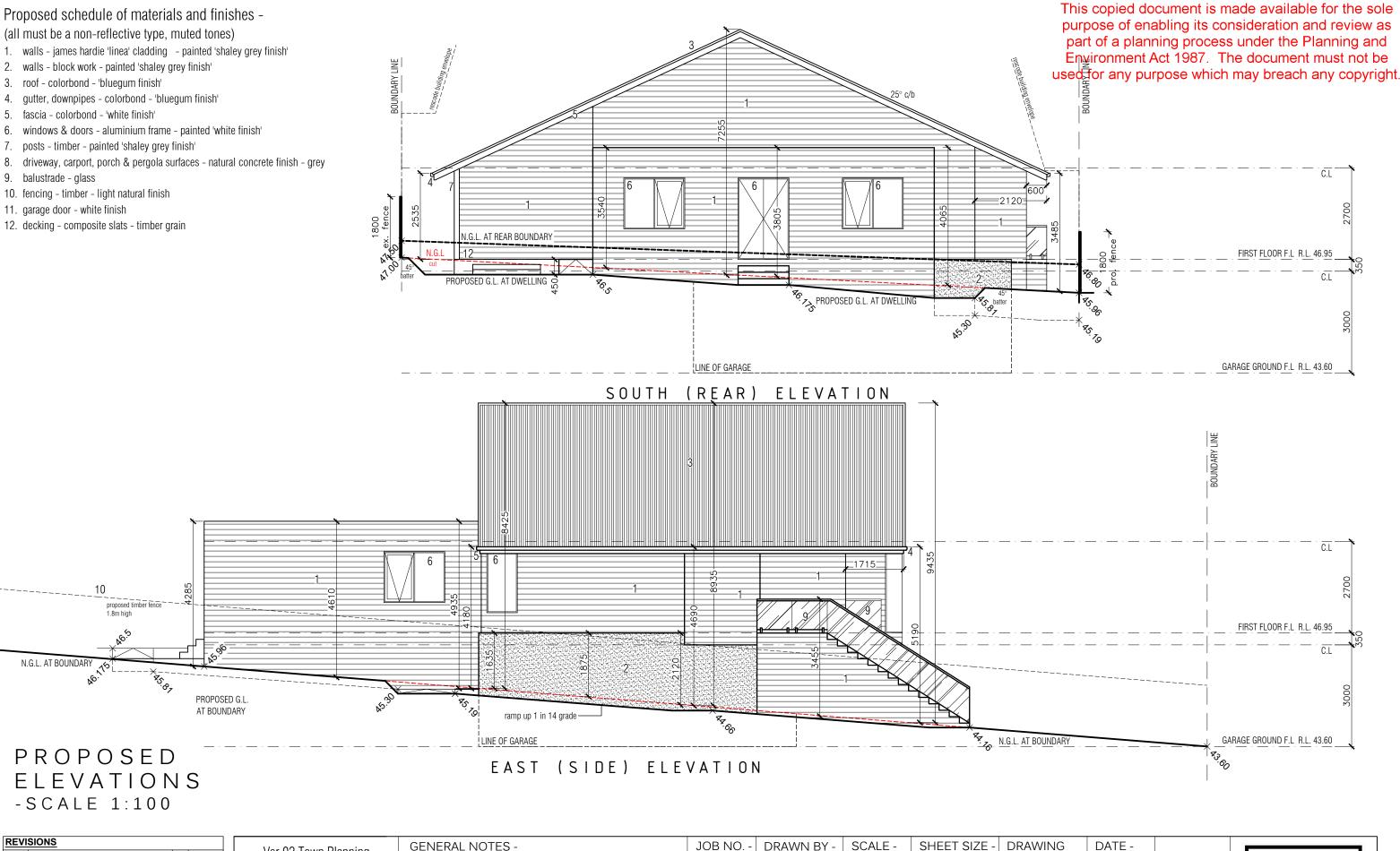
A: 'Regus' Lower Heidelberg Rd,

Printed 15 8/11/2024

Eluke@Imddesign.com.au

Page 41 of 48





REVISIONS		
DESCRIPTION	BY	DATE
	DESCRIPTION	

This drawing & design must not be copied in part or whole without the written authorisation from LMD Design & Drafting Pty Ltd.

Ver.02 Town Planning **DOCUMENTATION ISSUE**

PLANNING (NOT FOR CONSTRUCTION) PRELIMINARY (NOT FOR CONSTRUCTION)

CONSTRUCTION

Check and verify all dimensions and TENDER (NOT FOR CONSTRUCTION) details on site prior to the commencement of any works, and report any discrepancies or anomalies

Do not scale drawings, use written

to be read in conjunction with

dimensions only. These drawings are

all engineering documentation where

to the office of LMD Design & drafting for clarification.

These drawings are neither exhaustive stamped town planning drawings and or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as auidelines. No responsibility is accepted for their use.

JOB NO. -DRAWN BY 0999

ADDRESS -6 Hakea Court, Mallacoota

PROJECT -

Proposed Dwelling

1:100 FOR - SHEET SIZE -

DRAWING NO. - TP09

DATE -19/09/2024

DESIGNER -

Sean Caracella DRAWING -BUILDER -

LMD Design & Drafting Pty Ltd **Proposed Elevations** TBC

A: 'Regus' Lower Heidelberg Rd,

ADVERTISED

ADVERTISED This copied document is made available for the sole SHADOW LEGEND: purpose of enabling its consideration and review as 22 SEPTEMBER (EQUINOX) part of a planning process under the Planning and **ADJOINING SITE** Environment Act 1987. The document must not be LOT 11 / 8 HAKEA COURT PROPOSED DWELLINGS AT 9AM **VACANT** used for any purpose which may breach any copyright. PROPOSED FENCE AT 12PM PROPOSED DWELLINGS AT 3PM PROPOSED FENCE AT 3PM 1/94°38'2/0" 40.10m water tan 5,000 lite CONCRETE 47.00 CROSSOVER \mathcal{L} \supset 0 \circ PROPOSED LOWER METAL 34°38'3(20.00m PROPOSED UPPER METAL SHEET ROOF AT 2° PITCH SHEET ROOF AT A 25° PITCH ⋖ Ш \succeq *\$5.0_{\$} **4**5.00 工 SUBJECT SITE LOT 10 / 6 HAKEA COURT APPROX. 802M² *\\$\\,\S\\\\ ___14°38'20" 45,0° 40.10m CONCRETE **CROSSOVER** - LEVELS SHOWN ON THIS PLAN ARE TO A.H.D BASED ON MALLACOOTA PM 55 (R.L. 46.592m) SINGLE STOREY W/B & CEMENT SHEET **DWELLING ADJOINING SITE** PROPOSED SITE/ LOT 9 / 4 HAKEA COURT **OCCUPIED** SHADOW DIAGRAM 9 AM, 12 PM & 3 PM -SCALE 1:200 REVISIONS JOB NO. -DRAWN BY SCALE -SHEET SIZE -DRAWING DATE -**GENERAL NOTES -**Ver.02 Town Planning REV. DESCRIPTION BY DATE NO. - TP10 Do not scale drawings, use written 0999 LD 1:200 19/09/2024 to the office of LMD Design & drafting dimensions only. These drawings are to be read in conjunction with for clarification NORTH FOR -DESIGNER -**DOCUMENTATION ISSUE** ADDRESS -These drawings are neither exhaustive stamped town planning drawings and 6 Hakea Court, Mallacoota LMD Design & Drafting Pty Ltd Sean Caracella or a substitute for regulations, all engineering documentation where PLANNING (NOT FOR CONSTRUCTION) statutory requirements, building DRAWING -**BUILDER** practice or contractual obligations, PRELIMINARY (NOT FOR CONSTRUCTION) A: 'Regus' Lower Heidelberg Rd, Check and verify all dimensions and PROJECT and unless expressly stated otherwise. Proposed Site/Shadow Diagram TBC TENDER (NOT FOR CONSTRUCTION) details on site prior to the These notes are provided only as Proposed Dwelling 9am, 12pm & 3pm

commencement of any works, and

report any discrepancies or anomalies

© This drawing & design must not be copied in part or whole without the written authorisation from LMD Design & Drafting Pty Ltd.

CONSTRUCTION

quidelines. No responsibility is

accepted for their use.

- Refer to BAL Assessment for Bushfire Info.

Architectural plans to comply with all BAL-29 bushfire design requirements from Section 7 of AS3959-2018. Builder to construct accordingly.

Please note, the owner/builder to select alternatives from the info below as per AS 3959-2018 Section 7 and report it to the building surveyor.

SECTION 7: CONSTRUCTION FOR BUSHFIRE ATTACK LEVEL 29 (BAL 29)

This document has been prepared to assist in the preparation of construction certificate plans and specifications in respect to BAL - 29.

BAL - 29 is primarily concerned with protection of your building from ember attack and burning debris ignited by wind borne embers and radiant heat up to and including 29 kW/m2. To comply with the Building Code of Australia, your construction or complying development certificate plans must include details of the building construction relevant to the level of bushfire. Those parts of this document that relate to your development must be included on the construction or specification. The construction requirements for the next lower BAL may be used for an elevation of a dwelling that is not exposed to the source of a bushfire. An elevation is not exposed if the entire elevation is completely screened from the source of a bushfire by another part of the building. Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements below (see Clause 3.8 of the Standard).

SARKING

Sarking, where used for bushfire protection shall be:

- Breather-type sarking complying with AS/NZS4200.1 and with a flammability index of not more than 5 and sarked on the outside
- aterial conforming to the appropriate Australian Standard for that material

SUBFLOOR SUPPORTS

- This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with
- a wall that complies with the requirements for an external wall below; or
- a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze or aluminium; or
- Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be-
- (1) of non-combustible material; or
- (2) of bushfire-resisting timber (refer to the table at the end of this document); or

- This requirement applies to the principal building only. See requirements below for verandas, decks, steps, ramps and

FLOORS

- Enclosed subfloor space
- The Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with-
- i) a wall that complies with the standards for an external wall below; or
- ii)ii) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze or aluminium; or
- iii) iii) a combination of Items (a) and (b) above. b) Unenclosed subfloor space Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following: () materials that comply with the following: (a) bearers and joists shall be—i) non-combustible; or ii) bushfire-resisting timber (refer to the table at the end of this document); or iii) a combination of Items (i) and (ii) above.
- b) Unenclosed subfloor space

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following:

i) materials that comply with the following:

- (a) bearers and joists shall be
- i) non-combustible; or
- ii)bushfire-resisting timber (refer to the table at the end of this document); or
- iii) a combination of Items (i) and (ii) above (a) flooring shall be--

ii)bushfire-resisting timber (refer to the table at the end of this document); or

- timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type
- c) a combination of any of Items (i), (ii) or (iii) above; or

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

EXTERNAL WALLS

- - (a) Non-combustible material such as cavity brick, masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone, precast or in situ walls of concrete or aerated concrete or earth walling including
 - (b) Timber logs of a species with a density of 680 kg/m3 or greater at a 12 percent moisture content; of a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.11of Standard); and gauge
 - (c) Cladding that is fixed externally to a timber-framed or a steel-framed wall and is-
 - (i) Fibre-cement a minimum of 6 mm in thickness; or
 - (ii) Bushfire-resisting timber (refer to the table at the end of this document); or

 - (iv) A combination of any of Items (i), (ii) or (iii) above; or
 - (d) A combination of any of Items (a), (b) or (c) above.
- 3) Vents and weepholes Vents and weepholes in external walls shall be screened with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where the vents and weepholes have an aperture less than 3 mm. EXTERNAL WINDOWS and DOORS
- Windows Window assemblies shall comply with one of the following:
 - (a) They shall be completely protected by a bushfire shutter that complies with Note 1 below; or
 - They shall comply with the following:
 - (i) Window frames and window joinery shall be made from:

- (B) Metal; or
- (C) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or n-resistant steel and the frame and sash shall satisfy the design load, performance and structural strength of
 - (ii) Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal
- (iii) Glazing shall be a minimum of 5 mm toughened glass.
- Where double-glazed units are used, the above requirements apply to the external face of the window assembly only. (iv) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings, having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame, that portion shall be screened with a screen that complies with Note 2 below.
 - (iv)The openable portion of windows shall be screened with screens complying with Note 2 below

Screening of the openable portions of all windows is required in all BALs to prevent the entry of embers to the building when the window is open. Screening of the openable and fixed portions of some windows is required in some BALs to reduce the effects of radiant heat on some types of glass.

If the screening is required to reduce the effects of radiant heat on the glass, the screening has to be external so that the glass in the openable portion of the window will be 'protected' when it is shut.

If the screening is required only to prevent the entry of embers, the screening may be fitted externally or internally

- 3) Doors--Side-hung external doors (including French doors, panel fold and bi-fold doors)
- Side-hung external doors, including French doors, panel fold and bi-fold doors, shall comply with one of the following
 - (a) Doors and door frames shall be protected by bushfire shutters that comply with Note 1; or
 - (b) Doors and door frames shall be protected externally by screens that comply with Note 2: or
 - (c) Doors and door frames shall comply with the following:

 - (B) a solid timber, laminated timber or reconstituted timber door, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or
 - (C) a door, including a hollow core door, protected externally by a screen that complies with Note 2 below; or
 - (D) a fully framed glazed door, where the framing is made from noncombustible materials or from bushfire resistimber (refer to the table at the end of this document).
 - (ii) Externally fitted hardware that supports the panel in its function of opening and closing shall be metal.
 - (iii) Where doors incorporate glazing, the glazing shall be toughened glass with a minimum thickness of 6mm
 - (iv) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.

 - (A) Bushfire-resisting timber (refer to the table at the end of this document); of
 - (B) Metal; or
 - (C) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or -resistant steel and the door assembly shall satisfy the design load, performance and structural strength of
 - (vi) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings, having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame, that portion shall be screened with a screen that complies with Note 2 below.
 - (vii) Weather strips, draught excluders or draught seals shall be installed at the base of side-hung external doors
 - (d) Sliding doors
 - Sliding doors shall comply with one of the following:
 - (a) They shall be completely protected by a bushfire shutter that complies with Note 1; or
 - They shall be completely protected externally by screens that comply with Note 2; or
 - They shall comply with the following:
 - Any glazing incorporated in sliding doors shall be toughened glass with a minimum thickness of 6mm
 - Both the door frame supporting the sliding door and the framing surrounding any glazing shall be made from
 - (A) (Bushfire-resisting timber (refer to the table at the end of this document); or

 - (C) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and the sash shall satisfy the design load, performance and structural
 - (iii) There is no requirement to screen the openable part of the sliding door. However, if screened, the screens

NOTE: The construction of manufactured sliding doors should prevent the entry of embers when the door is closed. There is no requirement to provide screens to the openable part of these doors as it is assumed that a sliding door will be closed if occupants are not present during a bushfire event. Screens of materials other than those specified may not resist ember attack.

- (iv) Externally fitted hardware that supports the panel in its function of opening and closing shall be metal.
- (v) Sliding doors shall be tight-fitting in the frames.
- Garage Doors
- The following apply to vehicle access doors
- (a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed shall be made from--
- (i) Non-combustible material; or
- Bushfire-resisting timber (refer to the table at the end of this document); or
- (iii) Fibre cement sheet, a minimum of 6 mm in thickness; o (iv) A combination of any of Items (i), (ii) or (iii) above.
- (b) Panel lift, tilt doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm
- Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with a nylor
- (d) Vehicle access doors shall not include ventilation slot

Note 1: Where fitted, bushfire shutters shall be made from

- non-combustible material, or
- bushfire-resisting timber (refer to the table at the end of this document), or
- a combination of any of Items (a) or (b) above; and
 - (i) be fixed to the building and be non-removable
 - (ii) when in the closed position, have no gap greater than 3 mm between the shutter and the wall, the sill or the
 - (iii) be readily manually operable from either inside or outside
 - (iv) protect the entire window assembly or door assembly;
 - (v) where perforated, have--
 - (A) uniformly distributed perforations with a maximum aperture of 3 mm when the shutter is providing radiant hea protection or 2 mm when the shutter is also providing ember protection (such as where the openable portion of the window is not screened in accordance with the requirements of the respective BAL); and
 - (B) a perforated area no greater than 20% of the shutter. If bushfire shutters are fitted to all external doors then at east one of those shutters shall be operable from the inside to facilitate safe egress from the building

Note 2: Where fitted, screens for windows and doors shall have a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium. Gaps between the perimeter of the screen assembly and the building element to which it is fitted shall not exceed 3 mm.

The frame supporting the mesh or perforated sheet shall be made from metal or a timber species as specified at the end of this

Note 3: Where double glazed units are used the above requirements apply to the external face of the window assembly only.

ROOFS (INCLUDING VERANDA AND ATTACHED CARPORT ROOFS, PENETRATIONS, EAVES, FASCIAS, GABLES, GUTTERS

- The following apply to all types of roofs and roofing systems
- (a) roof tiles, roof sheets and roof-covering accessories are to be non-combustible.
- d) the roof/wall junction is to be sealed to prevent openings greater than 3 mm, either by the use of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof and between the rafters at the line of the wall.
 - (c) roof ventilation openings, such as gable and roof vents, are to be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of
 - (d) a pipe or conduit that penetrates the roof covering shall be non-combustible
- Tiled roofs. Tiled roofs shall be fully sarked. The sarking shall--

- (a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;
- (b) cover the entire roof area including ridges and hips; and
- Sheet roofs Sheet roofs shall--
 - (a) be fully sarked, except that foil-backed insulation blankets may be installed over the battens; and

 - (i) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corror aluminium; or
 - (ii) mineral wool: or
 - (iii) other non-combustible material; or
 - (iv) a combination of any of Items (i), (ii) or (iii) above.
 - Note: Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.
- Verandah, carport and awning roofs
- The following apply to veranda, carport and awning roofs:
 - (a) A veranda, carport or awning roof forming part of the main roof space shall meet all the requirements for the main roof.

 - (ii) bushfire-resisting timber (refer to the table at the end of this document); or (iii) timber rafters lined on the underside with fibre-cement sheeting a minimum of 6 mm in thickness, or with material complying with AS 1530.8.1; or
- (iv) a combination of any of Items (i), (ii) or (iii) above
- The following apply to roof penetrations:
 - (a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, ver pipes and supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3 mm.

 The material used to seal the penetration shall be non-combustible.
- (b) Openings in vented roof lights, roof ventilators or vent pipes shall be fitted with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminiun
- This requirement does not apply to the exhaust flues of heating or cooking devices with closed combustion chambers. In the case of gas appliance flues, ember guards shall not be fitted. NOTE: Gasfitters are required to provide a metal flue pipe above the roof and terminate with a certified gas flue cowl complying with AS 4566. Advice may be obtained from State gas technical regulators.
 - (a) All overhead glazing shall be Grade A safety glass complying with AS 1288.
 - (b) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass minimum 4 mm thickness, shall be used in the outer pane of the IGU.
 - (c) Flashing elements of tubular skylights shall be non-combustible. However, they may be of an alternative material, provided the integrity of the roof covering is maintained by an under-flashing made of non-combustibl

(d) External single plane glazed elements of roof lights and skylights, where the pitch of the glazed element is 18 degrees or less to the horizontal, shall be protected with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

ADVERTISED This copied document is made available for the sole

purpose of enabling its consideration and review as

part of a planning process under the Planning and

Environment Act 1987. The document must not be

used for any purpose which may breach any copyright.

- (e) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium
- Eaves linings, fascias and gables

The following apply to eaves linings, fascias and gables:

- (a) Gables shall comply with the requirements for an external wall.
- (b) Fascias and bargeboards shall--
- where timber is used, be made from bushfire-resisting timber (refer to the table at the end of this document); or where made from metal, be fixed at 450 mm centres; or
- be a combination of Items (i) and (ii) above (c) Eaves linings shall be--
- (i) fibre-cement sheet, a minimum 4.5 mm in thickness; or
- bushfire-resisting timber (refer to the table at the end of this document); or
- (iii) a combination of Items (i) and (ii) above
- (d) Eaves penetrations shall be protected the same as for roof penetrations
- (e) Eaves ventilation openings greater than 3 mm shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze
- (f) Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds
- The Standard does not provide material requirements for downpipes.

If installed, gutter and valley leaf guards shall be non-combustible

With the exception of box gutters, gutters shall be metal or PVC-U Box gutters shall be non-combustible and flashed at the junction with the roof with noncombustible material

General Decking may be spaced. There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

2) Enclosed subfloor spaces of verandas, decks, steps, ramps and landings a) Materials to enclose a subfloor space

VERANDAHS, DECKS, STEPS, RAMPS AND LANDINGS

i) the material used to enclose the subfloor space complies with the standards for external walls above; and ii)all openings greater than 3 mm are screened with a mesh or perforated sheet with a maximum aperture of 2 mm, made of

- Supports
- The Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles The Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers
- Decking, stair treads and the trafficable surfaces of ramps and landings
- Decking, stair treads and the trafficable surfaces of ramps and landings shall be i) of non-combustible material: or
- ii)of bushfire-resisting timber (refer to the table at the end of this document); or
- iii) a combination of Items (i) and (ii) above. 3) Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings
- a) Supports Support posts, columns, stumps, stringers, piers and poles shall be-
- i) of non-combustible material: or ii)of bushfire-resisting timber (refer to the table at the end of this document); or
- a combination of Items (i) and (ii) above.
- Framing of verandas, decks, ramps or landings (i.e., bearers and joists) shall bei) of non-combustible material; or

Those parts of the handrails and balustrades less than 125 mm from any glazing or any combustible wall shall be-

- ii)of bushfire-resisting timber (refer to the table at the end of this document);or iii) a combination of Items (i) and (ii) above c) Decking, stair treads and the trafficable surfaces of ramps and landings Decking, stair treads and the trafficable surfaces or ramps and landings shall be--
- ii) of bushfire-resisting timber (refer to the table at the end of this document) or iii) a combination of Items (i) and (ii) above 4) Balustrades, handrails or other barriers
- i) of non-combustible material; or ii)of bushfire-resisting timber (refer to the table at the end of this document);or

Those parts of the handrails and balustrades that are 125 mm or more from the building have no requirements

iii) a combination of Items (i) and (ii) above.

DATE -

WATER AND GAS SUPPLY PIPES Above-ground, exposed water and gas supply pipes are to be metal

BUSH FIRE RESISTING SPECIES The following species have been tested and meet the requirements for a bush fire resisting timber species

Ash silvertop Blackbutt Gum, red, rive

Ironbark red

Kwila (Merbau)

BAL 29 NOTES

REV. DESCRIPTION BY DATE

C) This drawing & design must not be copied in part or whole without

Ver.02 Town Planning

DOCUMENTATION ISSUE

TENDER (NOT FOR CONSTRUCTION)

CONSTRUCTION

GENERAL NOTES -Do not scale drawings, use written

dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where to the office of LMD Design & drafting

or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as quidelines. No responsibility is accepted for their use.

JOB NO. -DRAWN BY -0999 LD

6 Hakea Court, Mallacoota PROJECT -

Proposed Dwelling

FOR -

SCALE -

Sean Caracella DRAWING -

DESIGNER -LMD Design & Drafting Pty Ltd BUILDER -

19/09/2024 A: 'Regus' Lower Heidelberg Rd,

Printed 8/11/2024

E:luke@lmddesign.com.au
Page 45 of 48

(iii) Steel sheeting; or

REVISIONS

PLANNING (NOT FOR CONSTRUCTION) PRELIMINARY (NOT FOR CONSTRUCTION)

Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies These drawings are neither exhaustive

ADDRESS -

Bal Notes

SHEET SIZE

TBC

DRAWING

NO. - TP11

ADVERTISED This copied document is made available for the sole

purpose of enabling its consideration and review as part of a planning process under the Planning and External Colour/Materials & Firstion ment Actel 1887 the document must not be Proposed DWSAM grapy purpose which may breach any copyright. 6 Hakea Crescent, Mallacoota VIC 3892.

1. walls - james hardie 'linea' cladding - painted 'shaley grey finish'



Shale Grey™

2. walls - block work - painted 'shaley grey finish'

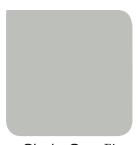


Shale Grey™

3. roof - colorbond - 'bluegum finish'



4. gutter, downpipes - colorbond - 'bluegum finish'



Shale Grey™

ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

5. fascia - colorbond - 'white finish'



6. windows & doors - aluminium frame - painted 'white finish'



7. posts - timber - painted 'shaley grey finish'



Shale Grey™

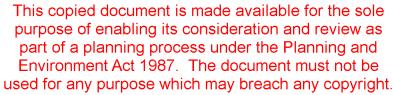
8. driveway, carport, porch & pergola surfaces - natural concrete finish grey



9. balustrade – glass



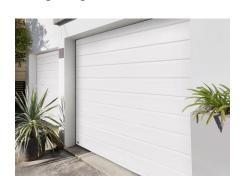
10. fencing - timber - light natural finish



ADVERTISED



11. garage door - white finish



12. decking - composite slats - timber grain



