

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	6 Hakea Court MALLACOOTA 3892 Lot: 10 PS: 616253
The application is for a permit to:	Buildings and Works for a Dwelling
A permit is required under the following clauses of the planning scheme:	
<b>Planning Scheme Clause</b>	<b>Matter for which a permit is required</b>
43.02-2	To construct a building with a height in excess of 7.5 metres
44.06-2	To construct a building associated with accommodation.
The applicant for the permit is:	Sean Caracella Management Pty Ltd
The application reference number is:	5.2024.349.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to the applicant giving notice</b>
---	---

If you object, the Responsible Authority will tell you its decision.

### East Gippsland Shire Council

273 Main Street (PO Box 1618)  
 Bairnsdale VIC 3875  
 Website [www.eastgippsland.vic.gov.au](http://www.eastgippsland.vic.gov.au)  
 Email [feedback@regions.vic.gov.au](mailto:feedback@regions.vic.gov.au)  
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Telephone: (03) 5153 9500  
 Fax: (03) 5153 9576  
 National Relay Service: 133 677  
 ABN: 81 957 967 765

### Planning Permit Application

**Applicant Details:**

Name: SEAN CARACELLA		
Business trading name: (if applicable)		
Email address: [REDACTED]		
Postal address: 17 KINGFISHER PLACE, SOUTH MORANG VIC		Postcode 3752
Phone number: Home:	Work:	Mobile: [REDACTED]

**Owners Details: (if not the applicant)**

Name: SEAN CARACELLA		
Business trading name: (if applicable) SEAN CARACELLA MANAGEMENT PTY LTD		
Email address: [REDACTED]		
Postal address: 17 KINGFISHER PLACE, SOUTH MORANG VIC		Postcode 3752
Phone number: Home:	Work:	Mobile: [REDACTED]

**Description of the Land:**

Street number: 6	Street name: HAKEA COURT	
Town: MALLACOSTA	Postcode 3892	
Legal Description:		
Lot Number: 10	<input checked="" type="checkbox"/> Lodged plan	<input type="checkbox"/> Title plan <input type="checkbox"/> Plan of Subdivision
Crown Allotment Number:		Number: 6
Section Number:		
Parish/Township Name: MALLACOSTA		
Has there been a pre-application meeting: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Officers name:
Your reference number:		

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When information is given out, Council will always try to make sure your privacy is protected in line with the Privacy and Data Protection Act 2014. You may ask for more information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail [feedback@regions.vic.gov.au](mailto:feedback@regions.vic.gov.au)

May 2024

### East Gippsland Shire Council

273 Main Street (PO Box 1618)  
 Bairnsdale VIC 3875  
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 Fax: (03) 5153 9576  
 National Relay Service: 133 677  
 ABN: 81 957 967 765

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
---	------------------------------	--

Will the proposal result in a breach of a registered covenant restriction or agreement?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
---	------------------------------	--

**Description of proposal:** Describe the use, development or other matter which needs a permit:

DWELLING IS TO BE USED AS A HOLIDAY HOUSE/  
 LIVE IN/ RENTAL

**Existing conditions:** Describe how the land is used and developed currently:

VACANT LAND / NO DWELLING.

Estimated cost of development: Note: You may be required to verify this estimate	\$500,000.00
---	--------------

If you need more space or have more information, please attach with this form.

Please make sure that:

- Form is filled in fully and signed
- The correct fee is paid or payment enclosed
- Attached any supporting information or documents
  - **Required** - Title (must have been generated within the past 30 days)
  - Covenants or Section 173 agreements
  - Site plan/floor - plan/elevations
  - Planning report
  - Supporting information/reports (e.g. – Land Capability Assessment, Bushfire Management Statement, Geotechnical report/waiver)

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Telephone: (03) 5153 9500  
Fax: (03) 5153 9576  
National Relay Service: 133 677  
ABN: 81 957 967 765

This application has an associated cost to be determined by a town planner

Who is the invoice to be made out to? SEAN CARACELLA

**Declaration:**

I declare that I am the applicant and that all the information in this application is true and correct and the owner (if not myself) has been notified of the permit application.

I confirm that I have authority to use the relevant documents.

In the event that the giving of notice is required pursuant to Section 52 of the Planning and Environment Act 1987, I permit documents submitted as part of this application, including my full contact information, to be made available for public viewing on Council's website.

Applicant signature [Redacted]  
Name: SEAN CARACELLA Date: 11/10/2024

**Submitting your application:**

- Electronic** Fax to 03 5153 9576  
Email to [planning@egipps.vic.gov.au](mailto:planning@egipps.vic.gov.au)
- Mail** Post the signed, completed form together with any applicable fees or copies of any documentation to:  
PO Box 1618  
BAIRNSDALE VIC 3875.
- In Person** Bring the completed form and supporting documents to any of the following locations;
 

Service Centre Opening Hours: 9.00am to 5.00pm. Monday to Friday.	Bairnsdale Corporate Centre: 273 Main Street. Bairnsdale Service Centre: 24 Service Street. Bairnsdale Business Centre: 34 Pyke Street. Lakes Entrance Service Centre: 18 Mechanics Street. Omeo Service Centre: 179 Day Avenue. Orbost Service Centre: 1 Ruskin Street. Paynesville Service Centre: 55 The Esplanade.
Mallacoota Service Centre Opening Hours: Monday and Tuesday 10.00am to 2.00pm Wednesday, Thursday, Friday 2.00pm to 5.00pm	Mallacoota Service Centre: 70 Maurice Avenue

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958** Page 1 of 1

VOLUME 11194 FOLIO 688

Security no : 124118952509X  
Produced 11/10/2024 12:36 PM

**LAND DESCRIPTION**

Lot 10 on Plan of Subdivision 616253L.  
PARENT TITLE Volume 10600 Folio 829  
Created by instrument PS616253L 01/04/2010

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
SEAN CARACELLA MANAGEMENT PTY LTD  
  
AT436713S 17/07/2020

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE PS616253L FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 6 HAKEA COURT MALLACOOTA VIC 3892

**ADMINISTRATIVE NOTICES**

NIL

DOCUMENT END



# Imaged Document Cover Sheet

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Document Assembled	<b>11/10/2024 12:36</b>


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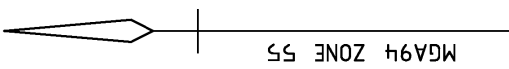
PS616253L

<b>PLAN OF SUBDIVISION</b>		STAGE No. _____	LRS USE ONLY	23/03/2010 12:36:30 PS
<p><b>LOCATION OF LAND</b></p> <p><b>PARISH:</b> MALLACOOTA  <b>TOWNSHIP:</b> —  <b>SECTION:</b> —  <b>CROWN ALLOTMENT:</b> 4 (PART)  <b>CROWN PORTION:</b> —</p> <p><b>TITLE REFERENCES:</b> VOL 10600 FOL 829</p> <p><b>LAST PLAN REFERENCE:</b> LOT 4 PS420978E</p> <p><b>POSTAL ADDRESS:</b> MIRRABOOKA ROAD  <small>(At time of subdivision)</small> MALLACOOTA, 3892</p> <p><b>MGA8400-ORDINATES:</b> E 742 700  <small>(Of approx. centre of land in plan)</small> N 5841 300      <b>ZONE:</b> 55</p>		<p><b>COUNCIL CERTIFICATION AND ENDORSEMENT</b></p> <p><b>COUNCIL NAME:</b> EAST GIPPSLAND SHIRE COUNCIL REF: 43/2008/CLT</p> <p>1. This plan is certified under Section 6 of the Subdivision Act 1988.                  2. This plan is certified under Section 11(7) of the Subdivision Act 1988.                  Date of original certification under Section 6 / /                  3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.</p> <p><b>OPEN SPACE</b></p> <p>(i) A requirement for public open space under Section 18 Subdivision Act 1988 has / <del>has not</del> been made.                  (ii) The requirement has been satisfied.                  (iii) <del>The requirement is to be satisfied in stage</del></p> <p>Council Delegate <i>[Signature]</i>  <del>Council seat</del>                  Date 09/09/2009                  Re-certified under Section 11(7) of the Subdivision Act 1988  <del>Council Delegate</del>  <del>Council seat</del>                  Date / /</p>		
<b>VESTING OF ROADS AND/OR RESERVES</b>				
<b>IDENTIFIER</b>	<b>COUNCIL/BODY/PERSON</b>			
R1 ROAD	EAST GIPPSLAND SHIRE COUNCIL			
R2 ROAD	EAST GIPPSLAND SHIRE COUNCIL			
RESERVE 2	EAST GIPPSLAND SHIRE COUNCIL			
RESERVE 3	SPI ELECTRICITY PTY LTD			
R3 ROAD	EAST GIPPSLAND SHIRE COUNCIL			
MIRRABOOKA ESTATE STAGE 1A		<p><b>NOTATIONS</b></p> <p><b>STAGING</b> This is / <del>is not</del> a staged subdivision                  Planning Permit No 11/2006/P</p> <p><b>DEPTH LIMITATION</b> 15.24m BELOW THE SURFACE</p> <p>LOTS NUMBERS 3 TO 7, 28 TO 43 AND 48 TO 59 HAVE BEEN OMITTED FROM THIS PLAN                  UPON REGISTRATION OF THIS PLAN THE EASEMENTS E-2, E-3, E-4 AND E-5                  AS SHOWN ON C/T VOL 10600 FOL 829 WILL BE VARIED OR REMOVED BY                  DIRECTION IN PLANNING PERMIT 11/2006/P.</p> <p><b>SURVEY:</b> THIS PLAN IS / <del>IS NOT</del> BASED ON SURVEY                  THIS SURVEY IS CONNECTED TO PERMANENT MARK No(s)</p>		
<b>EASEMENT INFORMATION</b>				LRS USE ONLY
<b>LEGEND</b> A - Appurtenant Easement      E - Encumbering Easement      R - Encumbering Easement (Road)		STATEMENT OF COMPLIANCE / EXEMPTION STATEMENT		
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
A-1	CARRIAGEWAY, SEWERAGE WATER & ELECTRICITY	SEE DIAG.	PS322377E	LAND IN THIS PLAN
E-1, E-3, E-5,	DRAINAGE	SEE DIAG.	THIS PLAN	LAND IN THIS PLAN
E-2, E-3, E-6,	SEWERAGE	SEE DIAG.	THIS PLAN	EAST GIPPSLAND REGION WATER AUTHORITY
E-4, E-5, E-6, E-11	POWERLINE	SEE DIAG.	PS 322377E - STAGE 2 SECTION 44 OF THE ELECTRICITY INDUSTRY ACT 1993	EASTERN ENERGY LTD.
E-7	WAY, DRAINAGE, GAS TELEPHONE, SEWERAGE, ELECTRICITY & WATER	SEE DIAG.	LP 209167P	LAND IN LP 209167P
E-8	CARRIAGEWAY	SEE DIAG.	THIS PLAN	LAND IN THIS PLAN
E-11, E-10	DRAINAGE	SEE DIAG.	THIS PLAN	LAND IN THIS PLAN
E-7 & E-8	CARRIAGEWAY	SEE DIAG.	THIS PLAN	EAST GIPPSLAND SHIRE COUNCIL
				RECEIVED <input checked="" type="checkbox"/>  DATE 23/3/2010
				THIS IS A LAND VICTORIA COMPILED PLAN  FOR DETAILS SEE MODIFICATION TABLE HEREIN
				SHEET 1 OF 4 SHEETS
		LICENSED SURVEYOR      JON MARK BRODZIK SIGNATURE <i>[Signature]</i> DATE 4/9/2009 REF 34201335 1A      VERSION 5		DATE 09/09/2009 COUNCIL DELEGATE SIGNATURE <i>[Signature]</i> ORIGINAL SHEET SIZE A3



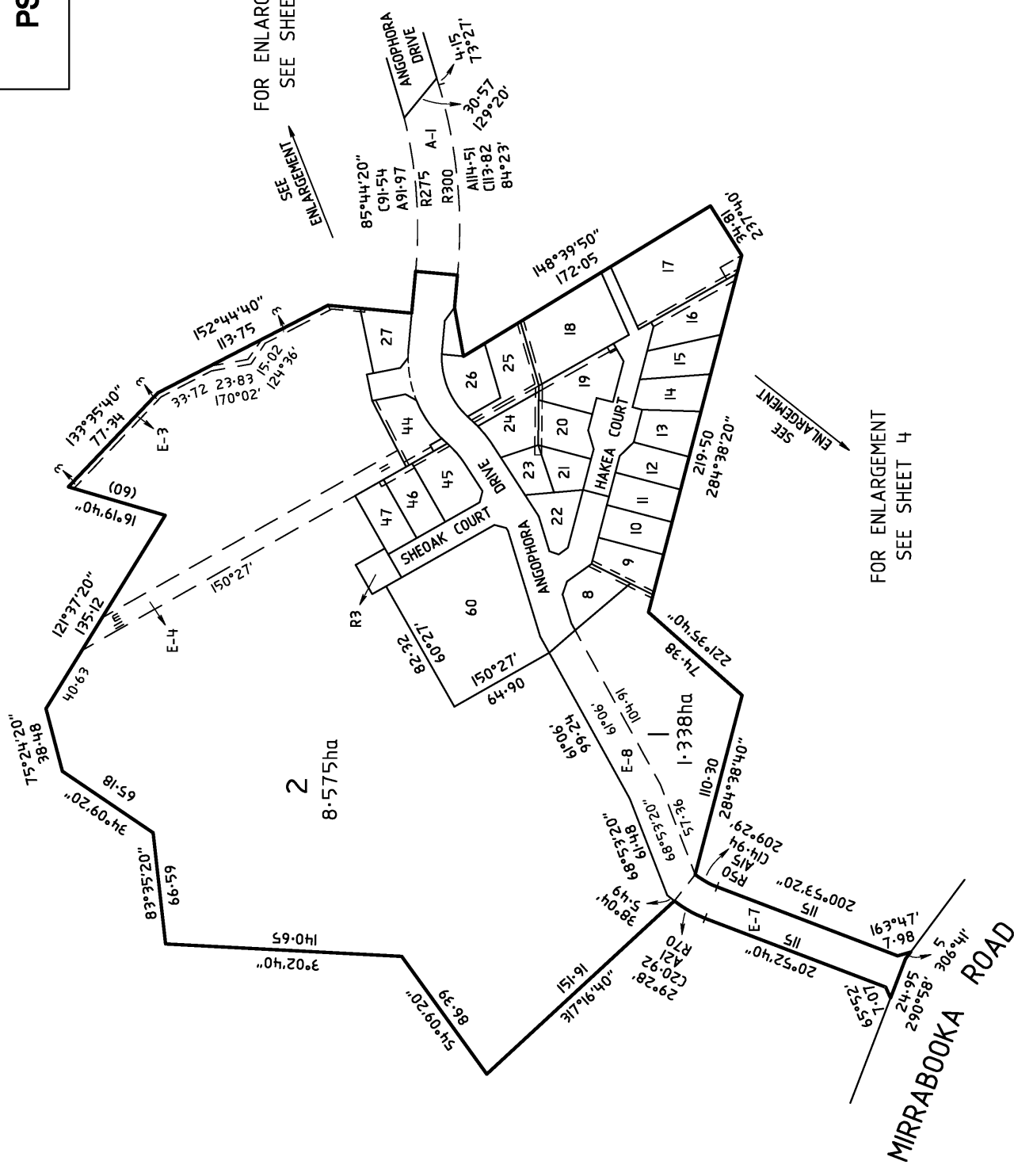
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PS 616253L



FOR ENLARGEMENT  
SEE SHEET 3  
ENLARGEMENT 1

FOR ENLARGEMENT  
SEE SHEET 4  
ENLARGEMENT 2



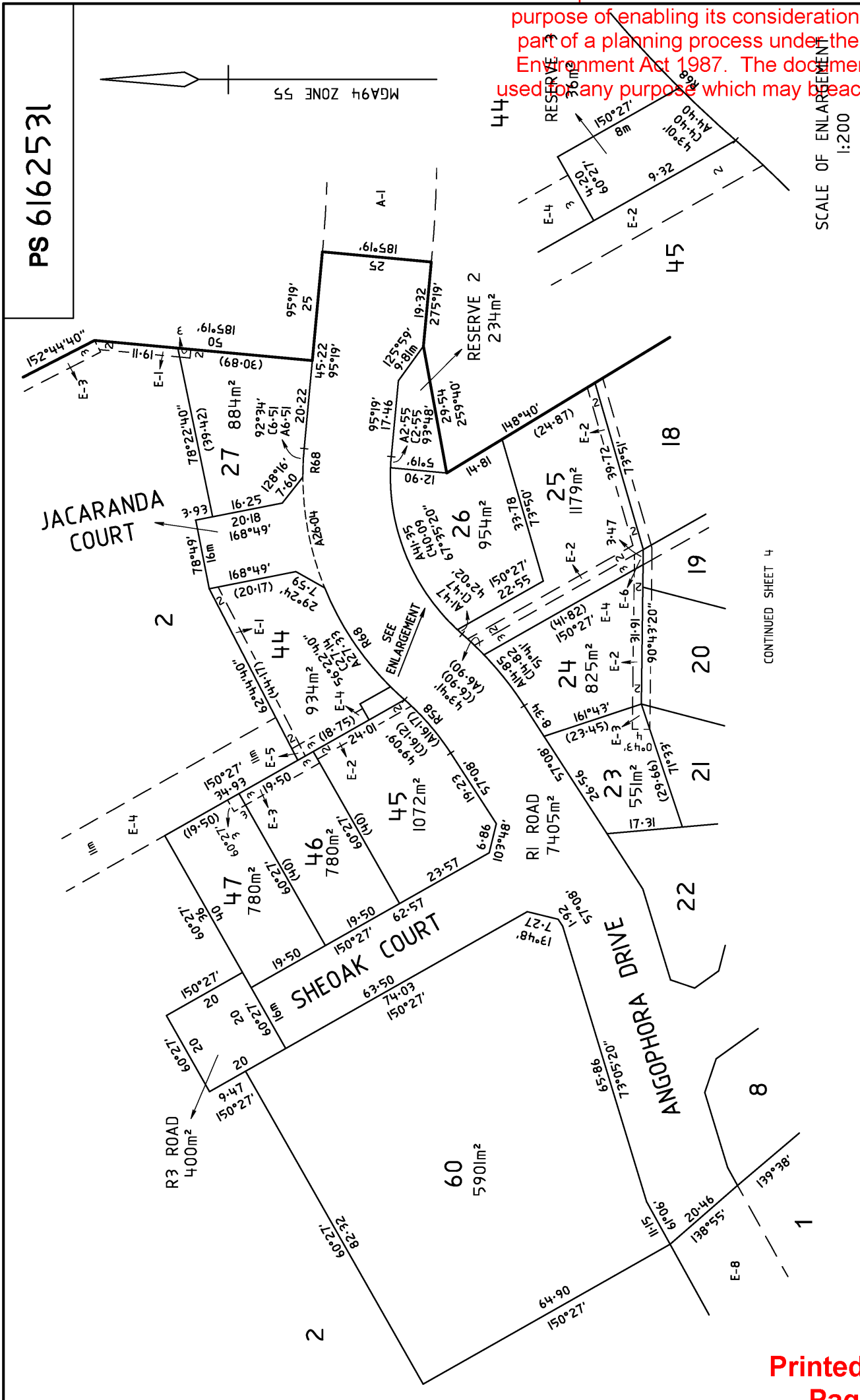
SURVEYORS REF 18569		SCALE 1:2500	25 50 75 100 LENGTHS ARE IN METRES	ORIGINAL SHEET SIZE: A3	SHEET 2
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PAUL ANTHONY DWYER, VERSION 3

**Prowthner & Sadler Pty. Ltd.**  
 LICENSED SURVEYORS & TOWN PLANNERS  
 182 MACLEOD STREET, BAIRNSDALE, VIC., 3875  
 (03) 5162 6011 E. contact@crowthornadler.com.au

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PS 6162531



SCALE OF ENLARGEMENT  
1:200

CONTINUED SHEET 4

SURVEYORS REF 18569	SCALE 1:800	8	0	8	16	24	32	ORIGINAL SHEET SHEET 3 SIZE: A3
	LENGTHS ARE IN METRES							

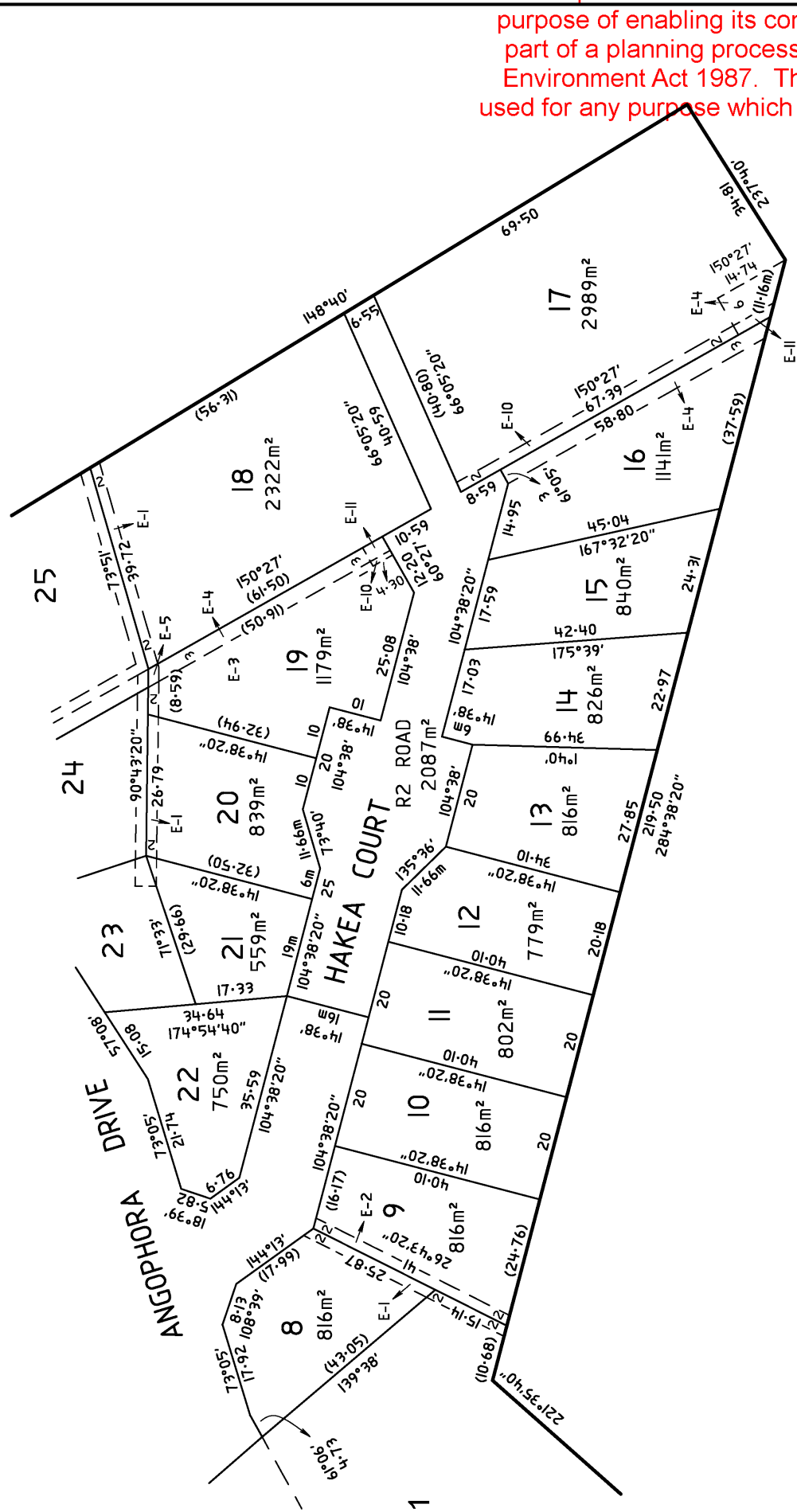
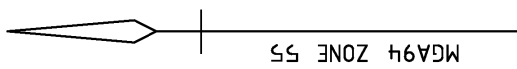
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CONTINUED SHEET 3



SURVEYORS REF 18569	SCALE 1:800	LENGTHS ARE IN METRES				ORIGINAL SHEET SIZE: A3	SHEET 4
		8	16	24	32		
PAUL ANTHONY DWYER, VERSION 3							

CONTINUED SHEET 3

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 (03) 5182 8011 E. contact@crowthenadler.com.au







- Mandatory Condition**  
The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.
- Bushfire Protection Measures**
- a) Construction Standard**  
Building designed and constructed to a minimum Bushfire Attack Level of BAL 29
- b) Defendable Space**  
Defendable space for a distance of 25m around the proposed building (or to the property boundary, whichever is the lesser distance) must be provided where vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:
- Grass must be short cropped and maintained during the declared fire danger period.
  - All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
  - Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
  - Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
  - Shrubs must not be located under the canopy of trees.
  - Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
  - Trees must not overhang or touch any elements of the building.
  - The canopy of trees must be separated by at least 5 meters.
  - There must be a clearance of at least 2 metres between the lowest tree branches and ground level.
- c) Water Supply**  
The following requirements apply:
- An effective capacity of 5,000 litres
  - Be stored in an above ground water tank constructed of concrete or metal.
  - Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosion resistant metal.
  - Include a separate outlet for occupant use.

# Bushfire Management Statement Pathway 1

Property Address:

**6 Hakea Court Mallacoota 3892**

Prepared for: **Sean Caracella**

Date: **September 2024**

Ref# **25069\1.0**

Prepared by

**Paul Oikonomidis**

**Bushfire Consultant**

Post Graduate Diploma in Bushfire Protection  
Western Sydney University

Assessing property in bushfire prone areas since 2010





Bushfire Assessments project: 25069\1.0  
Cover image: Looking at the proposal's site.

## Bushfire Assessments Pty Ltd

ABN 44 103 792 088

713 Plenty Road, Reservoir Vic

M: 0450 770 778

## Version Control

Version	Date		Name
1.0	3/09/2024	Analysis, mapping and report compilation	Paul Oikonomidis Manager, Bushfire Planning and Design
1.0	4/09/2024	Peer review	Viky Patsari Admin
1.0	4/09/2024	Bushfire Assessment and BMP reports	To client

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## Contents

Contents .....	2
1 Executive Summary .....	3
2 Introduction .....	4
3 Site Description.....	5
4 Bushfire hazard site assessment .....	6
4.1 Hazard Assessment .....	6
1.1 Vegetation .....	7
4.2 Photos of Assessment Area .....	8
5 Bushfire Management Statement.....	10
5.1 Dwellings in existing settlements – Bushfire protection objective.....	10
5.1.1 Siting & Access (AM1.1).....	10
5.1.2 Defendable Space (AM1.2) .....	10
5.1.3 Building defendable space.....	11
5.1.4 Adjoining property defendable space.....	12
5.1.5 Access & Water (AM1.3) .....	12
6 Clause 13.02-1S Bushfire .....	13
7 Overall Conclusion.....	14
Appendix 1: BMO vegetation management standards.....	15
Appendix 2: BMO static water supply requirements.....	16
Appendix 3: BMO access requirements .....	18
Appendix 4 BMP.....	19

## 1 Executive Summary

The assessment of this site was undertaken on **September 2024** to determine the Bushfire Attack Level (BAL) in accordance with the Victorian Planning Provisions and AS 3959-2018.

The site is a **residential** lot in a **General Residential Zone** of **East Gippsland Shire**

The parcel to be developed has a total area of approximately **802m<sup>2</sup>**.

We are seeking development approval to **construct a habitable building**.

On-site and surrounding area vegetation within the 150m assessment area is classified as **forest grassland & low threat**.

Classified vegetation **forest** on a 0-5° **downslope** constructing with a **BAL 29** defensible space around the building is **25m**.

A **5,000**-litre water tank will be required for firefighting purposes since a Fire Plug is sited @<120m.

Access can meet BMO's access requirements (Appendix 3).

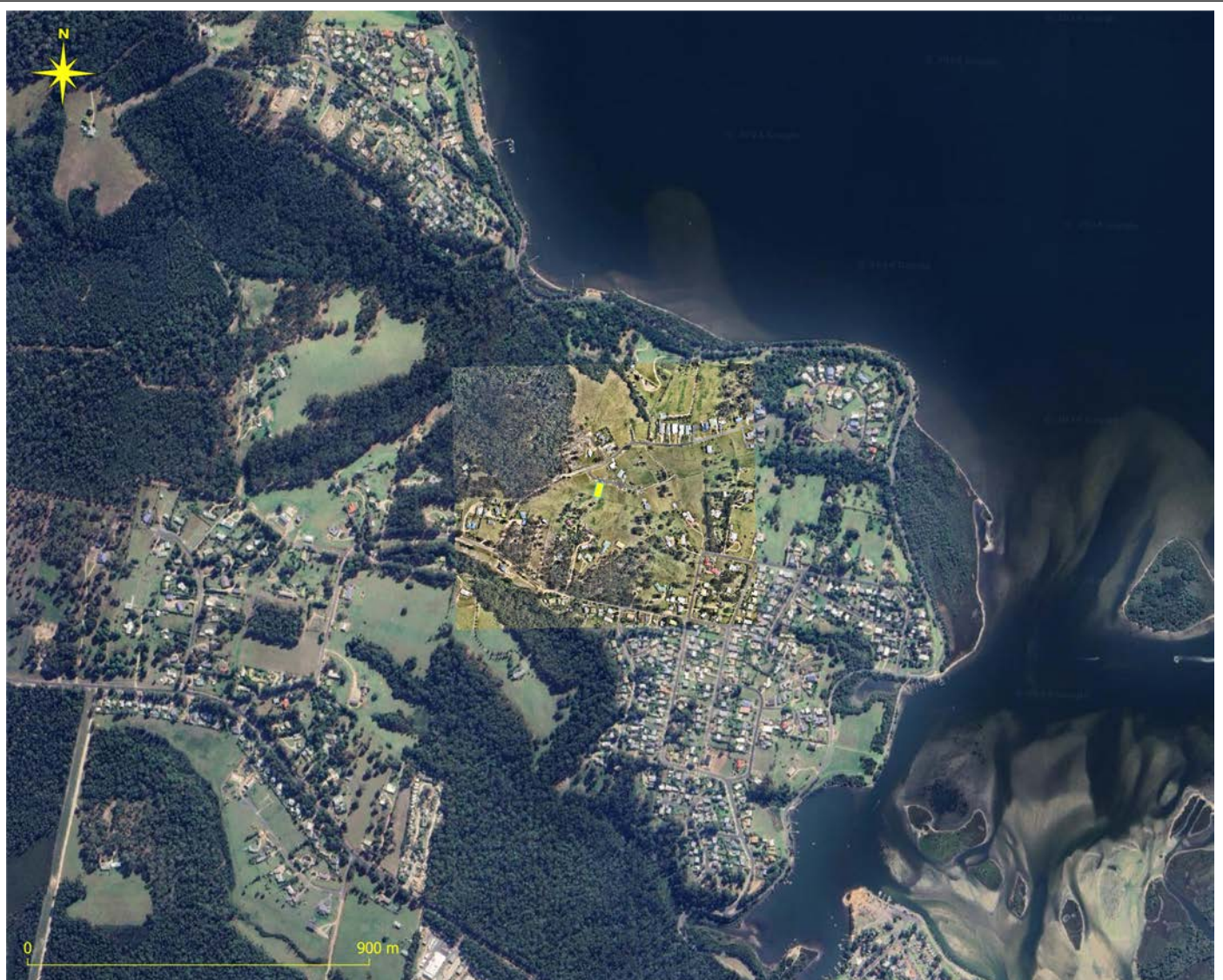


Figure 1 Aerial view of site highlighted parcel to be developed QGIS, maps data.vic.gov.au, google & nearmap

## 2 Introduction

The proposal seeks development approval to **construct a habitable building** on the land known as; **6 Hakea Court Mallacoota 3892**. The property comprises of one parcel as in *Figures 1 & 2*.

Keystone Alliance Bushfire Assessments has been engaged by; **Sean Caracella** to provide a Bushfire Management Statement in accordance with Clause 44.06 Bushfire Management Overlay and 53.02 Bushfire Planning Requirements at which is to accompany the planning permit application lodged with **East Gippsland Shire**.

This assessment describes the subject site and surrounding area in relation to the risk associated with the Bushfire Attack Level (BAL), together with the relevant planning controls, namely, Australian Standard 3959, "Construction of buildings in bushfire-prone areas."

The parcel to be developed has a rectangular shape and an area of approx. **802m<sup>2</sup>** it is located within the township of Mallacoota in one of **East Gippsland Shire urban** areas. The property is connected to towns reticulated water supply, static water supply will be from water tanks, a fire plug is sited in front of **#5 Hakea Court**. It is provided with telecommunication services and is connected to the sealed road. Vehicular access to the land is via **Hakea Court**.

The purpose of the report is to assist in a decision of issuing a planning permit for the construction of the proposed development in a Bushfire Management Overlay.



## 3 Site Description

### 3.1 Site shape, dimensions, size and planning controls

Local government:	East Gippsland Shire
Lot and Plan Number:	Lot 10 PS616253
The shape of the site is:	rectangular
The dimensions of the site are:	please refer at Figure 2 Site area
The site has a total area of:	approximately 802m <sup>2</sup>
The zoning of the site is:	GENERAL RESIDENTIAL ZONE (GRZ) GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)
The overlays that apply to the site are: Affected:	Bushfire Management Overlay, DDO, VPO Areas of Aboriginal Cultural Heritage Sensitivity
Assessed by: <b>Keystone Alliance Bushfire Assesments</b>	



Figure 2 Property's area QGIS data.vic.gov.au, google maps & nearmap



## 4 Bushfire hazard site assessment

### 4.1 Hazard Assessment

A vegetation hazard assessment was carried out within a 150m radius from the proposed development. Within this area our interest was directed on the type of vegetation surrounding the proposal the distance from the proposal and the effective slope it stood please refer Figure 3 below. The proposed development has been assessed under Victoria's Planning Provisions Clause 44.06, 53.02 and AS 3959 "Construction of buildings in bushfire prone areas."

**Figure 3 Assessment Area**



QGIS nearmap, google maps & data.vic.gov.au

Vegetation to the northeast and west around the proposal is maintained to low fuel levels. Forest is of low treat since it is sited at a distance of more than 100m. South of the site adjacent to a residential property with large areas of grassland, which can be considered a minimal fire risk.

**Table 1 Assessment**

Plot	Classified Vegetation	Effective Slope (degrees)		Separation (m)	BAL	Defendable Space (m)
1	Excludable – Clause 2.2.3.2(f)	N/A	N/A	N/A	BAL – LOW	PB
2	Excludable – Clause 2.2.3.2(f)	N/A	N/A	N/A	BAL – LOW	PB
3	Class G Grassland	0	flat/upslope	10.25	BAL – 29	9
4	Class A - Forest	0	Slope	>100	BAL – 29	25

PB= property boundary

An assessment of the site conditions has categorized this site as **BAL-29** fire risk and a requirement of defendable space around the building is **25m** .

## 1.1 Vegetation

Vegetation on and around the site has been classified in accordance with the likely fire behaviour it may generate.

### Forest

Trees 10–30 metres high with foliage cover in the range of 30 per cent to 70 per cent at maturity, predominantly dominated by Eucalypts. Sclerophyllous understorey (vegetation that has hard leaves and short internodes [the distance between leaves along the stem]), small trees, tall scrubs or tall shrubs. Forests generally have several layers of tiered vegetation arranged vertically extending from the surface to the canopy including a pronounced shrubby middle layer in addition to a taller canopy and an underlying layer of grasses, herbs or sedges. AS 3959 Method 1 cannot differentiate between open, closed, tall or short forest. It should all be classified as Class A Forest. Includes plantations, which are classified as Class A Forest.

### Grassland

All forms, including situations with shrubs and trees, if the over storey foliage cover is <10%. The understorey doesn't support a typical shrub layer, although there are often scattered shrubs in on deeper soils, in drainage lines or near rocky outcrops. The ground layer is dominated by perennial, mostly tufted or tussock-forming grasses (Kangaroo Grass, Tussock Grass, Spear Grass, Wallaby Grass, Windmill Grass) with some rhizomatous or stoloniferous species (Weeping Grass) and a few annuals (Blown Grass). In most areas the grasses are accompanied by a wide range of perennial and annual herbs (wood-sorrel, bindweed, sundew, woodruff, everlasting, bidgee-widgee, lobelia, trigger plant, blue devil), sedges (Carex, Schoenus), lilies (mat-rush, chocolate lily, milkmaids, early nancy) and small shrubs (rice-flower, sida, astroloma, peas).

### Low Threat Vegetation

Excluded vegetation and non-vegetated areas

Areas of low threat vegetation and non-vegetated areas have been excluded under one or more of the following AS 3959-2009 exclusion criteria (Standards Australia, 2009):

- i. Vegetation more than 150m from the site.
- ii. Non-vegetated areas, including waterways, roads, footpaths, buildings and rocky outcrops.
- iii. Low threat vegetation, including grassland managed in a minimal fuel condition, maintained lawns, golf courses, maintained public reserves and parklands, vineyards, orchards, cultivated gardens, commercial nurseries, nature strips and windbreaks'.



## 4.2 Photos of Assessment Area



PLOT1 vegetation low threat



PLOT2 vegetation low threat.





PLOT3 vegetation grassland.



PLOT4 vegetation forest @>100m.

## 5 Bushfire Management Statement

### 5.1 Dwellings in existing settlements – Bushfire protection objective

*To specify bushfire design and construction measures for a single building or alteration and extension to an existing dwelling that reduces the risk to life and property to an acceptable level*

#### 5.1.1 Siting & Access (AM1.1)

*A building is sited to ensure the site best achieves the following:*

- *The maximum separation distance between the building and the bushfire hazard.*
- *The building is near a public road.*
- *Access can be provided to the building for emergency service vehicles.*

Compliance with these objectives at Clause 53.02-3 is proposed via the following Approved measures.

The site is a conventional residential lot with an existing house and no opportunities for considering slope, aspect or orientation in lowering bushfire risk nevertheless, it is sufficiently distant to achieve **BAL-29** defensible space.

The building will be sufficiently distant from hazardous vegetation such that 'Table 1' to Clause 53.02-5 setbacks are achieved (see Map 3).

The proposed development has vehicular access from a main public road, enabling access and egress in compliance with BMO requirements for emergency vehicles and occupants /visitors.

#### 5.1.2 Defendable Space (AM1.2)

*A building provides the defendable space in accordance with Column A, B, C, D or E of Table 1 to Clause 53.02-5. Adjoining land may be included as defendable space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space.*

*A building is constructed to the bushfire attack level:*

- *That corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-5 or*
- *Adjoining land may be included as defendable space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space.*
  - *The next lower bushfire attack level that corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-5 where all the following apply:*
    - A private bushfire shelter (a Class 10c building within the meaning of the Building Regulations 2006) is constructed on the same land as the dwelling.*
    - A minimum bushfire attack level of BAL12.5 is provided in all circumstances.*

The building will be constructed to the **BAL 29**, corresponding to defendable space of **25m**, in accordance with Clause 53.02-5 Table1 details of the required separation is provided in Figure 4 (below).



## 5.1.3 Building defensible space

The habitable building will be constructed with a **BAL-29** vegetation classified as **forest** on an effective slope of flat/upslope, required defensible space from classified vegetation is **25m** from the edges of the proposal as shown in *Figure 4* corresponding to Clause 53.02-5 Table 2.



Figure 4 Defensible space

QGIS maps Google nearmap & data.vic.gov.au

## 5.1.4 Adjoining property defendable space

### Alternative measures 3.3 (AltM 3.3)

Adjoining land may be included as defendable space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space.

Required vegetation setback of **25m** are achieved within **adjacent** property where vegetation is maintained to low fuel levels as in Clause 53.02-5 Table 6 standards.

## 5.1.5 Access & Water (AM1.3)

A building is provided with:

- A static water supply for firefighting and property protection purposes specified in Table 4 to Clause 53.02-5. The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for firefighting water supplies.
- Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5'

The site is in a highly urbanized area with a fire hydrant/plug sited in front of **#5 Hakea Court** at less than 120m to the rear of the proposal.

It is proposed that subject site has a minimum total capacity of **5,000** litres of water dedicated solely for bushfire fighting purposes (details are provided in Table 1 & Appendix 3).

The subject site domestic and potable water will be stored in water storage tanks.

The BMS proposes:

- Non-Combustible water tank.
- Static Water Supply of **5,000** litres reserve capacity of water dedicated solely to firefighting purposes

### Access

All internal roads should provide access in accordance with the vehicle access design and construction specifications in Table 5 to Clause 53.02-5 (detail provided as Appendix 4).



## 6 Clause 13.02-1S Bushfire

Clause 13.02-1S Bushfire has the objective to "strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life". This clause applies to land within the Bushfire Prone Area (BPA), BMO or proposed to be used or developed in a way that may create a bushfire hazard. Clause 13.02-1S contains five strategies to meet the objective, being:

- Protection of human life;
- Bushfire hazard identification and assessment;
- Settlement planning;
- Areas of high biodiversity conservation value; and
- Use and development control in a BPA.

This development addresses the requirements of Clause 13.02-1S in several ways. It is considered that the development can appropriately prioritise the protection of human life by ensuring that the proposed building within the development will not be exposed to a radiant heat flux of more than **29** kilowatts/square metre, which is commensurate to a BAL **29** construction standard.

The lot is **802** m<sup>2</sup> and is required to provide a minimum static water supply of **5,000** - litres as per Table 4 to Clause 53.02-5. Vehicles can easily access the development since its on a main public road.

This report identifies the bushfire hazard and applies the standard site assessment methodology used in AS3959-2018 and Clause 53.02, which is applied to developments in the BMO and is based on the best available science. The bushfire modelling inputs that form the basis for this methodology factor in vegetation type (e.g. Woodland, Grassland), potential fuel-loads in a long-unburnt vegetation community, weather conditions on higher bushfire risk days (e.g. wind speed, fuel moisture content, days since last rainfall) and the effect of slope gradient on the way fire travels through unmanaged vegetation. The site assessment process and desktop assessment using GIS software has determined the most appropriate vegetation type and commensurate slope category for each section/aspect of unmanaged vegetation.

Non-vegetated areas such as dwellings, roads, driveways and footpaths are considered part of a landscape in which a building would be rated as BAL-LOW (AS3959- 2018). Occupants will be able to move towards areas rated as BAL-LOW by travelling in a generally **southeastern** direction into a highly urbanised area, or at the more localised scale, directly **west** on **Hakea Court** leading to the closest urbanized area.

The CFA specify that areas where development should not proceed could include:

- Isolated settlements where the size and/or configuration of the settlements will be insufficient to modify fire behaviour and provide protection from a bushfire.
- Where bushfire protection measures will not reduce the risk to an acceptable level.
- Where evacuation (access) is severely restricted.
- Where the extent and potential impact of required bushfire protection measures may be incompatible with other environmental objectives or issues, e.g. vegetation protection, land subject to erosion or landslip' (CFA, 2015).

None of these criteria or characteristics are applicable to the area of the proposed

## 7 Overall Conclusion

The proposed development has been assessed under Clause 53.02 & AS 3959 – 2018.

An assessment of the site conditions & adjoining property has categorised this site as **"BAL 29"** fire risk, with Sections 3, & 7 utilised for the building construction under AS3959 and is subject to the recommendations outlined above.

The proposed development has been sited and designed to avoid on and off-site constraints. AS3959 2009' Construction of buildings in a bushfire prone area' describes **risk category for:**

- BAL – 12.5 as: "Ember Attack"
- BAL – 19 as: "Increasing levels of Ember Attack and burning debris ignited by wind borne embers with increasing heat flux between 12.5-19KW"
- **BAL – 29 as: "Increasing levels of Ember Attack and burning debris ignited by wind borne embers with increasing heat flux between 19-29KW"**
- BAL – 40 as: "Increasing levels of Ember Attack and burning debris ignited by wind borne embers with increasing heat flux with the increased likelihood of exposure to flames."
- BAL – FZ as: Direct exposure to flames from fire front in addition to heat flux and ember attack.

The final categorization of this site is subject to the relevant fire authority (CFA/MFB) review and approval.

Overall, the proposed development meets the requirements of the BMO and Clause 53.02– Bushfire Protection: Planning requirements.

## Appendix 1: BMO vegetation management standards

### Clause 53.02.5 Table 6 Vegetation management requirement

Vegetation management requirement

Defendable space is provided and is managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3 metres of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 square metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

Unless specified in a schedule or otherwise agreed in writing to the satisfaction of the relevant fire authority.

Table 4 from Clause 53.02-5

**Table 4 Water supply**

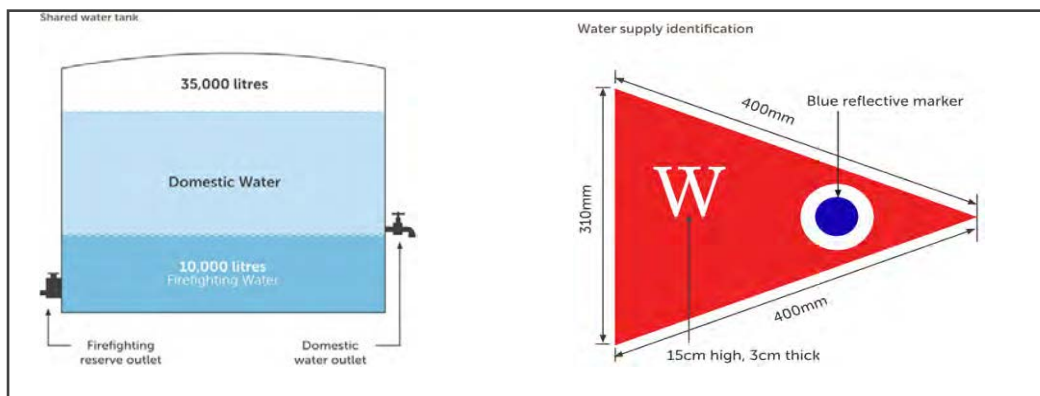
Lot sizes (square meters)	Hydrant available	Capacity (litres)	Fire authority fittings and access required
Less than 500	Not applicable	2,500	No
500-1,000	Yes	5,000	No
500-1,000	No	10,000	Yes
1,001 and above	Not applicable	10,000	Yes

Note 1: A hydrant is available if it is located within 120 metres of the rear of the building

Note 2: Fittings must be in accordance with the published requirements of the relevant fire authority.

**Water tank requirements**

The water supply should be stored in an above ground water tank constructed of concrete, steel or corrugated iron. The water supply should be identified. The water supply may be provided in the same water tank as other water supplies



provided they are separated with different outlets'.

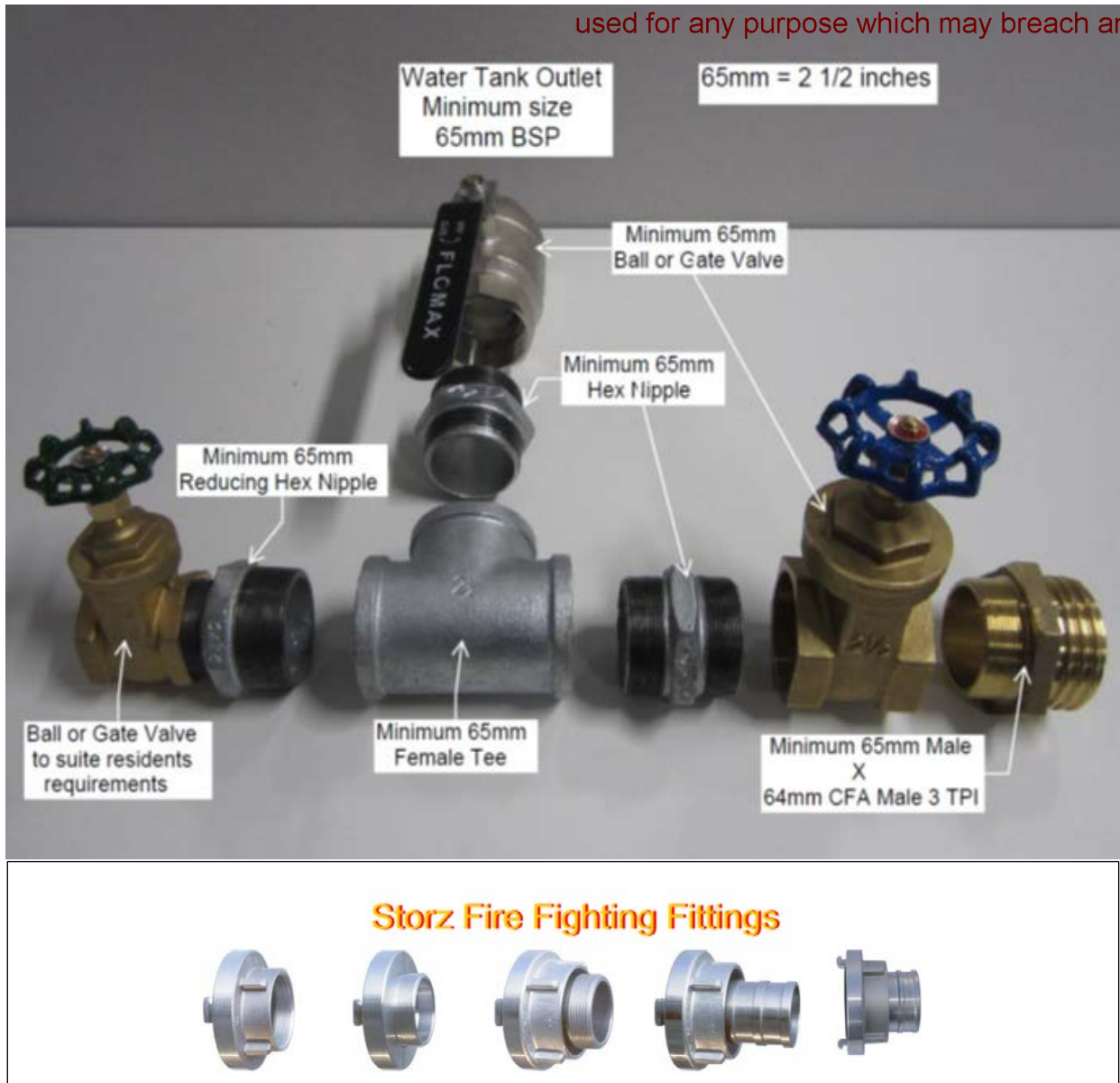
**CFA Fittings (CFA, 2014b)**

If specified within Table 4 to Clause 53.02-5 (if fire brigade access to your water supply is required), CFA's standard BMO permit conditions require the pipe work, fittings and tank outlet to be a minimum size of 64 mm.

65 mm BSP (British Standard Pipe) is the most common size available. A 65mm fitting is equivalent to the old 2 1/2 inch. A 65 mm BSP (2 1/2 inch) fitting exceeds CFA's requirements and will therefore comply with CFA's standard permit conditions for the BMO.

Diagram 1 below shows some common tank fittings available at most plumbing suppliers which meet the connection requirements. It includes a 65mm tank outlet, two 65 mm ball or gate valves with a 65mm male to 64 mm CFA 3 threads per inch male coupling. This is a special fitting which allows the CFA fire truck to connect to the water supply. An additional ball or gate valve will provide access to the water supply for the resident of the dwelling'





**Diagram 1 CFA Standard permit conditions for water supply, in FRV areas pls check if they use same fittings or Storz Fitting apply.**

**Conditions required for all applications**

'Show [xx litres] of effective water supply for firefighting purposes which meets the following requirements:

- Is stored in an above ground water tank constructed of concrete or metal.
- All fixed above-ground water pipes and fittings required for firefighting purposes must be made of corrosive resistant metal'.

Additional conditions to apply if CFA fittings and access is required

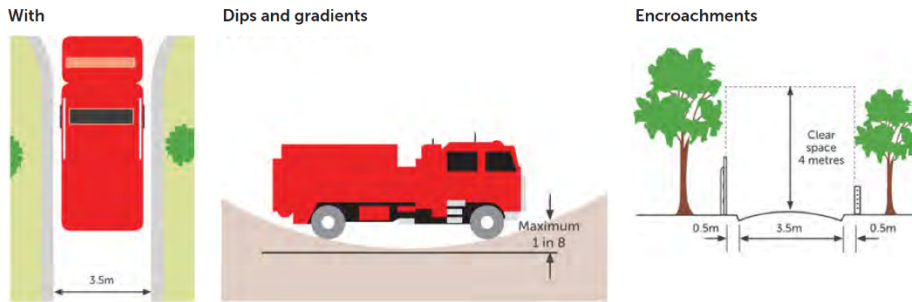
'The water supply must also –

- Incorporate a ball or gate valve (British Standard Pipe (BSP) 65mm) and coupling (64 mm CFA 3 thread per inch fitting).
- The outlet/s of the water tank must be within 4m of the access way and be unobstructed.
- Be readily identifiable from the building or appropriate identification signage to the satisfaction of CFA must be provided.
- Any pipework and fittings must be a minimum of 65 mm (excluding the CFA coupling)'

## Appendix 3: BMO access requirements

Where the length of access is greater than 30 metres the following design and construction requirements apply:

- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.1°) entry and exit angle.
- A load limit of at least 15 tonnes and be of all-weather construction.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- A cleared area of 0.5 metres is required to allow for the opening of vehicle doors along driveways.



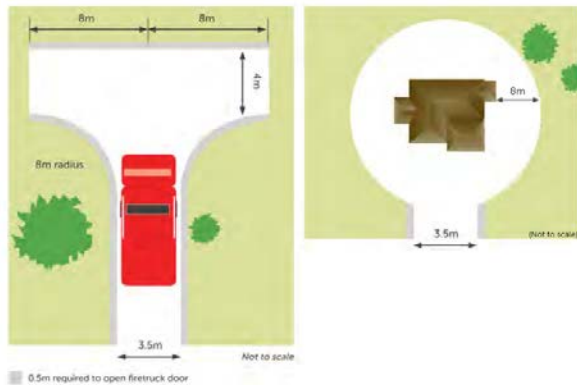
Practice Note 65 | Preparing and Assessing a Planning Application Under the Bushfire Provisions in Planning Schemes

### Access between 100 metres to 200 metres in length

In addition to the above:

A turning area for fire fighting vehicles must be provided close to the building by one of the following:

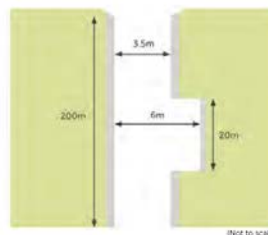
- a turning circle with a minimum radius of 8 metres
- a driveway encircling the dwelling
- other vehicle turning heads such as a T or Y head which meet the specification of Austroad Design for an 8.8 metre service vehicle.



### Access greater than 200 metres in length

In addition to the above, passing bays are required at least every 200 metres that are:

- a minimum of 20 metres long
- with a minimum trafficable width of 6 metres.







Bushfire Protection Measures

Mandatory Condition

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defensible space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

a) Construction Standard

Building designed and constructed to a minimum Bushfire Attack Level of BAL 29

b) Defensible Space

Defensible space for a distance of 25m around the proposed building (or to the property boundary, whichever is the lesser distance) must be provided where vegetation (and other flammable materials) will be modified and managed in accordance with the following requirements:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 meters.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

c) Water Supply

The following requirements apply:

- An effective capacity of 5,000 litres
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.



**Project Information**

Job No. 0999  
Town Planning Ver.01 (A3 Sheet Size - To Scale)  
Date 19/09/24

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**DOCUMENTATION ISSUE**  
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 TENDER (NOT FOR CONSTRUCTION)  
 CONSTRUCTION

# PROPOSED DWELLING

At: 6 Hakea Crescent, Mallacoota VIC 3892  
For: Sean Caracella



LMD Design & Drafting Pty Ltd

A: 'Regus' Lwr Heidelberg Rd, Heidelberg P: 0474696795 E: luke@lmdesign.com.au




# TOWN PLANNING DRAWINGS

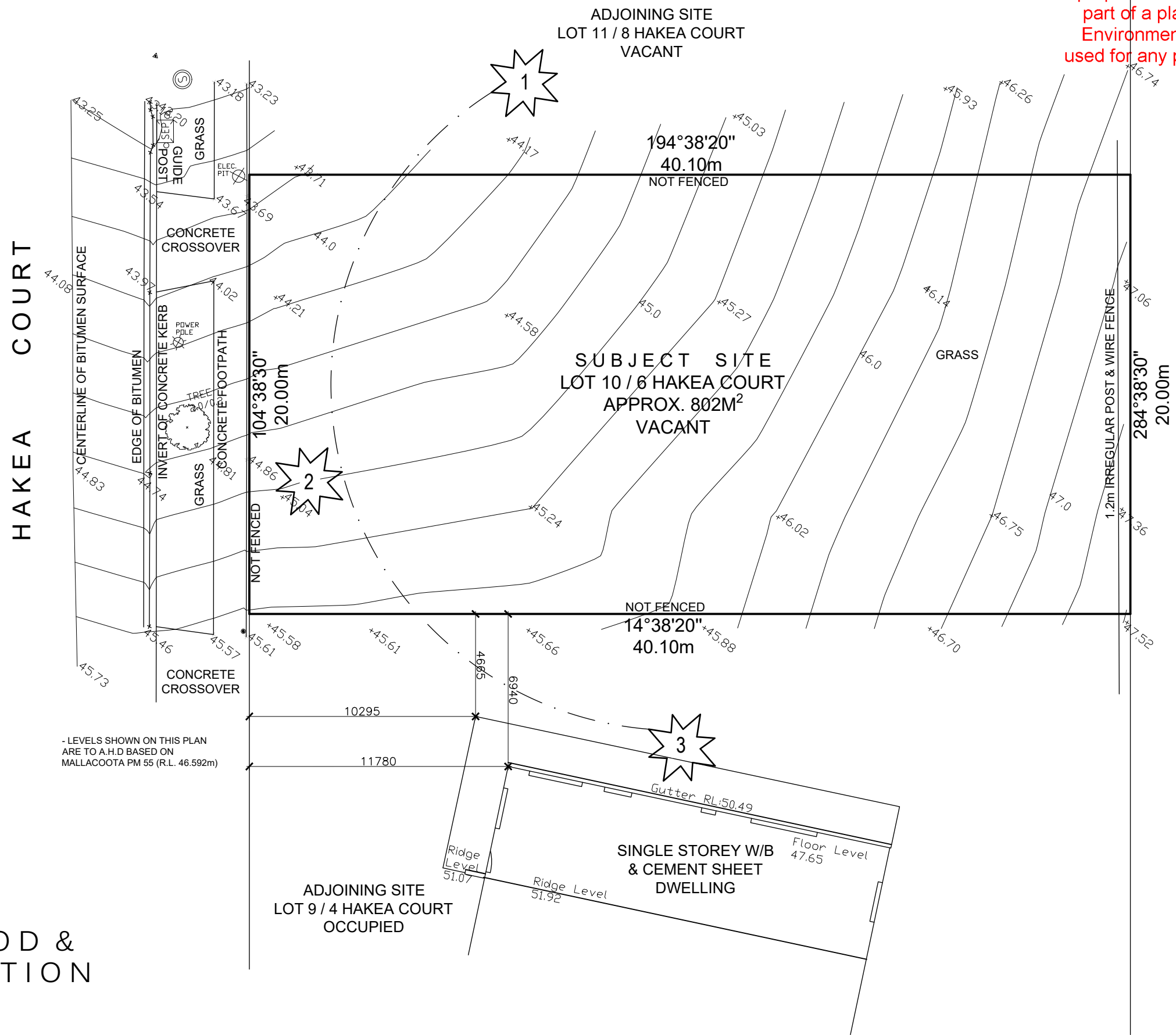
- TP01 - Neighborhood and Site Description
- TP02 - Proposed Site/Roof Plan (Outer)  
Defendable Space - 25m
- TP03 - Proposed Site/Roof Plan
- TP04 - Design Response / Garage Ground Floor Plan
- TP05 - Design Response / First Floor Plan

- TP06 - Proposed Garage Ground Floor Plan
- TP07 - Proposed First Floor Plan
- TP08 - Proposed Elevations
- TP09 - Proposed Elevations
- TP10 - Proposed Site / Shadow Diagram 9am, 12pm & 3pm
- TP11 - Bal 29 Notes

REVISIONS			
REV.	DESCRIPTION	BY	DATE

Ver.02 Town Planning		<b>GENERAL NOTES -</b> Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.  Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification.  These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.		JOB NO. - 0999 ADDRESS - 6 Hakea Court, Mallacoota VIC PROJECT - Proposed Dwelling	DRAWN BY - LD FOR - Sean Caracella DRAWING - Contents Sheet	SCALE - SHEET SIZE - A3	DRAWING NO. - DESIGNER - LMD Design & Drafting Pty Ltd BUILDER - TBC	DATE - 19/09/2024	 A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 Tel: 03-9465 1600 E: luke@lmdesign.com.au
<b>DOCUMENTATION ISSUE</b> <input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION) <input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION) <input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION) <input type="checkbox"/> CONSTRUCTION									

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NOTE:  
DIMENSIONS FROM BUILDING STRUCTURE TO PERIMETER OF SITE & BUILDING STRUCTURE TO ADJACENT BUILDINGS APPROXIMATE

NEIGHBORHOOD & SITE DESCRIPTION  
- SCALE 1:200

1. Sun Risers.
2. Path of Sun's Travel- East to West.
3. Sun Sets.

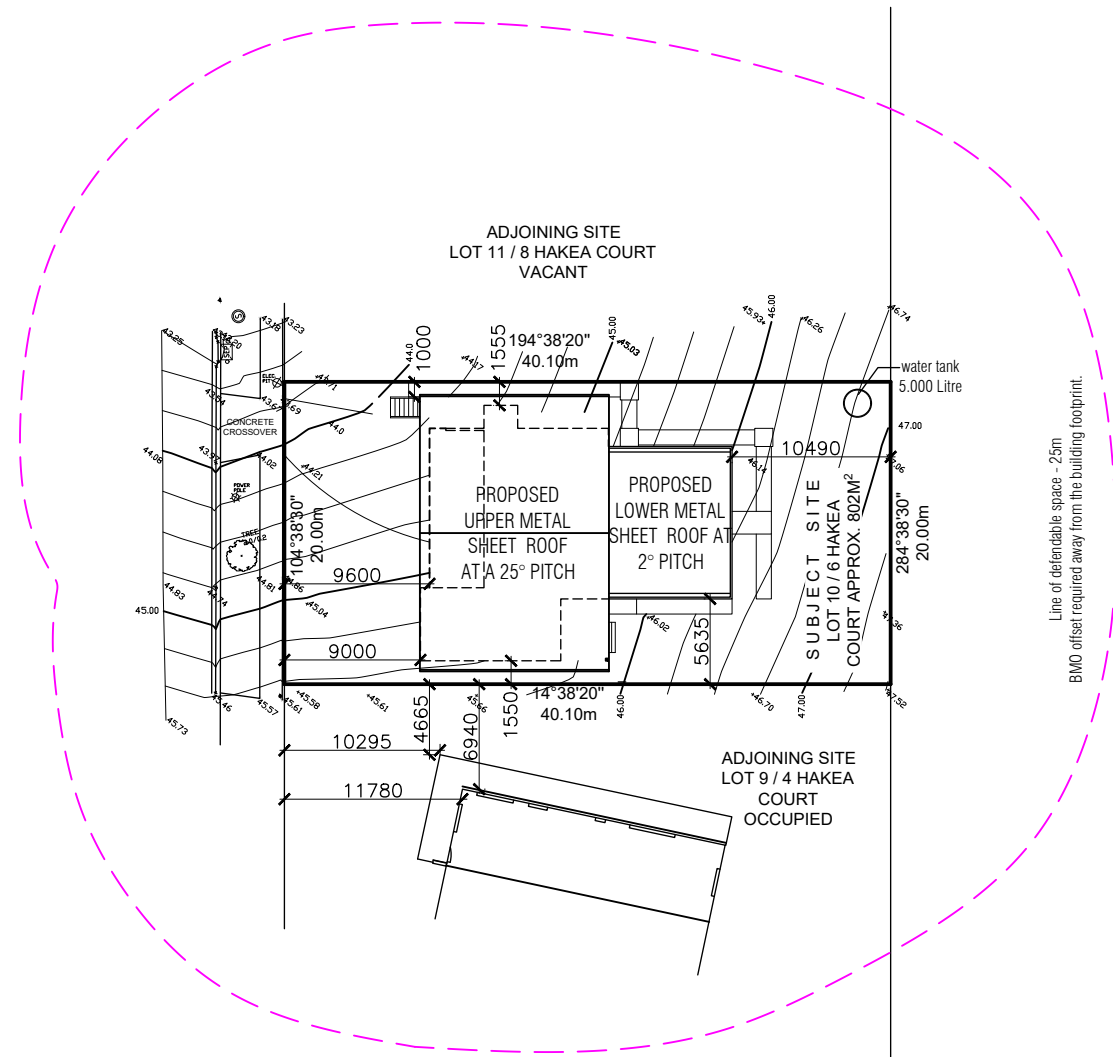
REVISIONS			
REV.	DESCRIPTION	BY	DATE

Ver.02 Town Planning  <b>DOCUMENTATION ISSUE</b> <input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION) <input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION) <input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION) <input type="checkbox"/> CONSTRUCTION	<b>GENERAL NOTES -</b> Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.  Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification.  These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.	JOB NO. - 0999 DRAWN BY - LD	SCALE - 1:200 SHEET SIZE - A3	DRAWING NO. - TP01 DATE - 19/09/2024	NORTH  	 A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 T: +61 3 9461 6167 E: luke@lmdesign.com.au
		ADDRESS - 6 Hakea Court, MALLACOOTA VIC PROJECT - Proposed Dwelling	FOR - Sean Caracella DRAWING - Neighborhood and Site Description	DESIGNER - LMD Design & Drafting Pty Ltd BUILDER - TBC		

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NOTE: DIMENSIONS FROM BUILDING STRUCTURE TO PERIMETER OF SITES & BUILDING STRUCTURE TO ADJACENT BUILDINGS APPROXIMATE



PROPOSED SITE/ROOF PLAN (OUTER)  
DEFENDABLE SPACE - 25M  
- SCALE 1:500

REVISIONS			
REV.	DESCRIPTION	BY	DATE

Ver.02 Town Planning  <b>DOCUMENTATION ISSUE</b> <input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION) <input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION) <input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION) <input type="checkbox"/> CONSTRUCTION	<b>GENERAL NOTES -</b> Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.  Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification.  These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.	JOB NO. - 0999 DRAWN BY - LD	SCALE - 1:500 SHEET SIZE - A3	DRAWING NO. - TP02 DATE - 19/09/2024	NORTH  	 A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 T: 03 9465 1667 E: Luke@lmdesign.com.au
		ADDRESS - 6 Hakea Court, Mallacoota VIC PROJECT - Proposed Dwelling	FOR - Sean Caracella DRAWING - Proposed Site/Roof Plan (Outer) Defendable Space - 25m	DESIGNER - LMD Design & Drafting Pty Ltd BUILDER - TBC		

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Proposed Dwelling  
 2000 litre rain water tank.  
 1.7m(L) x 0.7m(W) x 1.86m(H)  
 rainwater tank to be connected  
 to all sanitary - flushing systems

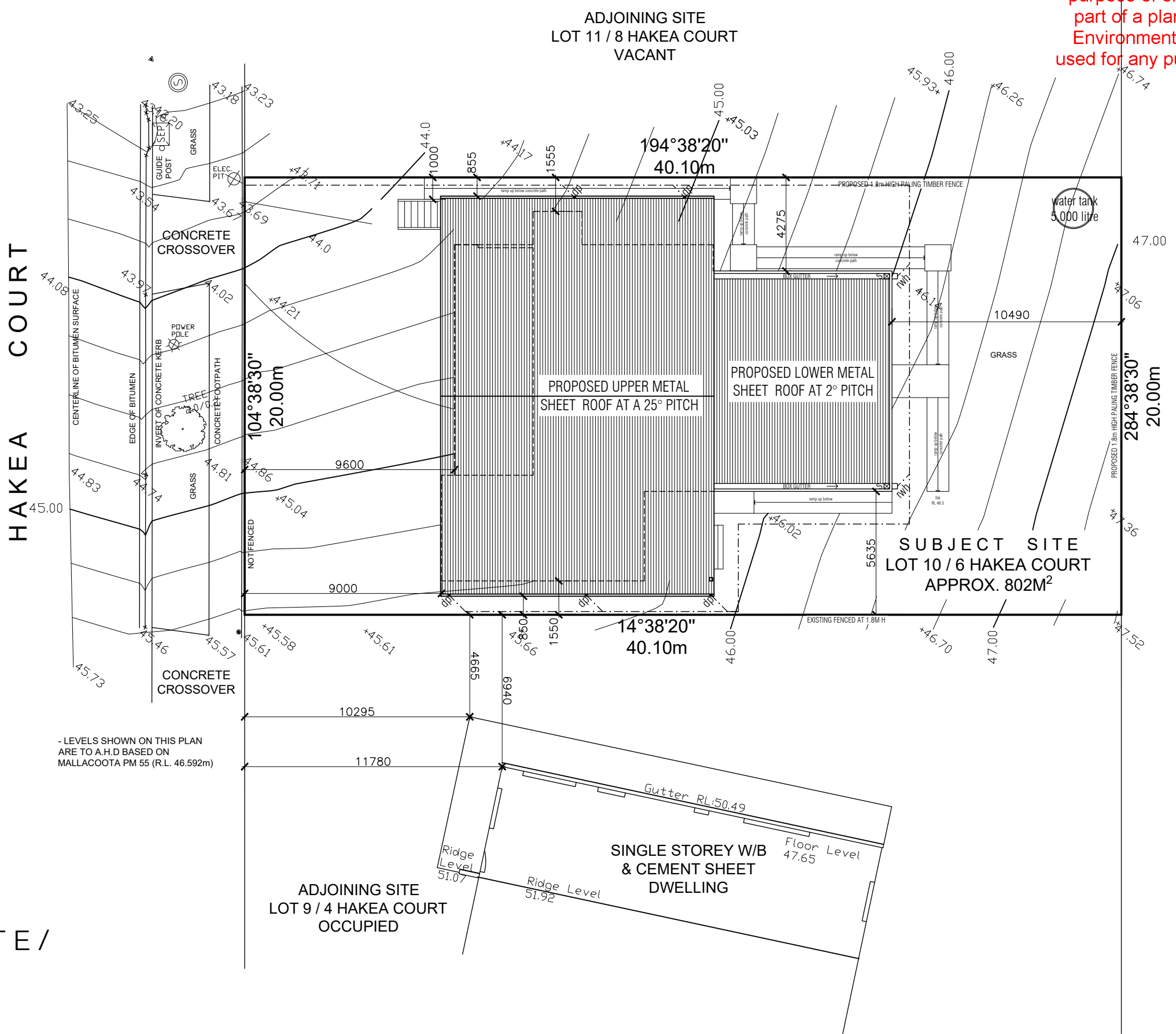
area analysis:

Dwelling:  
 site area: 802m<sup>2</sup> (approx.)  
 site coverage: 281.35m<sup>2</sup> 35.08%  
 garden area: 432.80m<sup>2</sup> 53.96%  
 permeability: 441.40m<sup>2</sup> 55.03%

---

secluded p.o.s : 338.25m<sup>2</sup>  
 p.o.s : 195.05m<sup>2</sup>  
 total p.o.s : 533.3m<sup>2</sup>

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NOTE:  
 DIMENSIONS FROM BUILDING STRUCTURE TO PERIMETER OF SITE & BUILDING STRUCTURE TO ADJACENT BUILDINGS APPROXIMATE

**ROOF NOTES:**

PROPOSED STORMWATER DRAINAGE LAYOUT AS SHOWN, WITH MIN. 100MM DIA. PVC PIPES SET MIN. 200MM BELOW SURFACE LEVEL, AT MIN. FALL TO BE CONNECTED TO EXISTING STORMWATER PIPE LAYOUT. TO BE DISBURSED TO THE LEGAL POINT OF DISCHARGE AS PER AS 3500.3.1-2018  
 -BUILDER/DRAINAGE CONTRACTOR TO CONFIRM SIZE, TYPE, OFFSETS & DEPTHS OF EXISTING STORMWATER PIPES PRIOR TO CONSTRUCTION.

ALL ROOF STRUCTURE/S AS PER ENGINEERS DESIGN & MANUFACTURE DETAILS.

WATER TO BE CARRIED THROUGH DPs INTO DRAINAGE SYSTEM, AND DISBURSED TO LEGAL POINT OF DISCHARGE (Typ).

SELECTED FLASHING & RIDGE CAPPING FOR WATERPROOFING REQUIREMENTS TO ALL FIXING/CONNECTION POINTS (Typ.)

PROPOSED UPPER METAL SHEET ROOF TO DWELLING (COLORBOND OR EQUALLY APPROVED) AT 25° PITCH, WITH A METAL FASCIA & METAL GUTTER.

PROPOSED LOWER METAL SHEET ROOFS TO DWELLING (KLIP-LOK OR EQUALLY) TO PORTION OF GARAGE AT A 2° FALL, WITH A PROPOSED MIN. 250MM WIDE X 100MM DEEP ZINCALUME BOX GUTTER, WITH SUMPS INSTALLED. ALL TO BE AS PER A.S. 3500.3-2018.

PROPOSED METAL SHEET ROOFS (KLIP-LOK OR EQUALLY) TO PORTION OF GARAGE AT A 2° FALL, WITH A PROPOSED MIN. 250MM WIDE X 100MM DEEP ZINCALUME BOX GUTTER, WITH SUMPS INSTALLED. ALL TO BE AS PER A.S. 3500.3-2018.

SELECTED RAINWATER TANK TO PROPOSED DWELLING AND TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS AND SPECIFICATIONS. TANK TO BE CONNECTED TO ALL SANITARY FLUSHING SYSTEMS. TANK TO BE FITTED WITH OVERFLOW SYSTEM CONNECTED TO STORMWATER SYSTEM AND TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE LOCAL AND GOVERNING AUTHORITIES. WATER TANK TO BE 2000 LT MIN.  
 -LOCATION TO BE CONFIRMED ON SITE.

PROPOSED SITE/  
 ROOF PLAN  
 - SCALE 1:200

REVISIONS			
REV.	DESCRIPTION	BY	DATE

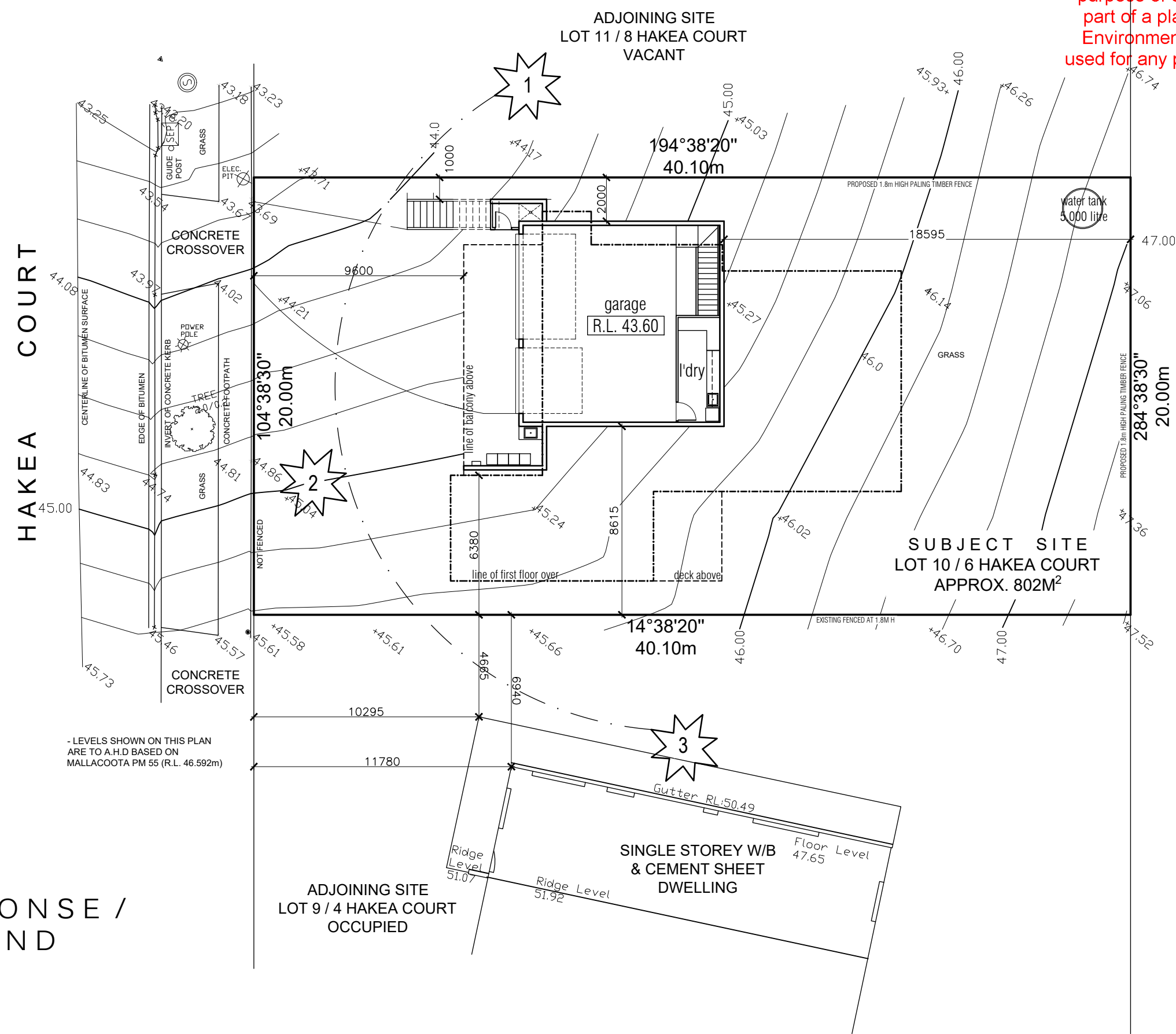
Ver.02 Town Planning  <b>DOCUMENTATION ISSUE</b> <input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION) <input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION) <input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION) <input type="checkbox"/> CONSTRUCTION	<b>GENERAL NOTES -</b> Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.  Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification.  These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.	JOB NO. - 0999 DRAWN BY - LD	SCALE - 1:200 SHEET SIZE - A3	DRAWING NO. - TP03 DATE - 19/09/2024	NORTH 	
		ADDRESS - 6 Hakea Court, Mallacoota VIC	FOR - Sean Caracella	DESIGNER - LMD Design & Drafting Pty Ltd		
		PROJECT - Proposed Dwelling	DRAWING - Proposed Site/Roof Plan	BUILDER - TBC		

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Proposed Dwelling  
2000 litre rain water tank.  
1.7m(L) x 0.7m(W) x 1.86m(H)  
rainwater tank to be connected  
to all sanitary - flushing systems

area analysis:  
  
Dwelling:  
site area: 802m2 (approx.)  
site coverage: 281.35m2 35.08%  
garden area: 432.80m2 53.96%  
permeability: 441.40m2 55.03%  
  
secluded p.o.s : 338.25m2  
p.o.s : 195.05m2  
total p.o.s : 533.3m2



DESIGN RESPONSE /  
GARAGE GROUND  
FLOOR PLAN  
- SCALE 1:200

- 1. Sun Risers.
- 2. Path of Suns Travel- East to West.
- 3. Sun Sets.

REVISIONS			
REV.	DESCRIPTION	BY	DATE

Ver.02 Town Planning  <b>DOCUMENTATION ISSUE</b> <input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION) <input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION) <input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION) <input type="checkbox"/> CONSTRUCTION	GENERAL NOTES - Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.  Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification.  These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.	JOB NO. - 0999 DRAWN BY - LD ADDRESS - 6 Hakea Court, Mallacoota VIC PROJECT - Proposed Dwelling	SCALE - 1:200 SHEET SIZE - A3 FOR - Sean Caracella DRAWING - Design Response / Garage Ground Floor Plan	DRAWING NO. - TP04 DATE - 19/09/2024 DESIGNER - LMD Design & Drafting Pty Ltd BUILDER - TBC	NORTH 	 A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 T: 03 4651 1800 E: luke@lmdesign.com.au
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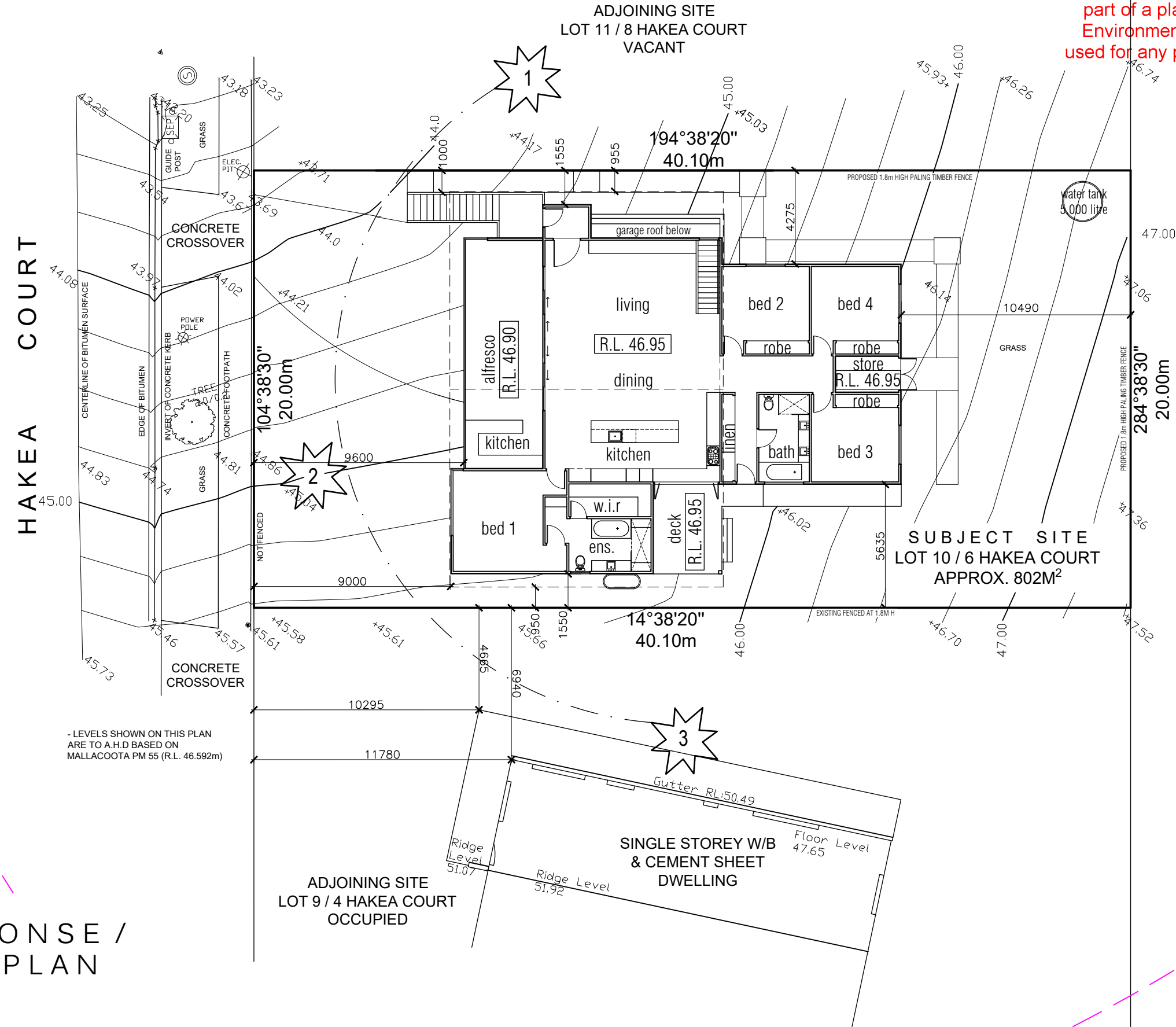
Proposed Dwelling  
2000 litre rain water tank.  
1.7m(L) x 0.7m(W) x 1.86m(H)  
rainwater tank to be connected  
to all sanitary - flushing systems

area analysis:

Dwelling:  
site area: 802m2 (approx.)  
site coverage: 281.35m2 35.08%  
garden area: 432.80m2 53.96%  
permeability: 441.40m2 55.03%

---

secluded p.o.s : 338.25m2  
p.o.s : 195.05m2  
total p.o.s : 533.3m2



NOTE:  
DIMENSIONS FROM BUILDING STRUCTURE TO PERIMETER OF SITES & BUILDING STRUCTURE TO ADJACENT BUILDINGS APPROXIMATE.

DESIGN RESPONSE / FIRST FLOOR PLAN  
- SCALE 1:200

1. Sun Risers.
2. Path of Suns Travel- East to West.
3. Sun Sets.

REVISIONS			
REV.	DESCRIPTION	BY	DATE

Ver.02 Town Planning  <b>DOCUMENTATION ISSUE</b> <input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION) <input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION) <input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION) <input type="checkbox"/> CONSTRUCTION	<b>GENERAL NOTES -</b> Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.  Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification.  These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.	JOB NO. - 0999 DRAWN BY - LD	SCALE - 1:200 SHEET SIZE - A3	DRAWING NO. - TP05 DATE - 19/09/2024	NORTH  	 A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 T: 03 9469 1617 E: luke@lmdesign.com.au
		ADDRESS - 6 Hakea Court, Mallacoota VIC PROJECT - Proposed Dwelling	FOR - Sean Caracella DRAWING - Design Response / First Floor Plan	DESIGNER - LMD Design & Drafting Pty Ltd BUILDER - TBC		

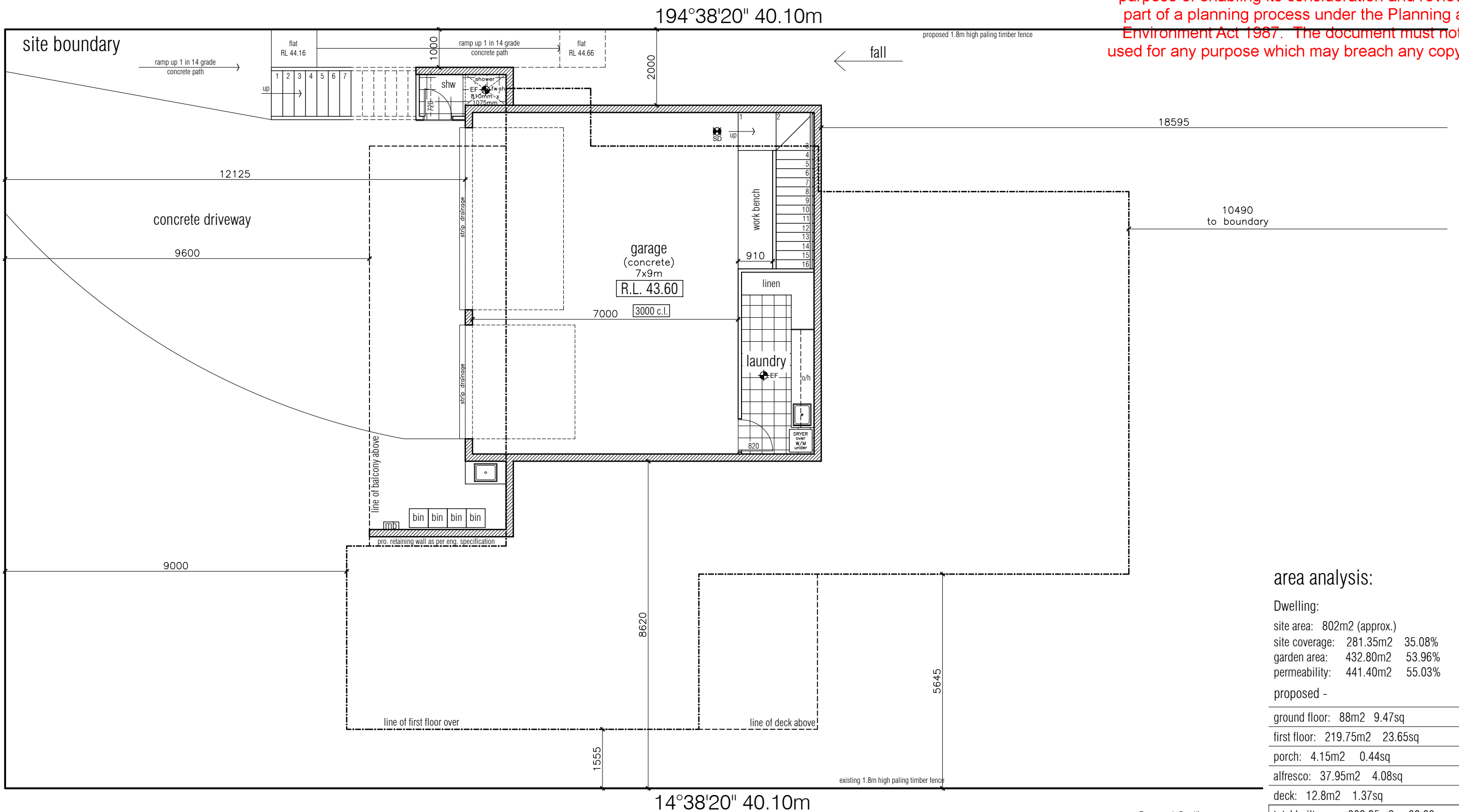
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HAKEA COURT

104°38'30" 20.00m



**PROPOSED GARAGE GROUND FLOOR PLAN**  
- SCALE 1:100

**area analysis:**

Dwelling:  
 site area: 802m<sup>2</sup> (approx.)  
 site coverage: 281.35m<sup>2</sup> 35.08%  
 garden area: 432.80m<sup>2</sup> 53.96%  
 permeability: 441.40m<sup>2</sup> 55.03%

proposed -

ground floor:	88m <sup>2</sup>	9.47sq
first floor:	219.75m <sup>2</sup>	23.65sq
porch:	4.15m <sup>2</sup>	0.44sq
alfresco:	37.95m <sup>2</sup>	4.08sq
deck:	12.8m <sup>2</sup>	1.37sq
<b>total built area:</b>	<b>362.65m<sup>2</sup></b>	<b>39.03sq</b>
secluded p.o.s:	338.25m <sup>2</sup>	
p.o.s:	195.05m <sup>2</sup>	
<b>total p.o.s:</b>	<b>533.3m<sup>2</sup></b>	

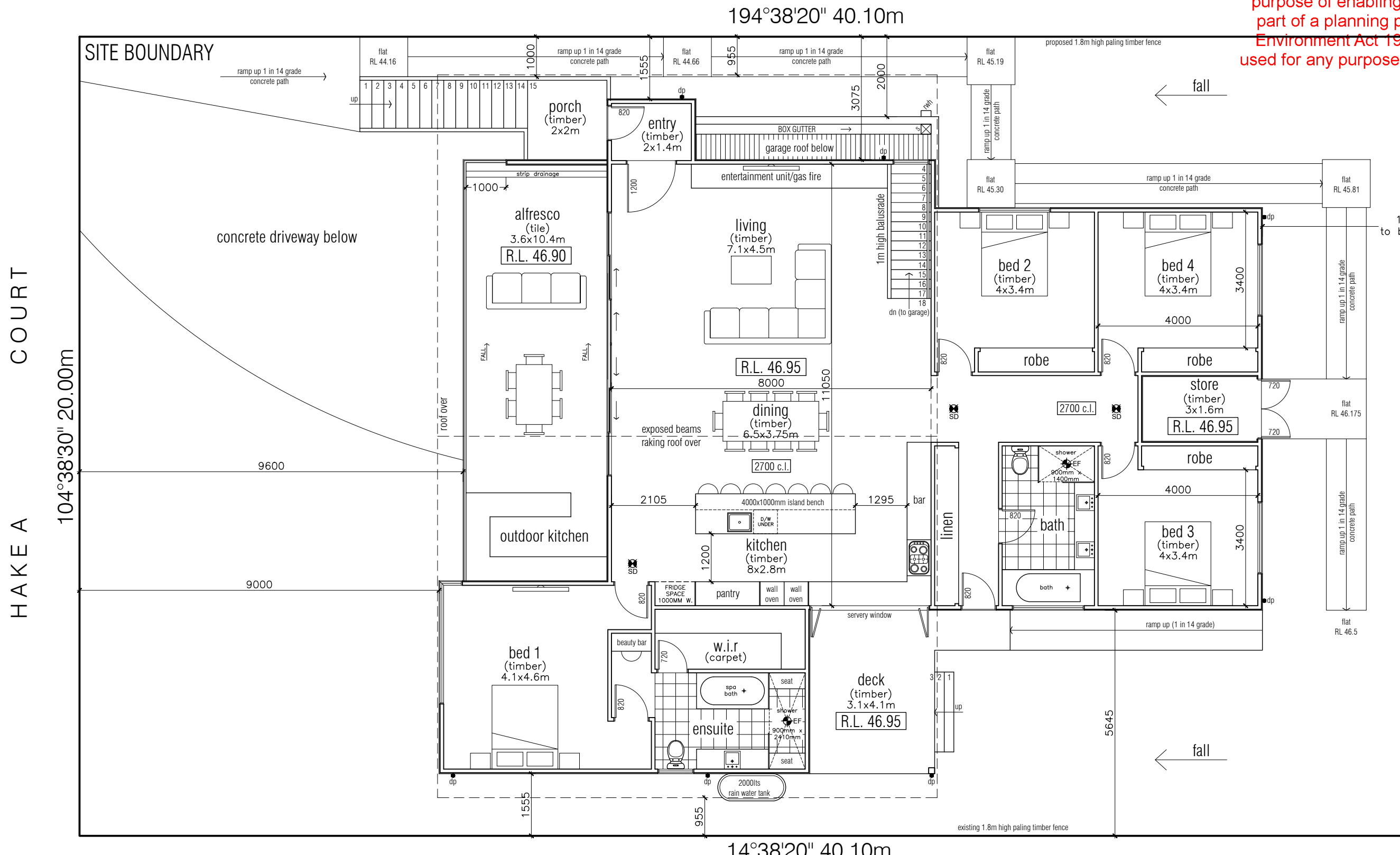
**LEGEND -**  
 proposed (block work) wall  
 proposed (cladding) wall  
 proposed (framing) wall

Proposed Dwelling  
 2000 litre rain water tank.  
 1.7m(L) x 0.7m(W) x 1.86m(H)  
 rainwater tank to be connected  
 to all sanitary - flushing systems

REVISIONS			
REV.	DESCRIPTION	BY	DATE

Ver.02 Town Planning  <b>DOCUMENTATION ISSUE</b> <input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION) <input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION) <input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION) <input type="checkbox"/> CONSTRUCTION	<b>GENERAL NOTES -</b> Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.  Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification.  These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.	JOB NO. - 0999 DRAWN BY - LD	SCALE - 1:100 SHEET SIZE - A3	DRAWING NO. - TP06 DATE - 19/09/2024	NORTH 	 A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 T: +61 3 9465 1800 E: luke@lmdesign.com.au
		ADDRESS - 6 Hakea Court, Mallacoota VIC	FOR - Sean Caracella	DESIGNER - LMD Design & Drafting Pty Ltd		
		PROJECT - Proposed Dwelling	DRAWING - Proposed Garage Ground Floor Plan	BUILDER - TBC		

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**area analysis:**

Dwelling:	site area: 802m2 (approx.)
	site coverage: 281.35m2 35.08%
	garden area: 432.80m2 53.96%
	permeability: 441.40m2 55.03%
proposed -	
ground floor:	88m2 9.47sq
first floor:	219.75m2 23.65sq
porch:	4.15m2 0.44sq
alfresco:	37.95m2 4.08sq
deck:	12.8m2 1.37sq
total built area:	362.65m2 39.03sq
secluded p.o.s:	338.25m2
p.o.s:	195.05m2
total p.o.s:	533.3m2

14°38'20" 40.10m

## PROPOSED FIRST FLOOR PLAN

- SCALE 1:100

- LEGEND -**
- proposed (block work) wall
  - proposed (cladding) wall
  - proposed (framing) wall

REVISIONS			
REV.	DESCRIPTION	BY	DATE

<p>Ver.02 Town Planning</p> <p><b>DOCUMENTATION ISSUE</b></p> <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION)</li> <li><input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION)</li> <li><input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION)</li> <li><input type="checkbox"/> CONSTRUCTION</li> </ul>	<p><b>GENERAL NOTES -</b></p> <p>Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.</p> <p>Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design &amp; drafting for clarification.</p> <p>These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.</p>	<p>JOB NO. - 0999</p> <p>ADDRESS - 6 Hakea Court, Mallacoota VIC</p> <p>PROJECT - Proposed Dwelling</p>	<p>DRAWN BY - LD</p>	<p>SCALE - 1:100</p> <p>SHEET SIZE - A3</p>	<p>DRAWING NO. - TP07</p> <p>DATE - 19/09/2024</p>	<p>DESIGNER - LMD Design &amp; Drafting Pty Ltd</p> <p>BUILDER - TBC</p>	<p>NORTH</p>	<p>▲: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 Tel: 03 9465 1467 E: Luke@lmdesign.com.au</p>
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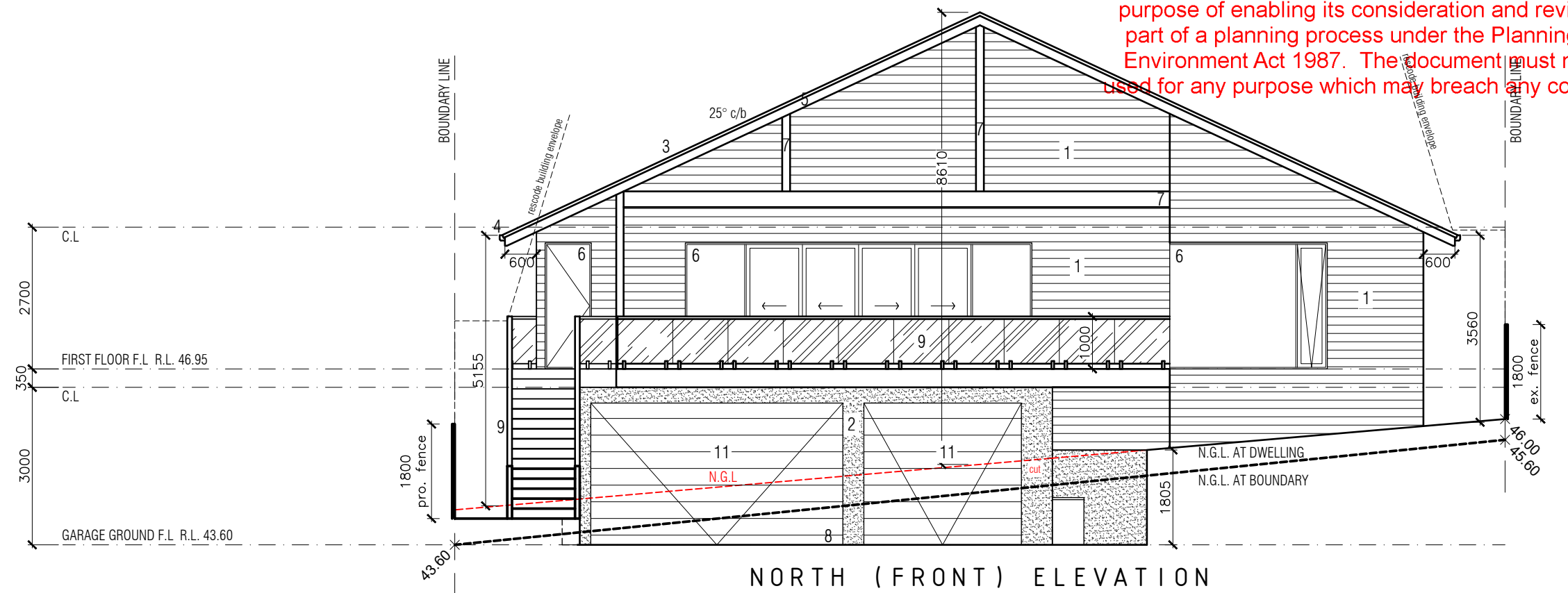
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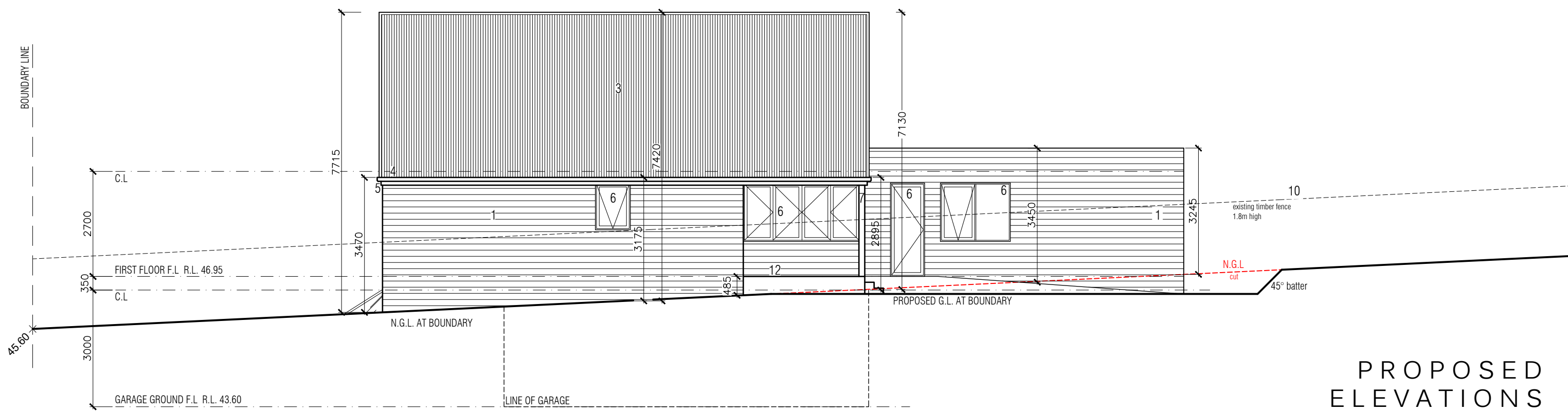
Proposed schedule of materials and finishes -

(all must be a non-reflective type, muted tones)

1. walls - james hardie 'linea' cladding - painted 'shaley grey finish'
2. walls - block work - painted 'shaley grey finish'
3. roof - colorbond - 'bluegum finish'
4. gutter, downpipes - colorbond - 'bluegum finish'
5. fascia - colorbond - 'white finish'
6. windows & doors - aluminium frame - painted 'white finish'
7. posts - timber - painted 'shaley grey finish'
8. driveway, carport, porch & pergola surfaces - natural concrete finish - grey
9. balustrade - glass
10. fencing - timber - light natural finish
11. garage door - white finish
12. decking - composite slats - timber grain



NORTH (FRONT) ELEVATION



WEST (SIDE) ELEVATION

PROPOSED ELEVATIONS - SCALE 1:100

REVISIONS			
REV.	DESCRIPTION	BY	DATE

Ver.02 Town Planning
<b>DOCUMENTATION ISSUE</b>
<input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION)
<input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION)
<input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION)
<input type="checkbox"/> CONSTRUCTION

**GENERAL NOTES -**

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JOB NO. - 0999	DRAWN BY - LD	SCALE - 1:100	SHEET SIZE - A3	DRAWING NO. - TP08	DATE - 19/09/2024
ADDRESS - 6 Hakea Court, Mallacoota VIC		FOR - Sean Caracella		DESIGNER - LMD Design & Drafting Pty Ltd	
PROJECT - Proposed Dwelling		DRAWING - Proposed Elevations		BUILDER - TBC	



A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084  
 Tel: 03 4651 1800  
 E: luke@lmdesign.com.au

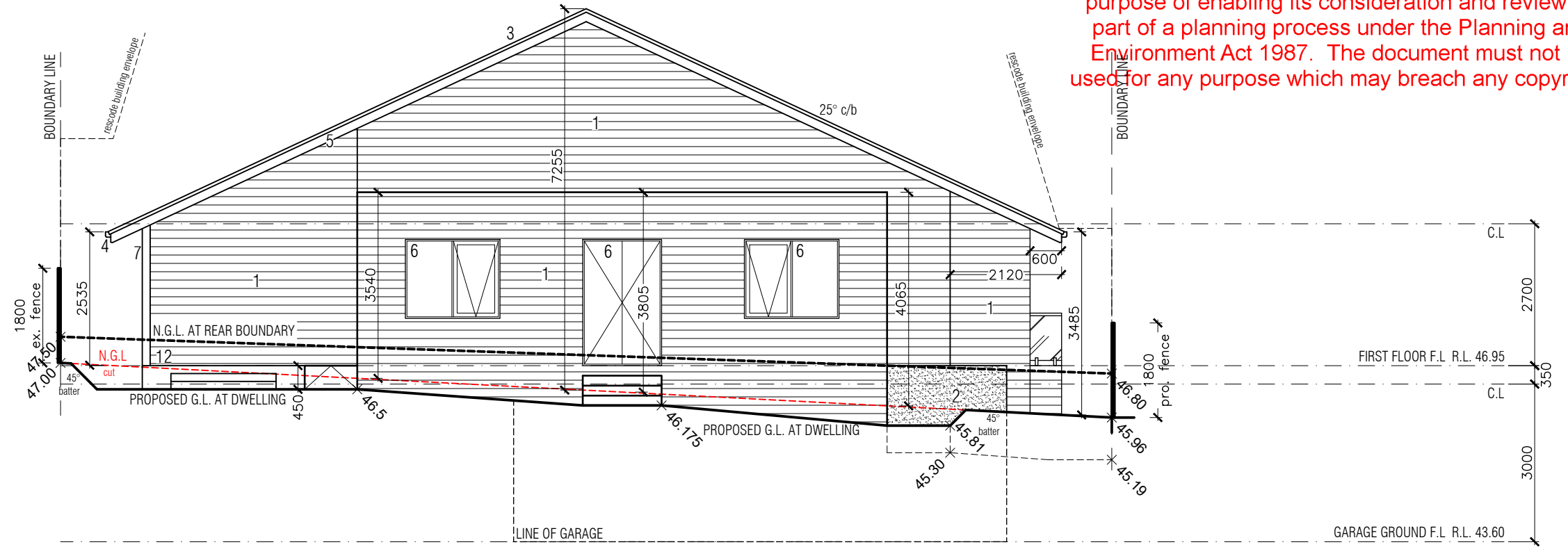


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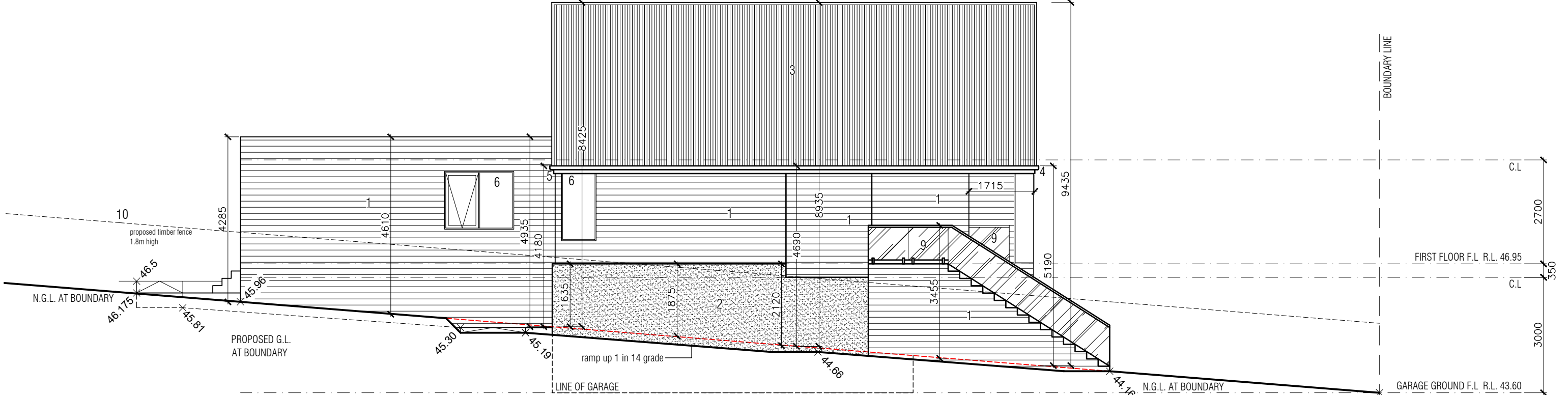
Proposed schedule of materials and finishes -

(all must be a non-reflective type, muted tones)

1. walls - james hardie 'linea' cladding - painted 'shaley grey finish'
2. walls - block work - painted 'shaley grey finish'
3. roof - colorbond - 'bluegum finish'
4. gutter, downpipes - colorbond - 'bluegum finish'
5. fascia - colorbond - 'white finish'
6. windows & doors - aluminium frame - painted 'white finish'
7. posts - timber - painted 'shaley grey finish'
8. driveway, carport, porch & pergola surfaces - natural concrete finish - grey
9. balustrade - glass
10. fencing - timber - light natural finish
11. garage door - white finish
12. decking - composite slats - timber grain



SOUTH (REAR) ELEVATION



EAST (SIDE) ELEVATION

PROPOSED ELEVATIONS - SCALE 1:100

REVISIONS			
REV.	DESCRIPTION	BY	DATE

Ver.02 Town Planning	<b>GENERAL NOTES -</b> Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.  Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification.  These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.	JOB NO. - 0999	DRAWN BY - LD	SCALE - 1:100	SHEET SIZE - A3	DRAWING NO. - TP09	DATE - 19/09/2024
<b>DOCUMENTATION ISSUE</b> <input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION) <input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION) <input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION) <input type="checkbox"/> CONSTRUCTION		ADDRESS - 6 Hakea Court, Mallacoota VIC  PROJECT - Proposed Dwelling	FOR - Sean Caracella  DRAWING - Proposed Elevations	DESIGNER - LMD Design & Drafting Pty Ltd  BUILDER - TBC			



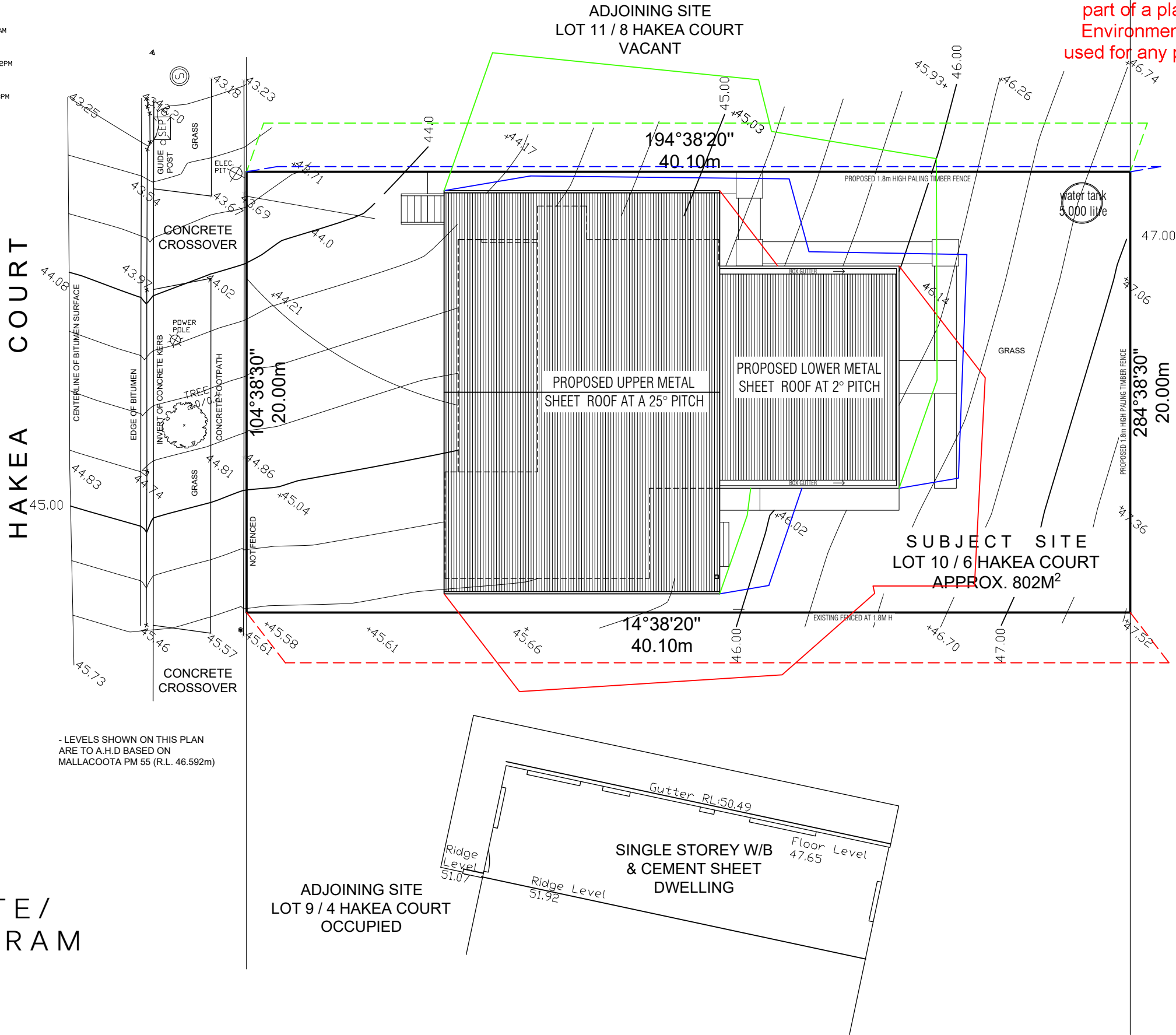
A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084  
 Tel: 03 9465 1800  
 E: luke@lmdesign.com.au

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**SHADOW LEGEND:**  
22 SEPTEMBER (EQUINOX)

- PROPOSED DWELLINGS AT 9AM
- PROPOSED DWELLINGS AT 12PM
- PROPOSED DWELLINGS AT 3PM
- EXISTING FENCE AT 9AM
- PROPOSED FENCE AT 12PM
- PROPOSED FENCE AT 3PM



**PROPOSED SITE/  
SHADOW DIAGRAM  
9 AM, 12 PM & 3 PM  
- SCALE 1:200**

REVISIONS			
REV.	DESCRIPTION	BY	DATE

Ver.02 Town Planning	<p><b>GENERAL NOTES -</b></p> <p>Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.</p> <p>Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design &amp; drafting for clarification.</p> <p>These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.</p>	<p><b>JOB NO. -</b> 0999</p> <p><b>DRAWN BY -</b> LD</p> <p><b>ADDRESS -</b> 6 Hakea Court, Mallacoota VIC</p> <p><b>PROJECT -</b> Proposed Dwelling</p>	<p><b>SCALE -</b> 1:200</p> <p><b>SHEET SIZE -</b> A3</p> <p><b>FOR -</b> Sean Caracella</p> <p><b>DRAWING -</b> Proposed Site/Shadow Diagram 9am, 12pm &amp; 3pm</p>	<p><b>DRAWING NO. -</b> TP10</p> <p><b>DESIGNER -</b> LMD Design &amp; Drafting Pty Ltd</p> <p><b>BUILDER -</b> TBC</p>	<p><b>DATE -</b> 19/09/2024</p>	<p>NORTH</p>	<p>▲: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 Tel: 03-6561-6567 E: Luke@lmdesign.com.au</p>
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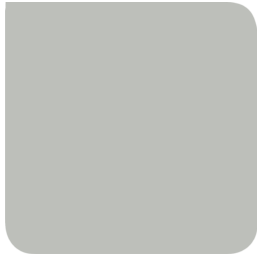


1. walls - james hardie 'linea' cladding - painted 'shaley grey finish'



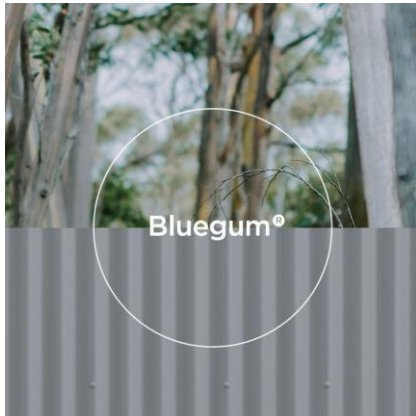
Shale Grey™

2. walls - block work - painted 'shaley grey finish'

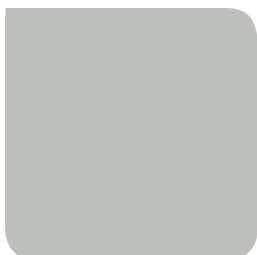


Shale Grey™

3. roof - colorbond - 'bluegum finish'



4. gutter, downpipes - colorbond - 'bluegum finish'



Shale Grey™

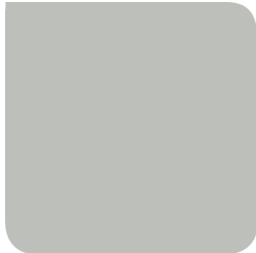
- 5. fascia - colorbond - 'white finish'



- 6. windows & doors - aluminium frame - painted 'white finish'

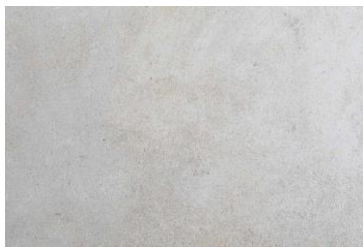


- 7. posts - timber - painted 'shaley grey finish'



Shale Grey™

- 8. driveway, carport, porch & pergola surfaces - natural concrete finish grey



- 9. balustrade – glass



10. fencing - timber - light natural finish



11. garage door - white finish



12. decking – composite slats – timber grain

