

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	47B Mceacharn Street EAST BAIRNSDALE 3875 Lot: 2 PS: 840676
The application is for a permit to:	Use, Buildings and Works for two dwellings on a lot
The applicant for the permit is:	Damian Anderson Drafting & Design
The application reference number is:	5.2024.34.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ♦ **be made to the Responsible Authority in writing,**
- ♦ **include the reasons for the objection, and**
- ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
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If you object, the Responsible Authority will tell you its decision.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 3

VOLUME 12333 FOLIO 620

Security no : 124112481183X

Produced 08/02/2024 08:14 AM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 840676D.
PARENT TITLE Volume 02897 Folio 353
Created by instrument PS840676D 29/09/2021

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
BLITZKRIEG PTY LTD
AV483397R 31/03/2022

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS840676D FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 47B MCEACHARN STREET EAST BAIRNSDALE VIC 3875

ADMINISTRATIVE NOTICES

NIL

DOCUMENT END

Imaged Document Cover Sheet

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PLAN OF SUBDIVISION

EDITION 1

PS 840676D

LOCATION OF LAND

PARISH: WY-YUNG
TOWNSHIP: LUCKNOW
SECTION: _____
CROWN ALLOTMENT: _____
CROWN PORTION: CROWN PRE-EMPTIVE SECTION A (PART)
TITLE REFERENCE: VOL 2897 FOL 353
LAST PLAN REFERENCE: LOTS 1 & 2 - TP678996X
POSTAL ADDRESS: 47 McEACHARN STREET,
 (at time of subdivision) EAST BAIRNSDALE, 3875
MGA2020 CO-ORDINATES: E: 556 790 ZONE: 55
 (of approx centre of land in plan) N: 5813 030

Council Name: East Gippsland Shire Council
 Council Reference Number: PS840676D
 Planning Permit Reference: 226/2020/P
 SPEAR Reference Number: S165209J

Certification

This plan is certified under section 6 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made

Digitally signed by: Robert Pringle for East Gippsland Shire Council on 21/12/2020

Statement of Compliance issued: 01/09/2021

VESTING OF ROADS AND/OR RESERVES

IDENTIFIER	COUNCIL/BODY/PERSON
NIL	NIL

NOTATIONS

NOTATIONS

DEPTH LIMITATION DOES NOT APPLY

SURVEY:

This plan is based on survey.

STAGING:

This is not a staged subdivision.
 Planning Permit No. 226/2020/P

This survey has been connected to permanent marks No(s). 52, 53, 54, 59 & 74

In Proclaimed Survey Area No. NIL

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of

Crowthen & Sadler Pty. Ltd.

LICENSED SURVEYORS & TOWN PLANNERS
 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875
 P. (03) 6162 6011 E. contact@rowthensadler.com.au

SURVEYORS FILE REF: 18895

Digitally signed by: Michael J Sadler, Licensed Surveyor,
 Surveyor's Plan Version (1),
 08/10/2020, SPEAR Ref: S165209J

ORIGINAL SHEET
 SIZE: A3

SHEET 1 OF 2 SHEETS

PLAN REGISTERED

TIME: 4:28 PM DATE: 29/9/21

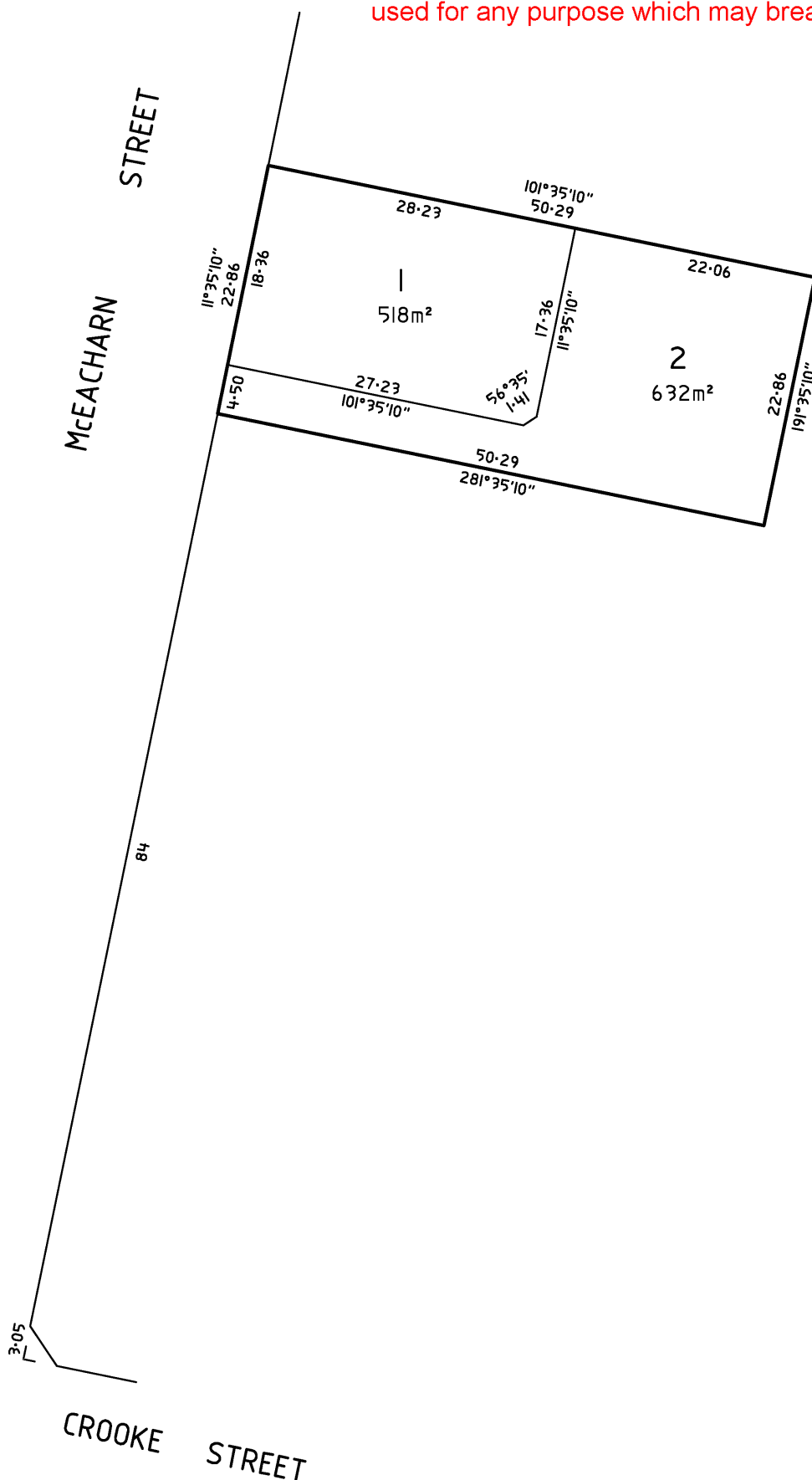
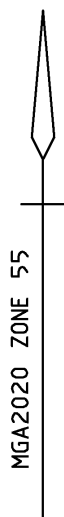
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PS 840676D



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162 MACLEOD STREET, BAIRNSDALE, VIC., 3875
P. (03) 6162 6011 E. contact@crowthersadler.com.au

SURVEYORS REF
18895

SCALE
1:400

4 0 4 8 12 16

ORIGINAL SHEET
SIZE: A3

SHEET 2

Digitally signed by: Michael J Sadler, Licensed Surveyor,
Surveyor's Plan Version (1),
08/10/2020, SPEAR Ref: S165209J

Digitally signed by:
East Gippsland Shire Council,
21/12/2020,
SPEAR Ref: S165209J

Printed 4/03/2024
Page 5 of 34

Damian Anderson
Architectural Drafting & Design
Mobile: 0457 835 812
DP-AD 38411
Email: damian.anderson@hotmail.com



Planning Permit Application

For
The Construction of Two Dwellings on a lot

At:
No.47B McEacharn Street,
East Bairnsdale 3875

Prepared by:
Damian Anderson

January 30, 2024

Planning Department
East Gippsland Shire Council
P.O.Box 1618
Bairnsdale
Victoria 3875

Dear Sir/Madam,
Re: Planning Permit Application.
For: Two Dwellings on a lot.
At: 47B McEacharn Street, East Bairnsdale 3875
Responsible Authority: East Gippsland Shire Council

Please find Attached to this application a copy of plans annotated with materials & finishes, planning application, clause 55 rescode assessment, overshadowing diagrams, legal point of discharge, storm rating report, drainage layout, Landscape design, current copy of title, Subdivision Plan and fee of \$1661.60 (to develop land if the cost of the development is greater than \$100,000 and not more than \$1,000,000).

1.0 INTRODUCTION

2.0 DEVELOPMENT SUMMARY

3.0 THE SUBJECT SITE

4.0 SITE CONTEXT

5.0 THE PROPOSAL

6.0 PLANNING CONTROLS ASSESSMENT

6.1 ZONING AND OVERLAYS

6.2 STATE PLANNING POLICY FRAMEWORK

6.3 EAST GIPPSLAND HOUSING AND SETTLEMENT STRATEGY

6.4 RESCODE ASSESSMENT (Clause 55)

7.0 CONCLUSION

1.0 INTRODUCTION

This development summary and planning controls assessment has been prepared for the proposed construction of two single storey dwellings at 47B McEacharn Street, East Bairnsdale. This document is intended to be read in conjunction with the Neighborhood and Site Description, Design Response, and other accompanying documents. This development has been assessed against the requirements of the East Gippsland Planning Scheme, including the State Planning Policy Framework, Municipal Strategic Statement, Local Policies and Rescode (Clause 55).

2.0 DEVELOPMENT SUMMARY

TOTAL SITE AREA: 632 sqm
 Number of Dwellings: 2
 Number of On-Site Car Spaces: 2
 Proposed dwelling 1: 102.18 sqm
 Proposed dwelling 2: 102.18 sqm
 Total concrete driveway: 227.19 sq
 Total Building Site Coverage: 204.36 sqm 32.33%
 Total non permeable surfaces: 388.55 sqm 61.47%
 Total permeable surfaces: 243.45 sqm 38.52%
 Total Garden Area 200.45 sqm 31.72%

3.0 THE SUBJECT SITE

The subject site is located at 47B McEacharn Street, which is more particularly described as Lot 2 on Plan of Sub-Division 840676D and located on the east side of the street, between Mary Street and Crooke Street in East Bairnsdale. The lot is irregular in shape with a 4.5-metre-wide driveway, leading to the main part of the lot, which is about 500 m² in area. The site has an existing concrete crossover to the street, which is constructed with kerb and channel and a bituminous surface. Utility services, being sewer, water and electricity are available at the front near the start of the new drive way. The building site slopes just slightly to the southeast, and is clear apart from one established shrub along the rear boundary. The lots to the west and north each contain an established residence, while the houses within the lots to the east are well clear of the rear property boundary. The lot is well fenced along each of the property boundaries.

4.0 SITE CONTEXT

10 Lucknow Street is situated in the residential area of East Bairnsdale, the Mitchel River borders the west, the East Gippsland Rail Trail to the north, the Silt Jetties & Gippsland Lakes to the South & local farming to the east. The subject site is located within proximity (400m) to Howitt Park which includes sporting ovals, pushbike track, boat ramp & the East Gippsland Rail Trail. There is a preschool located in East Bairnsdale itself; with both Bairnsdale & Lucknow primary schools located just over 2 kilometers from the subject site. Bairnsdale Secondary College & Federation Training TAFE College just over 4km & 1km from the subject site respectively. The main street of Bairnsdale is the main retail shopping district & consists of supermarkets, restaurants, café's & the multitude of shops in general are approx 1.5km from the subject site; these areas form much of the site's local neighborhood centers. The surrounding area is well serviced by public transport and arterial roads, and the

site is within 2.5km from a train station & bus stop, the train service links Sale, Traralgon on to Melbourne & the bus service to Lakes Entrance & Orbost on to Sydney & Canberra. The character of the neighborhood is predominantly of original 1960s & 70s era dwellings, with some newer infill development. Buildings are mostly single storey with a scattering of two storey throughout. Although mostly brick veneer, there is also a mixture of weatherboard, light weight cladding and rendered brickwork, generally hipped roofs of tiles or iron at varying pitches are used; however, there are also examples of flat and parapet roofing. Front fencing varies from none to approx. 1.5 meters in height. Front setbacks vary from 9m or more, to 4.5m & in some instances less (Eastcoast Court). Side setbacks are varied though generally either 1m or approx. 3m, to allow for vehicle access, with walls on boundaries being common in newer developments. The dwellings are a mix of double and single storey, with newer developments (e.g. No.11 & 12 Patricia Street, No. 24 & 34 McRae Street & No. 25 Robb Street) having three or more dwellings to a lot. East Bairnsdale in general is an older residential area which consists of some newer infill developments; there are multi-unit developments within close proximity to the subject site as indicated below.

MAP OF SUBJECT SITE AND SURROUNDING AREA



- ☆ - Denotes multi-unit developments within the immediate area
- ★ - Denotes Subject Site

Existing streetscape examples of multi-unit development:



No. 24 Robb Street:
Older single storey brick
veneer development with 4
units.



No. 12 Patricia Street:
Newer double storey5 unit
development, consisting of
lightweight cladding.



No. 24 McRae Street:
Older single storey brick
veneer development with
3units.



No. 26 McRae Street:
Newer double storey3 unit
development, consisting of
lightweight cladding.



No. 11 Patricia Street:
Older single storey brick
veneer development with 3
units.



No. 34 McRae Street:
Older single storey brick
veneer development with
3units.

5.0 THE PROPOSAL

The proposal is for the construction of two, two-bedroom single storey dwellings in duplex type arrangement in the one structure, separated by a firewall. The structure itself has been designed to fit in with the existing neighborhood character of single storey, lightweight construction and hipped Colorbond roof forms. Dutch gables, south facing gable ends & stepped south wall will provide articulation to the building that will reduce visual bulk when viewed from any angle. The proposed residences will be positioned towards the north of the lot with a setback of 3 meters from the North boundary which will allow for the required private open space, while; being positioned 1.55 meters from each side boundary that will allow for daylight to habitable room windows, and 9.2 meters from the south boundary where the shared driveway & vehicular access to the garages is located. This development and landscaping is intended to provide safe, small dwellings with an ambient atmosphere and solar passive living arrangement that is comfortable all year round. The size of the units will add to what is on offer in the rental segment in the area and help provide accommodation for a broader demographic of tenants.

6.0 PLANNING CONTROLS ASSESSMENT

Planning Scheme: East Gippsland Peninsula Shire Council

Responsible Authority: East Gippsland Shire Council

6.1 ZONING AND OVERLAYS

ZONING

32.08 GENERAL RESIDENTIAL ZONE (GRZ)

32.08 Objectives:

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies
 - To encourage development that respects the neighborhood character of the area
 - To implement neighborhood character policy and adopted neighborhood character guidelines
 - To provide a diversity of housing types and moderate housing growth in locations offering good access to services and transport
 - To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations
- Comments The proposed use, construction of three dwellings on a lot, requires a planning permit in the General Residential Zone — Schedule 1 (32.08-6)

Comments:

The proposed development of two small dwellings is well suited to make good use of the land at 47B McEacharn Street, which is a 632 sqm allotment of which approximately 500 sqm is useable area for a dwelling. The subject site sits within an existing well developed & serviced residential area of East Bairnsdale, which is connected to a reticulated sewerage system, electricity and water supply. More details on how this proposal meets the objectives in this zoning are discussed at 4.0 Site Context.

OVERLAYS

43.01 HERITAGE OVERLAY SCHEDULE 97 (HO97)

43.01 Purpose

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To conserve and enhance heritage places of natural or cultural significance.
- To conserve and enhance those elements which contribute to the significance of heritage places.
- To ensure that development does not adversely affect the significance of heritage places.
- To conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.

Comments:

The subject site has a HO97 applicable to the land because it was not removed from the property since sub-division. The dwelling located to the front (west) of the subject site at 47A McEacharn Street is heritage listed. The proposal will not have a detrimental impact on the adjoining dwellings as it is low set utilizing neutral colors that will not be visually intrusive.

6.2 STATE PLANNING POLICY FRAMEWORK

16 HOUSING

16.01-1 Objectives:

- To locate new housing in or close to activity centers and employment corridors and at other strategic redevelopment sites, that offer good access to services and transport
- To provide for a range of household types, to meet increasingly diverse needs
- To deliver more affordable housing closer to jobs, transport and services

Comments:

The proposed development meets the Housing Objectives by:

- Increasing the proportion of housing within the City of Bairnsdale to be developed within the established residential area of East Gippsland, particularly in activity centers & employment corridors and other strategic sites.
- Encouraging higher density housing development on sites that are well located in relation to activity centers, employment corridors and public transport.
- Ensuring an adequate supply of redevelopment opportunities within the established residential area, to reduce the pressure for fringe development.
- Respecting the neighborhood character.
- Improving housing choice.
- Making better use of infrastructure.
- Improves energy efficiency of housing (both proposed dwellings will achieve 7 star energy rating) , providing opportunities for a wide range of income groups to choose housing in well-serviced locations.
- Supporting a growth area which provides for a mix of housing types and higher housing densities in and around activity centers.

6.3 EAST GIPPSLAND HOUSING AND SETTLEMENT STRATEGY

Comments:

The proposed development sits within varied housing development types — single dwelling to a lot, 2-5 unit developments and apartment buildings, all well serviced by public transport and community facilities. The proposed development of two single storey semi detached dwellings, sits within this mix of housing opportunities and the proposed development caters for a range of family structures / lifestyle choice and affordable housing.

6.4 RESCODE ASSESSMENT (Clause 55 — Two or more Dwellings on a Lot)

55.02 NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE

55.02-1 Neighbourhood Character Objectives:

- To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.
- To ensure that development responds to the features of the site and the surrounding area.

Standard B1:

- The design response must be appropriate to the neighbourhood and site.
- The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.

Comments: Complies

This proposal satisfies the objectives of this clause through compliance with this and the following standards. The proposed development fits in with the existing neighbourhood character, as well as the objectives for the preferred neighbourhood character.

55.02-2 Residential Policy Objectives:

- To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and the local planning policies.
- To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.

Standard B2:

An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies

Comments: Complies

The proposed development meets the Residential Policy Objectives by:

- Increasing the proportion of housing within the City of Bairnsdale to be developed within the established residential area of East Gippsland, particularly in activity centers & employment corridors and other strategic sites.
- Encouraging higher density housing development on sites that are well located in relation to activity centers, employment corridors and public transport.

- Ensuring an adequate supply of redevelopment opportunities within the established residential area, to reduce the pressure for fringe development.
- Respecting the neighborhood character.
- Improving housing choice.
- Making better use of infrastructure.
- Improves energy efficiency of housing (both proposed dwellings will achieve 7 star energy rating), providing opportunities for a wide range of income groups to choose housing in well-serviced locations.
- Supporting a growth area which provides for a mix of housing types and higher housing densities in and around activity centers.

55.02-3 Dwelling Diversity Objective:

To encourage a range of dwelling sizes and types in developments of ten or more dwellings.

Standard B3: Not Applicable

- Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:
- Dwellings with a different number of bedrooms.
- At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.

Comments: Not Applicable

This standard is not applicable as the proposal has less than 10 dwellings.

55.02-3 Infrastructure Objectives:

- To ensure development is provided with appropriate utility services and infrastructure
- To ensure development does not unreasonably overload the capacity of utility services and infrastructure.

Standard B4:

- Developments should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available.
- Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.
- In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on service or infrastructure; Not Applicable.

Comments: Complies

The development is provided with appropriate utility services and infrastructure to support the proposed development of two dwellings. The proposal makes use of the existing reticulated electricity, water, sewerage and storm water services available to the site and is accessed directly from McEacharn Street, which is a sealed dual lane carriageway; via the existing concrete crossover.

55.02-4 Integration With the Street Objective:

To integrate the layout of development with the street.

Standard B5:

- Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.

- Development should be oriented to front existing and proposed streets.
- High fencing in front dwellings should be avoided if practicable.
- Development next to existing public open space should be laid out to complement the open space; Not Applicable.

Comments: Complies

The subject site is a battle axe shaped property with the proposed building located to the rear of the land, and as a result is somewhat restrictive to orient the building to face the street & still allow for vehicle access. However, the entry to the property will be softened with a garden bed along the north side of the driveway and a painted concrete driveway with grassed centre strip. There is no front fence or gate proposed, which will allow for landscaping and solar lighting to soften and enhance the built form.

55.03 SITE LAYOUT AND BUILDING MASSING

55.03-1 Street Setback Objective:

To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.

Standard B6:

- Walls of buildings should be set back from streets at least the distance specified in the schedule to the zone, or if no distance is specified in the schedule to the zone, the distance specified in Table B1.

Comments: Complies

The subject site is a battle axe shaped property with the building located to north at the rear of the property.

55.03-2 Building Height Objectives:

- To ensure that the height of buildings respects the existing or preferred neighbourhood character.

Standard B7:

- The maximum building height should not exceed the maximum height specified in the schedule to the zone: 11 meters is specified.
- Changes of building height between existing buildings and new buildings should be graduated.

Comments: Complies

The proposed development meets the standard with a building height of 5.1 meters from natural ground level, the overall height is in keeping with the adjoining buildings which are all single storey. This development will minimise the visual bulk & differences in building heights in the immediate vicinity.

55.03-3 Site Coverage Objective:

- To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.

Standard B8:

The site area covered by buildings should not exceed:

- The maximum site coverage specified in the schedule to the zone, or, if no maximum site coverage is specified in the schedule to the zone, 60%.

Comments: Complies

- The total building site coverage for the site is 204.36 sqm or 32.33%, which sits well under the allowable maximum of 60%.

55.03-4 Permeability Objectives:

- To reduce the impact of increased stormwater run-off on the drainage system.
- To facilitate on-site stormwater infiltration

Standard B9:

- At least 20 per cent of the site should not be covered by impervious surfaces.

Comments: Complies

The total site permeability is 243.45 sqm or 38.52%,

55.03-5 Energy Efficiency Objectives:

- To achieve and protect energy efficient dwellings and residential buildings.
- To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.

Standard B10:

Building should be:

- Oriented to make appropriate use of solar energy.
- Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.
- Living areas and private open space should be located on the north side of the development if practicable.
- Developments should be designed so that solar access to north-facing windows is maximised.

Comments: Complies

Both dwellings have excellent north solar access to private open space and living areas. Due to orientation & location the proposed dwellings are designed with solar passive principles in mind and both achieve the 7 star energy compliance that is due to be implemented as of May 1st this year. The proposed development will have no impact to the energy efficiency of adjoining dwellings.

55.03-6 Open Space Objective:

- To integrate the layout of development with any public and communal open space provided in or adjacent to the development.

Standard B11: Not Applicable

If any public or communal open space is provided on site, it should:

- Be substantially fronted by dwellings, where appropriate.
- Provide outlook for as many dwellings as practicable.
- Be designed to protect any natural features on the site.
- Be accessible and useable.

Comments:

The standard is not applicable as there is no public or communal open space provided on site.

55.03-7 Safety Objective:

- To ensure the layout of development provides for the safety and security of residents and property.

Standard B12:

- Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal access ways.
- Planting which creates unsafe spaces along streets and access ways should be avoided
- Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal access ways.
- Private spaces within developments should be protected from inappropriate use as public thoroughfares.

Comments: Complies

Through compliance with the above standard, the development will create a safe and secure environment for the residents and property. The access points for the proposed dwellings are easily identifiable from the common driveway, both with entry porches located next to the garages. Landscape lighting along the shared driveway & sensor lighting to entryways will provide added safety features for residents.

55.03-8 Landscaping Objectives:

- To encourage development that respects the landscape character of the neighbourhood.
- To encourage development that maintains and enhances habitat for plants and animals in location of habitat importance.
- To provide appropriate landscaping.
- To encourage the retention of mature vegetation on the site.

Standard B13:

The landscape layout and design should:

- Protect any predominant landscape features of the neighbourhood.
- Take into account the soil type and drainage patterns of the site.
- Allow for intended vegetation growth and structural protection of buildings.
- In locations of habitat importance, maintain existing habitat, and provide for new habitat for plants and animals.
- Provide a safe, attractive and functional environment for residents.
- Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.
- Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.
- The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.

Comments: Complies

The subject site is currently a vacant allotment with no existing vegetation. The landscape plan attached to this application utilises various native plant species to provide a safe,

attractive & functional design that enhances neighbourhood character while taking into account the soil type & drainage of the site. The select vegetation in the rain garden that runs alongside the painted concrete driveway with grassed centre strip will have sufficient solar lighting for added security & night time ambience.

55.03-9 Access Objectives:

- To ensure vehicle access to and from a development is safe, manageable, and convenient.
- To ensure the number and design of vehicle crossovers respects the neighbourhood character.

Standard B14:

Access ways should:

- Be designed to allow convenient, safe and efficient vehicle movements and connections within the development and to the street network.
- Be designed to ensure vehicles can exit a development in a forwards direction if the access way serves five or more car spaces, three or more dwellings, or connects to a road in a Road Zone.
- Be at least 3 metres wide.
- Have an internal radius of at least 4 metres at changes of direction.
- Provide a passing area at the entrance that is at least 5 metres wide and 7 metres long if the access way serves ten or more spaces and connects to a road in a Road Zone, the width of access ways or car spaces should not exceed:
 - 33 per cent of the street frontage, or
 - If the width of the street frontage is less than 20metres, 40 per cent of the street frontage.
- No more than one single-width crossover should be provided for each dwelling fronting a street.
- The location of crossovers should maximise the retention of on-street car parking spaces.
- The number of access points to a Road Zone should be minimised.
- Developments must provide for access for service, emergency and delivery vehicles

Comments: Complies

The proposal satisfies the objectives of this clause through compliance with Standard B14. The site is accessed via an existing concrete crossover and proposed 3m wide driveway to access both dwellings. A sufficient area has been provided for a reversing bay, with internal radiuses having a minimum of 4 meters to allow vehicles to exit the property in a forward direction.

55.03-10 Parking Location Objectives:

- To provide convenient parking for resident and visitor vehicles.
- To avoid parking and traffic difficulties in the development and the neighbourhood.
- To protect residents from vehicular noise within developments.

Standard B15:

Car parking facilities should:

- Be reasonably close and convenient to dwellings and residential buildings.
- Be secure.
- Be designed to allow safe and efficient movements within the development
- Be well ventilated if enclosed.
- Large parking areas should be broken up with trees, buildings or different surface treatments.
- Shared access ways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms.
- This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the access way.

Comments: Complies

Car parking for each dwelling has convenient access directly into the garage from the driveway, with a pedestrian door entering the dwelling from the garage. As each dwelling has two bedrooms and only one car parking space is required for each dwelling. With resident's cars parked in the garage there is sufficient space for one visitor's car for each dwelling to be parked on the property and exit the site in a forward direction.

AMENITY IMPACTS**55.04-1 Side and Rear Setbacks Objective:**

- To ensure that the height and setback of buildings from a boundary respect the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

Standard B17:

A new building not on or within 200mm of a boundary should be set back from side or rear boundaries:

- At least the distance specified in the schedule to the zone, or:
- If no distance is specified in the schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.
- Sunblinds, verandas, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.
- Landings having an area of not more than 2 squares metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.

Comments: Complies

All side and rear setbacks are appropriate to the development, ensure appropriate separation between boundaries, are respectful of the adjoining properties and meet the objective and standard. At the closest point the wall height is 2.75 meters, 1.55 meters from the property boundary.

65.04-2 Walls on Boundaries Objective:

To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings

Standard B18:

A new wall constructed on or within 200mm of a side ~~or~~ rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of lot should not abut the boundary for a length of more than:

- 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or;
- Where there exists or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed wall or carports whichever is the greater.
- A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary (a building on a boundary includes a building set back up to 200 mm from a boundary).
- The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.

Comments: Complies

The proposal satisfies the objectives of this clause as all walls exceed 1 meter from the boundary.

55.04-3 Daylight to Existing Windows Objective:

To allow adequate daylight into existing habitable room windows

Standard B19:

- Buildings opposite an existing habitable room window should provide for a light court to the existing window, which has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.
- Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall, if the wall is within a 55-degree arc from the centre of the existing window.
- Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.

Comments: Complies

The proposal complies with the relevant objectives and standards of the clause as set out above. At the closest point kitchen window to each dwelling has 1.0 meter clear to sky.

55.04-4 North-facing windows objective:

- To allow adequate solar access to existing north-facing habitable room windows.

Standard B20:

- If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window.
- A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.

Comments: Complies

The proposal has no effect on north facing windows of existing adjoining dwellings and meets the above objective and standard.

55.04-5 Overshadowing open space objective:

- To ensure buildings do not significantly overshadow existing secluded private open space.

Standard B21:

- Were sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3pm on 22 September.
- If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.

Comments: Complies

Due to the proposal being a single storey structure it in no way overshadows adjoining private open space.

55.04-6 Overlooking objective:

- To limit views into existing secluded private open space and habitable room windows.

Standard B22:

- A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space of an existing dwelling, within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.
- A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:
- Offset a minimum of 1.5 metres from the edge of one window to the edge of the other.
- Have sill heights of at least 1.7 metres above floor level
- Have fixed, obscure glazing in any part of the window below 1.7 metres above floor level

- Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent
- Obscure glazing in any part of the window below 1.7 metres above floor level may be operable provided that there are no direct views as specified in this standard.
- Screens used to obscure a view should be:
- Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.
- Permanent, fixed and durable.
- Designed and coloured to blend in with the development.
- This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.

Comments: Complies

Due to the proposed building being single storey constructed on a concrete slab within a relatively flat site, this proposal does not look into adjoining private open space or habitable room windows.

55.04-7 Internal views objective:

- To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.

Standard B23:

- Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.

Comments: Complies

The proposed single storey building complies with this standard.

55.04-8 Noise impacts objectives:

- To contain noise sources in developments that may affect existing dwellings.
- To protect residents from external noise.

Standard B24:

- Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings.
- Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties.
- Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.

Comments: Complies

As the proposal is for residential dwellings within a residential area and has appropriate separation between the dwellings, there are no concerns with any form of noise impact.

55.05 ON-SITE AMENITY AND FACILITIES

55.05-1 Accessibility objective:

- To encourage the consideration of the needs of people with limited mobility in the design of developments.

Standard B25:

- The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.

Comments: Complies

The design of the proposed dwellings complies with the Australian Building Codes Board 'Liveable Housing Design Standard' that comes into effect on May 1st this year and although not replacing the AS.1428.1 it is considered to be of the most widespread benefit and use in the majority of circumstances for accessibility, entering, exiting and within the dwellings.

65.06-2 Dwelling entry objective:

- To provide each dwelling or residential building with its own sense of identity.

Standard B26:

- Entries to dwellings and residential buildings should:
- Be visible and easily identifiable from streets and other public areas.
- Provide shelter, a sense of personal address and a transitional space around the entry.

Comments: Complies

Both of the proposed dwelling entries points are easily identifiable using a gable roof feature to entry porch areas, with material / colour variation and readily identifiable from the common driveway.

55.05-3 Daylight to New Windows Objective:

- To allow adequate daylight into new habitable room windows.

Standard B27:

A window in a habitable room should be located to face:

- An outdoor space clear to the sky **or** a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or:
- A verandah provided it is open for at least one third of its perimeter, or:
- A carport provided it has two or more open sides and is open for at least on third of its perimeter.

Comments: Complies

The proposal satisfies the objectives of this clause through compliance with Standard B27.

55.05-4 Private Open Space Objective:

- To provide adequate private open space for the reasonable recreation and service needs of residents.

Standard B28:

- A dwelling or residential building should have private open space of an area and dimensions specified in the schedule to the zone.

If no area or dimensions are specified in the schedule to the zone, a dwelling or residential building should have private open space consisting of:

- An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or:
- A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or:
- A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.

Comments: Complies

Each dwelling has 40 square meters of private open space directly accessible from the living area, located at the rear of each dwelling.

55.05-5 Solar access to open space objective:

- To allow solar access into the secluded private open space of new dwellings and residential buildings

Standard B29:

- The private open space should be located on the north side of the dwelling or residential building, if appropriate.
- The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2+0.9h)$ metres, where 'h' is the height of the wall.

Comments: Complies

Both dwellings have north facing private open space with direct solar access.

55.05-6 Storage Objective:

- To provide adequate storage facilities for each dwelling.

Standard B30:

- Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.

Comments: Complies

A 6 cubic meter storage provision for each dwelling is located and accessed from within the back yard of each dwelling.

55.06 DETAILED DESIGN**55.06-1 Design Detail Objective:**

- To encourage design detail that respects the existing or preferred neighbourhood character.

Standard B31:

The design of buildings, including:

- Façade articulation and detailing.
- Window and door proportions.
- Roof form, and verandahs, eaves and parapets, Should respect the existing or preferred neighbourhood character.
- Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.

Comments: Complies

The design of the building respects the existing neighbourhood character in its materials, articulation, proportions and built form.

55.06-2 Front Fences Objectives:

- To encourage front fence design that respects the existing or preferred neighbourhood character.

Standard B32:

- The design of front fences should complement the design of the dwelling or residential building and any front fences on adjoining properties.
- A front fence within 3 metres of a street should not exceed:
- The maximum height specified in the schedule to the zone, or:
- If no maximum height is specified in the schedule to the zone, the maximum height specified in Table 63.

Comments: Complies

There is no front fence which allows the proposed landscaping to soften and enhance the streetscape.

65.06-2 Common Property Objectives:

- To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.
- To avoid future management difficulties in areas of common ownership.

Standard B33:

- Developments should clearly delineate public, communal and private areas.
- Common property, where provided, should be functional and capable of efficient management.

Comments: Complies

Common property is shared by both tenants and predominantly used for access to the dwellings. Low maintenance gardens will be managed by the property owner.

55.06-4 Site Services Objectives:

- To ensure that site services can be installed and easily maintained.
- To ensure that site facilities are accessible, adequate and attractive.

Standard B34:

- The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required and facilities for services to be installed and maintained efficiently and economically).
- Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.
- Bin and recycling enclosures should be located for convenient access by residents.
- Mailboxes should be provided and located for convenient access as required by Australia Post.

Comments: Complies

The proposal satisfies the objectives of this clause through compliance with Standard B34. Appropriate bin storage areas have been provided, meter boxes to be located at either side of each dwelling with a combined mail box located at the street frontage beside the driveway.

7.0 CONCLUSION

The proposed development is appropriate for the site and is consistent with the future planning of the area. In support of this statement, the following points are noted:

- The proposed development is consistent with the policy framework of the East Gippsland Shire Council Planning Scheme and the State and Local Planning Policy Planning Policy Frameworks.
- The proposed development is compliant with ResCode standards and objectives.
- The subject site is appropriately located within close proximity to essential services and forms of public transport, which is therefore appropriate for the proposed construction of two dwellings on a lot.
- This report demonstrates that the proposal provides a site responsive design that is sensitive to the amenity of adjoining properties and the character of the area.
- The proposed dwellings utilise varying materials, neutral colours, reasonable setbacks and articulation, to provide an appropriate streetscape response.
- The development has a compliant total site coverage of 32.33%.
- The proposed development meets the future demands of residents of the subject site.
- The proposed garden area requirements in the General Residential Zone meet the minimum requirement with 31.72%.

It is requested that East Gippsland Shire Council issue a planning permit to allow the development & construction of 2 new dwellings at No. 47B McEacharn Street, East Bairnsdale.

If any other details are required, please do not hesitate to contact or email me personally.

Kind Regards,

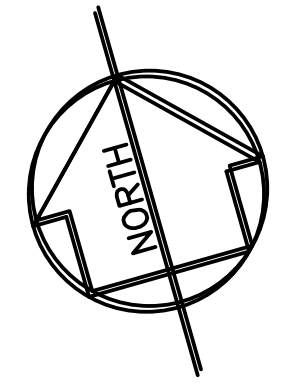
Damian Anderson



STORM Rating Report

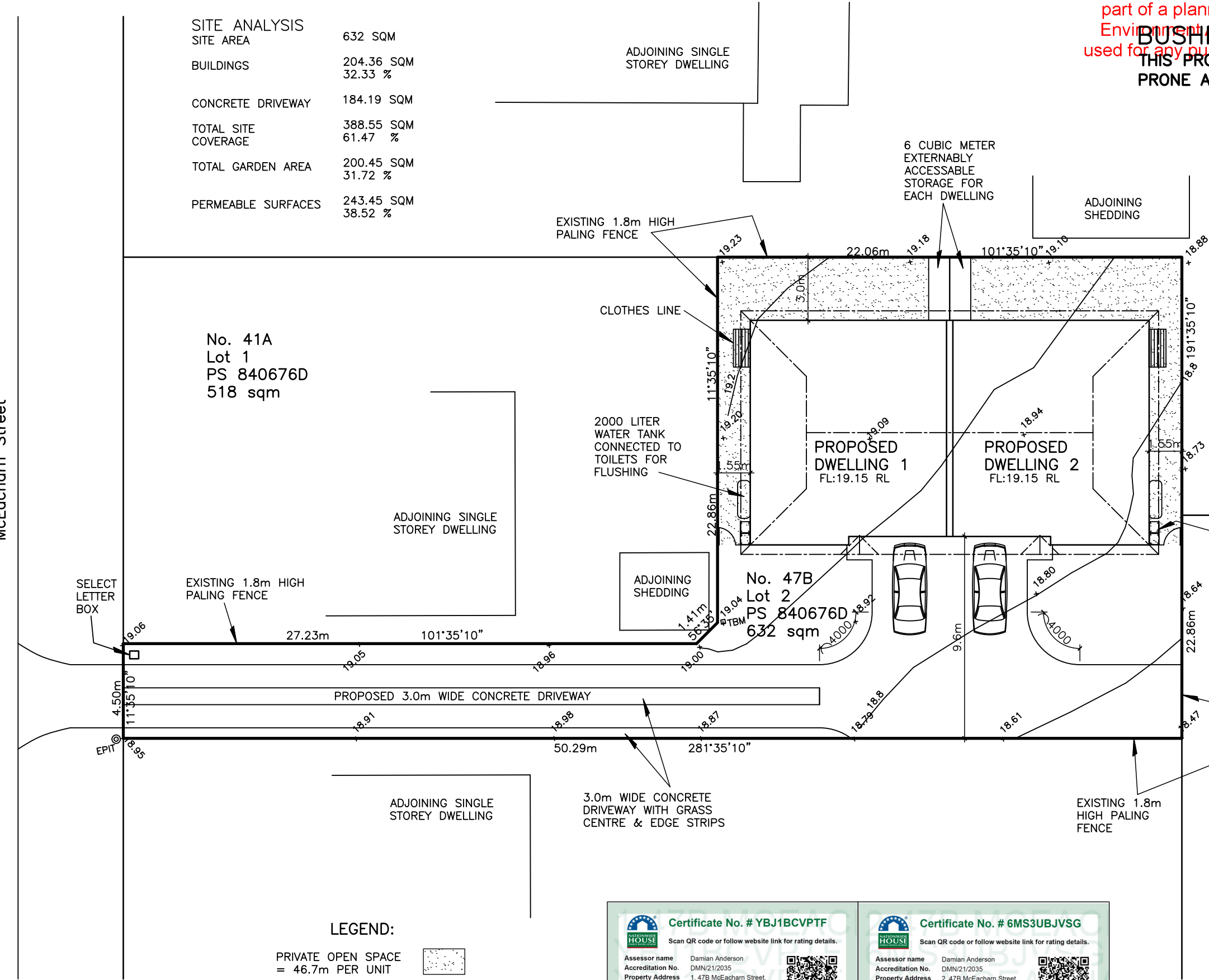
TransactionID: 0
Municipality: EAST GIPPSLAND
Rainfall Station: BAIRNSDALE
Address: 47B
McEacharn Street
East Bairnsdale
VIC 3875
Assessor: Damian Anderson
Development Type: Residential - Dwelling
Allotment Site (m2): 632.00
STORM Rating %: 113

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Dwelling 1	102.13	Rainwater Tank	2,000.00	2	95.00	97.00
Dwelling 2	102.13	Rainwater Tank	2,000.00	2	95.00	97.00
Concrete Driveway	184.19	Raingarden 100mm	14.00	0	133.35	0.00



SITE ANALYSIS	
SITE AREA	632 SQM
BUILDINGS	204.36 SQM 32.33 %
CONCRETE DRIVEWAY	184.19 SQM
TOTAL SITE COVERAGE	388.55 SQM 61.47 %
TOTAL GARDEN AREA	200.45 SQM 31.72 %
PERMEABLE SURFACES	243.45 SQM 38.52 %

McEacharn Street



- IMPORTANT NOTES:
- FOOTINGS – PRIOR TO LOCATION OF FOOTINGS, THE BUILDER SHALL CONFIRM LOCATIONS OF ALL UNDER GROUND SERVICES.
 - SEWER CONNECTION – ALLOW TO CONNECT ALL PLUMBING FIXTURES TO APPROVED DISCHARGE POINT IN ACCORDANCE WITH LOCAL AUTHORITIES.
 - STORM WATER CONNECTION – ALLOW TO CONNECT ALL DOWNPIPES TO LEGAL POINT OF DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITIES.

- GENERAL NOTES:
- CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY SITE WORKS OR THE PREPARATION OF ANY SHOP DRAWINGS
 - DO NOT SCALE DRAWINGS. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, ALL RELEVANT AUSTRALIAN STANDARD CODES & ALL LOCAL COUNCIL BY-LAWS.
 - TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE (AS 1684).
 - ALL ROOF & WALL BRACING TO BE PROVIDED IN ACCORDANCE WITH AS 1684.
 - ALL GLASS & GLAZING TO BE SELECTED, SUPPLIED & FITTED IN ACCORDANCE WITH AS 1288.
 - ALL BRICKWORK TO BE IN ACCORDANCE WITH AS 3700.
 - SMOKE DETECTORS TO BE PROVIDED IN ACCORDANCE WITH AS 3786. ALL NEW DETECTORS TO BE MAINS POWER SUPPLIED WITH BATTERY BACK UP. LOCATIONS AS DESIGNATED ON FLOOR PLANS.
 - ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH SPECIFICATIONS, CONSULTANTS COMPUTATIONS & DRAWINGS & ALL OTHER RELEVANT DOCUMENTATION AS APPLICABLE.
 - WINDOW SIZES SHOWN ARE NOMINAL & SHALL BE CONFIRMED PRIOR TO THE CONSTRUCTION OF OPENINGS. SIZES MAY VARY marginally DEPENDENT ON MANUFACTURER.
 - STAIRS/STEPS – RISER 190MM MAX. TREADS 240MM MIN.
 - LANDINGS SHALL BE PROVIDED TO DOORS WHERE STEP EXCEEDS 190MM OVER N.G.L. IF DOOR SWINGS OVER THE SAID STEP.
 - ALL WET AREAS ARE TO BE CONSTRUCTED AS REQUIRED AND WATERPROOFING PROVIDED AS SETOUT IN AUST. STANDARD AS 3740.
 - ALL SITE EXCAVATIONS TO BE IN ACCORDANCE WITH THE BCA 3.1.1.1

LEGEND:
PRIVATE OPEN SPACE
= 46.7m PER UNIT

Certificate No. # YBJ1BCVPTF
Scan QR code or follow website link for rating details.
Assessor name Damian Anderson
Accreditation No. DMN/21/2035
Property Address 1, 47B McEacharn Street, East Bairnsdale, VIC, 3875

Certificate No. # 6MS3UBJVSG
Scan QR code or follow website link for rating details.
Assessor name Damian Anderson
Accreditation No. DMN/21/2035
Property Address 2, 47B McEacharn Street, East Bairnsdale, VIC, 3875

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Drafting & Design
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E: damian.anderson@hotmail.com

TWO DWELLINGS ON A LOT
FOR: Ian Driver
AT: 47B McEacharn Street,
East Bairnsdale 3875

JOB NO: 412023
DATE: 31/01/2024

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NOTE:

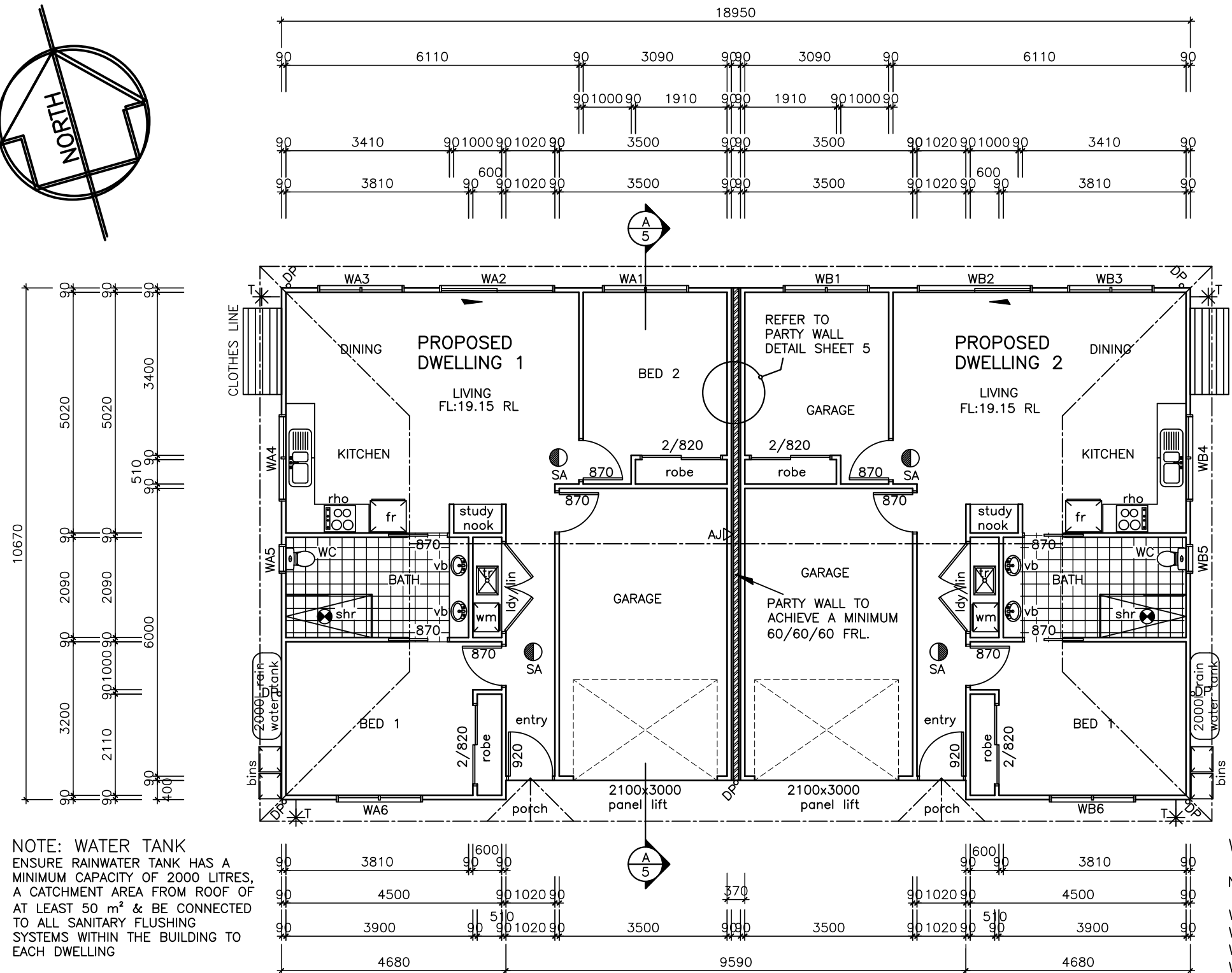
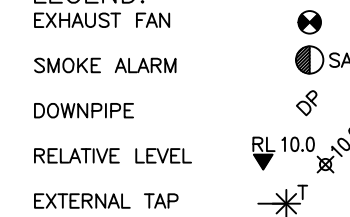
1. SMOKE DETECTORS TO BE HARDWIRED AND LOCATED MAX 1500mm FROM ALL BEDROOM DOORS AS PER A.S. 3786

2. ALL EXHAUST FANS TO VENT TO ATMOSPHERE AND TO BE FITTED WITH A SELF CLOSING DEVICE.

3. ALL WET AREAS TO COMPLY WITH BCA PART 3.8 & A.S.3740.

4. TERMITE PROOFING IS TO BE IN ACCORDANCE WITH AS.3660.1. METHOD OF PROOFING TO BE VERIFIED BY BUILDER BEFORE INSPECTION AND A CERTIFICATE ISSUED ON DURABLE MATERIAL & AFFIXED TO INSIDE OF METER BOX IN ACCORDANCE WITH BCA CL 3.1.3.2(b).

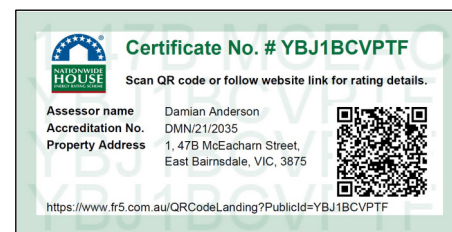
5. DOWNPIPE LOCATIONS ARE INDICATIVE ONLY PLUMBER TO DETERMINE ON SITE.



NOTE: WATER TANK ENSURE RAINWATER TANK HAS A MINIMUM CAPACITY OF 2000 LITRES, A CATCHMENT AREA FROM ROOF OF AT LEAST 50 m² & BE CONNECTED TO ALL SANITARY FLUSHING SYSTEMS WITHIN THE BUILDING TO EACH DWELLING

AREAS: each dwelling
DWELLING 75.46 sqm
GARAGE 21 sqm
PORCH 1.2 sqm

Floor Plan
SCALE 1:100



WINDOW SCHEDULE:

No	H	W	FRAME	OPENING	HEAD	GLAZING	U-VALUE	SHGC	
WA1	1200	x	1800	ALUMINIUM	AWNING	2.1m	4/10/4	4.18	0.58
WA2	2100	x	2400	ALUMINIUM	SD	2.1m	4/10/4	3.83	0.62
WA3	1200	x	1800	ALUMINIUM	AWNING	2.1m	4/10/4	4.18	0.58
WA4	900	x	1800	ALUMINIUM	AWNING	2.1m	4/10/4	4.18	0.58
WA5	900	x	600	ALUMINIUM	AWNING	2.1m	4/10/4	4.18	0.58
WA6	1200	x	1800	ALUMINIUM	AWNING	2.1m	4/10/4	4.18	0.58
WB1	1200	x	1800	ALUMINIUM	AWNING	2.1m	4/10/4	4.18	0.58
WB2	2100	x	2400	ALUMINIUM	SD	2.1m	4/10/4	3.83	0.62
WB3	1200	x	1800	ALUMINIUM	AWNING	2.1m	4/10/4	4.18	0.58
WB4	900	x	1800	ALUMINIUM	AWNING	2.1m	4/10/4	4.18	0.58
WB5	900	x	600	ALUMINIUM	AWNING	2.1m	4/10/4	4.18	0.58
WB6	1200	x	1800	ALUMINIUM	AWNING	2.1m	4/10/4	4.18	0.58

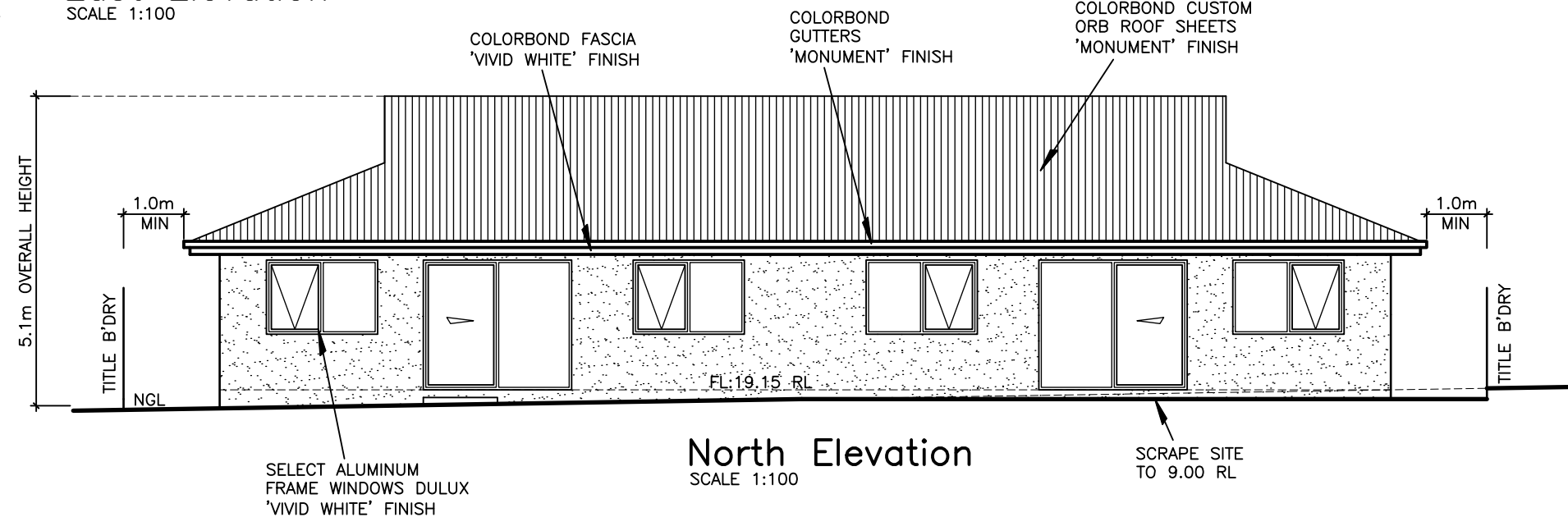
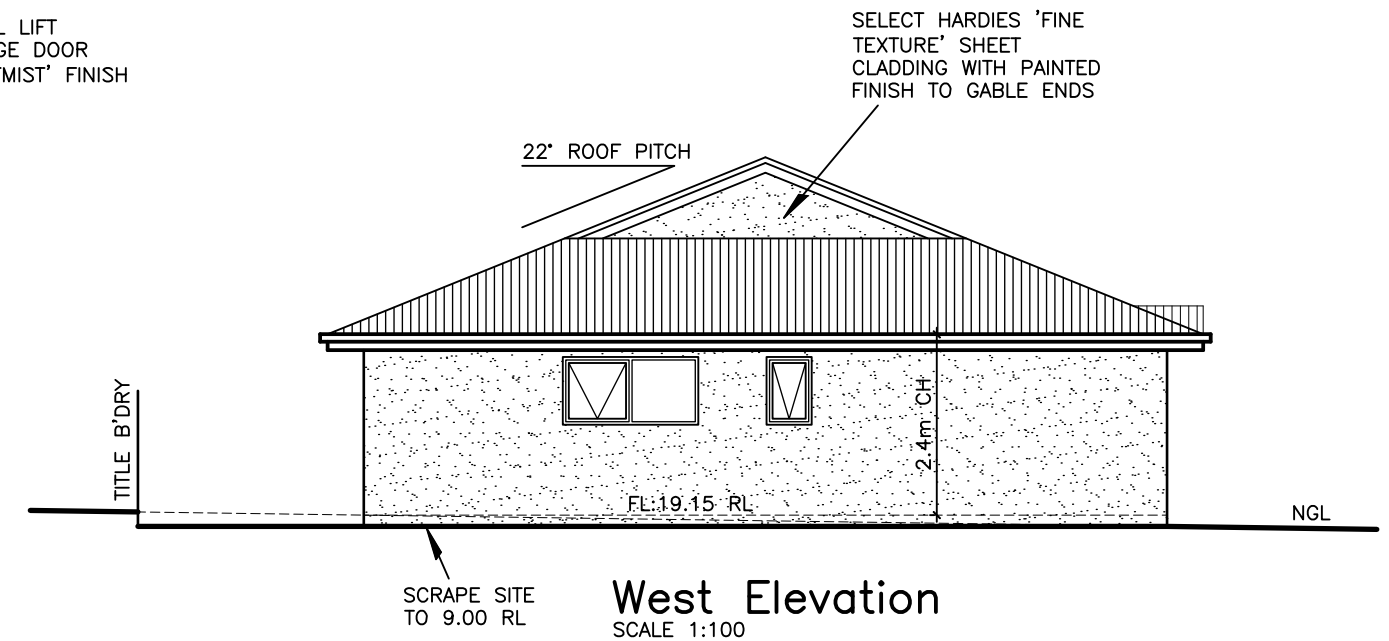
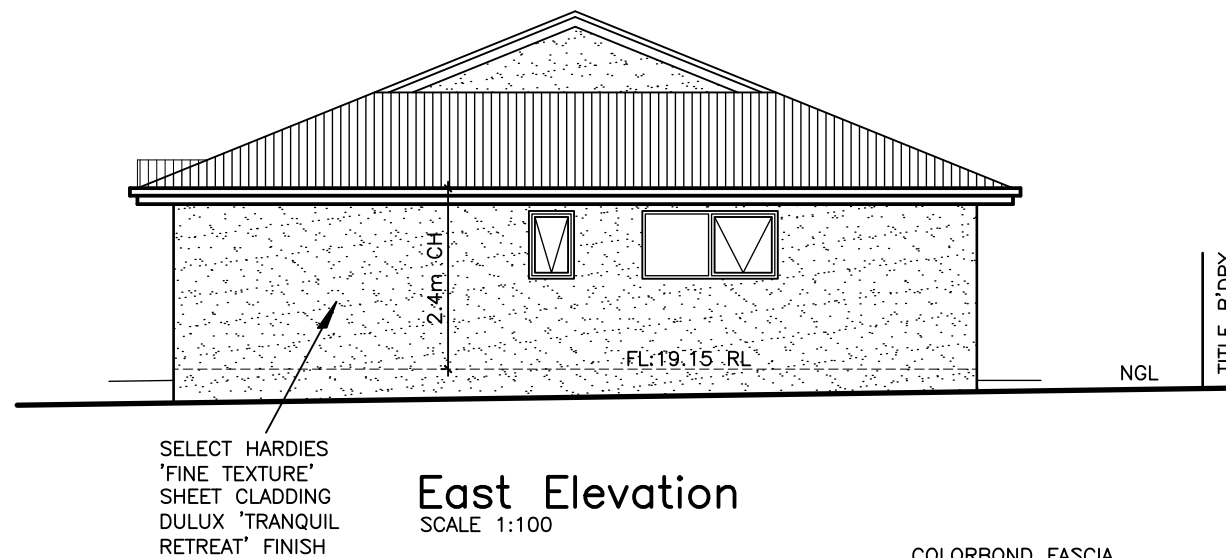
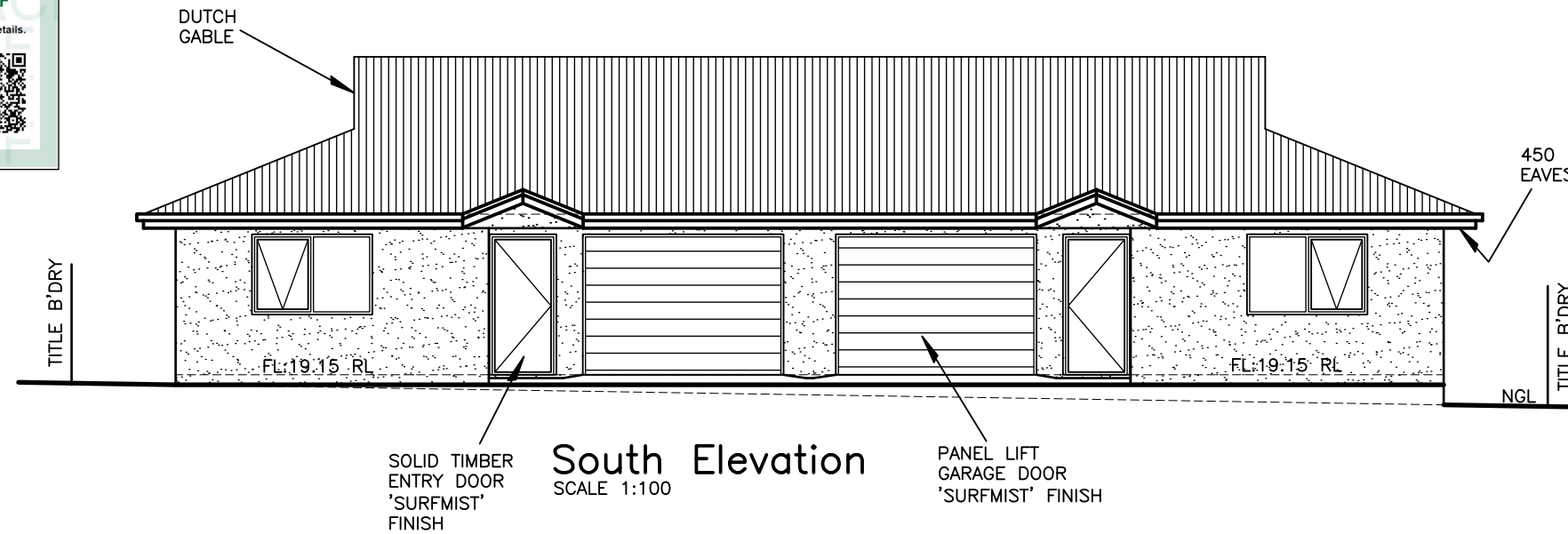
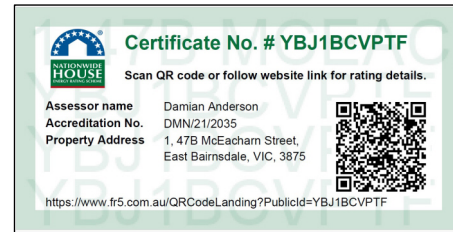
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TWO DWELLINGS ON A LOT
FOR: Ian Driver
AT: 47B McEacham Street,
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JOB NO: 412023

DATE: 31/01/2024

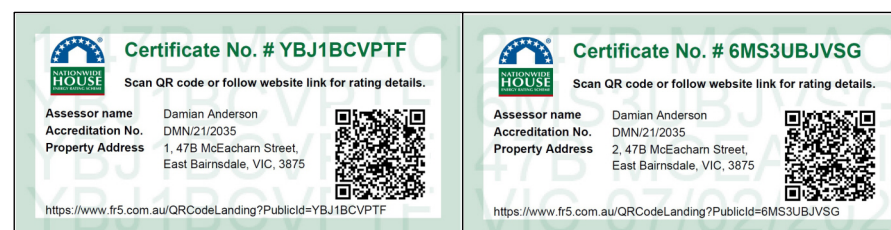
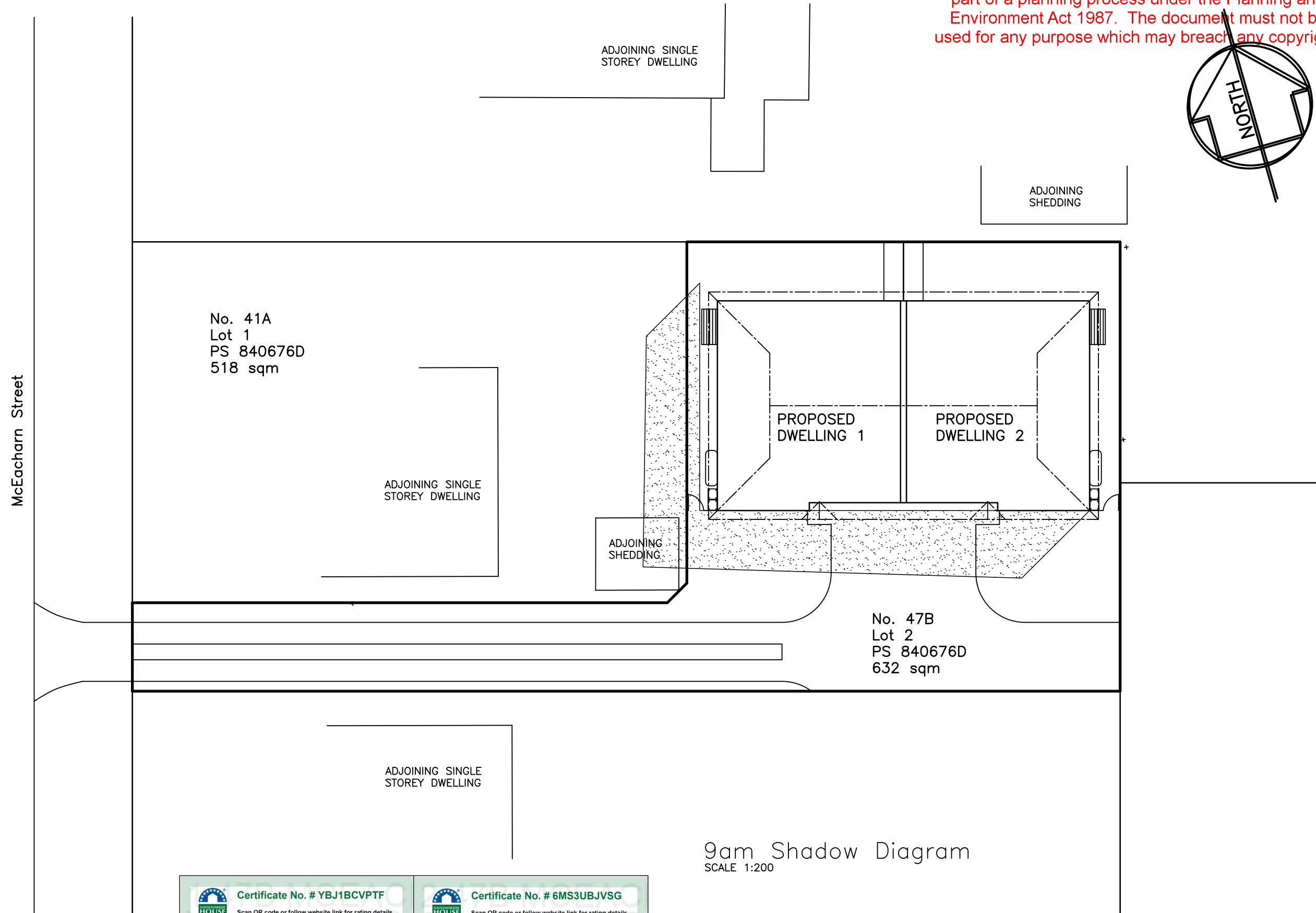
Printed 4/03/2024
Page 29 of 34



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TWO DWELLINGS ON A LOT
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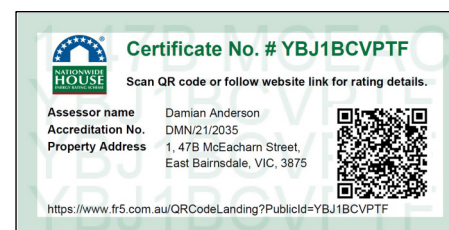
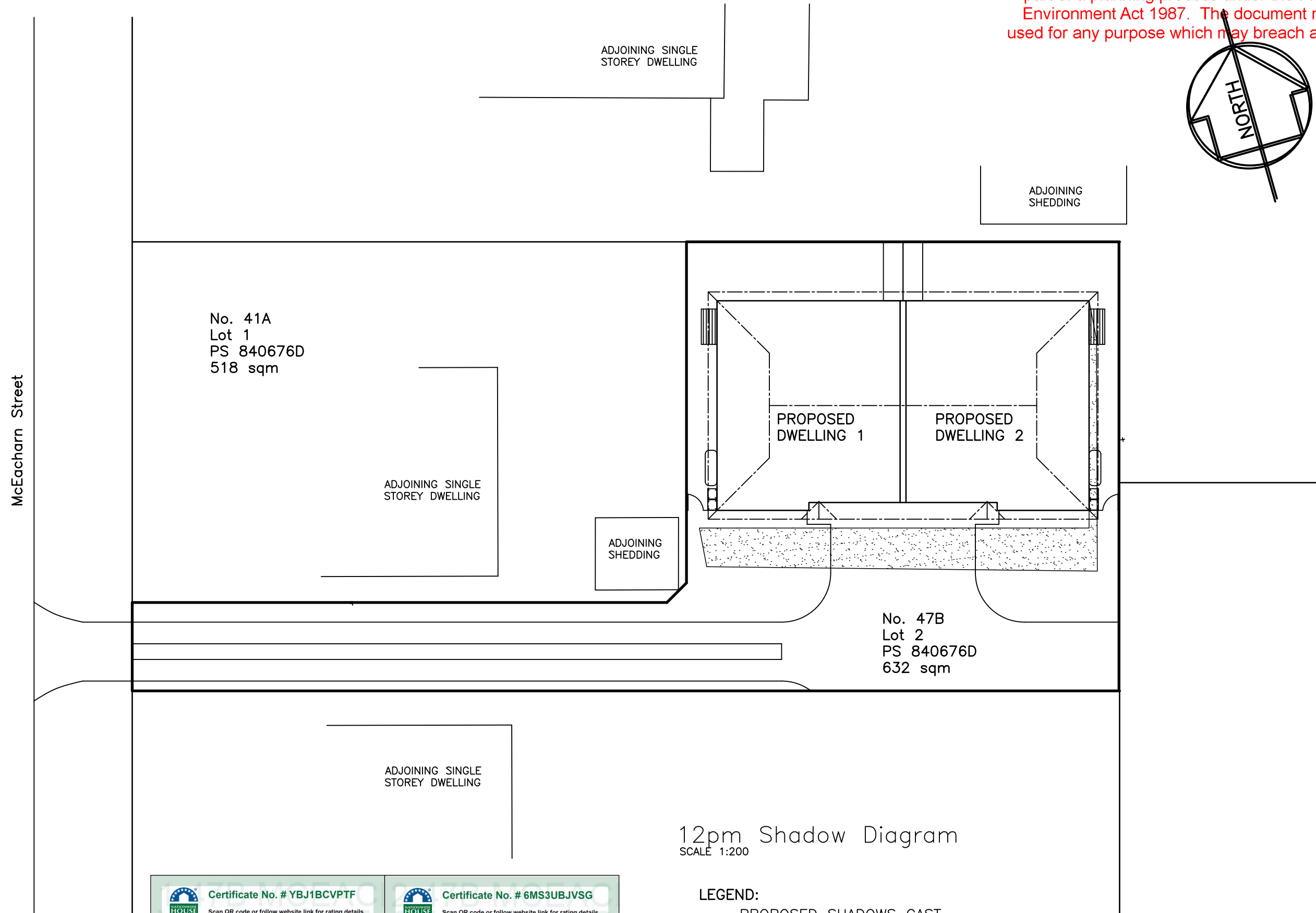
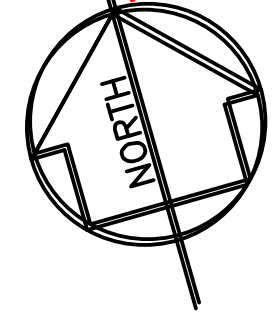
JOB NO: 412023
DATE: 31/01/2024



LEGEND:



PROPOSED SHADOWS CAST
AT 9AM ON THE
SEPTEMBER 23RD EQUINOX



LEGEND:



PROPOSED SHADOWS CAST
AT 12PM ON THE
SEPTEMBER 23RD EQUINOX



McEacharn Street

No. 41A
Lot 1
PS 840676D
518 sqm

ADJOINING SINGLE
STOREY DWELLING

ADJOINING
SHEDDING

ADJOINING SINGLE
STOREY DWELLING

ADJOINING
SHEDDING

PROPOSED
DWELLING 1

PROPOSED
DWELLING 2

No. 47B
Lot 2
PS 840676D
632 sqm

ADJOINING SINGLE
STOREY DWELLING

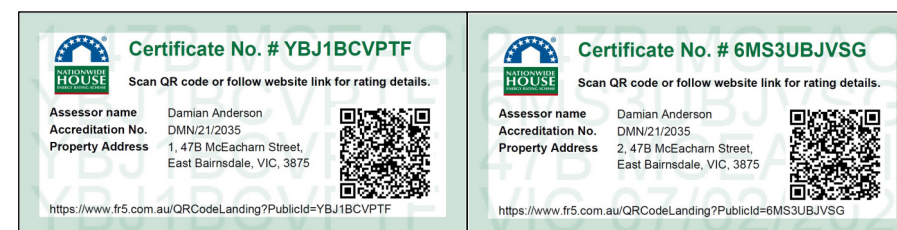
3pm Shadow Diagram
SCALE 1:200

LEGEND:



PROPOSED SHADOWS CAST
AT 3PM ON THE
SEPTEMBER 23RD EQUINOX

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TWO DWELLINGS ON A LOT
FOR: Ian Driver
AT: 47B McEacharn Street,
East Bairnsdale 3875

JOB NO: 412023

DATE: 31/01/2024

Printed 4/03/2024
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SHEET
03

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AND SO ON THE FOLLOWING LANDSCAPING SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH THE RELEVANT LOCAL LAWS & LOCAL DEVELOPERS GUIDELINES

SERVICES
THE CONTRACTOR MUST VERIFY THE LOCATION & DEPTH OF ALL UNDERGROUND SERVICES PRIOR TO THE COMMENCEMENT OF ANY DIGGING

GARDEN BEDS
ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES. THE GROUND IS TO BE IN A LOOSE & FRIABLE CONDITION, BY AN INITIAL CULTIVATION PRIOR TO THE PLACEMENT OF ANY TOPSOIL. BEFORE LAYING MULCH CULTIVATE SOIL TO A DEPTH OF 250mm.

GRADES & LEVELS
ALL GRADES TO BE SHAPED TO ASSIST DRAINAGE. WHERE BEDS ARE BEING PLACED AGAINST BUILDINGS THEY MUST DRAIN AWAY FROM THE BUILDING.

LAWNS
LAWN AREAS TO BE CULTIVATED TO A DEPTH OF 100mm & SPREAD WITH 75mm SCREENED ORGANIC TOPSOIL MIX. RAKE WITH A FINE TEETH FINISHING WITH APPROX 8mm ABOVE ADJACENT PATH SURFACE OR PLINTH BOARD. SEED LAWNS WITH KIKUYU OR COUCH TYPE LAWN SEED & APPLY STARTER FERTILIZER.

GYPSUM
GYPSUM SHALL ASSIST IN THE BREAKUP OF ANY HEAVY CLAY SOIL. SPREAD GYPSUM AT 1.5kg PER M² OR IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION

MULCH
PROVIDE MULCH TO ALL GARDEN BED AREAS TO A DEPTH OF 75mm. THE USE OF ORGANIC MULCH IS RECOMMENDED.

ROOT BARRIER
AN APPROPRIATE ROOT BARRIER PROTECTION SYSTEM SHOULD BE INSTALLED TO ENSURE THAT NO DAMAGE MAY OCCUR TO ANY FOUNDATIONS, RETAINING WALLS, FOOTPATHS, DRIVEWAYS, UNDERGROUND PIPES & THE LIKE. THIS SHOULD BE CARRIED OUT BY AN INDUSTRY PROFESSIONAL TO THE REQUIREMENTS OF THE PRODUCT MANUFACTURER.

WATER DRIP SYSTEM
10mm POLYPIPES ARE TO BE USED FOR GARDEN BED AREAS & TREES. A FITTED MANUAL WATER TIMER IS RECOMMENDED TO OPERATE THE DRIP SYSTEM.

PLANTING LEGEND:

- Pa
- We
- Ag
- He
- Le
- Lf

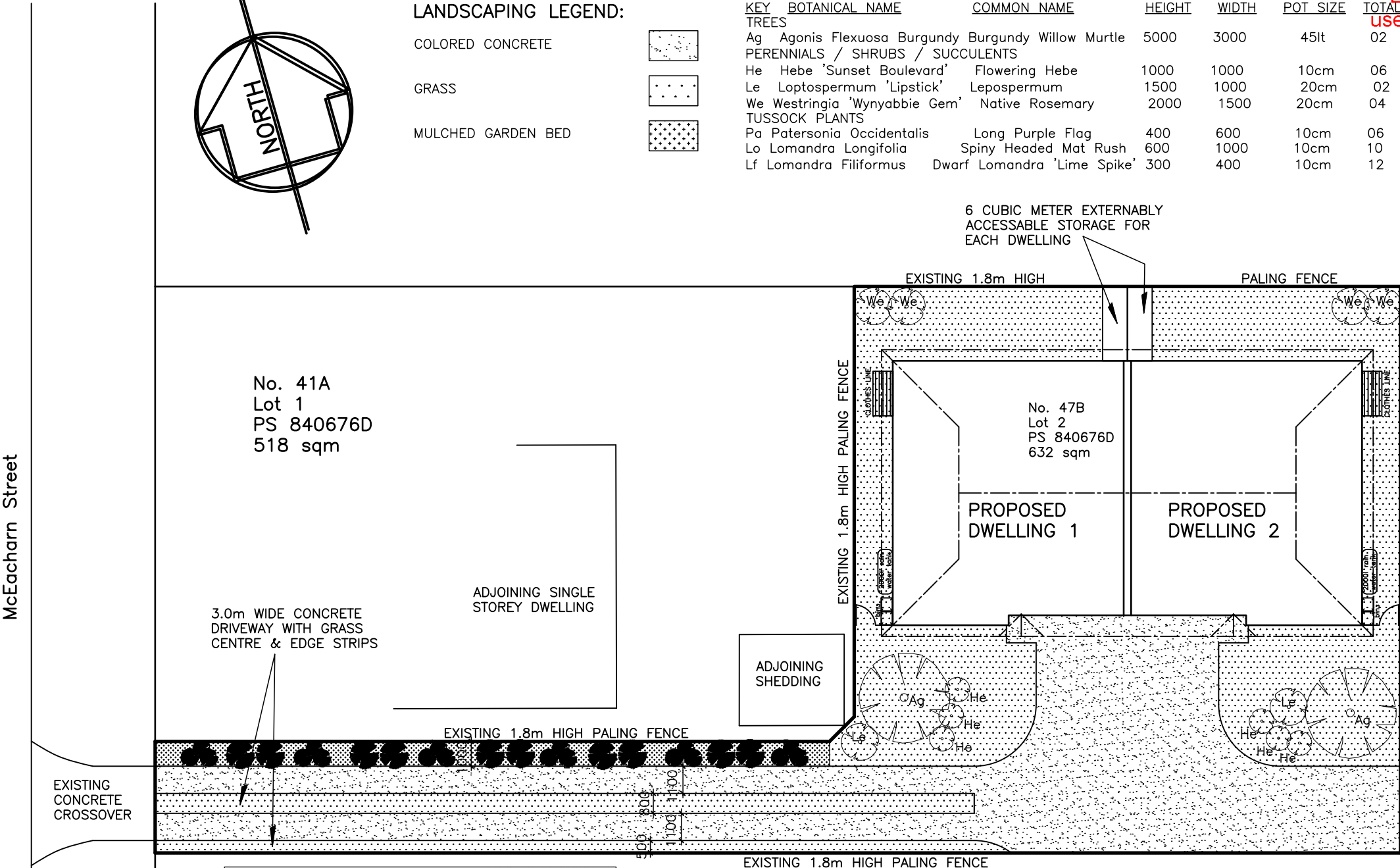
PLANT PALLETTE:

KEY	BOTANICAL NAME	COMMON NAME	HEIGHT	WIDTH	POT SIZE	TOTAL
TREES						
Ag	Agonis Flexuosa	Burgundy Willow Murtie	5000	3000	45lt	02
PERENNIALS / SHRUBS / SUCCULENTS						
He	Hebe 'Sunset Boulevard'	Flowering Hebe	1000	1000	10cm	06
Le	Loptospermum 'Lipstick'	Lepospermum	1500	1000	20cm	02
We	Westringia 'Wynyabbie Gem'	Native Rosemary	2000	1500	20cm	04
TUSsock PLANTS						
Pa	Patersonia Occidentalis	Long Purple Flag	400	600	10cm	06
Lo	Lomandra Longifolia	Spiny Headed Mat Rush	600	1000	10cm	10
Lf	Lomandra Filiformus	Dwarf Lomandra 'Lime Spike'	300	400	10cm	12

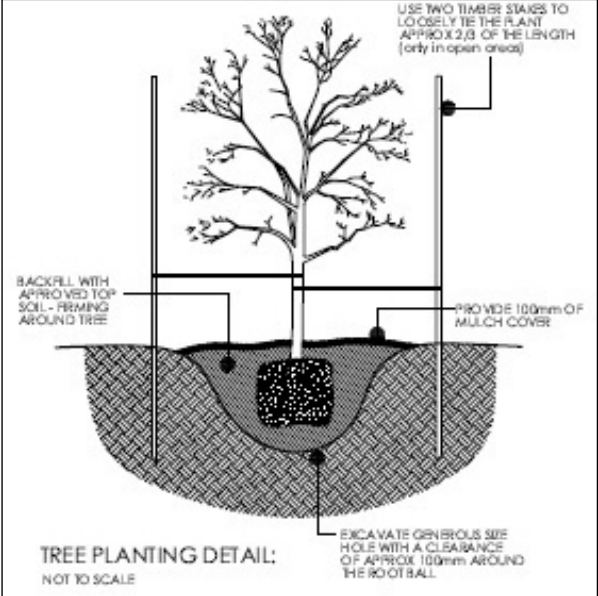
LANDSCAPING LEGEND:

- COLORED CONCRETE
- GRASS
- MULCHED GARDEN BED

6 CUBIC METER EXTERNABLY ACCESSABLE STORAGE FOR EACH DWELLING



Lanscape Plan
SCALE 1:200



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