

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	12 The Balcony LAKES ENTRANCE 3909 Lot: 32 PS: 308751
The application is for a permit to:	Buildings and Works for a Dwelling
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
43.02-2 (DDO)	Construct a building or construct or carry out works
The applicant for the permit is:	Benson Industries
The application reference number is:	5.2024.395.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
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If you object, the Responsible Authority will tell you its decision.

Kerry Stow

From: Snapforms Notifications <no-reply@snapforms.com.au>
Sent: Thursday, 21 November 2024 11:17 AM
To: Planning Unit Administration
Subject: Planning Permit application
Attachments: 22039- Working Drawings- REVISION-1 (Stamped).pdf; Title.pdf

Planning Permit Application

A Planning Permit Application' has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Applicant name: Scott Benson

Business trading name: Benson Industries

Email address:

Postal address : PO Box 1526 Sale Vic 3850

Mobile phone number:

Work phone number:

Owner's name: Toby and Melissa Rickman

Owner's email address:

Owner's mobile number:

Street number: 12

Street name: The Balcony

Town: Lakes Entrance

Post code: 3909

Lot number: 32

Plan number: 308751M

Plan type: Lodged plan, Title plan, Plan of subdivision

Please upload a copy of plan: [22039- Working Drawings- REVISION-1 \(Stamped\).pdf](#)

Has there been a pre-application meeting: No

Your reference number: Rickman Job

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?: No

Will the proposal result in a breach of a registered covenant restriction or agreement?: Yes

Description of proposal - Describe the use, development or other matter which requires a permit: The overall height I need is at the rear of the block to the highest point from the ground (so to the top of the roof at that point) Ive got the height from the ground to the floor level and then the height of the ceiling level but I need it for the overall height. The schedule to the DDO stated that a planning permit is needed for a building with a height of 7.5m from the natural ground level.

Estimated cost of development. Note: You may be required to verify this estimate: \$630,000

Title (must have been generated within the past 30 days: [Title.pdf](#)

Site plan/floor - plan/elevations: [22039- Working Drawings- REVISION-1 \(Stamped\).pdf](#)

Who is the invoice to be made out to?: Scott Benson / Benson Industries

Declaration: Yes

Privacy Statement: Yes



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958 Page 1 of 2

VOLUME 10129 FOLIO 578

Security no : 124101218203S
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LAND DESCRIPTION

Lot 32 on Plan of Subdivision 308751M.
PARENT TITLE Volume 10123 Folio 512
Created by instrument PS308751M 19/08/1993

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
MELISSA ANN RICKMAN
TOBY JOHN RICKMAN
AV873405W 20/07/2022

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT (as to whole or part of the land) in instrument T249734H 12/08/1994

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS308751M FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AV873404Y (E)	DISCHARGE OF MORTGAGE	Registered	20/07/2022
AV873405W (E)	TRANSFER	Registered	20/07/2022
AV873406U (E)	MORTGAGE	Registered	20/07/2022

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 12 THE BALCONY LAKES ENTRANCE VIC 3909

ADMINISTRATIVE NOTICES

NIL

OWNERS CORPORATIONS



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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958 Page 2 of 2

The land in this folio is affected by
OWNERS CORPORATION PLAN NO. PS308751M

DOCUMENT END



PROPOSED NEW RESIDENCE

For

TOBY & MELISSA RICKMAN

At

*12 THE BALCONY (LOT.32),
LAKES ENTRANCE 3909.*

WORKING DRAWINGS

'REVISION-1'

LEGEND
HOMES

22039

Printed 23/12/2024

Page 6 of 21

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GENERAL NOTES (NCC 2019 BCA Vol 2)

- All materials and work practices shall comply with, but not limited to the Building Regulations 2006, the National Construction Code Series 2015 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.
- Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2015 Building Code of Australia Volume 2.
- All materials and construction practice shall meet the Performance Requirements of the BCA. Where an alternative solution is proposed then prior to implementation or installation it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.
- Glazing including safety glazing shall be installed to a size, type and thickness so as to comply with:
 - BCA Part 3.6 for Class 1 and 10 buildings within a design wind speed of not more than N3, and
 - NCC 2012 BCA Vol 1 Part B1.4 for Class 2 to 9 buildings
- Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: Waterproofing of Wet Areas in Residential Buildings.
- These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration
- Step sizes (other than for spiral stairs) to be:
 - Risers (R) 190mm maximum and 115mm minimum
 - Going (G) 355mm maximum and 240mm minimum
 - 2R + 1G = 700mm maximum and 550mm minimum
 - with less than 125mm gap between open treads
- All treads, landings and the like to have non slip finish or suitable non-skid strip near edge of nosing.
- Provide balustrades where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Balustrades (other than tensioned wire balustrades) to be:
 - 1000mm min. above finished surface level of balconies, landings or the like, and
 - 865mm min. above finished surface level of stair nosing or ramp, and
 - vertical with less than 125mm gap between, and
 - any horizontal element within the balustrade between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads.

Wire balustrade construction to comply with BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2019 BCA Volume 1 Part D2.16 for other Classes of Buildings.
- Top of hand rails to be minimum 865mm above stair nosing and floor surface of ramps.
- Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.
- Where the building (excludes a detached Class 10) is located in a termite prone area the area to underside of building and perimeter is to be treated against termite attack.

- Concrete stumps:
 - up to 1400mm long to be 100mm x 100mm (1 No. H.D. Wire)
 - 1401mm to 1800mm long to be 100mm x 100mm (2 No. H.D. Wires)
 - 1801mm to 3000mm long to be 125mm x 125mm (2 No. H.D. Wires)

100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.
- For buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS4773.1-2010 'Masonry in small buildings' Part 1: Design
- All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.
- These drawings shall be read in conjunction with all relevant structural and all other consultants drawings/details and with any other written instructions issued in the course of the contract.
- Site plan measurements in metres - all other measurements in millimetres u.n.o.
- Figured dimensions take precedence over scaled dimensions.
- The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.
- The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.
- Installation of all services shall comply with the respective supply authority requirements.
- The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.
- These plans have been prepared for the exclusive use by the Client of LEGEND HOMES ('The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.
- The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. Any said variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing the said variation.

STORMWATER

90 mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction.

The cover to underground stormwater drains shall be not less than

- 100mm under soil
- 50mm under paved or concrete areas
- 100mm under unreinforced concrete or paved driveways
- 75mm under reinforced concrete driveways

SITE ENVIRONMENT DESIGN INFORMATION

Site Bushfire Attack Assessment (simplified method)
 Reference document 'AS 3959-2018 construction of buildings in bush fire prone areas'
 Relevant Fire Danger Index (FDI)- 100
 Predominate vegetation:-
 Classification- N/A
 Type- N/A
 Distance of site from predominate vegetation- N/A
 Effective slope of land- 0.0°
 Determination of Bushfire Attack Level (BAL)- "12.5"

Site Classification

Site classification as Class: TBA
 Refer to soil report No: TBA
 By: TBA

Design gust wind speed / wind classification

Building tie-downs to be provided in accordance with AS1684-2010 for an assumed design gust wind speed / wind classification of **N3** (subject to confirmation on site by Relevant Building Surveyor at first inspection) refer to AS1684 for construction requirements.

Climate Zone

Climate zone for thermal design / thermal performance assessment : Zone 6.

Corrosion protection of built-in structural members

Provide corrosion protection of built-in structural steel members such as steel lintels, shelf angles, connectors, accessories (other than wall ties) in accordance with Table 4.1 of AS4773.1-2010 Masonry in Small Buildings Part 1: Design suitable for an Environment Classification of N/A.

Corrosion protection for sheet roofing

Provide corrosion protection for sheet roofing in accordance with BCA Table 3.5.1.1a suitable for an Environment Classification of N/A.

AUTHORITIES / CONSULTANTS

Municipality	Name: WELLINGTON SHIRE	Ph. 1300 366 244
Sewerage Authority	Name: GIPPSLAND WATER	Ph. 1800 066 401
Thermal Performance Assessor	Name: Elite Energy Assessments	

LEGEND HOMES

BENSON INDUSTRIES

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BENSON INDUSTRIES

REVISION NUMBER: 'REVISION-1'
 PROJECT NUMBER: 22039
 DRAWING NUMBER: A1

DRAWING TITLE: GENERAL NOTES

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PROJECT: PROPOSED NEW RESIDENCE
 CLIENT: TOBY & MELISSA RICKMAN
 12 THE BALCONY (LOT.32) LAKES ENTRANCE VIC 3909

DRAWN BY: L.CARUBIA
 DATE: 13/12/2022
 SCALE: AS NOTED @ A3

DESIGNATED BUSHFIRE PRONE AREA 12.5

CONSTRUCTION REQUIREMENTS TO A MIN BAL 12.5 UNDER AS3959 2018 VIC CONSTRUCTION IN ACCORDANCE WITH SECTION 3 AND 5 OF AS3959-2018 VIC- DESIGN & CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

6.1 NATIONAL HOUSE ENERGY RATING SCHEME

128.2

TRPGSBA506 13 Dec 2022

Assessor: Jordan Tripodi
 Accreditation No: DMN/16/1749
 Address: 12 The Balcony Lakes Entrance VIC 3909
 https://www.fr5.com.au/QRCodeLanding?PublicId=TRPGSBA506

CARUBIA

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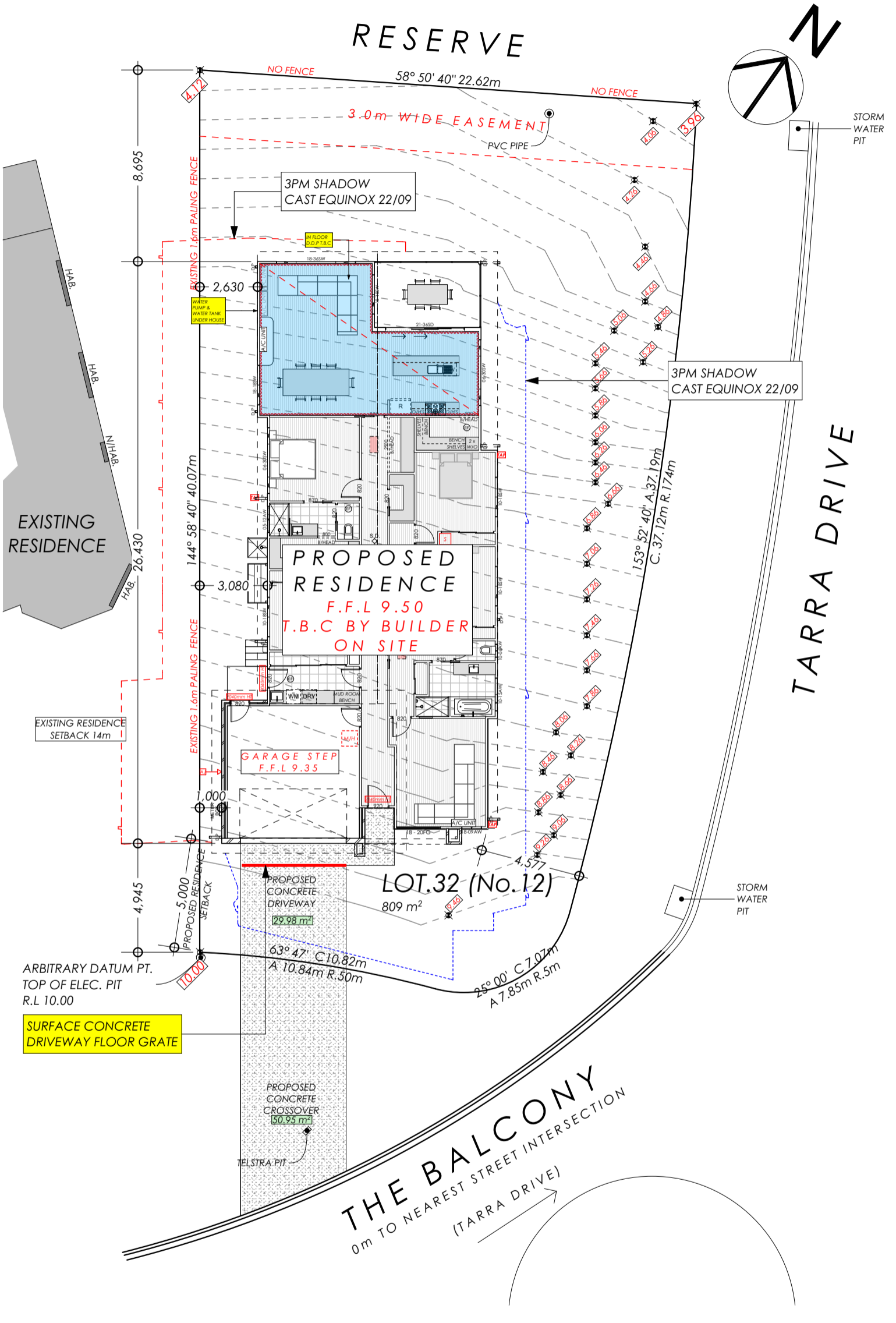
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BUILDING REGULATION PART 5- REFER TO SITE PLAN FOR DETAILS

73/74	STREET SETBACK	PROPOSED FRONT SETBACK 5.0m	81	DAYLIGHT TO EXIST HAB. WINDOWS	UNAFFECTED
75	BUILDING HEIGHT	8.5m	82	EXISTING NORTH FACING WINDOWS	UNAFFECTED
76	SITE COVERAGE	SITE AREA =809m ² BUILT AREA = 283.33m ² 35.02%	83	OVERSHADOWING	UNAFFECTED
77	PERMEABLE AREA	64.98%	84	OVERLOOKING	UNAFFECTED
78	CARPARKING	2 - GARAGE SPACES & 2 ONSITE VISITOR SPACES	85	DAYLIGHT TO NEW WINDOWS	ALL NORTH FACING WINDOWS ARE UNAFFECTED
79	SIDE & REAR SETBACKS	4.577m SIDE SETBACK ON NORTH/EAST B'DRY	86	PRIVATE OPEN SPACE	GREATER THAN 80 m ² MIN REQUIRED
80	WALLS ALONG BOUNDARIES	GARAGE WALL 1000mm OFF BOUNDARY 6.5m LENGTH - 3.593m MAX HT - 3.164m AVE HT.			

BAL 12.5 CONSTRUCTION NOTES:

- WALLS (INCLUDING GABLES)**
AN EXTERNAL WALL SURFACE THAT IS LESS THAN 400mm FROM THE GROUND OR LESS THAN 400mm ABOVE DECKS, CARPORT ROOFS, AWNINGS AND SIMILAR ELEMENTS OR FITTINGS SHALL BE OF NON-COMBUSTIBLE MATERIAL OR MIN. 6mm FIBRE CEMENT SHEET.
- VENTS, WEEPHOLES AND GAPS**
WHERE A CIRCULAR PROBE OF 3mm DIAMETER IS CAPABLE OF BEING PASSED THROUGH EXTERNAL VENTS, WEEPHOLES OR GAPS, THE VENTS, WEEPHOLES OR GAPS SHALL BE SCREENED WITH A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL OR BRONZE.
- JOINTS**
ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTTJOINTED TO PREVENT GAPS GREATER THAN 3mm. ALTERNATIVELY, SARKING TYPE MATERIAL MAY BE APPLIED OVER THE FRAME PRIOR TO FIXING ANY EXTERNAL CLADDING.
- WINDOWS**
WHERE GLAZING IS LESS THAN 400mm FROM THE GROUND OR LESS THAN 400mm ABOVE DECKS, THE GLAZING SHALL BE MIN. 4mm GRADE 'A' SAFETY GLASS OR ANNEALED GLASS. THE OPENABLE PORTIONS OF WINDOWS SHALL BE SCREENED WITH A MESH WITH A MAXIMUM APERTURE OF 2mm, MADE OF CORROSION-RESISTANT STEEL OR BRONZE.
- DOORS (EXTERNAL SIDE HUNG)**
HINGE DOORS SHALL BE SOLID TIMBER, HAVING A MINIMUM THICKNESS OF 35mm FOR THE FIRST 400mm ABOVE THE THRESHOLD. WHERE PART OF THE DOOR ASSEMBLY IS LESS THAN 400mm FROM THE GROUND OR LESS THAN 400mm ABOVE DECKS, THAT PART OF THE DOOR ASSEMBLY SHALL BE MADE FROM BUSHFIRE RESISTING TIMBER OR METAL. WEATHER STRIPS, DRAUGHT EXCLUDERS OR DRAUGHT SEALS SHALL BE INSTALLED AT THE BASE OF SIDE-HUNG EXTERNAL DOORS.
- DOORS (SLIDING)**
ANY GLAZING INCORPORATED IN SLIDING DOORS SHALL BE GRADE 'A' SAFETY GLASS. THERE IS NO REQUIREMENT TO SCREEN THE OPENABLE PART OF THE SLIDING DOOR.
- DOORS (GARAGE)**
THE LOWER PORTION OF A VEHICLE ACCESS DOOR THAT IS WITHIN 400mm OF THE GROUND WHEN THE DOOR IS CLOSED, SHALL BE MADE FROM NON-COMBUSTIBLE MATERIAL. PANELIFT DOORS SHALL BE FITTED WITH SUITABLE WEATHER STRIPS, DRAUGHT EXCLUDERS, DRAUGHT SEALS OR GUIDE TRACKS WITH A MAXIMUM GAP NO GREATER THAN 3mm.
- ROOFS**
SHEET ROOFS SHALL BE FULLY SARKED. SARKING IS TO BE LOCATED DIRECTLY BELOW THE ROOF BATTENS AND COVER THE ENTIRE ROOF AREA INCLUDING THE RIDGE. ENSURE THAT THERE ARE NO GAPS THAT WOULD ALLOW THE ENTRY OF EMBERS WHERE THE SARKING MEETS FASCIAS, GUTTERS, VALLEYS AND THE LIKE. A VERANDAH, CARPORT OR AWNING ROOF SEPERTAED FROM THE MAIN ROOF SPACE BY AN EXTERNAL WALL SHALL HAVE A NON-COMBUSTIBLE ROOF COVERING.
- ROOF PENETRATIONS**
ALL ROOF PENETRATIONS SHALL BE ADEQUATELY SEALED AT THE ROOF TO PREVENT GAPS GREATER THAN 3mm. THE MATERIAL USED TO SEAL THE PENETRATION SHALL BE NON-COMBUSTIBLE.
- EAVES LININGS, FASCIAS AND GABLES**
JOINTS IN EAVES LININGS, FASCIAS AND GABLES SHALL BE SEALED WITH PLASTIC JOINING STRIPS OR TIMBER STORM MOULDS.
- DECKING**
DECKING LESS THAN 300mm (MEASURED HORIZONTALLY) FROM GLAZED ELEMENTS THAT ARE LESS THAN 400mm (MEASURED VERTICALLY) FROM THE SURFACE OF THE DECK SHALL BE MADE FROM NON-COMBUSTIBLE MATERIAL OR BUSHFIRE RESISTING TIMBER.



NOTE:
ALL EASEMENTS & BOUNDARY DETAILS TO BE CONFIRMED WITH COPY OF TITLE PRIOR TO COMENCING CONSTRUCTION.

NOTE :
PRIOR TO STARTING SETOUT FOR CONSTRUCTION CHECK FOR SERVICES WHICH MAY OBSTRUCT DRIVEWAY IF SERVICES ARE GOING TO AFFECT THE RESIDENCE PLEASE CONTACT THE LEGEND HOMES OFFICE FOR RECTIFICATION.

A SITE PLAN 1:200

CARUBIA HOME DESIGNS

LEGEND HOMES

BENSON INDUSTRIES

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Email: scott@bensonin.com.au

BENSON INDUSTRIES

PROJECT: PROPOSED NEW RESIDENCE
CLIENT: TOBY & MELISSA RICKMAN
12 THE BALCONY (LOT.32) LAKES ENTRANCE VIC 3909

REVISION NUMBER: 22039
DRAWING NUMBER: A2

DRAWING TITLE: SITE PLAN

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DRAWN BY: L.CARUBIA
DATE: 13/12/2022
SCALE: AS NOTED @ A3

DESIGNATED BUSHFIRE PRONE AREA 12.5

CONSTRUCTION REQUIREMENTS TO A MIN BAL 12.5 UNDER AS3959 2018 VIC CONSTRUCTION IN ACCORDANCE WITH SECTION 3 AND 5 OF AS3959-2018 VIC- DESIGN & CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

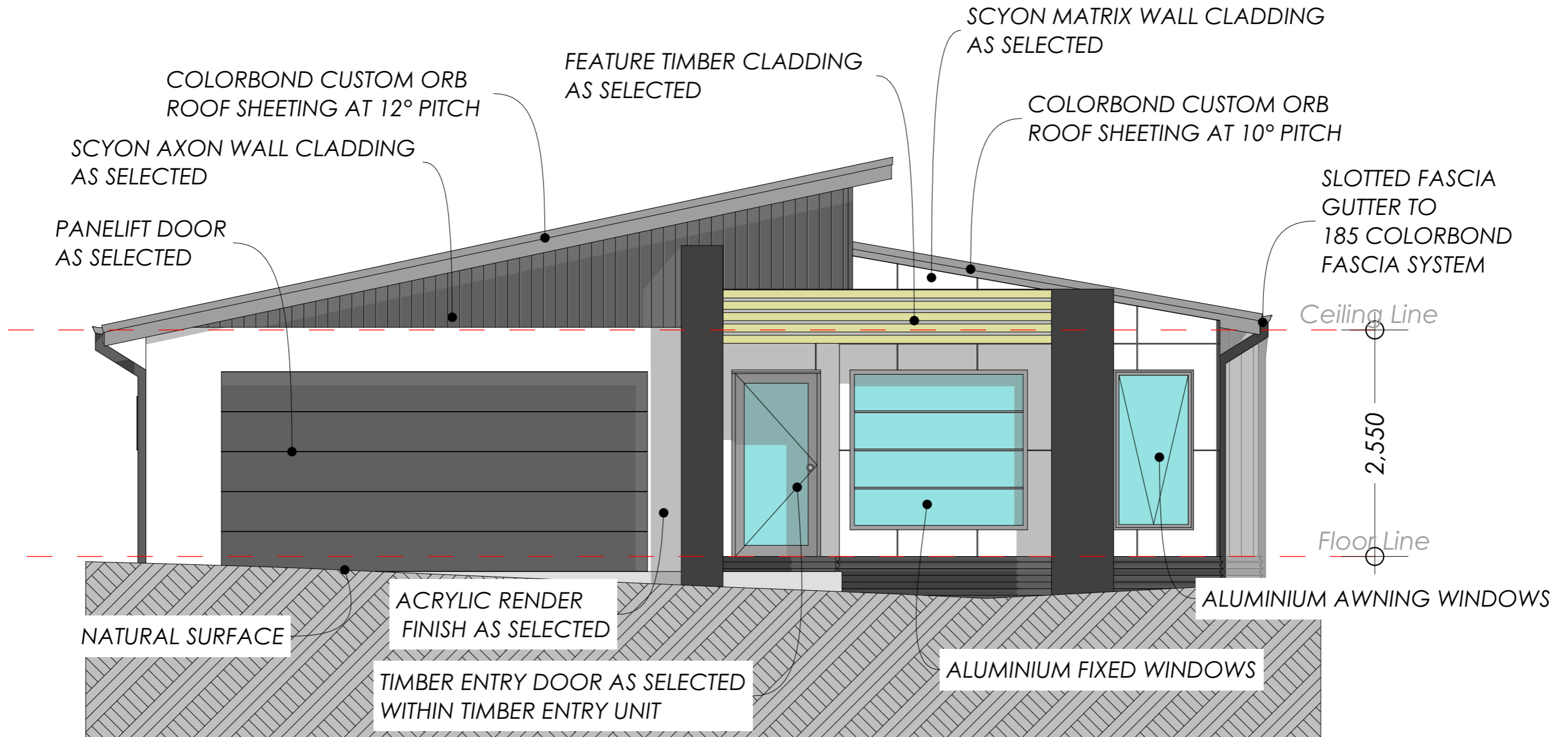
6.1 NATIONWIDE HOUSE

TRPGSBA5U6 13 Dec 2022

Assessor: Jordan Tripodi
Accreditation No: DMN/16/1749
Address: 12 The Balcony, Lakes Entrance, VIC 3909

128.2

www.nathurs.gov.au
https://www.fr5.com.au/QRCodeLanding?PublicId=TRP_GSBA5U6



S SOUTH ELEVATION
1:50

LEGEND HOMES

BENSON INDUSTRIES

REVISION NUMBER: 'REVISION-1'
PROJECT NUMBER: 22039
DRAWING NUMBER: A4

CLIENT SIGNATURE: BUILDERS SIGNATURE

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PROJECT: PROPOSED NEW RESIDENCE
CLIENT: TOBY & MELISSA RICKMAN
12 THE BALCONY (LOT.32) LAKES ENTRANCE VIC 3909

DRAWING TITLE: ELEVATIONS - SHEET 1

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6.1
NATIONWIDE HOUSE ENERGY RATING SCHEME
128.2
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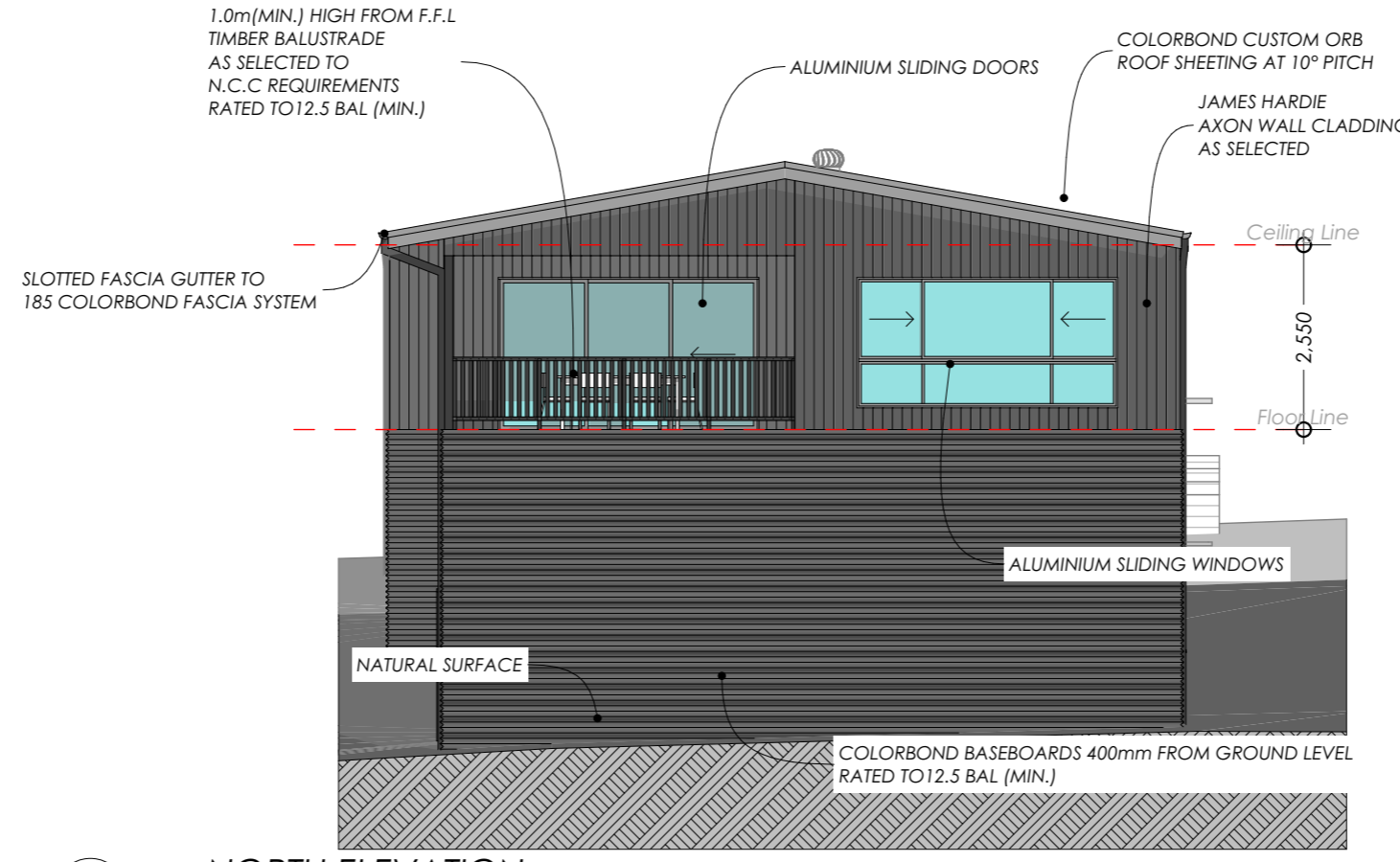
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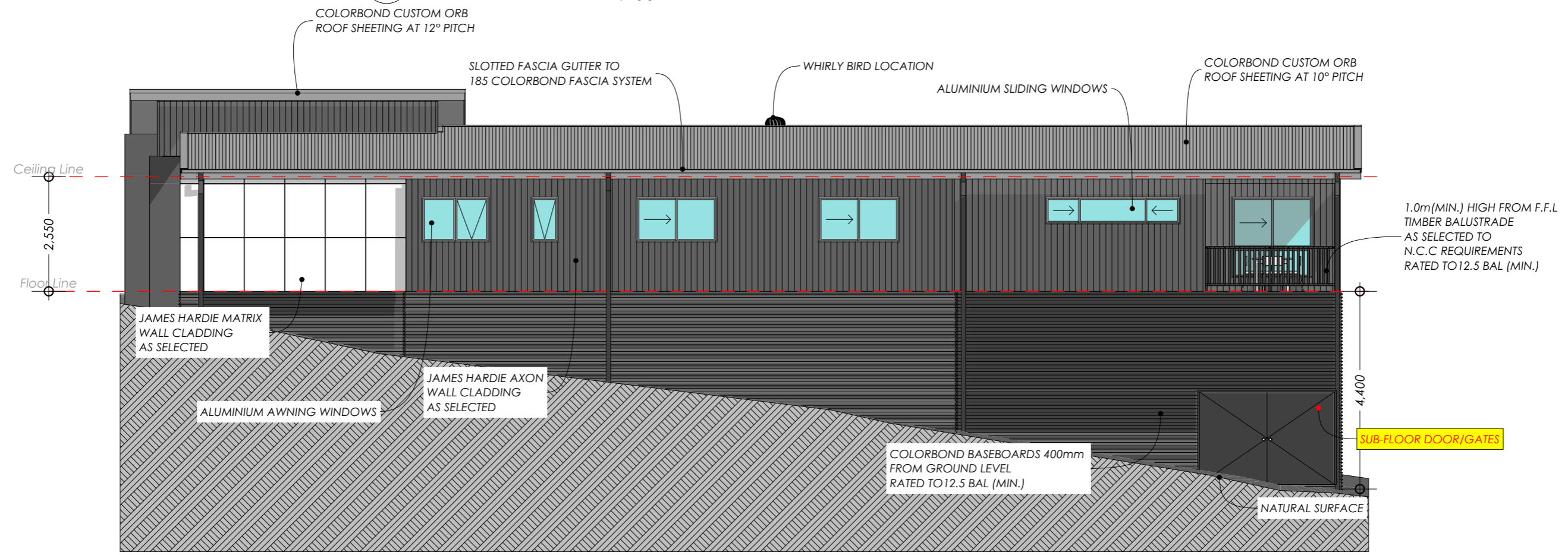
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HOME BUILDERS

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N NORTH ELEVATION
1:100



E EAST ELEVATION
1:100

LEGEND HOMES

BENSON INDUSTRIES

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BENSON INDUSTRIES

REVISION NUMBER: 'REVISION-1'
PROJECT NUMBER: 22039
DRAWING NUMBER: A5

PROJECT: PROPOSED NEW RESIDENCE
CLIENT: TOBY & MELISSA RICKMAN
12 THE BALCONY (LOT.32) LAKES ENTRANCE VIC 3909

DRAWING TITLE: ELEVATIONS - SHEET 2

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6.1 **NATIONWIDE HOUSE** **128.2**

TRPGSBA5U6 13 Dec 2022

Assessor: Jordan Tripodi
Accreditation No: DMN/16/1749

Address: 12 The Balcony Lakes Entrance VIC 3909

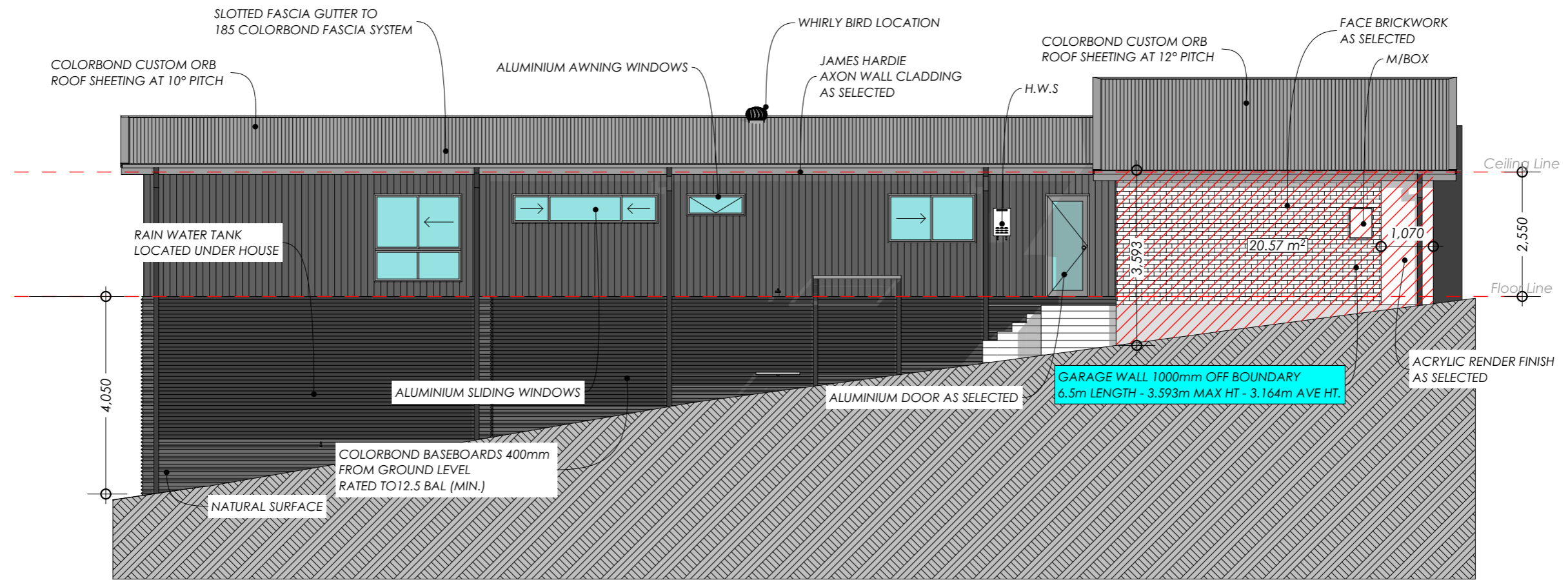
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E EAST ELEVATION
1:100

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W WEST ELEVATION
1:100

LEGEND HOMES

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REVISION NUMBER: 'REVISION-1'
PROJECT NUMBER: 22039
DRAWING NUMBER: A6

DRAWING TITLE: ELEVATIONS - SHEET 3

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DRAWN BY: L.CARUBIA
DATE: 13/12/2022
SCALE: AS NOTED @ A3

DESIGNATED BUSHFIRE PRONE AREA 12.5

CONSTRUCTION REQUIREMENTS TO A MIN BAL 12.5 UNDER AS3959 2018 VIC CONSTRUCTION IN ACCORDANCE WITH SECTION 3 AND 5 OF AS3959-2018 VIC- DESIGN & CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

6.1 NATIONWIDE HOUSE BUILDING SCHEME

128.2

TRPGSBA5U6 13 Dec 2022

Assessor: Jordan Tripodi
Accreditation No: DMN/16/1749
Address: 12 The Balcony Lakes Entrance VIC 3909

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CARUBIA HOMES

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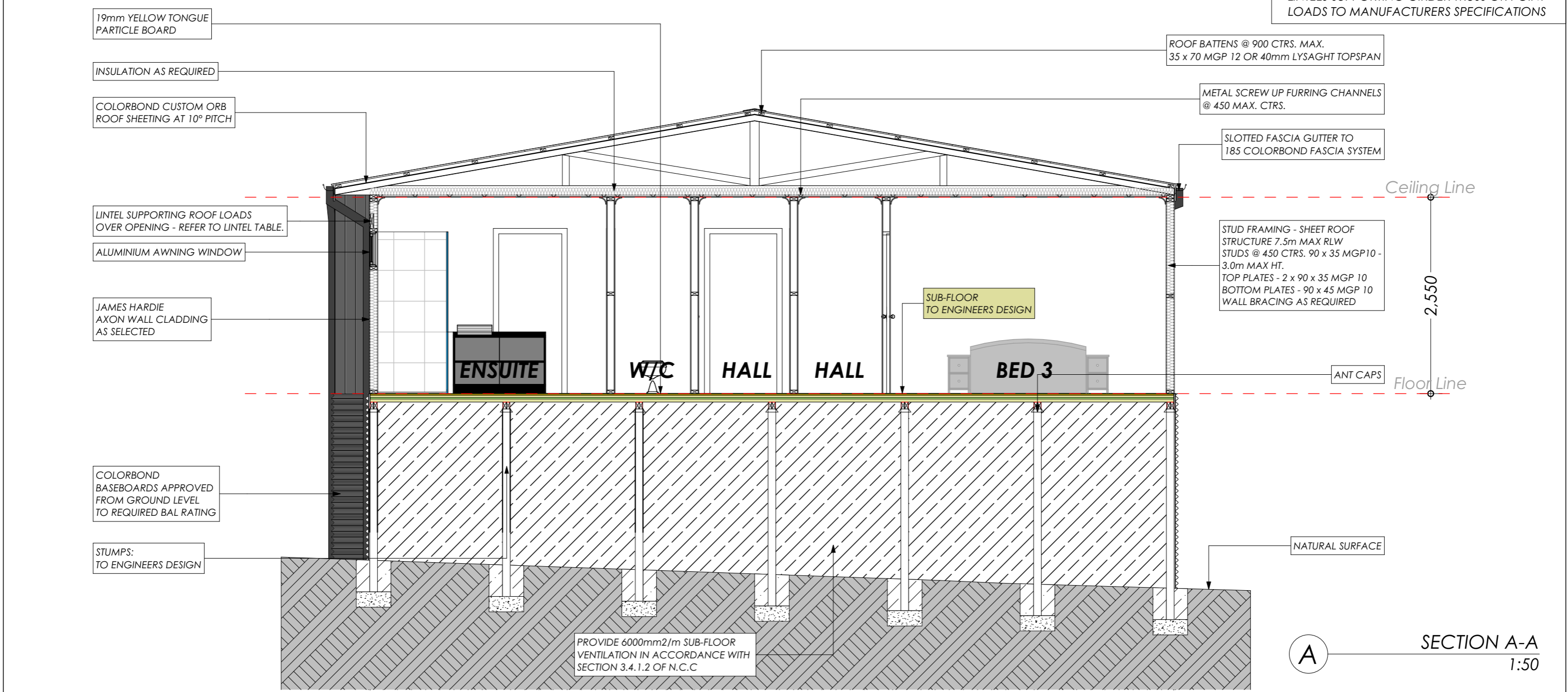
BRICKWORK ABOVE	BRICKWORK LINTELS							
	CLEAR SPAN OF OPENING							
	1000	1200	1500	1800	2100	2400	2700	3000
500	75 x 75 x 6							
1000	75 x 100 x 6							
1500	100 x 100 x 6							
2000	150 x 100 x 8							
2500	150x100x10							
3000	150x100x10							

NOTE: THE FIRST DIMENSION CORRESPONDS TO THE VERTICAL LINTEL LEG.
eg. 75 x 100 x 6 LINTEL - 75mm VERTICAL LEG
LARGER SPANS OR SPANS WITH HIGHER LOADS TO ENGINEERS DESIGN.

LINTELS	SHEET ROOF 40kg / m ²	
	6.0m RLW	9.0m RLW
500	150x45 HYPAN	150x45 HYPAN
1000	150x45 HYPAN	150x45 HYPAN
1500	150x45 HYPAN	150x45 HYPAN
2100	150x45 HYPAN	150x63 HYPAN
2400	170x63 HYPAN	200x45 HYPAN
2700	200x45 HYPAN	240x45 HYPAN
3000	240x45 HYPAN	300x45 HYPAN
3600	300x45 HYPAN	300x63 HYPAN

ALL LINTELS TO BE L.O.SP. TREATED

PLEASE NOTE LINTELS HAVE BEEN SIZED FOR UNIFORMLY DISTRIBUTED ROOF LOAD WIDTHS - LINTELS SUPPORTING GIRDER TRUSS OR POINT LOADS TO MANUFACTURERS SPECIFICATIONS



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BENSON INDUSTRIES

REVISION NUMBER: 'REVISION-1'
PROJECT NUMBER: 22039
DRAWING NUMBER: A7

DRAWING TITLE: SECTION A-A

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PROJECT: PROPOSED NEW RESIDENCE
CLIENT: TOBY & MELISSA RICKMAN
12 THE BALCONY (LOT.32) LAKES ENTRANCE VIC 3909

DRAWN BY: L.CARUBIA
DATE: 13/12/2022
SCALE: AS NOTED @ A3

DESIGNATED BUSHFIRE PRONE AREA 12.5

CONSTRUCTION REQUIREMENTS TO A MIN BAL 12.5 UNDER AS3959 2018 VIC CONSTRUCTION IN ACCORDANCE WITH SECTION 3 AND 5 OF AS3959-2018 VIC- DESIGN & CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

6.1 NATIONWIDE HOUSE

128.2

TRPGSBAU6 13 Dec 2022

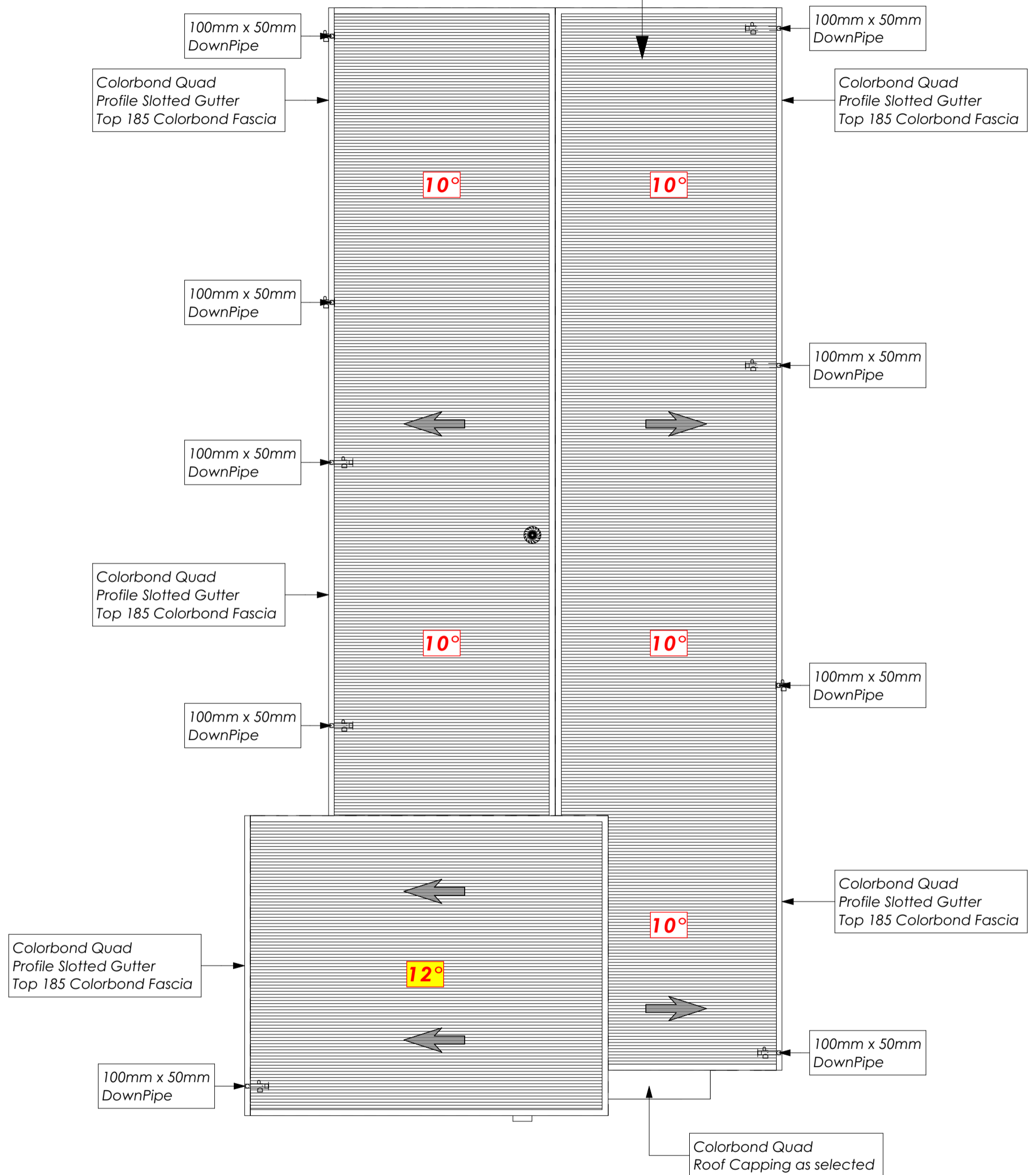
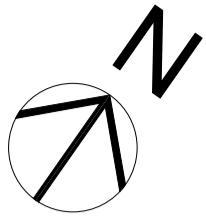
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A SECTION A-A
1:50

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Colorbond Sheet Roofing
Custom Orb Profile

100mm x 50mm
DownPipe

Colorbond Quad
Profile Slotted Gutter
Top 185 Colorbond Fascia

10°

10°

100mm x 50mm
DownPipe

Colorbond Quad
Profile Slotted Gutter
Top 185 Colorbond Fascia

100mm x 50mm
DownPipe

100mm x 50mm
DownPipe

Colorbond Quad
Profile Slotted Gutter
Top 185 Colorbond Fascia

10°

10°

100mm x 50mm
DownPipe

100mm x 50mm
DownPipe

100mm x 50mm
DownPipe

Colorbond Quad
Profile Slotted Gutter
Top 185 Colorbond Fascia

12°

Colorbond Quad
Profile Slotted Gutter
Top 185 Colorbond Fascia

100mm x 50mm
DownPipe

100mm x 50mm
DownPipe

Colorbond Quad
Roof Capping as selected

A

ROOF PLAN
1:100



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PROJECT: PROPOSED NEW RESIDENCE
CLIENT: TOBY & MELISSA RICKMAN
12 THE BALCONY (LOT.32) LAKES ENTRANCE VIC 3909

REVISION NUMBER: 'REVISION-1'
PROJECT NUMBER: 22039
DRAWING NUMBER: A8

DRAWING TITLE: ROOFING PLAN

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CONSTRUCTION REQUIREMENTS TO A MIN BAL 12.5 UNDER AS3959 2018 VIC CONSTRUCTION IN ACCORDANCE WITH SECTION 3 AND 5 OF AS3959-2018 VIC- DESIGN & CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

6.1 NATIONWIDE HOUSE

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Assessor: Jordan Tripodi
Accreditation No.: DMN/16/1749

Address: 12 The Balcony Lakes Entrance VIC 3909

128.2 MJM

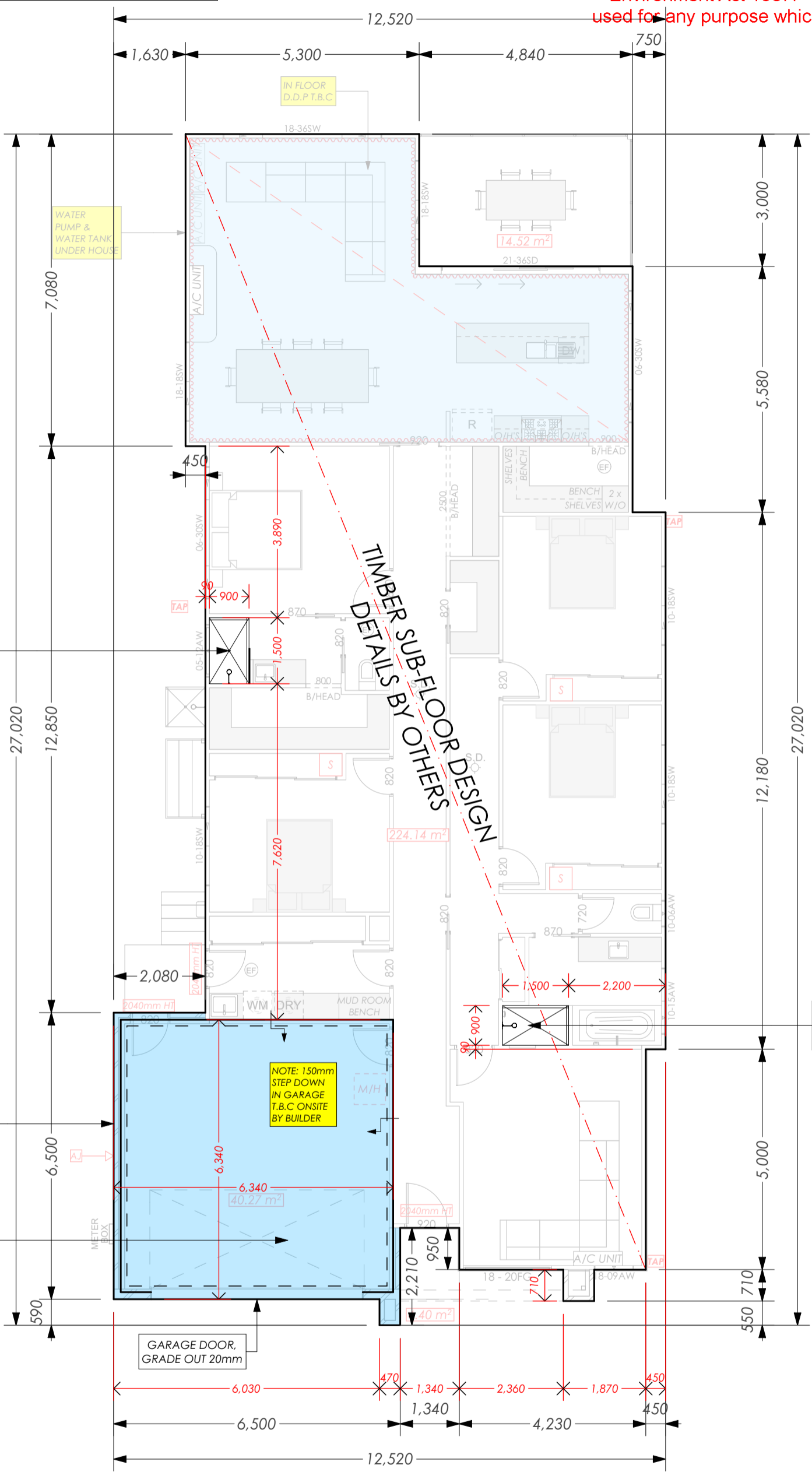
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NOTE: SLABS & FOOTINGS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARD AS 2870 RESIDENTIAL SLABS & FOOTINGS BASED ON CLASS 'M' SITE CLASSIFICATION - BASED ON SOIL PROFILE IN LOCAL AREA



30mm RECESS FOR TILE SHOWER BASE. PROVIDE SLAB THICKENING AS REQUIRED.

30mm RECESS FOR TILE SHOWER BASE. PROVIDE SLAB THICKENING AS REQUIRED.

NOTE: 150mm STEP DOWN IN GARAGE T.B.C. ONSITE BY BUILDER

PROVIDE SUITABLE COMPACTED FILL TO FORM UNDERSIDE OF SLAB IN ACCORDANCE WITH AS 2870 - RESIDENTIAL SLABS & FOOTINGS

160mm WIDE BRICK REBATE

GARAGE DOOR, GRADE OUT 20mm

DRAINAGE SHALL BE DESIGNED AND CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR THE FOOTING. THE GROUND IN THE IMMEDIATE VICINITY OF THE PERIMETER FOOTING, INCLUDING THE GROUND UP HILL FROM THE SLAB ON CUT AND FILL SITES, SHALL BE GRADED TO FALL 50mm AWAY FROM THE FOOTING OVER A DISTANCE OF 1m. ANY PAVING SHALL ALSO BE SUITABLY SLOPED.

A SLAB & SUB-FLOOR PLAN 1:100

CARUBIA
HOME DESIGNS

LEGEND HOMES

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PROJECT: PROPOSED NEW RESIDENCE
CLIENT: TOBY & MELISSA RICKMAN
12 THE BALCONY (LOT.32) LAKES ENTRANCE VIC 3909

REVISION NUMBER: 'REVISION-1'
DRAWING TITLE: SLAB & SUB-FLOOR PLAN
PROJECT NUMBER: 22039
DRAWING NUMBER: A9

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DATE: 13/12/2022
SCALE: AS NOTED @ A3

DESIGNATED BUSHFIRE PRONE AREA 12.5

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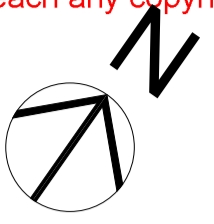
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NATIONWIDE HOUSE
128.2
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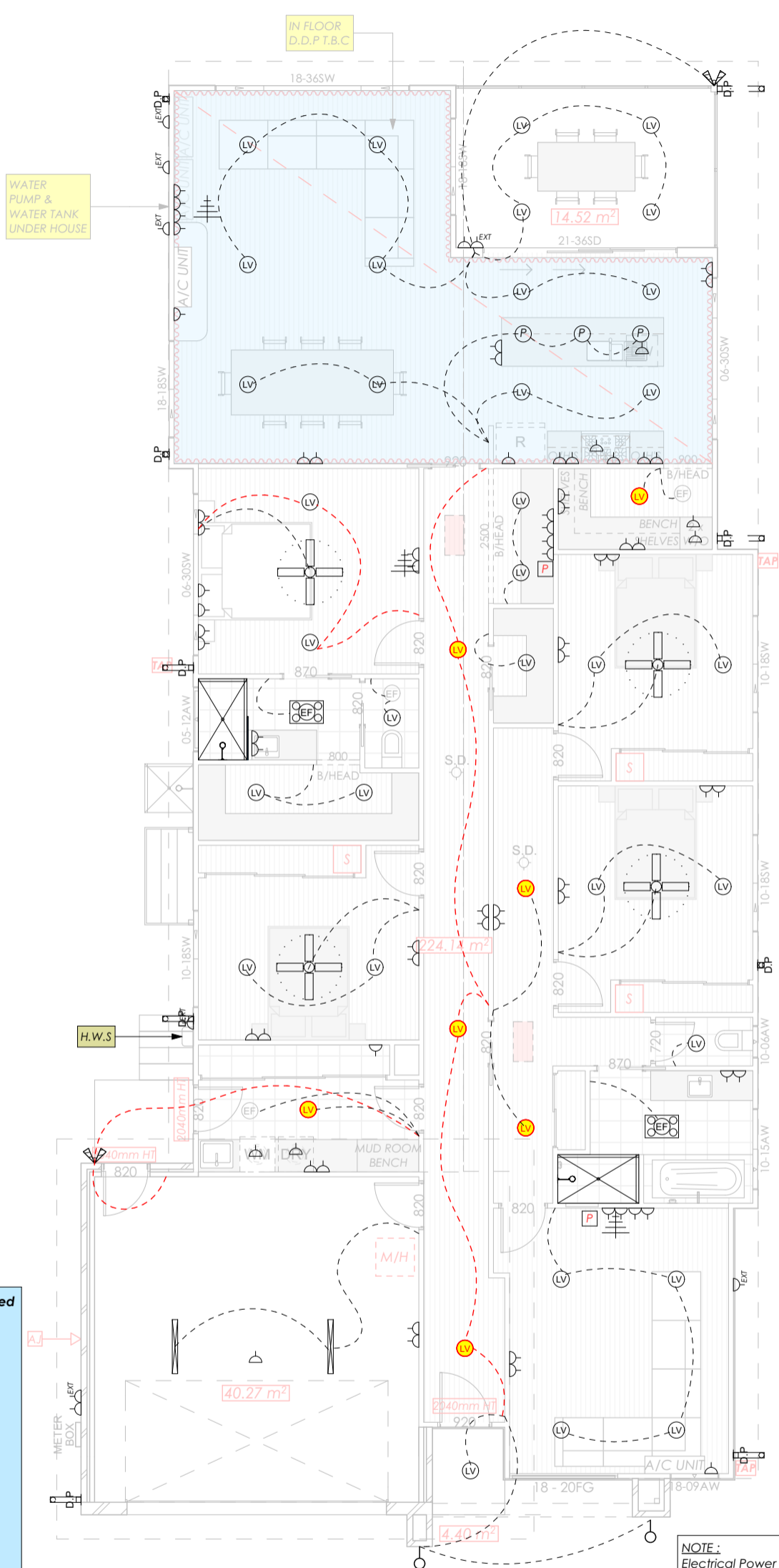
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NOTE:

- POSITION OF ELECTRICAL POINTS SUBJECTED TO CONSTRUCTION & WET AREA CONSTRAINTS
- MEASUREMENTS ARE APPROXIMATE ONLY.POINTS WILL BE PLACED AS CLOSE AS POSSIBLE TO LOCATION ON PLAN



ELECTRICAL LEGEND			
SYMBOL	NAME	WATTAGE	QTY
	METER BOX		1
	HOT WATER SYSTEM		1
	TV POINT		3
	S.M.O.K.E. DETECTOR		2
	PHONE POINT		2
	IXL TASTIC WITH EXHAUST FAN		2
	DOUBLE GPO		29
	EXTERNAL DOUBLE GPO		2
	EXTERNAL SINGLE GPO		5
	SINGLE GPO		14
	PIR SENSOR	36W	0
	SPOT LIGHT (SINGLE)	36W	0
	SPOT LIGHT (DOUBLE)	36W	2
	OUTSIDE FEATURE LIGHT	14W	2
	92mm LOW VOLTAGE DOWNLIGHT	9W	34
	125mm LOW VOLTAGE DOWNLIGHT	12W	7
	FLUORESCENT LIGHT	2x28W	2
	PENDANT LIGHT	14W	3
	SELF SEALING EXHAUST FAN		3
	HEATING DUCT OUTLET		0
	CEILING FAN		4
	CEILING FAN WITH LIGHT	14W	0
	TYPICAL LIGHT CIRCUIT		
	2 WAY LIGHT CIRCUIT		



Area	Area M2	Allowable wattage per M2	Total Wattage allowed
Dwelling	224.14	5	1121
Porch/Balcony/Decks	18.92	4	76
Garage	40.27	3	121
TOTAL AREA	283.33	TOTAL ALLOWABLE WATTS	1317
AS PER ELECTRICAL PLAN			
HOUSE	Globe Watt allowed	No. of light outlets	Total Watts
LED Downlights - Type 1	9	29	261
LED Downlights - Type 2	12	7	84
Pendants	14	3	42
TOTAL HOUSE WATTAGE			387
PORCH/DECKS/BALCONY	Globe Watt allowed	No. of light outlets	Total Watts
LED Downlights - Type 1	9	5	45
LED Downlights - Type 2	12	0	0
TOTAL PORCH/DECKS/BALCONY WATTAGE			45
GARAGE	Globe Watt allowed	No. of light outlets	Total Watts
Double fluorescent tube light	56	2	112
TOTAL GARAGE WATTAGE			112
TOTAL WATTAGE			544
DISCREPANCY			-773

NOTE:
Electrical Power points 300mm and 1100mm Above Floor Level, Light Switches 1100mm Above Floor Level.
THE ELECTRICIAN IS TO PROVIDE SINGLE GPO'S FOR THE FOLLOWING ITEMS

- REFRIGERATOR
- RANGE HOOD
- DISHWASHER
- HOT WATER SERVICE
- U/B OVEN
- MICROWAVE
- HEATER UNIT IN CEILING.
- (ALSO PROVIDE BATTEN LIGHT TO ROOF SPACE CLOSE TO HEATER UNIT AND ROOF ACCESS)

CARUBIA HOME DESIGNS

LEGEND HOMES

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A **ELECTRICAL PLAN**
1:100

PROJECT: PROPOSED NEW RESIDENCE
CLIENT: TOBY & MELISSA RICKMAN
12 THE BALCONY (LOT.32) LAKES ENTRANCE VIC 3909

REVISION NUMBER: 'REVISION-1'
DRAWING TITLE: ELECTRICAL PLAN

PROJECT NUMBER: 22039
DRAWING NUMBER: A10

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DATE: 13/12/2022
SCALE: AS NOTED @ A3

DESIGNATED BUSHFIRE PRONE AREA 12.5

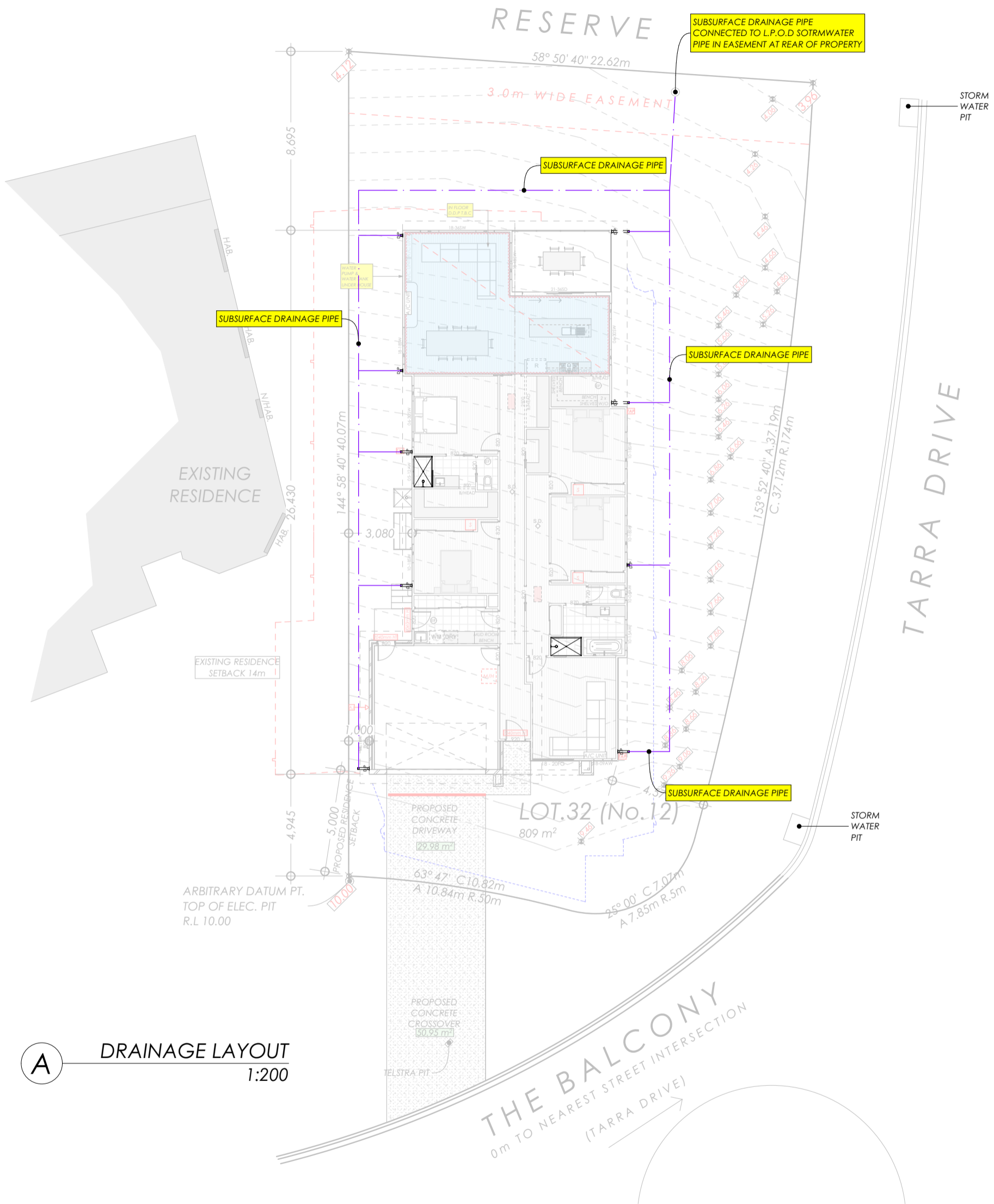
CONSTRUCTION REQUIREMENTS TO A MIN BAL 12.5 UNDER AS3959 2018 VIC CONSTRUCTION IN ACCORDANCE WITH SECTION 3 AND 5 OF AS3959-2018 VIC- DESIGN & CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

TRPGSBA5U6 13 Dec 2022

6.1 **NATIONWIDE HOUSE** (NATIONAL BUILDING CERTIFICATION)

Assessor: Jordan Tripodi
Accreditation No. DMN/16/1749
Address: 12 The Balcony Lakes Entrance VIC 3909
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128.2



A DRAINAGE LAYOUT
1:200



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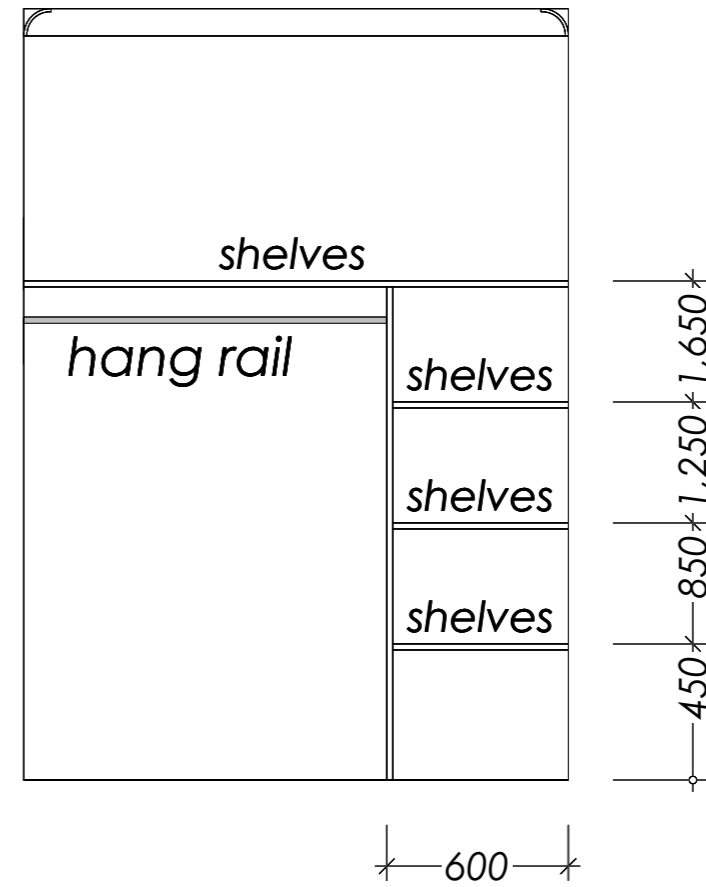
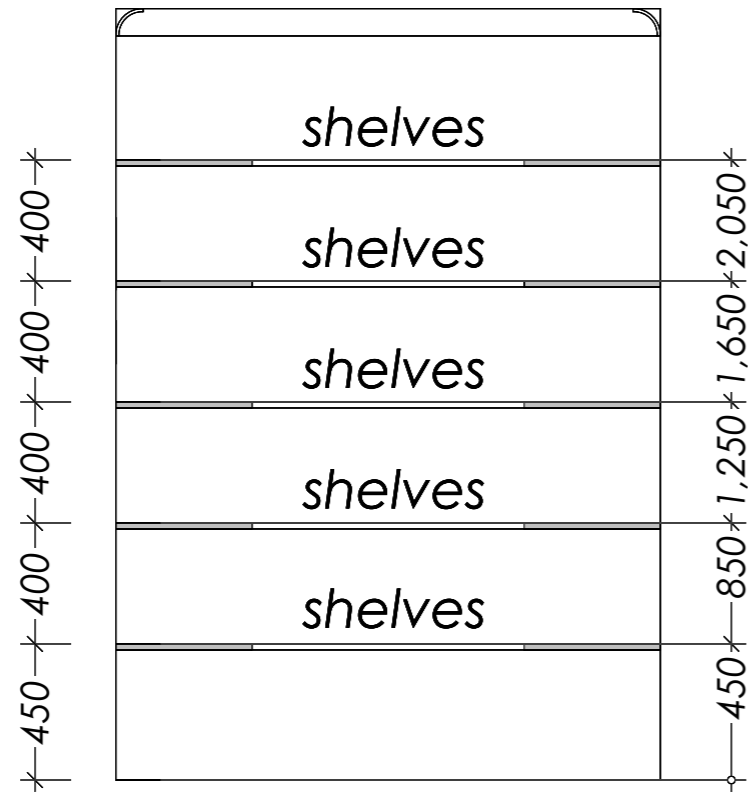
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REVISION NUMBER: 'REVISION-1'	DRAWING TITLE: DRAINAGE LAYOUT	
PROJECT NUMBER: 22039	ALL RIGHTS RESERVED - THIS PLAN IS THE PROPERTY OF LEGEND HOMES. THESE DRAWINGS ARE SUBJECT TO COPYRIGHT © ANY UNAUTHORISED COPYING OR REPRODUCTION, WITH OR WITHOUT MODIFICATIONS IS CONSIDERED AN INFRINGEMENT OF COPYRIGHT LAWS.	
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	SCALE: AS NOTED @ A3	

DESIGNATED BUSHFIRE PRONE AREA 12.5
CONSTRUCTION REQUIREMENTS TO A MIN BAL 12.5 UNDER AS3959 2018 VIC CONSTRUCTION IN ACCORDANCE WITH SECTION 3 AND 5 OF AS3959-2018 VIC- DESIGN & CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

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6.1
NATIONWIDE HOUSE ENERGY RATING SCHEME
128.2
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Accreditation No.: DMN/16/1749
Address: 12 The Balcony Lakes Entrance VIC 3909
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TYPICAL W.I.S/W.I.L.
SCALE 1 : 25

TYPICAL ROBE FITOUT
SCALE 1 : 25

2050mm High Shelf Subject to Door Height

LEGEND HOMES

BENSON INDUSTRIES

REVISION NUMBER: 'REVISION-1'
PROJECT NUMBER: 22039
DRAWING NUMBER: A12

CLIENT SIGNATURE: BUILDERS SIGNATURE

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PROJECT: PROPOSED NEW RESIDENCE
CLIENT: TOBY & MELISSA RICKMAN
12 THE BALCONY (LOT.32) LAKES ENTRANCE VIC 3909

DRAWING TITLE: TYPICAL SECTION DETAIL

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DESIGNATED BUSHFIRE PRONE AREA 12.5

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6.1
NATIONWIDE HOUSE ENERGY RATING SCHEME
128.2

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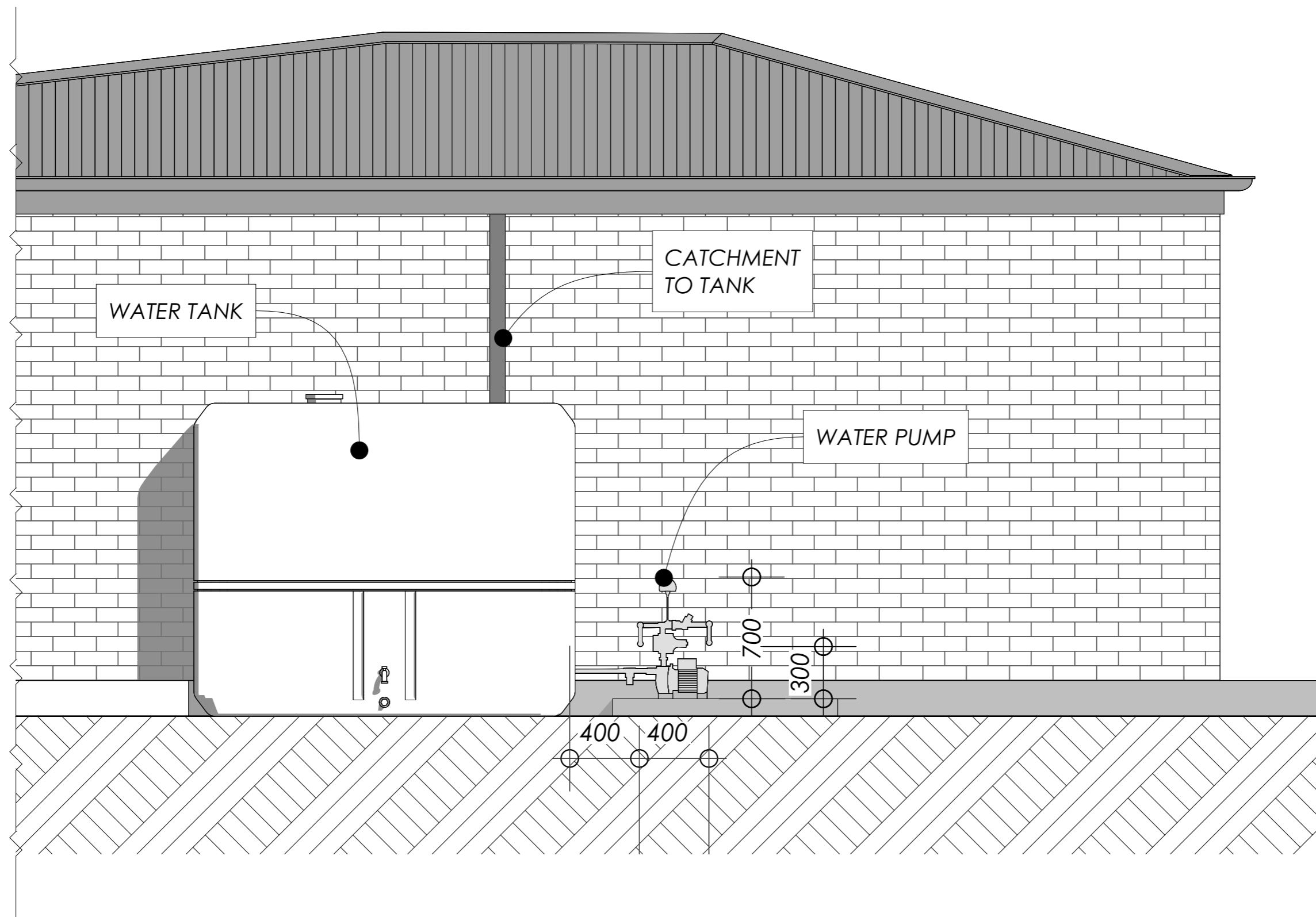
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HOME BUILDERS

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WATER PUMP INSTALLATION DETAIL



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REVISION NUMBER: 'REVISION-1'

PROJECT NUMBER: 22039

DRAWING NUMBER: A13

PROJECT: PROPOSED NEW RESIDENCE

CLIENT: TOBY & MELISSA RICKMAN

12 THE BALCONY (LOT.32) LAKES ENTRANCE VIC 3909

DRAWING TITLE: WATER PUMP INSTALLATION DETAIL

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SCALE: AS NOTED @ A3

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6.1 NATIONWIDE HOUSE

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Accreditation No. DMN/16/1749

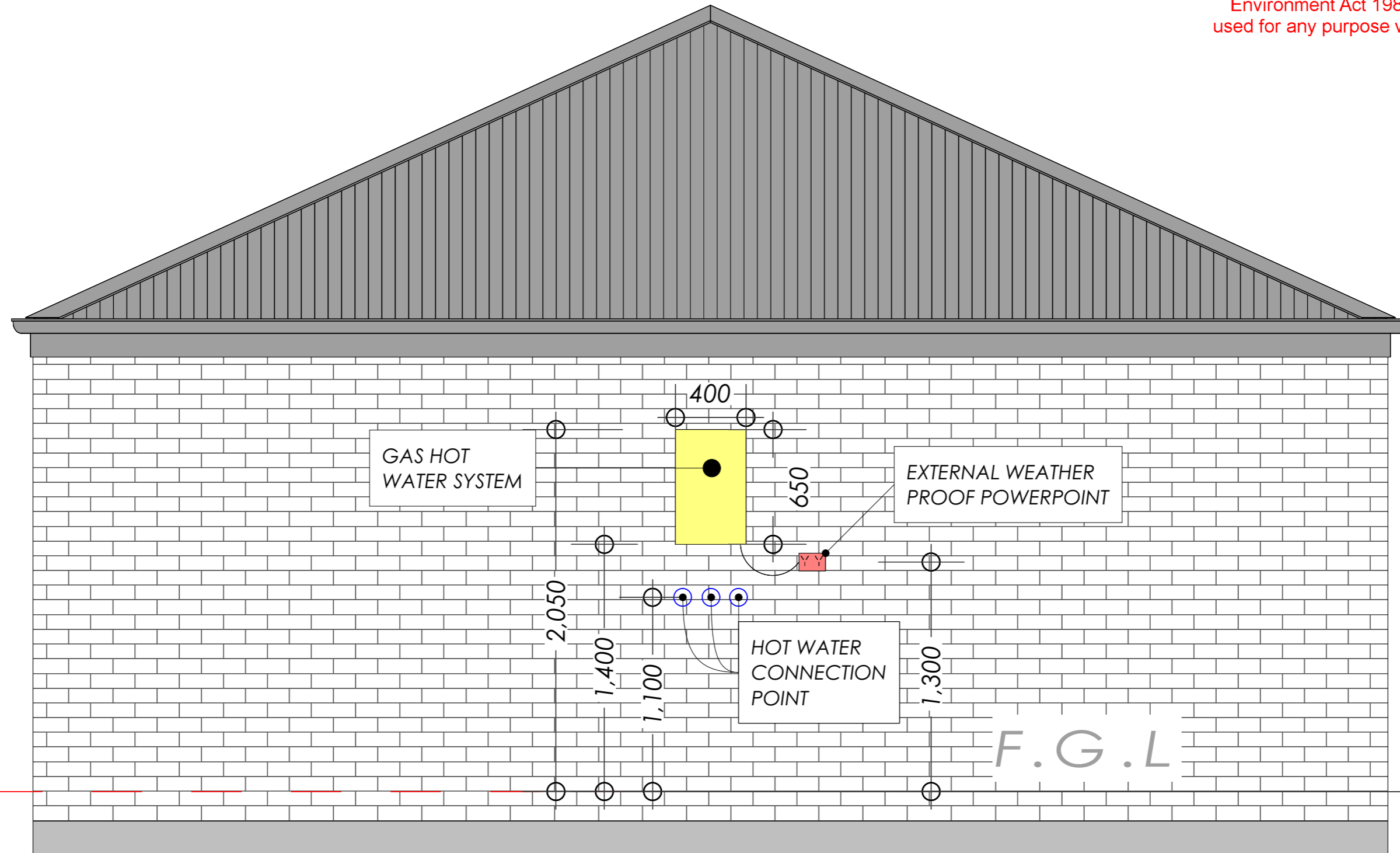
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GAS INSTANT HOT WATER SERVICE INSTALLATION DETAIL

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 REVISION NUMBER: 'REVISION-1'
 PROJECT NUMBER: 22039
 DRAWING NUMBER: A14

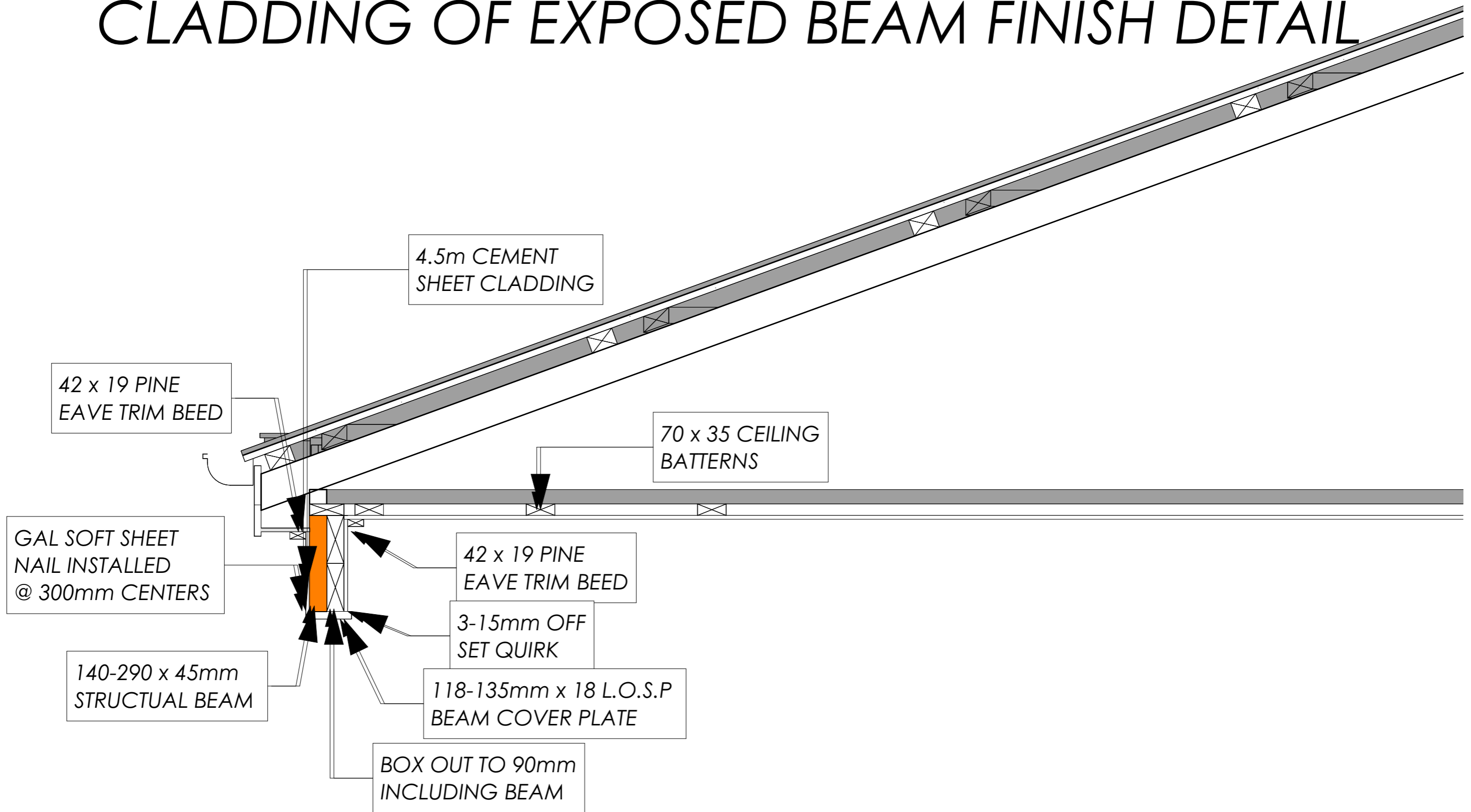
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6.1 NATIONWIDE HOUSE ENERGY RATING SCHEME
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CARUBIA
 HOME SERVICES
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OUTDOOR/ALFRESCO/PORCH CLADDING OF EXPOSED BEAM FINISH DETAIL



LEGEND HOMES

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PROJECT NUMBER: 22039
DRAWING NUMBER: A15

CLIENT SIGNATURE: BUILDERS SIGNATURE

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PROJECT: PROPOSED NEW RESIDENCE
CLIENT: TOBY & MELISSA RICKMAN
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DRAWING TITLE: EXPOSED BEAM FINISH DETAIL

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6.1
NATIONWIDE HOUSE BUILDING SCHEME
128.2

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Assessor: Jordan Tripodi
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