

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	69 Lakeview Drive LAKES ENTRANCE 3909 Lot: 8 PS: 907202
The application is for a permit to:	Development of a Dwelling and Associated Earthworks
<b>A permit is required under the following clauses of the planning scheme:</b>	
<b>Planning Scheme Clause</b>	<b>Matter for which a permit is required</b>
44.01-2 (EMO)	Construct a building or construct or carry out works
43.02-2 (DDO13)	Construct a building or construct or carry out works
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2024.402.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to the applicant giving notice</b>
---	---

If you object, the Responsible Authority will tell you its decision.

273 Main Street (PO Box 1618)  
 Bairnsdale VIC 3875  
 Website [www.eastgippsland.vic.gov.au](http://www.eastgippsland.vic.gov.au)  
 Email [feedback@egipps.vic.gov.au](mailto:feedback@egipps.vic.gov.au)  
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Telephone: (03) 5153 9500  
 Fax: (03) 5153 9576  
 National Relay Service: 133 677  
 ABN: 81 957 967 765

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## Planning Permit Application

### Applicant Details:

Applicant name:			
Business trading name: (if applicable) DEVELOPMENT SOLUTIONS VICTORIA PTY LTD			
Email address: ADMIN@DEVSOLVIC.COM.AU			
Postal address: 48 BAILEY STREET, BAIRNSDALE VIC			
			Postcode
			3 8 7 5
Phone number: Home:	Work: 03 5152 4858	Mobile:	

### Owners Details: (if not the applicant)

Name: MONCY JOSHUA AND JOSHUA MATHEW			
Business trading name: (if applicable) C/- DEVELOPMENT SOLUTIONS VICTORIA PTY LTD			
Email address: ADMIN@DEVSOLVIC.COM.AU			
Postal address: 48 BAILEY STREET, BAIRNSDALE VIC			
			Postcode
			3 8 7 5
Phone number: Home:	Work: 03 5152 4858	Mobile:	

### Description of the Land:

Street number: 69	Street name: LAKEVIEW DRIVE		
Town: LAKES ENTRANCE	Postcode		
Legal Description:			
Lot Number: 8	<input type="checkbox"/> Lodged plan	<input type="checkbox"/> Title plan	<input checked="" type="checkbox"/> Plan of Subdivision
Crown Allotment Number:		Number: 907202H	
Section Number:			
Parish/Township Name:			
Has there been a pre-application meeting: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Officers name:	
Your reference number: 24150			

#### Privacy Statement

The East Gippsland Shire Council asks for details about you to collect rates, approve permits and licences, and run a range of community services. The information you give to us on this form is used only for the reasons set out in the form and is not given to anybody else. Sometimes we may supply details about you to someone else, but only if we are allowed by law, or to protect someone or property.

When submitting documents to Council you are confirming that you have authority to use those documents. In the event that the giving of notice is required pursuant to Section 52 of the Planning and Environment Act 1987, you permit documents submitted as part of this application, including your full contact information to be made available for public viewing on Council's website

When information is given out, Council will always try to make sure your privacy is protected in line with the *Privacy and Data Protection Act 2014*. You may ask for more information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail [feedback@egipps.vic.gov.au](mailto:feedback@egipps.vic.gov.au)

# East Gippsland Shire Council

273 Main Street (PO Box 1618)  
 Bairnsdale VIC 3875  
 Website [www.eastgippsland.vic.gov.au](http://www.eastgippsland.vic.gov.au)  
 Email [feedback@egipps.vic.gov.au](mailto:feedback@egipps.vic.gov.au)  
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Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Will the proposal result in a breach of a registered covenant restriction or agreement?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
<b>Description of proposal:</b> Describe the use, development or other matter which needs a permit: DEVELOPMENT OF A DWELLING AND ASSOCIATED EARTHWORKS		
<b>Existing conditions:</b> Describe how the land is used and developed currently: VACANT LAND		
Estimated cost of development: Note: You may be required to verify this estimate	\$ 510,000.00	

If you need more space or have more information, please attach with this form.

Please make sure that:

- Form is filled in fully and signed
- The correct fee is paid or payment enclosed
- Attached any supporting information or documents
  - **Required** - Title (must have been generated within the past 30 days)
  - Covenants or Section 173 agreements
  - Site plan/floor - plan/elevations
  - Planning report
  - Supporting information/reports (e.g. – Land Capability Assessment, Bushfire Management Statement, Geotechnical report/waiver)

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958** Page 1 of 1

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VOLUME 12488 FOLIO 402

Security no : 124119490052M  
Produced 31/10/2024 01:30 PM

**LAND DESCRIPTION**

Lot 8 on Plan of Subdivision 907202H.  
PARENT TITLE Volume 12328 Folio 273  
Created by instrument PS907202H 07/07/2023

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Joint Proprietors  
MONCY JOSHUA  
JOSHUA MATHEW  
AX071320K 21/07/2023

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AV789562X 28/06/2022

**DIAGRAM LOCATION**

SEE PS907202H FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 69 LAKEVIEW DRIVE LAKES ENTRANCE VIC 3909

**ADMINISTRATIVE NOTICES**

NIL

DOCUMENT END



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Document Identification	<b>PS907202H</b>
Number of Pages (excluding this cover sheet)	<b>6</b>
Document Assembled	<b>31/10/2024 13:30</b>

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<h1>PLAN OF SUBDIVISION</h1>	<p><b>LOCATION OF LAND</b></p> <p><b>PARISH:</b> COLQUHOUN  <b>TOWNSHIP:</b> LAKES ENTRANCE  <b>SECTION:</b> A  <b>CROWN ALLOTMENT:</b> 30<sup>C</sup>, &amp; 30<sup>G</sup> (PARTS)  <b>CROWN PORTION:</b> ———  <b>TITLE REFERENCE:</b> VOL 12328 FOL 273</p> <p><b>LAST PLAN REFERENCE:</b> LOT 1 - PS847919Q</p> <p><b>POSTAL ADDRESS:</b>  <b>(at time of subdivision)</b> 55 LAKEVIEW DRIVE,                  LAKES ENTRANCE, 3909</p> <p><b>MGA2020 CO-ORDINATES:</b> <b>E:</b> 586 970      <b>ZONE:</b> 55  <b>(of approx centre of land in plan)</b> <b>N:</b> 5808 200</p>
------------------------------	--

Council Name: East Gippsland Shire Council  
 Council Reference Number: PS907202H  
 Planning Permit Reference: 415/2021/P  
 SPEAR Reference Number: S189531B

**Certification**

This plan is certified under section 6 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied

Digitally signed by: Robert Pringle for East Gippsland Shire Council on 26/06/2023

**Statement of Compliance** issued: 04/07/2023

VESTING OF ROADS AND/OR RESERVES		NOTATIONS
IDENTIFIER	COUNCIL/BODY/PERSON	
RI ROAD RESERVE No. 1	EAST GIPPSLAND SHIRE COUNCIL EAST GIPPSLAND SHIRE COUNCIL	
NOTATIONS		
DEPTH LIMITATION	DOES NOT APPLY	
<p><b>SURVEY:</b> This plan is based on survey.</p> <p><b>STAGING:</b> This is not a staged subdivision. Planning Permit No. 415/2021/P</p> <p>This survey has been connected to permanent marks No(s). ———</p> <p>In Proclaimed Survey Area No. NIL</p>		

**EASEMENT INFORMATION**

LEGEND:    A - Appurtenant Easement    E - Encumbering Easement    R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-7	DRAINAGE	5	LPI39318	LAND IN LPI39318
E-4, E-7, E-9	SEWERAGE	SEE DIAG.	PS847919Q	EAST GIPPSLAND REGION WATER CORPORATION
E-8, E-9	WATER SUPPLY	2	PS847919Q	EAST GIPPSLAND REGION WATER CORPORATION
E-2	DRAINAGE & SEWERAGE	3	THIS PLAN	EAST GIPPSLAND REGION WATER CORPORATION & EAST GIPPSLAND SHIRE COUNCIL
E-3	DRAINAGE	SEE DIAG.	THIS PLAN	EAST GIPPSLAND SHIRE COUNCIL
E-10	WATER SUPPLY	SEE DIAG.	THIS PLAN	EAST GIPPSLAND REGION WATER CORPORATION

<p><b>Crowthier &amp; Sadler</b> Pty. Ltd.</p> <p>LICENSED SURVEYORS &amp; TOWN PLANNERS                  162 MACLEOD STREET, BAIRNSDALE, VIC., 3875                  P. (03) 6162 6011 E. contact@crowthiersadler.com.au</p>	SURVEYORS FILE REF: <b>19900</b>	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 5 SHEETS
	Digitally signed by: Michael J Sadler, Licensed Surveyor, Surveyor's Plan Version (8), 24/05/2023, SPEAR Ref: S189531B	PLAN REGISTERED TIME: 4.08pm DATE: 07/07/2023 J. Beckingham Assistant Registrar of Titles	

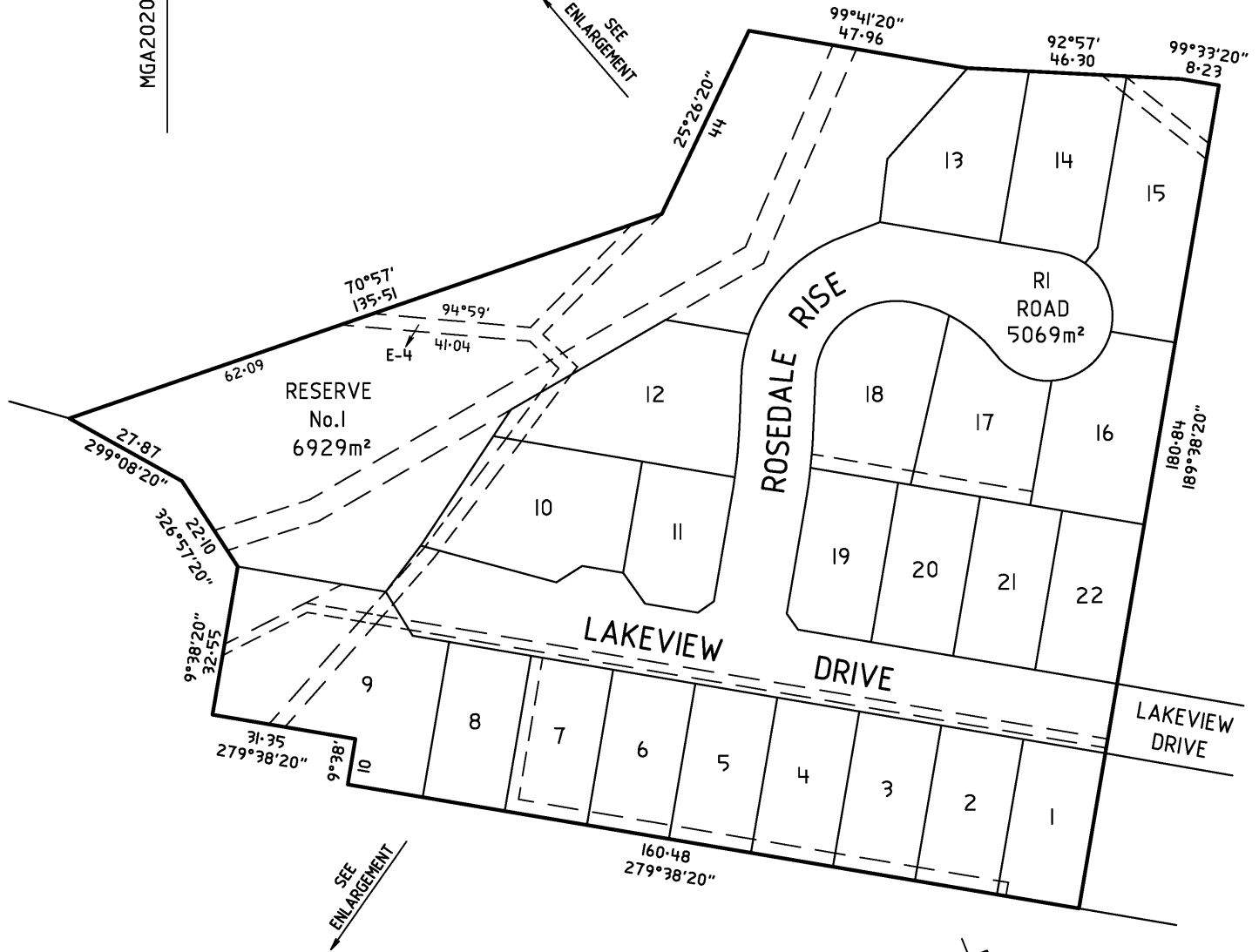
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PS 907202H

MGA2020 ZONE 55

FOR ENLARGEMENT  
SEE SHEET 3

SEE  
ENLARGEMENT



FOR ENLARGEMENT  
SEE SHEET 4

SEE  
ENLARGEMENT

FOR ENLARGEMENT  
SEE SHEET 5

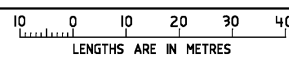
SEE  
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SURVEYORS REF  
19900

SCALE  
1:1000



ORIGINAL SHEET  
SIZE: A3

SHEET 2

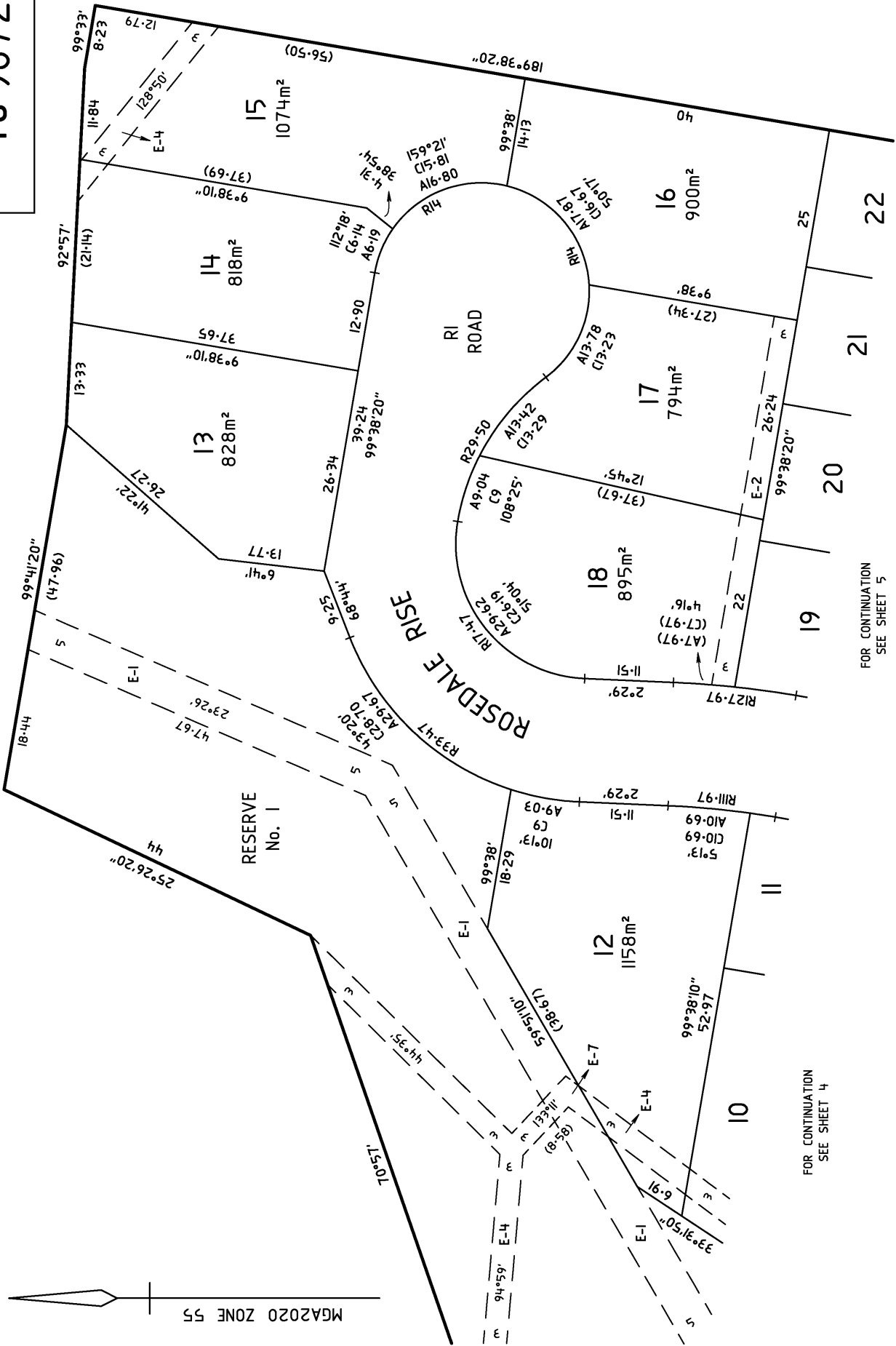
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Surveyor's Plan Version (8),  
24/05/2023, SPEAR Ref: S189531B

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FOR CONTINUATION SEE SHEET 5

FOR CONTINUATION SEE SHEET 4

SURVEYORS REF 19900	SCALE 1:500	LENGTHS ARE IN METRES 0 5 10 15 20	ORIGINAL SHEET
			SHEET 3 SIZE: A3

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SPEAR Ref: S189531B

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Surveyor's Plan Version (8),  
24/05/2023, SPEAR Ref: S189531B

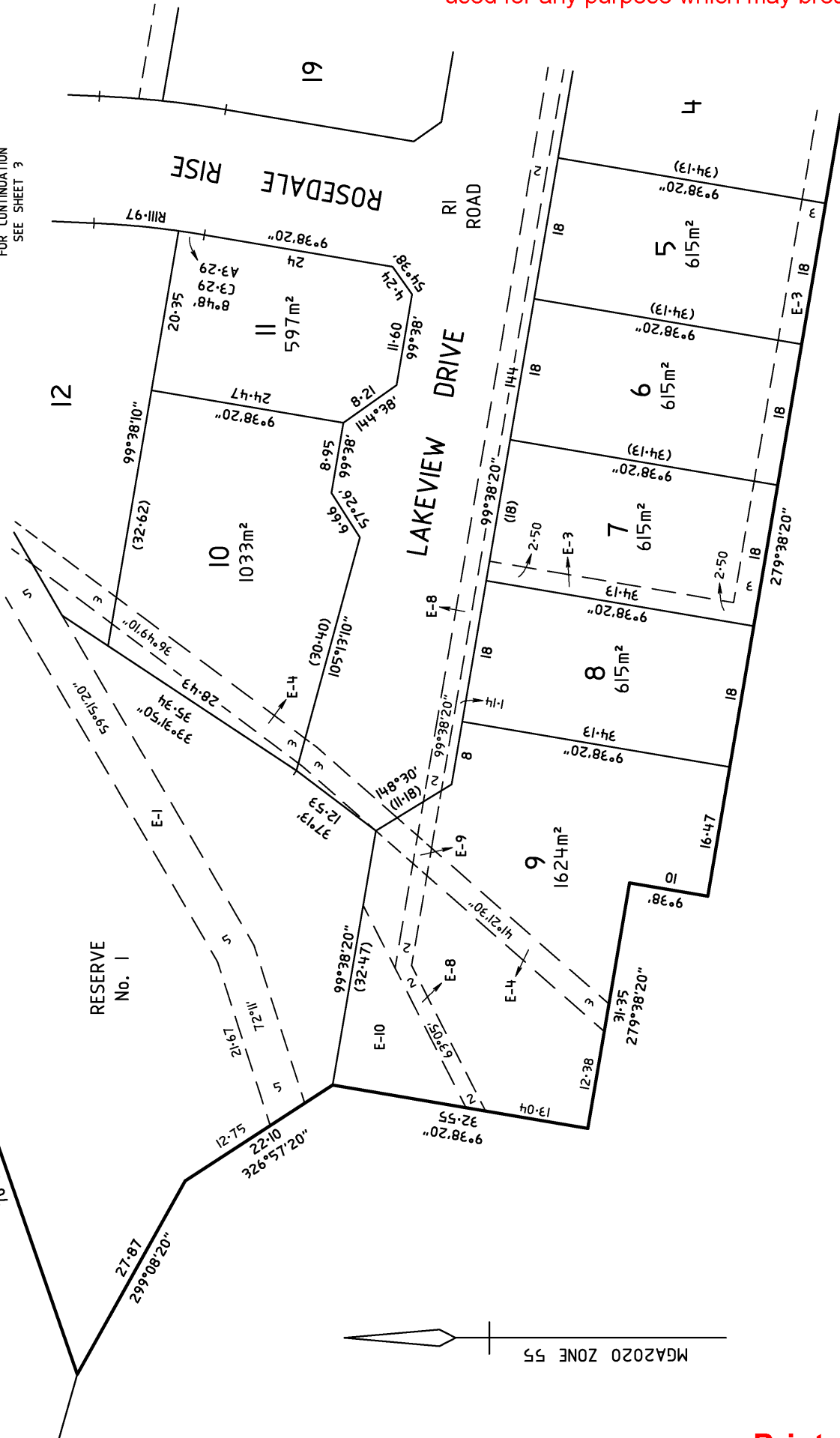
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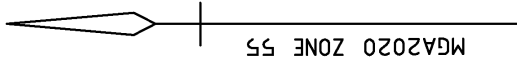
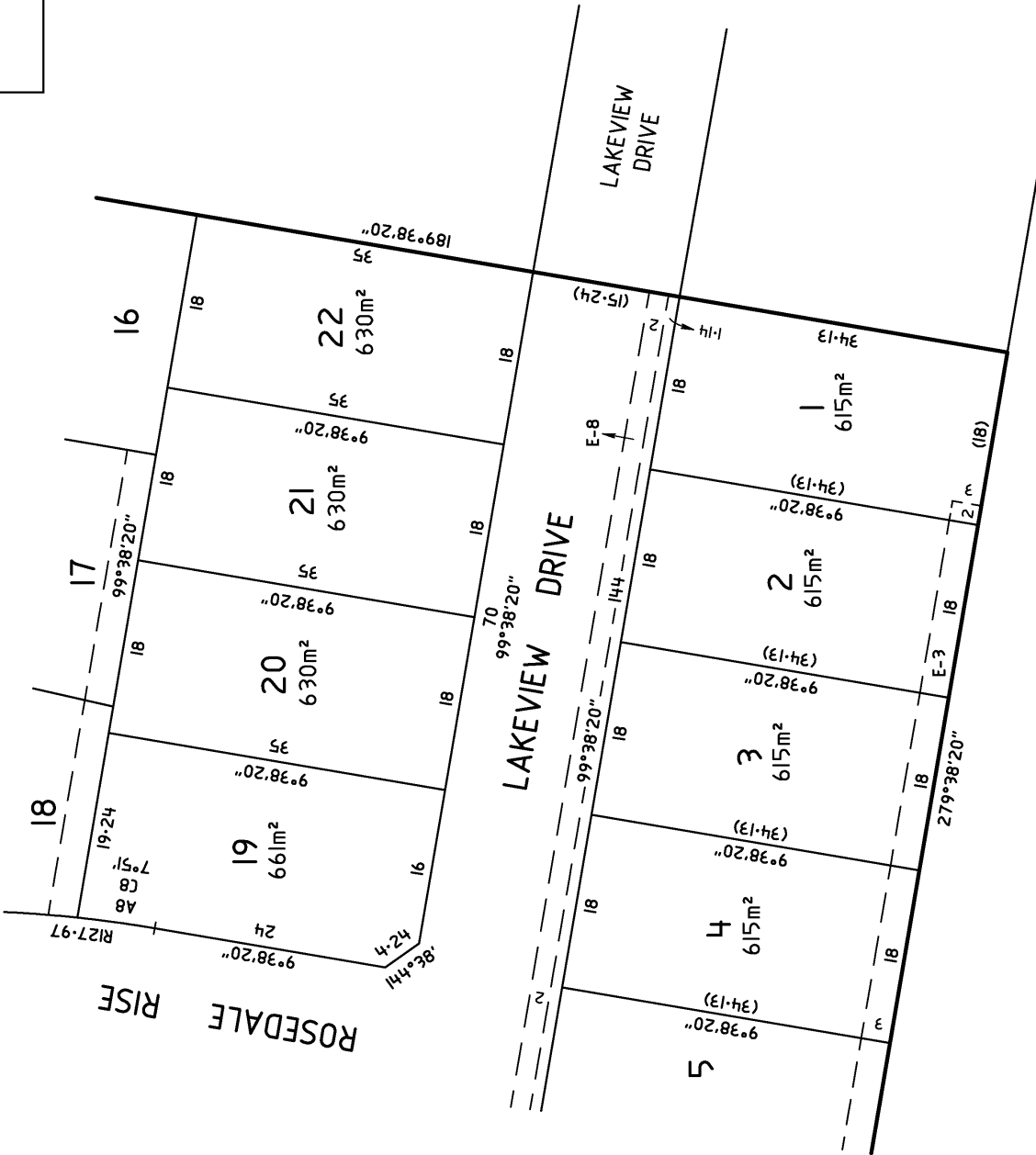


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19900				1:500		SHEET 4	
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# MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

## PLAN NUMBER

### PS907202H

WARNING: THE IMAGE OF THIS DOCUMENT OF THE REGISTER HAS BEEN DIGITALLY AMENDED. NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL DOCUMENT OF THE REGISTER.

AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
LOTS 13 & 14		PLAN AMENDED	AX035093X	11/07/23	2	RR



# Department of Environment, Land, Water & Planning

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

Produced 13/11/2024 03:55:55 PM

Status	Registered	Dealing Number	AV789562X
Date and Time Lodged	28/06/2022 09:32:25 AM		

### Lodger Details

Lodger Code	17888B
Name	WAKEFIELD VOGRIG & BOOTE LAWYERS
Address	
Lodger Box	
Phone	
Email	
Reference	BB:37621:55Lakes173.

## APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
--------------	----------

### Privacy Collection Statement

The information in this form is collected under statutory authority and used for the purpose of maintaining publicly searchable registers and indexes.

### Estate and/or Interest

FEE SIMPLE

### Land Title Reference

12328/273

### Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173  
Planning & Environment Act - section 173

### Applicant(s)

Name	EAST GIPPSLAND SHIRE COUNCIL
Address	
Street Number	273
Street Name	MAIN
Street Type	STREET
Locality	BAIRNSDALE
State	VIC
Postcode	3875

### Additional Details



# Department of Environment, Land, Water & Planning

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## Electronic Instrument Statement

Refer Image Instrument

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The applicant requests the recording of this Instrument in the Register.

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### Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	EAST GIPPSLAND SHIRE COUNCIL
Signer Name	BRITTANY RIANNE BECA
Signer Organisation	PARTNERS OF WAKEFIELD VOGRIG & BOOTE LAWYERS
Signer Role	LAW PRACTICE
Execution Date	28 JUNE 2022

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### File Notes:

NIL

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This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



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Document Identification	<b>AV789562X</b>
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Document Assembled	

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**EAST GIPPSLAND SHIRE COUNCIL**

**AND**

**55 LAKEVIEW PTY LTD ACN 644 580 781**

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**PLANNING AND ENVIRONMENT ACT 1987**  
**SECTION 173 AGREEMENT**

---

**Wakefield Vogrig & Boote Lawyers**

54 Albert Street, Warragul VIC 3820  
PO Box 329, Warragul VIC 3820  
DX 82010 Warragul  
Phone: 03 5623 5166  
Fax: 03 5623 4842  
Email: [wgl@wvblawyers.com.au](mailto:wgl@wvblawyers.com.au)  
Ref: TH:BB:37621

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AVV789562X



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**THIS AGREEMENT** dated 6 day of June 2022

**BETWEEN** **East Gippsland Shire Council** of 273 Main Street, Bairnsdale, Victoria  
(Responsible authority)

**AND** **55 Lakeview Pty Ltd ACN 644 580 781** of 100 Spring Street N, Port Melbourne, Victoria (**Owner**)

## RECITALS

- A. The owner is the owner and registered by the Registrar of Titles as the proprietor of an estate in fee simple in the land at 55 Lakeview Drive, Lakes Entrance being lot 1 on plan of subdivision PS847919Q and more particularly described in certificate of title volume 12328 folio 273 (subject land).
- B. The responsible authority is responsible for the administration and enforcement of the East Gippsland planning scheme (planning scheme) pursuant to the provisions of the Planning and Environment Act 1987 (the Act).
- C. On 11 March 2022 the responsible authority issued planning permit number 415/2021/P allowing the Multi Lot Subdivision, roadworks associated with the subdivision and removal of Native Vegetation in accordance with the endorsed plans (planning permit).
- D. Condition 10 of the planning permit requires the owner to enter into this agreement to provide for the matters set out in that condition.
- E. The responsible authority and the owner have agreed that, without restricting or limiting their respective powers to enter into this agreement, and insofar as it can be so treated, this agreement is an agreement entered into pursuant to section 173 of the Act.
- F. The responsible authority and the owner have entered into this agreement in order to achieve or advance the objectives of planning in Victoria or the objectives of the planning scheme.

## OPERATIVE PART

### 1. Interpretation

This agreement is governed by the laws of Victoria and the parties submit to the non-exclusive jurisdiction of the courts of that State.

In the interpretation of this agreement:

- (a) References to legislation or provisions of legislation include changes or re-enactments of the legislation and statutory instruments and regulations issued under the legislation;

- (b) Words denoting the singular include the plural and vice versa, words denoting individuals or persons include bodies corporate and vice versa, words denoting one gender include all genders and references to documents or agreements also mean those documents or agreements as changed, novated or replaced;
- (c) Grammatical forms of defined words or phrases have corresponding meanings;
- (d) Parties must perform their obligations on the dates and times fixed by reference to the capital city of Victoria;
- (e) Reference to an amount of money is a reference to the amount in the lawful currency of the Commonwealth of Australia;
- (f) If the day on or by which anything is to be done is a Saturday, a Sunday or a public holiday in the place in which it is to be done, then it must be done on the next business day;
- (g) References to a party are intended to bind their heirs, executors, administrators, successors and assigns; and
- (h) Obligations under this agreement affecting more than one party bind them jointly and each of them severally.

## 2. Definitions

---

In this agreement unless inconsistent with the context or subject matter:

- (a) Act means the Planning and Environment Act 1987;
- (b) Agreement means this agreement and any agreement executed by the parties varying or expressed to be supplemental to this agreement;
- (c) Subject land means the land described in recital A;
- (d) Owner means the owner for the time being of the land and the person or persons entitled from time to time to be registered by the Registrar of Titles as the proprietor of an estate in fee simple in the land or any part thereof, and includes a mortgagee in possession;
- (e) Planning permit mean the planning permit referred to in recital C, including any plans endorsed under the planning permit;
- (f) Planning scheme means the East Gippsland planning scheme and any successor instrument or other planning scheme which applies to the subject land;
- (g) Responsible authority means East Gippsland Shire Council or its successor as the authority responsible for administering and enforcing the planning scheme and includes its agents, officers, employees, servants, workers and contractors; and
- (h) Tribunal means the Victorian Civil and Administrative Tribunal or any successor tribunal, court, institution or body.

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**3. Specific obligations of the owner**

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The owner covenants with the responsible authority that:

- (a) Any dwelling on each lot must include a rainwater tank having a minimum storage capacity of 5,000 litres; and
- (b) The rainwater tank must collect rainwater runoff from the roof of the dwelling; and
- (c) The rainwater tank must be used as the primary water source for flushing of toilets, laundry services and also include an external tap for garden irrigation.

---

**4. Further obligations of the owner**

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The owner further covenants that:

- (a) The owner will not sell, transfer, dispose of, assign, mortgage or otherwise part with possession of the subject land or any part of it without first disclosing to its successors the existence and nature of this agreement;
- (b) The owner will do all that is necessary to enable the responsible authority to make an application to the Registrar of Titles to make a recording of this agreement on the certificate of title to the subject land in accordance with section 181 of the Act, including the signing of any further agreement, acknowledgment or other document;
- (c) The owner shall immediately on demand pay the reasonable legal costs and fees incurred and incidental to the preparation and execution of this agreement and the registration hereof pursuant to section 181 of the Act, together with all costs of enforcing this agreement if deemed necessary by the responsible authority. The owner hereby agrees that any such costs are and remain a charge on the subject land until paid, and consents to the responsible authority registering a caveat on the certificate of title to the subject land in respect of any such costs and acknowledges that any such costs shall be capable of being recovered by the responsible authority in any court of competent jurisdiction as a civil debt recoverable;
- (d) That until such time as this agreement is registered on the title to the subject land, the owner shall ensure that successors in title will give effect to this agreement, and do all acts and sign all documents which will require those successors to give effect to this agreement, including executing a deed agreeing to be bound by the terms of this agreement;
- (e) The owner agrees to indemnify and keep indemnified the responsible authority from and against all costs, expenses, losses or damages that it may sustain, incur, suffer or be or become liable for or in respect of any suit, action, proceeding, judgment or claim brought by any person arising from or referable to this agreement and/or any non-compliance with this agreement; and
- (f) The owner agrees to allow the responsible authority to enter the subject land at any reasonable time to assess compliance with this agreement.

---

## **5. Owner's warranties and acknowledgements**

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- (a) The owner warrants that:
- (i) It is the registered proprietor, or entitled to be so, of the subject land;
  - (ii) There are no mortgages, liens, charges or other encumbrances affecting the subject land which are not disclosed by the usual searches; and
  - (iii) If the subject land is affected by a mortgage, the mortgagee of the subject land consents to the owner entering into this agreement and the agreement being registered on the title to the subject land.
- (b) The owner acknowledges that any obligations imposed on the owner under this agreement take effect as separate and several covenants which are annexed to the subject land and run at law and in equity with the land and every part thereof and bind the owner, its successors, assigns and transferees, and the registered proprietor for the time being of the whole or any part of the subject land.

---

## **6. Further assurance**

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The parties to this agreement must do or cause to be done all things that are reasonably necessary to give effect to this agreement.

---

## **7. Default**

---

If the owner defaults or fails to perform any of its obligations under this agreement the responsible authority may, without prejudice to any other remedies, rectify and remedy such default and the cost of doing so shall be borne by the owner. The owner hereby consents to the responsible authority registering a caveat on the certificate of title to the subject land in respect of any such costs, and acknowledges that any such costs shall be capable of being recovered by the responsible authority in any court of competent jurisdiction as a civil debt recoverable.

---

## **8. No waiver**

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Any time or other indulgence granted by the responsible authority to the owner or any variation of the terms and conditions of this agreement or any judgment or order obtained by the responsible authority against the owner will not in any way amount to a waiver of any of the rights or remedies of the responsible authority in relation to the terms of this agreement.

---

## **9. No fettering of powers of responsible authority**

---

The owner expressly acknowledges and agrees that nothing in this agreement nor the performance by the owner of any of its obligations under this agreement does or will restrain, limit or otherwise fetter the exercise by the responsible authority of the powers,

duties and discretions that the responsible authority has or may have, as planning authority, responsible authority or otherwise, under the Act or under the planning scheme to consider, approve, amend or to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification relating to any use or development, or in relation to the commencement or initiation of any enforcement action or proceeding whatsoever.

## 10. Entire agreement

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This agreement constitutes the entire agreement between the parties in connection with its subject matter and supersedes all previous agreements or understandings between the parties in connection with its subject matter.

## 11. Severability

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If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this agreement is unenforceable, illegal or void then it shall be severed and the other provisions of this agreement shall remain operative and be of full force and effect.

## 12. Disputes

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- (a) If there is a dispute between the parties concerning the interpretation or implementation of this agreement, that dispute must be referred to the tribunal for resolution to the extent permitted by the Act.
- (b) If there is a dispute concerning any matter which is not referable to the tribunal under the Act, that dispute must be referred for arbitration by an arbitrator agreed upon in writing by the parties, or, in the absence of such agreement the chair of the Victorian Chapter of the Institute of Arbitrators Australia or his or her nominee, for arbitration.
- (c) The parties shall each be entitled to legal representation for the purposes of any proceedings or arbitration referred to clause 12(a) or (b) of this agreement unless the tribunal or arbitrator otherwise directs, and each party must bear its own costs.

## 13. Commencement of agreement

---

Unless otherwise provided in this agreement, this agreement shall commence on the date of this agreement.



Execution page

SIGNED AS AN AGREEMENT

SIGNED BY THE COMMON SEAL of the East Gippsland Shire Council was hereunto affixed on the 6 day of June 22, in the presence of:

*Michelle Van Aarde*

Signature of witness

*Michelle Van Aarde*

Print name of witness

*[Handwritten Signature]*

Chief Executive

EXECUTED BY 55 Lakeview Pty Ltd  
ACN 644 580 781

*[Handwritten Signature]*

Director

Name: Andrew Edwin Hubbard

644 580 781

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Execution page

SIGNED AS AN AGREEMENT

**Mortgagee's Consent**

Alternative Marketing Solutions Pty Ltd being registered as the proprietors of mortgage No AV532714M consents to the owner entering into this Agreement and in the event that the Mortgagee becomes mortgagee-in-possession, agrees to be bound by the covenants and conditions to this Agreement.

Dated this  17 day of MAY 2022

---

Anthony Charles Bates  
**Director**

AV532714M



NOV  
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24

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**DEVELOPMENT SOLUTIONS**  
VICTORIA

APPLICATION FOR PLANNING PERMIT

# DEVELOPMENT OF A DWELLING AND ASSOCIATED EARTHWORKS

69 LAKEVIEW DRIVE, LAKES ENTRANCE, 3909  
JOSHUA MATHEW AND MONCY JOSHUA  
REF: 24150





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5	Planning Assessment	17
6	Conclusion	19

## APPENDIX

A	Copy of Title
B	Proposed Development Plans
C	Geotechnical Risk Assessment waiver
D	Colour Schedule

## DOCUMENT REVISION

1	Draft Report	DAC	14/11/2024
2	Final Report	CMC	26/11/2024

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## 1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of Joshua Mathew and Moncy Joshua, the owners of land and the applicants for this planning permit application for the development of a dwelling and associated earthworks at 69 Lakeview Drive, Lakes Entrance.

Our client's intention is to develop the existing vacant allotment with a double storey dwelling that will contribute to housing supply and provide for a modern, comfortable and functional dwelling within an existing residential area of Lakes Entrance.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

<b>Address</b>	69 Lakeview Drive, Lakes Entrance, 3909
<b>Site Description</b>	Lot 8 on Plan of Subdivision 907202H
<b>Title Particulars</b>	Volume 12488 Folio 402
<b>Site Area</b>	615m <sup>2</sup>
<b>Proposal</b>	Development of a Dwelling and Associated Earthworks
<b>Planning Scheme</b>	East Gippsland Planning Scheme
<b>Zone</b>	General Residential Zone – Schedule 1
<b>Overlays</b>	Design and Development Overlay – Schedule 13 Erosion Management Overlay
<b>Aboriginal Cultural Heritage</b>	Identified as an area of Cultural Heritage Sensitivity
<b>Permit Triggers</b>	Clause 44.01-2 Erosion Management Overlay – Buildings and Works Clause 43.02.2 Design and Development Overlay – Buildings and Works
<b>Notice</b>	Exempt from notice at Clause 44.01-7
<b>Referrals</b>	No referrals required
<b>Work Authority Licence</b>	Not Applicable
<b>Planning Scheme requirements</b>	Municipal Planning Strategy – Clause 02 Settlement – Growth area town– Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Planning Policy Framework – Clause 10 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Erosion and landslip – Clause 13.04-2S Built environment and heritage – Clause 15 Housing – Clause 16 Design and Development Overlay - Clause 43.02 Erosion Management Overlay - Clause 44.01 Decision guidelines – Clause 65

## 2. SITE CONTEXT

### Site

The subject site is located at 69 Lakeview Drive, Lakes Entrance. A copy of the Title and Plan of Subdivision is contained in **Appendix A**. The title is affected by a Section 173 Agreement registered as AV789562X.

### AV789562X

This agreement requires any dwelling to have a 5,000 litre rainwater tank that collects roof runoff and serves as the primary water source for toilet flushing, laundry, and garden irrigation.

The subject site is rectangular in shape with a total area of approximately 615m<sup>2</sup> and is currently vacant land.

The site is undulating in nature with a downslope towards the western boundary. Details of the site are depicted in the photographs provided below.

Access to the subject site is via an existing concrete crossover along the northern boundary, directly from Lakeview Drive. Lakeview Drive is a bitumen sealed road with a concrete extension at the western end. Lakeview Drive traverses in an east to west direction.



**Surrounds**

The land in this locality is predominantly residential and public land.

Adjoining the northern boundary of the subject site is Lakeview Drive and further vacant residential land. Adjoining the eastern and western boundaries is vacant residential land and land adjoining the southern boundary comprises existing residential development and associated facilities.

Lakes Entrance is a coastal township and popular holiday location on the Princes Highway approximately 40 kilometres southeast of Bairnsdale. Lakes Entrance contains a full range of community and commercial facilities.

The subject site in relation to Lakes Entrance as well as the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2** and in the aerial photograph below.



Figure 1 – Locality Plan – 69 Lakeview Drive, Lakes Entrance (source: mapshare.vic.gov.au)

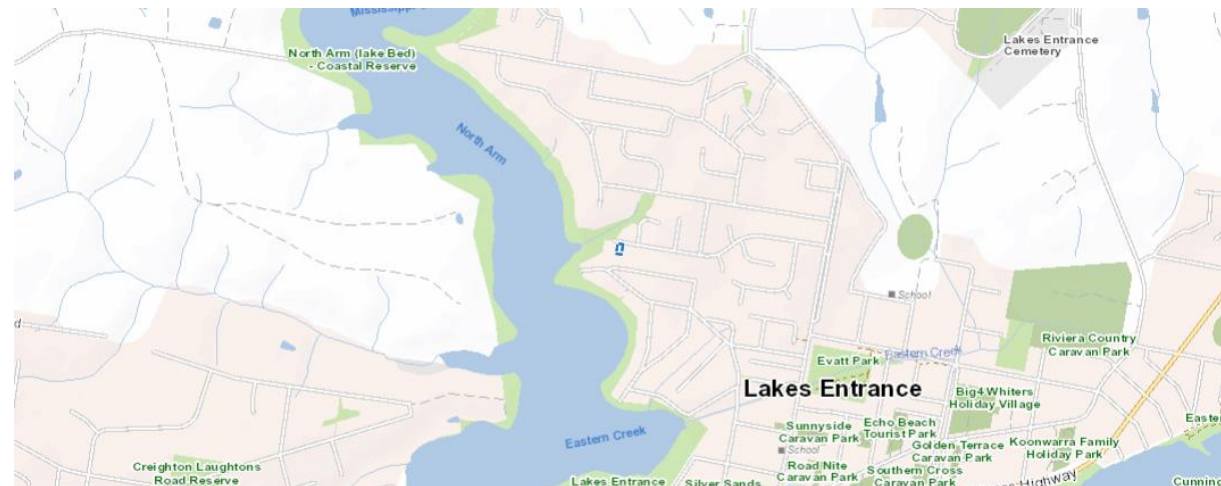


Figure 2 – Locality Plan – 69 Lakeview Drive, Lakes Entrance (source: mapshare.vic.gov.au)

Photograph 1 – Aerial Photograph of the subject site and surrounding land  
– 69 Lakeview Drive, Lakes Entrance (source: dpi.vic.gov.au)  
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**Photograph 2** – Subject site at 69 Lakeview Drive, Lakes Entrance.



**Photograph 4** – Southern portion of subject site facing southeast.



**Photograph 6** – Subject site facing east.



**Photograph 3** – Existing driveway access to subject site.



**Photograph 5** – Subject site facing southwest.



**Photograph 7** – Southern portion of subject site facing north.



**Photograph 8** – Subject site facing southeast.



**Photograph 10** – Southern portion of subject site facing northwest.



**Photograph 12** – Subject site facing north.



**Photograph 9** – Subject site facing east.



**Photograph 11** – Neighbouring property adjoining the southern boundary at 54 and 56 Bogong Street, Lakes Entrance.



**Photograph 13** – Neighbouring property east of subject site at 67 Lakeview Drive, Lakes Entrance.





**Photograph 14** – Neighbouring property at 71 Lakeview Drive, Lakes Entrance.



**Photograph 16** – Lakeview Drive facing west.



**Photograph 15** – Neighbouring property opposite subject site at 68 Lakeview Drive, Lakes Entrance



**Photograph 17** – Lakeview Drive facing east.

### 3. THE PROPOSAL

This application seeks approval for development of a dwelling and associated earthworks. The proposed development plans are contained in **Appendix B**.

The proposed dwelling will be located in the northwestern portion of the subject site with a setback of approximately 4 metres to the northern boundary being Lakeview Drive, 5.5 metres to the eastern boundary, 9.5 metres to the southern boundary and 1.7 metres to the western boundary.

The proposed dwelling will have a total building footprint of approximately 176.64 and will be a double storey dwelling. The overall proposed height of the dwelling is 8.16 metres.

The finished materials and colours of the proposed dwelling will include a combination of face brickwork in the colour 'Ironstone' and Natural Clay Bricks. Render will be in the colours 'Surfmist' and 'Pale Mushroom 5.' The roof, fascia, gutters and downpipes will be finished in the Colorbond colour, 'Wallaby.' A full colour and material schedule is contained in **Appendix D**.

An extract of the proposed ground floor, first floor plan and elevations are provided to the right and in **Appendix B**.

Vehicle access to the site is via an existing concrete crossover along the northern boundary directly from Lakeview Drive. The driveway will be extended to the proposed dwelling.

The proposed dwelling will connect to all available services including reticulated water, sewerage, electricity, telecommunications and the existing road network. The title is affected by a Section 173 Agreement that provides any dwelling must include a 5,000 litre water tank, the proposed water tank will be located along the western wall.

Drainage from the proposed development will be directed to the water tank in the first instance with overflow directed to the legal point of discharge to the satisfaction of the responsible authority.

The proposal requires earthworks that will exceed 1 metre in depth. A Geotechnical Risk Assessment waiver is contained in **Appendix C**.  
No vegetation is required to be removed to facilitate the development of a dwelling.



Figure 4 – Illustrative Image of Proposal – JG King Homes Design

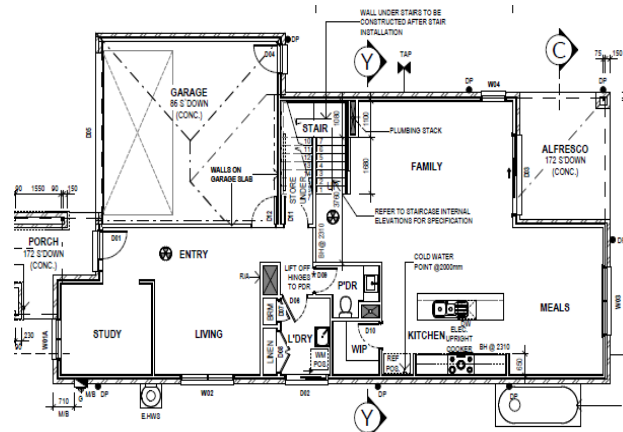


Figure 3 – Ground Floor Plan – JG King Homes Design

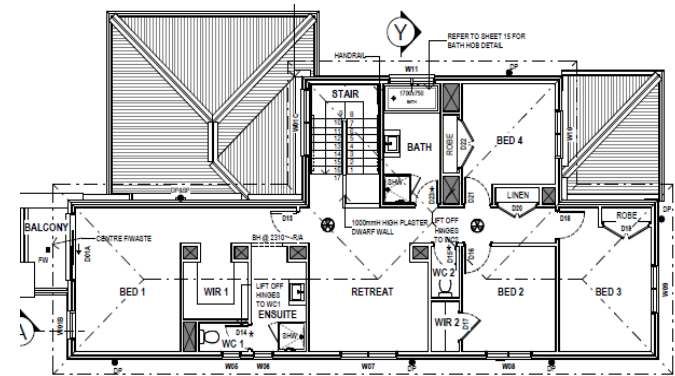


Figure 5 – First Floor Plan – JG King Homes Design

#### 4. ZONES AND OVERLAYS

##### General Residential Zone - Schedule 1

The purpose of the General Residential Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

An extract of the General Residential Zone Map is provided in **Figure 6**.

A permit is not required for the use and development of one dwelling on a lot under the provisions of the General Residential Zone.

Clause 32.08-4 provides the minimum garden area for an allotment between 500 and 650m<sup>2</sup> is 30%. The proposal exceeds the minimum requirement.

As such a permit is not required under the provisions of the General Residential Zone, this is not addressed further.

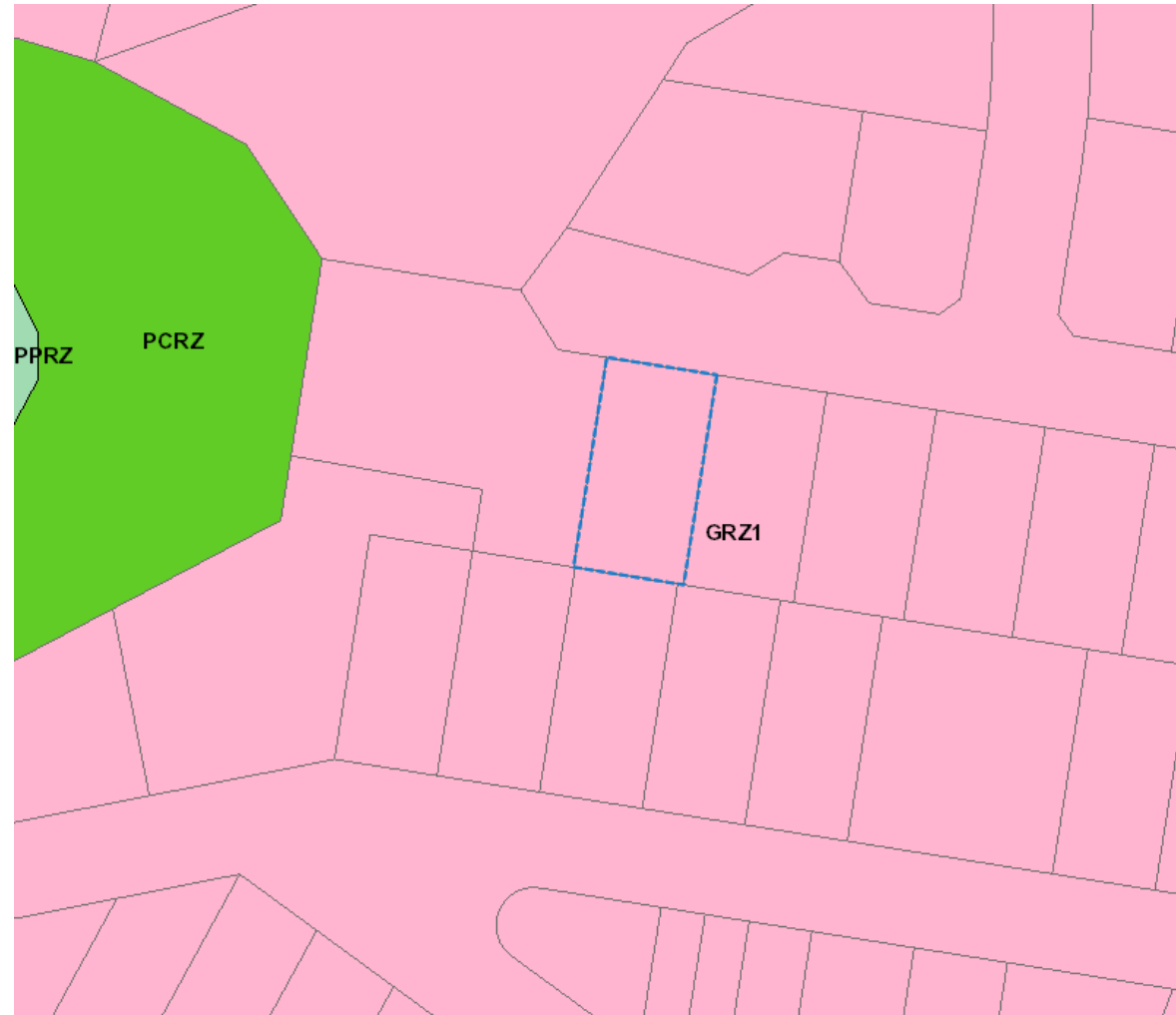


Figure 6 – General Residential Zone – (source - mapshare.vic.gov.au)

## Design and Development Overlay – Schedule 13

The purpose of the Design and Development Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

An extract of the Design and Development Overlay Map is provided in **Figure 7**.

Clause 43.02-2 provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is not required other than for a building with a height greater than 7.5 metres, total building area exceeding 300 square metres and building sites where land is greater than 15 percent.

The proposed dwelling will exceed 7.5 metres high from natural ground surface, the slope of land does not exceed 15 percent, and the total building footprint will not exceed 300m<sup>2</sup> as such a permit is required due to the height of the proposed dwelling. The relevant decision guidelines are addressed in Section 5 of this submission.

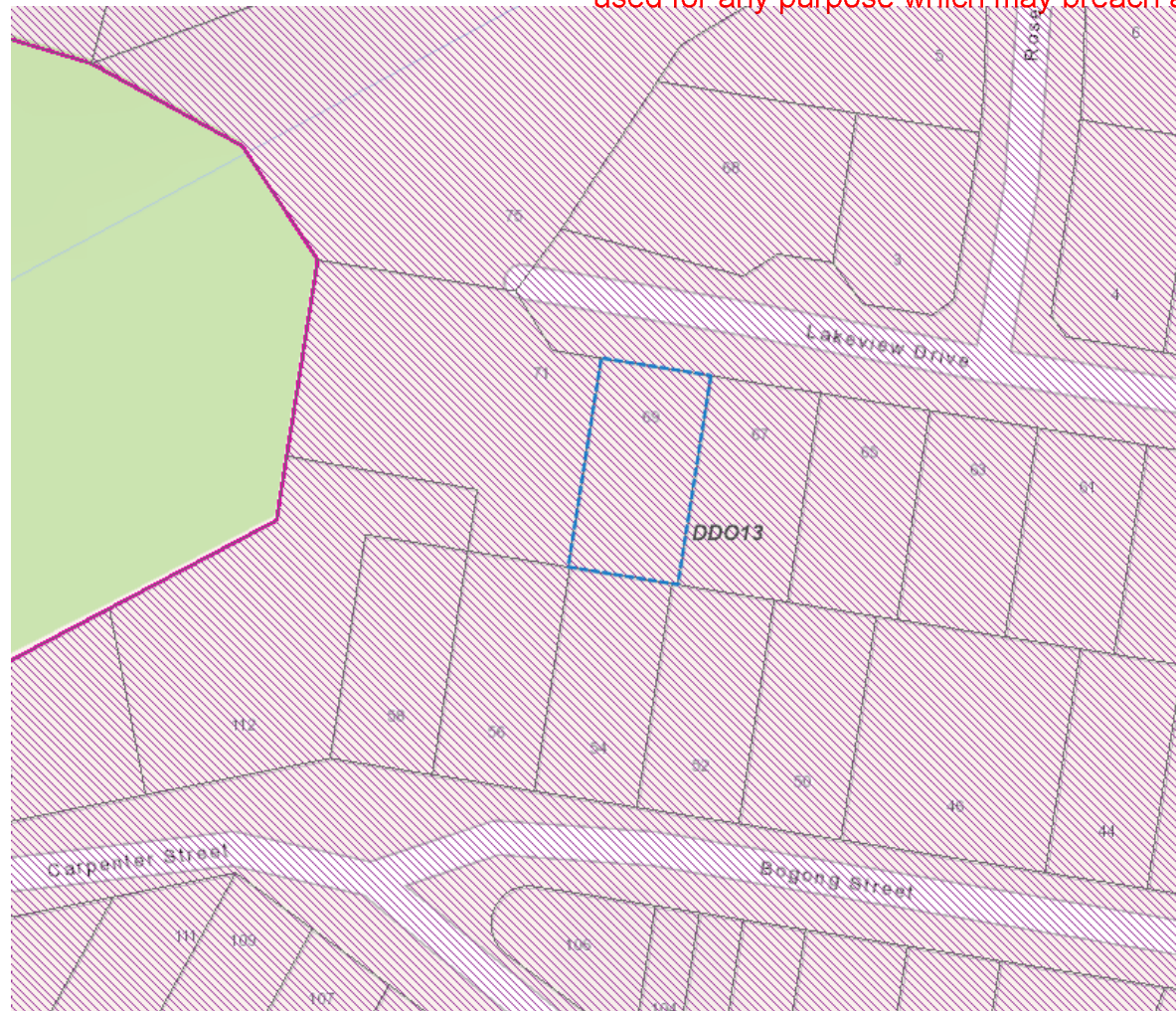


Figure 7 – Design and Development Overlay – (source - mapshare.vic.gov.au)

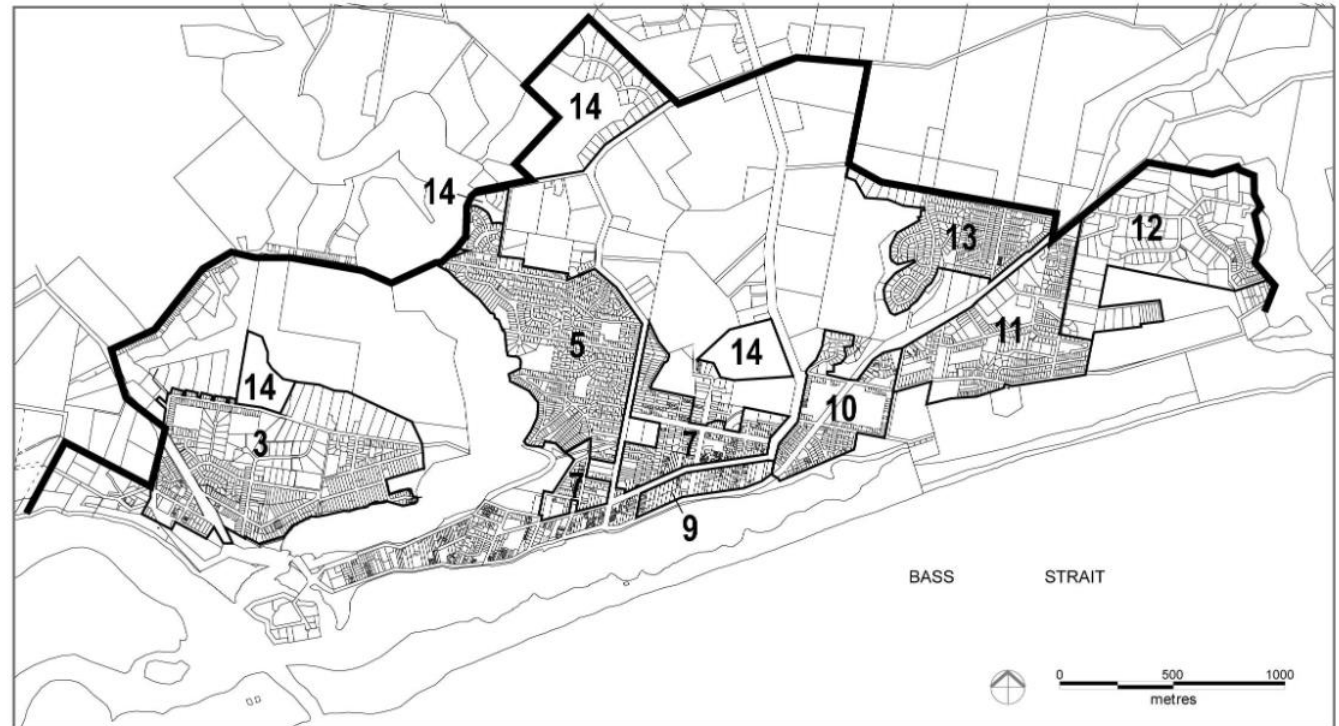
**Design and Development Overlay – Schedule 13 continued:**

The design objectives of the Schedule include:

- To protect and manage the township character of coastal settlements.
- To ensure that the height and visual bulk of new development is compatible with the coastal neighbourhood setting.
- To ensure that new development is designed to minimise visual impacts on the natural landscape.
- To ensure that new development is visually and physically integrated with the site and surrounding landscape.
- To ensure that new development is sited and designed to be visually unobtrusive through and above the surrounding tree canopy when viewed from the public realm, lakes, coastal areas, or other distant viewpoints.
- To protect the vegetated character of the landscape, particularly where it is a dominant visual and environmental feature.
- To maintain the generally small mass of buildings in the landscape.

**Northern residential (area 5)**

- To encourage the visual enhancement of private land facing the North Arm with natural landscaping.



1 Character Areas  
 Settlement Boundary

Figure 8– Map 1 to Schedule to Clause 42.03 – (source – East Gippsland Planning Scheme)

## Erosion Management Overlay

The purpose of the Erosion Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.

An extract of the Erosion Management Overlay Map is provided in **Figure 9**.

Clause 44.01-2 provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is not required for the development of a dwelling however is required for earthworks that exceed 1 metre in depth. The proposed earthworks will exceed 1 metre in depth and as such the relevant decision guidelines are addressed in Section 5.

A Geotechnical Risk Assessment Waiver is provided in **Appendix C**.

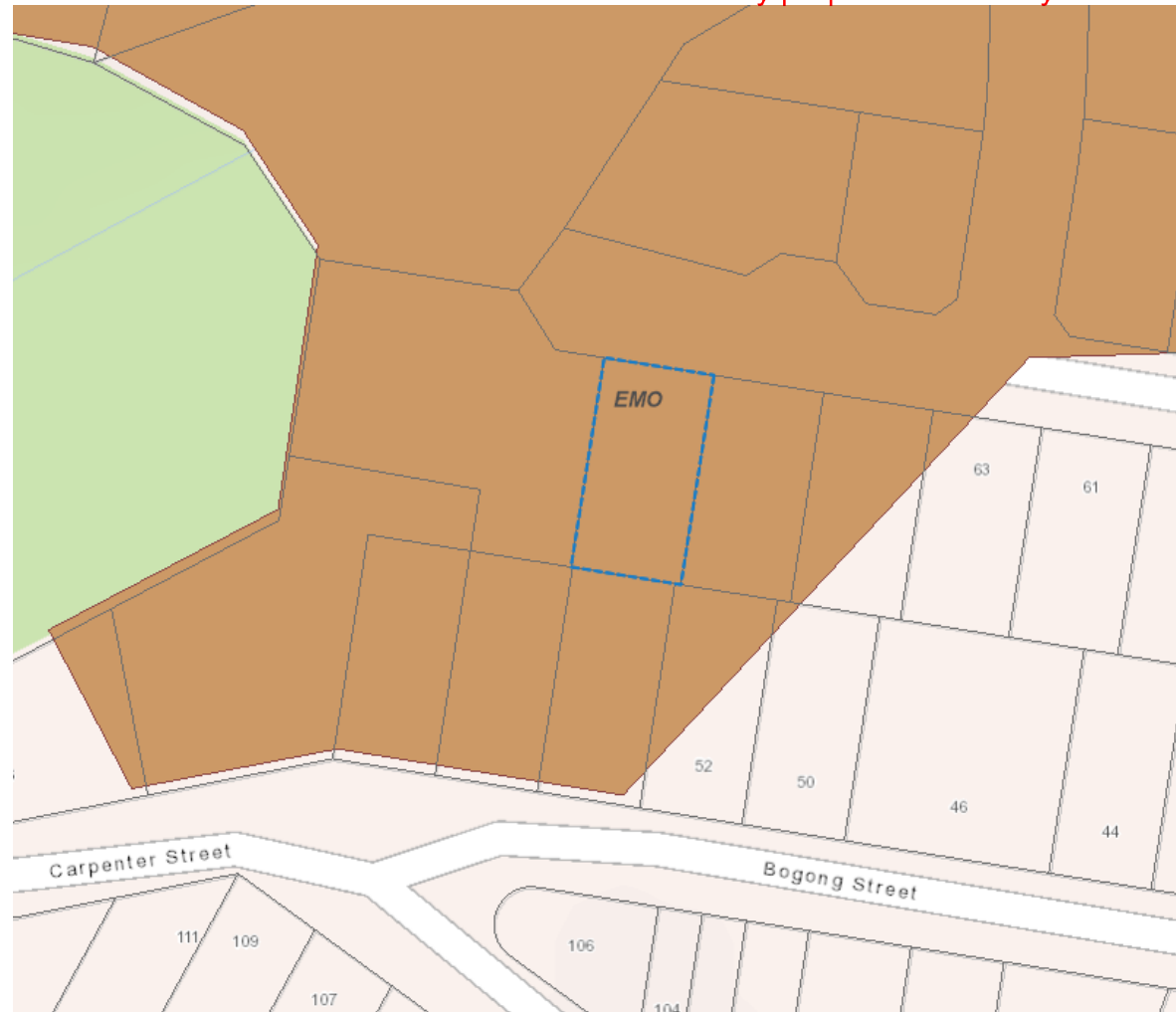


Figure 9 – Erosion Management Overlay – (source - mapshare.vic.gov.au)

## Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is recognised as being partially within an area of Aboriginal Cultural Heritage Sensitivity.

The development of a dwelling is an exempt activity, and as such a Cultural Heritage Management Plan is not required.

An extract of the Aboriginal Cultural Heritage Map is provided to the right in **Figure 10**.

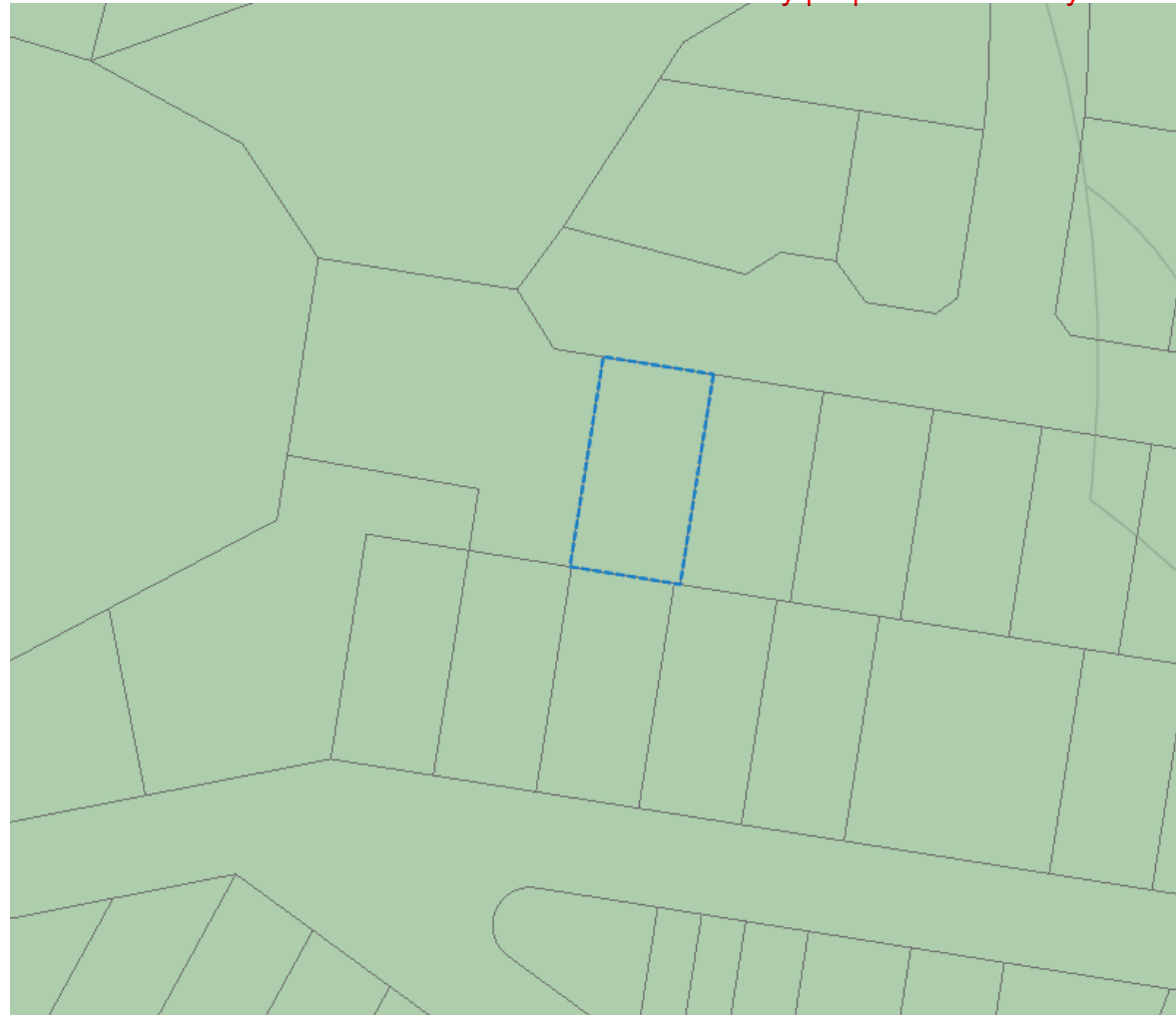


Figure 10 – Aboriginal Cultural Heritage Map – (source - mapshare.vic.gov.au)

## 5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate residential dwelling that can be respectful of the existing surrounding development and the environment.
- The proposal will contribute to a high standard of environmental sustainability, urban design and amenity by designing a dwelling to meet the constraints of the land reducing any potential negative environmental implications as sought to achieve by the relevant clauses including **Clause 02.03** and **Clause 11**.
- **Clause 02.03-1** identifies Lakes Entrance as a growth area town. The proposed dwelling will connect to all available services and infrastructure including reticulated water, sewerage, electricity, telecommunications and a good quality road network. A 5,000 litre rainwater tank will installed along the western wall of the proposed dwelling and will be used as the primary water source for flushing toilets, laundry services and be

connected to an external tap for garden irrigation as required by the Section 173 Agreement registered on title as AV789562X. Drainage from the proposed development will be directed to the water tank in the first instance with overflow directed to the legal point of discharge to the satisfaction of the responsible authority.

- **Clause 13.04-25** requires consideration of erosion and landslip. The subject site and proposed development are within an area identified as being susceptible to erosion. The proposed earthworks associated with the development will exceed 1 metre in depth. All preventative measures will be undertaken during the construction phase of the proposed development to ensure no erosion hazards occur.
- The proposal meets the objectives of **Clause 16** by providing an additional dwelling within a newly subdivided area that will in turn support housing for the community.
- The proposal is consistent with the decision guidelines of the Design and Development Overlay at **Clause 43.02-6** which seeks to identify areas which are affected by specific requirements relating to the design and built form of new development.
- The proposed dwelling will result in an appropriate development that will be used for residential purposes. The proposed

development will be located in the northwestern portion of the site and will have appropriate setbacks from all boundaries.

- The subject site and proposed development are well setback from the nearby waterway to the west of the site being North Arm. The proposed development will be visible from the water however will not be visually displeasing, excessive in height or bulk.
- The proposed colours of the dwelling have been selected to ensure the development is not visually obtrusive and will be well integrated with the surrounding development and environment. A full colour and finished material schedule are contained in **Appendix D**. The proposed colours are low reflective and muted in toning.
- Given the area is part of a recent subdivision there are no dwellings immediately adjoining the eastern and western boundaries. The broader landscape contains dwellings and associated buildings of various styles and heights.
- **Schedule 13** refers to residential development in coastal settlements – Lakes Entrance. The subject site is located in area 5 which seeks to encourage the visual enhancement of private land facing the North Arm with natural landscaping.



- The proposed development will be visually pleasing and integrate with the broader landscape, a full colour and material schedule is provided in **Appendix D** and within the proposed development plans. The height of the proposed dwelling will be below the prevailing tree canopy of trees surrounding the site, predominantly to the west being within the foreshore reserve. The proposed dwelling is unlikely to be visually obtrusive when viewed from the public realm particularly given the sloping nature of the site, existing surrounding development and topography of the area. The proposed new dwelling will be suitably screened by the existing vegetation within the public area surrounding the North Arm waterway.
- The proposal is consistent with the decision guidelines of the Erosion Management Overlay at **Clause 44.01** which seeks to protect areas prone to erosion, landslip, other land degradation.
- The proposal requires earthworks that will exceed 1 metre in depth as indicated on the proposed development plans. Disturbed ground will be appropriately battered and retained with structures to prevent erosion hazards.
- Access is existing along the northern boundary, directly from Lakeview Drive and will be extended to the location of the proposed dwelling.
- The site is identified as being susceptible to erosion hazards. A Geotechnical Risk Assessment waiver is contained in **Appendix C** that concludes the risks associated with erosion can be reduced to an acceptable level.
- No vegetation removal is required to facilitate the proposed development.
- This submission has addressed the decision guidelines of **Clause 65**, and the proposed development supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
- Access to the site is existing and will be extended as indicated on the proposed development plans, there will be no negative impact on the existing road network. The increased traffic as a result of the proposal is unlikely to generate any negative impact on the existing road network.
- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.

## 6. CONCLUSION

This submission is in support of a planning permit application for the development of a dwelling and associated earthworks at 69 Lakeview Drive, Lakes Entrance.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed development is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Design and Development Overlay and the Erosion Management Overlay.
- The erosion risks can be reduced to an acceptable level.
- The design of the proposed dwelling complements the surrounding development and integrates with the character of the area.

It is requested that a planning permit be granted for this development.

**Development Solutions Victoria**

### Disclaimer:

*This document has been prepared for planning permit application purposes only. The report has been made with careful consideration and with the best information available to Development Solutions Victoria Pty Ltd at the time.*

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8 November 2024

24269

Development Solutions Victoria  
Bairnsdale, VIC, 3875**GEOTECHNICAL WAIVER – EROSION MANAGEMENT OVERLAY  
69 LAKEVIEW DRIVE, LAKES ENTRANCE**

Dear Kelly,

**Introduction**

Development Solutions Victoria has engaged DBM Geotech to undertake a geotechnical assessment for the proposed development at 69 Lakeview Drive, Lakes Entrance.

The site is within the East Gippsland Shire Council Erosion Management Overlay. This geotechnical assessment has been conducted to identify any areas prone to erosion or land instability.

**Site conditions and proposed redevelopment**

The site is a 615m<sup>2</sup> residential allotment located on south side of Lakeview Drive. The site has a moderate slope down towards the west.

We understand that the proposed development comprises the construction of a two-storey residential dwelling. The design drawings indicate that up to 1.5m of cut and fill will be undertaken to create a level building platform.

**Site Geology**

The 1:250,000 Geological survey map on GeoVic indicates that the site is underlain by the Hunted Hills Formation.

**Geotechnical Waiver**

An engineer from DBM Geotech visited the site on 29 October 2024 and observed the following:

- The site is moderately sloping with a slope angle of between 7 to 10 degrees down towards the west and northwest.
- No evidence of erosion or landslip was observed at the site.

Based on our site assessment we consider that the landslide risk at the site is low. Therefore, in accordance with Section 4 of the East Gippsland Shire Council Erosion management overlay we consider that a full geotechnical assessment is not necessary for the proposed development. Site Photo of the site are provided in Figure 1.

Although a full geotechnical assessment is not necessary, we recommend that good design and construction practices are adopted at the site to prevent erosion or landslip. The following erosion protection measures and earthworks recommendations are recommended for this site.

### ***Erosion Protection Measures***

We recommend that vegetation is left in place as long as possible. The removal of vegetation at the site should be kept to a minimum and any vegetation removal shall only be undertaken where it is necessary to construct driveways and building platforms. Furthermore, where stripping is undertaken across earthworks areas, re-vegetation and/or batter protection should be implemented as soon as possible to reduce the effects of erosion.

We recommend that adequate erosion control measures (i.e. silt fences, diversion banks) be implement during construction and be maintained until vegetation has been established across cleared areas. In addition, we recommend good drainage protection be implemented on batter slopes, roadways and behind retaining walls.



Figure 1: Site photo – looking northwest across the site from the southeastern corner boundary

### **Earthworks Recommendations**

Design drawings indicate cut and fill up to about 1.5m will be undertaken to construct a level building platform for the development. We recommend that all earthworks are undertaken in accordance with the following:

- Unretained cut faces in natural soils are battered back at a maximum gradient of 1Vertical:2Horizontal.
- Unretained fill batters are battered at a maximum gradient of 1Vertical:2Horizontal.
- Adequate drainage measures are provided at all batter slopes to prevent water ponding or flowing down the batter slope which can lead to erosion and affect batter stability.

### **Limitations**

Your attention is drawn to the document – ‘Limitations’ which is attached to this letter report. The statements presented in this document are intended to advise you of what your realistic expectations of this report should be. The document is not intended to reduce the level of responsibility accepted by DBM Geotech, but rather to ensure that all parties who may rely on this report are aware of the responsibilities each assumes is so doing.

Yours sincerely,

**DBM Geotech Consulting Pty Ltd**



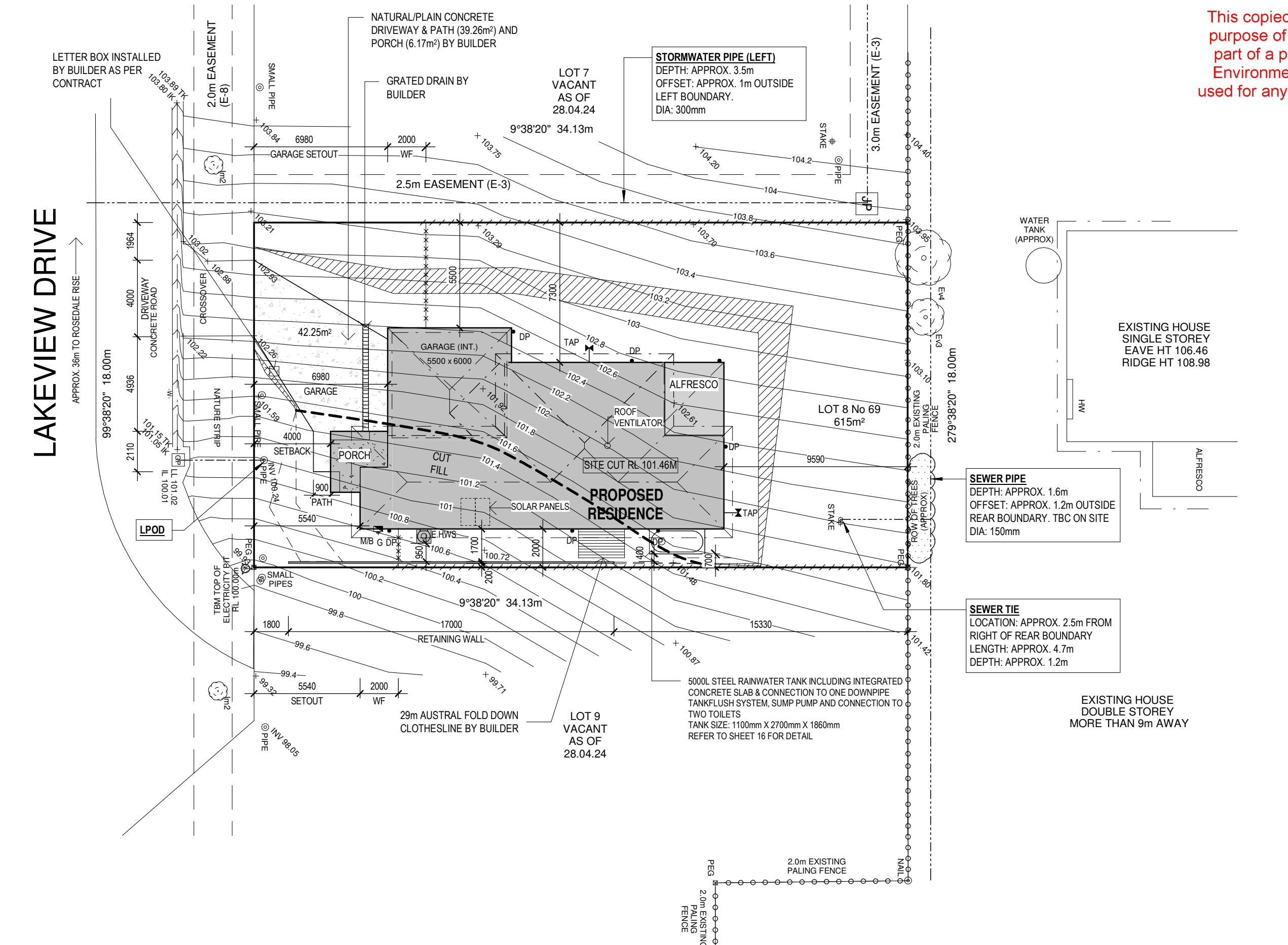
Bill Wang  
BEng (Hons) MEngSc (Res) MIEAust CPEng NER  
EA Membership number: 2099569  
ABN 69 666 900 643

Attachments: Limitations



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LAKEVIEW DRIVE



SITE AREA	BUILDING AREA	SITE COVERAGE
615 M <sup>2</sup>	176.64 M <sup>2</sup>	28.72 %
PAVING AREA	BLDG+PAV AREA	PERMEABILITY
42.25 M <sup>2</sup>	21.89 M <sup>2</sup>	6.64 %
GARDEN AREA	GARDEN PER	POS
395.92 M <sup>2</sup>	64.38 %	324.20 M <sup>2</sup>

HOUSE INFORMATION	
SITE CUT & FILL RL :	101.460M
HOUSE FFL	GARAGE FFL
101.875M	101.789M
SLAB TYPE	SLAB HEIGHT
WAFFLE	415mm

SITE CUT & FILL INFORMATION	
PROVIDE SITE CUT OF BUILDING PLATFORM	1640 mm AND FILL OF 1260 mm OVER
PROVIDE AN ADDITIONAL SITE SCAPE OF AREA TO SUIT A	86 mm TO GARAGE 86 mm STEPDOWN
BATTERS ARE TO BE PROVIDED AT A 45 ° ANGLE CUT AND 30 ° ANGLE FILL	
IF SITE CUT IS GREATER THAN 300mm RISER PIPES ARE TO BE PROVIDED AND CONNECTED TO STORMWATER	
WHERE RETAINING WALLS ARE REQUIRED, AG DRAINS TO BE CONNECTED TO STORMWATER VIA SILT PITS	

GENERAL NOTES

**TERMITE TREATMENT REQUIRED**  
 PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

**BOUNDARY FENCE(S) REQUIRED**  
 OWNER TO PROVIDE PERIMETER FENCING TO A MINIMUM HEIGHT OF 1800MM TO ANY UNFENCED BOUNDARIES PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY PERMIT

BUSHFIRE ATTACK LEVEL (BAL)

BAL NIL  
 ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)

WIND SPEED INFORMATION

THE MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: **N2-40 m/s**  
 THE WIND SPEED CALCULATION IS HAS BEEN TAKEN FROM THE JOBSITE SPECIFIC SOIL REPORT  
 OUR STANDARD HOMES ARE DESIGNED TO SUIT A WIND GUST SPEED OF 33 m/s

SITE DRAINAGE INFORMATION

SITE DRAINAGE MUST COMPLY WITH NCC 3.1.2 DRAINAGE AND AS 3500 - 3-2021 PLUMBING AND DRAINAGE  
 GRADE ALL SURFACES AWAY FROM FOOTINGS WITH A MIN 1:20 FALL  
 PROVIDE TEMPORARY DOWNPIPES CONNECTED TO STORMWATER AS SOON AS THE ROOF CLADDING IS COMPLETE. DURING CONSTRUCTION DOWNPIPES MAY BE REMOVED FOR OPERATION PROCEDURES  
 ALL STORMWATER DRAINS ARE TO BE CONNECTED TO THE NOMINATED LEGAL POINT OF DISCHARGE  
 REFER TO ENGINEERS DESIGN FOR STORMWATER DRAINAGE DESIGN AND LAYOUT

SURVEY LEGEND	
⊙	SEWER MANHOLE
⊕	ELECTRICITY PIT
⊕	ELECTRICITY CABINET
TBM	TBM
WV	WATER VALVE
⊕	LIGHTPOLE
GP	GRADED PIT
SEP	SIDE ENTRY PIT
JP	JUNCTION PIT
UNK	UNKNOWN PIT
⊕	TELSTRA PIT
⊕	GAS METER
⊕	WATER TAP
⊕	WATER METER
⊕	POWER POLE
P.S.M.	P.S.M.
⊕	FIRE HYDRANT
⊕	FIRE PLUG
⊕	SEWER VENT
⊕	SEWER INSPECTION SHAFT
⊕	SIGN
⊕	GAS VALVE
⊕	EVERGREEN TREE
⊕	HEIGHT 5m SPREAD 3m

LEGEND	
---	PROPOSED FENCE
---	PROPOSED WING FENCE
---	PROPOSED FRONT FENCE
---	EXISTING FENCE
---	100mm DIA. UPVC SEWER PIPE
⊕	METER BOX POSITION
⊕	EXTERNAL TAP

NOTE: 1 x EXTERNAL TAP TO BE WALL MOUNTED BY BUILDER. 1 x EXTERNAL TAP LOCATED NEXT TO WATER METER (LOCATION TBC)



CLIENT ACKNOWLEDGEMENT  
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CLIENT 1: \_\_\_\_\_ DATE 1: \_\_\_\_\_  
 CLIENT 2: \_\_\_\_\_ DATE 2: \_\_\_\_\_  
 JGK BUILDER: \_\_\_\_\_ DATE 3: \_\_\_\_\_

SHEET TITLE  
**SITE PLAN**  
 HOUSE NAME: **COMMANDER 285**  
 FACADE NAME: **GRANADA**  
 SHEET SCALE: **1 : 200**  
 ORIGINAL SHEET SIZE: **A3**  
 COPYRIGHT: **2024**

HAND: **LH**

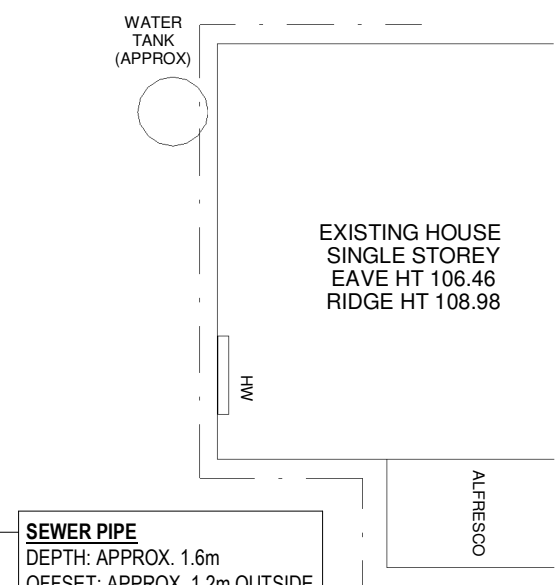
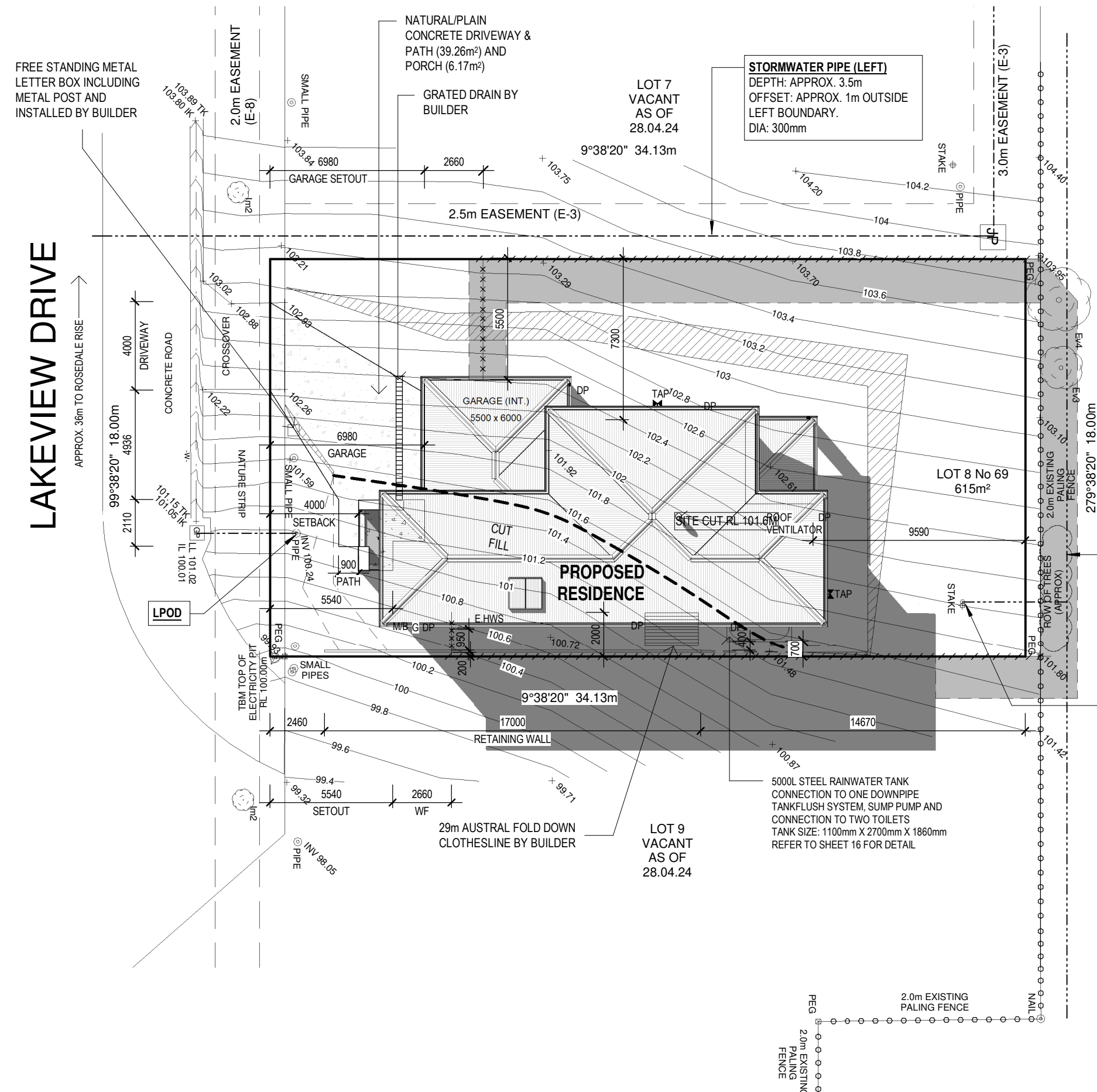
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**JG KING HOMES**  
 154 ARGYLE STREET, TRARALGON, VIC 3844  
 T(03) 5175 5555

**UP COLLECTION**  
 TRARALGON

CLIENT  
**JOSHUA MATHEW & MONCY JOSHUA**  
 ADDRESS  
**LOT 8, NO.69 LAKEVIEW DRIVE**  
 SUBURB  
**LAKES ENTRANCE VIC 3909**  
 JOB NO  
**2404TRA160**  
 JOB DATE  
**06/06/2024**  
 DRAWN  
**M-01**  
 CHECKED  
**29/05/2024**  
 PROJECT STAGE  
**PRINTED**  
 SHEET NO  
**47**  
 TOTAL NO  
**83**

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**SEWER PIPE**  
DEPTH: APPROX. 1.6m  
OFFSET: APPROX. 1.2m OUTSIDE REAR BOUNDARY. TBC ON SITE  
DIA: 150mm

**SEWER TIE**  
LOCATION: APPROX. 2.5m FROM RIGHT OF REAR BOUNDARY  
LENGTH: APPROX. 4.7m  
DEPTH: APPROX. 1.2m

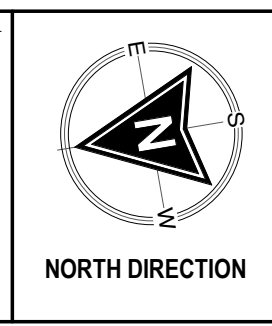
EXISTING HOUSE DOUBLE STOREY MORE THAN 9m AWAY

**STORMWATER PIPE (LEFT)**  
DEPTH: APPROX. 3.5m  
OFFSET: APPROX. 1m OUTSIDE LEFT BOUNDARY.  
DIA: 300mm

**SHADOW LEGEND**  
[Grey Box] FENCE SHADOW  
[Dark Grey Box] HOUSE SHADOW

SURVEY LEGEND	
⊙	SEWER MANHOLE
⊕	ELECTRICITY PIT
⊞	ELECTRICITY CABINET
TBM	TBM
WV	WATER VALVE
GP	GRADED PIT
SEP	SIDE ENTRY PIT
JP	JUNCTION PIT
UNK	UNKNOWN PIT
⊗	TELSTRA PIT
⊙	GAS METER
⊕	WATER TAP
⊞	WATER METER
⊞	POWER POLE
P.S.M.	P.S.M.
⊕	FIRE HYDRANT
⊕	FIRE PLUG
⊕	SEWER VENT
⊕	SEWER INSPECTION SHAFT
⊕	SIGN
⊕	GAS VALVE
⊕	EVERGREEN TREE
⊕	HEIGHT 5m SPREAD 3m

LEGEND	
---	PROPOSED FENCE
-x-x-x-	PROPOSED WING FENCE
---	PROPOSED FRONT FENCE
---	EXISTING FENCE
REFER TO FENCES NOTE FOR HEIGHT & MATERIAL SPECIFICATIONS	
---	100mm DIA. UPVC SEWER PIPE
⊕	METER BOX POSITION
⊕	EXTERNAL TAP



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CLIENT 2: \_\_\_\_\_ DATE 2: \_\_\_\_\_  
JGK BUILDER: \_\_\_\_\_ DATE 3: \_\_\_\_\_

**SHEET TITLE**  
**9AM SHADOW PLAN**

HOUSE NAME: **COMMANDER 285** HAND: **LH**  
FACADE NAME: **GRANADA**  
SHEET SCALE: **As indicated** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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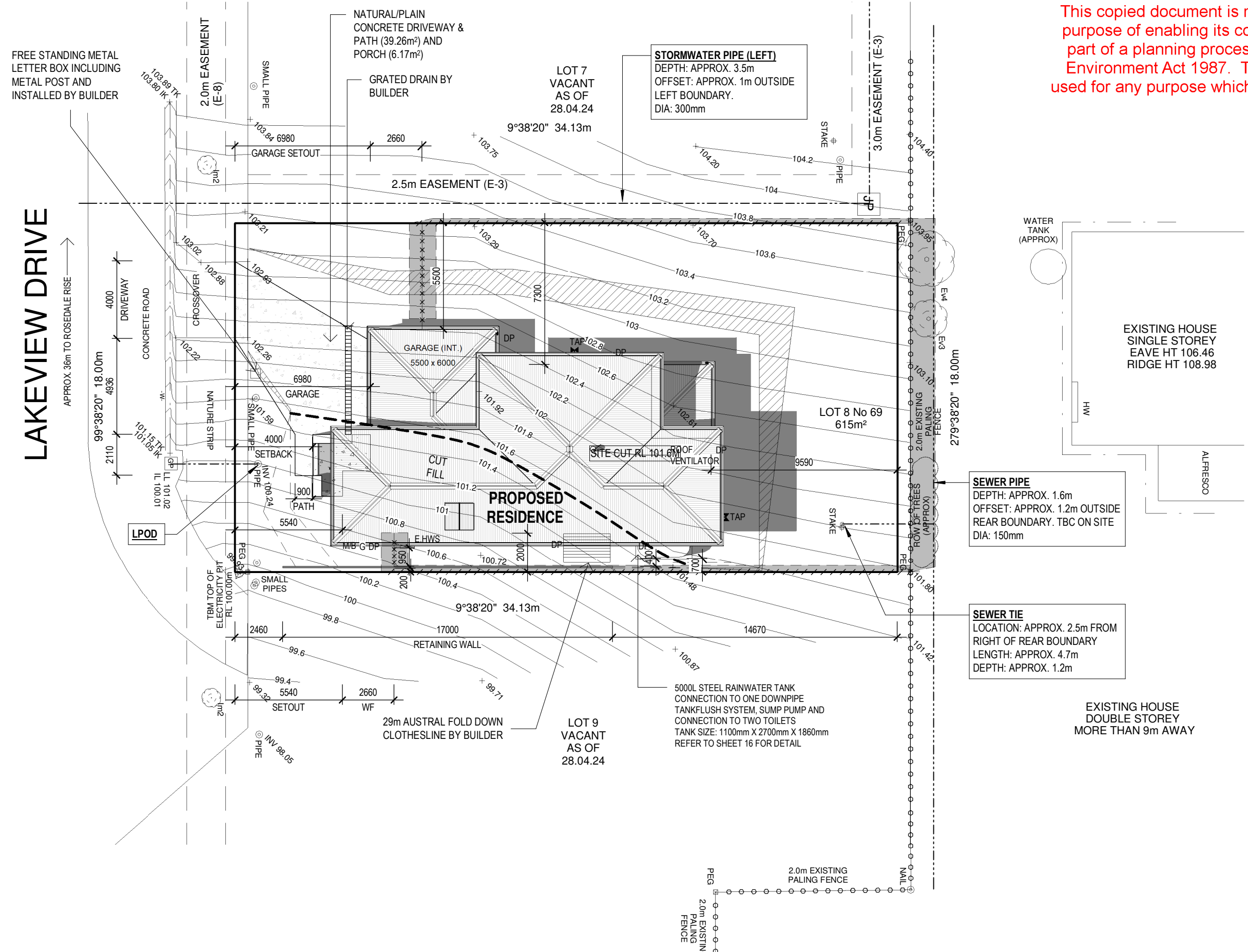
**CLIENT**  
**JOSHUA MATHEW & MONCY JOSHUA**  
ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**  
SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**  
DRAWN: **M-01** CHECKED: \_\_\_\_\_ PROJECT STAGE: **CONCEPT**  
MASTER RELEASE DATE: **29/05/2024** SHEET NO: **48** TOTAL NO: **83**

Printed 12/12/2024  
Page 48 of 83



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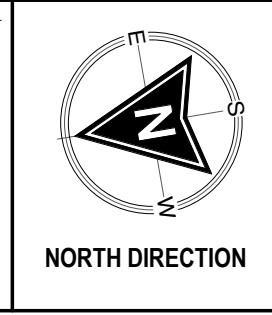
**SURVEY LEGEND**

⊙	SEWER MANHOLE	⊕	WATER TAP
⊖	ELECTRICITY PIT	⊖	WATER METER
⊞	ELECTRICITY CABINET	⚡	POWER POLE
⊞	TBM	⚡	P.S.M.
⊞	WATER VALVE	⊕	FIRE HYDRANT
⊞	LIGHTPOLE	⊕	FIRE PLUG
⊞	GRATED PIT	⊕	SEWER VENT
⊞	SIDE ENTRY PIT	⊕	SEWER INSPECTION SHAFT
⊞	JUNCTION PIT	⊕	SIGN
⊞	UNKNOWN PIT	⊕	GAS VALVE
⊞	TELSTRA PIT	⊕	EVERGREEN TREE
⊞	GAS METER	⊕	HEIGHT 5m
		⊕	SPREAD 3m

**LEGEND**

---	PROPOSED FENCE
-x-x-x-	PROPOSED WING FENCE
---	PROPOSED FRONT FENCE
○	EXISTING FENCE
REFER TO FENCES NOTE FOR HEIGHT & MATERIAL SPECIFICATIONS	
---	100mm DIA. UPVC SEWER PIPE
⊞	METER BOX POSITION
⊞	EXTERNAL TAP

NOTE: 1 x EXTERNAL TAP TO BE WALL MOUNTED BY BUILDER. 1 x EXTERNAL TAP LOCATED NEXT TO WATER METER (LOCATION TBC)



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CLIENT 2: \_\_\_\_\_ DATE 2: \_\_\_\_\_

JGK BUILDER: \_\_\_\_\_ DATE 3: \_\_\_\_\_

**SHEET TITLE**

**12PM SHADOW PLAN**

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **As indicated** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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**CLIENT**

**JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

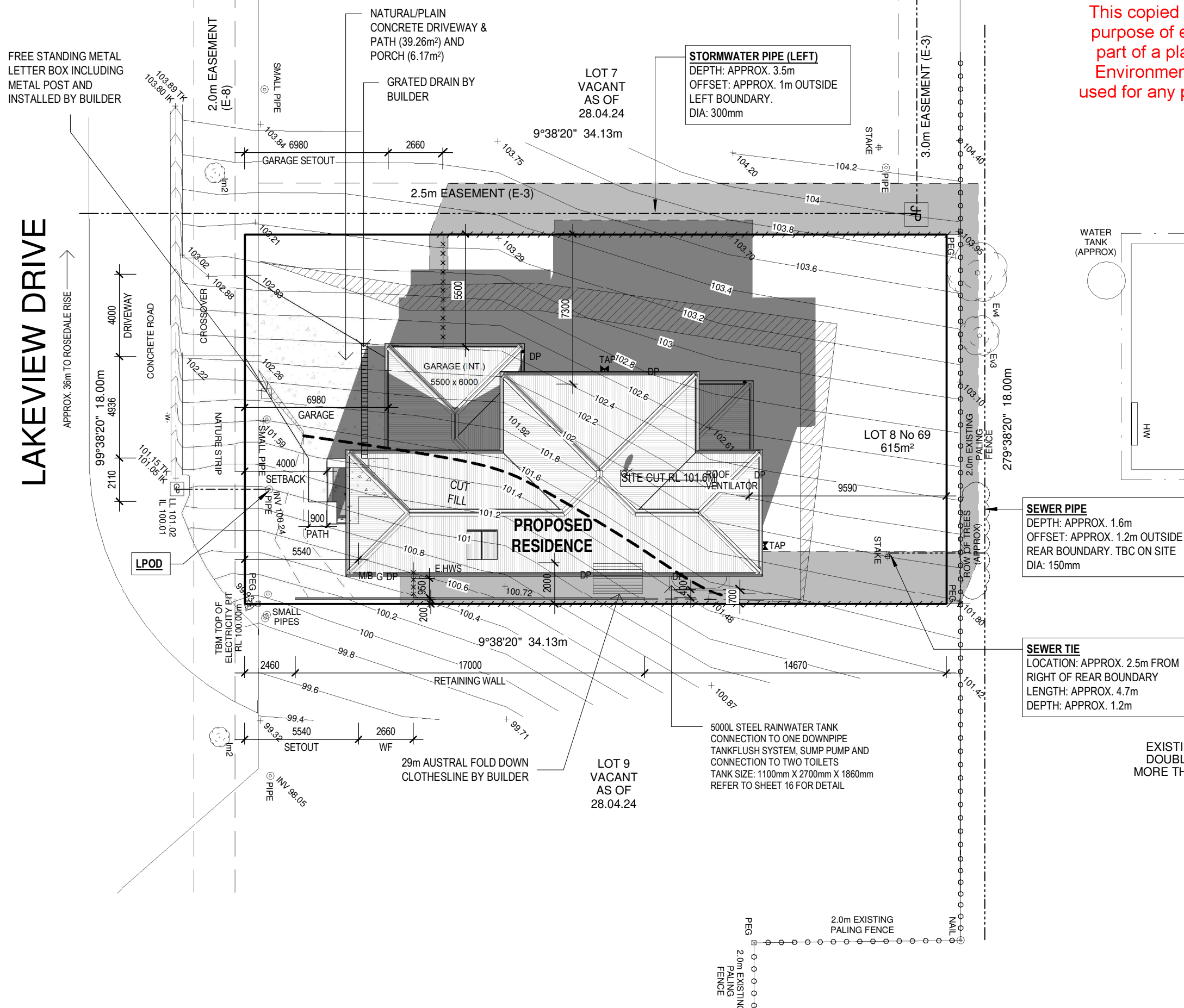
SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

DRAWN: **M-01** CHECKED: \_\_\_\_\_ PROJECT STAGE: **CONCEPT**

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**SEWER PIPE**  
DEPTH: APPROX. 1.6m  
OFFSET: APPROX. 1.2m OUTSIDE REAR BOUNDARY. TBC ON SITE  
DIA: 150mm

**SEWER TIE**  
LOCATION: APPROX. 2.5m FROM RIGHT OF REAR BOUNDARY  
LENGTH: APPROX. 4.7m  
DEPTH: APPROX. 1.2m

**SHADOW LEGEND**  
[Grey Box] FENCE SHADOW  
[Dark Grey Box] HOUSE SHADOW

SURVEY LEGEND	
⊙	SEWER MANHOLE
⊕	ELECTRICITY PIT
⊞	ELECTRICITY CABINET
⊠	TBM
⊡	WATER VALVE
⊢	LIGHTPOLE
⊣	GRATED PIT
⊤	SIDE ENTRY PIT
⊥	JUNCTION PIT
⊦	UNKNOWN PIT
⊧	TELSTRA PIT
⊨	GAS METER
⊩	WATER TAP
⊪	WATER METER
⊫	POWER POLE
⊬	P.S.M.
⊭	FIRE HYDRANT
⊮	FIRE PLUG
⊯	SEWER VENT
⊰	SEWER INSPECTION SHAFT
⊱	SIGN
⊲	GAS VALVE
⊳	EVERGREEN TREE
⊴	HEIGHT 5m
⊵	SPREAD 3m

LEGEND	
---	PROPOSED FENCE
-x-x-x-	PROPOSED WING FENCE
---	PROPOSED FRONT FENCE
○	EXISTING FENCE
REFER TO FENCES NOTE FOR HEIGHT & MATERIAL SPECIFICATIONS	
---	100mm DIA. UPVC SEWER PIPE
⊞	METER BOX POSITION
⊞	EXTERNAL TAP



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JGK BUILDER: \_\_\_\_\_ DATE 3: \_\_\_\_\_

**SHEET TITLE**  
**3PM SHADOW PLAN**

HOUSE NAME: **COMMANDER 285** HAND: **LH**  
FACADE NAME: **GRANADA**  
SHEET SCALE: **As indicated** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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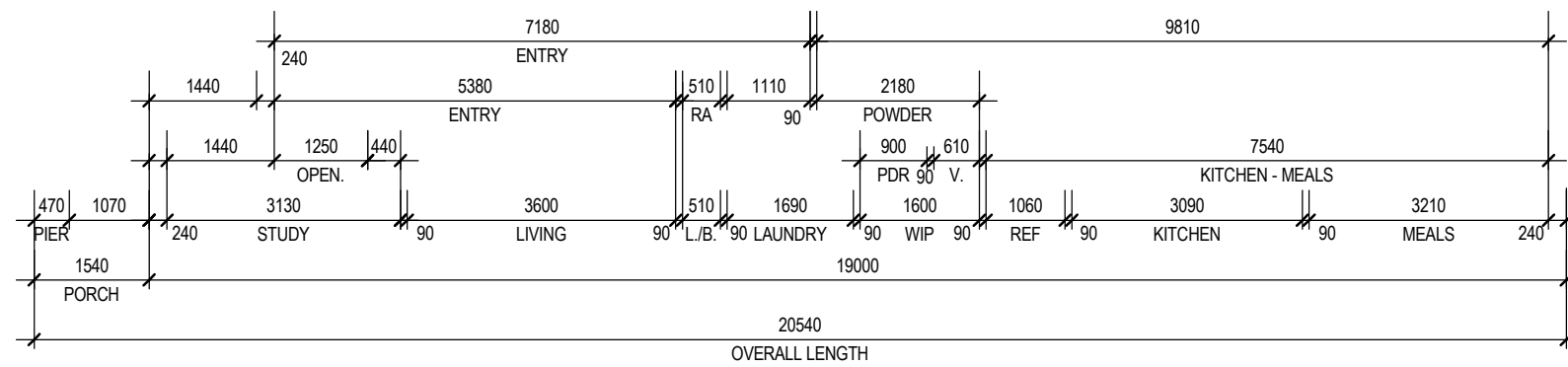
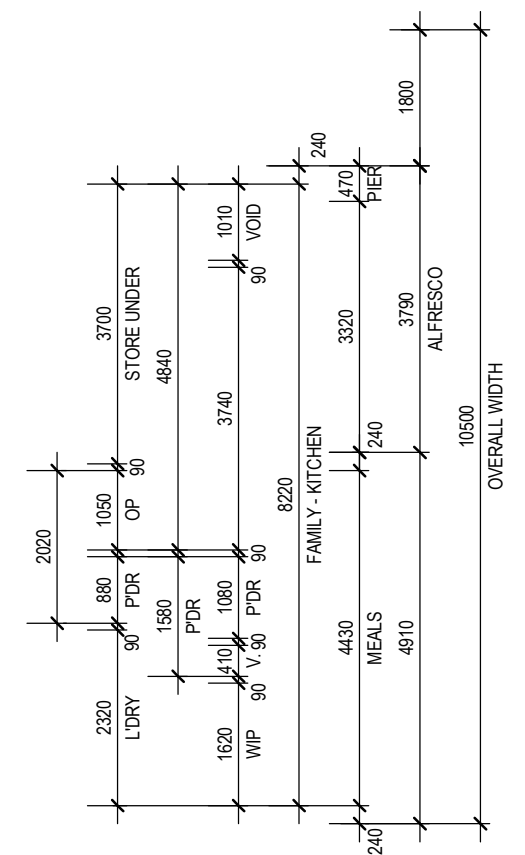
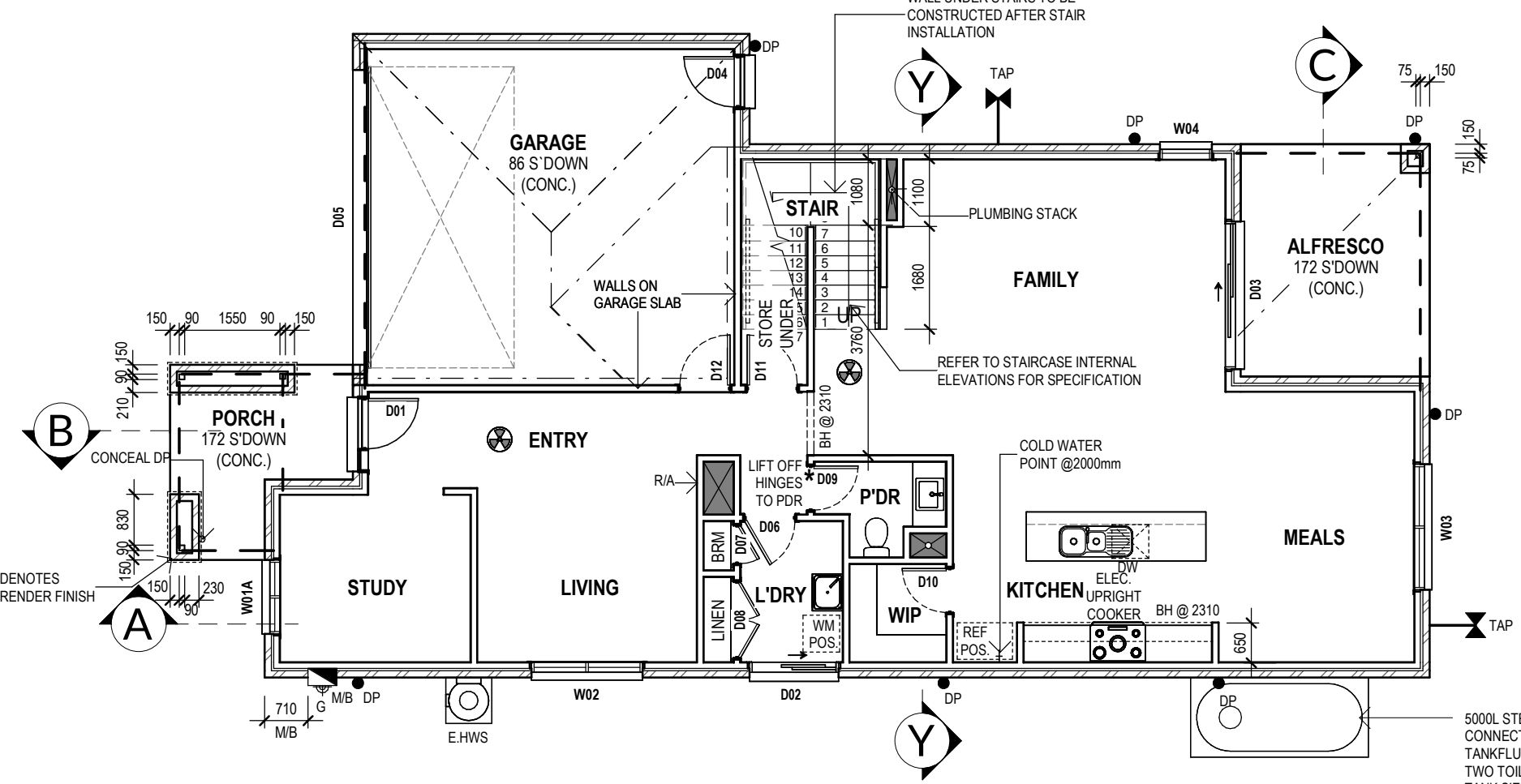
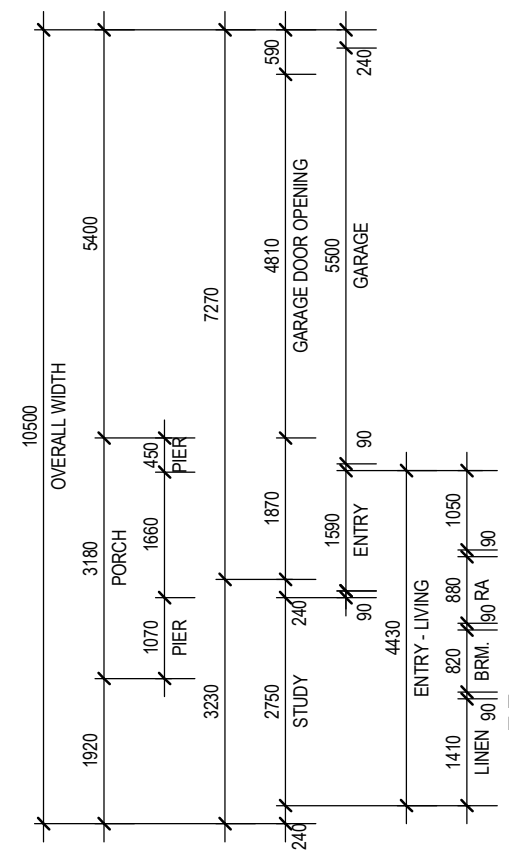
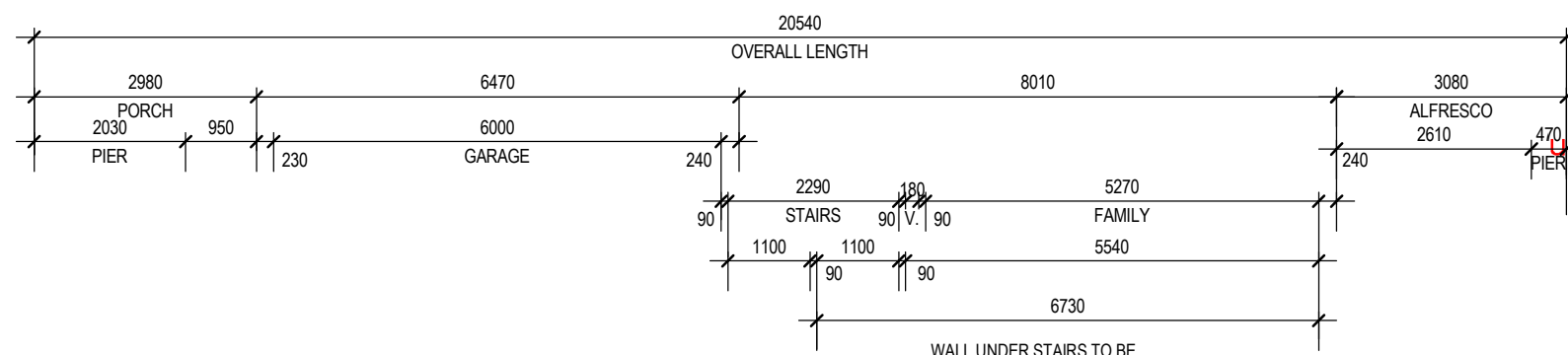
**UP COLLECTION**  
TRARALGON

<b>CLIENT</b> <b>JOSHUA MATHEW &amp; MONCY JOSHUA</b>	
ADDRESS LOT 8, NO.69 LAKEVIEW DRIVE	
SUBURB LAKES ENTRANCE VIC 3909	
JOB NO 2404TRA160	JOB DATE 06/06/2024
DRAWN M-01	CHECKED M-01
MASTER RELEASE DATE 29/05/2024	PROJECT STAGE CONCEPT
SHEET NO	TOTAL NO

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B

C



5000L STEEL RAINWATER TANK CONNECTION TO ONE DOWNPIPE TANKFLUSH SYSTEM, SUMP PUMP AND CONNECTION TO TWO TOILETS  
TANK SIZE: 1100mm X 2700mm X 1860mm  
REFER TO SHEET 16 FOR DETAIL

- \* DENOTE PRIVACY LOCKS TO INTERNAL DOOR
- R2.5 INSULATION TO EXTERNAL AND GARAGE WALLS  
R4.1 INSULATION TO CEILING
- DENOTES A SERVICE(S) VOID THAT **CANNOT** BE REMOVED RELOCATED OR REDUCED IN SIZE
- DOUBLE STOREY HOMES: ALL FLOOR JOISTS & TRUSSES TO BE CLEAR OF VOIDS

A

D

**GENERAL NOTES**

- DENOTES HARDWIRED INTERCONNECTED SMOKE ALARM(S) WITH BATTERY BACKUP AS PER NCC 2022 - PART 9.5 & TO COMPLY WITH AS3786
- DP DENOTES DOWNPIPE LOCATIONS
- ALL GLAZING TO COMPLY WITH AS 1288-2021 & A.S. 2047-2014
- D** DENOTES DOUBLE GLAZED WINDOWS
- DENOTES BEAM AS PER ENGINEERING SPECIFICATIONS
- #** DENOTES 2340H DOORS
- MB** : METER BOX      **HWS** : HOT WATER SYSTEM
- G** : GAS METER      **IHWS** : INSTANTANEOUS HOT WATER SYSTEM

**AREAS TABLE**

GROUND FLOOR	120.16	M <sup>2</sup>	12.94	SO <sup>2</sup>
FIRST FLOOR	123.19	M <sup>2</sup>	13.26	SO <sup>2</sup>
<b>SUB TOTAL(FLOOR)</b>	<b>243.35</b>	<b>M<sup>2</sup></b>	<b>26.20</b>	<b>SO<sup>2</sup></b>
GARAGE	37.22	M <sup>2</sup>	4.01	SO <sup>2</sup>
PORCH	7.59	M <sup>2</sup>	0.82	SO <sup>2</sup>
ALFRESCO	11.67	M <sup>2</sup>	1.26	SO <sup>2</sup>
BALCONY	4.00	M <sup>2</sup>	0.43	SO <sup>2</sup>
<b>SUB TOTAL(OTHER)</b>	<b>60.48</b>	<b>M<sup>2</sup></b>	<b>6.51</b>	<b>SO<sup>2</sup></b>
<b>TOTAL</b>	<b>303.83</b>	<b>M<sup>2</sup></b>	<b>32.71</b>	<b>SO<sup>2</sup></b>

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CLIENT 2: \_\_\_\_\_ DATE 2: \_\_\_\_\_

JGK BUILDER: \_\_\_\_\_ DATE 3: \_\_\_\_\_

**SHEET TITLE**

**GROUND FLOOR PLAN**

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 100** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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**JG KING HOMES**

154 ARGYLE STREET,  
TRARALGON, VIC 3844  
T(03) 5175 5555

**CLIENT**

**JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

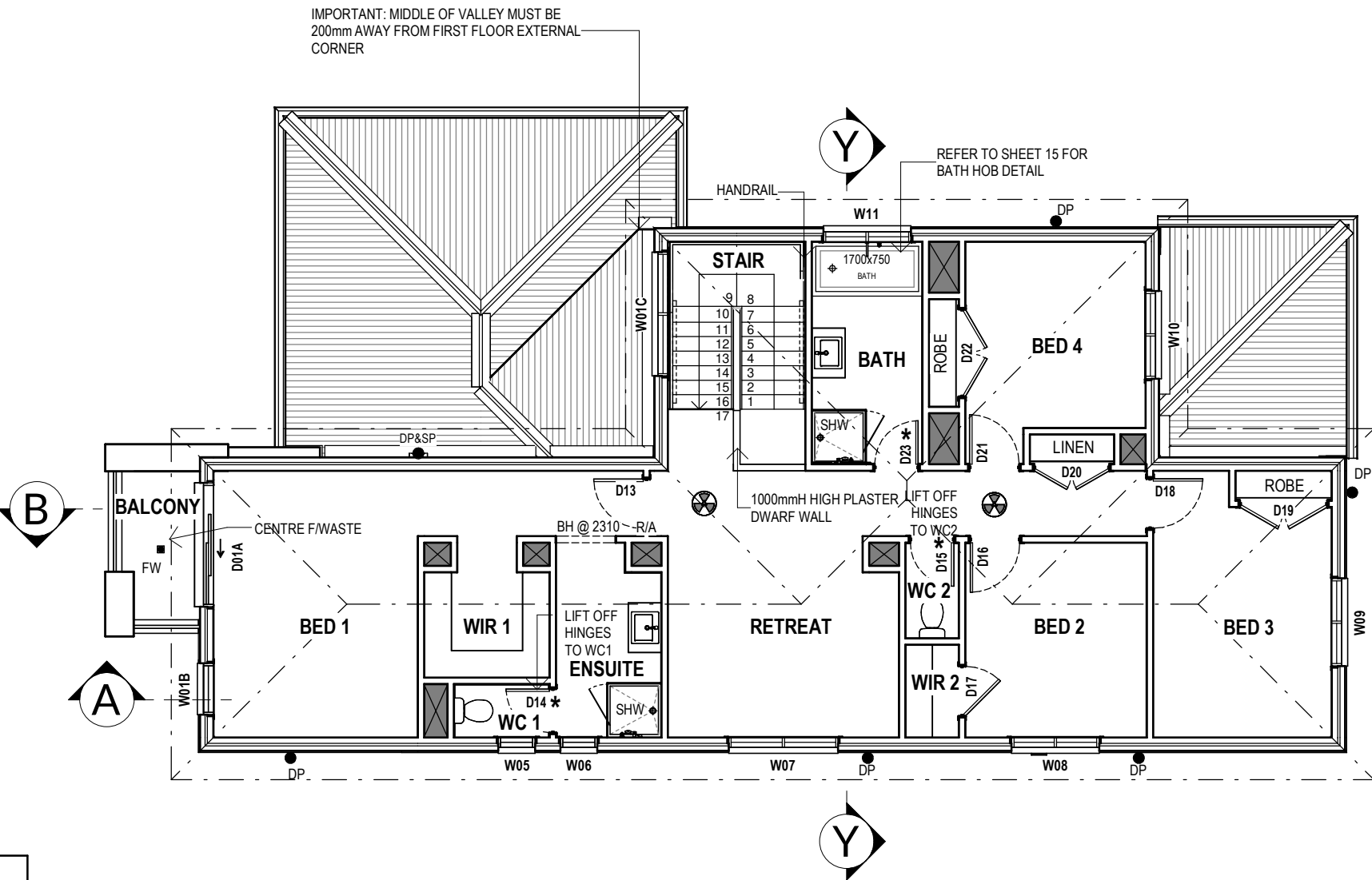
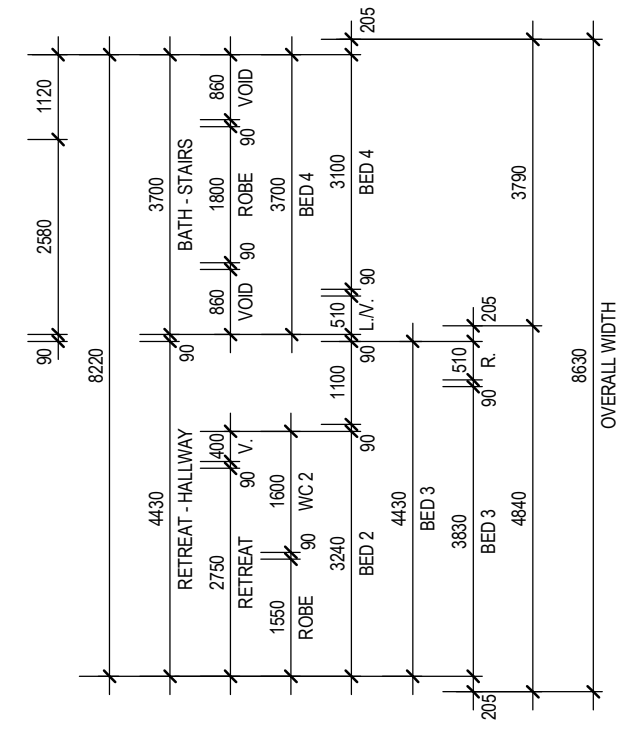
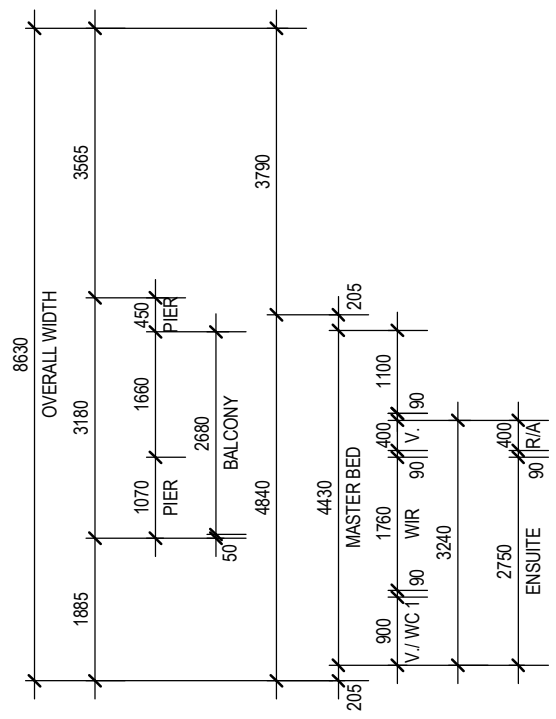
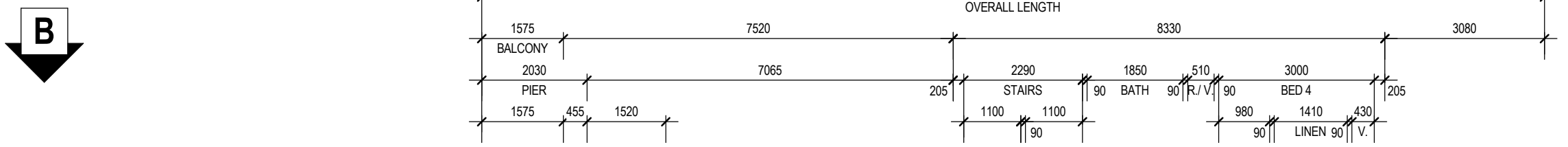
SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

DRAWN: **M-01** CHECKED: \_\_\_\_\_ PROJECT STAGE: \_\_\_\_\_

MASTER RELEASE DATE: **29/05/2024** SHEET NO: \_\_\_\_\_ TOTAL NO: \_\_\_\_\_

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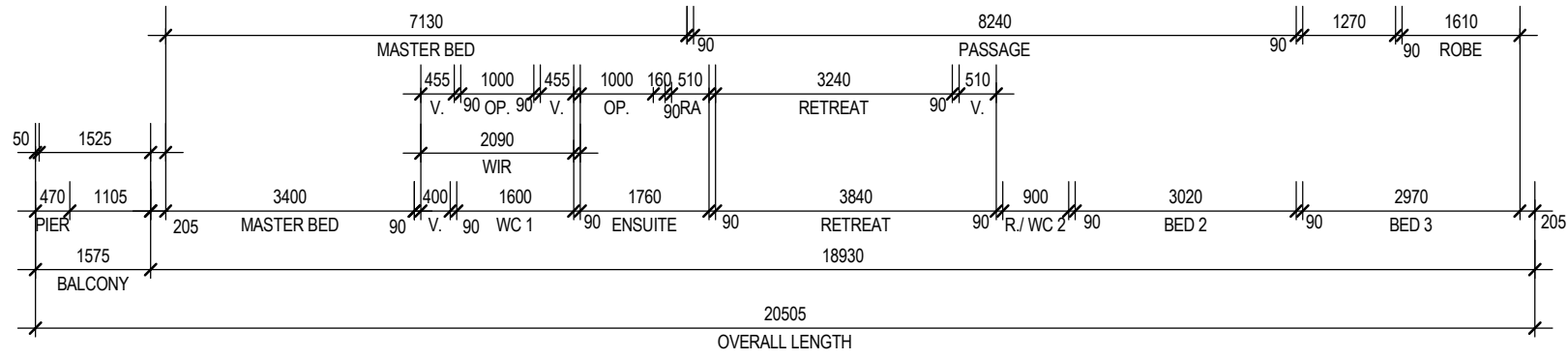


\* DENOTE PRIVACY LOCKS TO INTERNAL DOOR

R2.5 INSULATION TO EXTERNAL AND GARAGE WALLS  
R4.1 INSULATION TO CEILING

☒ DENOTES A SERVICE(S) VOID THAT **CANNOT** BE REMOVED RELOCATED OR REDUCED IN SIZE

DOUBLE STOREY HOMES: ALL FLOOR JOISTS & TRUSSES TO BE CLEAR OF VOIDS



**GENERAL NOTES**

☒ DENOTES HARDWIRED INTERCONNECTED SMOKE ALARM(S) WITH BATTERY BACKUP AS PER NCC 2022 - PART 9.5 & TO COMPLY WITH AS3786

● DP DENOTES DOWNPIPE LOCATIONS

ALL GLAZING TO COMPLY WITH AS 1288-2021 & A.S. 2047-2014

D DENOTES DOUBLE GLAZED WINDOWS

— DENOTES BEAM AS PER ENGINEERING SPECIFICATIONS

# DENOTES 2340H DOORS

MB : METER BOX      HWS : HOT WATER SYSTEM  
G : GAS METER      IHWS : INSTANTANEOUS HOT WATER SYSTEM

**AREAS TABLE**

GROUND FLOOR	120.16	M <sup>2</sup>	12.94	SQ <sup>2</sup>
FIRST FLOOR	123.19	M <sup>2</sup>	13.26	SQ <sup>2</sup>
<b>SUB TOTAL(FLOOR)</b>	<b>243.35</b>	<b>M<sup>2</sup></b>	<b>26.20</b>	<b>SQ<sup>2</sup></b>
GARAGE	37.22	M <sup>2</sup>	4.01	SQ <sup>2</sup>
PORCH	7.59	M <sup>2</sup>	0.82	SQ <sup>2</sup>
ALFRESCO	11.67	M <sup>2</sup>	1.26	SQ <sup>2</sup>
BALCONY	4.00	M <sup>2</sup>	0.43	SQ <sup>2</sup>
<b>SUB TOTAL(OTHER)</b>	<b>60.48</b>	<b>M<sup>2</sup></b>	<b>6.51</b>	<b>SQ<sup>2</sup></b>
<b>TOTAL</b>	<b>303.83</b>	<b>M<sup>2</sup></b>	<b>32.71</b>	<b>SQ<sup>2</sup></b>

**CLIENT ACKNOWLEDGEMENT**

I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.

CLIENT 1: \_\_\_\_\_ DATE 1: \_\_\_\_\_

CLIENT 2: \_\_\_\_\_ DATE 2: \_\_\_\_\_

JGK BUILDER: \_\_\_\_\_ DATE 3: \_\_\_\_\_

**SHEET TITLE**

**FIRST FLOOR PLAN**

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 100** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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CLIENT: **JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

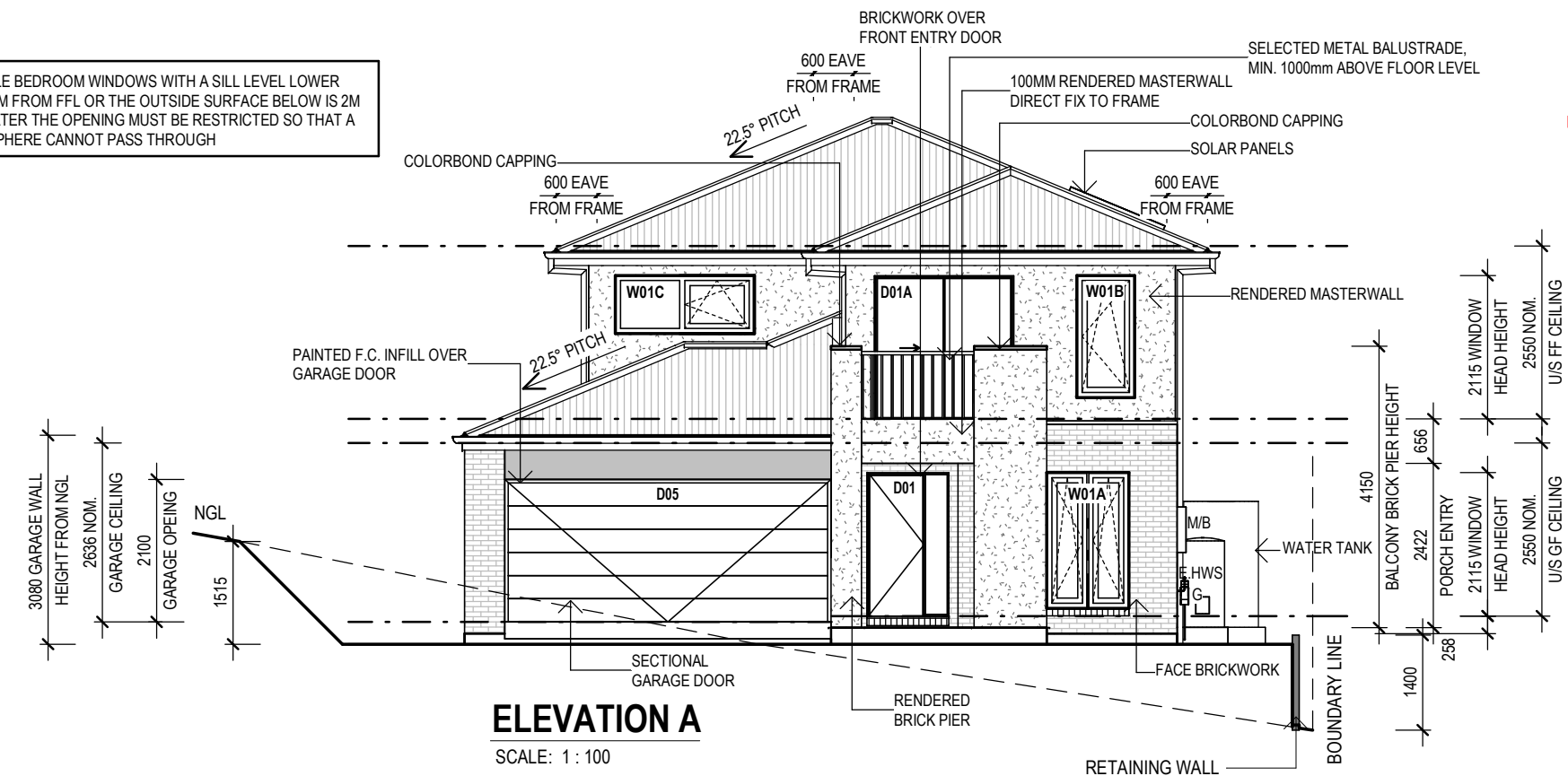
JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

DRAWN: **M-01** CHECKED: \_\_\_\_\_ PROJECT STAGE: **CONSTRUCTION**

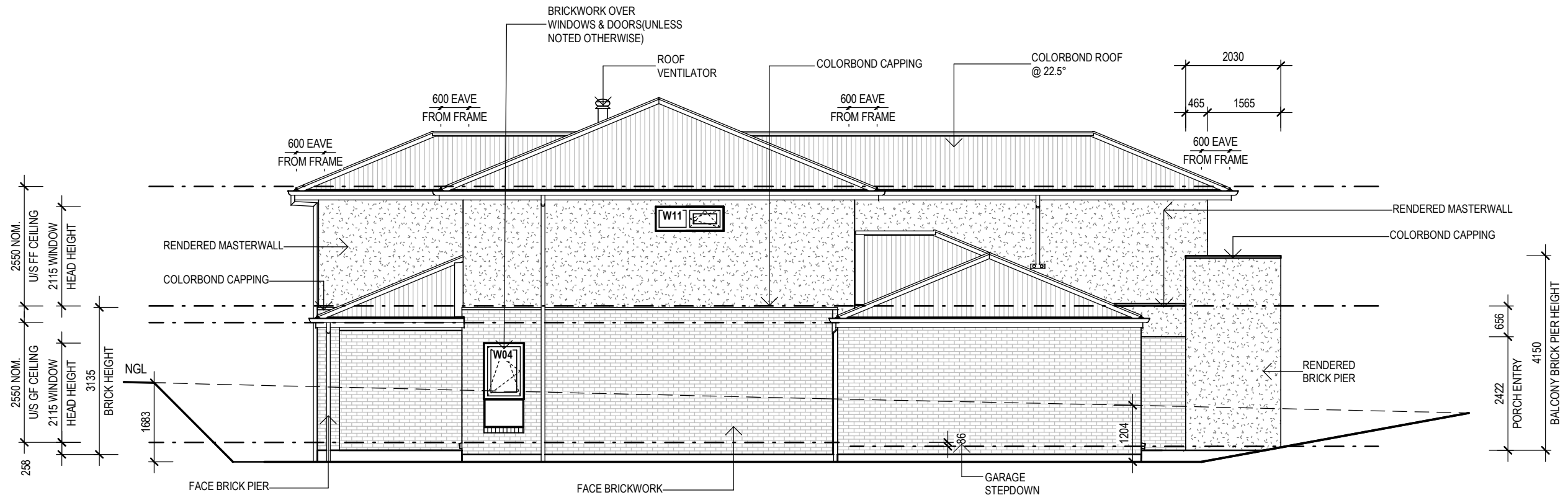
MASTER RELEASE DATE: **29/05/2024** SHEET NO: **62** TOTAL NO: **83**

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OPENABLE BEDROOM WINDOWS WITH A SILL LEVEL LOWER THAN 1.7M FROM FFL OR THE OUTSIDE SURFACE BELOW IS 2M OR GREATER THE OPENING MUST BE RESTRICTED SO THAT A 125MM SPHERE CANNOT PASS THROUGH



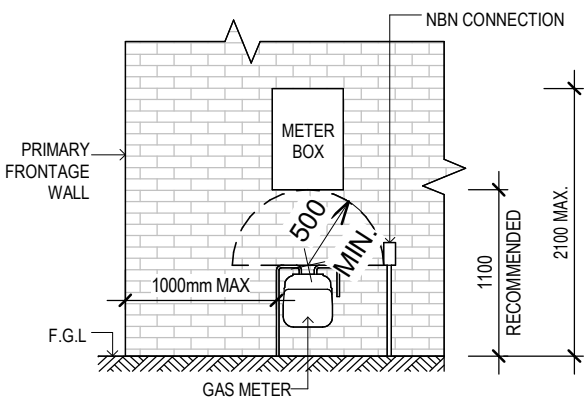
**ELEVATION A**  
SCALE: 1 : 100



**ELEVATION B**  
SCALE: 1 : 100

<p><b>GENERAL NOTES</b></p> <ul style="list-style-type: none"> <li>WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE)</li> <li>ALL GLAZING TO COMPLY WITH A.S. 1288 - 2021 (REFER TO ENERGY RATING FOR ALL GLAZING VALUES.) &amp; A.S.2047-2014</li> <li>HWS : HOT WATER SYSTEM IHWS : INSTANTANEOUS HOT WATER SYSTEM M/B : METER BOX G : GAS METER</li> </ul>	<p><b>FINISHES/MATERIALS LEGEND</b></p> <ul style="list-style-type: none"> <li>[Brick pattern] FACE BRICKWORK</li> <li>[Stippled pattern] RENDER BRICKWORK</li> <li>[Solid grey] PAINTED F.C. INFILL</li> <li>[Dotted pattern] RENDERED FOAM CLADDING</li> <li>[Horizontal lines] RENDER BLUEBOARD</li> </ul>	<p><b>CLIENT ACKNOWLEDGEMENT</b></p> <p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: _____ DATE 1: _____</p> <p>CLIENT 2: _____ DATE 2: _____</p> <p>JGK BUILDER: _____ DATE 3: _____</p>	<p><b>SHEET TITLE</b></p> <p><b>ELEVATIONS</b></p> <p>HOUSE NAME: <b>COMMANDER 285</b> HAND: <b>LH</b></p> <p>FACADE NAME: <b>GRANADA</b></p> <p>SHEET SCALE: <b>1 : 100</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2024</b></p> <p><small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	 <p><b>JG KING HOMES</b> 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p> <p><b>UP COLLECTION</b> TRARALGON</p>	<p>CLIENT: <b>JOSHUA MATHEW &amp; MONCY JOSHUA</b></p> <p>ADDRESS: <b>LOT 8, NO.69 LAKEVIEW DRIVE</b></p> <p>SUBURB: <b>LAKES ENTRANCE VIC 3909</b></p> <p>JOB NO: <b>2404TRA160</b> JOB DATE: <b>06/06/2024</b></p> <p>DRAWN: <b>M-01</b> CHECKED: _____ PROJECT STAGE: <b>CONSTRUCTION</b></p> <p>MASTER RELEASE DATE: <b>29/05/2024</b> SHEET NO: <b>03</b> TOTAL NO: <b>83</b></p>
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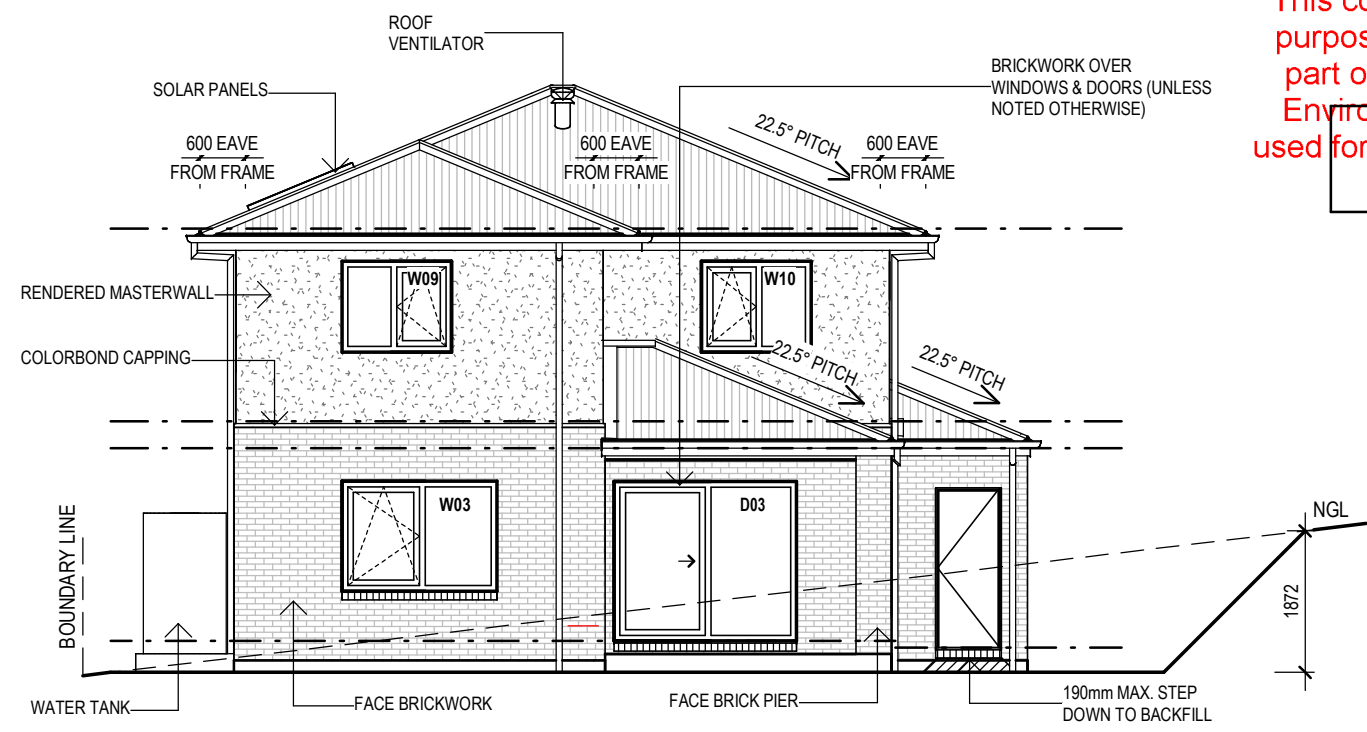
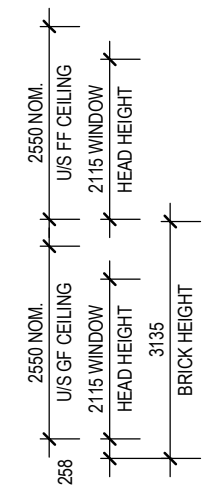
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**GAS METER LOCATION**

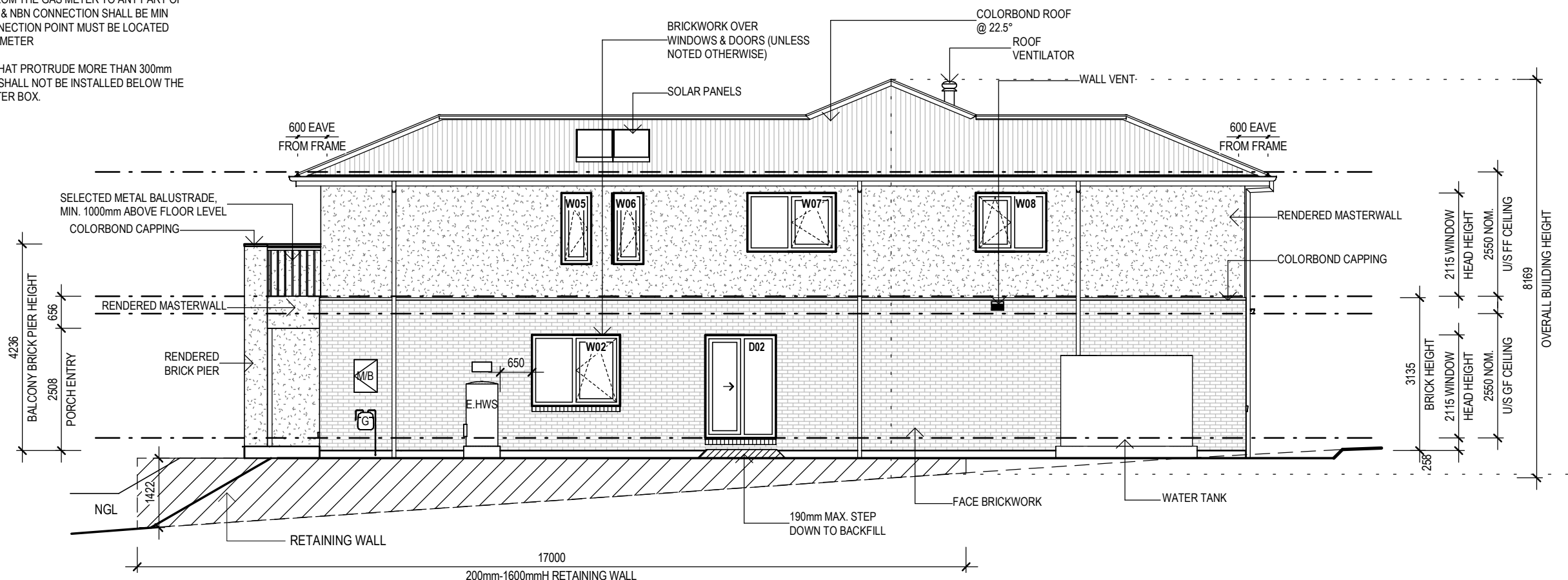
NOTE: SCALE - 1:50

- CLEARANCE FROM THE GAS METER TO ANY PART OF ELECTRICAL BOX & NBN CONNECTION SHALL BE MIN 500mm. NBN CONNECTION POINT MUST BE LOCATED BEHIND THE GAS METER
- GAS METERS THAT PROTRUDE MORE THAN 300mm FROM THE WALL SHALL NOT BE INSTALLED BELOW THE ELECTRICITY METER BOX.



**ELEVATION C**

SCALE: 1:100



**ELEVATION D**

SCALE: 1:100

GENERAL NOTES

- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE)
- ALL GLAZING TO COMPLY WITH A.S. 1288 - 2021 (REFER TO ENERGY RATING FOR ALL GLAZING VALUES.) & A.S.2047-2014
- HWS : HOT WATER SYSTEM  
IHWS : INSTANTANEOUS HOT WATER SYSTEM  
M/B : METER BOX  
G : GAS METER

FINISHES/MATERIALS LEGEND

	FACE BRICKWORK
	RENDER BRICKWORK
	PAINTED F.C. INFILL
	RENDERED FOAM CLADDING
	RENDER BLUEBOARD

CLIENT ACKNOWLEDGEMENT

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CLIENT 1:	DATE 1:
CLIENT 2:	DATE 2:
JGK BUILDER:	DATE 3:

SHEET TITLE

**ELEVATIONS**

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **As indicated** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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**JG KING HOMES** 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555

CLIENT: **JOSHUA MATHEW & MONCY JOSHUA**

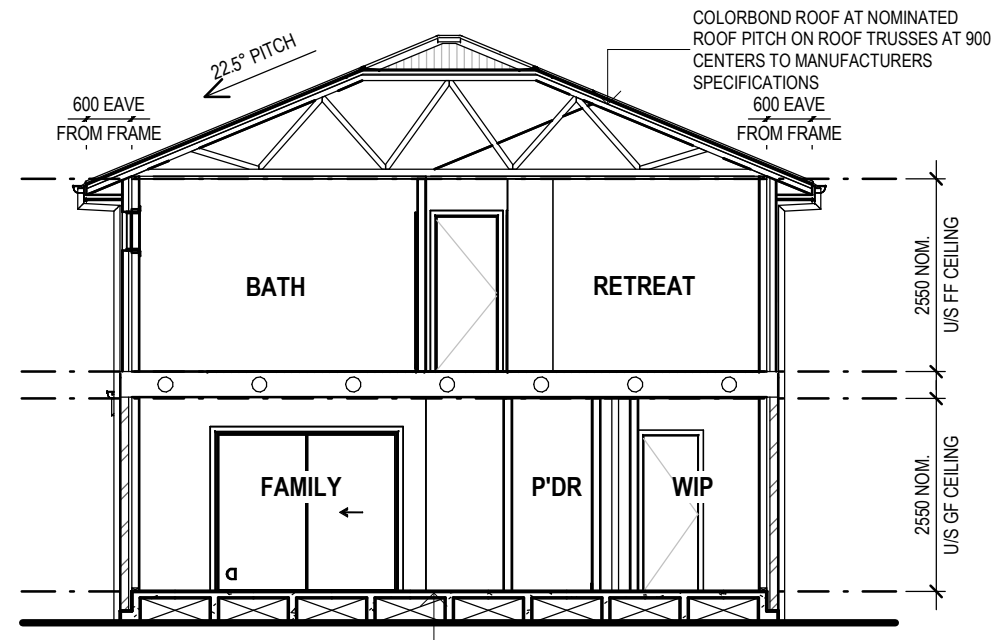
ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

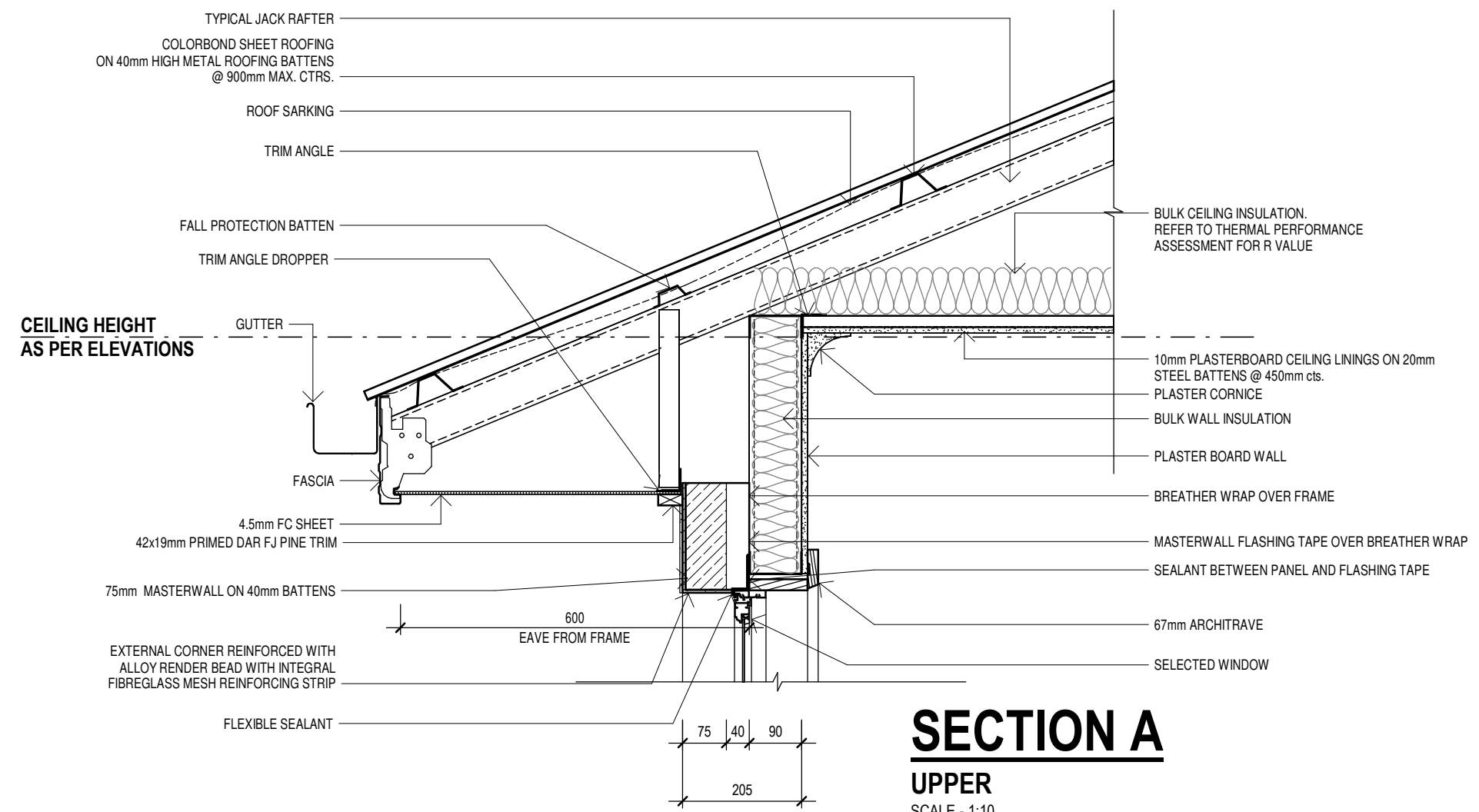
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**SECTION Y-Y**

SCALE: 1 : 100

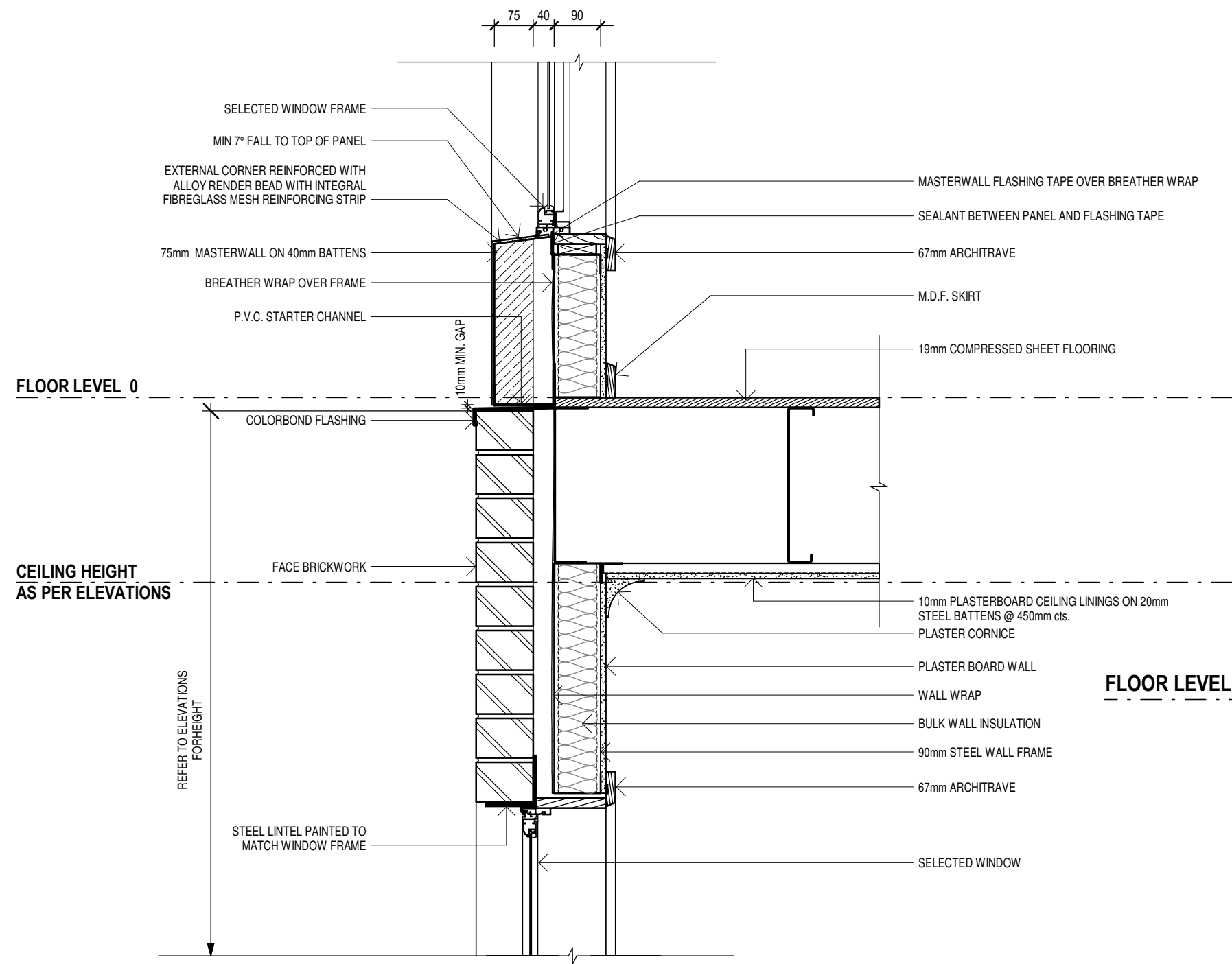


**SECTION A**

UPPER  
SCALE - 1:10

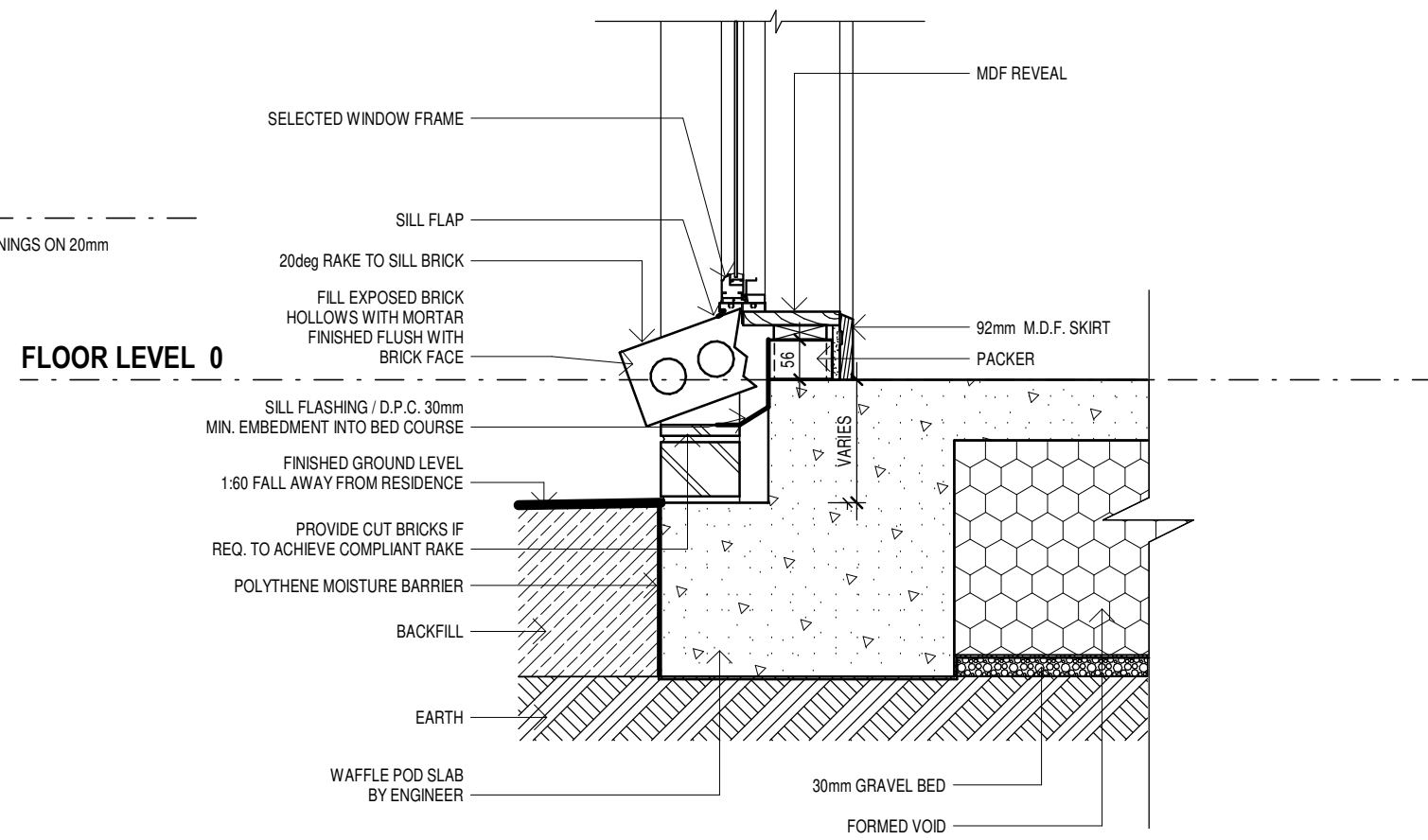
<p>GENERAL NOTES</p>	<p>CLIENT ACKNOWLEDGEMENT</p> <p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<p>SHEET TITLE</p> <p><b>SECTION/DETAILS</b></p> <p>HOUSE NAME: <b>COMMANDER 285</b> HAND: <b>LH</b></p> <p>FACADE NAME: <b>GRANADA</b></p> <p>SHEET SCALE: <b>As indicated</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2024</b></p> <p><small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	  <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>CLIENT</p> <p><b>JOSHUA MATHEW &amp; MONCY JOSHUA</b></p> <p>ADDRESS</p> <p><b>LOT 8, NO.69 LAKEVIEW DRIVE</b></p> <p>SUBURB</p> <p><b>LAKES ENTRANCE VIC 3909</b></p> <p>JOB NO</p> <p><b>2404TRA160</b> JOB DATE</p> <p><b>06/06/2024</b></p> <p>DRAWN</p> <p><b>M-01</b> PROJECT STAGE</p> <p>MASTER RELEASE DATE</p> <p><b>29/05/2024</b></p>	<p>Printed 12/12/2024</p> <p>Page 55 of 83</p>
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**SECTION A**

MIDDLE  
SCALE - 1:10



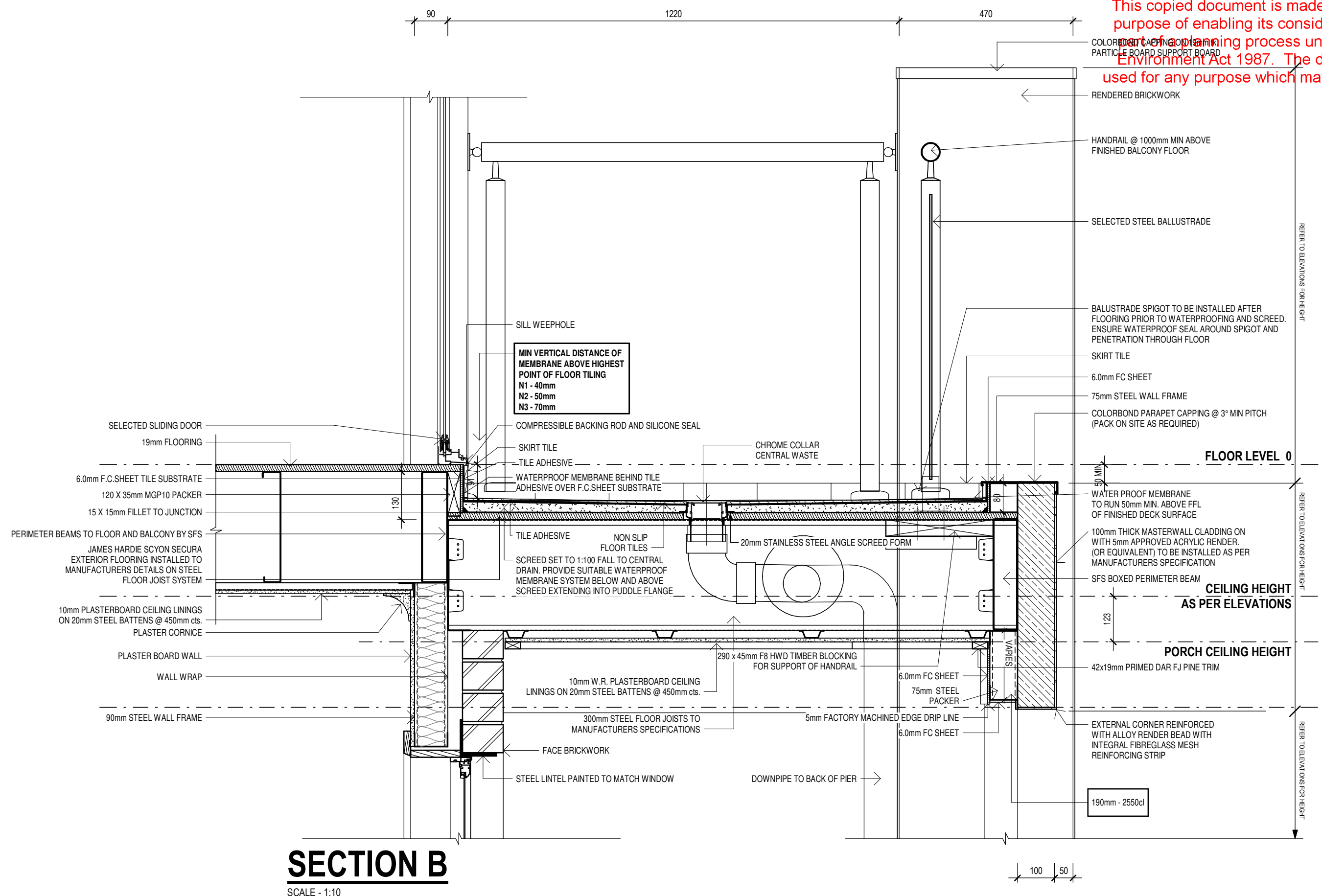
**SECTION A**

LOWER  
SCALE - 1:10

<p>GENERAL NOTES</p>	<p>CLIENT ACKNOWLEDGEMENT</p> <p>I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<p>SHEET TITLE</p> <p><b>SECTION/DETAILS</b></p> <p>HOUSE NAME: <b>COMMANDER 285</b> HAND: <b>LH</b></p> <p>FACADE NAME: <b>GRANADA</b></p> <p>SHEET SCALE: <b>A3</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2024</b></p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	  <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>CLIENT</p> <p><b>JOSHUA MATHEW &amp; MONCY JOSHUA</b></p> <p>ADDRESS</p> <p>LOT 8, NO.69 LAKEVIEW DRIVE</p> <p>SUBURB</p> <p>LAKES ENTRANCE VIC 3909</p> <p>JOB NO</p> <p>2404TRA160</p> <p>JOB DATE</p> <p>06/06/2024</p> <p>PROJECT STAGE</p> <p>M-01</p> <p>MASTER RELEASE DATE</p> <p>29/05/2024</p>	<p>Printed 12/12/2024</p> <p>Page 56 of 83</p>
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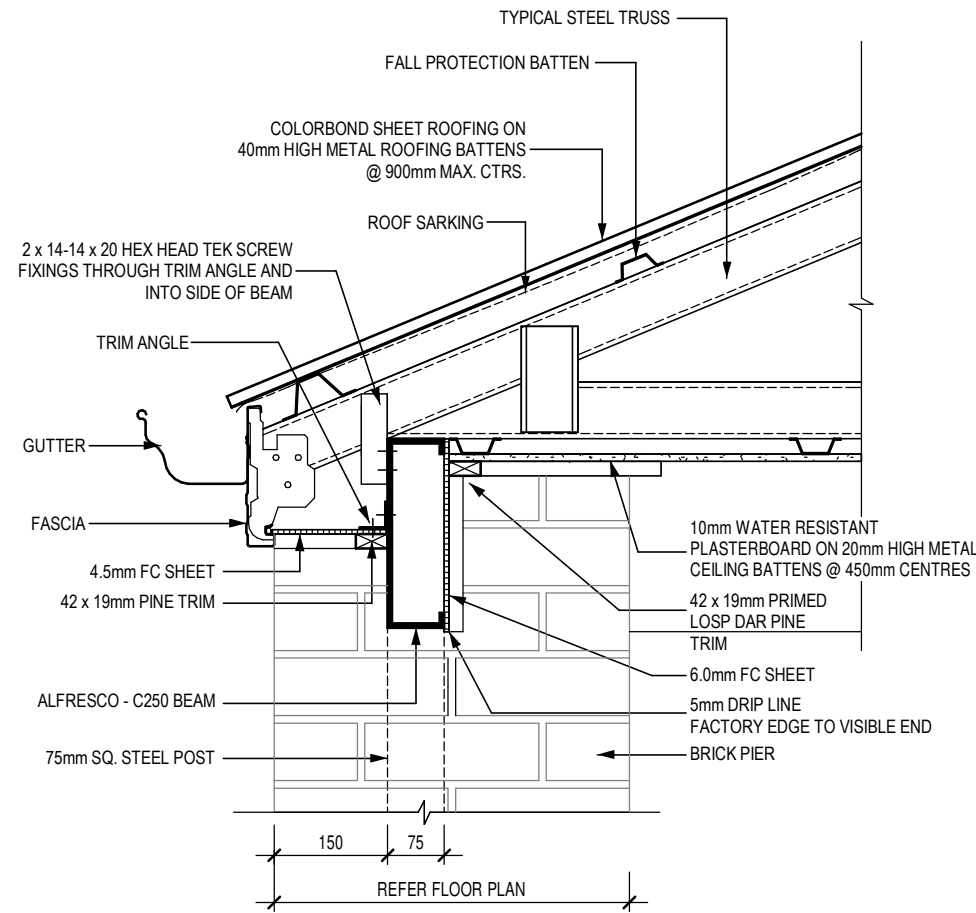
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# SECTION B

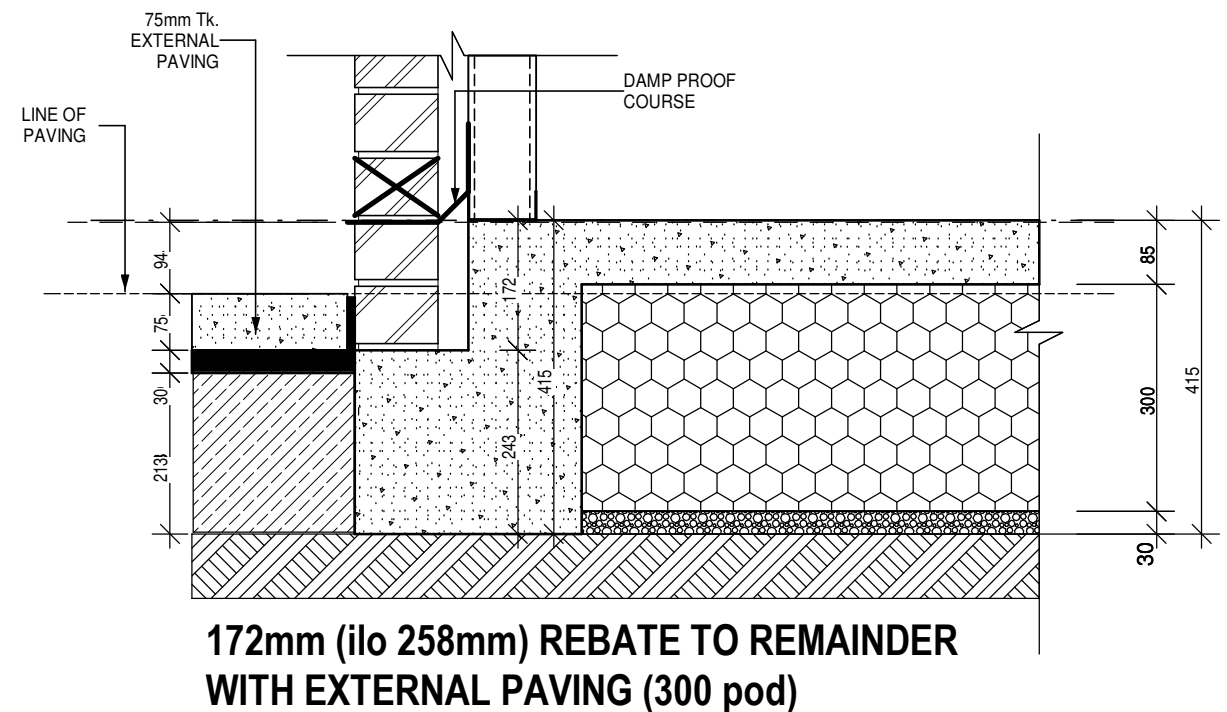
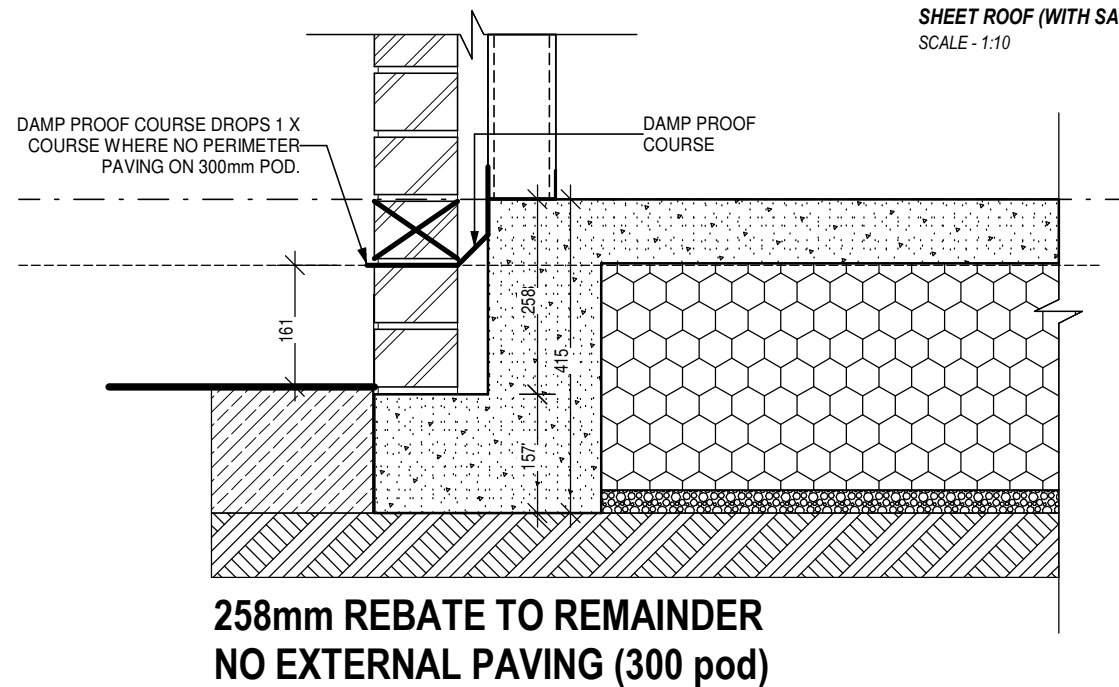
SCALE - 1:10

<p>GENERAL NOTES</p>	<p>CLIENT ACKNOWLEDGEMENT</p> <p>I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<p>SHEET TITLE</p> <p><b>SECTION/DETAILS</b></p> <p>HOUSE NAME: <b>COMMANDER 285</b></p> <p>FACADE NAME: <b>GRANADA</b></p> <p>SHEET SCALE: <b>A3</b></p> <p>ORIGINAL SHEET SIZE: <b>A3</b></p> <p>COPYRIGHT: <b>2024</b></p> <p><small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	<p>CLIENT</p> <p><b>JOSHUA MATHEW &amp; MONCY JOSHUA</b></p> <p>ADDRESS: <b>LOT 8, NO.69 LAKEVIEW DRIVE</b></p> <p>SUBURB: <b>LAKES ENTRANCE VIC 3909</b></p> <p>JOB NO: <b>2404TRA160</b></p> <p>JOB DATE: <b>06/06/2024</b></p> <p>DRAWN: <b>M-01</b></p> <p>CHECKED: <b>CC/NT/PA</b></p> <p>PROJECT STAGE: <b>CONSTRUCTION</b></p> <p>MASTER RELEASE DATE: <b>29/05/2024</b></p> <p>SHEET NO: <b>57</b></p> <p>TOTAL NO: <b>83</b></p>	<p><b>JG KING HOMES</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>Printed 12/12/2024</p> <p>Page 57 of 83</p>
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**SECTION C - ALFRESCO DETAIL**

**SHEET ROOF (WITH SARKING)**  
SCALE - 1:10



GENERAL NOTES
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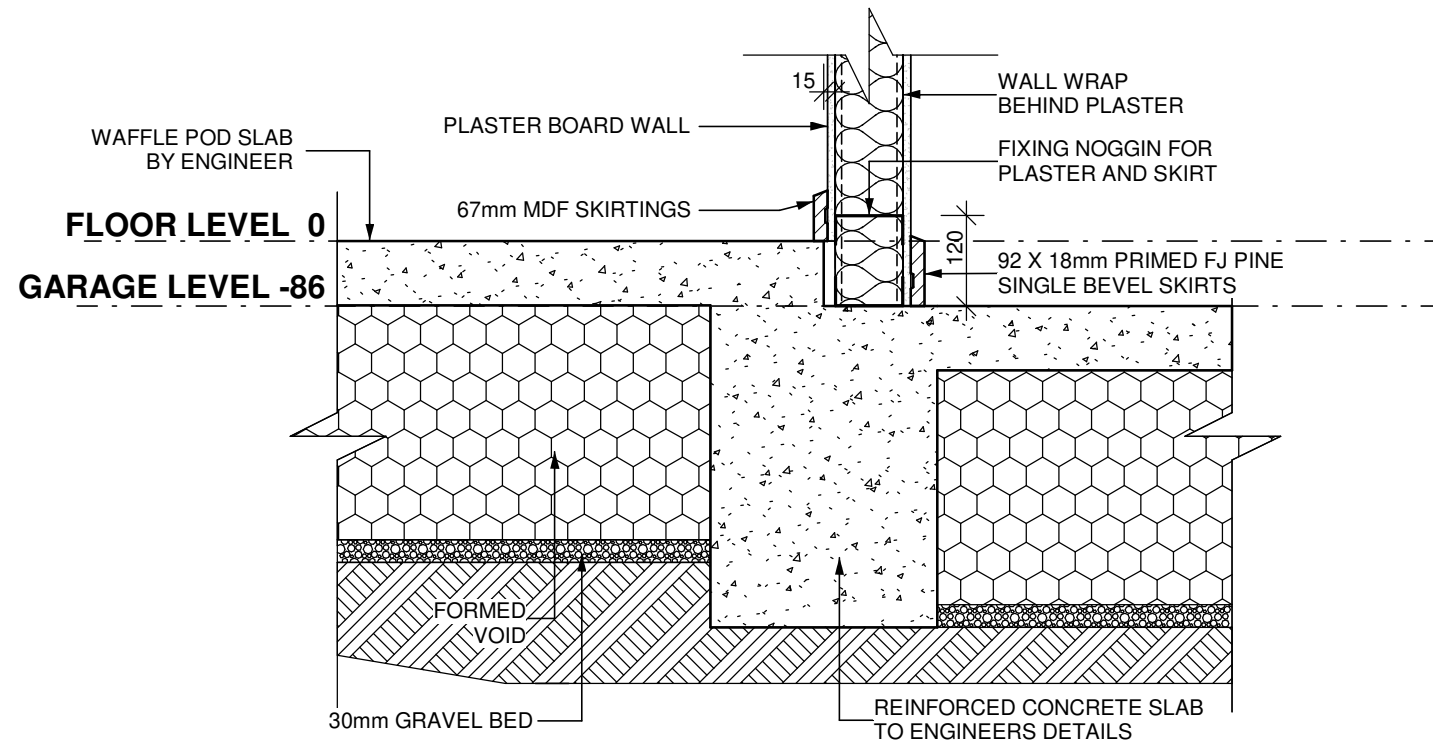
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CLIENT 1:	DATE 1:
CLIENT 2:	DATE 2:
JGK BUILDER:	DATE 3:

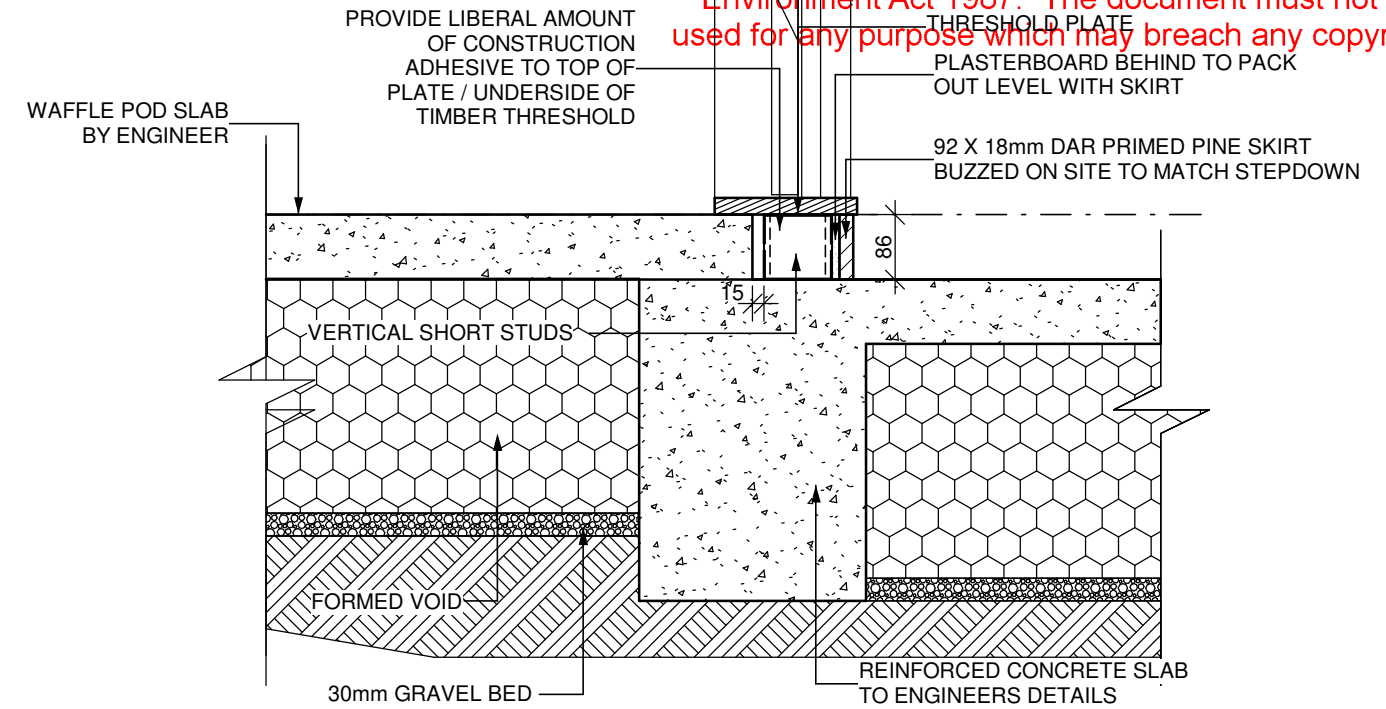
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<b>SECTION/DETAILS</b>	
HOUSE NAME	HAND
<b>COMMANDER 285</b>	<b>LH</b>
FACADE NAME	
<b>GRANADA</b>	
SHEET SCALE	COPYRIGHT
<b>A3</b>	<b>2024</b>
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CLIENT	
<b>JOSHUA MATHEW &amp; MONCY JOSHUA</b>	
ADDRESS	
LOT 8, NO.69 LAKEVIEW DRIVE	
SUBURB	
LAKES ENTRANCE VIC 3909	
JOB NO	JOB DATE
2404TRA160	06/06/2024
DRAWN	CHECKED
M-01	PROJECT STAGE
MASTER RELEASE DATE	29/05/2024
SHEET NO	TOTAL NO

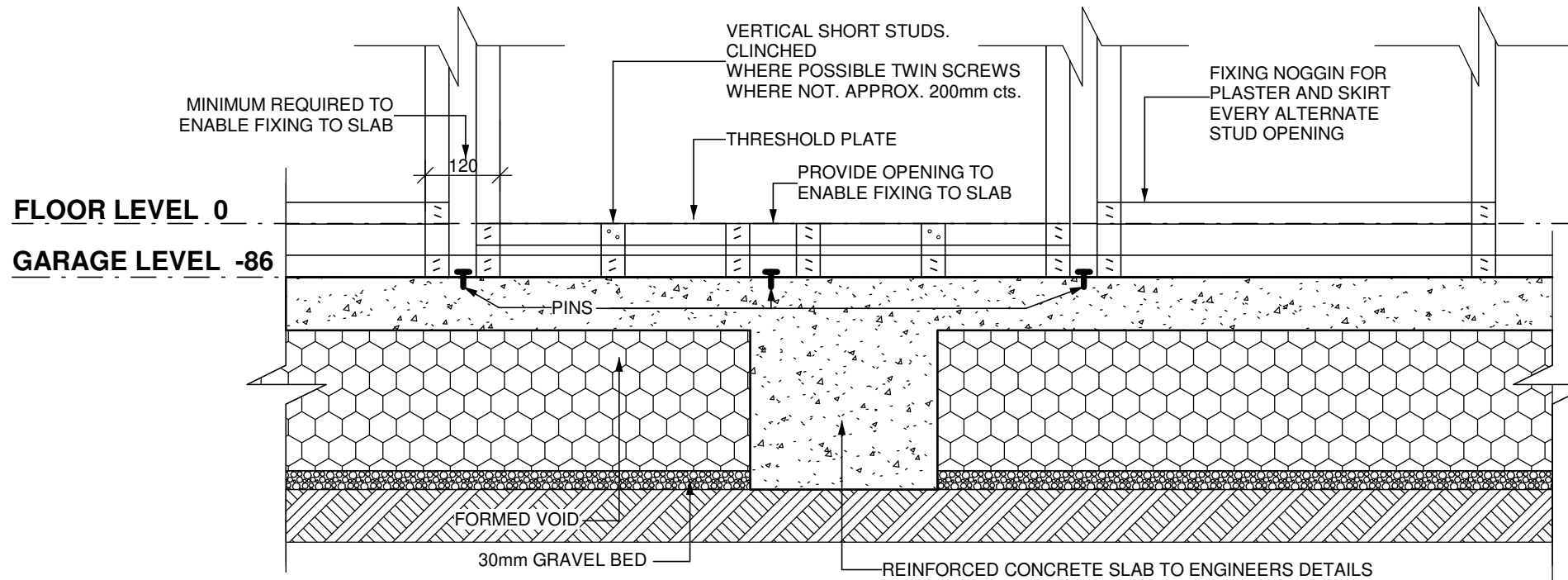
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**WALL SECTION**  
GARAGE STEPDOWN  
SCALE - 1:10





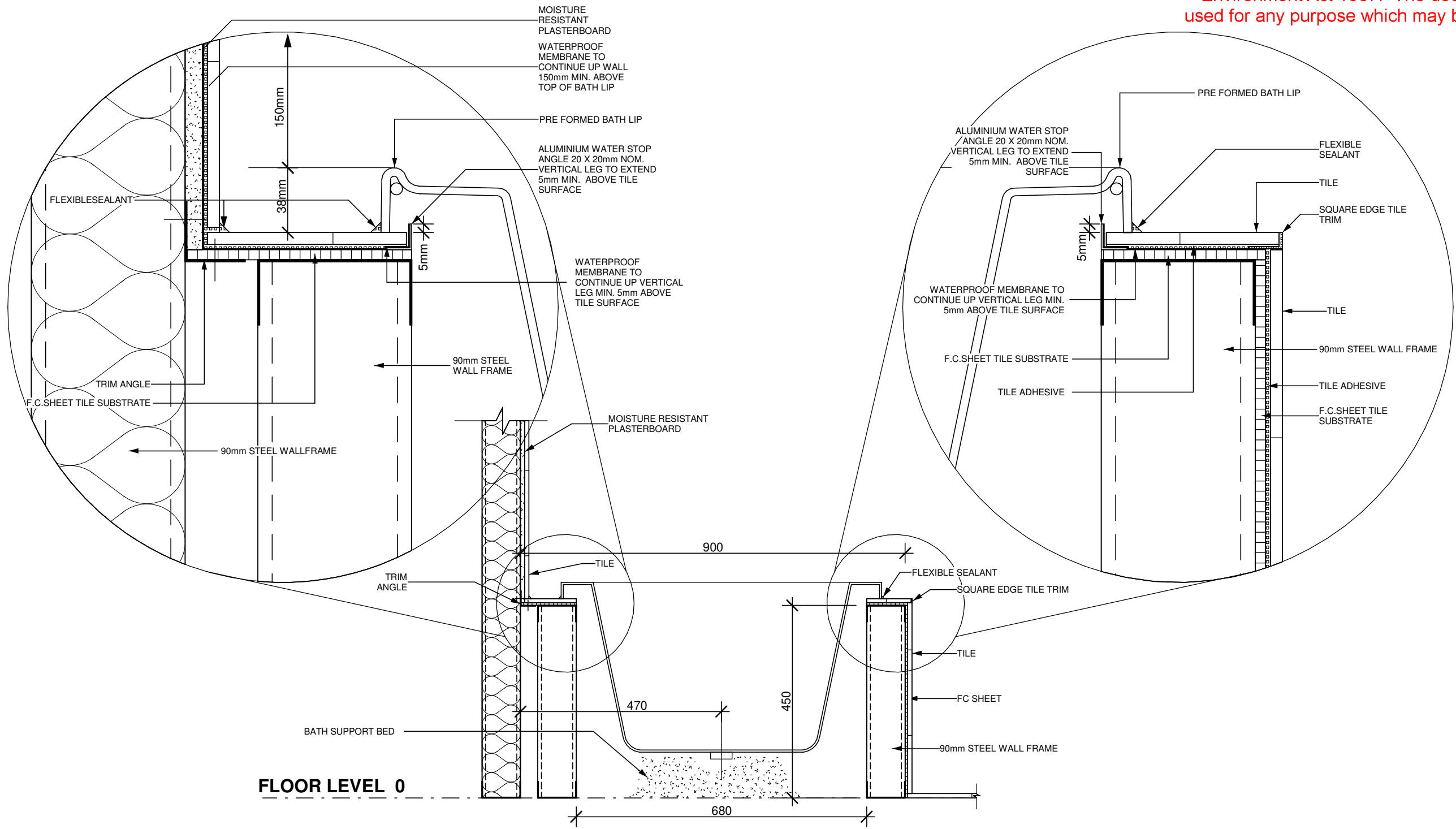
**THRESHOLD SECTION**  
GARAGE STEPDOWN  
SCALE - 1:10



**FRAMING ELEVATION**  
GARAGE STEPDOWN  
SCALE - 1:10

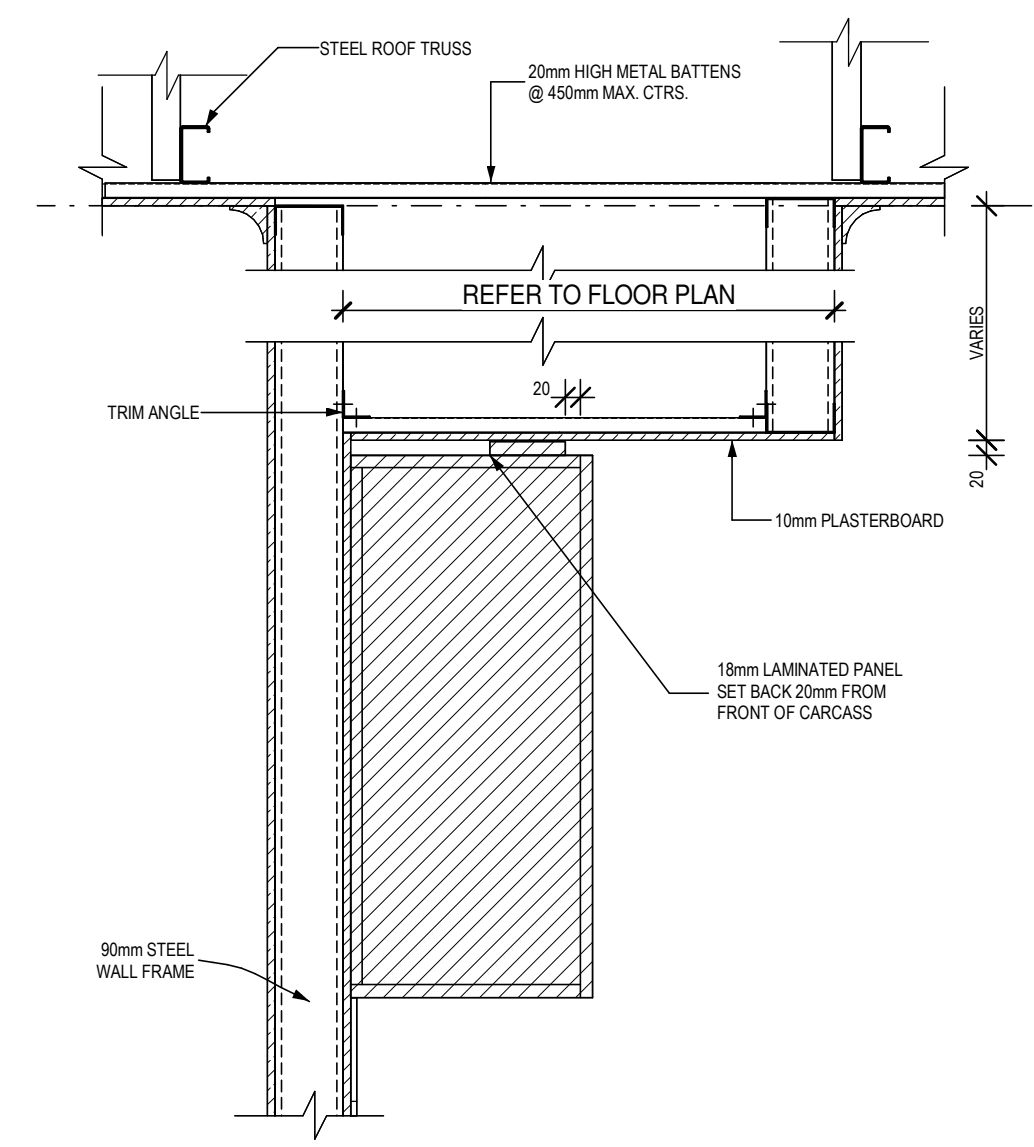
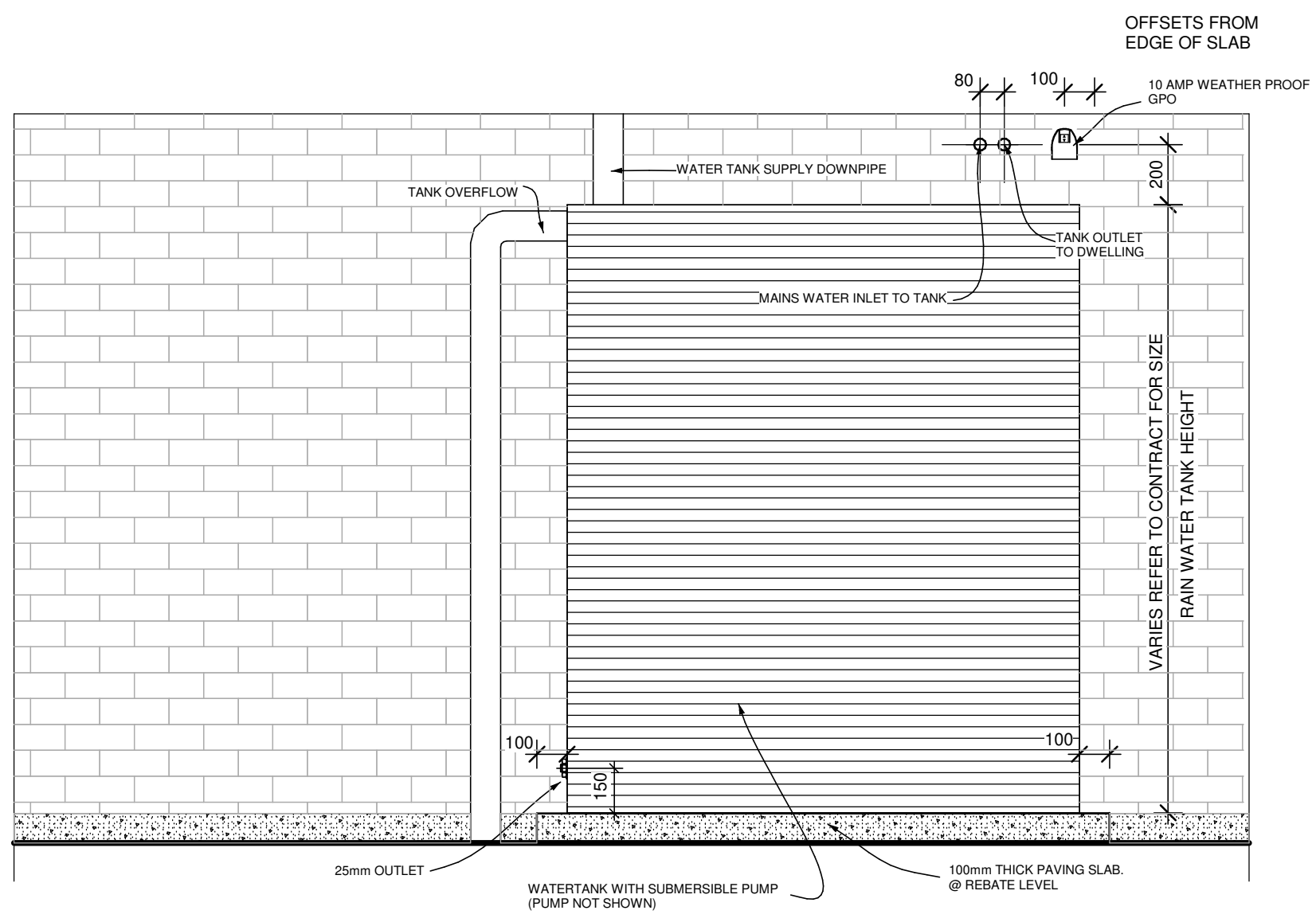
**NOTE: ALL SKIRTS AND ARCHITRAVES TO GARAGE TO BE SINGLE BEVEL PRIMED PINE 92x18mm**

<p>GENERAL NOTES</p>	<p>CLIENT ACKNOWLEDGEMENT</p> <p>I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<p>SHEET TITLE</p> <p><b>SECTION/DETAILS</b></p> <p>HOUSE NAME: <b>COMMANDER 285</b> HAND: <b>LH</b></p> <p>FACADE NAME: <b>GRANADA</b></p> <p>SHEET SCALE: <b>A3</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2024</b></p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	  <p>TRARALGON</p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>CLIENT: <b>JOSHUA MATHEW &amp; MONCY JOSHUA</b></p> <p>ADDRESS: <b>LOT 8, NO.69 LAKEVIEW DRIVE</b></p> <p>SUBURB: <b>LAKES ENTRANCE VIC 3909</b></p> <p>JOB NO: <b>2404TRA160</b> JOB DATE: <b>06/06/2024</b></p> <p>DRAWN: <b>M-01</b> CHECKED: <b>CON/PA</b> PROJECT STAGE: <b>CON/PA</b></p> <p>MASTER RELEASE DATE: <b>29/05/2024</b> SHEET NO: <b>33</b> TOTAL NO: <b>33</b></p>
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**TYPICAL BATH HOB DETAIL**  
 BASE ACRYLIC INSET BATH 1700mm x 750mm x 400mm H  
 SCALE - 1:10

<p>GENERAL NOTES</p>	<p>CLIENT ACKNOWLEDGEMENT</p> <p>I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: _____ DATE 1: _____</p> <p>CLIENT 2: _____ DATE 2: _____</p> <p>JGK BUILDER: _____ DATE 3: _____</p>	<p>SHEET TITLE</p> <p><b>SECTION/DETAILS</b></p> <p>HOUSE NAME: <b>COMMANDER 285</b> HAND: <b>LH</b></p> <p>FACADE NAME: <b>GRANADA</b></p> <p>SHEET SCALE: <b>A3</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2024</b></p> <p><small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>		<p>CLIENT</p> <p><b>JOSHUA MATHEW &amp; MONCY JOSHUA</b></p> <p>ADDRESS: <b>LOT 8, NO.69 LAKEVIEW DRIVE</b></p> <p>SUBURB: <b>LAKES ENTRANCE VIC 3909</b></p> <p>JOB NO: <b>2404TRA160</b> JOB DATE: <b>06/06/2024</b></p> <p>DRAWN: <b>M-01</b> CHECKED: _____ PROJECT STAGE: <b>CONTRACT</b></p> <p>MASTER RELEASE DATE: <b>29/05/2024</b> SHEET NO: <b>25</b> TOTAL NO: <b>33</b></p>
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**KITCHEN JOINERY BULKHEAD DETAIL**

SCALE - 1:10

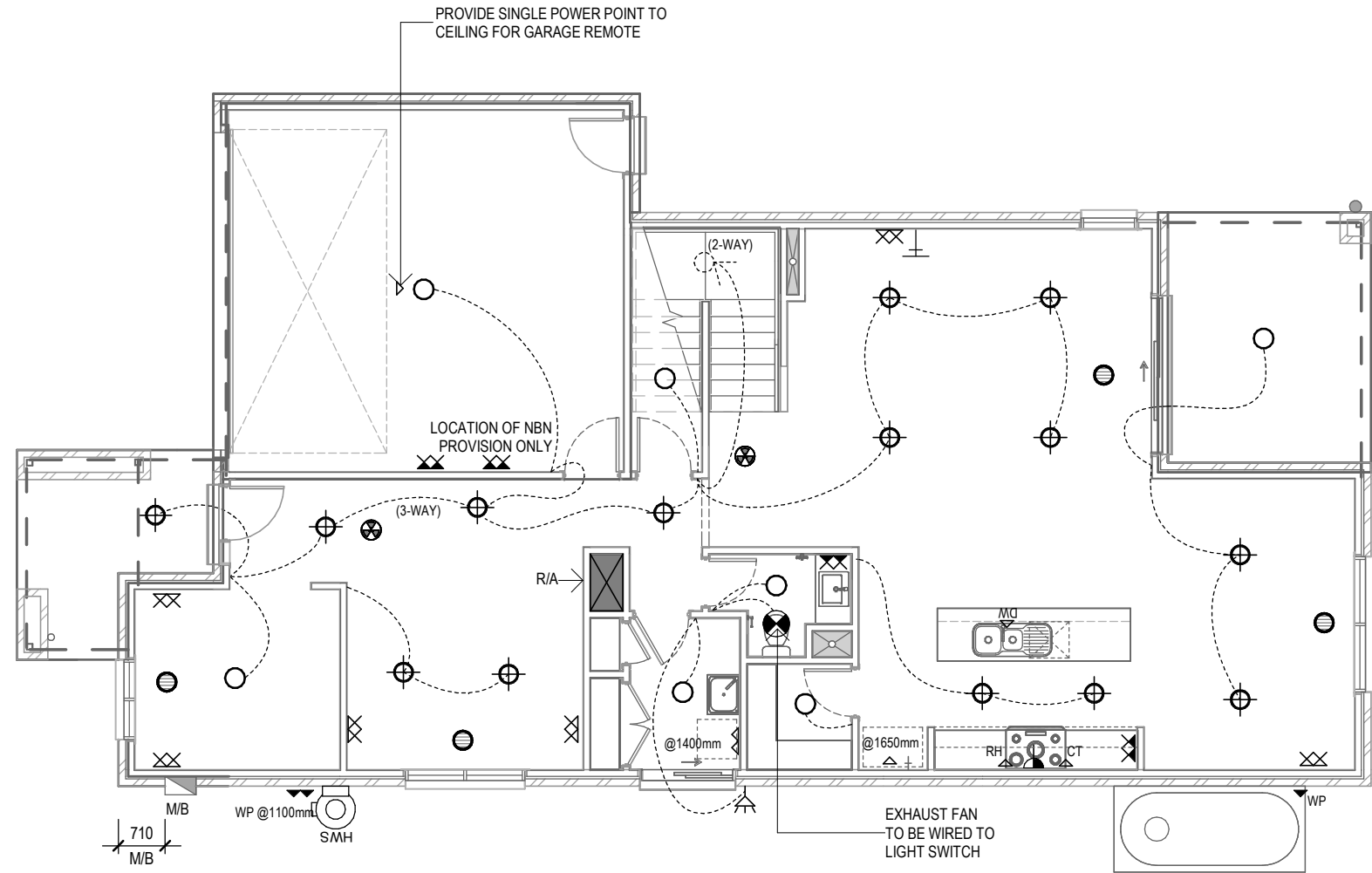
**WATER TANK SETOUT**

SCALE 1:20

<p>GENERAL NOTES</p>	<p>CLIENT ACKNOWLEDGEMENT</p> <p>I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<p>SHEET TITLE</p> <p><b>SECTION/DETAILS</b></p> <p>HOUSE NAME: <b>COMMANDER 285</b> HAND: <b>LH</b></p> <p>FACADE NAME: <b>GRANADA</b></p> <p>SHEET SCALE: <b>A3</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2024</b></p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD*</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	  <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>CLIENT: <b>JOSHUA MATHEW &amp; MONCY JOSHUA</b></p> <p>ADDRESS: <b>LOT 8, NO.69 LAKEVIEW DRIVE</b></p> <p>SUBURB: <b>LAKES ENTRANCE VIC 3909</b></p> <p>JOB NO: <b>2404TRA160</b> JOB DATE: <b>06/06/2024</b></p> <p>DRAWN: <b>M-01</b> CHECKED: <b>JGK</b> PROJECT STAGE: <b>CONTRACT</b></p> <p>MASTER RELEASE DATE: <b>29/05/2024</b> SHEET NO: <b>61</b> TOTAL NO: <b>83</b></p>
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LOCATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO REGULATIONS & CONSTRUCTION REQUIREMENTS



LEGEND OF SYMBOLS		FITTING WATTAGE	QTY
	DOUBLE GPO-INTERNAL @ 300mm	N/A	14
	DOUBLE GPO-INTERNAL @ 1100mm	N/A	6
	SINGLE GPO-INTERNAL (HEIGHT VARIES)	N/A	5
	DOUBLE GPO-INTERNAL (HEIGHT VARIES)	N/A	1
	SINGLE GPO WEATHER PROOF - EXTERNAL (HEIGHT VARIES)	N/A	1
	DOUBLE GPO WEATHER PROOF - EXTERNAL (HEIGHT VARIES)	N/A	1
	DIRECT WIRE (APPLIANCE)	N/A	1
	CEILING LIGHT BATTEN HOLDER	10W	15
	LED DOWN LIGHT	7W	26
	LIGHT (EXTERNAL)-MIN. 40LW HT. VARIES (1978mm FROM FINISH FLOOR LEVEL)	10W	1
	SMOKE ALARM	N/A	4
	HOT WATER SERVICE (ELECTRIC)	N/A	1
	EXHAUST FAN (SELF CLOSING)	N/A	4
	METER BOX	N/A	1
	T.V. COAXIAL POINT @ 300mm	N/A	3
	RETURN AIR LOCATION	N/A	1
	HEATING VOID IN TRUSS INCLUDING DOUBLE POWER POINT (INCLUDED IN VALUES ABOVE) *EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION	N/A	1
	CEILING REGISTER (APPX. LOC.) (EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION)	N/A	9
	ROOF ACCESS (PROVIDE SINGLE BATTEN LIGHT WITHIN 1.6 M OF ROOF ACCES, INCLUDED IN VALUE ABOVE)	N/A	1

**ARTIFICIAL LIGHTING**

IN ACCORDANCE WITH NCC BUILDING CODE OF AUSTRALIA VOLUME 2 PART 2.12.5.5

Lighting Location	Actual
Class 1 Building (5W/m <sup>2</sup> ) Residence	285
Class 10 Building (3W/m <sup>2</sup> ) Garage/Carport	10
External Lighting (4W/m <sup>2</sup> ) Verandah/Porch/Alfresco/Balcony	27
<b>Total</b>	<b>322</b>

**GENERAL NOTES**

- BOTTOM OF METER BOX TO BE 1100mm ABOVE GROUND LEVEL.
- HEIGHTS MEASURED FROM FLOOR LEVEL TO CENTER OF FITTING UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE ALL POWER POINTS ARE TO BE LOCATED TO THE NEAREST STUD.
- POWER POINTS FOR APPLIANCES ARE TO SUIT MANUFACTURERS REQUIREMENTS.
- SOLAR PANEL LOCATION NOMINAL ONLY. INSTALLERS TO LOCATE (EXCLUDING FRONT ELEVATION) TO COMPLY WITH MANUFACTURERS REQUIREMENTS & AS/NZS 3500 PLUMBING AND DRAINAGE.
- DENOTES HARDWIRED INTERCONNECTED SMOKE ALARM(S) WITH BATTERY BACKUP AS PER NCC 2022 PART 9.5 & TO COMPLY WITH AS3786.

**PROVIDE FIBRE PROVISIONING ONLY**

INCLUDES:

- TRENCH AND P20 CONDUIT (32MM WHEN REQUIRED) FROM COMMUNICATIONS PIT TO HOUSE INCLUDING DRAWSTRING.
- INTERNAL P20 CONDUIT (32MM WHEN REQUIRED) TO FUTURE LOCATION OF ENCLOSURE POSITION.
- DOUBLE POWER POINT TO LOCATION OF FUTURE ENCLOSURE POSITION.

NOTES:

- DOES NOT INCLUDE ANY INTERNAL POINTS (DATA, TV, PHONE ETC)
- DOES NOT INCLUDE ENCLOSURE.
- NOT RECOMMENDED FOR DOUBLE STOREY HOMES.

**CLIENT ACKNOWLEDGEMENT**

I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.

CLIENT 1: \_\_\_\_\_ DATE 1: \_\_\_\_\_

CLIENT 2: \_\_\_\_\_ DATE 2: \_\_\_\_\_

JGK BUILDER: \_\_\_\_\_ DATE 3: \_\_\_\_\_

**SHEET TITLE**  
**ELECTRICAL - GROUND FLOOR**

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 100** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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**UP COLLECTION**

**JG KING HOMES**

154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555

CLIENT: **JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

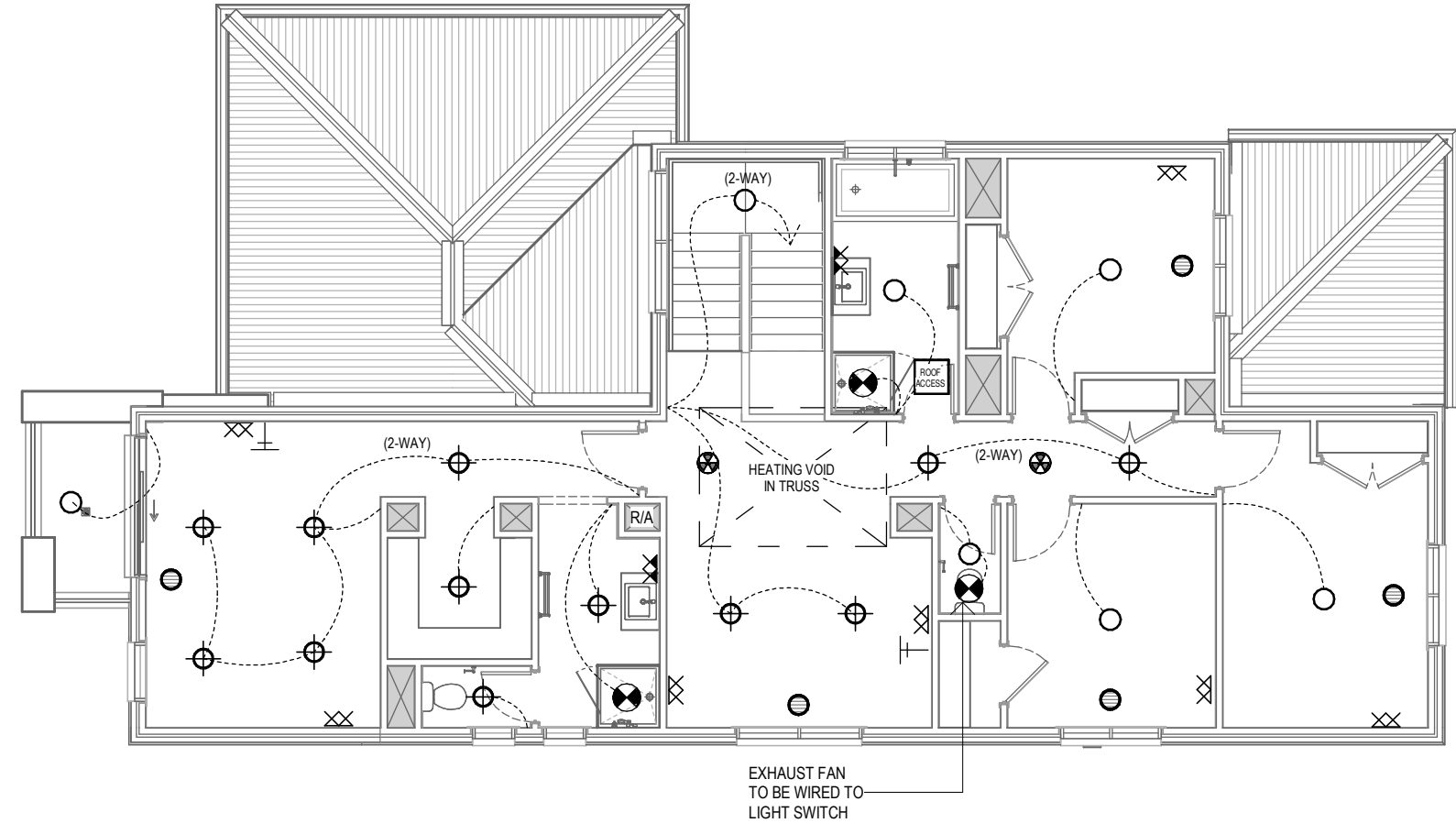
SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

DRAWN: **M-01** CHECKED: \_\_\_\_\_ PROJECT STAGE: **CONSTRUCTION**

MASTER RELEASE DATE: **29/05/2024** SHEET NO: **1** TOTAL NO: **3**



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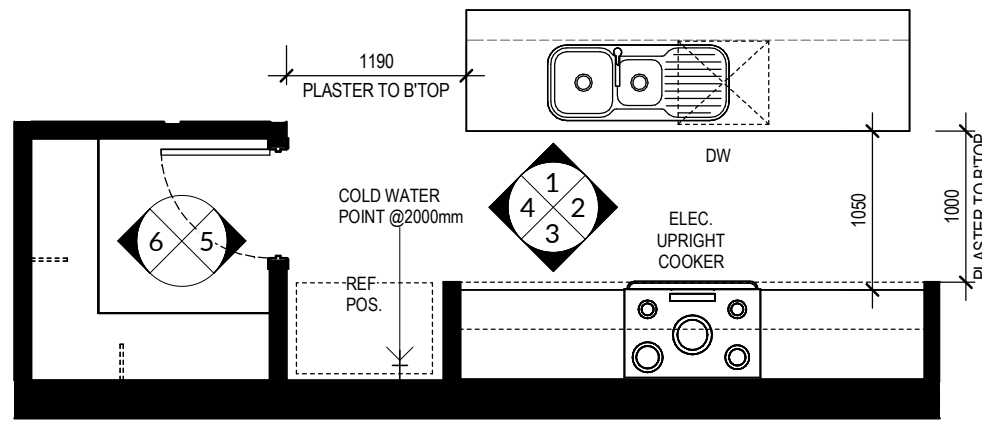
LEGEND OF SYMBOLS		FITTING WATTAGE	QTY
	DOUBLE GPO-INTERNAL @ 300 mm	N/A	14
	DOUBLE GPO-INTERNAL @ 1100 mm	N/A	6
	SINGLE GPO-INTERNAL (HEIGHT VARIES)	N/A	5
	DOUBLE GPO-INTERNAL (HEIGHT VARIES)	N/A	1
	SINGLE GPO WEATHER PROOF - EXTERNAL (HEIGHT VARIES)	N/A	1
	DOUBLE GPO WEATHER PROOF - EXTERNAL (HEIGHT VARIES)	N/A	1
	DIRECT WIRE (APPLIANCE)	N/A	1
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	LED DOWN LIGHT	7W	26
	LIGHT (EXTERNAL)-MIN. 40LW HT. VARIES (1978mm FROM FINISH FLOOR LEVEL)	10W	1
	SMOKE ALARM	N/A	4
	HOT WATER SERVICE (ELECTRIC)	N/A	1
	EXHAUST FAN (SELF CLOSING)	N/A	4
	METER BOX	N/A	1
	T.V. COAXIAL POINT @300mm	N/A	3
	RETURN AIR LOCATION	N/A	1
	HEATING VOID IN TRUSS INCLUDING DOUBLE POWER POINT (INCLUDED IN VALUES ABOVE) **EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION	N/A	1
	CEILING REGISTER (APPX. LOC.) (EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION)	N/A	9
	ROOF ACCESS (PROVIDE SINGLE BATTEN LIGHT WITHIN 1.6 M OF ROOF ACCES, INCLUDED IN VALUE ABOVE)	N/A	1

**ARTIFICIAL LIGHTING**  
IN ACCORDANCE WITH NCC BUILDING CODE OF AUSTRALIA VOLUME 2 PART 2.12.5.5

Lighting Location	Actual
<b>Class 1 Building (5W/m<sup>2</sup>)</b> Residence	285
<b>Class 10 Building (3W/m<sup>2</sup>)</b> Garage/Carport	10
<b>External Lighting (4W/m<sup>2</sup>)</b> Verandah/Porch/Alfresco/Balcony	27
<b>Total</b>	<b>322</b>

<p><b>GENERAL NOTES</b></p> <ul style="list-style-type: none"> <li>BOTTOM OF METER BOX TO BE 1100mm ABOVE GROUND LEVEL.</li> <li>HEIGHTS MEASURED FROM FLOOR LEVEL TO CENTER OF FITTING UNLESS NOTED OTHERWISE.</li> <li>UNLESS NOTED OTHERWISE ALL POWER POINTS ARE TO BE LOCATED TO THE NEAREST STUD.</li> <li>POWER POINTS FOR APPLIANCES ARE TO SUIT MANUFACTURERS REQUIREMENTS.</li> <li>SOLAR PANEL LOCATION NOMINAL ONLY. INSTALLERS TO LOCATE (EXCLUDING FRONT ELEVATION) TO COMPLY WITH MANUFACTURERS REQUIREMENTS &amp; AS/NZS 3500 PLUMBING AND DRAINAGE.</li> <li>DENOTES HARDWIRED INTERCONNECTED SMOKE ALARM(S) WITH BATTERY BACKUP AS PER NCC 2022 PART 9.5 &amp; TO COMPLY WITH AS3786.</li> </ul>	<p><b>PROVIDE FIBRE PROVISIONING ONLY</b></p> <p>INCLUDES:</p> <ul style="list-style-type: none"> <li>TRENCH AND P20 CONDUIT (32MM WHEN REQUIRED) FROM COMMUNICATIONS PIT TO HOUSE INCLUDING DRAWSTRING.</li> <li>INTERNAL P20 CONDUIT (32MM WHEN REQUIRED) TO FUTURE LOCATION OF ENCLOSURE POSITION.</li> <li>DOUBLE POWER POINT TO LOCATION OF FUTURE ENCLOSURE POSITION.</li> </ul> <p>NOTES:</p> <ul style="list-style-type: none"> <li>DOES NOT INCLUDE ANY INTERNAL POINTS (DATA, TV, PHONE ETC)</li> <li>DOES NOT INCLUDE ENCLOSURE.</li> <li>NOT RECOMMENDED FOR DOUBLE STOREY HOMES.</li> </ul>	<p><b>CLIENT ACKNOWLEDGEMENT</b></p> <p>I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: _____ DATE 1: _____</p> <p>CLIENT 2: _____ DATE 2: _____</p> <p>JGK BUILDER: _____ DATE 3: _____</p>	<p><b>SHEET TITLE</b> <b>ELECTRICAL - FIRST FLOOR</b></p> <p>HOUSE NAME: <b>COMMANDER 285</b> HAND: <b>LH</b></p> <p>FACADE NAME: <b>GRANADA</b></p> <p>SHEET SCALE: <b>1 : 100</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2024</b></p> <p><small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	  <p><b>TRARALGON</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>CLIENT: <b>JOSHUA MATHEW &amp; MONCY JOSHUA</b></p> <p>ADDRESS: <b>LOT 8, NO.69 LAKEVIEW DRIVE</b></p> <p>SUBURB: <b>LAKES ENTRANCE VIC 3909</b></p> <p>JOB NO: <b>2404TRA160</b> JOB DATE: <b>06/06/2024</b></p> <p>DRAWN: <b>M-01</b> CHECKED: _____ PROJECT STAGE: <b>CONTRACT</b></p> <p>MASTER RELEASE DATE: <b>29/05/2024</b> SHEET NO: <b>1</b> TOTAL NO: <b>3</b></p> <p style="text-align: right; color: red; font-weight: bold;">Printed 12/12/2024 Page 63 of 83</p>
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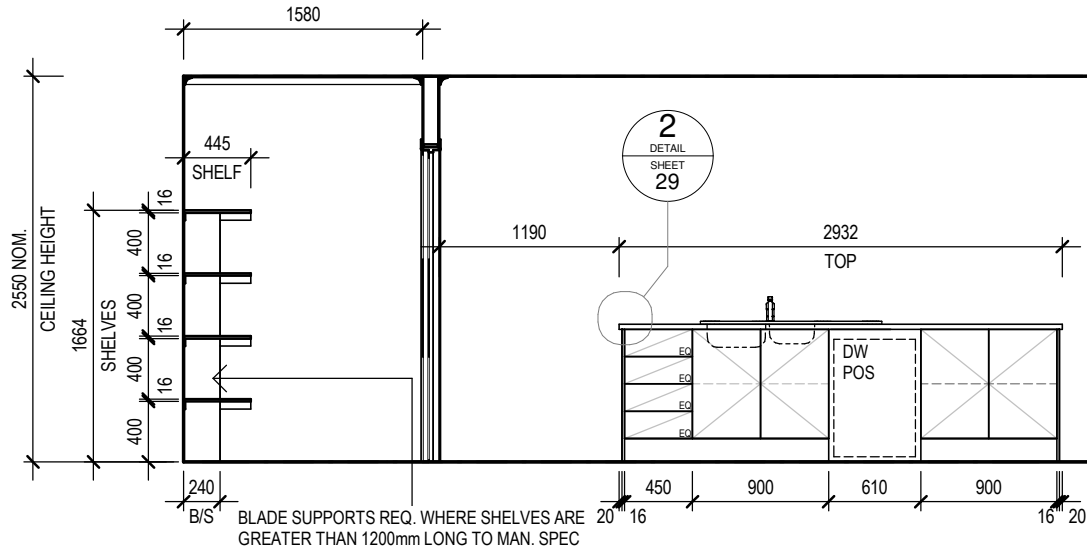
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**KITCHEN / WIP PLAN**

SCALE: 1 : 50

REFER TO SHEET 16 FOR KITCHEN BULKHEAD DETAIL

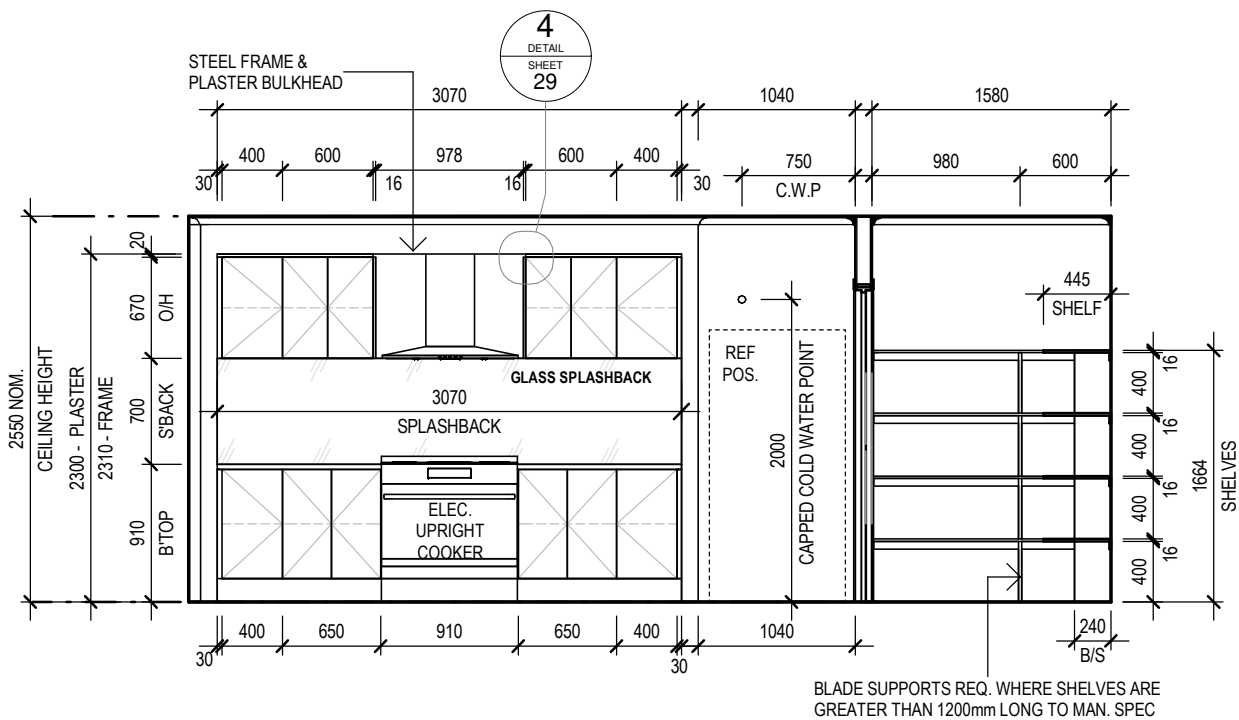
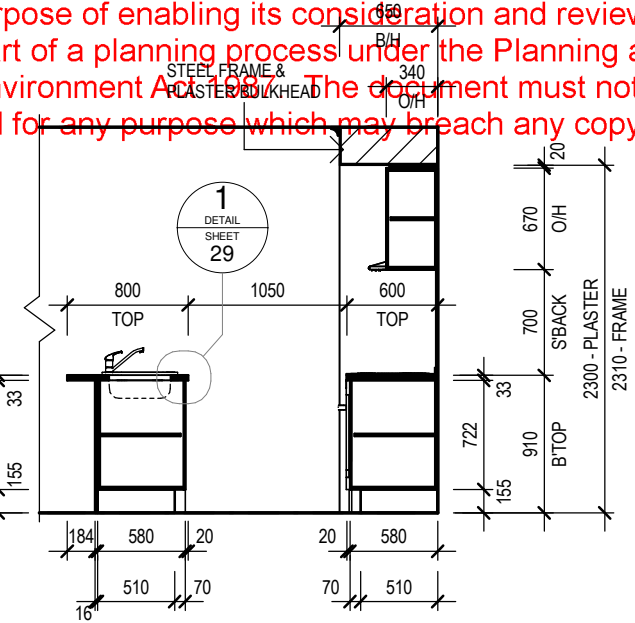


**ELEVATION 1**

SCALE: 1 : 50

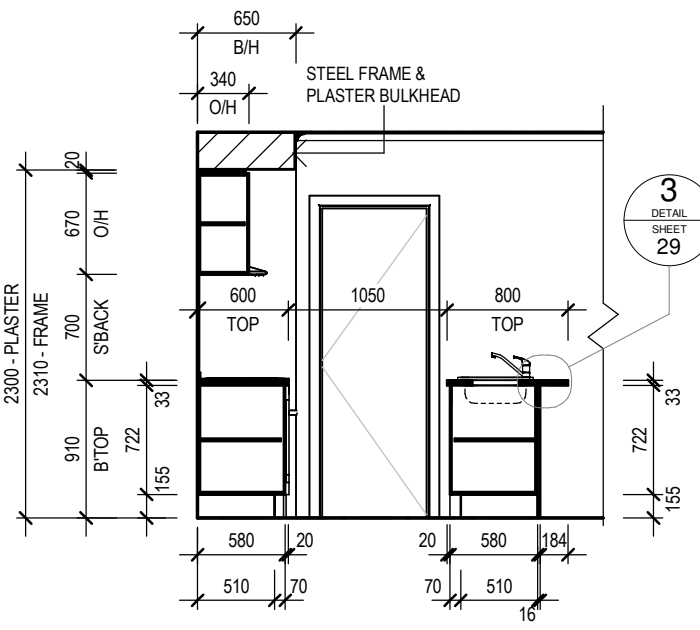
**ELEVATION 2**

SCALE: 1 : 50



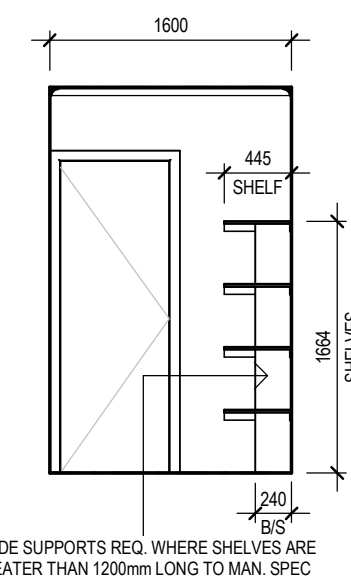
**ELEVATION 3**

SCALE: 1 : 50



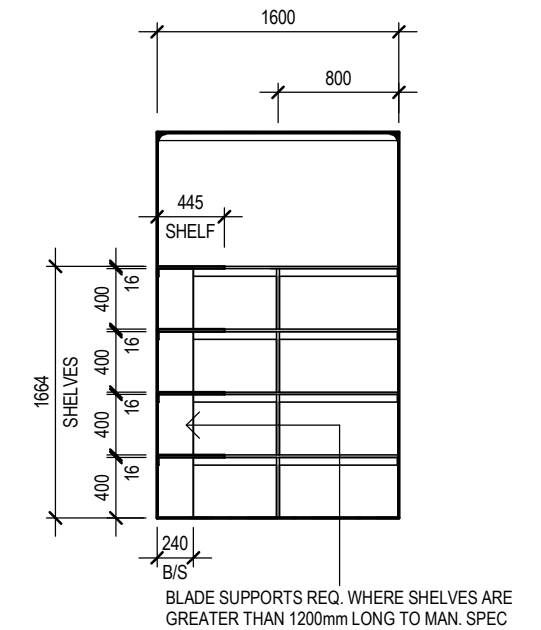
**ELEVATION 4**

SCALE: 1 : 50



**ELEVATION 5**

SCALE: 1 : 50



**ELEVATION 6**

SCALE: 1 : 50

**GENERAL NOTES**

- ALL TILE & CABINETRY DIMENSIONS ARE APPROXIMATE ONLY & MAY ALTER TO SUIT
- ALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME
- REFER TO COLOUR DOCUMENTATION FOR HANDLE LOCATIONS WHERE APPLICABLE

**CLIENT ACKNOWLEDGEMENT**

I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.

CLIENT 1: DATE 1:

CLIENT 2: DATE 2:

JGK BUILDER: DATE 3:

**SHEET TITLE**

**KITCHEN INTERNALS**

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 50** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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**JG KING HOMES**

**UP COLLECTION**

TRARALGON

154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555

**CLIENT**

**JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

DRAWN: **M-01** CHECKED: **CON/JA** PROJECT STAGE: **CON/PA**

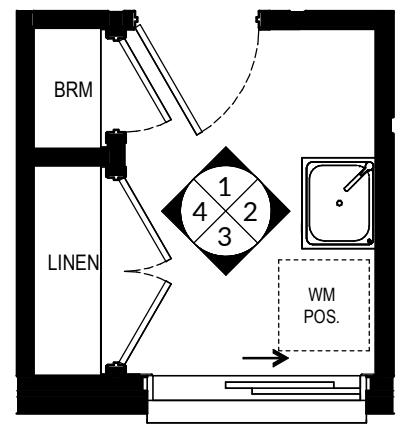
MASTER RELEASE DATE: **29/05/2024** SHEET NO: **64** TOTAL NO: **83**

Printed 12/12/2024

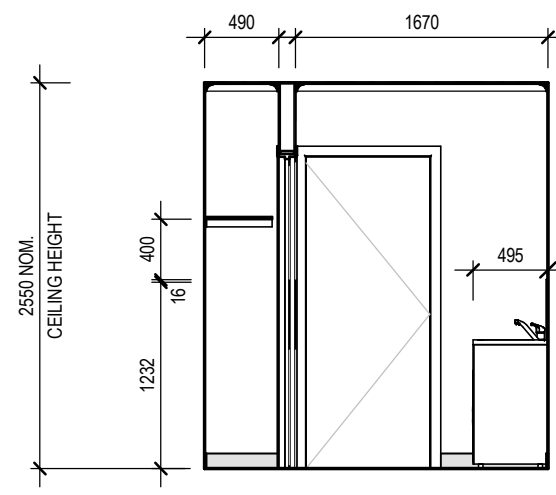
Page 64 of 83



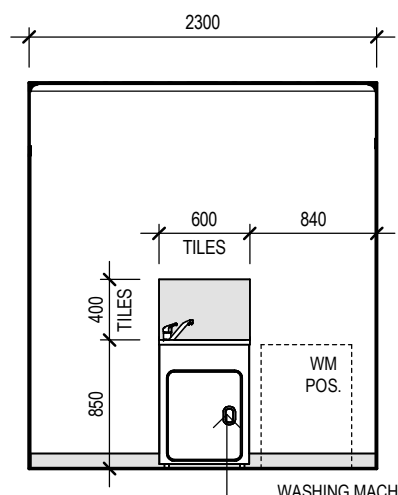
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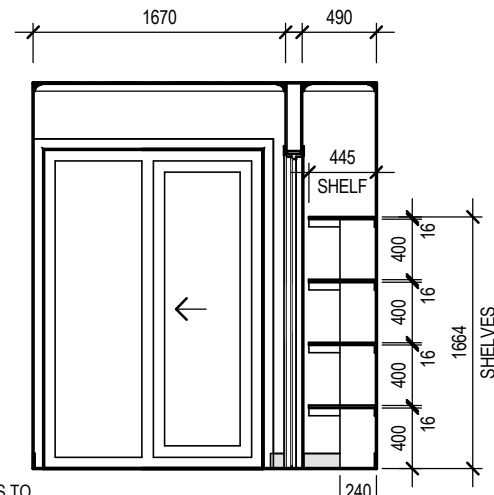
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SCALE: 1 : 50



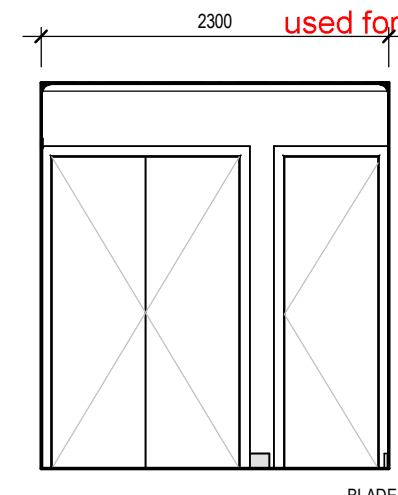
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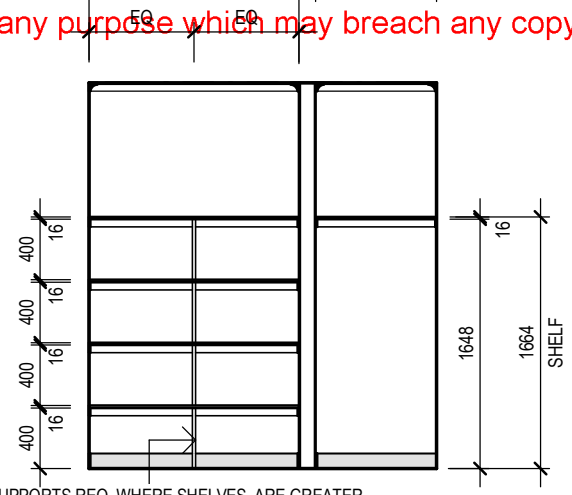
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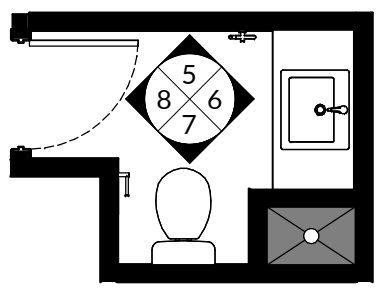
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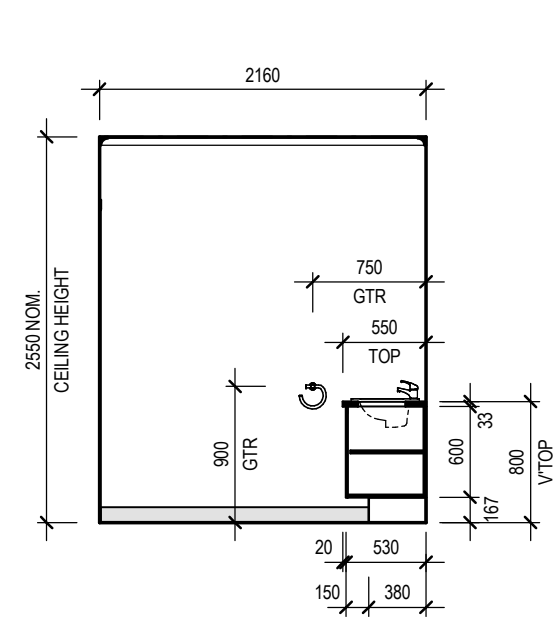
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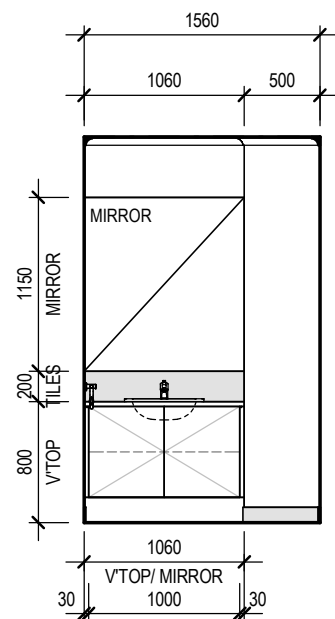
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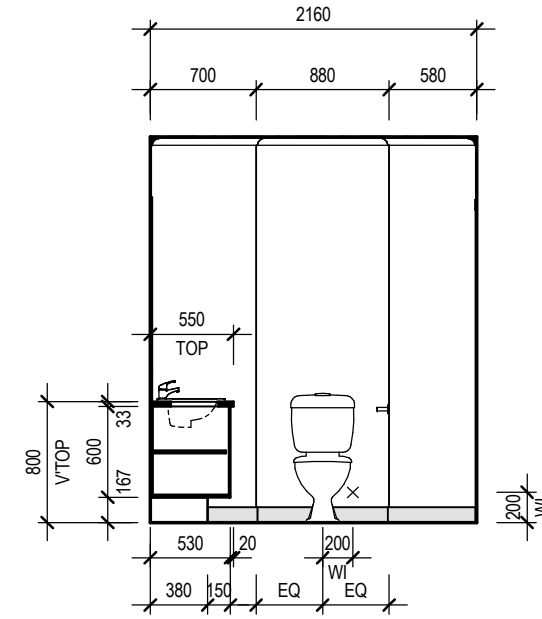
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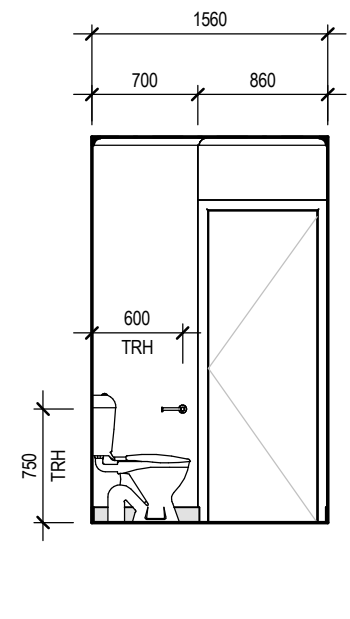
**ELEVATION 5**  
SCALE: 1 : 50



**ELEVATION 6**  
SCALE: 1 : 50



**ELEVATION 7**  
SCALE: 1 : 50



**ELEVATION 8**  
SCALE: 1 : 50

**GENERAL NOTES**

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CLIENT 1: \_\_\_\_\_ DATE 1: \_\_\_\_\_

CLIENT 2: \_\_\_\_\_ DATE 2: \_\_\_\_\_

JGK BUILDER: \_\_\_\_\_ DATE 3: \_\_\_\_\_

**SHEET TITLE**

**L'DRY & P'DR INTERNALS**

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 50** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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**JG KING HOMES** 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555

**UP COLLECTION** TRARALGON

**CLIENT**

**JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

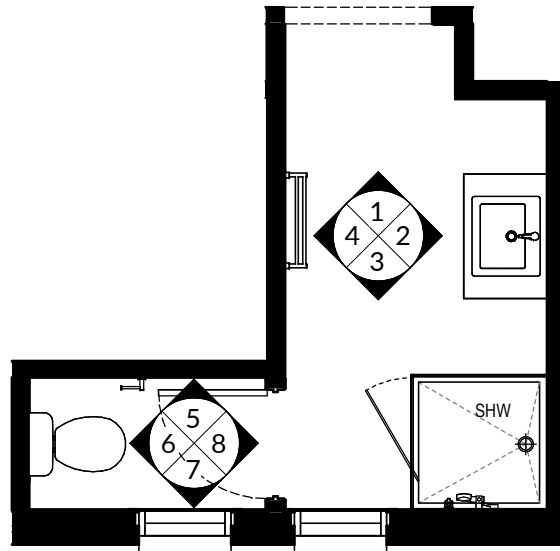
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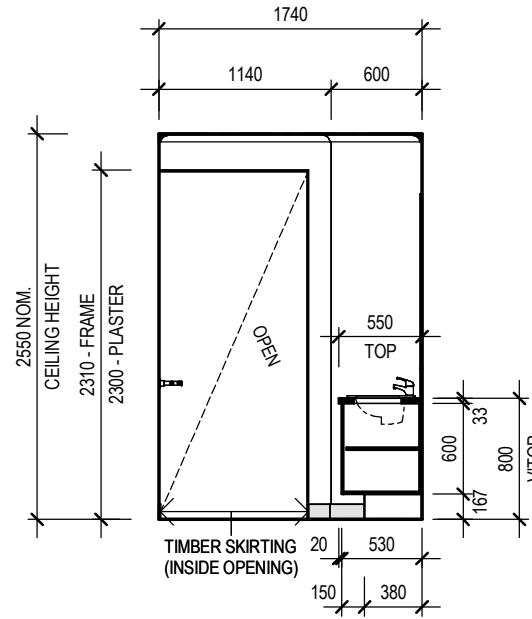
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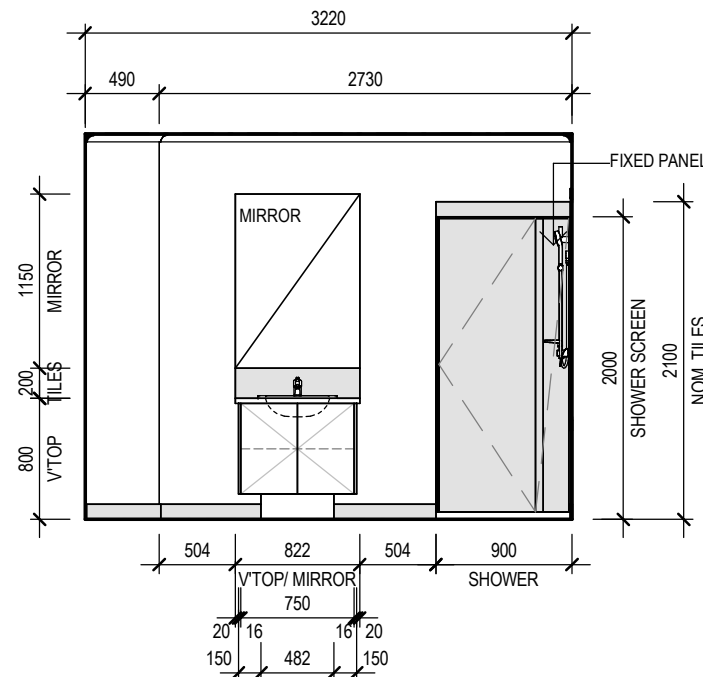
**ENS / WC 1 PLAN**

SCALE: 1 : 50



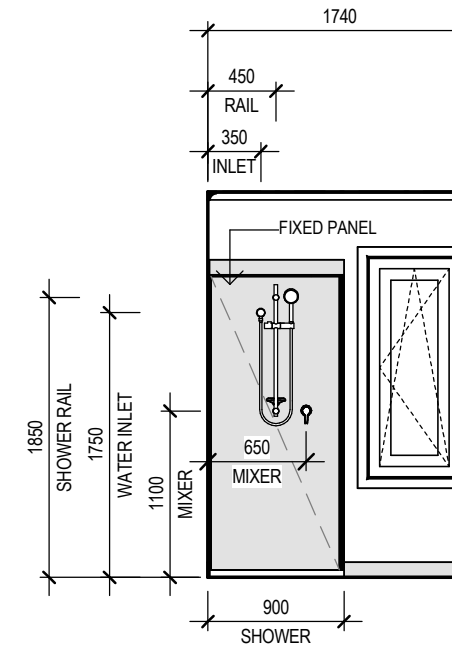
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SCALE: 1 : 50



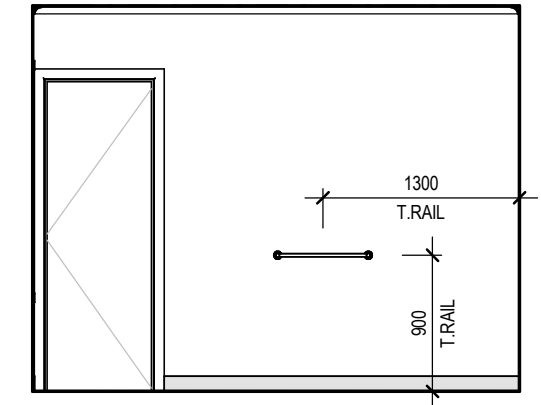
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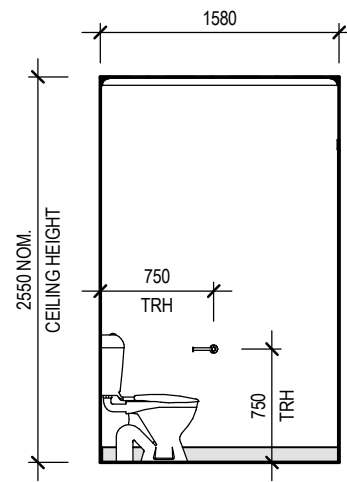
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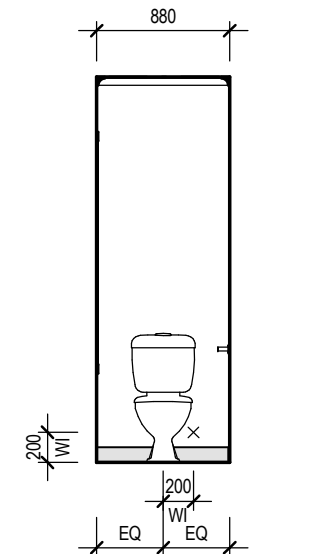
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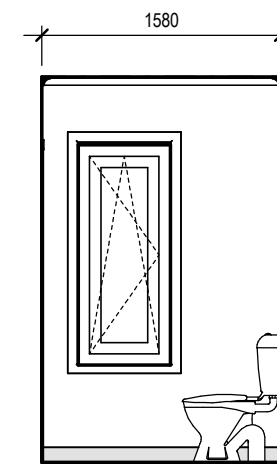
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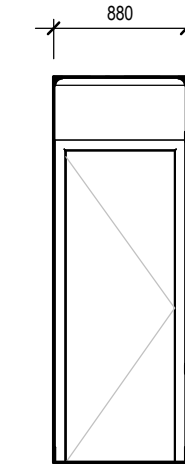
**ELEVATION 6**

SCALE: 1 : 50



**ELEVATION 7**

SCALE: 1 : 50



**ELEVATION 8**

SCALE: 1 : 50

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CLIENT 1: DATE 1:  
CLIENT 2: DATE 2:  
JGK BUILDER: DATE 3:

**SHEET TITLE**

**ENSUITE & WC 1 INTERNALS**

HOUSE NAME: **COMMANDER 285** HAND: **LH**  
FACADE NAME: **GRANADA**  
SHEET SCALE: **1 : 50** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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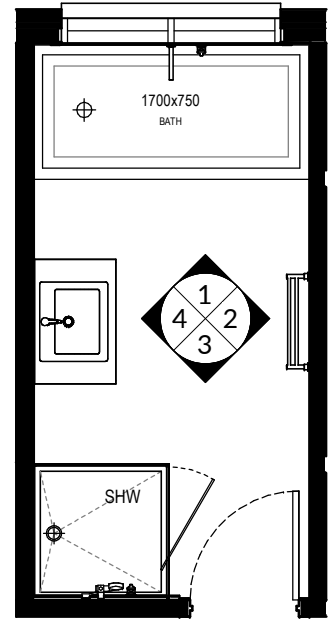
154 ARGYLE STREET,  
TRARALGON, VIC 3844  
T(03) 5175 5555

**CLIENT**

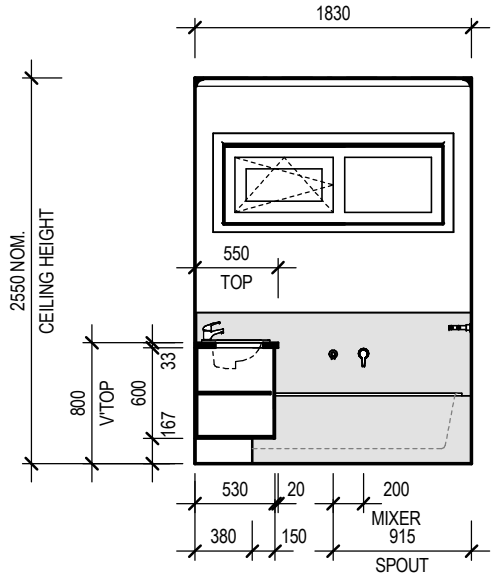
**JOSHUA MATHEW & MONCY JOSHUA**  
ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**  
SUBURB: **LAKES ENTRANCE VIC 3909**  
JOB NO: **2404TRA160** JOB DATE: **06/06/2024**  
DRAWN: **M-01** CHECKED: **CCN/PA** PROJECT STAGE: **CONTRACT**  
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Page 86 of 88

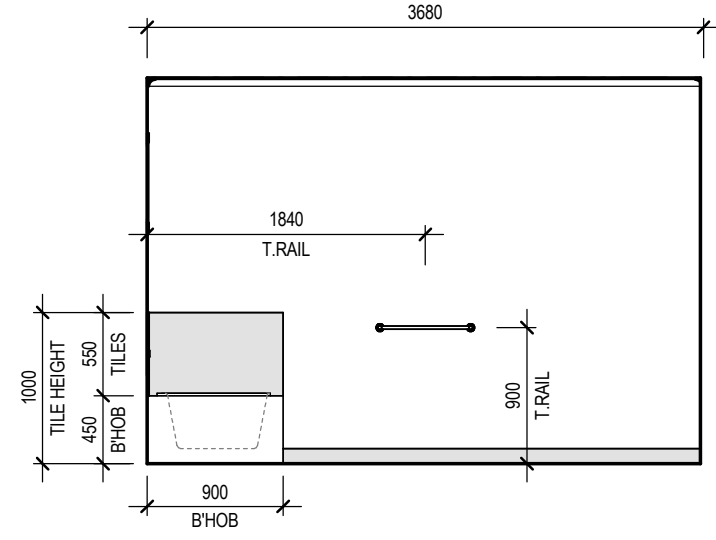
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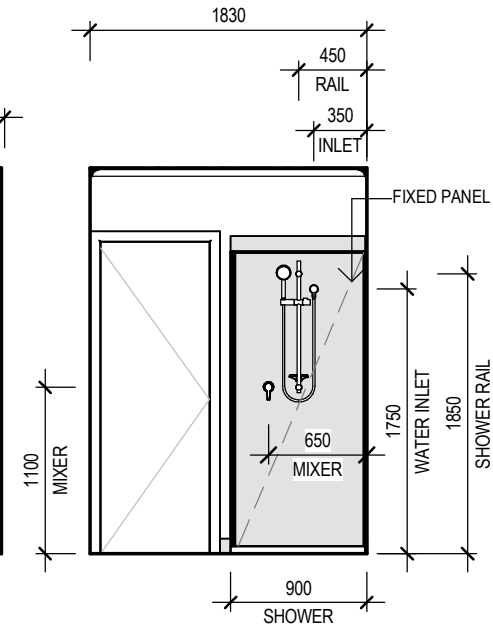
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SCALE: 1 : 50



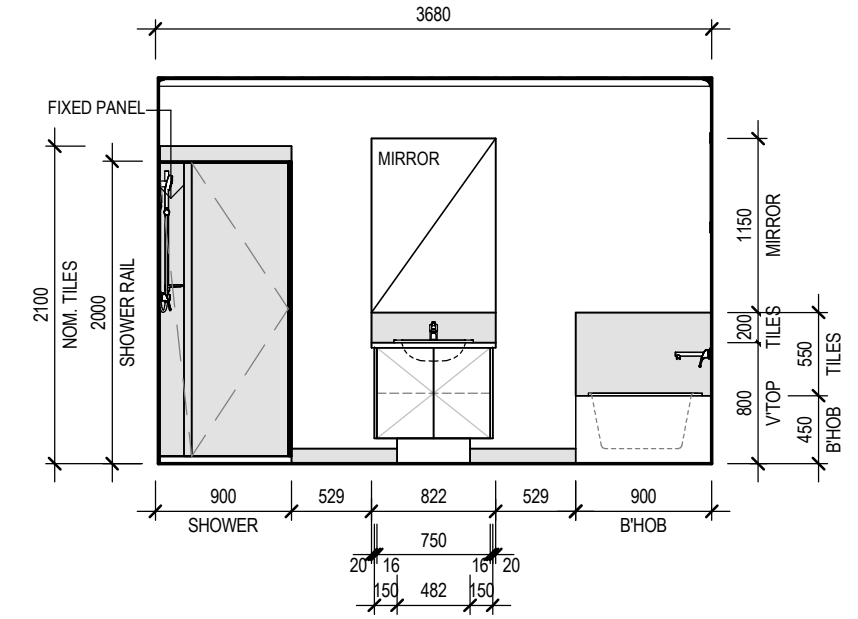
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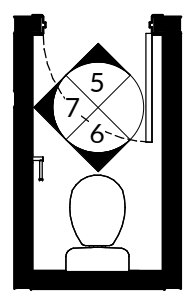
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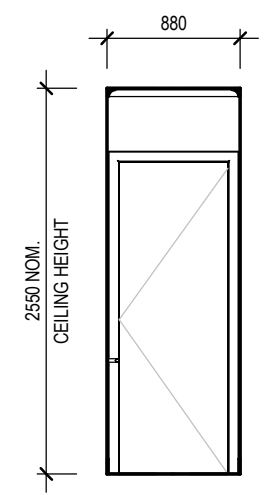
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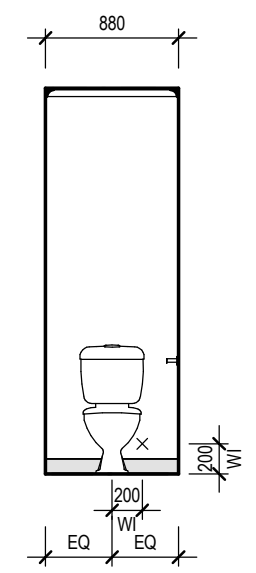
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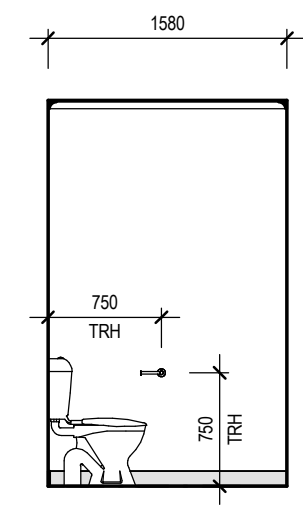
**WC2 PLAN**  
SCALE: 1 : 50



**ELEVATION 5**  
SCALE: 1 : 50



**ELEVATION 6**  
SCALE: 1 : 50



**ELEVATION 7**  
SCALE: 1 : 50

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CLIENT 1: DATE 1:

CLIENT 2: DATE 2:

JGK BUILDER: DATE 3:

**SHEET TITLE**

**BATH & WC 2 INTERNALS**

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 50** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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**UP COLLECTION** TRARALGON

**CLIENT**

**JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

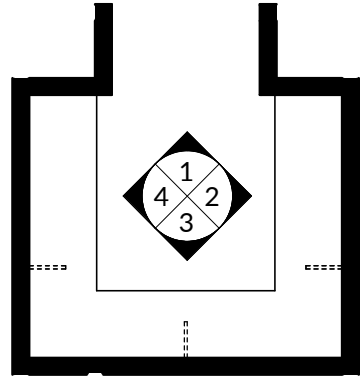
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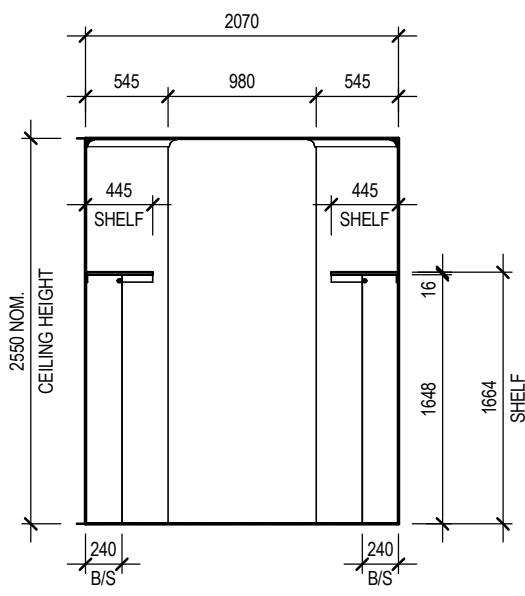
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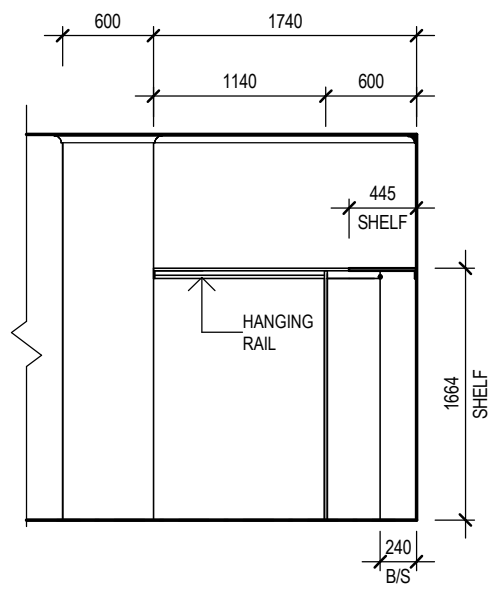
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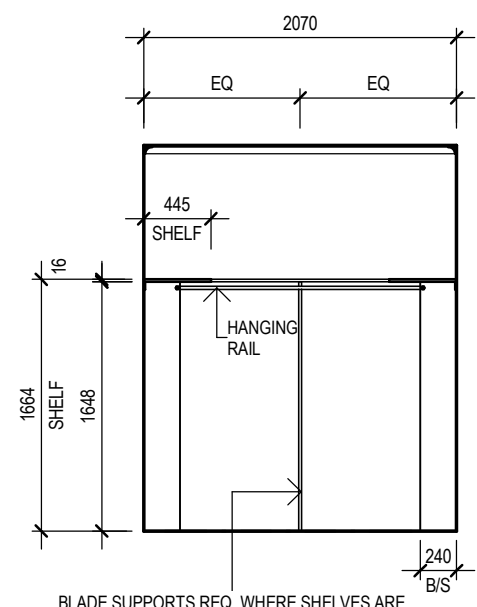
**WIR 1 PLAN**  
SCALE: 1 : 50



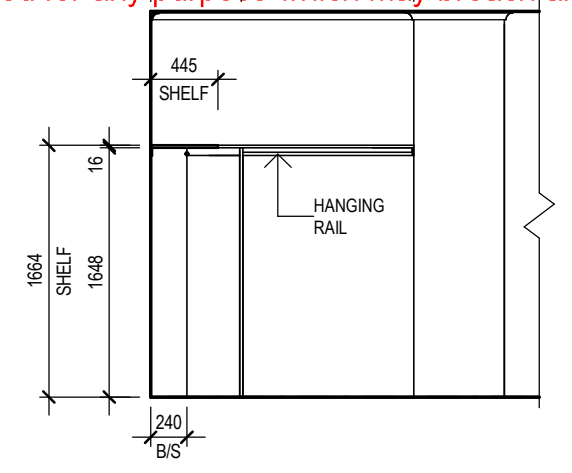
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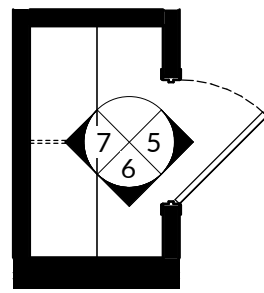
**ELEVATION 2**  
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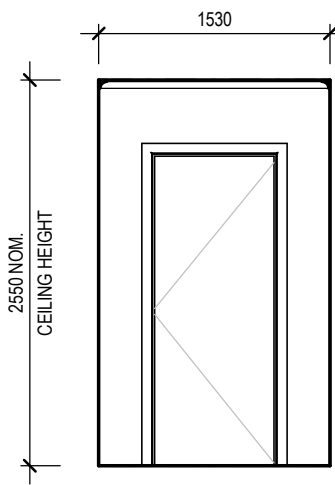
BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC  
**ELEVATION 3**  
SCALE: 1 : 50



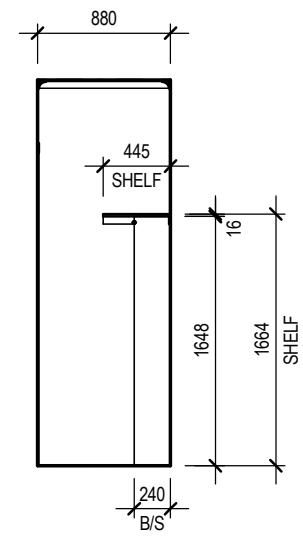
**ELEVATION 4**  
SCALE: 1 : 50



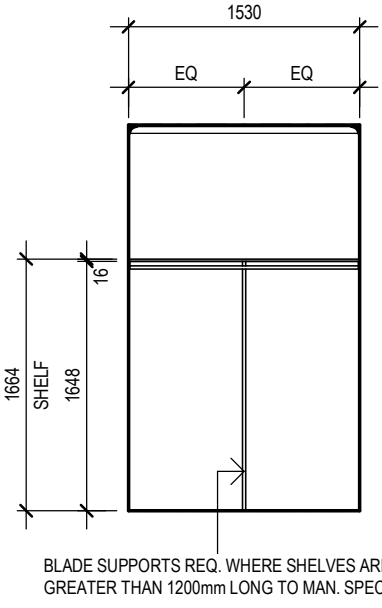
**WIR 2 PLAN**  
SCALE: 1 : 50



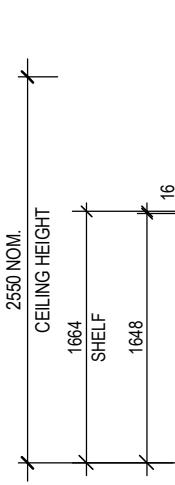
**ELEVATION 5**  
SCALE: 1 : 50



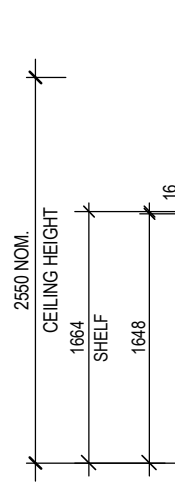
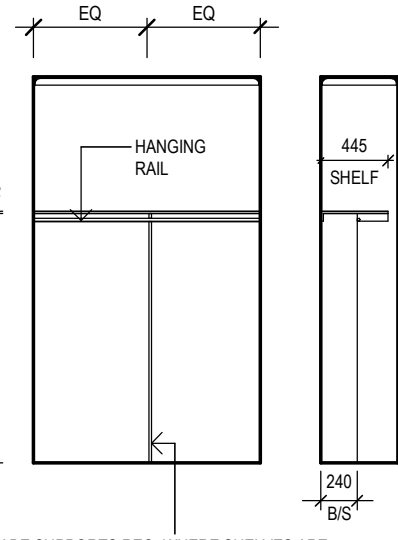
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SCALE: 1 : 50



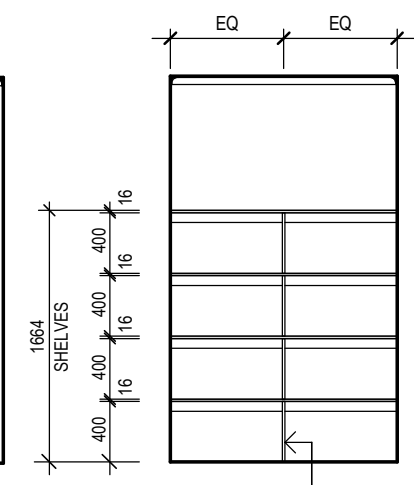
BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC  
**ELEVATION 7**  
SCALE: 1 : 50



**ROBE - TYPICAL**  
SCALE: 1 : 50



BLADE SUPPORTS REQUIRED WHERE SHELVES ARE GREATER THAN 1200mm LONG  
**BROOM - TYPICAL**  
SCALE: 1 : 50



BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC  
**LINEN - TYPICAL**  
SCALE: 1 : 50

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JGK BUILDER: \_\_\_\_\_ DATE 3: \_\_\_\_\_

**SHEET TITLE**

**WIR 1&2 INTERNALS & TYPICAL DETAILS**

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 50** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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**UP COLLECTION** TRARALGON

**CLIENT**

**JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

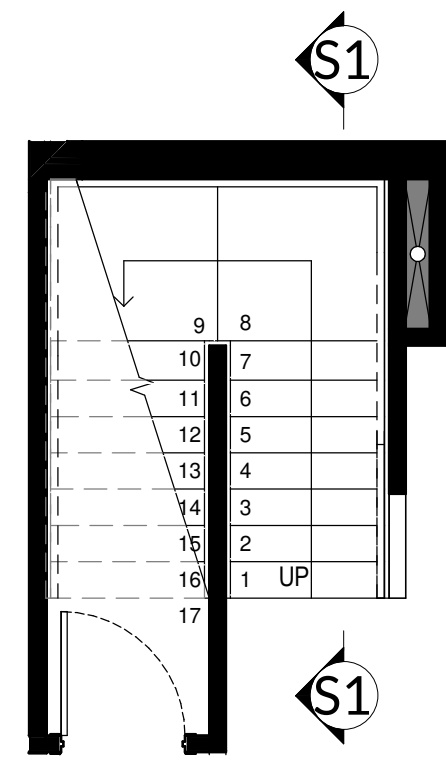
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DRAWN: **M-01** CHECKED: \_\_\_\_\_ PROJECT STAGE: **CONTRACT**

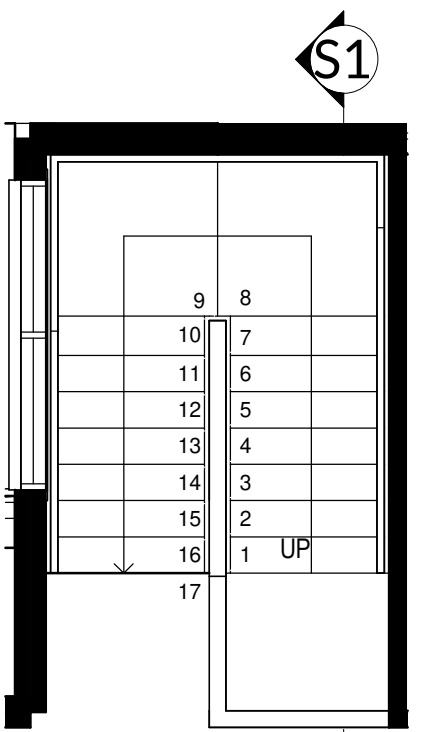
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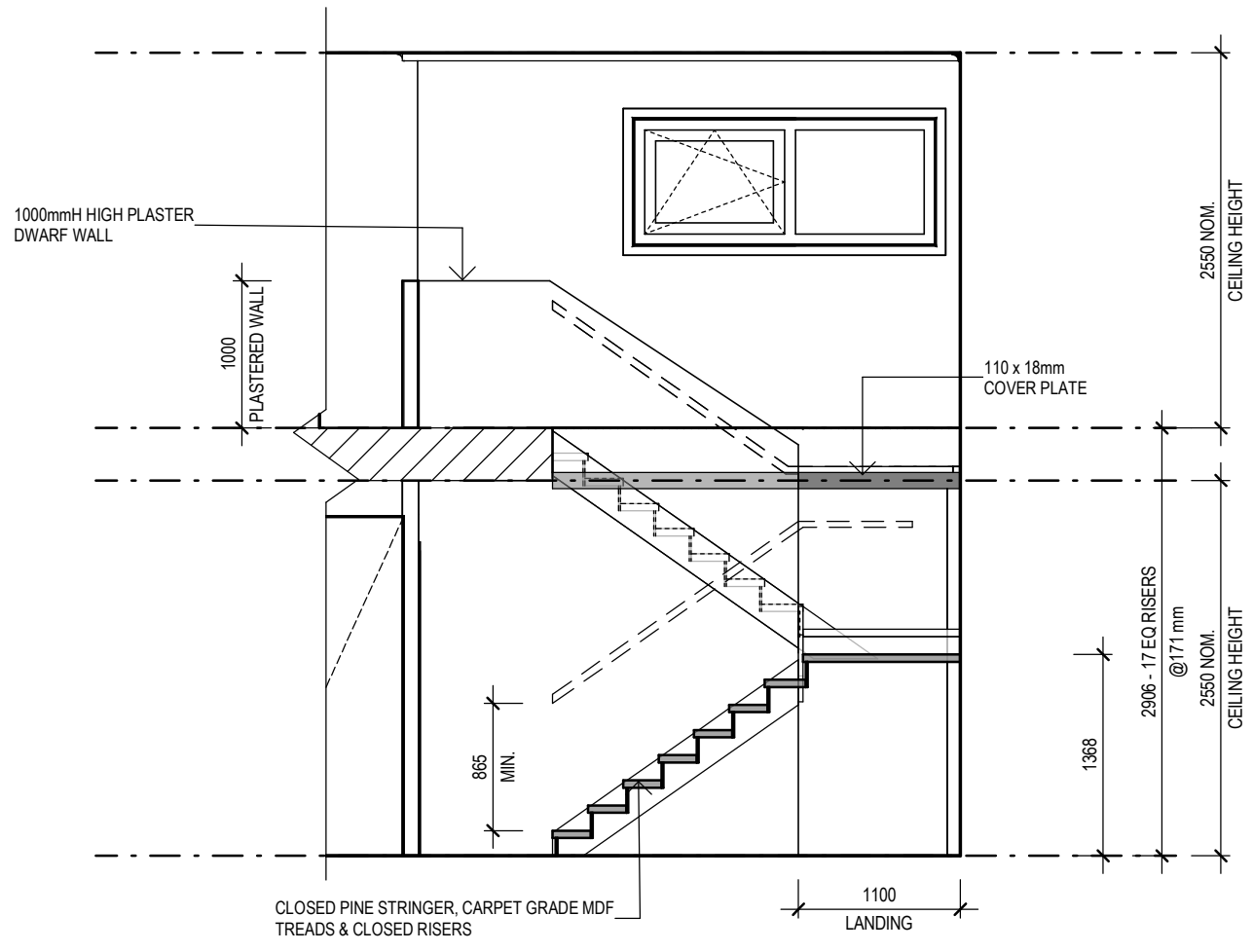
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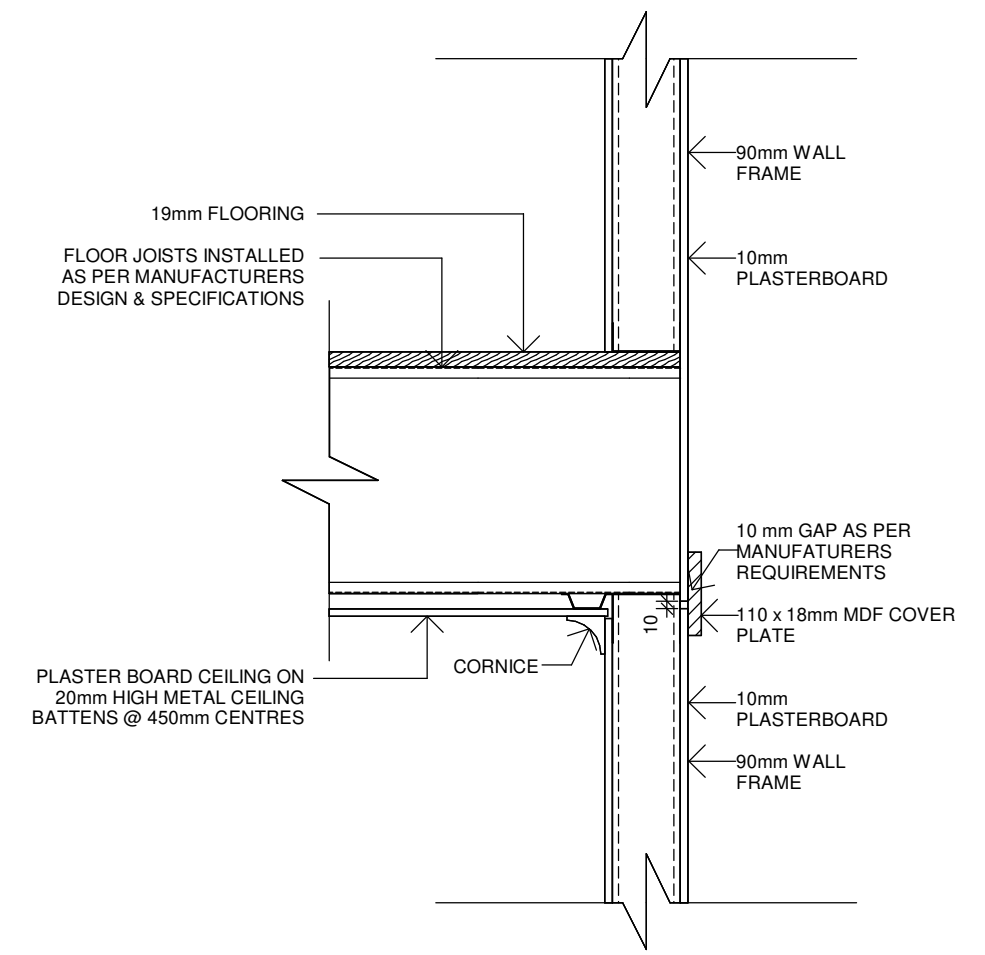
**GROUND FLOOR STAIRS**  
SCALE: 1 : 50



**FIRST FLOOR STAIRS**  
SCALE: 1 : 50



**SECTION S1**  
SCALE: 1 : 50



**PLASTER CONTROL JOINT**  
SCALE: 1 : 10

GENERAL NOTES

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CLIENT 1: DATE 1:

CLIENT 2: DATE 2:

JGK BUILDER: DATE 3:

SHEET TITLE

**STAIRS INTERNALS**

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **AS INDICATED** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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**JG KING HOMES** 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555

CLIENT: **JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

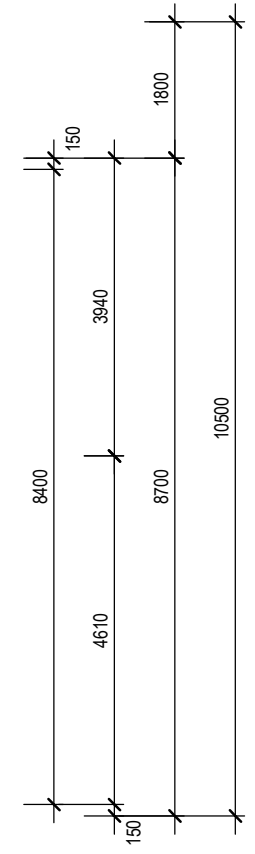
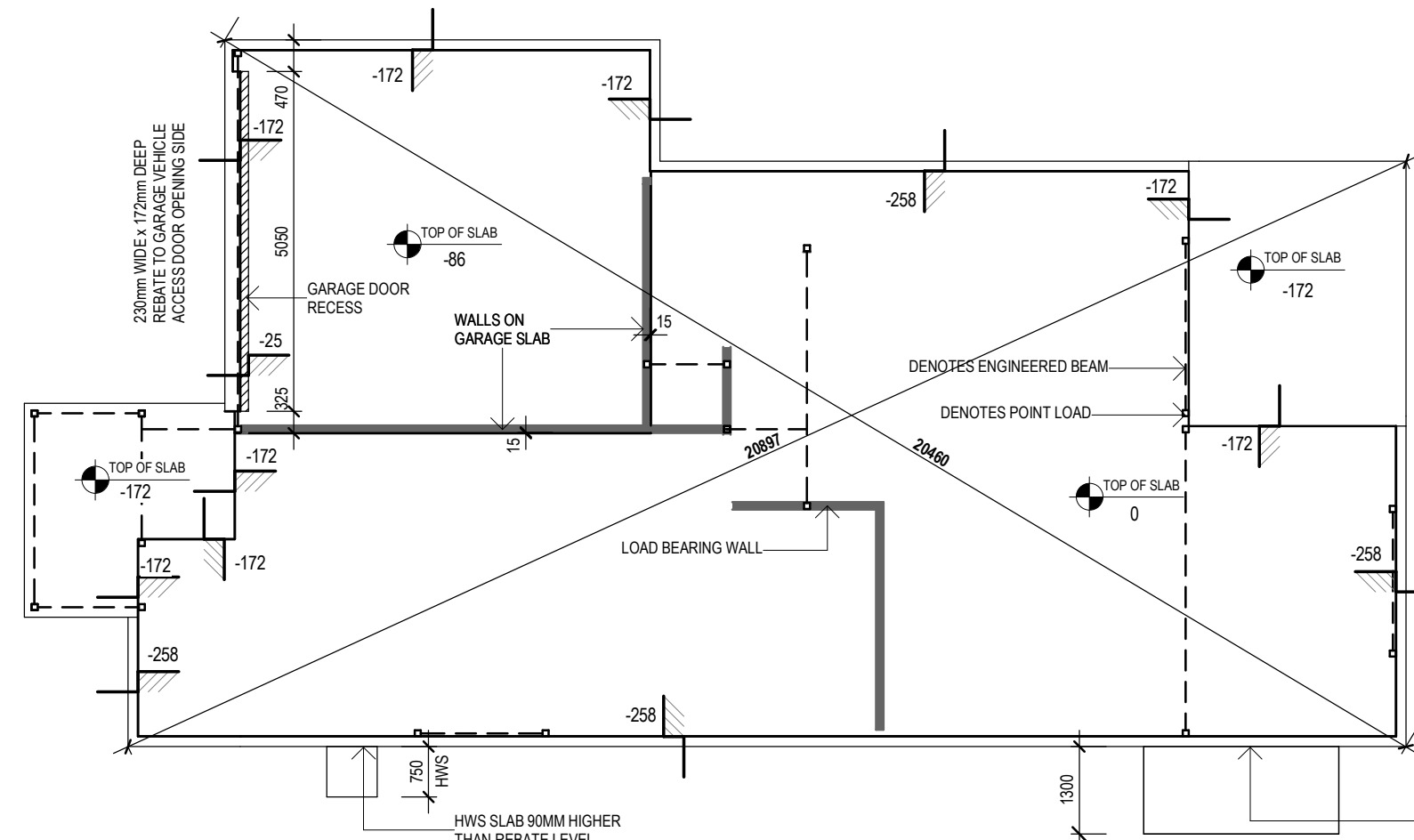
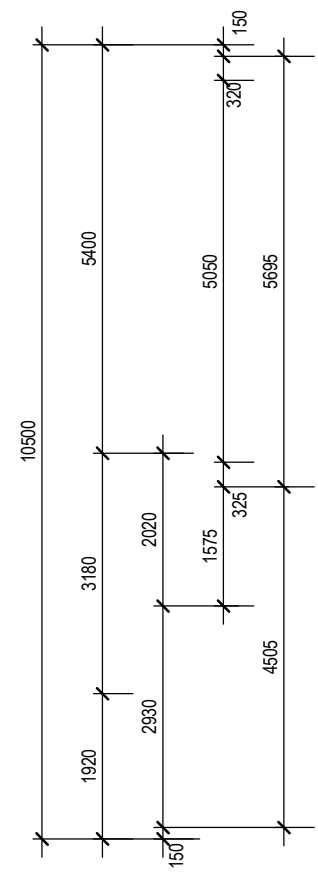
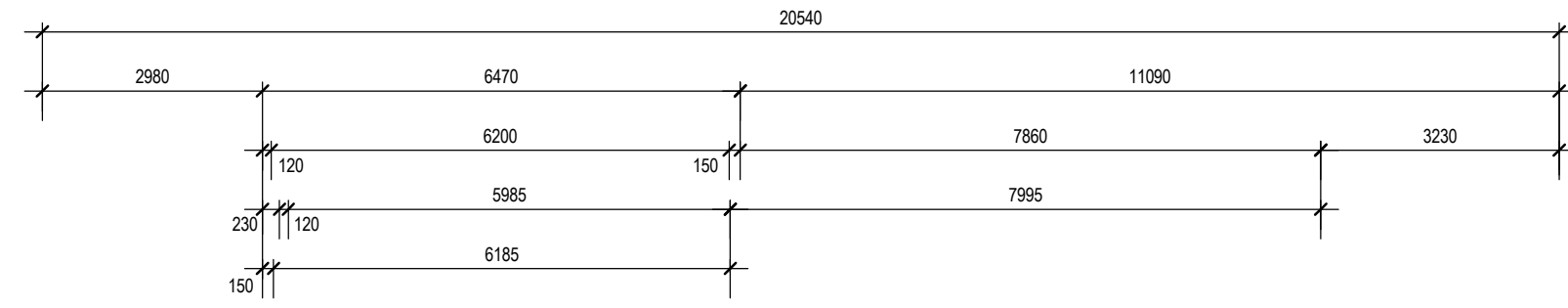
DRAWN: **M-01** CHECKED: **JGK** PROJECT STAGE: **CONTRACT**

MASTER RELEASE DATE: **29/05/2024** SHEET NO: **89** TOTAL NO: **83**

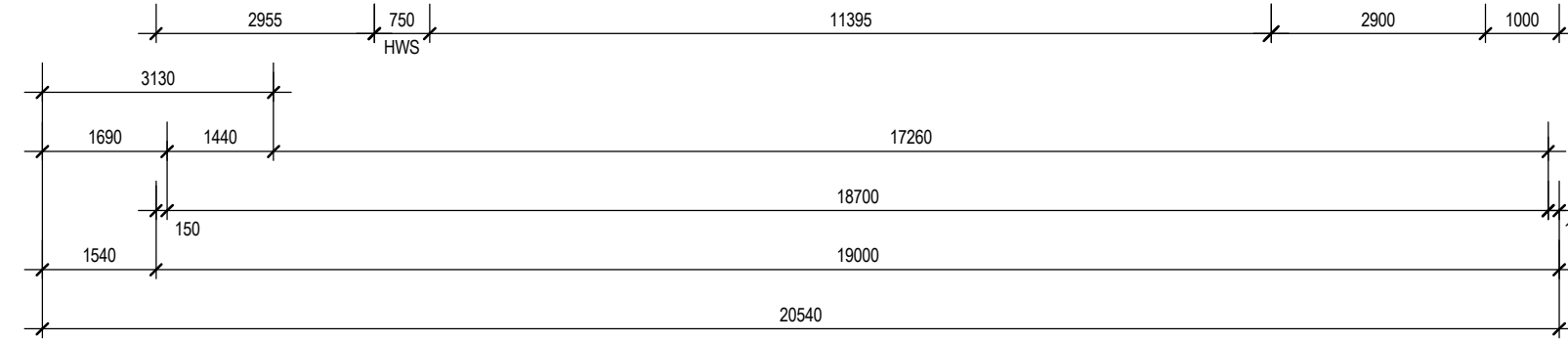
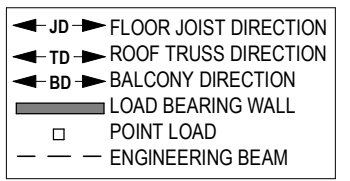
Printed 12/12/2024


Page 89 of 83

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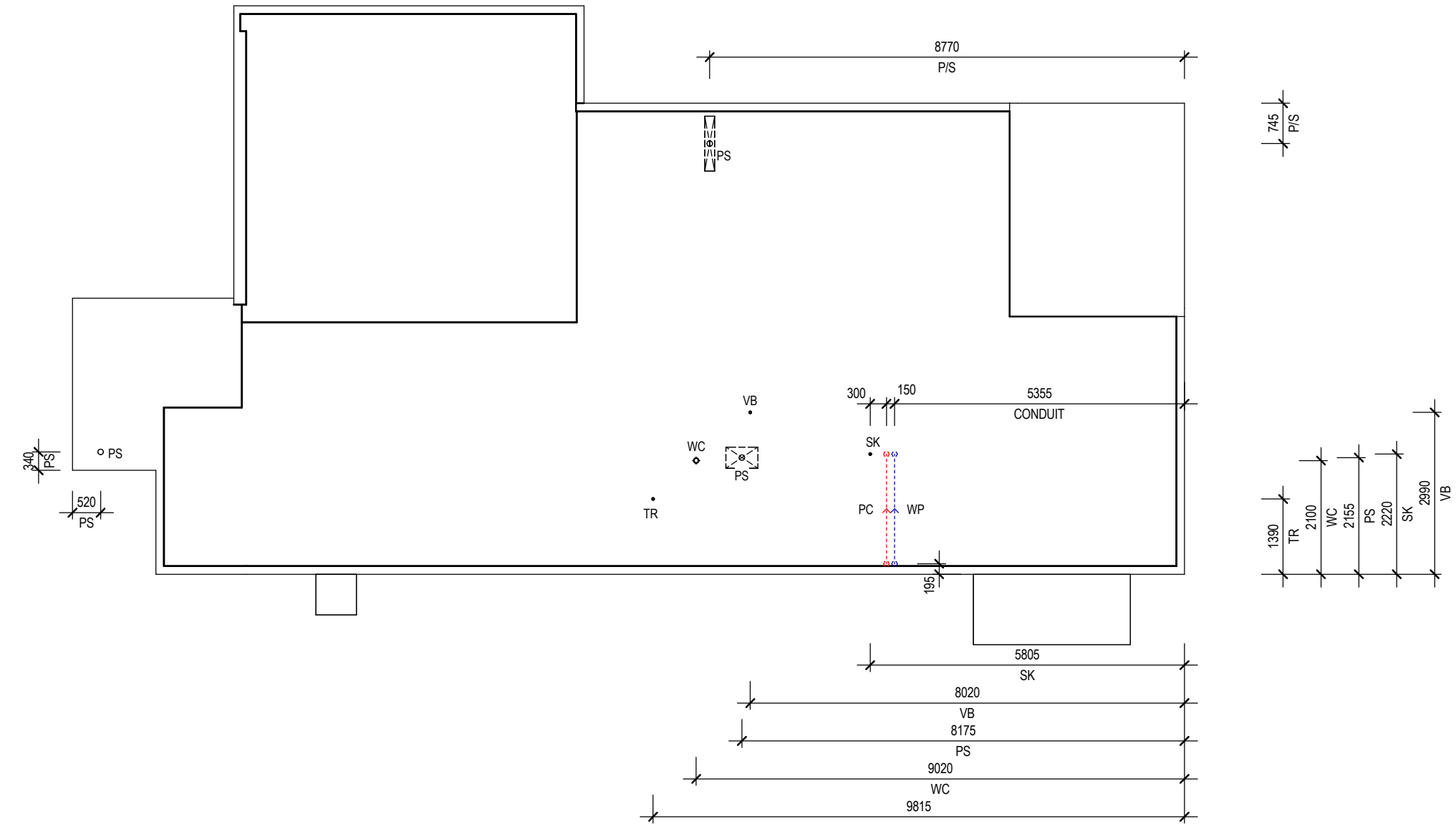



**NOTE:**  
ALL EXTERNAL WALLS ARE TO BE LOAD BEARING



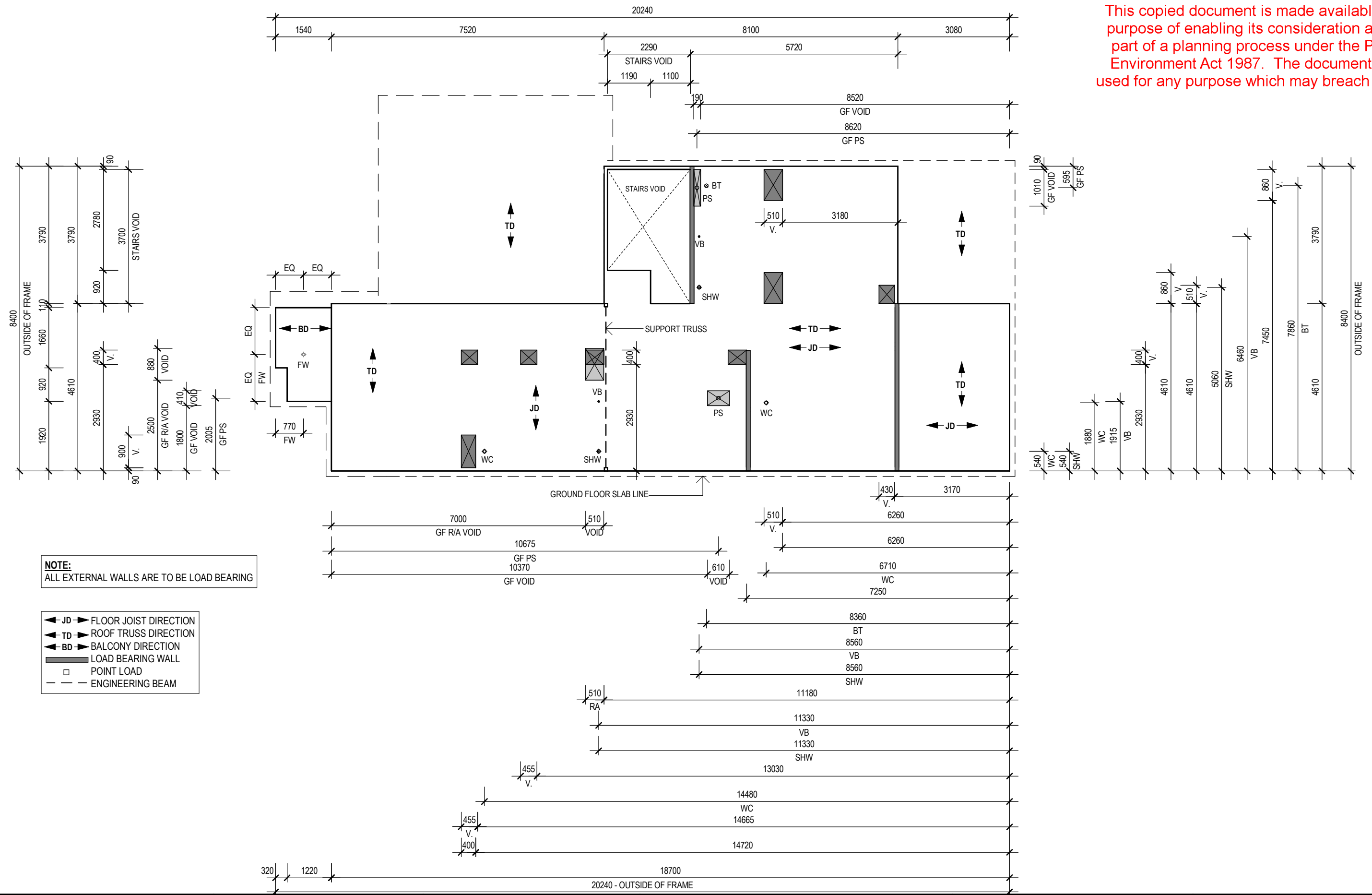
<p><b>GENERAL NOTES</b></p>	<p><b>LEGEND</b></p> <ul style="list-style-type: none"> <li> DENOTES INSITU SHOWER 50mm STEPDOWN WITH 100mm PIPE. REFER TO DETAILS</li> <li> DENOTES STRUCTURAL BEAM TO ENGINEERS DESIGN</li> <li> DENOTES STEPDOWN</li> <li> DENOTES STRUCTURAL COLUMN</li> <li> DENOTES FIRST FLOOR POINT LOAD</li> <li> DENOTES LOAD BEARING WALL</li> <li> DENOTES SPOT ELEVATION</li> </ul>	<p><b>CLIENT ACKNOWLEDGEMENT</b></p> <p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: _____ DATE 1: _____</p> <p>CLIENT 2: _____ DATE 2: _____</p> <p>JGK BUILDER: _____ DATE 3: _____</p>	<p><b>SHEET TITLE</b> <b>SLAB LAYOUT - GF</b></p> <p>HOUSE NAME: <b>COMMANDER 285</b> HAND: <b>LH</b></p> <p>FACADE NAME: <b>GRANADA</b></p> <p>SHEET SCALE: <b>1 : 100</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2024</b></p> <p><small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	 <p><b>JG KING HOMES</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p><b>CLIENT</b> <b>JOSHUA MATHEW &amp; MONCY JOSHUA</b></p> <p>ADDRESS: LOT 8, NO.69 LAKEVIEW DRIVE SUBURB: LAKES ENTRANCE VIC 3909</p> <p>JOB NO: 2404TRA160 JOB DATE: 06/06/2024</p> <p>DRAWN: M-01 CHECKED: _____ PROJECT STAGE: _____</p> <p>MASTER RELEASE DATE: 29/05/2024 SHEET NO: 70 TOTAL NO: 83</p>
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<p><b>GENERAL NOTES</b></p>	<p><b>LEGEND</b></p> <ul style="list-style-type: none"> <li>● SHW DENOTES SHOWER OUTLET</li> <li>● WP DENOTES POWER/WATER CONDUIT</li> <li>● PC DENOTES TOILET SUITE OUTLET</li> <li>● WC DENOTES TOILET SUITE OUTLET</li> <li>● BT DENOTES BATH TUB OUTLET</li> <li>● VB DENOTES VANITY BASIN OUTLET</li> <li>● TR DENOTES LAUNDRY THROUGH OUTLET</li> <li>● SK DENOTES KITCHEN SINK OUTLET</li> </ul>	<p><b>CLIENT ACKNOWLEDGEMENT</b></p> <p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: _____ DATE 1: _____</p> <p>CLIENT 2: _____ DATE 2: _____</p> <p>JGK BUILDER: _____ DATE 3: _____</p>	<p><b>SHEET TITLE</b></p> <p><b>PLUMBING LAYOUT - GF</b></p> <p>HOUSE NAME: <b>COMMANDER 285</b> HAND: <b>LH</b></p> <p>FACADE NAME: <b>GRANADA</b></p> <p>SHEET SCALE: <b>1 : 100</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2024</b></p> <p><small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	 <p><b>JG KING HOMES</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>CLIENT: <b>JOSHUA MATHEW &amp; MONCY JOSHUA</b></p> <p>ADDRESS: <b>LOT 8, NO.69 LAKEVIEW DRIVE</b></p> <p>SUBURB: <b>LAKES ENTRANCE VIC 3909</b></p> <p>JOB NO: <b>2404TRA160</b> JOB DATE: <b>06/06/2024</b></p> <p>DRAWN: <b>M-01</b> CHECKED: _____ PROJECT STAGE: <b>CONTRACT</b></p> <p>MASTER RELEASE DATE: <b>29/05/2024</b> SHEET NO: <b>261</b> TOTAL NO: <b>83</b></p>
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**NOTE:**  
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- ← JD → FLOOR JOIST DIRECTION
- ← TD → ROOF TRUSS DIRECTION
- ← BD → BALCONY DIRECTION
- ▬ LOAD BEARING WALL
- POINT LOAD
- - - ENGINEERING BEAM

7000	GF R/A VOID	510	VOID	6260
10675	GF PS	510	VOID	6260
10370	GF VOID	610	VOID	6710
				WC
				7250
				8360
				BT
				8560
				VB
				8560
				SHW
		510	RA	11180
				11330
				VB
				11330
				SHW
		455	V.	13030
				14480
		455	V.	14665
		455	V.	14720
320	1220			18700
				20240 - OUTSIDE OF FRAME

GENERAL NOTES

LEGEND

SHW	DENOTES SHOWER OUTLET
WP PC	DENOTES POWER/WATER CONDUIT
WC	DENOTES TOILET SUITE OUTLET
BT	DENOTES BATH TUB OUTLET
VB	DENOTES VANITY BASIN OUTLET
TR	DENOTES LAUNDRY THROUGH OUTLET
SK	DENOTES KITCHEN SINK OUTLET

CLIENT ACKNOWLEDGEMENT

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CLIENT 1: DATE 1:

CLIENT 2: DATE 2:

JGK BUILDER: DATE 3:

SHEET TITLE

**FLOOR/PLUMBING LAYOUT - FF**

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 100** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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CLIENT: **JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

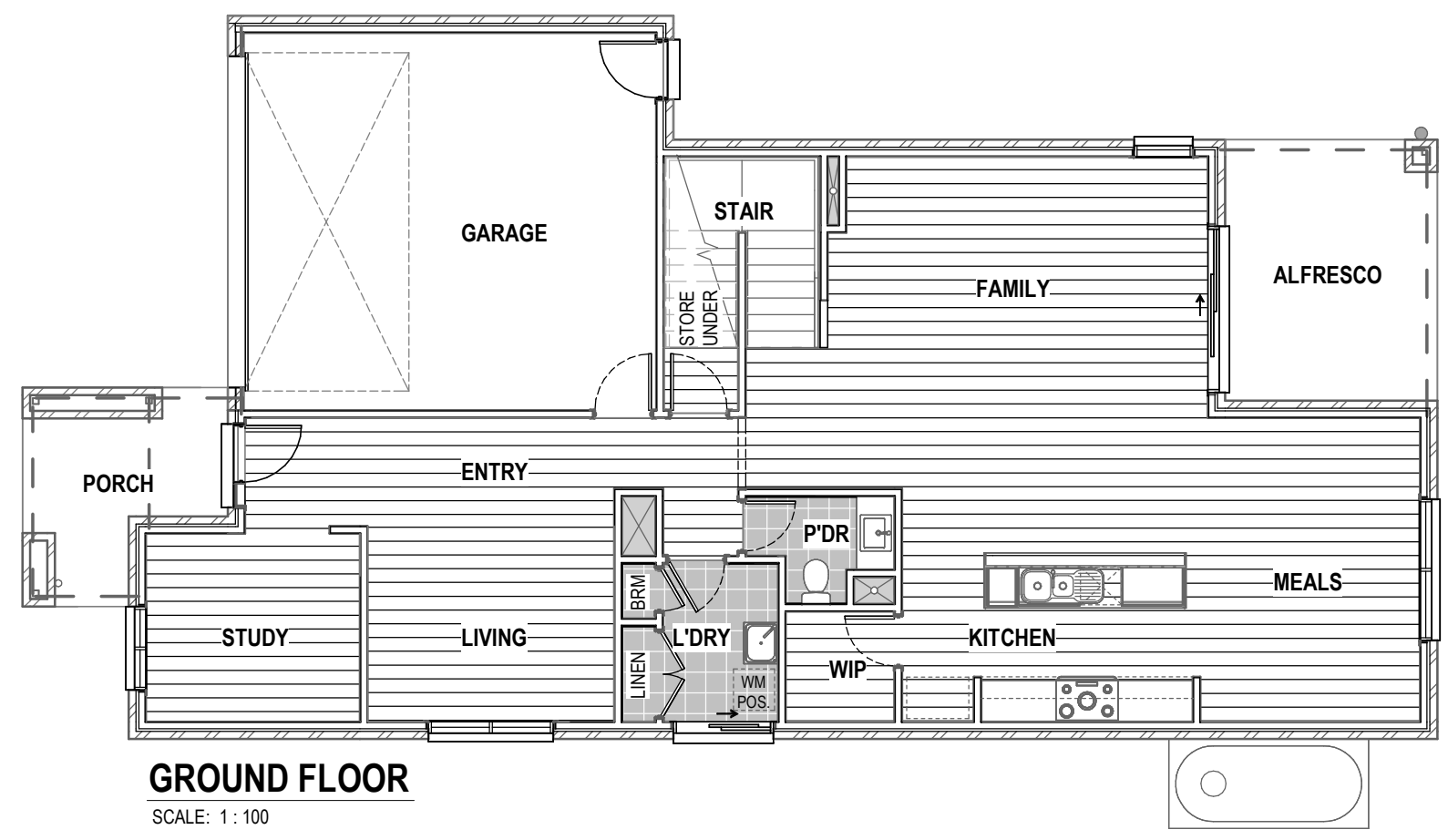
JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

DRAWN: **M-01** CHECKED: **PC** PROJECT STAGE: **CONSTRUCTION**

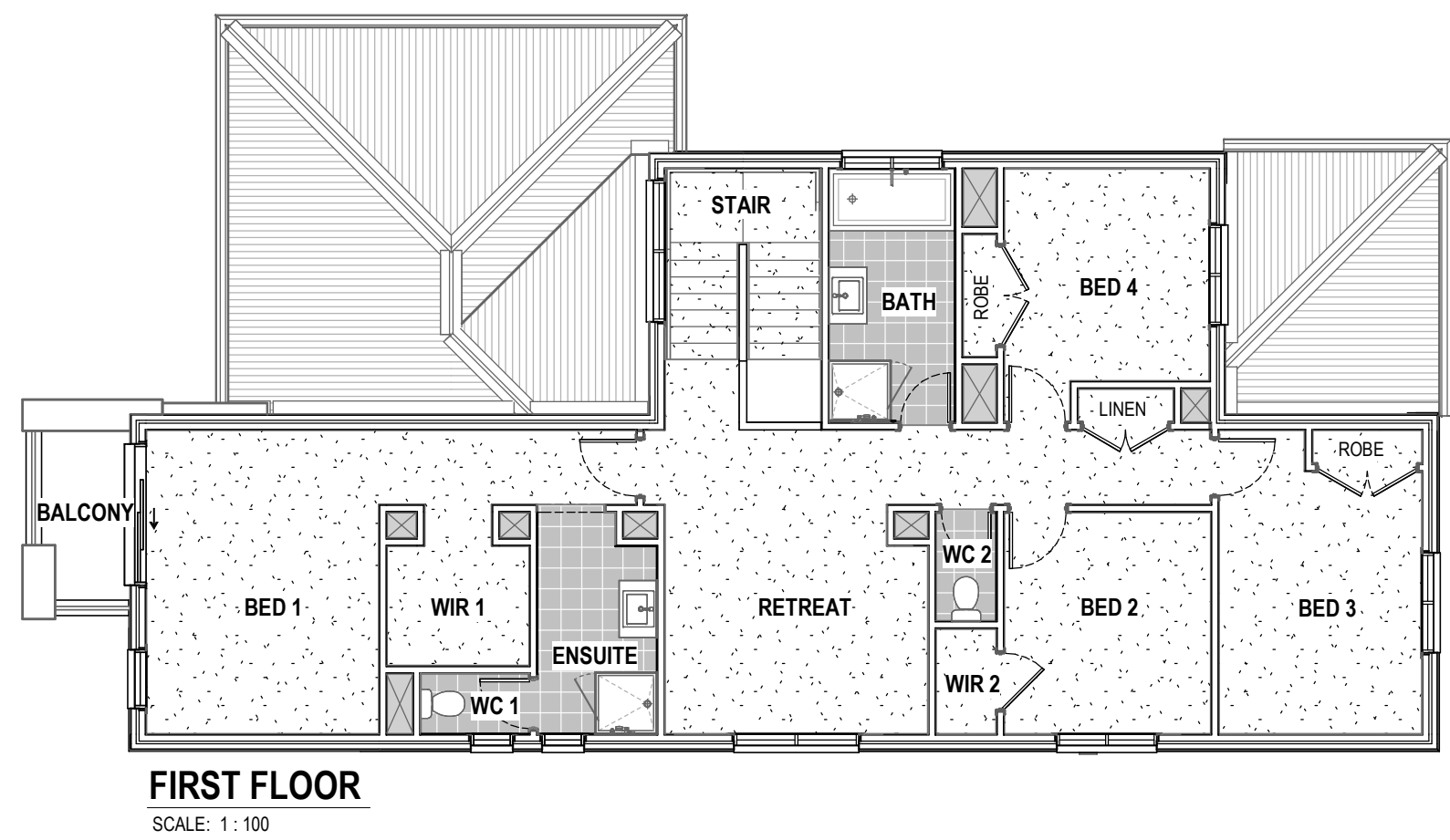
MASTER RELEASE DATE: **29/05/2024** SHEET NO: **72** TOTAL NO: **83**



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**GROUND FLOOR**  
SCALE: 1 : 100



**FIRST FLOOR**  
SCALE: 1 : 100

FLOOR COVERING SCHEDULE		
LOCATION	MATERIAL	AREA
ENTRY	VINYL	8.49 m <sup>2</sup>
STUDY	VINYL	10.17 m <sup>2</sup>
LIVING	VINYL	57.21 m <sup>2</sup>
FAMILY - MEALS - KITCHEN - WIP	VINYL	1.02 m <sup>2</sup>
STORE UNDER	VINYL	11.18 m <sup>2</sup>
FF PASSAGE - LINEN	CARPET	12.36 m <sup>2</sup>
RETREAT	CARPET	23.16 m <sup>2</sup>
MASTER BED - WIR	CARPET	11.13 m <sup>2</sup>
BED 2 - WIR 2	CARPET	12.98 m <sup>2</sup>
BED 3	CARPET	10.82 m <sup>2</sup>
BED 4	CARPET	2.24 m <sup>2</sup>
POWDER	TILES	5.15 m <sup>2</sup>
LAUNDRY - LINEN - BRM	TILES	4.91 m <sup>2</sup>
BATH	TILES	6.70 m <sup>2</sup>
ENSUITE - WC1	TILES	1.42 m <sup>2</sup>
WC 2	TILES	6.00 m <sup>2</sup>
STAIRS	CARPET	

**GENERAL NOTES**

- THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3958.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY
- FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY & ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS
- NOTE :** FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

**FLOOR FINISHES LEGEND**

	CARPET		TILES
	VINYL		LAMINATE
	FLOOR BOARDS		

**CLIENT ACKNOWLEDGEMENT**

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CLIENT 1: \_\_\_\_\_ DATE 1: \_\_\_\_\_

CLIENT 2: \_\_\_\_\_ DATE 2: \_\_\_\_\_

JGK BUILDER: \_\_\_\_\_ DATE 3: \_\_\_\_\_

**SHEET TITLE**

**FLOOR FINISHES**

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 100** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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**JG KING HOMES**  
154 ARGYLE STREET,  
TRARALGON, VIC 3844  
T(03) 5175 5555

**UP COLLECTION**  
TRARALGON

**CLIENT**  
**JOSHUA MATHEW & MONCY JOSHUA**

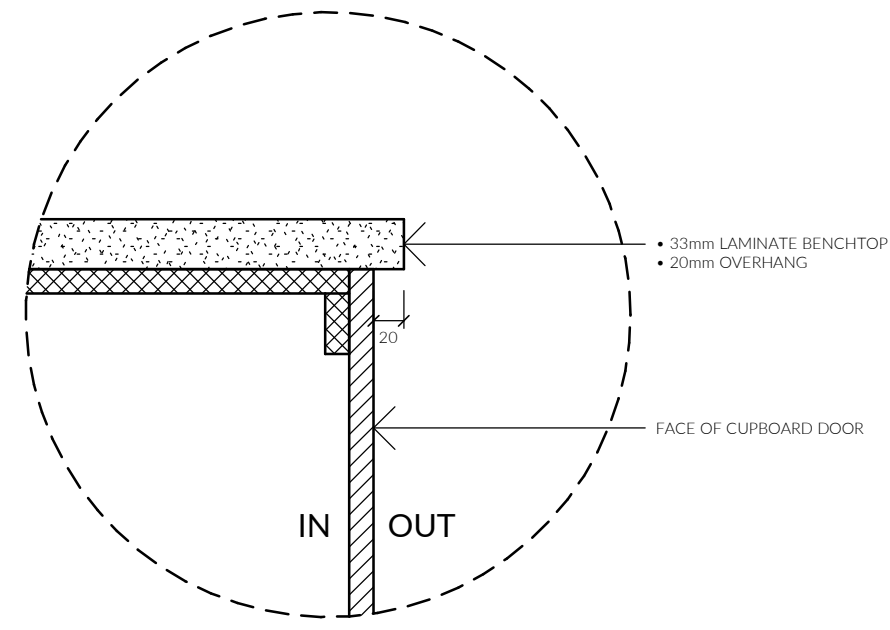
ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

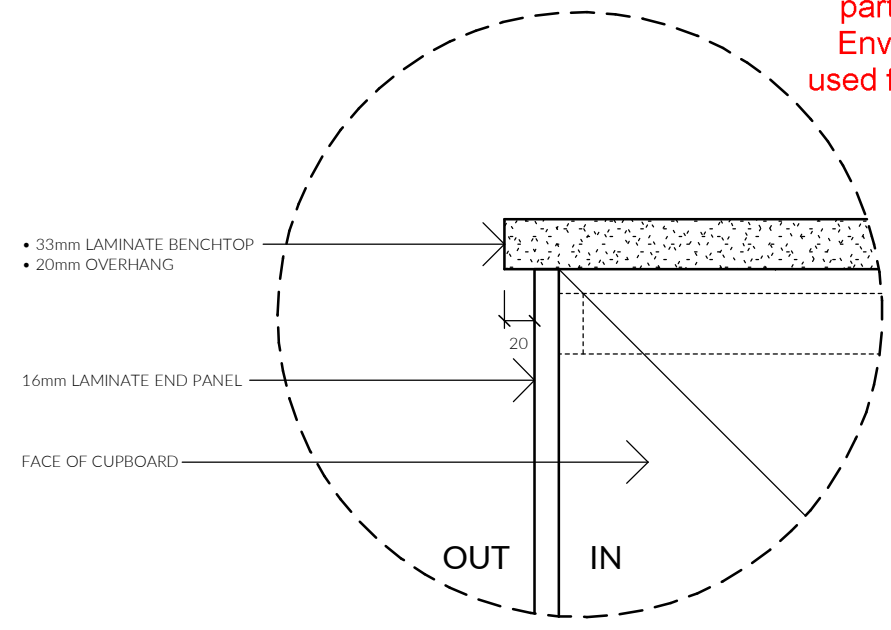
JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

DRAWN: **M-01** CHECKED: \_\_\_\_\_ PROJECT STAGE: **CONSTRUCTION**

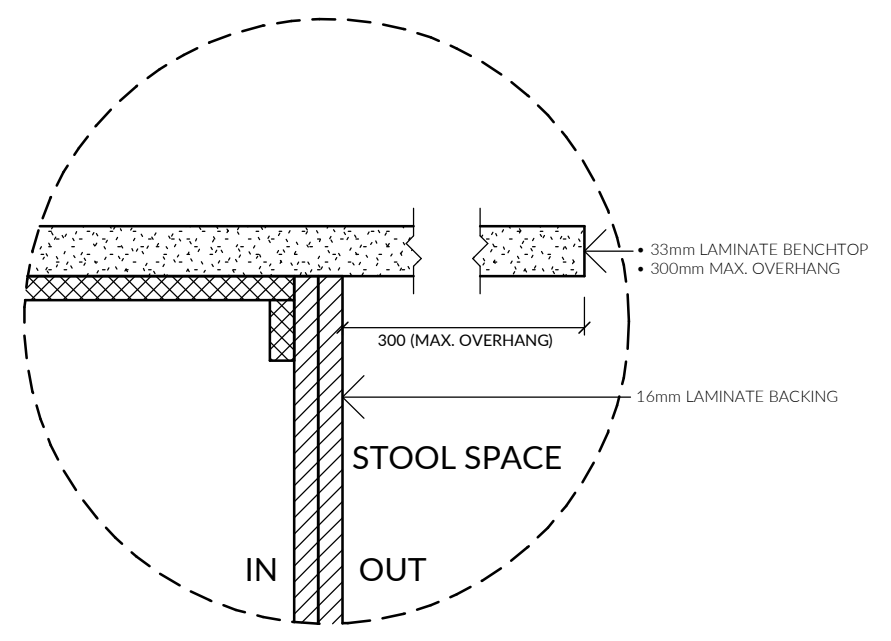
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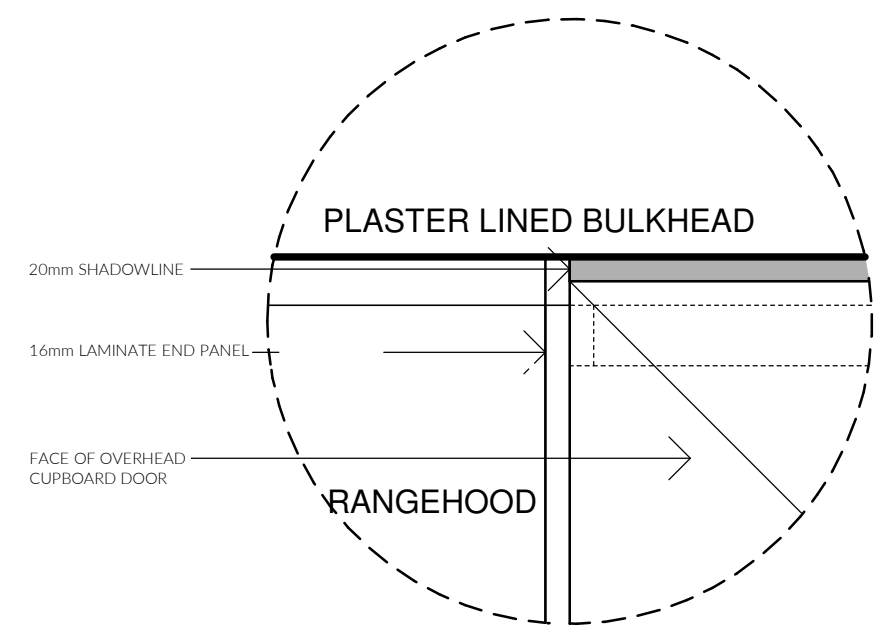
**KITCHEN DETAIL 1**  
SCALE: 1 : 5





**KITCHEN DETAIL 2**  
SCALE: 1 : 5



**KITCHEN DETAIL 3**  
SCALE: 1 : 5



**KITCHEN DETAIL 4**  
SCALE: 1 : 5

<p>GENERAL NOTES</p>	<p>CLIENT ACKNOWLEDGEMENT</p> <p>I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<p>SHEET TITLE</p> <p><b>KITCHEN JOINERY DETAILS</b></p> <p>HOUSE NAME: <b>COMMANDER 285</b> HAND: <b>LH</b></p> <p>FACADE NAME: <b>GRANADA</b></p> <p>SHEET SCALE: <b>1 : 5</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2024</b></p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	  <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>CLIENT</p> <p><b>JOSHUA MATHEW &amp; MONCY JOSHUA</b></p> <p>ADDRESS</p> <p>LOT 8, NO.69 LAKEVIEW DRIVE</p> <p>SUBURB</p> <p>LAKES ENTRANCE VIC 3909</p> <p>JOB NO</p> <p>2404TRA160</p> <p>JOB DATE</p> <p>06/06/2024</p> <p>DRAWN</p> <p>M-01</p> <p>CHECKED</p> <p>PROJECT STAGE</p> <p>CONTRACT</p> <p>MASTER RELEASE DATE</p> <p>29/05/2024</p> <p>SHEET NO</p> <p>TOTAL NO</p> <p>33</p>
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# DOOR SCHEDULE - EXTERNAL

DOOR NO.	LOCATION	FRAME/PANEL HEIGHT x WIDTH	STUD OPENING HEIGHT x WIDTH	INFILL PANEL	SIDELIGHT PANEL	uPVC DOUBLE GLAZING & LOW-E
D01	ENTRY	2110X865 2040X820	2135X1235	No	Yes	No
D01A	MASTER BED	2110X2050	2135X2110	No	No	Yes
D02	LAUNDRY	2110X1450	2135X1510	No	No	Yes
D03	FAMILY	2110X2410	2135X2470	No	No	Yes
D04	GARAGE	2110X865 2040X820	2135X890	No	No	No
D05	GARAGE	2100X4810	2100X4810	Yes	No	No

TOTAL: 6

# DOOR SCHEDULE - INTERNAL


DOOR NO.	LOCATION	DOOR TYPE	PANEL HEIGHT x WIDTH	STUD OPENING HEIGHT x WIDTH
D06	LAUNDRY	HINGED	2040X820	2100X875
D07	BROOM	HINGED	2040X620	2100X675
D08	LINEN	HINGED	2040X1252 2x620	2100X1305
D09	POWDER	HINGED	2040X720	2100X775
D10	WIP	HINGED	2040X720	2100X775
D11	STORE	HINGED	2040X820	2100X875
D12	GARAGE	HINGED	2040X820	2100X875
D13	MASTER BED	HINGED	2040X820	2100X875
D14	WC 1	HINGED	2040X720	2100X775
D15	WC 2	HINGED	2040X720	2100X775
D16	BED 2	HINGED	2040X820	2100X875
D17	WIR 2	HINGED	2040X820	2100X875
D18	BED 3	HINGED	2040X820	2100X875
D19	ROBE - BED 3	HINGED	2040X1452 2x720	2100X1505
D20	LINEN	HINGED	2040X1252 2x620	2100X1305
D21	BED 4	HINGED	2040X820	2100X875
D22	ROBE - BED 4	HINGED	2040X1452 2x720	2100X1505
D23	BATH	HINGED	2040X720	2100X775

TOTAL: 18

# WINDOW SCHEDULE

WIN. NO.	LOCATION	HEIGHT x WIDTH	STUD OPENING HEIGHT x WIDTH	uPVC	HEAD HEIGHT	INFILL PANEL	DOUBLE GLAZING & LOW-E	TRANSLUCENT GLAZING	SAFETY GLASS
W01A	STUDY	2000X1210	2060x1260	TILT & TURN	2115	No	Yes	No	No
W01B	MASTER BED	1800X850	1860x900	TILT & TURN	2115	No	Yes	No	No
W01C	STAIR	857X2050	920x2100	TILT & TURN	2115	No	Yes	No	No
W02	LIVING	1457X1810	1532x1870	TILT & TURN	2115	No	Yes	No	No
W03	MEALS	1457X2050	1532x2110	TILT & TURN	2115	No	Yes	No	No
W04	FAMILY	1800X850	1860x900	TILT & TURN	2115	No	Yes	No	No
W05	WC 1	1457X610	1520x660	TILT & TURN	2115	No	Yes	Yes	No
W06	ENSUITE	1457X610	1520x660	TILT & TURN	2115	No	Yes	Yes	Yes
W07	RETEAT	1200X1810	1260x1860	TILT & TURN	2115	No	Yes	No	No
W08	BED 2	1200X1450	1260x1500	TILT & TURN	2115	No	Yes	No	No
W09	BED 3	1200X1450	1260x1500	TILT & TURN	2115	No	Yes	No	No
W10	BED 4	1200X1450	1260x1500	TILT & TURN	2115	No	Yes	No	No
W11	BATH	514X1450	575x1500	TILT & TURN	2115	No	Yes	Yes	Yes

TOTAL: 13

GENERAL NOTES	<p>CLIENT ACKNOWLEDGEMENT</p> <p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: _____ DATE 1: _____</p> <p>CLIENT 2: _____ DATE 2: _____</p> <p>JGK BUILDER: _____ DATE 3: _____</p>	<p>SHEET TITLE</p> <p><b>DOOR/WINDOW SCHEDULE</b></p> <p>HOUSE NAME <b>COMMANDER 285</b> HAND <b>LH</b></p> <p>FACADE NAME <b>GRANADA</b></p> <p>SHEET SCALE <b>A3</b> ORIGINAL SHEET SIZE COPYRIGHT <b>2024</b></p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	 <p><b>JG KING HOMES</b> 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>CLIENT <b>JOSHUA MATHEW &amp; MONCY JOSHUA</b></p> <p>ADDRESS <b>LOT 8, NO.69 LAKEVIEW DRIVE</b></p> <p>SUBURB <b>LAKES ENTRANCE VIC 3909</b></p> <p>JOB NO <b>2404TRA160</b> JOB DATE <b>06/06/2024</b></p> <p>DRAWN <b>M-01</b> CHECKED _____ PROJECT STAGE <b>CONSTRUCTION</b></p> <p>MASTER RELEASE DATE <b>29/05/2024</b> SHEET NO <b>75</b> TOTAL NO <b>83</b></p>
				<p><b>Printed 12/12/2024</b></p> <p><b>Page 75 of 83</b></p>



# Colour Selection

Complete colour, fittings and the selection document

<b>Job Number:</b>	2404TRA160	<b>Contact:</b>	Mr Joshua Mathew
<b>Client Name:</b>	Mr Joshua Mathew & Mrs Moncy Joshua	<b>Phone (H):</b>	(W)
		<b>Phone (M):</b>	0425541170
<b>Job Address:</b>	Lot 8, 69 Lakeview Drive LAKES ENTRANCE VIC 3909	<b>Administrator:</b>	Emily Sangster
<b>House Package:</b>	Commander 285 UP Collection 2019 Inclusions Granada	<b>Consultant:</b>	Sales Estimator
<b>Document:</b>	1	<b>Prepared:</b>	2/07/24
<b>Raised By:</b>	Sales Estimator	<b>Status:</b>	Final

Item	Selection Level 1	Selection Level 2	Selection Level 3
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**External Materials and Fixtures Selection**

**External Materials and Fixtures**

<b>Natural Clay Bricks</b>	<b>Note:</b>	Variations in colour, texture and size can occur due to natural characteristics of clay products.	Whilst every effort is made to provide samples consistent with products to site, they should be viewed as a guide only.	Please visit the brick manufacture Disclaimer for more details.		
<b>Bricks including window sills</b>	<b>Manufacturer</b>	Selkirk	<b>Category</b>	Category 1	<b>Colour</b>	Ironstone
<b>Mortar Joints</b>			<b>Style</b>	Rolled	<b>Colour</b>	Natural
<b>Roof - Colorbond</b>					<b>Colour</b>	Wallaby
<b>Colorbond Fascia</b>					<b>Colour</b>	Wallaby
<b>Colorbond Gutter</b>					<b>Colour</b>	Wallaby
<b>Downpipes (on Brick)</b>			<b>Material</b>	Colourbond 100mm x 50mm		Wallaby
<b>Whirlybird Roof Ventilator</b>					<b>Colour</b>	Wallaby
<b>uPVC Windows/Doors/Flyscreens</b>				All Windows		Traffic White (Handle Colour - White)
<b>Front Door (standard)</b>	<b>Selection</b>	Vaucluse XV10			<b>Glazing</b>	No Glazing
<b>Front Door Sidelite</b>	<b>Selection</b>	JGK Standard			<b>Glazing</b>	Clear Glazing (standard)
<b>Laundry Door</b>	<b>Selection</b>	Sliding door			<b>Glazing</b>	Clear Glazing (standard)
<b>Garage PA Door</b>	<b>Selection</b>	Flush Panel Door		No Glazing		
<b>Garage Door - Front</b>	<b>Type</b>	Steel-Line Textured (standard range)	<b>Profiles</b>	Slimline Textured	<b>Colour</b>	Wallaby
<b>Water Tank (optional upgrade)</b>					<b>Colour</b>	Wallaby (Colorbond® steel)

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Colour Selection

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<b>Client Name:</b>	Mr Joshua Mathew & Mrs Moncy Joshua			<b>Phone (H):</b>	(W):
<b>Job Address:</b>	Lot 8, 69 Lakeview Drive LAKES ENTRANCE VIC 3909			<b>Phone (M):</b>	0425841170
<b>House Package:</b>	Commander 285 UP Collection 2019 Inclusions Granada			<b>Administrator:</b>	Emily Sangster
				<b>Consultant:</b>	Sales Estimator

Item	Selection Level 1	Selection Level 2	Selection Level 3
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**External Paint Selection**

**External Paint**

<b>Front Door Colour</b>	<b>Note:</b>	If a dark paint colour is selected		the manufacturer's warranty is voided.	
<b>Front Door (Outside of Door)</b>			<b>Finish</b>	Painted Ext door - Haymes Elite High Gloss Acrylic	<b>Colour</b> Pale Mushroom 5
<b>Front Door Entry Frame &amp; Sidelite</b>			<b>Finish</b>	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	<b>Colour</b> Pale Mushroom 5
<b>Laundry Door &amp; Frame</b>			<b>Finish</b>	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	<b>Colour</b> Pale Mushroom 5
<b>Garage Access Door &amp; Frame</b>			<b>Finish</b>	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	<b>Colour</b> Pale Mushroom 5
<b>Porch lining/Eaves &amp; Alfresco (if applicable)</b>			<b>Finish</b>	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	<b>Colour</b> JGK White
<b>Infill - Garage (FC Sheet or Other)</b>			<b>Finish</b>	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	<b>Colour</b> Wallaby
<b>Render 1 (if applicable)</b>	<b>Applies to</b>	As per plans	<b>Finish</b>	Painted	<b>Colour</b> Pale Mushroom 5
<b>Render 2 (if applicable)</b>	<b>Applies to</b>	As per plans	<b>Finish</b>	Painted	<b>Colour</b> Surfsmist
<b>Meter Box</b>			<b>Finish</b>	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	<b>Colour</b> Wallaby

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<b>House Package:</b>	Commander 285 UP Collection 2019 Inclusions Granada				

Item	Selection Level 1	Selection Level 2	Selection Level 3
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**Internal Paint Selection**

**Internal Paint**

<b>All rooms - Walls</b>	<b>Finish</b>	Painted Walls - Haymes Elite Interior Low Sheen Acrylic	<b>Colour</b>	Aura
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<b>All rooms - Ceilings</b>	<b>Finish</b>	Painted Ceilings - Haymes Elite Ceiling Finish	<b>Colour</b>	JGK White
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**Woodwork**

<b>Skirting/Architraves</b>	<b>Finish</b>	Painted Woodwork - Haymes Ultratrim Acrylic High Gloss	<b>Colour</b>	Aura
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<b>Front Entry Frame &amp; Sidelite</b>	<b>Finish</b>	Painted Woodwork - Haymes Ultratrim Acrylic High Gloss	<b>Colour</b>	Aura
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<b>Front Door (Inside of Door)</b>	<b>Finish</b>	Painted Woodwork - Haymes Ultratrim Acrylic High Gloss	<b>Colour</b>	Aura
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<b>Internal Doors</b>	<b>Finish</b>	Painted Woodwork - Haymes Ultratrim Acrylic High Gloss	<b>Colour</b>	Aura
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Client 1 Initial / .....

Client 2 Initial / .....

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<b>House Package:</b>	Commander 285 UP Collection 2019 Inclusions Granada			<b>Consultant:</b>	Sales Estimator

Item	Selection Level 1	Selection Level 2	Selection Level 3
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**Internal Fitting Selection**

**Skirting/Architraves**

<b>Skirting/Architraves</b>	<b>Profile</b>	Single Bevel (67mm x 15mm)
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**Cornices**

<b>Cornices</b>	<b>Profile</b>	55mm Cove
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**Kitchen**

<b>Benchtop - Laminate</b>	<b>Type</b>	Laminex Natural finish	<b>Edge Profile</b>	Square Edge (33mm thick)	<b>Colour</b>	Carrara Bianco
<b>Base/Kicker &amp; Island Cupboards</b>	<b>Type</b>	Laminex Natural finish	<b>Edge/Door Profile</b>	Flat Face - Square Edge	<b>Colour</b>	Oyster Grey
<b>Overhead Cupboards</b>	<b>Type</b>	Laminex Natural finish	<b>Edge/Door Profile</b>	Flat Face - Square Edge	<b>Colour</b>	Planked Urban Oak
<b>Cabinet Handles</b>	<b>Category</b>	Category 1	<b>Selection</b>	Hettich - Urban Basic - UB21 - 96mm - (109.86.201)	<b>Direction</b>	Horizontal
<b>Splashback - Glass (optional upgrade)</b>	<b>Type</b>			Glass Splashback	<b>Category &amp; Colour</b>	Category 1 - Juliette
<b>Appliances</b>					<b>Colour</b>	Stainless Steel
<b>Sink</b>					<b>Colour</b>	Stainless Steel
<b>Tapware</b>					<b>Colour</b>	Chrome

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<b>House Package:</b>	Commander 285 UP Collection 2019 Inclusions Granada			<b>Administrator:</b>	Emily Sangster
				<b>Consultant:</b>	Sales Estimator

Item	Selection Level 1		Selection Level 2		Selection Level 3	
<b>Bathroom &amp; Ensuite</b>						
<b>Benchtop - Laminate</b>	<b>Type</b>	Laminex Natural finish	<b>Edge Profile</b>	Square Edge (33mm thick)	<b>Colour</b>	Carrara Bianco
<b>Cabinet Panels &amp; Kicker</b>	<b>Type</b>	Laminex Natural finish	<b>Edge/Door Profile</b>	Flat Face - Square Edge	<b>Colour</b>	Planked Urban Oak
<b>Cabinet Handles</b>	<b>Category</b>	Category 1	<b>Selection</b>	Hettich - Urban Basic - UB21 - 96mm - (109.86.201)	<b>Direction</b>	Horizontal
<b>Vanity Basins</b>			<b>Selection</b>	Square	<b>Colour</b>	White
<b>Basin Waste</b>					<b>Selection</b>	Basin - Chrome Pop Up (Push Plug)
<b>Bath</b>			<b>Selection</b>	Bath	<b>Colour</b>	White
<b>Bath Waste</b>					<b>Selection</b>	Bath - Chrome Waste & Black rubber plug
<b>Shower Base - Polymarble/Composite (standard)</b>			<b>Type/Style</b>		<b>Drain/Waste Colour</b>	Polymarble/Composite Base (white only)
<b>Shower Frame</b>			<b>Frame Type</b>	Semi-Framed screen 2m high including pivot door	<b>Frame Colour</b>	Polished Silver
<b>Shower Glass</b>					<b>Selection</b>	Clear Glass (standard)
<b>Mirror</b>			<b>Selection</b>	Frameless 4mm Mirror	<b>Edging/Colour</b>	Polished Arris edge
<b>Towel Rail</b>					<b>Colour</b>	Chrome
<b>Tapware</b>					<b>Colour</b>	Chrome
<b>Toilet Suite</b>					<b>Colour</b>	White
<b>Toilet Roll Holder</b>					<b>Colour</b>	Chrome
<b>Window Glass</b>					<b>Glazing Type</b>	As per plans
<b>Powder room</b>						
<b>Benchtop - Laminate</b>	<b>Type</b>	Laminex Laminate	<b>Edge Profile</b>	Square Edge (33mm thick)	<b>Colour</b>	Carrara Bianco
<b>Cabinet Panels &amp; Kicker</b>	<b>Type</b>	Laminex Natural finish	<b>Edge/Door Profile</b>	Flat Face - Square Edge	<b>Colour</b>	Planked Urban Oak
<b>Cabinet Handles</b>	<b>Category</b>	Category 1	<b>Selection</b>	Hettich - Urban Basic - UB21 - 96mm - (109.86.201)	<b>Direction</b>	Horizontal
<b>Vanity Basins</b>			<b>Selection</b>	Square	<b>Colour</b>	White
<b>Basin Waste</b>					<b>Selection</b>	Basin - Chrome Pop Up (Push Plug)
<b>Mirror</b>			<b>Selection</b>	Frameless 4mm Mirror	<b>Edging/Colour</b>	Polished Arris edge
<b>Towel Rail</b>					<b>Colour</b>	Chrome
<b>Tapware</b>					<b>Colour</b>	Chrome
<b>Window Glass</b>					<b>Glazing Type</b>	As per plans



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				<b>Consultant:</b>	Sales Estimator

Item	Selection Level 1	Selection Level 2	Selection Level 3
<b>Separate Toilet option (where applicable)</b>			
Toilet Suite			<b>Colour</b> White
Toilet Roll Holder			<b>Colour</b> Chrome
Window Glass			<b>Glazing Type</b> As per plans
<b>Laundry</b>			
Trough & Cabinet (standard)		<b>Type</b> Trough & Cabinet	<b>Colour</b> White cabinet & stainless steel trough
Splashback - Tiled		<b>Type</b> Tiled Splashback	<b>Category &amp; Colour</b> Tiled - Refer tile selection
Tapware			<b>Colour</b> Chrome
<b>Door Furniture - External</b>			
Front Entry Door	<b>Manufacturer</b> Lockwood Symmetry Manor knob lockset	<b>Handle Type</b> Round Knob	<b>Colour/Finish</b> Polished Stainless Steel
Laundry Door - Hinged	<b>Manufacturer</b> Lockwood Symmetry Manor knob lockset	<b>Handle Type</b> Round Knob	<b>Colour/Finish</b> Polished Stainless Steel
Garage Door - Hinged	<b>Manufacturer</b> Lockwood Symmetry Manor knob lockset	<b>Handle Type</b> Round Knob	<b>Colour/Finish</b> Polished Stainless Steel
<b>Door Furniture - Internal</b>			
Internal Door Furniture	<b>Manufacturer</b> Lockwood Large Round Rose (63mm)	<b>Handle Type</b> Element (#L3) handle	<b>Colour/Finish</b> Chrome Plate
Robe/Linen Door Furniture (where applicable)	<b>Manufacture</b> Lockwood Large Round Rose (63mm)	<b>Handle Type</b> Element (#L3) handle	<b>Colour/Finsh</b> Chrome Plate
<b>Internal Doors</b>			
Internal Doors			<b>Selection</b> Flush Panel (standard)
Linen Doors	<b>Hinged/Sliding</b> Hinged - Flush Panel Doors		<b>Colour/Style</b> Hinged Doors - Painted
Robe Doors	<b>Hinged/Sliding</b> Hinged - Flush Panel Doors		<b>Colour/Style</b> Hinged Doors - Painted
<b>Window Covering</b>			
<b>Staircase</b>			
Staircase - Internal	<b>Style/Type</b> Carpet Treads - All	<b>Finish</b> Stairs - Carpet only	<b>Colour</b> Refer flooring section
Staircase Handrail - Internal		<b>Handrail Type</b> Pine No. 8 (standard)	<b>Colour/Finish</b> Painted finish

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<b>House Package:</b>	Commander 285 UP Collection 2019 Inclusions Granada			<b>Administrator:</b>	Emily Sangster
				<b>Consultant:</b>	Sales Estimator

Item	Selection Level 1	Selection Level 2	Selection Level 3
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**Floor and Wall Covering**

**Kitchen**

<b>Wall Tiles</b>	<b>Orientation</b>	Horizontal Brickbond	<b>Colour &amp; Size</b>	United White Satin (100x300mm) #1001983	<b>Grout Colour</b>	Misty Grey #241
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**Bathroom**

<b>Wall Tiles</b>	<b>Orientation</b>	Horizontal Stackbond	<b>Colour &amp; Size</b>	Connect Pumice Textured (400x400mm) #1253287	<b>Grout Colour</b>	Misty Grey #241
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<b>Floor Tiles &amp; Skirting Tiles</b>	<b>Colour &amp; Size</b>	Connect Pumice Textured (400x400mm) #1253287	<b>Grout Colour</b>	Misty Grey #241
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<b>Bath Hob Tiles</b>	<b>Colour &amp; Size</b>	Connect Pumice Textured (400x400mm) #1253287	<b>Grout Colour</b>	Misty Grey #241
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**Ensuite**

<b>Wall Tiles</b>	<b>Orientation</b>	Horizontal Stackbond	<b>Colour &amp; Size</b>	Connect Pumice Textured (400x400mm) #1253287	<b>Grout Colour</b>	Misty Grey #241
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<b>Floor Tiles &amp; Skirting Tiles</b>	<b>Colour &amp; Size</b>	Connect Pumice Textured (400x400mm) #1253287	<b>Grout Colour</b>	Misty Grey #241
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**Powder room**

<b>Wall Tiles</b>	<b>Orientation</b>	Horizontal Stackbond	<b>Colour &amp; Size</b>	Connect Pumice Textured (400x400mm) #1253287	<b>Grout Colour</b>	Misty Grey #241
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<b>Floor Tiles</b>	<b>Colour &amp; Size</b>	Connect Pumice Textured (400x400mm) #1253287	<b>Grout Colour</b>	Misty Grey #241
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**Laundry**

<b>Wall Tiles</b>	<b>Orientation</b>	Horizontal Brickbond	<b>Colour &amp; Size</b>	United White Satin (100x300mm) #1001983	<b>Grout Colour</b>	Misty Grey #241
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<b>Floor Tiles &amp; Skirting Tiles</b>	<b>Colour &amp; Size</b>	Connect Pumice Textured (400x400mm) #1253287	<b>Grout Colour</b>	Misty Grey #241
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**Flooring - Tiles (optional upgrade)**

**Flooring - Carpet (optional upgrade)**

<b>Carpet (upgrade 2)</b>	<b>Category</b>	Category 3	<b>Selection</b>	NOTUS (Classic City / Noranda Avenue)	<b>Colour</b>	Slate Grey 19/-
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<b>Carpet Underlay (when carpet selected)</b>	<b>Category</b>	Category 1 (standard with carpet)
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<b>House Package:</b>	Commander 285 UP Collection 2019 Inclusions Granada				

Item	Selection Level 1	Selection Level 2	Selection Level 3
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**Flooring - Laminate (optional upgrade)**

Vinyl Plank Flooring	Category	Category 1	Selection	Vinyl - Regent 1200	Colour	Georgetown 545/-
<b>Floating floor</b>	<b>Note:</b>	Client is aware that expansion joints are required,		Quad trim & expansion joints color matched to floor as close as practicable by flooring supplier/installer.		Floating floor information/customer awareness.

**Landscaping**

**Concrete Paving**

Driveway	Type	Plain	Colour	Natural
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**Letterbox**

Freestanding Letterbox (metal post)	Type	Freestanding "Hilltop"	Post	Heavy Duty Standard Post	Colour	Powder coated Black
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**Clothesline**

Clothesline	Installation	As per plans	Type	As per contract	Colour	Woodland Grey
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Please sign and date to indicate that the information is correct and that you have read and understood this document.

BO 1 Signature \_\_\_\_\_ Date \_\_\_\_\_

BO 2 Signature \_\_\_\_\_ Date \_\_\_\_\_

Builder Signature \_\_\_\_\_ Date \_\_\_\_\_

Checked By \_\_\_\_\_ Date \_\_\_\_\_

(Amendments permitted by authorised J G King Eastern Corridor decorators only)