

# NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	2027 Princes Highway NOWA NOWA VIC 3887 Lot: 1 TP: 231338, Lot: 1 TP: 710453, CA: 1 Sec: B, CA: 2 Sec: B
The application is for a permit to:	Buildings & Works (Dwelling), Two Lot Subdivision & Creation of Carriageway Easement
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
32.05-5 (TZ)	Subdivide land.
44.01-2 (EMO)	Construct a building or construct or carry out works.
44.01-5 (EMO)	Subdivide land.
44.06-2 (BMO)	Construct a building or construct or carry out works.
44.06-2 (BMO)	Subdivide land.
52.02	Proceeding under Section 23 of the Subdivision Act 1988 to create a easement.
52.29-2	Create or alter access to a road in a Transport Zone 2.
The applicant for the permit is:	Crowther & Sadler Pty Ltd
The application reference number is:	5.2025.216.1

You may look at the application and any documents that support the application free of charge at:  
<https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must** ♦ **be made to the Responsible Authority in writing,**  
 ♦ **include the reasons for the objection, and**  
 ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to the applicant giving notice</b>
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If you object, the Responsible Authority will tell you its decision.

**April McDonald**

**From:** Snapforms Notifications <no-reply@snapforms.com.au>  
**Sent:** Thursday, 10 July 2025 12:43 PM  
**To:** Planning Unit Administration  
**Subject:** Amend a Planning Permit Application  
**Attachments:** 21088 Existing Title Structure.pdf; COT's merged.pdf; AD - Drawings - 2409TRA262 -  
 ' - 2027 Princes Highway NOWA  
 NOWA VIC 3887.pdf; 21088 EGSC.pdf; Amend\_a\_Planning\_Permit\_Application\_  
 2025-07-10T12-43-00\_26320593\_0.pdf; Planning Application 5.2025.216.1

## **Amend a Planning Permit Application**

A request to "Amend a planning permit application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

**Business trading name:** Crowther & Sadler Pty Ltd

**Email address:** contact@crowthersadler.com.au

**Postal address :** PO box 722, Bairnsdale Vic 3875

**Preferred phone number:** 0351525011

**Owner's name:**

**Owner's postal address:** \_\_\_\_\_

**Street number:** 2027

**Street name:** Princes Highway

**Town:** Nowa Nowa

**Post code:** 3887

**Lot number:** Lot 1 TP522672, Lot 1 TP525469, Lot 1710453 and Lot 1 TP231338

**Plan number:** Lot 1 TP522672, Lot 1 TP525469, Lot 1710453 and Lot 1 TP231338

**Addition owner/land description:** [21088 Existing Title Structure.pdf](#)

**Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?:** No

**Will the proposal result in a breach of a registered covenant restriction or agreement?:** No

**Description of proposal :** Buildings & Works (Dwelling) Two Lot Subdivision & Creation of Carriageway Easement



**Under which section of the Act is the amendment to the application made?** s50 Amendment by applicant before notice

**Revised estimated cost of development:** 0

**Existing conditions :** Existing dwelling

**Full copy of Title:** [COT's merged.pdf](#)

**Plans:** [AD - Drawings - 2409TRA262 - Highway NOWA NOWA VIC 3887.pdf](#)

[- 2027 Princes](#)

**Planning report:** [21088 EGSC.pdf](#)

**Declaration:** Yes

**Authority Check:** Yes

**Notice Contact Check:** Yes

**Notice check 2:** Yes

**Privacy Statement Acknowledge:** Yes

**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 3

VOLUME 07851 FOLIO 099

Security no : 124123417175A  
Produced 03/04/2025 03:43 PM

**LAND DESCRIPTION**

Lot 1 on Title Plan 710453P.  
PARENT TITLE Volume 07747 Folio 085  
Created by instrument 2519601 24/09/1952

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE TP710453P FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 2027 PRINCES HIGHWAY NOWA NOWA VIC 3887

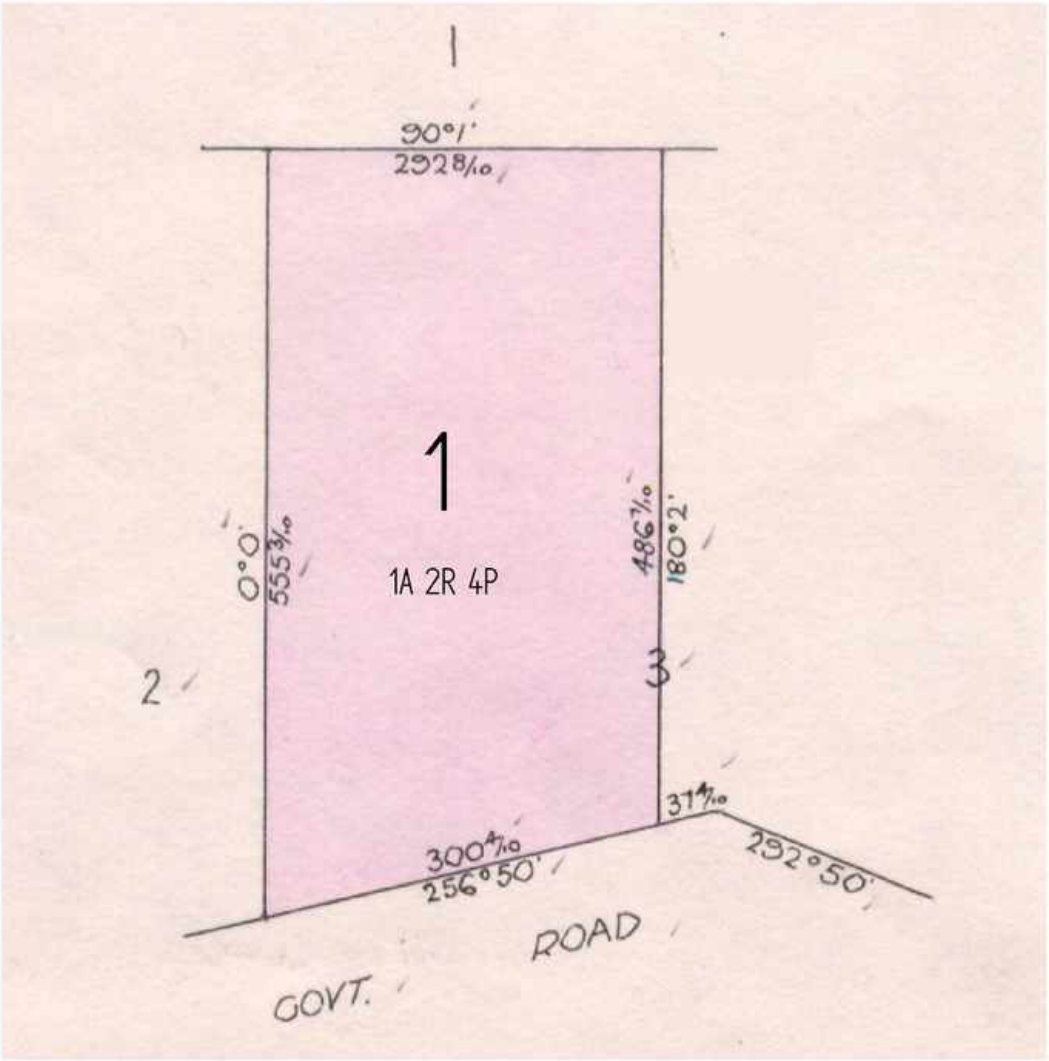
**ADMINISTRATIVE NOTICES**

NIL

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DOCUMENT END

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TITLE PLAN		EDITION 1	TP 710453P						
<b>Location of Land</b>  Parish: NINNIE Township: NOWA NOWA Section: B Crown Allotment: 3 (PT) Crown Portion:  Last Plan Reference: Derived From: VOL 7851 FOL 099 Depth Limitation: 50 FEET		<b>Notations</b>  ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN							
<b>Description of Land / Easement Information</b>		THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 06/12/2000 VERIFIED: AK							
									
<table border="1"><thead><tr><th colspan="2">TABLE OF PARCEL IDENTIFIERS</th></tr></thead><tbody><tr><td colspan="2">WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962</td></tr><tr><td colspan="2">PARCEL 1 = CA 3 (PT)</td></tr></tbody></table>				TABLE OF PARCEL IDENTIFIERS		WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962		PARCEL 1 = CA 3 (PT)	
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LENGTHS ARE IN LINKS Metres = 0.3048 x Feet Metres = 0.201168 x Links		Sheet 1 of 1 sheets							

**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 3

VOLUME 08036 FOLIO 206

Security no : 124123417366S

Produced 03/04/2025 03:47 PM

CROWN GRANT

**LAND DESCRIPTION**

Crown Allotment 1 Section B Township of Nowa Nowa Parish of Ninnie.

**REGISTERED PROPRIETOR**

Estate Fee Simple

Sole Proprietor

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any crown grant reservations exceptions conditions limitations and powers noted on the plan or imaged folio set out under DIAGRAM LOCATION below.  
For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE TP522672Y FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 2027 PRINCES HIGHWAY NOWA NOWA VIC 3887

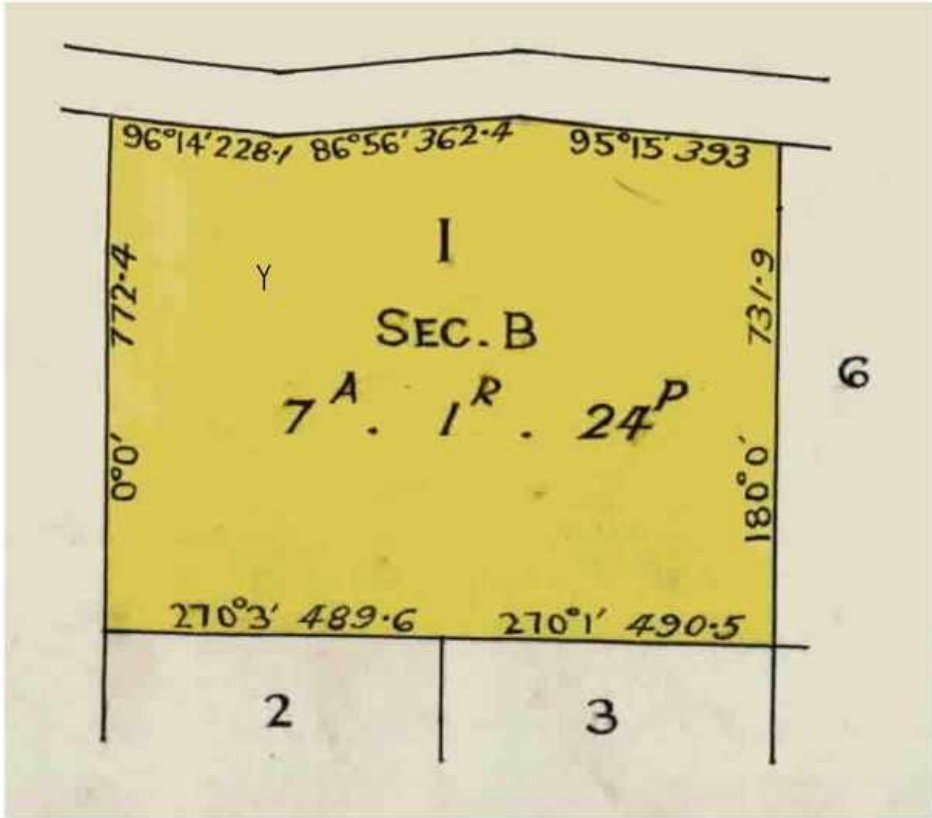
**ADMINISTRATIVE NOTICES**

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TITLE PLAN		EDITION 1	TP-522672Y
<b>Location of Land</b>  Parish: NINNIE Township: NOWA NOWA Section: B Crown Allotment: 1 Crown Portion:  Last Plan Reference: Derived From: VOL 8036 FOL 206 Depth Limitation: 50 FEET		<b>Notations</b> SUBJECT TO THE RESERVATIONS, EXCEPTIONS, CONDITIONS AND POWERS CONTAINED IN CROWN GRANT VOL. 8036 FOL. 206 AND NOTED ON SHEET 2 OF THIS PLAN  ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN	
<b>Description of Land / Easement Information</b>		THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 28/11/2000 VERIFIED: C.L.	
		COLOUR CODE Y = YELLOW	
			
LENGTHS ARE IN LINKS		Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 1 of 2 sheets



TP 522672Y

TITLE PLAN

LAND DESCRIPTION INCLUDING RESERVATIONS EXCEPTIONS  
CONDITIONS AND POWERS SHOWN ON THE CROWN GRANT

THAT PIECE OF LAND in the said State containing seven

acres one rood and twenty-four perches more or less being Allotment one of Section B in the  
Township of Nowa Nowa Parish of Ninnie County of Tambo

delineated with the measurements and abutments thereof in the map drawn in the margin of these presents and therein colored yellow PROVIDED nevertheless that the grantee shall be entitled to sink wells for water and to the use and enjoyment of any wells or springs of water upon or within the boundaries of the said land for any and for all purposes as though he held the land without limitation as to depth EXCEPTING nevertheless unto Us Our heirs and successors all gold and silver and minerals as defined in the *Mines Act* 1928 in upon or under or within the boundaries of the land hereby granted AND reserving to Us Our heirs and successors free liberty and authority for Us Our heirs and successors and Our and their licensees agents and servants at any time or times hereafter to enter upon the said land and to search and mine therein for gold silver and minerals as aforesaid and to extract and remove therefrom any such gold silver and minerals and to search for and work dispose of and carry away the said gold silver and minerals lying in upon or under the land hereby granted and for the purposes aforesaid to sink shafts make drives erect machinery and to carry on any works and do any other things which may be necessary or usual in mining and with all other incidents that are necessary to be used for the getting of the said gold silver and minerals and the working of all mines seams lodes and deposits containing such gold silver and minerals in upon or under the land hereby granted AND ALSO reserving to Us Our heirs and successors—

- (i) all petroleum as defined in the *Mines (Petroleum) Act* 1935 on or below the surface of the said land and
- (ii) the right of access for the purpose of searching for and for the operations of obtaining such petroleum in any part or parts of the said land and
- (iii) rights of way for access and for pipe-lines and other purposes necessary for obtaining and conveying such petroleum in the event of such petroleum being obtained in any part or parts of the said land.

PROVIDED ALWAYS that the said land is and shall be subject to be resumed for mining purposes under Section 168 of the *Land Act* 1928.  
AND PROVIDED also that the said land is and shall be subject to the right of any person being the holder of a miner's right or of a mining lease or mineral lease under the *Mines Act* 1928 or any corresponding previous enactment to enter therein and to mine for gold silver or minerals within the meaning of the said Act and to erect and occupy mining plant or machinery thereon in the same manner and under the same conditions and provisions as those to which such person would for the time being be entitled to mine for gold and silver in and upon Crown lands PROVIDED that compensation shall be paid to the said

GRANTEE

his executors administrators assigns or transferees by such person for surface damage to be done to such land by reason of mining thereon such compensation to be determined as provided for the time being by law and the payment thereof to be a condition precedent to such right of entry.

LENGTHS ARE IN  
LINKS

Metres = 0.3048 x Feet  
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Sheet 2 of 2 sheets

Printed 22/07/2025

Page 8 of 100

**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**

Page 1 of 3

VOLUME 08036 FOLIO 219

Security no : 124123417298R  
Produced 03/04/2025 03:45 PM

CROWN GRANT

**LAND DESCRIPTION**

Crown Allotment 2 Section B Township of Nowa Nowa Parish of Ninnie.

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any crown grant reservations exceptions conditions limitations and powers noted on the plan or imaged folio set out under DIAGRAM LOCATION below.  
For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE TP525469E FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 2027 PRINCES HIGHWAY NOWA NOWA VIC 3887

**ADMINISTRATIVE NOTICES**

NIL

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TITLE PLAN		EDITION 1	TP 525469E
<b>Location of Land</b>  Parish: NINNIE Township: NOWA NOWA Section: B Crown Allotment: 2 Crown Portion:  Last Plan Reference: Derived From: VOL 8036 FOL 219 Depth Limitation: 50 FEET		<b>Notations</b> SUBJECT TO THE RESERVATIONS, EXCEPTIONS, CONDITIONS AND POWERS CONTAINED IN CROWN GRANT VOL. 8036 FOL. 219 AND NOTED ON SHEET 2 OF THIS PLAN  ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN	
<b>Description of Land / Easement Information</b>			THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 09/06/2000 VERIFIED: G.B.
<div>COLOUR CODE Y=YELLOW</div>			
LENGTHS ARE IN LINKS		Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 1 of 2 sheets



TITLE PLAN

TP 525469E

# LAND DESCRIPTION INCLUDING RESERVATIONS EXCEPTIONS CONDITIONS AND POWERS SHOWN ON THE CROWN GRANT

All THAT PIECE OF LAND in the said State containin three

acres more or less being Allotment two of Section B in the Township of Nowa Nowa Parish of  
Ninnie County of Tambo

delineated with the measurements and abutments thereof in the map drawn in the margin of these presents and therein colored yellow PROVIDED nevertheless that the grantee shall be entitled to sink wells for water and to the use and enjoyment of any wells or springs of water upon or within the boundaries of the said land for any and for all purposes as though he held the land without limitation as to depth EXCEPTING nevertheless unto Us Our heirs and successors all gold and silver and minerals as defined in the *Mines Act 1928* in upon or under or within the boundaries of the land hereby granted AND reserving to Us Our heirs and successors free liberty and authority for Us Our heirs and successors and Our and their licensees agents and servants at any time or times hereafter to enter upon the said land and to search and mine therein for gold silver and minerals as aforesaid and to extract and remove therefrom any such gold silver and minerals and to search for and work dispose of and carry away the said gold silver and minerals lying in upon or under the land hereby granted and for the purposes aforesaid to sink shafts make drives erect machinery and to carry on any works and do any other things which may be necessary or usual in mining and with all other incidents that are necessary to be used for the getting of the said gold silver and minerals and the working of all mines seams lodes and deposits containing such gold silver and minerals in upon or under the land hereby granted AND ALSO reserving to Us Our heirs and successors—

- (i) all petroleum as defined in the *Mines (Petroleum) Act 1935* on or below the surface of the said land and
- (ii) the right of access for the purpose of searching for and for the operations of obtaining such petroleum in any part or parts of the said land and
- (iii) rights of way for access and for pipe-lines and other purposes necessary for obtaining and conveying such petroleum in the event of such petroleum being obtained in any part or parts of the said land.

PROVIDED ALWAYS that the said land is and shall be subject to be resumed for mining purposes under Section 168 of the *Land Act 1928*.

AND PROVIDED also that the said land is and shall be subject to the right of any person being the holder of a miner's right or of a mining lease or mineral lease under the *Mines Act 1928* or any corresponding previous enactment to enter therein and to mine for gold silver or minerals within the meaning of the said Act and to erect and occupy mining plant or machinery thereon in the same manner and under the same conditions and provisions as those to which such person would for the time being be entitled to mine for gold and silver in and upon Crown lands PROVIDED that compensation shall be paid to the said

GRANTEE

his executors administrators assigns or transferees by such person for surface damage to be done to such land by reason of mining thereon such compensation to be determined as provided for the time being by law and the payment thereof to be a condition precedent to such right of entry.

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Sheet 2 of 2 sheets

Printed 22/07/2025

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## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 3

VOLUME 08133 FOLIO 916

Security no : 124123416975S

Produced 03/04/2025 03:39 PM

### LAND DESCRIPTION

Lot 1 on Title Plan 231338J.  
PARENT TITLE Volume 07430 Folio 837  
Created by instrument A260538 05/12/1956

### REGISTERED PROPRIETOR

Estate Fee Simple  
Sole Proprietor

### ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

### DIAGRAM LOCATION

SEE TP231338J FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 2027 PRINCES HIGHWAY NOWA NOWA VIC 3887

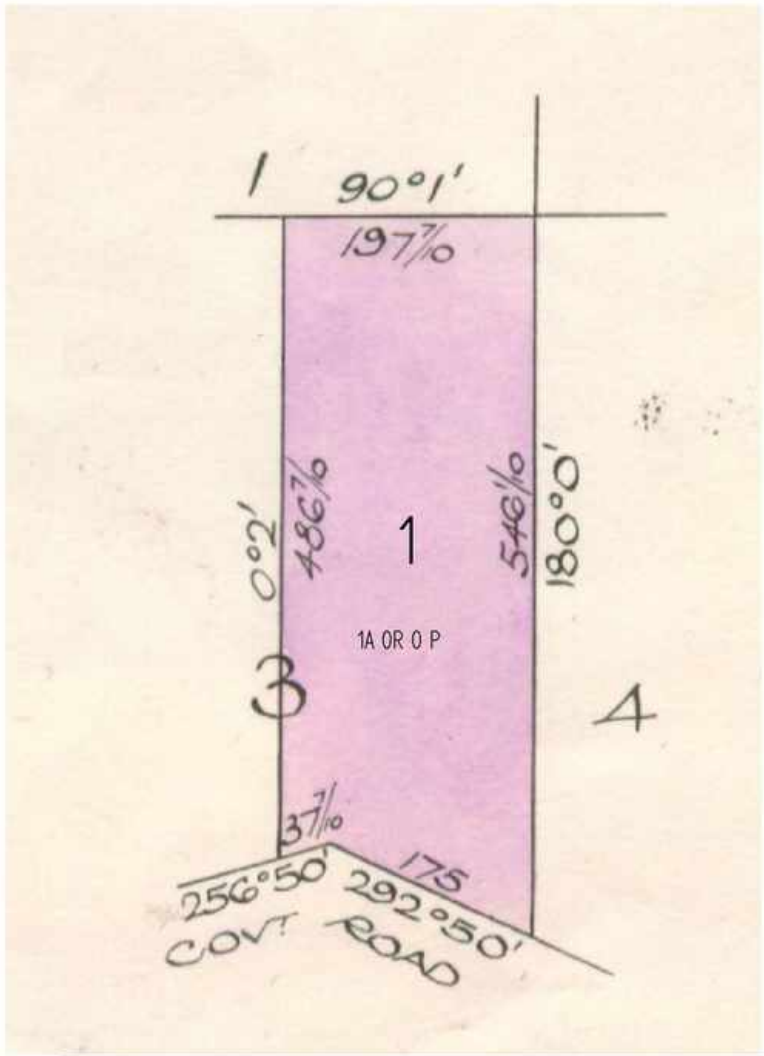
### ADMINISTRATIVE NOTICES

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TITLE PLAN		EDITION 1	TP 231338J						
<b>Location of Land</b>  Parish: NINNIE Township: NOWA NOWA Section: B Crown Allotment: 3(PT) Crown Portion:  Last Plan Reference: Derived From: VOL 8133 FOL 916 Depth Limitation: 50 FEET		<b>Notations</b>  ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN							
<b>Description of Land / Easement Information</b>		THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 30-11-1999 VERIFIED: B.E							
<div></div>									
<table border="1"><thead><tr><th colspan="2">TABLE OF PARCEL IDENTIFIERS</th></tr></thead><tbody><tr><td colspan="2">WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962</td></tr><tr><td colspan="2">PARCEL 1 = CA 3 (PT)</td></tr></tbody></table>				TABLE OF PARCEL IDENTIFIERS		WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962		PARCEL 1 = CA 3 (PT)	
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LENGTHS ARE IN LINKS Metres = 0.3048 x Feet Metres = 0.201168 x Links		Sheet 1 of 1 sheets							



### Existing Title Structure

The subject land comprises four separately transferable parcels of land which are formally described as Lot 1 TP522672, Lot 1 TP525469, Lot 1710453 and Lot 1 TP231338 and together equate to 5.23ha in area. The land is contained within the township area of Nowa Nowa and is commonly known as 2027 Princes Highway, Nowa Nowa.



*Existing title structure – Source: LASSI SPEAR*

All four titles are in the ownership of

Our ref: 21088AMP

10 July 2025

The Planning Officer  
East Gippsland Shire Council  
Via Email: [planning@egipps.vic.gov.au](mailto:planning@egipps.vic.gov.au)

**Attention: Neha Sharma**

Dear Neha,

**Re: Planning Application 5.2025.216.1  
Buildings & Works (Dwelling), Two Lot Subdivision &  
Creation of Carriageway Easement  
2027 Princes Highway, Nowa Nowa**

We refer to the abovementioned Planning Application lodged with Council on 1 July 2025 and provide herewith amended Dwelling Plans for substitution with the previously provided.

The siting of the dwelling remains unchanged, with design revisions considered minor in nature. Alterations are primarily confined to internal layout adjustments, with some external changes made to the alfresco and mudroom doors, as well as the entry pillars.

The amended Dwelling Plans have no bearing on other plans and documentation supporting the application and have simply been submitted for the purpose of maintaining consistency.

It is respectfully requested that Council substitute the enclosed Dwelling Plan Set for the previously submitted.

As always, please don't hesitate to contact our office should you have any questions or queries in relation to this matter.

Yours faithfully,

**AMIE INGWERSEN**  
Natural Resource Planner

*Encl: Amended Dwelling Plans (Rev 5)*



FS 520900





# CHRIS O'BRIEN & COMPANY PTY LTD

## CONSULTING CIVIL & STRUCTURAL ENGINEERS

Reference No: B25059

Project No: 120224

6/03/2025

Crowther & Sadler Pty Ltd  
P.O. Box 722  
BAIRNSDALE VIC 3875

Attn: Amie Ingwersen

Email:

Dear Amie

**RE: PROPOSED 2 LOT SUBDIVISION & DWELLING (3 BEDROOMS)  
2027 PRINCES HIGHWAY, NOWA NOWA. VIC**

### **WATER ENGINEER'S CERTIFICATION OF LAND CAPABILITY ASSESSMENT AND ON SITE SOIL INVESTIGATION FOR DOMESTIC EFFLUENT DISPOSAL SEPTIC TANK SYSTEM**

Further to our detailed inspection, at 10:00am on 25<sup>th</sup> February, 2025, of the above site this is to certify that Andrew John Powell, on behalf of Chris O'Brien & Company Pty Ltd, has prepared this report to document our Land Capability Assessment (LCA) and soil percolation test data together with recommendations for a specific location within the above allotment for on-site containment of domestic effluent disposal.

The purpose of this particular land capability assessment (LCA) is to investigate an area for a "Land Application Area" (LAA) on the allotment for on-site wastewater disposal. Significant area is available however a specific area was tested for this investigation however alternate locations can be used provide they adhere to site restrictions. The area where the LAA can be located is shown on the site plan appendix 1. attached hereunder.

An area, measuring approx. 30m (East-West direction) x 15m (North-South direction) and set about 10m to the west of the proposed new allotment line and approximately 10m south of the proposed dwelling has been allocated. The test site has an average slope of about 6% to the south and about 1% to the west. The buffer zones are clear of any ephemeral waters. The area allocated for disposal field will not cause any detriment to the environment nor stormwater run-off quality within the precinct where the allotment is located.

A soil investigation pit was hand excavated. The soil consists of a dry fawn & light brown silty loam (ZL) topsoil containing coarse grass roots moderately dispersed, underlain by a slightly damp orange fawn grey silty clay loam (ZCL) at 100 – 350mm depth underlain slightly damp fawn brown loam (L) at 350 – 600mm at termination of the test pit. The field texture grade for this particular soil was identified, being bolus coherent and rather spongy, smooth feel when manipulated with no obvious sandiness or silkiness.

### **DISCUSSION**

For this particular site, should soil percolation testing have been undertaken we would expect the percolation rate to exceed 15mm/hr and be less than 500mm/hr. in this case absorption is largely by absorption through the upper soil strata and evapo-transpiration.

All correspondence to:  
P.O. Box 18  
Traralgon Vic. 3844

13A Church Street  
Traralgon Vic. 3844

Telephone (03) 51 74 9911  
Facsimile (03) 51 74 0011

## PHOTOGRAPHY

Several colour photographs have been attached to the rear of this report to illustrate the subject allotment terrain and the location of the area of the "On-Site Domestic-Wastewater" disposal field. In addition, a test pit was hand excavated to 600mm depth, to investigate and illustrate the various soil horizons. The test pit, together with the tailings of excavated material, were photographed and have been attached as well. It is obvious, by observation of the photographs, the soil type and the reasonable sloping terrain available for disposal, that standard absorption trenches can be used on this site.

## DAILY FLOW & SEPTIC TANK CAPACITY

- It is proposed to construct a new dwelling on the allotment with the proposed dwelling to have three (3) bedrooms and as a consequence the estimated daily flow in accordance with EPA Victoria Publication May 2024: Guideline for Onsite Wastewater Management: Table 4-2 (dwelling installed with full water-reduction fixtures and fittings) and AS/NZS 1547:2012 Table H1

$$= (2 + 2 \times 1) 150$$

$$= 600 \text{ L/day (Reticulated Water Supply)}$$

- Minimum septic tank capacity (C) in accordance with AS/NZS 1547:2012 Table J1

$$= 3000 \text{ litres (Minimum Volume)}$$

## STANDARD ABSORPTION TRENCH – DESIGN AREA SIZING IN ACCORDANCE WITH AS/NZS 1547:2012 AND EPA VICTORIA PUBLICATION MAY 2024.

Reference is made to the Australian Standard code AS/NZS 1547:2012 "On site Domestic-wastewater Management" Appendix L. Refer table L1, whereby the soil examined on site may be classified as a Soil Category 4: Clay Loams (Strongly Structured), the Design Irrigation Rate (DIR) for primary treated effluent is approx. 10mm/day. Noteworthy is that the EPA Victoria publication May 2024; Guideline for Onsite Wastewater Management: Table 4-8: Soil Categories and Recommended Maximum Design Loading/Irrigation Rates (DLR/DIR) for "Land Application Systems" makes direct reference to Table L1 in AS/NZS 1547:2012 and therefore the exact same DIR is recommended by the EPA.

## LENGTH REQUIRED FOR STANDARD ABSORPTION TRENCH SYSTEM

The appropriate absorption bed length for a trench system has been determined using formula from Appendix L, with the bed length  $L = Q / (DLR \times W)$ . A conservative DIR of 10.0 L/m<sup>2</sup>/day being adopted for this site. Based on a Q of 600L/day of wastewater generated by a three (3) bedroom dwelling supplied by Reticulated Water Supply. Adopting a trench width of 1000mm, the total length of trench bed required is 60m. this can be provided in 2 x 30m lengths A final layout of the treatment system is to be completed when a septic tank permit is applied for.

## RESERVE AREA NOT REQUIRED

The allocation of a reserve area is not thought to be necessary on this site, however significant area is available should the installed trench bed system fail. The design parameters used to determine the required size of the Land Application Area (LAA) have been suitably conservative. The soil is not sodic nor saline.

## PREPARATION OF THE SITE PRIOR TO COMMENCEMENT

The area upon which the absorption trench bed is proposed for construction shall be protected from stormwater overland flow by establishing a shallow open earth vee-drain across the upstream sides of the LAA (effluent disposal field) curtailing around the ends – if required.



## SUMMARY & CONDITIONS

It is our professional opinion the site is suitable for absorption trenches with the total length of 1000mm wide trench to be at least 40m which will be environmentally adequate and consistent with the above recommendations.

Based on the land capability assessment results, it is our opinion that the soil type and profile on this site are suitable for disposal of wastewater on site, using primary treatment only. 1000mm wide x 400mm depth trenches are to be used. Trenches should be at least 2m apart.

From the test results it can be seen that a three (3) bedroom dwelling requires a disposal bed length of about 40m (minimum) for a standard absorption trench bed system.

Siting of the proposed wastewater disposal field envelope shall be within the area tested. Refer to attached site plan. The following factors shall be considered when positioning the proposed wastewater disposal field.

- 1) Standard siting guidelines as per the requirements of the East Gippsland Shire Council (EGSC) guidelines.
- 2) At least 3.0m (subject to agreement between EGSC and COB & Co. prior to commencement) up-slope and 1.5m down-slope of any title boundary/road reserve or building for secondary treated effluent and 6.0m up-slope and 3.0m down-slope for primary treated effluent.

The following additional conditions shall be observed in addition to those set out by the local Council.

1. The system has been designed on a standard 1000mm wide x 400mm deep trench system. Trenches are to be installed at 3m maximum centres.
2. Gypsum is to be added to the bottom of trenches at a rate of 1kg/m<sup>2</sup>
3. The disposal field shall be sown with lawn grasses as soon as possible on completion of works. This will stabilize the soil and allow for the vegetation to take up the wastewater.
4. Only water from the septic tank is permitted to enter the disposal system. Stormwater run-off shall be prevented from entering the trench bed system area. We suggest an open earth vee-drain be constructed to 100mm depth along the high sides of this area or other approved method as approved by the Design Engineer.
5. Vehicles or heavy equipment shall not be permitted on the disposal field as damage to the disposal system may result.
6. Spikes, tent pegs, garden stakes etc. shall not be driven into the ground in the disposal field as damage to the disposal system may result.
7. An ongoing maintenance program shall be instigated to ensure that the disposal system is properly maintained and works effectively.



## CONCLUSION

Following the Land Capability Assessment on this site it is our professional opinion that the wastewater created from the proposed 3 bedroom dwelling can be treated onsite utilizing a standard absorption trench bed system which is highly unlikely to cause detriment to the environment.

Site inspection located the existing treatment area however this will have no impact on the proposed subdivision as it is located on the other side of the existing dwelling.

Adequate maintenance and checking of the proposed system should be established as part of the Council Permit Application approvals process.

Yours faithfully,

Andrew Powell Assoc.Dip (Civil)  
for CHRIS O'BRIEN & COMPANY PTY LTD

### LAND CAPABILITY ASSESSMENT AND SOIL PERCOLATION TESTING

Land Features	Land Capability Class Rating					Site Rating
	Very Good(1)	Good(2)	Fair(3)	Poor(4)	Very Poor(5)	

#### General Characteristics

Site Drainage	No visible signs of dampness	Moist soil, but no standing water in soil pit		Visible signs of dampness, such as moisture tolerant plants	Water ponding on surface	1
Runoff	None	Low	Moderate	High, need for diversionary structures	Very high, diversion not practical	2
Flood Levels	Never		<1 in 100	>1 in 100 and <1 in 20	<1 in 20	1
Proximity to watercourses	>60m				<60m	1
Slope%	0-2	2-8	8-12	12-20	>20	2
Landslip	No actual or potential failure		Low potential for failure	High potential for failure	Present or past failure	1
Groundwater (seasonal watertable depth(m))	>5	5-2.5	2.5-2.0	2.0-1.5	<1.5	1
Rock outcrop (% of land surface containing rocks >200mm)	0	<10%	10-20%	20-50%	>50%	1
Erosion potential	No erosion potential	Minor	Moderate	High	Severe erosion potential	1
Exposure	High sun and wind exposure		Moderate	Low sun and wind exposure		1
Landform	Hill crests, convex side slopes and plains		Concave sideslopes and footslopes		Floodplains and incised channels	1
Vegetation type	Turf or pasture				Dense forest with little undergrowth	1
Average Rainfall (mm/year)	<450	450-650	650-750	750-1000	>1000	3
Pan Evaporation (mm/yr)	<1500	1250-1500	1000-1250		<1000	2

#### Soil profile characteristics

Soil permeability category	2 and 3	4		5	1 and 6	2
Profile depth	>2m	1.5m-2m	1.5m-1m	1.0m-0.5m	<0.5m	2
Presence of mottling	None				Extensive	1

Coarse fragments (%)	<10	10-20	20-40	40-60	>60	2
pH	6-8		4.5-6		<4.5, >8	Not measured
Emerson aggregate	4, 6, 8	5	7	2, 3	1	1
Electrical conductivity (Ece)(Ds/m)	<0.3	0.3-0.8	0.8-2	2-4	>4	Not measured
Sodicity ESP%	<3		6-8	8-14	>14	3

## INSTALLATION CONDITIONS

All installations shall comply with the AS/NZS 1547:2012 the, EPA guideline to wastewater management May 2024, the Victorian Water Supply and Sewerage Plumbing Regulations 1986 and AS 3500 National Plumbing and Drainage Code.

No septic tank or sand filter shall be installed closer than 1.5m to the foundations of any house, building or the boundary of the allotment.

Inlets and outlets of the septic tank must be baffled to avoid disturbing the contents of the septic tank.

Inspection openings of the septic tank shall be brought up to and permanently marked at surface level. Inspection openings shall be fitted with childproof airtight covers which are capable of being readily removed and replaced by one adult. Access opening covers shall not be cemented or otherwise fixed in position so as to be incapable of being readily removed for inspection purposes.

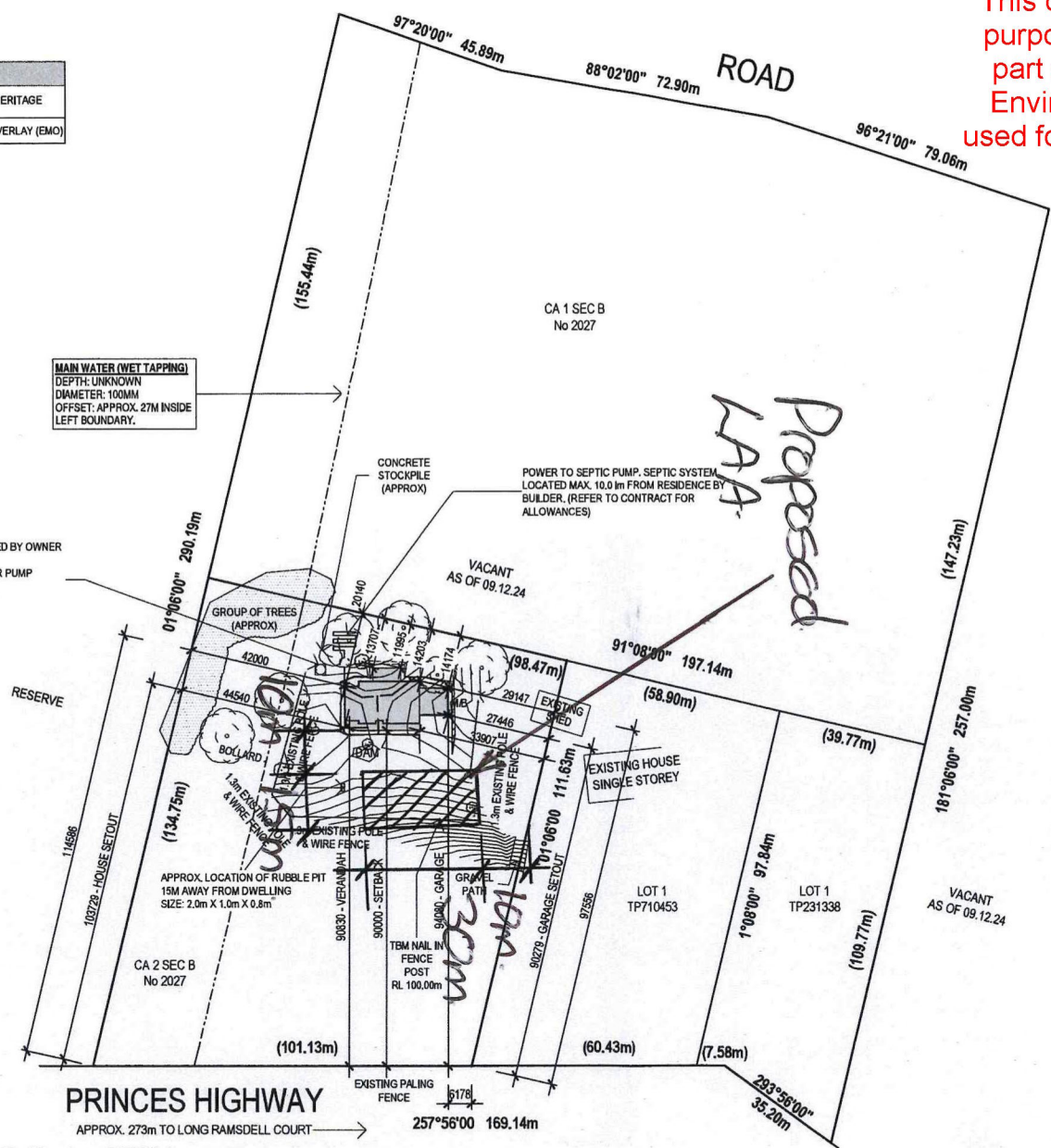
Food waste disposal units are not recommended for use with septic tank systems. **If used in household situation, a minimum extra allowance of 25% shall be made for additional sludge storage.**

**Spa baths over 200 litre capacity are not to be connected to the primary septic tank but must be taken into account for effluent disposal calculations.**



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SITE PLAN LEGENDS	
	ABORIGINAL CULTURAL HERITAGE
	ERISON MANAGEMENT OVERLAY (EMO)



MIN. 5000L STATIC WATER TANK SUPPLIED AND INSTALLED BY OWNER FULL SEALED SYSTEM REQUIRED  
BUILDER TO PROVIDE WATER LINE TO HOME AND POWER PUMP FILLING OF TANK BY OWNER PRIOR TO HANDOVER.  
TANK SIZE TO BE CONFIRMED AFTER PLANNING PERMIT APPROVAL/CONDITIONS.

MAIN WATER (WET TAPPING)  
DEPTH: UNKNOWN  
DIAMETER: 100MM  
OFFSET: APPROX. 27M INSIDE LEFT BOUNDARY.

SITING INFORMATION			
SITE AREA	5.23 ha	347.57M <sup>2</sup>	N/A %
HOUSE FFL	N/A M <sup>2</sup>	347.57M <sup>2</sup>	N/A %
GARDEN AREA	N/A M <sup>2</sup>	N/A %	N/A M <sup>2</sup>

SITE CUT & FILL INFORMATION	
SITE CUT & FILL RL :	100.700M
HOUSE FFL	GARAGE FFL
101.040M	101.005M
SLAB TYPE	SLAB HEIGHT
WAFFLE	340mm

SITE CUT & FILL INFORMATION	
PROVIDE SITE CUT OF BUILDING PLATFORM	700 mm AND FILL OF 500 mm OVER
PROVIDE AN ADDITIONAL SITE SCAPE OF AREA TO SUIT A	35 mm STEPDOWN

BATTERS ARE TO BE PROVIDED AT A 45 ° ANGLE CUT AND 30 ° ANGLE FILL  
IF SITE CUT IS GREATER THAN 300mm RISER PIPES ARE TO BE PROVIDED AND CONNECTED TO STORMWATER  
WHERE RETAINING WALLS ARE REQUIRED, AG DRAINS TO BE CONNECTED TO STORMWATER VIA SILT PITS

### GENERAL NOTES

TERMITE TREATMENT REQUIRED  
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

TOWN PLANNING REQUIRED  
SITING SUBJECT TO TOWN PLANNING APPROVAL

ALL WEATHER ACCESS ROAD  
OWNER TO SUPPLY AND INSTALL AN ALL-WEATHER ACCESS TRACK WITH DIMENSIONS & TURNING CIRCLE TO SUIT HEAVY CONSTRUCTION VEHICLES PRIOR TO SITE START

LEGAL POINT OF DISCHARGE  
DISCHARGE DWELLING AND HARD SURFACE STORMWATER TO THE RAINWATER / CFA TANK WITH AN OVERFLOW PIPE CONNECTED TO A SOAKAWAY PIT LOCATED NO CLOSER THAN 6M FROM ANY BUILDING AND 3M FROM ANY PROPERTY LINE

BOUNDARY FENCE(S)  
- EXISTING 1.3M HIGH POLE AND WIRE FENCE, AND PALING FENCE

NOTE  
- THREE PHASE POWER  
- CONCRETE STOCKPILE TO BE REMOVED BY OWNER PRIOR TO SITE START

### BUSHFIRE ATTACK LEVEL (BAL)

BAL 12.5/BMO EMBER ATTACK

ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)

### WIND SPEED INFORMATION

THE MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: N2-40 m/s

THE WIND SPEED CALCULATION HAS BEEN TAKEN FROM THE JOBSITE SPECIFIC SOIL REPORT

OUR STANDARD HOMES ARE DESIGNED TO SUIT A WIND GUST SPEED OF 33 m/s

### SITE DRAINAGE INFORMATION

SITE DRAINAGE MUST COMPLY WITH NCC 3.1.2 DRAINAGE AND AS 3500-3-2021 PLUMBING AND DRAINAGE

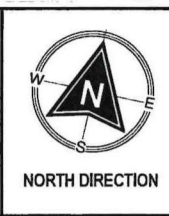
GRADE ALL SURFACES AWAY FROM FOOTINGS WITH A MIN 1:20 FALL

PROVIDE TEMPORARY DOWNPIPES CONNECTED TO STORMWATER AS SOON AS THE ROOF CLADDING IS COMPLETE. DURING CONSTRUCTION DOWNPIPES MAY BE REMOVED FOR OPERATION PROCEDURES

ALL STORMWATER DRAINS ARE TO BE CONNECTED TO THE NOMINATED LEGAL POINT OF DISCHARGE

REFER TO ENGINEERS DESIGN FOR STORMWATER DRAINAGE DESIGN AND LAYOUT

SURVEY LEGEND	
	SEWER MANHOLE
	ELECTRICITY PIT
	ELECTRICITY CABINET
	TBM
	WATER VALVE
	LOCK POLE
	GRAVED PIT
	SIDE ENTRY PIT
	JUNCTION PIT
	UNKNOWN PIT
	TELSTRA PIT
	GAS METER
	WATER TAP
	POWER POLE
	P.S.M.
	FIRE HYDRANT
	FIRE PLUG
	SEWER VENT
	SEWER INSPECTION SHAFT
	SIGN
	GAS VALVE
	EVERGREEN TREE
	DECIDUOUS TREE



CLIENT ACKNOWLEDGEMENT	
I/WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 36 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING HOMES & MYSELF / OURSELVES.	
CLIENT 1:	DATE 1:
CLIENT 2:	DATE 2:
JGK BUILDER:	DATE 3:

FULL SITE PLAN		
HOUSE NAME	PEMBERTON 32	HAND RH
CATEGORY	E	
FACADE NAME	HOMESTEAD	
SHEET SCALE	1:1250	ORIGINAL SHEET SIZE A3
COPYRIGHT	2025	

**JG KING HOMES**

154 ARGYLE STREET, TRARALGON, VIC 3844  
T(03) 5176 5555

CLIENT	
ADDRESS	CA 2 SEC B, NO. 2027 PRINCES HIGHWAY
SUBURB	NOWA NOWA VIC 3887
JOB NO	2409TRA262
JOB DATE	20/01/2025
DRAWN	M-12
CHECKED	DL
PROJECT STAGE	CONTRACT
MASTER RELEASE DATE	10/09/2024
SHEET NO	02
TOTAL NO	22

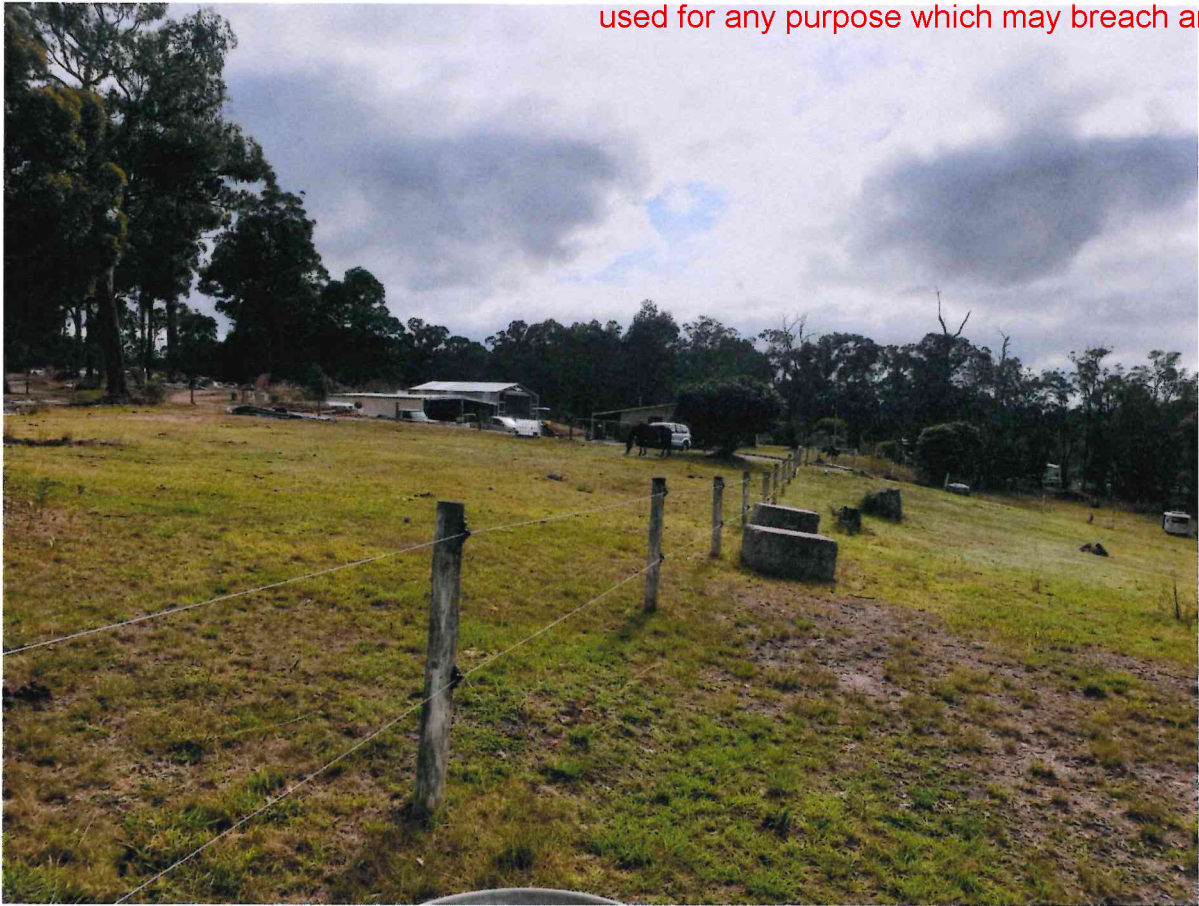


































# CHRIS O'BRIEN & COMPANY PTY LTD

## CONSULTING CIVIL & STRUCTURAL ENGINEERS

Reference No: B25058

**Project No: 120225**

26/02/2025

Crowther & Sadler Pty Ltd  
P.O Box 722  
BAIRNSDALE Vic 3875

Attn: Amie Ingwersen

Email:

Dear Amie,

**RE: GRA Waiver for Proposed 2 Lot Subdivision & Dwelling  
2027 Princes Highway, Nowa Nowa**

Chris O'Brien & Company Pty Ltd have been engaged by Amie Ingwersen of Crowther & Sadler Pty Ltd to determine whether or not a full Geotechnical risk assessment report is required for a proposed 2 lot subdivision & dwelling at 2027 Princes Highway, Nowa Nowa Vic 3887. An erosion management overlay exists over part of the property.

The purpose of this letter is to determine if the works to be carried out on this site will be a risk to the surrounding environment and is to be used in the planning application process only. This letter is not a soil classification report and shall not be used for this purpose.

Information contained in this letter is from a visual inspection of the site and based on information supplied to Chris O'Brien & Company Pty Ltd on the work to be completed on the site.

The site was inspected by Andrew Powell on the 25<sup>th</sup> February 2025.

2027 Princes Highway Nowa Nowa is located on the northern side of the highway with access to the property from the south east corner. The allotment has a dwelling along with numerous sheds already constructed. The existing road reserve is full of significant trees as well as some along the title boundaries and other significant trees scattered about the allotment. The remainder of the allotment has an good coverage of grass with visual inspection showing no signs of any erosion occurring. Falls on the allotment vary with falls mostly towards the south with falls of up to 1 in 5 observed at the southern end of the property. The erosion management overlay is located in the north east corner of the allotment. Photos of our findings are attached to this report.

For the creation of the proposed subdivision and construction of a dwelling a connection to all available services will need to be provided to both allotments with sewer to be via an on-site domestic wastewater treatment system with the existing dwelling already serviced by one. The existing access from the highway will be used for new allotment with a separate

**Crowther & Sadler Pty Ltd**

Proposed 2 Lot Subdivision &amp; Dwelling 2027 Princes Highway, Nowa Nowa

Project No. 120225

Page 2 of 9

access created at the top of the existing driveway. Connection of the services will require some trenching involving minor earthworks as well as the placement and compaction of materials. Construction of the dwelling will require some earthworks as well. During these works protection barriers such as silt fences must be placed on the downslope side of the works to protect all downslope assets from any silt run-off and these protection barriers are to remain in place until all works have been completed. Provided this is done, no environmental risks are expected from these works.

Storm water created from the proposed subdivision will need to be limited to flows not exceeding pre-development flows with stormwater from any proposed buildings directed to the legal point of discharge via on-site detention system such as a water tank. Outlets to any water tank must be provided with approved rock beaching. Provided this is done, no environmental risks are expected from this source.

We therefore suggest that a full geotechnical risk assessment report is not required for this development. As long as normal precautions are taken during any earthworks and proper treatment of storm water overflow is done, we anticipate no environmental risks on this site with the work to be undertaken.

Should you need to clarify anything, please contact the Andrew Powell

Yours faithfully,

**Andrew Powell Assoc.Dip (Civil)**  
**for CHRIS O'BRIEN & COMPANY PTY LTD**



Photos below show site access from Princes Highway.









Photos below show general lot layout.





















## Planning Report

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Buildings & Works (Dwelling), Two Lot Subdivision &  
Creation of Carriageway Easement  
2027 Princes Highway, Nowa Nowa

Our reference – 21088

June 2025



FS 520900



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<b>8.</b>	<b>Attachments</b>	
	Application Form (via Planning Portal)	
	Proposed Subdivision Plan (Version 2, dated 27/05/2025)	
	Design Response Plan (Version 1, dated 20/06/2025)	
	Dwelling Plan Set – JG King Homes	
	Bushfire Hazard Site Assessment (Version 1, dated 8/05/2025)	
	Bushfire Management Plan (Version 1, dated 20/06/2025)	
	Land Capability Assessment Report – Chris O'Brien & Company Pty Ltd	
	GRA Waiver Request - Chris O'Brien & Company Pty Ltd	
	Copies of Titles (Lot 1 TP522672, Lot 1 TP525469, Lot 1710453 and Lot 1 TP231338)	

**Note:** *Applicable Planning Application fee is \$2,163.80*

*Class 4 – Single Dwelling - Development >\$500,000 but <\$1,000,000 – (\$1,420.70/2 = 710.35)*

*Class 19 – Subdivision (\$1,453.40)*

*Note: Estimated cost of development = \$645,000*



## 1. Introduction

This Planning Report is prepared in support of proposed Buildings & Works (Dwelling), Two Lot Subdivision & Creation of Carriageway Easement at 2027 Princes Highway, Nowa Nowa. The Report addresses the provisions of the Township Zone, Erosion Management Overlay and Bushfire Management Overlay as contained within the *East Gippsland Planning Scheme*.



Aerial photograph of subject land and surrounds – Source: VicPlan



Zone mapping and aerial photograph of subject land and surrounds – Source: VicPlan



## 2. Subject Land & Surrounding Context

The subject land comprises four separately transferable parcels of land which are formally described as Lot 1 TP522672, Lot 1 TP525469, Lot 1 TP710453 and Lot 1 TP231338 and together equate to 5.23ha in area. The land is contained within the township area of Nowa Nowa and is commonly known as 2027 Princes Highway, Nowa Nowa.



*Existing title structure – Source: LASSI SPEAR*

An existing single storey dwelling, and associated outbuildings are established on the property. The property is undulating in nature and whilst the front southern portion of the property is relatively cleared the property is otherwise generally well vegetated with established trees.



*Existing shed and dwelling*



*Looking north towards existing dwelling from driveway*

The site has frontage to and takes access from Princes Highway to the south which is Transport Zone 2. Princes Highway is a good quality sealed bitumen road with grass swale drainage. The site also has frontage to an unmade section of road to the north.



*View along existing driveway towards Princes Highway*

Whilst access is established from Princes Highway the section of road fronting the property is otherwise provided with road safety barrier. Power is also provisioned overhead on the northern side of Princes Highway.

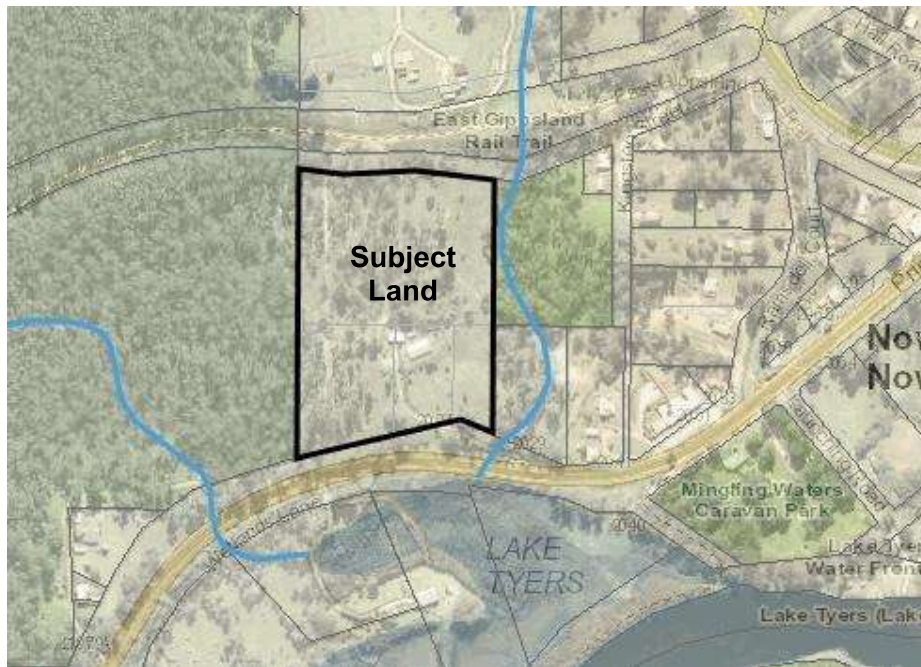
The existing dwelling is reliant upon onsite wastewater disposal in the absence of reticulated sewer however reticulated water, electricity and telecommunications are established to the land.





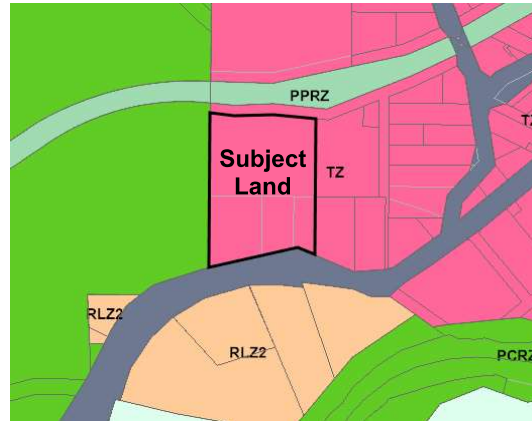
*Existing property connections (water) – Source: EGW*

The landform is undulating and adjoining land contains lower lying areas which correspond with existing waterways and drainage lines. Although waterways are located within proximity to the land, the property is not contained within a Declared Special Water Supply Catchment Area.

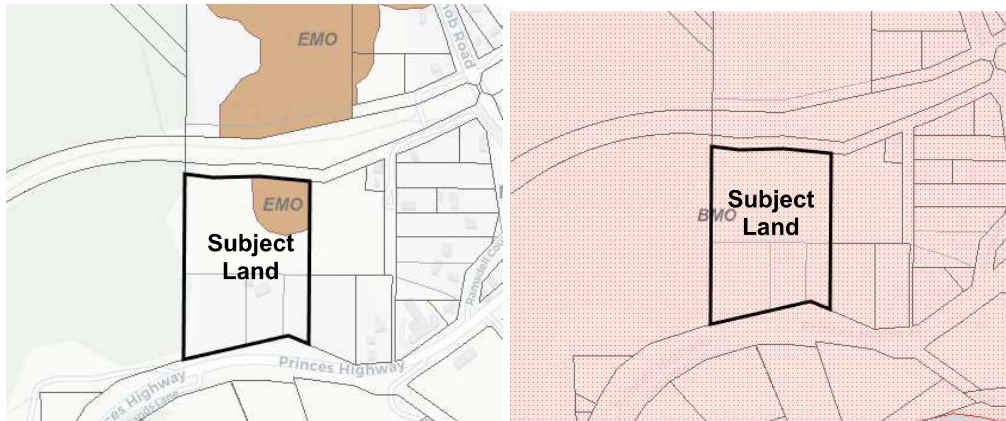


*Watercourse Mapping – Source: VicPlan*

The subject land is contained within the Township Zone, Erosion Management Overlay and Bushfire Management Overlay of the *East Gippsland Planning Scheme*.



Zone Mapping – Source: VicPlan



Erosion Management Overlay & Bushfire Management Overlay Mapping  
Source: VicPlan

The site is situated on the edge of the existing township area of Nowa Nowa with land immediately to the east also contained within the Township Zone and utilised for residential purposes.

Further residential properties within the Township Zone are established to the north however are separated from the subject land by a strip of Public Park & Conservation Zone containing the East Gippsland Rail Trail.

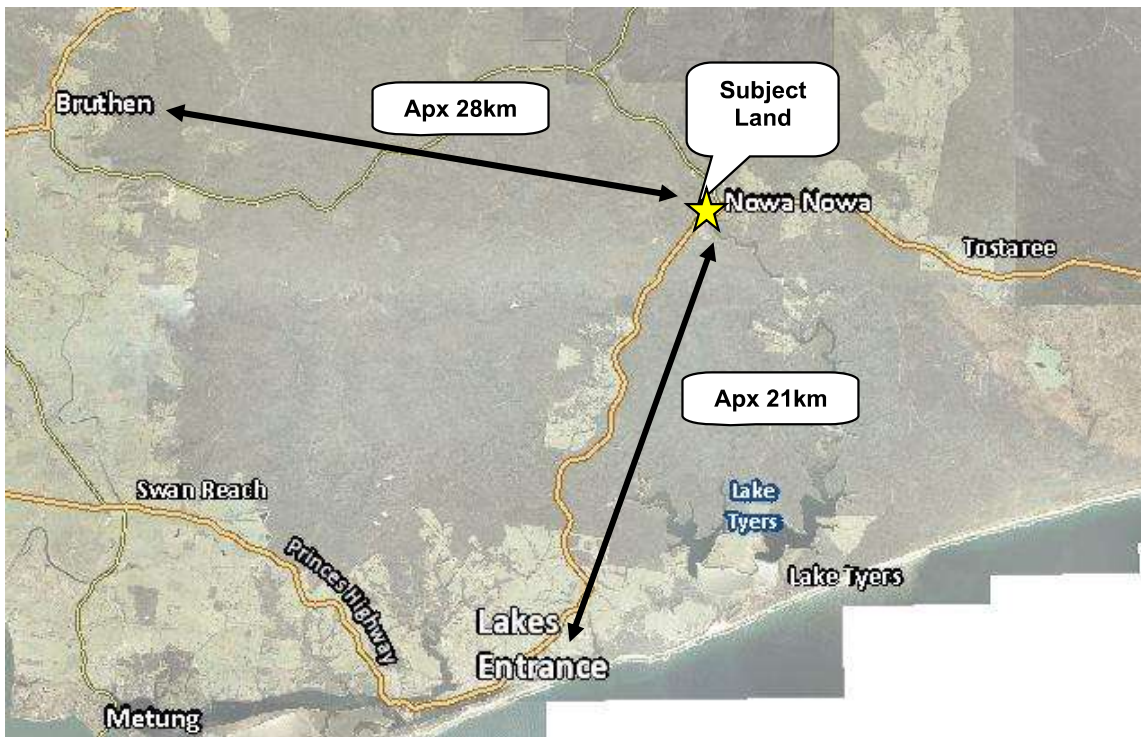
Crown Land is located immediately to the west of the subject land which is generally well vegetated and land opposite the site on the southern side of Princes Highway is contained within Rural Living Zone – Schedule 2.

The allotment configuration within the township area of Nowa Nowa is quite varied which is largely in response to the topography and need to accommodate wastewater on site.



Nowa Nowa is a small rural town which is reliant upon larger nearby township areas such as Lakes Entrance and Bruthen for most goods and services. However, the township area does include public amenities, accommodation offerings and café whilst providing attractions such as boat ramp, jetty and Tressel Bridge.

The site is located approximately 28km of Bruthen and approximately 21km northeast of Lakes Entrance where a greater range of commercial and community services are available.



Locality Mapping – Source: VicPlan



### 3. The Application & Proposal

The Application seeks approval for Buildings & Works associated with the development of a dwelling, Two Lot Subdivision and Creation of Carriageway Easement as depicted on the accompanying Plans.

#### Dwelling

The Application seeks approval for buildings and works associated with the development of a dwelling as shown on the accompanying Plans prepared by JG King Homes.

The dwelling will be setback 88.0 metres from Princes Highway and 48 metres from the western property boundary within an existing clearing. The siting provides good access to Princes Highway whilst avoiding impacts on vegetation for the purposes of establishing defensible space.

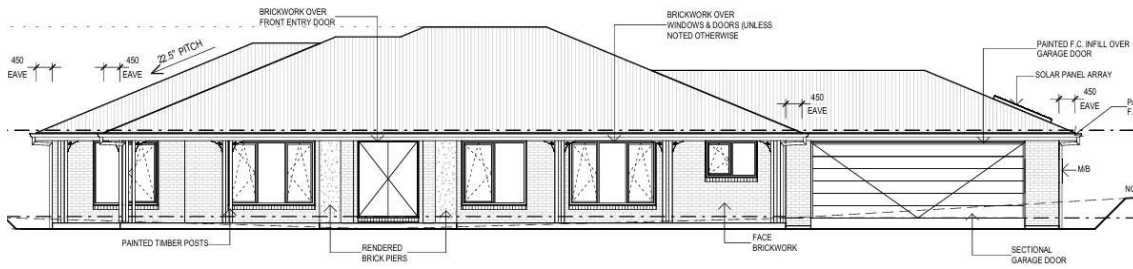


*Looking west over proposed dwelling site*

Although the exemption for removal of vegetation to create defensible space for a dwelling as prescribed at Clause 52.12-5 applies, the siting of the dwelling was carefully determined with the principals of avoid and minimise vegetation loss in mind.

The proposed dwelling will comprise three bedrooms and open plan kitchen, meals and family areas. It will be externally clad with face brickwork and will have a colourbond roof.





*Southern Elevation of proposed dwelling – Source: JG King Homes*

The proposed dwelling will be constructed to minimum BAL-29 however defendable space has been designed to correspond with separation distances prescribed at Table 1, Column A (BAL 12.5) to Clause 53.02-5.

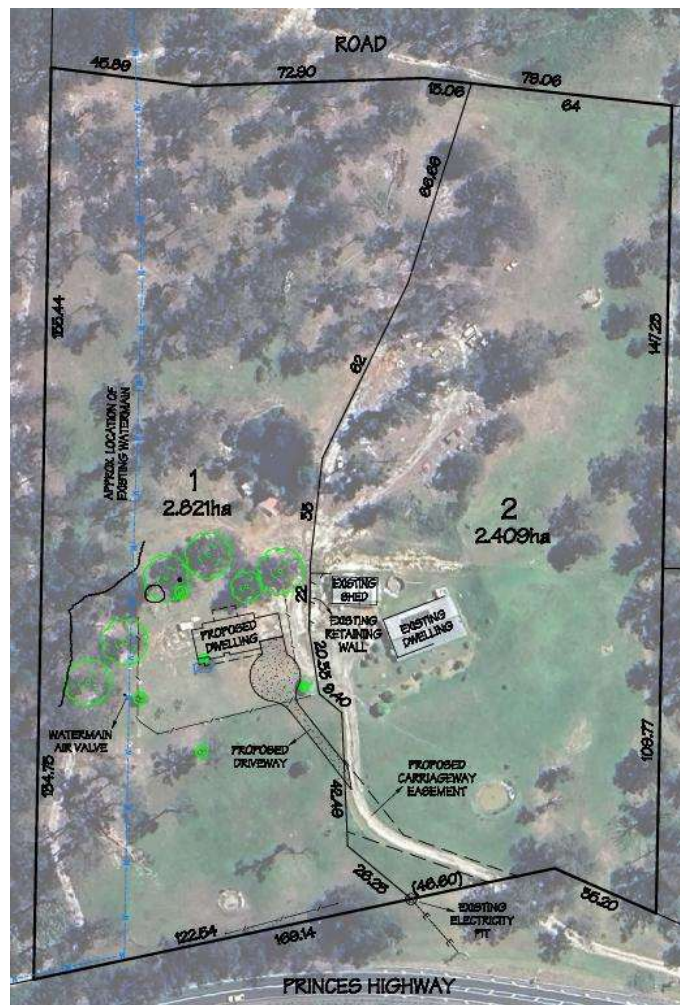
It is anticipated that the mandatory Condition prescribed at Clause 44.06-5 relating to buildings and works will be imposed on Permit to ensure the bushfire mitigations as prescribed on the Bushfire Management Plan are implemented on an ongoing basis.

### Subdivision

The proposed subdivision will restructure the existing entitlements to result in the creation of Lot 1 of approximately 2.82ha in area to contain the proposed dwelling.

Lot 2 will have an area of approximately 2.41ha and will contain the existing dwelling and outbuildings.

The subject land currently comprises of 4 separately transferable parcels which are not responsive to the characteristics of the land and the surrounding bushfire risk. The existing shed is constructed across a boundary and safe vehicle practical access from the Princes Highway is not attainable to all allotments.



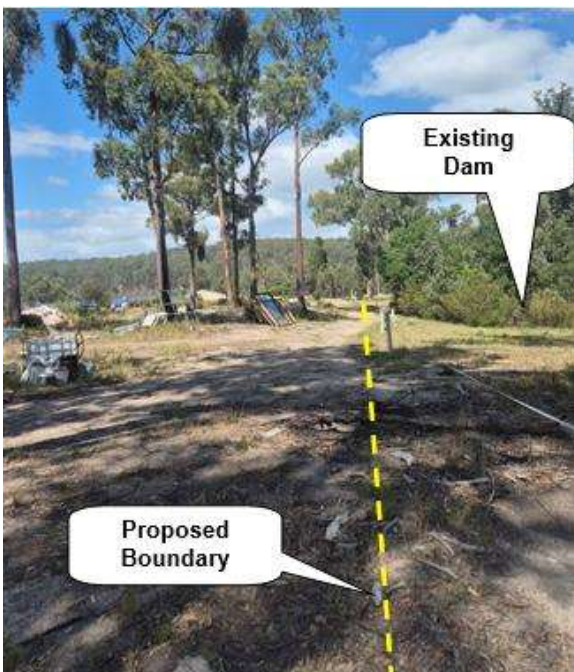
*Proposed Subdivision Plan (V2)*



The proposed subdivision seeks to rectify these issues by reducing the number of entitlements and adopting a well-considered boundary which provides both allotments with sufficient area to establish meaningful defensible space.

The mandatory subdivision Condition prescribed at Clause 44.06-5 is not considered necessary in this instance as the proposal also seeks approval for a dwelling on the land.

The proposed boundary avoids any adverse impacts on existing native vegetation by adopting the alignment of the existing internal accessway, fencing and by utilising existing cleared areas. Careful consideration was given to the alignment of the boundary on the northern portion of the property to ensure no consequential loss would be invoked having regard to the fence line exemption at Clause 52.17-7.



*Looking in a southerly direction along proposed boundary*



*Looking in a northerly direction along the alignment of the northern section of the proposed boundary*

### Carriageway Easement

As part of the proposal a carriageway easement will be established part way along the alignment of the existing driveway to facilitate access into both Lots. The new section of carriageway easement will be provided over proposed Lot 2 to give a right of access to proposed Lot 1.

Establishment of carriageway easement will avoid the need to establish any new vehicle access from Princes Highway to the south, which is logical and appropriate having regard for the vegetated nature of the road reserve, barriers, landform and avoids the creation of additional access from an arterial road.





General view north towards subject land from Princes Highway  
Source: Google Earth

### Wastewater Disposal

Accompanying the Application is a Land Capability Assessment Report prepared by *Chris O'Brien & Company Pty Ltd* which confirms the ability of the land to accommodate onsite wastewater disposal through a standard absorption trench bed system.

The subdivision provides sufficient area to establish a Land Application Area of 450m<sup>2</sup> to the south of the proposed dwelling in Lot 1 whilst the avoiding any impact to the existing effluent lines established on the eastern side of the dwelling on Lot 2.

### The Application

Planning approval is required pursuant to the following Clauses of the *East Gippsland Planning Scheme*:

Planning Scheme Clause	Matter for which a Permit is required
32.05-5 (TZ)	Subdivide Land
44.01-5 (EMO)*	Subdivide Land
44.06-2 (BMO)*	Construct a Building Subdivide Land

#### *Notice & Review Exemptions*

- Always exempt matters are marked with an asterisk (\*).
- Conditionally exempt matters are marked with a plus (+).



Pursuant to Clause 44.06-7 of the Bushfire Management Overlay and Clause 44.01-7 of the Erosion Management Overlay the proposal is exempt from public notification requirements under Section 52 of the *Planning & Environment Act 1987*.

The subdivision does not require referral under the provisions of Clause 66.01 *Subdivision Referrals*. A permit must include mandatory conditions at Clause 66.01-1. It is noted however there will be no requirement to include the mandatory conditions pertaining to telecommunications given the subdivision will realign the common boundary between two lots.

Pursuant to Clause 66.03 the Application will trigger referral to the Country Fire Authority (Recommending referral authority) for subdivision and for buildings and works associated with the establishment of a dwelling within the Bushfire Management Overlay.

The Application is exempt from consideration of Clause 52.29 *Land Adjacent to the Principal Road Network*, given no new access is required to service the proposed lots. The exemption provided by Clause 52.29-3, dot point 4 applies, meaning the Application is exempt from referral to the *Department of Transport and Planning*.



#### 4. Cultural Heritage

Pursuant to Regulation 7 of the *Aboriginal Heritage Regulations 2018*, a CHMP is required for an activity if:

- (a) *all or part of the activity area for the activity is in an area of cultural heritage sensitivity; and*
- (b) *all or part of the activity is a high impact activity.*



*Cultural Heritage Sensitivity Mapping – Source: VicPlan*

Whilst the southern portion of the subject land is identified as an area of cultural heritage sensitivity a single dwelling on a Lot and Two Lot Subdivision are not high impact activities (Regulations 48 & 49). Therefore a CHMP is not required for the proposed subdivision and dwelling.

## 5. Planning Policy

The following comments respond to State and Local Planning Policy as relevant to the proposal.

### 5.1 Municipal Planning Strategy

Clause 02.01 *Context* identifies that Nowa Nowa is located within the Agricultural Hinterland Sub-region which is known to include areas of high value agricultural land and opportunities for tourism and the timber industry.



Subregional Map – Source: EGPS

Clause 02.03-2 *Environmental & Landscape Values* acknowledges the unspoilt nature of large tracts of native vegetation within East Gippsland and its unique biodiversity qualities. The proposal adheres to associated strategic directions as the site vegetation will not be compromised by the proposal.

Clause 02.03-3 *Environmental Risk & Amenity* seeks to minimise land degradation and tree decline in rural areas and encourages the use of geotechnical risk assessments in evaluating proposals in erosion risk areas. The Application has been supported by documentation prepared by a suitably qualified and experienced Geotechnical Engineer which concludes that a full Geotechnical Risk Assessment is not required having regard to the nature of the proposal and site conditions.

Whilst the site is within an existing township area it is surrounded by large tracts of vegetation on steep land that enhances the risk for bushfire threat. The proposed dwelling and boundaries have therefore been carefully sited and designed to aid in the protection of life and property.

The proposed dwelling will be constructed to minimum BAL-29 and the associated defendable space will exceed the associated separation distances as it will otherwise accord with the prescribed separation distances for Table 1, Column A to Clause 53.02-5.



## 5.2 Planning Policy Framework

The proposal responds positively to Clause 11.01-1S relating to *Settlement* which seeks to promote sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements. The subdivision is located within an existing township area and is capable of accommodating the proposed dwelling as demonstrated by the accompanying Design Response Plan.

Clause 11.01-1L-03 *Rural Settlements* applies to all land within the Nowa Nowa township with supporting strategies seeking to support local retail and commercial activities along the Highway, existing timber enterprises and tourist facilities.

The objective of Clause 12.01-2S *Native Vegetation Management* is to ensure no net loss to biodiversity as a result of the removal of native vegetation. The proposal has been carefully and thoughtfully designed to avoid impacts to existing native vegetation. This has been achieved by nominating the proposed dwelling within an existing cleared and by utilising existing accessways and clearances within the property to adopt proposed boundaries.

The proposal has considered Clause 13.02-1S *Bushfire Planning* as the whole of the subject land is contained within a Designated Bushfire Prone area and the Bushfire Management Overlay.

The proposal has prioritised human life through ensuring appropriate separation distances are established from classifiable vegetation consistent with Column A to Table 1 of Clause 53.02-5 and nominating a minimum construction BAL-29 for the proposed dwelling.

The proposal responds appropriately to Clause 13.04-2S *Erosion and landslip* which seeks to protect areas prone to erosion, landslip or other land degradation processes and to Clause 13.04-2L *Erosion* which applies to all land within the Erosion Management Overlay.

The accompanying documentation prepared by *Chris O'Brien & Company Pty Ltd* seeks a waiver from a full geotechnical Risk Assessment as the proposal does not pose any significant risk from an erosion hazard.

Clause 15.01-3S relating to *Subdivision Design* seeks to ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods. The proposed subdivision adheres to this objective and relevant supporting strategies as the scheme of subdivision has been specifically designed to maximise defensible space and to ensure no unnecessary impacts to existing native vegetation.





Clause 32.05-3 Use for a dwelling or small second dwelling	
<b>A lot used for a dwelling or small section dwelling must meet the following requirements:</b>	
Each dwelling or small second dwelling must be connected to reticulated sewerage, if available. If reticulated sewerage is not available, all wastewater from each dwelling must be treated and retained within the lot in accordance with the requirements of the Environment Protection Regulations under the Environment Protection Act 2017 for an on-site wastewater management system.	<p>Given the absence of reticulated sewer, the proposed dwelling will deal with wastewater via onsite means.</p> <p>Accompanying the Application is a Land Capability Assessment Report prepared by <i>Chris O'Brian &amp; Company Pty Ltd</i> which confirms the ability to utilise a standard absorption trench system.</p>
Each dwelling or small second dwelling must be connected to a reticulated potable water supply or have an alternative potable water supply, with appropriate storage capacity.	Reticulated water is established on the northern side of Princes Highway and property connections are already in place.
Each dwelling or small second dwelling must be connected to a reticulated electricity supply or have an alternative energy supply.	The proposed dwelling will be connected to the existing electricity supply as already established to the land.

The following table provides a response to the relevant objectives and standards to Clause 56 applicable to the two lot subdivision.

Objective	Design Response
<b>56.03-5</b>  <b>Neighbourhood character</b>	<p><b>Complies</b></p> <p>Allotments within the township area of Nowa Nowa vary in size which is in part a response to the need to accommodate for wastewater on site, variation in landform and vegetation.</p> <p>Residential allotments within Nowa Nowa typically have generous road frontage and are accessible direct from the adjoining road network.</p> <p>There are several vacant residential allotments present within the Township Zone, some of which have limited potential to grow a dwelling due to site constraints such as inundation, vegetation or wastewater disposal.</p> <p>The proposed subdivision can be incorporated into the precinct having regard to the variation in allotment configuration and the preservation of existing site vegetation.</p> <p>There are no Neighbourhood Character Overlays applying and no neighbourhood character objective specified under the Shcedule to the Township Zone.</p>

Objective	Design Response
<b>56.04-2</b> <b>Lot area and building envelopes</b>	<b>Complies</b> <p>The proposed allotments have been designed with sufficient area and dimensions to accommodate residential development with appropriate defensible space nominated within boundaries.</p> <p>The allotments are both generous in area for an 'in town' location however have been designed to strike a balance with the need to avoid and minimise impacts to native vegetation.</p> <p>The size and design of the allotments ensure Standard C8 is easily achieved. Given the presence of the existing dwelling and the proposed new dwelling there is no requirement to nominate any Building Envelopes or show a 10X15 metre development rectangle.</p>
<b>56.04-3</b> <b>Solar orientation of lots</b>	<b>Complies</b> <p>The proposed allotments both provide good solar access and orientation given their generous size and design. The requirements of standard C9 are therefore easily achieved.</p>
<b>56.04-5</b> <b>Common Areas</b>	<b>N/A</b> <p>There are no areas of Common Property proposed.</p>
<b>56.06-8</b> <b>Lot Access</b>	<b>Complies</b> <p>The nomination of a carriageway easement enables both allotments to utilise the existing access established from Princes Highway.</p>
<b>56.07-1</b> <b>Drinking Water Supply</b>	<b>Complies</b> <p>Both allotments are already connected to reticulated water supply at the southern boundary.</p>
<b>56.07-2</b> <b>Reused and recycled water</b>	<b>Complies</b> <p>Water tanks will be connected to the proposed dwelling to ensure a minimum supply of 10,000L for firefighting purposes.</p>
<b>56.07-3</b> <b>Waste water management</b>	<b>Complies</b> <p>In the absence of reticulated sewer both allotments are reliant upon onsite wastewater disposal methods. The accompanying Land Capability Assessment Report confirms that the treatment area for the existing dwelling is sufficiently located to the east of the building and that there is ample area available to accommodate standard absorption trench bed system for the proposed dwelling.</p>
<b>56.07-4</b> <b>Stormwater management</b>	<b>Complies</b> <p>Stormwater drainage is included within the adjoining road reserve.</p>



Objective	Design Response
56.08-1 Site management	<b>Complies</b> Minimal works will be required on site as part of the subdivision. The site will be managed to the satisfaction of the Responsible Authority.
56.09-1 Shared trenching	<b>Complies</b> Both allotments are already provided with water connections, and the subdivision has been designed to ensure power can easily service both allotments.
56.09-2 Electricity and telecommunications	<b>Complies</b> Both allotments will be connected to electricity and telecommunications.



## 6.2 Erosion Management Overlay

The northeastern portion of the land is affected by the provisions of the Erosion Management Overlay which triggers planning approval at Clause 44.01-5 for subdivision of the land.



*Erosion Management Overlay Mapping – Source: VicPlan*

The earthworks associated with establishing the proposed dwelling do not require consideration against the provisions of the Erosion Management Overlay given it has been sited outside of the mapped area.

Application Requirements (Clause 44.01-6)	
<p><b>The existing site conditions, including land gradient and the extent of any existing erosion, landslip or other land degradation.</b></p>	<p>The subject land is located on the northern side of Princes Highway on more elevated land. The landform across the site however is not steep in grade and is provided with good grass coverage.</p> <p>The northern portion of the property has an elevation of approximately 38m while southern portion of the property within proximity to Princes Highway has an elevation of approximately 15m. The average slope across the land is on average 0.6%-9.3%.</p>   <p><i>Elevation Profile of the site</i> <i>Source: Google Earth</i></p> <p>The area of the site encumbered by the Erosion Management Overlay applies is relatively flat and has good grass coverage.</p>
<p><b>The extent of any proposed earthworks.</b></p>	<p>The proposed dwelling is located outside of the Erosion Management Overlay. The proposed boundary has also been located outside of the mapped area except for the very northern section.</p> <p>The proposal will at most result in the erection of some boundary fencing within the section of the land encumbered by the Erosion Management Overlay.</p> <p>There is the ability to establish new fencing without incurring any adverse impacts to established trees as the new boundary adopts an alignment which avoids any assumed vegetation loss.</p>

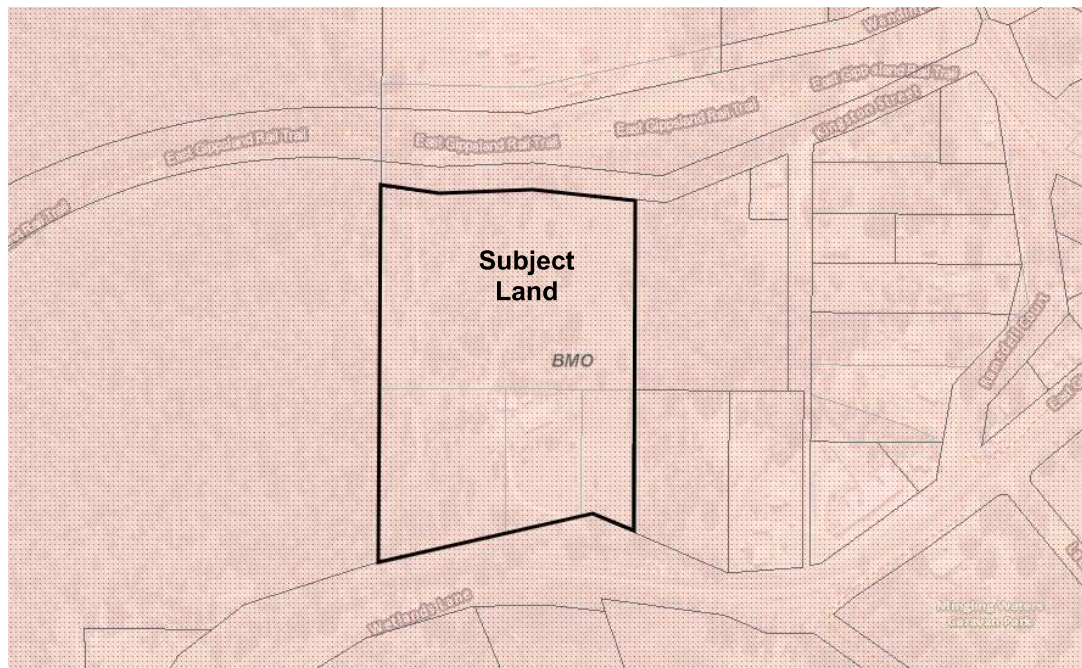


Application Requirements (Clause 44.01-6)	
<b>The means proposed to stabilise disturbed areas.</b>	It is anticipated that the standard suite of Conditions will be placed on Permit regarding sediment control.
<b>Any other application requirements specified in a schedule to this overlay.</b>	<p>The accompanying Proposed Subdivision Plan has been drawn to scale and includes dimensions and other significant site detail.</p> <p>The Application Requirements within the Schedule to the Erosion Management Overlay trigger the need for a Geotechnical Risk Assessment, as appropriate to the satisfaction of the Responsible Authority.</p> <p>It also affords the ability for a qualified and experienced Geotechnical Practitioner to request a wavier from the requirement of a full Geotechnical Risk Assessment if it is not relevant to the assessment of an Application.</p> <p>Given that only a small portion of the property is encumbered by the Erosion Management Overlay and the proposal simply seeks restructure existing titles and develop a dwelling outside of the mapped area it is considered unnecessary to provide a full Geotechnical Risk Assessment in this instance.</p> <p>Accompanying the Application is correspondence (dated 26 February 2025) prepared by <i>Chris O'Brien &amp; Company Pty Ltd</i> which requests a waiver from the full Geotechnical Risk Assessment requirements.</p>

### 6.3 Bushfire Management Overlay

The subject land is contained within the Bushfire Management Overlay which triggers planning approval at Clause 44.06-2 for subdivision and for buildings and works associated with an accommodation use.

The purpose of the Bushfire Management Overlay is to ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire, to identify areas where the bushfire hazard warrants bushfire protection measures to be implemented and to ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.



*Bushfire Management Overlay Mapping – Source: VicPlan*

The proposal provides an appropriate response to the purpose of the Bushfire Management Overlay with the risk to life and property able to be reduced to an acceptable level through implementation of mitigation measures prescribed at Clause 53.02 *Bushfire Planning*.

The subject land is contained within the township area of Nowa Nowa and the proposed dwelling will be constructed to a minimum BAL-29 while associated defensible space has been enhanced consistent with Tables 1 & 2, Column A to Clause 53.02-5 to enhance resilience from the bushfire hazard.



Application Requirements Clause 44.06-3	
<b>Bushfire Hazard Site Assessment</b>	A Bushfire Hazard Site Assessment Plan has been prepared in support of the Application which provides detail of the site and immediate surrounds. The landform and vegetation classifications within the surrounding 150 metre assessment area has been considered in the calculations for separation distances and associated Bushfire Attack Level (BAL-29).
<b>Bushfire Hazard Landscape Assessment</b>	A Bushfire Hazard Landscape Assessment has been provided which describes the bushfire hazard in the wider landscape (>150 metres from the site).
<b>Bushfire Management Statement</b>	A Bushfire Management Statement has been provided at section 6.4 of this Report which includes a detailed response to each of the Approved Measures at Clause 53.02-3 <i>Dwellings in existing settlement</i> and Clause 53.02-4 <i>Bushfire Protection Objectives</i> .

#### Mandatory Condition (Clause 44.06-5)

As the proposal seeks approval for Buildings & Works a permit must include the mandatory Condition prescribed at Clause 44.06-5 of the Bushfire Management Overlay.

Clause 44.06-5 also specifies a mandatory Condition for subdivision however states that it does not apply where the relevant Fire Authority states in writing the preparation of an agreement under Section 173 of the Act is not required for the subdivision.

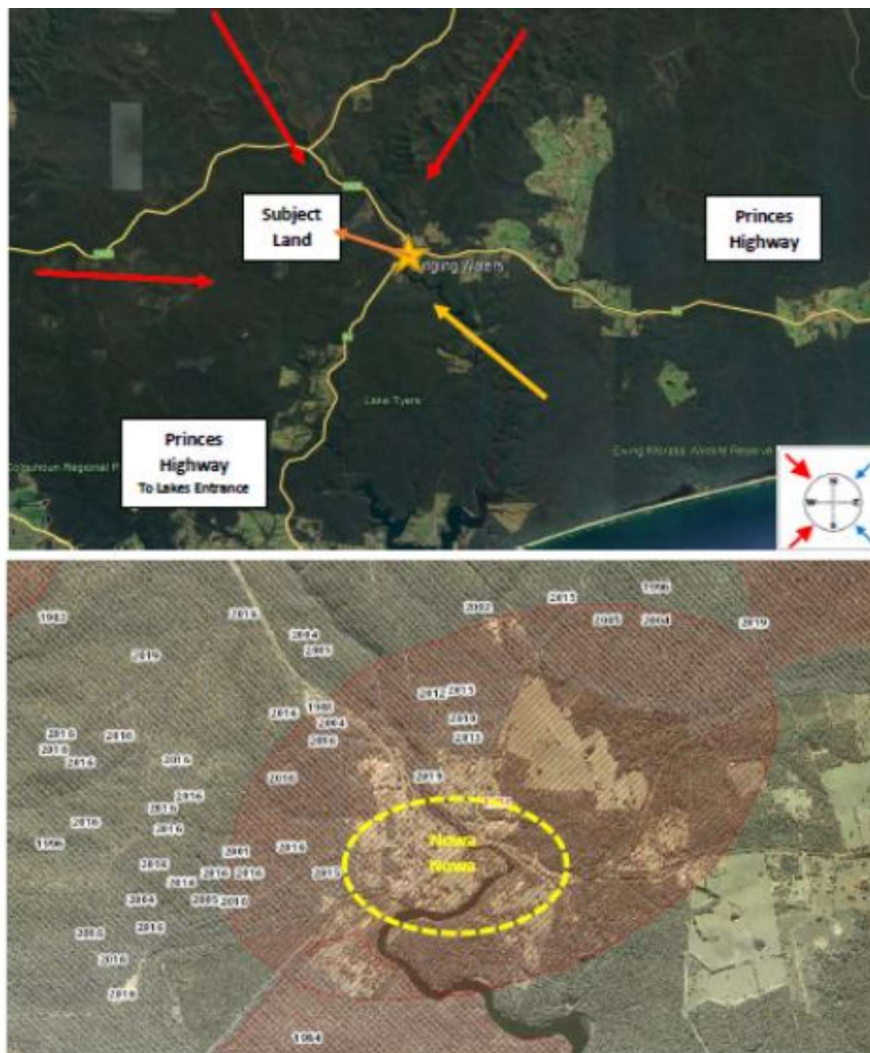
The purpose of the mandatory Condition pertaining to subdivision is to lock in a Building Envelope and bushfire mitigation measures at the subdivision stage to avoid the need for future landowners to require a planning permit for a dwelling under the Bushfire Management Overlay.

The Application at hand however is a combined Application which is also seeking approval for a dwelling on Lot 1. There is therefore assurance of the design and siting of the dwelling and bushfire mitigation requirements are ensured through the mandatory Buildings & Works Condition.

It is considered unnecessary to burden the title of the land with a Section 173 Legal Agreement as otherwise required by the mandatory subdivision Condition given the combined nature of the Application. It would serve limited purpose given the circumstances and would ultimately result in unnecessary expense.

The Application is supported by a Bushfire Management Plan for endorsement which includes details of minimum construction level (BAL-29), defensible space, water supply and access consistent with the requirements of Clause 53.02-5.

### Bushfire Hazard Landscape Assessment





## 6.4 Bushfire Planning

The following Bushfire Management Statement has been provided to describe how the proposed subdivision and dwelling responds to the requirements of Clause 53.02 *Bushfire Planning*.

### CLAUSE 53.02-3 DWELLINGS IN EXISTING SETTLEMENTS – BUSHFIRE PROTECTION OBJECTIVE

#### Objective

To specify bushfire design and construction measures for a single dwelling or alteration and extension to an existing dwelling that reduces the risk to life and property to an acceptable level.

#### Approved Measures

##### AM 1.1

A building is sited to ensure the site best achieves the following:

- The maximum separation distance between the building and the bushfire hazard.
- The building is in close proximity to a public road.
- Access can be provided to the building for emergency service vehicles.

#### Response:

The proposed dwelling has been sited appropriately within proposed Lot 1 having regard for the surrounding bushfire risk. The main bushfire hazard is from the adjoining land immediately to the west which is well vegetated. The dwelling has been setback 48 metres from the western boundary in an existing clearing to enhance defensible space consistent with Table 1, Column A to Clause 53.02-5.



*Looking north at proposed dwelling site*

The dwelling has been sited within close proximity to the adjoining road network and is easily identifiable from Princes Highway. Access from Princes Highway to the proposed dwelling will be provided from the existing driveway with the creation of a carriageway easement. The driveway is located within a clear section of land and is most capable of accommodating emergency vehicles.



*Existing driveway*



*Existing driveway*

#### AM 1.2

A building provides the defendable space in accordance with Table 1 Columns A, B, C, D or E and Table 6 to Clause 53.02-5. Adjoining land may be included as defendable space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space.

A building is constructed to the bushfire attack level:

- That corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-5, or
- The next lower bushfire attack level that corresponds to the defendable space provided in accordance with Table 1 to Clause 53.02-5 where all the following apply.
  - A private bushfire shelter (a Clause 10c building within the meaning of the Building Regulations 2006) is constructed on the same land as the dwelling.
  - A minimum bushfire attack level of BAL 12.5 is provided in all circumstances.

#### Response:

Within the surrounding 150 metre assessment area the predominate vegetation classification is 'forest' in all directions however the landform does vary. Land to the north and west of the proposed dwelling is on an upslope however land to the south and to the east is on a downslope 0-5°.





Looking north towards proposed dwelling site



View north from proposed dwelling site



View south from just south of proposed dwelling site





*Looking in a westerly direction over proposed dwelling site*



*View south from existing driveway*



*Looking in a easterly direction towards proposed dwelling site*



	North	South
<b>Vegetation Type</b>	Forest	Forest
<b>Slope</b>	Upslope	Downslope 0-5°
<b>Column A (BAL 12.5) Separation Distance</b>	48m	57m
<b>Column C (BAL 29) Separation Distance</b>	25m	32m

The proposed dwelling will be constructed to minimum BAL-29 however defensible space has been maximised to be more consistent with Table 1, Column A to Clause 53.02-5 in response to the surrounding bushfire risk.

To enhance separation from the main bushfire threat to the west the proposed dwelling has been setback 48 metres from the western boundary to provide defensible space consistent with Column A, table 1 to Clause 53.02-5. This siting results in defensible space to the east extending over the proposed common boundary.

The presence of the existing dwelling, shed and driveway on Lot 2 however provide reasonable assurance that the area of defensible space extending over the common boundary will continue to be managed and maintained to a minimum fuel load condition on an ongoing basis enabling it to be utilised as defensible space.



*Existing sheeding and dwelling on proposed Lot 2*

### AM 1.3

A building is provided with:

- A static water supply for fire fighting and property protection purposes specified in Table 4 to Clause 53.02-5. The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies.
- Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5.

### Response:

The accompanying Bushfire Management Plan is expected to be endorsed as part of Planning Permit and prescribes the need for access and water supply consistent with Tables 4 & 5 to Clause 53.02-5.

The proposed dwelling will be provided with a static water supply of 10,000 litres with fire authority fittings and access consistent with Table 4 to Clause 35.02-5 and the relevant access requirements having regard to the length of access exceeding 100 meters.

#### CLAUSE 53.02-4.1 LANDSCAPE, SITING & DESIGN OBJECTIVES

##### Objective

Development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.

Development is sited to minimise the risk from bushfire.

Development is sited to provide safe access for vehicles, including emergency vehicles.

Building design minimises vulnerability to bushfire attack.

##### Approved Measures

##### AM 2.1

The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.

##### Response:

At AM 5.2 it is stipulated that an application to subdivide land zoned for residential purposes must be accompanied by a plan that shows each Lot satisfies the approved measures in AM2.1.

The subject land is located on the fringe of the established residential area of Nowa Nowa and is contained within the Township Zone. There are many residential properties located to the east of the subject land which are also contained within the Township Zone.

The site however is situated at the western side of the township and land immediately to the west is well vegetated Crown Land contained within the Public Conservation Resource Zone. This vegetation has connection to wider forested areas which enhances the landscape risk from bushfire.

The site is located on Princes Highway which provides direct access to the larger township of Lakes Entrance which is approximately 21km to the south. The nearby township area of Bruthen is approximately 28km to the west of Nowa Nowa and accessible via Bruthen-Nowa Nowa Road. Both these roads as high-quality Transport Zone 2 roads.

##### AM 2.2

A building is sited to ensure the site best achieves the following:

- The maximum separation distance between the building and the bushfire hazard.
- The building is in close proximity to a public road.
- Access can be provided to the building for emergency service vehicles.

##### Response:

At AM 5.2 it is stipulated that a building envelope needs to be shown for a single dwelling on each lot that complies with AM 2.2 and provides defensible space in accordance with Columns A, B or C of Table 2 to Clause 53.02-5 for a subdivision that creates less than 10 lots.

It isn't necessary to establish a Building Envelope in this instance as the proposal includes the establishment of a new dwelling on Lot 1 and the existing dwelling will be contained within Lot 2.



The Bushfire Management Plan however does nominate defendable space around the proposed dwelling which exceeds that prescribed for Column C, Table 2 to Clause 53.02-3. The nominated defendable space has been enhanced to be consistent with Column A of Table 2 to Clause 53.02-5.

A further response is provided at AM 1.1 relating to the siting of the proposed dwelling having regard for the bushfire hazard, proximity to public road and emergency vehicle access.

#### CLAUSE 53.02-4.4 SUBDIVISION OBJECTIVES

##### Clause 53.02-4.4 Objective

To provide lots that are capable of being developed in accordance with the objectives of Clause 53.02.

To specify at the subdivision stage bushfire protection measures to develop a lot with a single dwelling on land zoned for residential or rural residential purposes.

##### Approved Measures

##### AM 5.1

An application to subdivide land, other than where AM 5.2 applies, demonstrates that each proposed lot is capable of meeting:

- The defendable space in accordance with Column A, B or C of Table 2 to Clause 53.02-5.
- The approved measures in Clause 53.02-4.1 and Clause 53.02-4.3

##### Response:

N/A

##### AM 5.2 applies in this instance.

##### AM 5.2

An application to subdivide land zoned for residential or rural residential purposes must be accompanied by a plan that shows:

- Each lot satisfies the approved measure in **AM2.1**
- A building envelope for a single dwelling on each lot that complies with **AM 2.2** and provides defendable space in accordance with:
  - Columns A or B of Table 2 to Clause 53.02-5 for a subdivision that creates 10 or more lots; or
  - Columns A, B or C of Table 2 to Clause 53.02-5 for a subdivision that creates less than 10 lots.

The bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02-5 must be noted on the building envelope.

- Defendable space wholly contained within the boundaries of the proposed subdivision.
- Defendable space may be shared between lots within the subdivision. Defendable space for a lot may utilise communal areas, such as roads, where that land can meet the requirements for defendable space.
- Vegetation management requirements in accordance with Table 6 to implement and maintain the defendable space required under this approved measure.
- Water supply and vehicle access that complies with **AM 4.1**.

**Response:**

Responses have been provided to AM 2.1 & AM 2.2.

In response to the surrounding bushfire risk the proposed dwelling on Lot 1 will be constructed to minimum BAL-29 however will include enhanced defensible space consistent with Column A, Table 2 to Clause 53.02-5.

The establishment of a dwelling consistent with Clause 53.02-3 *Dwellings in Existing Settlements* affords the opportunity for the proposed dwelling rely on Lot 2 providing defensible space as there is reasonable assurance that the land will continue to be managed to a low fuel condition.

Whilst the defensible space for the proposed dwelling will encroach into Lot 2 there is reasonable assurance that the land will continue to be managed to an appropriate standard given the established residential use. Equally, if the existing dwelling on Lot 2 were ever replaced there would also be appropriate land available to accommodate suitable defensible space as demonstrated on the accompanying Design Response Plan.

The vegetation management requirements prescribed at Table 6, water supply requirements prescribed at Table 2 and vehicle access requirements prescribed at Table 5 to 53.02-5 have all been replicated on the Bushfire Management Plan.

These bushfire mitigation requirements will be ensured as the Bushfire Management Plan will be endorsed as part of Planning Permit. There is no necessity in this instance to include the Bushfire Management Plan within a Section 173 Legal Agreement as the proposal is a combined Application for subdivision and development.

**AM 5.3**

An application to subdivide land to create 10 or more lots provides a perimeter road adjoining the hazardous vegetation to support fire fighting.

**Response:**

N/A

**AM 5.4**

A subdivision manages the bushfire risk to future development from existing or proposed landscaping, public open space and communal areas.

**Response:**

It is unlikely that the vegetated conditions on adjoining land will change into the future.



## 7. Conclusion

The proposed Buildings & Works (Dwelling), Two Lot Subdivision & Creation of Carriageway Easement at 2027 Princes Highway, Nowa Nowa is considered to accord with all relevant provisions of the Township Zone, Erosion Management Overlay and Bushfire Management Overlay of the *East Gippsland Planning Scheme*. The proposal is consistent with Planning Policy Framework and Local Policy and has been designed to complement the adjoining properties.

For these reasons we respectfully request that Council consider the merits of the Application favourably and resolve to issue a Planning Permit.

Crowther & Sadler Pty Ltd  
June 2025

Bushfire Management Plan – 2027 Princes Highway, Nowa Nowa



PLAN REF: 21088 BMP V1

0 25 50 m

- Subject Land
- Proposed Boundary
- Proposed Driveway
- Proposed Dwelling
- Watertank
- Dimensions
- Defendable Space
- HY\_WATERCOURSE
- Google Satellite

Crowther & Sadler Pty Ltd.

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Bushfire Protection Measures

Mandatory Condition

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. The condition continues to have force and effect after the development authorised by this permit has been completed.

a) Defendable Space

Defendable space is provided for a distance of 57 metres around the building or to the property boundary whichever is the lesser and managed in accordance with the following:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

b) Construction Standard

The building must comply to a minimum Bushfire Attack Level of BAL – 29

c) Water Supply

The following requirements apply:

- An effective capacity of 10,000 litres.
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.

Where a 10,000 litre water supply is required, the following fire authority fittings and access must be provided:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

d) Access

Access Required: No ☐ Yes ☒ The following design and construction requirements apply:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.1°) entry and exit angle.

Length of access is greater 100 metres: Yes ☒ No ☐

Where length of access is greater than 100 metres the following design and construction requirements apply:

- A turning circle with a minimum radius of eight metres, or
- A driveway encircling the building, or
- The provision of other vehicle turning heads – such as a T or Y Head – which meet the specification of Austroad Design for an 8.8 metre Service Vehicle.

Length of driveway is greater than 200 metres: Yes ☐ No ☒

Where length of access is greater than 200 metres the following design and construction requirement applies:

- Passing bays are required at least every 200 metres that are a minimum 20 metres long and a minimum trafficable width of 6 metres.



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# BUSHFIRE HAZARD SITE ASSESSMENT

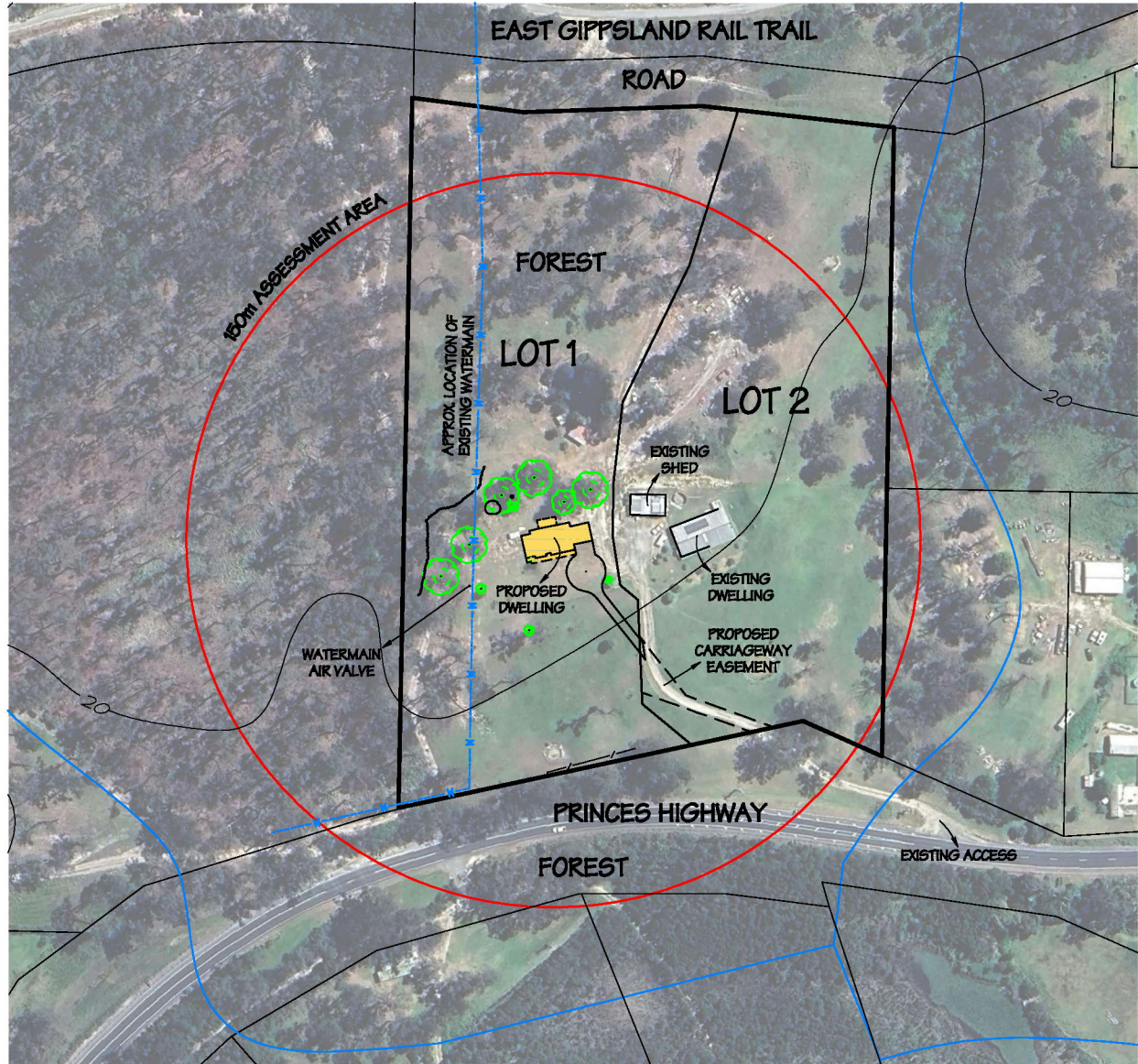
PARISH OF NINNIE  
TOWNSHIP OF NOWA NOWA  
SECTION B  
CROWN ALLOTMENTS 1, 2 & 3

C/T VOL 8133 FOL 916 - LOT 1 ON TP231338J  
C/T VOL 7851 FOL 099 - LOT 1 ON TP710453P  
C/T VOL 8036 FOL 219 - TP525469E  
C/T VOL 8036 FOL 206 - TP522672Y

	NORTH	SOUTH
SLOPE	UPSLOPE	DOWNSLOPE >0-5°
VEG TYPE	FOREST	FOREST
SEPARATION DISTANCES* COLUMN A (BAL-125)	48m	57m
SEPARATION DISTANCES* COLUMN C (BAL-29)	25m	32m

\*SEPARATION DISTANCES DERIVED FROM  
TABLE 1 CLAUSE 53.02-5

MGA2020 ZONE 55



**Crowthier & Sadler Pty. Ltd.**

LICENSED SURVEYORS & TOWN PLANNERS  
182 MACLEOD STREET, BAIRNSDALE, VIC., 3875  
P. (03) 5182 6011 E. contact@rowthierandsadler.com.au

2027 PRINCES HIGHWAY, NOWA NOWA

SCALE (SHEET SIZE A3)

SURVEYORS REF.

1 : 2000

21088

VERSION 1 PRINTING 05/05/2025

FILENAME: Y:\21000-21999\21000-21099\21088 Walker\21088 BHSA V1.pro

Printed 22/07/2025

Page 75 of 100

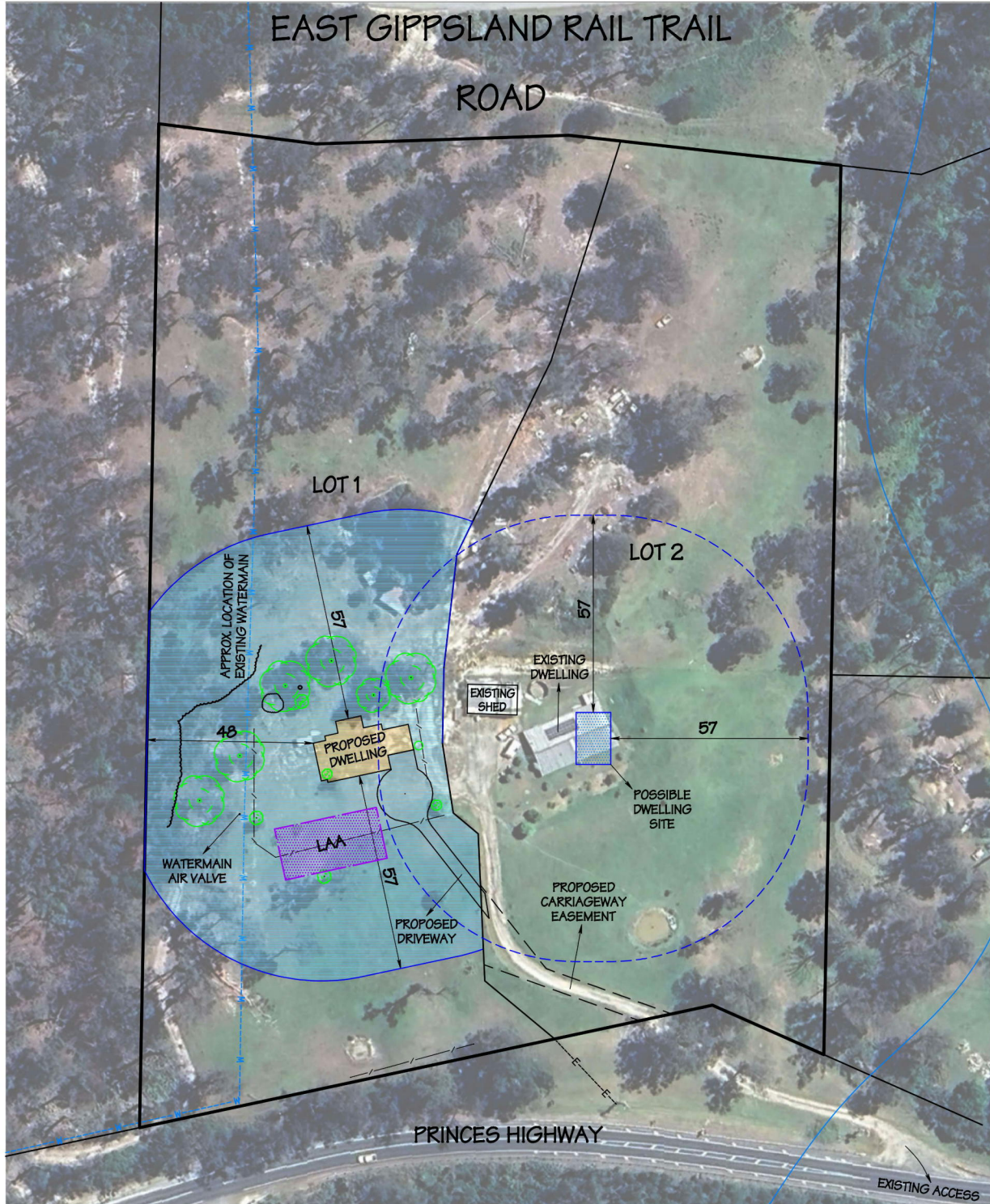


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# DESIGN RESPONSE PLAN

PARISH OF NINNIE  
TOWNSHIP OF NOWA NOWA  
SECTION B  
CROWN ALLOTMENTS 1, 2 & 3

C/T VOL 8133 FOL 916 - LOT 1 ON TP231338J  
C/T VOL 7851 FOL 099 - LOT 1 ON TP710453P  
C/T VOL 8036 FOL 219 - TP525469E  
C/T VOL 8036 FOL 206 - TP522672Y



MGA2020 ZONE 55

2027 PRINCES HIGHWAY, NOWA NOWA

**Crowthier & Sadler** Pty. Ltd.

LICENSED SURVEYORS & TOWN PLANNERS  
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## NOTATIONS

AREAS ARE APPROXIMATE ONLY  
DIMENSIONS ARE SUBJECT TO SURVEY

SCALE (SHEET SIZE A3)

1 : 1250

SURVEYORS REF.

21088

VERSION 1.0 17/07/2025

Printed 22/07/2025

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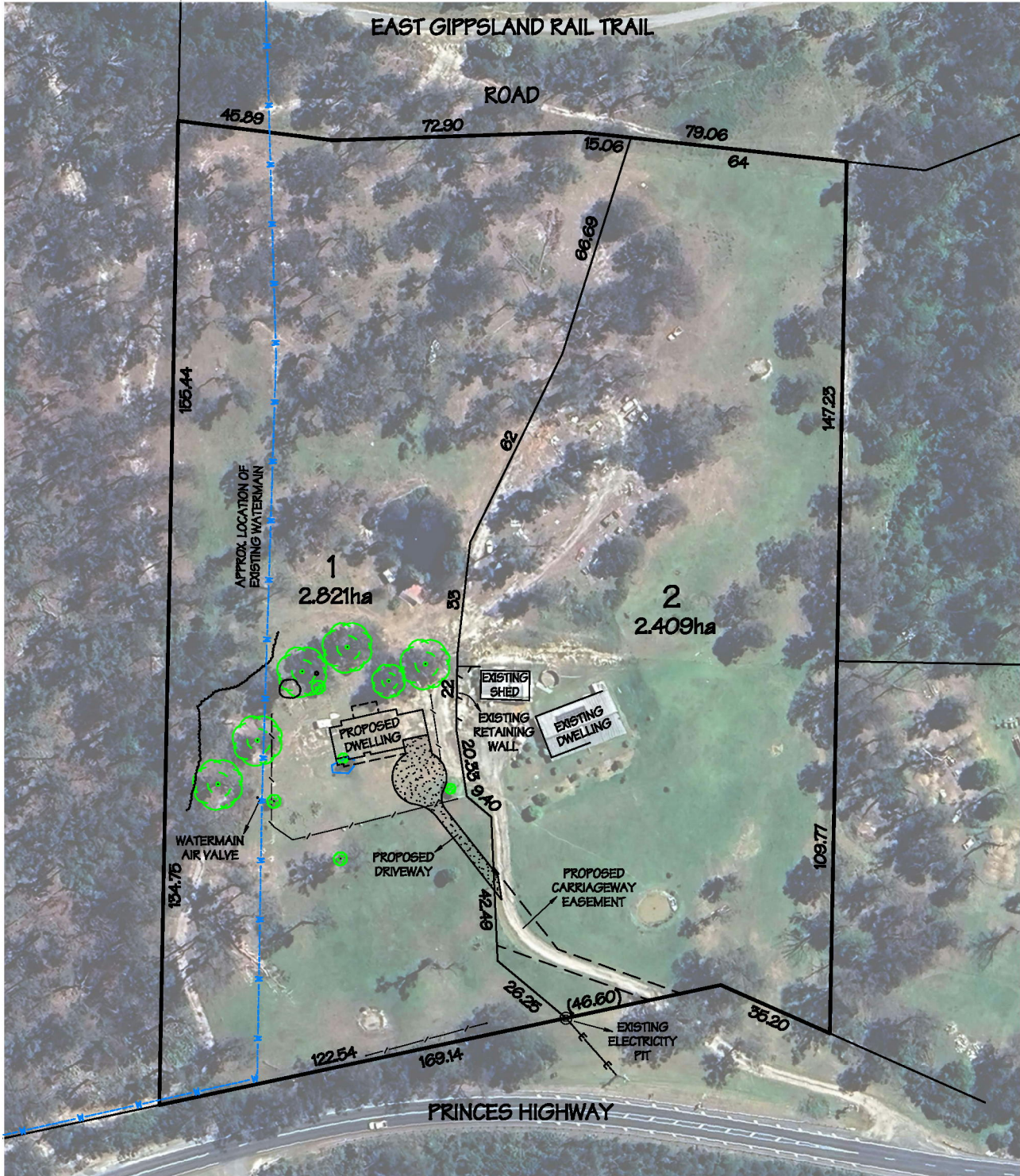
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# PROPOSED SUBDIVISION

PARISH OF NINNIE  
TOWNSHIP OF NOWA NOWA  
SECTION B  
CROWN ALLOTMENTS 1, 2 & 3

C/T VOL 8133 FOL 916 - LOT 1 ON TP231338J  
C/T VOL 7851 FOL 099 - LOT 1 ON TP710453P  
C/T VOL 8036 FOL 219 - TP525469E  
C/T VOL 8036 FOL 206 - TP522672Y

MGA2020 ZONE 55



2027 PRINCES HIGHWAY, NOWA NOWA

**Crowthier & Sadler** Pty. Ltd.

LICENSED SURVEYORS & TOWN PLANNERS  
182 MACLEOD STREET, BAIRNSDALE, VIC., 3875  
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## NOTATIONS

AREAS ARE APPROXIMATE ONLY  
DIMENSIONS ARE SUBJECT TO SURVEY

SCALE (SHEET SIZE A3)

1 : 1250

SURVEYORS REF.

21088

VERSION 2 DATED 10/05/2023

Printed 22/07/2025



GENERAL NOTES:

THE OWNER, BUILDER AND/OR SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND ANY SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BY-LAWS AND RESCODE REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION

1.

THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS. THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT. FOOTINGS ARE TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED I THE SOIL REPORT. WHERE THE BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS
2.

LEVELS RELATING TO GROUND LEVELS ARE APPROXIMATE ONLY & ARE TO BE CHECKED & VERIFIED ON SITE BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
3.

STORMWATER SHALL BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.
4.

SEWER OR SEPTIC SYSTEMS SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY REQUIREMENTS.
5.

FOOTINGS ARE NOT TO ENCROACH OVER ANY TITLE BOUNDARIES AND/OR EASEMENT LINES.
6.

FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA ENSURE THAT ALL STEELWORK, BRICK CAVITY TIES, STEEL LINTELS ETC. THAT ARE IMBEDDED OR FIXED TO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S. 3700-2018, HOT DIP GALVANIZED, STAINLESS STEEL OR CADMIUM COATED
7.

BUILDING SETBACKS ARE FROM TITLE LINE (NOT FENCE LINE) REFER TITLE RE-ESTABLISHMENT PLAN FOR CORRECT OFF SETS IN RELATION TO FENCE LINES
8.

ALL WET AREAS ARE TO COMPLY WITH NCC 2022 PART 10.2.1. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800MM ABOVE FLOOR LEVEL TO ANY SHOWER ENCLOSURES AND 150MM ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75MM OF THE WALL.

A. WATERPROOFING TO HOBLESS SHOWER TO COMPLY WITH CLAUSE 3.13.5 OF AS3740-2021
9.

RISERS -190MM MAXIMUM, 115MM MINIMUM. GOING -355MM MAXIMUM, 240MM MINIMUM. RISERS AND TREADS ARE TO BE CONSTANT IN SIZE THRU-OUT FLIGHT. PROVIDE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSING. ENSURE A MAXIMUM GAP BETWEEN RISERS IS NOT TO EXCEED 125MM OR USE CLOSED RISERS. PROVIDE CONTINUOUS HAND RAILING 1000MM MINIMUM HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000MM OR GREATER ABOVE GROUND LEVEL. HANDRAILS ARE TO BE A MINIMUM OF 865MM ABOVE STAIR NOSING AND LANDINGS. MAXIMUM GAP BETWEEN BALUSTERS SHALL BE 125MM
10.

SMOKE ALARMS ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH NCC 2022 - PART 9.5 & AS3786-2014, AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING THE SMOKE ALARM SHALL BE HARD-WIRED WITH A BATTERY BACK-UP INTERCONNECTED

A MINIMUM FLOW RATE OF EXHAUST FANS WITHIN BATHROOM OR SANITARY COMPARTMENTS ARE TO BE 25 L/s AND A MINIMUM FLOW RATE FOR RANGEHOODS OR LAUNDRIES OF 40L/s DUCTED DIRECTLY TO THE OUTSIDE AIR
11.

BUILDING SEALING TO BE IN ACCORDANCE WITH NCC 2022 PARTS 13.4.2 - 13.4.7

A. CLOTHES DRYER NOT PART OF CONTRACT WITH JGKING. OWNER TO BE AWARE THAT IF INSTALLED DRYER TO BE VENTED TO OUT SIDE AIR
12.

JUNCTIONS / TRANSITIONS BETWEEN DIFFERENT FLOOR COVERINGS TO HAVE A SILL DIFFERENCE IN HEIGHT ≤ 5mm
13.

CORROSION PROTECTION TO EXPOSED STRUCTURAL STEEL TO COMPLY WITH NCC PART 6.3.9

SPECIFICATION NOTES:

**SITE & SOIL**  
REQUIRED FILL & COMPACTION TO BE IN ACCORDANCE WITH A.S.2870-2011

- ALLOWABLE BEARING PRESSURE OF SOIL:
- UNDER STRIP OR PAD FOOTINGS - 100kPa
  - UNDER SLAB OR BEAMS - 50kPa

**BRICKWORK:**  
PROVIDE WALL-TIES TO BRICKWORK AT A MAXIMUM OF 600MM IN EACH DIRECTION AND WITHIN 300MM OF ANY ARTICULATION JOINTS. FOR PERPS AND BEDS JOINTS SPACINGS (REFER TO NCC PART 5.6.5) WEEPHOLES TO BE IN ACCORDANCE WITH AS 3700 CLAUSE 4.7.2

**STEEL FRAME:**  
ALL STEEL STRUCTURE TO COMPLY WITH AS4100-1998. COMPOSITE STRUCTURES TO COMPLY WITH AS2327-2017. COLD FORMED STEEL STRUCTURES TO COMPLY WITH AS4600-2018.

FOR STRUCTURAL DETAILS REF. BHP HOUSE WALL FRAMING DESIGN MANUAL.

FOR ACTUAL CONFIGURATION & RACKING CAPACITY OF EACH TYPE OF BRACED PANEL REFER TO THE BHP HOUSE FRAMING MANUAL.

WALL FRAMES DESIGNED & CONSTRUCTED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN TITLE PANEL

**WALL LINTELS & SUPPORT STUDS :**  
FOR ALL EXTERNAL PERIMETER LOAD-BEARING LINTELS AND THEIR SUPPORTING STUDS REFER TO THE ENGINEERS DETAILS AND DRAWINGS AND TO GENERAL SPECIFICATIONS CARPENTERS TO ALLOW 45MM DOOR STUD AT WALL JUNCTIONS.

**INTERNAL DOORS:**  
ALL INTERNAL DOORS ARE TO BE 2040mm HIGH UNLESS NOTED OTHERWISE ON THE PLAN.

**WC DOORS:**  
HINGED DOORS THAT OPEN INWARDS TOWARDS THE PAN BUT THE EDGE OF THE DOOR IS A MINIMUM OF 1200MM AWAY FROM THE PAN AT ITS NEAREST POINT. MUST HAVE DEMOUNTABLE HINGES TO ALLOW EASY REMOVAL OF THE DOOR FROM THE OUTSIDE THE WC COMPARTMENT.

**GUTTERS AND DOWNPIPES**  
BOX GUTTERS MUST BE FLASHED AT THE GUTTER ROOF JUNCTION WITH NON COMBUSTIBLE MATERIAL. NO MATERIAL REQUIREMENTS FOR STANDARD GUTTERS & DOWNPIPES.

TEMPORARY DOWNPIPES ARE TO BE USED DURING CONSTRUCTION.

**FLOORING & FOOTINGS:**  
FINISHED FLOOR LEVELS ARE NOMINAL ONLY AND SHOULD BE CONFIRMED PRIOR TO START OF WORK. READ IN ACCORDANCE WITH THE SOIL REPORT REQUIREMENTS. READ IN CONJUNCTION WITH THE ENGINEERS DETAILS FOR ALL FOOTING SIZE & DETAILS. PLEASE NOTE MINIMUM FOUNDING DEPTH TO BE DETERMINED AS "NOTED" IN THE SOIL REPORT.

ALL CONCRETE TO HAVE A STRENGTH OF 20MPa

ALL SLAB, BEAM & FOOTING CONCRETE REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS A.S.2870.1-2011

LAPPING & SUPPORT OF REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS A.S.2870.1-2011

POLYTHENE MEMBRANE TO BE LAPPED A MINIMUM OF 200mm AT JOINTS & SHALL BE TAPPED AROUND PIPES WHICH PENETRATE THE SLAB

TOP SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED FROM THE SURROUNDING AREA.

**ROOFING:**  
ROOF STRUCTURE DESIGNED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN THE TITLE PANEL CEILING BATTENS TO BE 25mm "TOP HAT" SECTION. ROOFING MATERIAL AS NOTED ON ELEVATIONS & PLAN REFER TO BUILDING CONTRACTS FOR DOWNPIPE SPECIFICATIONS. ROOFING TO BE IN ACCORDANCE WITH AS 3500.3 - 2021

**TILED ROOF:** TILED ROOFS TO BE FULLY SARKED BELOW THE ROOF BATTENS COVERING THE ENTIRE ROOF INCLUDING THE RIDGE AND BE INSTALLED SO THAT THERE ARE NO GAPS AT FASCIAS, GUTTERS, VALLEYS ETC.

**SHEET ROOF:** COLORBOND ROOFS TO BE FULLY SARKED (BELOW OR ABOVE THE ROOF BATTENS) COVERING THE ENTIRE ROOF INCLUDING THE RIDGE AND BE INSTALLED SO THAT THERE ARE NO GAPS AT FASCIAS, GUTTERS, VALLEYS ETC.

**DETACHED ROOFS :** ROOF STRUCTURES AS PER DETAILS COMPLY (VERANDAHS ETC.) (NO LINING REQUIRED)

**ROOF PENETRATIONS:** SKYLIGHTS TO COMPLY WITH AS3859-2018. PRODUCT DETAILS AND PROOF OF COMPLIANCE TO BE PROVIDED IF SKYLIGHT REQUIRED. EVAPORATIVE COOLERS TO BE FITTED WITH BUTTERFLY CLOSERS AT OR NEAR THE CEILING.

**WINDOWS & DOORS:**  
ALL GLAZING SHALL CONFORM TO AS1288-2021 & AS 2047-2014.  
WINDOW SIZES SHOWN ARE NOMINAL DEPENDING ON THE WINDOW MANUFACTURERS CLOSEST STANDARD SPECIFICATIONS.

1.

ALL GLAZING IS TO BE IN ACCORDANCE WITH AS1288-2021.
2.

READ IN CONJUNCTION WITH THE WINDOW SCHEDULE & ELEVATIONS.
3.

ALL EXTERNAL DOORS ARE TO FITTED WITH WEATHER STRIPS.
4.

'F' DENOTES FIXED GLAZING, 'D' DENOTES OPENABLE SASH.

NOTE: THESE HEIGHTS MAY VARY SLIGHTLY ACCORDING TO DIFFERENCES IN BRICK SIZES

ALL EXTERNAL WINDOWS & GLAZED DOORS TO BE ALUMINUM FRAMED UNLESS NOTED OTHERWISE.

GARAGE PASSAGE DOORS TO BE FITTED WITH DRAFT SEAL AS PER 13.4.4 OF THE NCC 2022

ALL CAVITY SLIDING DOORS TO BE FLUSH JAMB TYPE. STANDARD STUD OPENING TO BE WIDENED BY 50MM TO ACCOMMODATE

**WALLING:**  
FOR STRUCTURAL DETAILS REFER TO BHP HOUSE WALL FRAMING DESIGN MANUAL. FOR ACTUAL CONFIGURATION & RACKING CAPACITY OF EACH TYPE OF BRACED PANEL REFER TO THE NASH STANDARD RESIDENTIAL & LOW - RISE STEEL FRAMING PARTS 1 & 2. WALL FRAMES DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH WIND LOADINGS SPECIFIED IN THE TITLE PANEL.

WALL SARKING MATERIAL TO COMPLY WITH AS/NZS 4200.1 AND NCC CLAUSE 10.8.1 (2022) AND TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.2

**LININGS:**  
EAVES TO BE CONSTRUCTED WITH 4.5MM FC SHEET WITH PVC JOINERS. FASCIAS TO BE CONSTRUCTED WITH NON-COMBUSTIBLE STEEL. GABLES TO COMPLY WITH THE CONSTRUCTION OF EXTERNAL WALLS ABOVE.

**HEATING AND COOLING:**  
ALL HEATING & COOLING UNITS, SIZES, TYPES & LOCATIONS ARE TO BE CONFIRMED BETWEEN THE BUILDER & THE SUPPLIER. ALL HEATING & COOLING DUCTS & VENT LOCATIONS ARE TO BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCEMENT OF BUILDING TO DETERMINE IF ANY ADDITIONAL RISER DUCTS ARE REQUIRED. ALL HEATING & COOLING POINTS LOCATIONS, MAY VARY FROM PLAN TO PLAN.

**GEOTECHNICAL:**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH A GEOTECHNICAL REPORT. IT IS THE BUILDERS'S RESPONSIBILITY TO OBTAIN SUCH REPORTS PRIOR TO COMMENCEMENT OF WORKS. FULL HEIGHT CONTROL JOINTS (FOOTING TO EAVES) AT 5m MAX CTRS UNLESS OTHERWISE STATED IN THE SOIL REPORT. REFER TO SOIL REPORT.

**LINTEL NOTES:**  
BUILDER IS TO NOTE THAT LINTELS SELECTED BY THE ENGINEER ARE DESIGNED TO CARRY ONLY STANDARD TILE ROOFING & TRUSS LOADS WHERE ARE AT 600mm MAXIMUM CTRS. IF ANY GIRDER TRUSSES ARE LOCATED DIRECTLY ON ANY LINTELS. TRUSS MANUFACTURER AND / OR BUILDER IS TO REFER TO THE ENGINEER TO CONFIRM IF LINTEL & SUPPORTING STUDS ARE ADEQUATE. ENGINEER'S DRAWINGS TAKE PRECEDENCE OVER NOMINAL SIZES INDICATED ON THESE PLANS.

ALL STEEL AND MORTAR TO BE IN ACCORDANCE WITH SECTION 5 OF AS 3700-2018.

ALL WORKS INCLUDING BRICKS, BRICKWORK, CONCRETE, SLABS & FOOTINGS OF THE RELEVANT AUSTRALIAN STANDARDS.

BAL REQUIREMENT NOTES: BAL 12.5 / BMO

**SUB FLOOR (POSTS, STUMPS COLUMNS)**  
ENCLOSED: NO REQUIREMENT. BRICK & PIER SUBFLOOR WALLS COMPLY  
UNENCLOSED: NO REQUIREMENT.

**FLOORS (BEARERS, JOISTS AND FLOORING)**  
ENCLOSED: NO REQUIREMENT  
UNENCLOSED: NO REQUIREMENT

**DECKS, STEPS, RAMPS AND LANDINGS ETC.**  
ENCLOSED SUBFLOOR SPACE - NO SPECIAL REQUIREMENTS FOR MATERIALS EXCEPT WITHIN 400MM OF GROUND. NO SPECIAL REQUIREMENTS FOR SUPPORTS OR FRAMING. DECKING TO BE NON-COMBUSTIBLE OR BUSFIRE RESITANT WITHIN 300MM HORIZONTALLY AND 400MM VERTICALLY FROM GLAZED ELEMENT. VERANDAH/ALRESCO POSTS TO BE ON 75MM STIRRUPS OR INCLUDE BUSHFIRE RESISTANT TIMBER.

**BALUSTRADES, HANDRAILS OR OTHER BARRIERS**  
NO REQUIREMENT

**EXTERNAL WALLS**  
PARTS LESS THAN 400MM ABOVE GROUND OR DECKS ETC TO BE OF NON-COMBUSTIBLE MATERIAL, 6MM FIBRE CEMENT CLAD OR BUSHFIRE RESISTANT/NATURALLY FIBRE RESISTANT TIMBER. NO GAP GREATER THAN 2MM.

**WINDOWS INCLUDING DOOR SIDELITES & GLAZED PANELS WITHIN DOORS**  
PROTECTED BY BUSHFIRE SHUTTER, COMPLETELY SCREENED WITH STEEL, BRONZE OR ALUMINIUM MESH OR 4MM GRADE A SAFTEY GLASS OR GLASS BLOCKS WITHIN 400MM OR GROUND, DECK, ETC. OPENABLE PORTION METAL SCREENED WITH FRAME OF METAL OR METAL REINFORCED PVC-U OR BUSHFIRE RESISTING TIMBER. NO GAP GREATER THAN 2MM.

**EXTERNAL DOORS**  
PROTECTED BY BUSHFIRE SHUTTER, OR SCREENED WITH STEEL, BRONZE OR ALUMINIUM MESH OR GLAZED WIT 5MM TOUGHENED GLASS, NON-COMBUSTIBLE OR 35MM SOLID TIMBER FOR 400MM ABOVE THRESHOLD, METAL OR BUSHFIRE RESISTING TIMBER FRAMED FOR 400MM ABOVE GROUND, DECKING, ETC. TIGHT FITTING WITH WEATHER STRIPS AT BASE. GARAGE DOORS TO BE PROTECTED WITH SUITABLE WEATHER STRIPS, DRAUGHT EXCLUDERS, DRAUGHT SEALS OR BUSHES WITH NO GAP GREATER THAN 2MM.

**ROOFS**  
NON-COMBUSTIBLE COVERINGS, ROOF/WALL JUNCTION SEALED. ROOF TO BE FULLY SARKED. NO GAP GREATER THAN 2MM.

ENERGY EFFICIENCY DETAILS:

ENERGY RATING SUPPLIED BY : ENERGY ADVANCE

## ENERGY EFFICIENCY DETAILS

\*NathERS tech note/section 10 defaults are used where applicable

### Insulation (details see NathERS certificate)

Ceiling under roof (excludes garage) – R6.0/2.5 – Single/S Foil  
External walls (excludes garage) – R2.5 – Vapour Permeable  
Internal walls residence/garage, Laundry, Mudroom, Bath & WC1 – R2.5  
Waffle pod slab – min pod thickness - 225mm

### Window Details and WERS Codes:

As per Window Schedule

Type	U-Value	SHGC
ALU-014-04 W IDEAL 2000 Tilt n Turn Window DG LightBridge_clrSO_5-14-5	1.55	0.41
ALU-018-04 W IDEAL 4000 Fixed Window DG LightBridge_clrSO_5-14-5	1.49	0.39
PVC-005-03 W uPVC A DG Argon Fill High Solar Gain low-E -Clear	2	0.25
ALU-005-27 A Sliding Door DG 013_AGG PRIME Clr 6_16_6	1.94	0.4

### Refer to NathERS Certificate for additional details:

Ceiling insulation penetrations and Glazing values

### Building Sealing

Exhaust fans to have self-closing dampers  
Air infiltration seals to external residence and garage internal doors  
Downlights to be IC rated & sealed if fitted (insulated over)

### Artificial lighting

	Max density	Floor area (m <sup>2</sup> )	Max. lamp (W)
Class 1 internal areas	5 W/m <sup>2</sup>	216.15	1080.8
Attached external areas	4 W/m <sup>2</sup>	73.25	294.1
Class 10a internal areas	3 W/m <sup>2</sup>	57.89	173.7

Perimeter lighting to be min. 40 Lumens/Watt or controlled by daylight sensors  
Refer to plans/builder for proposed wattages

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PEMBERTON 32

FACADE: HOMESTEAD

CLIENT:

ADDRESS: CA 2 SEC B, NO. 2027 PRINCES HIGHWAY

SUBURB: NOWA NOWA VIC 3887

JOB No: 2409TRA262 SHEET No: 01 of 23





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SITE AREA	BUILDING AREA	SITE COVERAGE
5.23 ha	347.57M <sup>2</sup>	N/A %
PAVING AREA	BLDG+PAV AREA	PERMEABILITY
N/A M <sup>2</sup>	347.57M <sup>2</sup>	N/A %
GARDEN AREA	GARDEN PER	POS
N/A M <sup>2</sup>	N/A %	N/A M <sup>2</sup>

HOUSE INFORMATION	
SITE CUT & FILL RL :	100.800M
HOUSE FFL	GARAGE FFL
101.140M	101.105M
SLAB TYPE	SLAB HEIGHT
WAFFLE	340mm

SITE CUT & FILL INFORMATION	
PROVIDE SITE CUT OF BUILDING PLATFORM	900 mm AND FILL OF 400 mm OVER
PROVIDE AN ADDITIONAL SITE SCAPE OF AREA TO SUIT A	35 mm STEPDOWN
BATTERS ARE TO BE PROVIDED AT A	45 ° ANGLE CUT AND 30 ° ANGLE FILL
IF SITE CUT IS GREATER THAN 300mm	RISER PIPES ARE TO BE PROVIDED AND CONNECTED TO STORMWATER
WHERE RETAINING WALLS ARE REQUIRED, AG DRAINS TO BE CONNECTED TO STORMWATER VIA SILT PITS	

### GENERAL NOTES

**TERMITE TREATMENT REQUIRED**  
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

**TOWN PLANNING REQUIRED**  
SITING SUBJECT TO TOWN PLANNING APPROVAL

**ALL WEATHER ACCESS ROAD**  
OWNER TO SUPPLY AND INSTALL AN ALL-WEATHER ACCESS TRACK WITH DIMENSIONS & TURNING CIRCLE TO SUIT HEAVY CONSTRUCTION VEHICLES PRIOR TO SITE START

**LEGAL POINT OF DISCHARGE**  
DISCHARGE DWELLING AND HARD SURFACE STORMWATER TO THE RAINWATER / CFA TANK WITH AN OVERFLOW PIPE CONNECTED TO A SOAKAWAY PIT LOCATED NO CLOSER THAN 6M FROM ANY BUILDING AND 3M FROM ANY PROPERTY LINE

**BOUNDARY FENCE(S)**  
- EXISTING 1.3M HIGH POLE AND WIRE FENCE, AND PALING FENCE

**NOTE**  
- THREE PHASE POWER  
- CLIENT TO INSTALL POWER PIT FOR POWER SUPPLY ONCE PLANNING PERMIT / PLAN OF COSOLIDATION COMPLETE  
- CONCRETE STOCKPILE TO BE REMOVED BY OWNER PRIOR TO SITE START

### BUSHFIRE ATTACK LEVEL (BAL)

**BAL 12.5/BMO** EMBER ATTACK

ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)

### WIND SPEED INFORMATION

THE MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: **N2-40 m/s**  
THE WIND SPEED CALCULATION IS HAS BEEN TAKEN FROM THE JOBSITE SPECIFIC SOIL REPORT  
OUR STANDARD HOMES ARE DESIGNED TO SUIT A WIND GUST SPEED OF 33 m/s

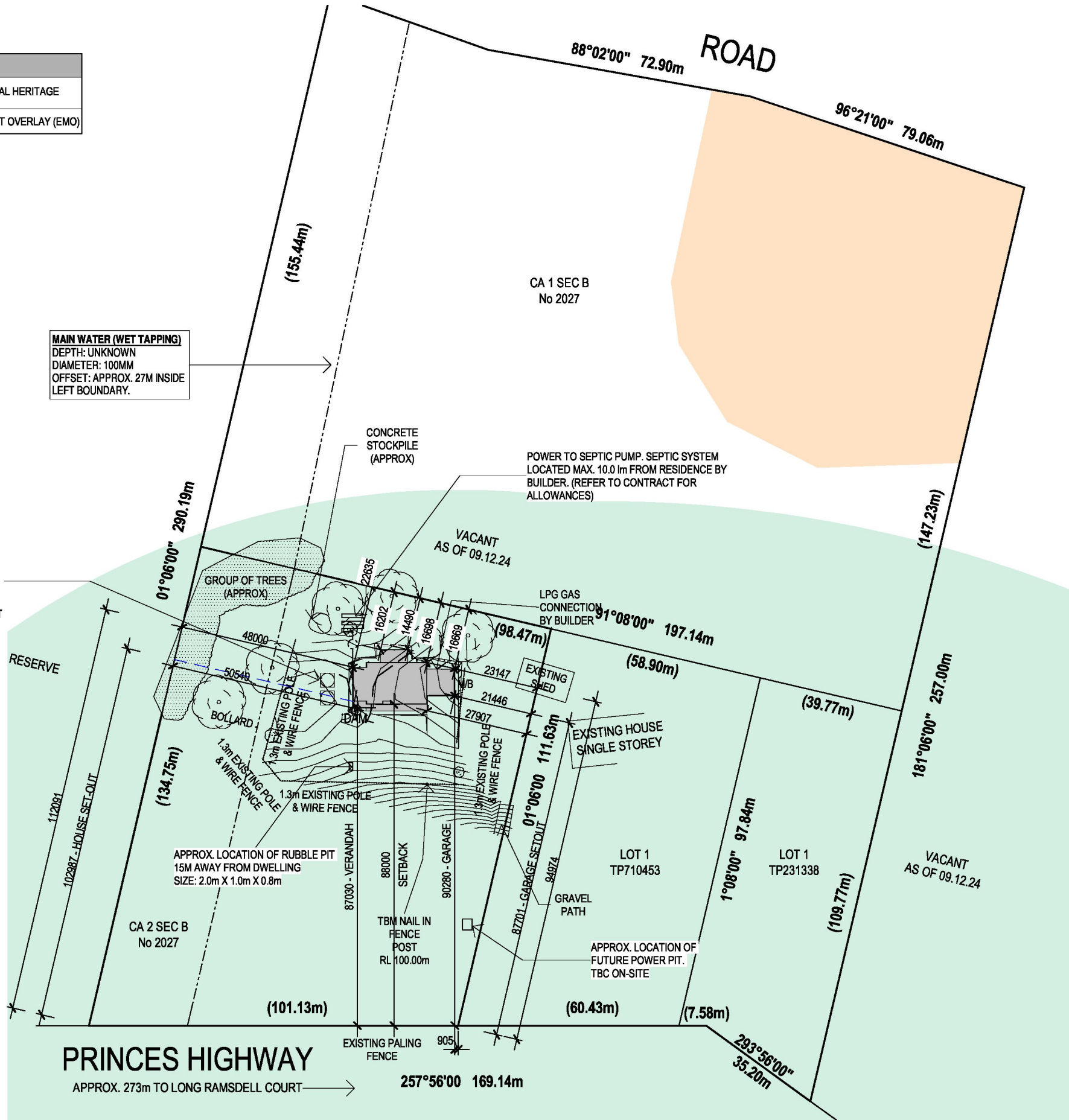
### SITE DRAINAGE INFORMATION

SITE DRAINAGE MUST COMPLY WITH NCC 3.1.2 DRAINAGE AND AS 3500 - 3 -2021 PLUMBING AND DRAINAGE  
GRADE ALL SURFACES AWAY FROM FOOTINGS WITH A MIN 1:20 FALL  
PROVIDE TEMPORARY DOWNPIPES CONNECTED TO STORMWATER AS SOON AS THE ROOF CLADDING IS COMPLETE. DURING CONSTRUCTION DOWNPIPES MAY BE REMOVED FOR OPERATION PROCEDURES  
ALL STORMWATER DRAINS ARE TO BE CONNECTED TO THE NOMINATED LEGAL POINT OF DISCHARGE  
REFER TO ENGINEERS DESIGN FOR STORMWATER DRAINAGE DESIGN AND LAYOUT

CLIENT	
ADDRESS	CA 2 SEC B, NO. 2027 PRINCES HIGHWAY
SUBURB	NOWA NOWA VIC 3887
JOB NO	2409TRA262
JOB DATE	20/01/2025
DRAWN	M-12
CHECKED	DL
PROJECT STAGE	CONTRACT
MASTER RELEASE DATE	10/09/2024
SHEET NO	02 of 23

Printed 22/07/2025

SITE PLAN LEGENDS	
	ABORIGINAL CULTURAL HERITAGE
	ERISON MANAGEMENT OVERLAY (EMO)

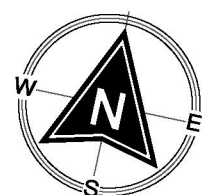


02x 22,500L STATIC WATER TANKS SUPPLIED AND INSTALLED BY OWNER  
FULL SEALED SYSTEM REQUIRED  
BUILDER TO PROVIDE WATER LINE TO HOME AND POWER PUMP  
FILLING OF TANK BY OWNER PRIOR TO HANDOVER.  
TANK SIZE TO BE CONFIRMED AFTER PLANNING PERMIT APPROVAL/CONDITIONS.

**MAIN WATER (WET TAPPING)**  
DEPTH: UNKNOWN  
DIAMETER: 100MM  
OFFSET: APPROX. 27M INSIDE LEFT BOUNDARY.

SURVEY LEGEND	
	SEWER MANHOLE
	ELECTRICITY PIT
	ELECTRICITY CABINET
	TBM
	WATER VALVE
	LIGHTPOLE
	GRADED PIT
	SIDE ENTRY PIT
	JUNCTION PIT
	UNKNOWN PIT
	TELSTRA PIT
	GAS METER
	WATER TAP
	WATER METER
	POWER POLE
	P.S.M.
	FIRE HYDRANT
	FIRE PLUG
	SEWER VENT
	SEWER INSPECTION SHAFT
	SIGN
	GAS VALVE
	EVERGREEN TREE
	HEIGHT 5m SPREAD 3m

LEGEND	
	PROPOSED FENCE
	PROPOSED WING FENCE
	PROPOSED FRONT FENCE
	EXISTING FENCE
REFER TO FENCES NOTE FOR HEIGHT & MATERIAL SPECIFICATIONS	
	100mm DIA. UPVC SEWER PIPE
	METER BOX POSITION
	EXTERNAL TAP
NOTE: 1 x EXTERNAL TAP TO BE WALL MOUNTED BY BUILDER. 1 x EXTERNAL TAP LOCATED NEXT TO WATER METER (LOCATION TBC)	



CLIENT ACKNOWLEDGEMENT	
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CLIENT 1:	DATE 1:
CLIENT 2:	DATE 2:
JGK BUILDER:	DATE 3:

SHEET TITLE		
<b>FULL SITE PLAN</b>		
HOUSE NAME	HAND	CATEGORY
PEMBERTON 32	RH	E
FACADE NAME		
HOMESTEAD		
SHEET SCALE	ORIGINAL SHEET SIZE	COPYRIGHT
1 : 1250	A3	2025
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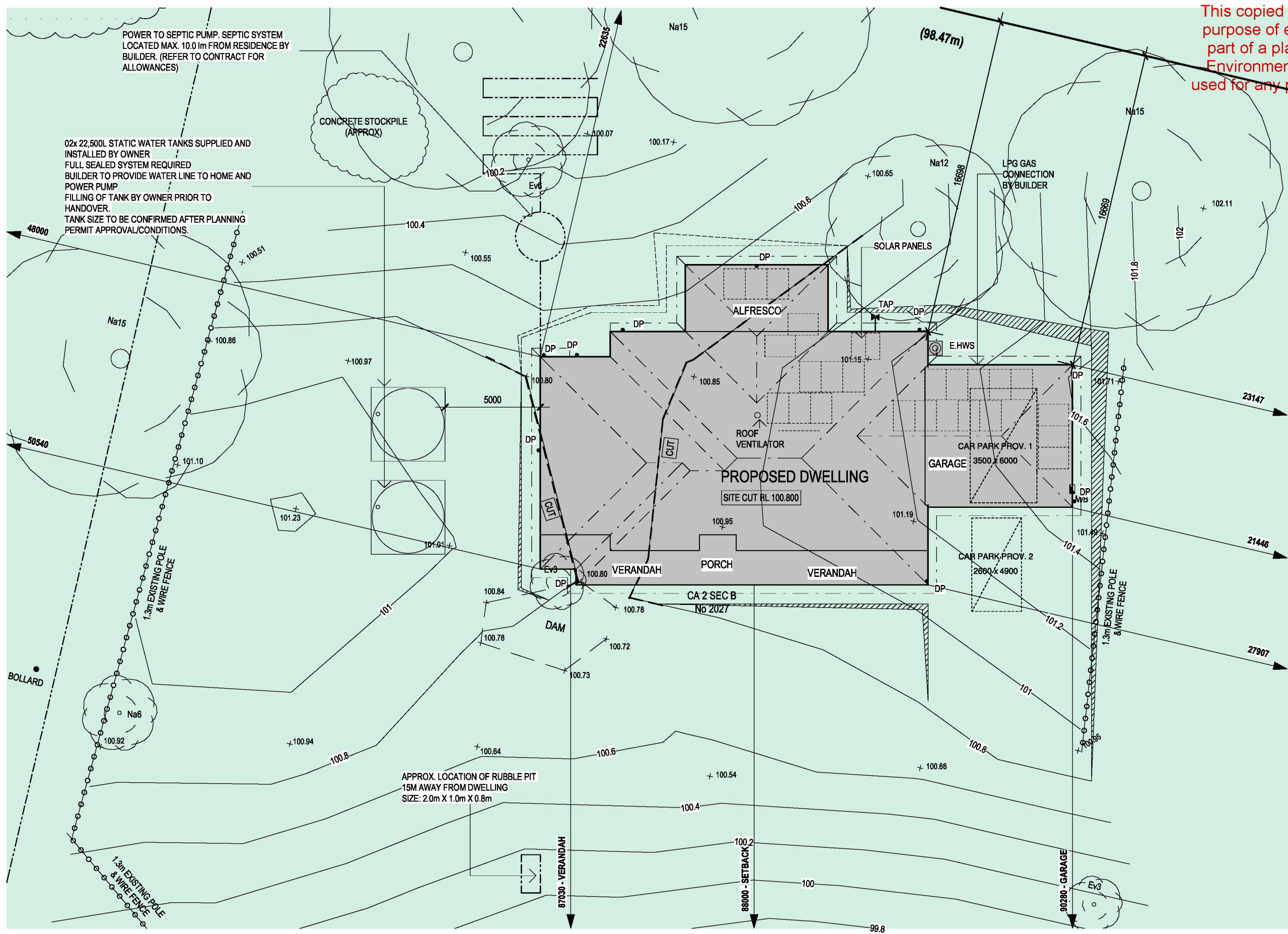
**John G. King**  
COLLECTION

**TRARALGON**

154 ARGYLE STREET,  
TRARALGON, VIC 3844  
T(03) 5175 5555



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SITE AREA	BUILDING AREA	SITE COVERAGE
5.23 ha	347.57 M <sup>2</sup>	N/A %
PAVING AREA	BLDG+PAV AREA	PERMEABILITY
N/A M <sup>2</sup>	347.57 M <sup>2</sup>	N/A %
GARDEN AREA	GARDEN PER	POS
N/A M <sup>2</sup>	N/A %	N/A M <sup>2</sup>

HOUSE INFORMATION	
SITE CUT & FILL RL : 100.800M	
HOUSE FFL	GARAGE FFL
101.140M	101.105M
SLAB TYPE	SLAB HEIGHT
WAFFLE	340mm

SITE CUT & FILL INFORMATION	
PROVIDE SITE CUT OF BUILDING PLATFORM	900 mm AND FILL OF 400 mm OVER
PROVIDE AN ADDITIONAL SITE SCAPE OF AREA TO SUIT A	35 mm STEPDOWN
BATTERS ARE TO BE PROVIDED AT A 45 ° ANGLE CUT AND 30 ° ANGLE FILL	
IF SITE CUT IS GREATER THAN 300mm RISER PIPES ARE TO BE PROVIDED AND CONNECTED TO STORMWATER	
WHERE RETAINING WALLS ARE REQUIRED, AG DRAINS TO BE CONNECTED TO STORMWATER VIA SILT PITS	

GENERAL NOTES	
TERMITE TREATMENT REQUIRED	
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660	
TOWN PLANNING REQUIRED	
SITING SUBJECT TO TOWN PLANNING APPROVAL	
ALL WEATHER ACCESS ROAD	
OWNER TO SUPPLY AND INSTALL AN ALL-WEATHER ACCESS TRACK WITH DIMENSIONS & TURNING CIRCLE TO SUIT HEAVY CONSTRUCTION VEHICLES PRIOR TO SITE START	
LEGAL POINT OF DISCHARGE	
DISCHARGE DWELLING AND HARD SURFACE STORMWATER TO THE RAINWATER / CFA TANK WITH AN OVERFLOW PIPE CONNECTED TO A SOAKAWAY PIT LOCATED NO CLOSER THAN 6M FROM ANY BUILDING AND 3M FROM ANY PROPERTY LINE	
BOUNDARY FENCE(S)	
- EXISTING 1.3M HIGH POLE AND WIRE FENCE, AND PALING FENCE	
NOTE	
- THREE PHASE POWER	
- CLIENT TO INSTALL POWER PIT FOR POWER SUPPLY ONCE PLANNING PERMIT / PLAN OF COSOLIDATION COMPLETE	
- CONCRETE STOCKPILE TO BE REMOVED BY OWNER PRIOR TO SITE START	

BUSHFIRE ATTACK LEVEL (BAL)	
BAL 12.5/BMO EMBER ATTACK	

ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)	
WIND SPEED INFORMATION	
THE MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: N2-40 m/s	
THE WIND SPEED CALCULATION IS HAS BEEN TAKEN FROM THE JOB/SITE SPECIFIC SOIL REPORT	
OUR STANDARD HOMES ARE DESIGNED TO SUIT A WIND GUST SPEED OF 33 m/s	

SITE DRAINAGE INFORMATION	
SITE DRAINAGE MUST COMPLY WITH NCC 3.1.2 DRAINAGE AND AS 3500 - 3 -2021 PLUMBING AND DRAINAGE	
GRADE ALL SURFACES AWAY FROM FOOTINGS WITH A MIN 1:20 FALL	
PROVIDE TEMPORARY DOWNPIPES CONNECTED TO STORMWATER AS SOON AS THE ROOF CLADDING IS COMPLETE. DURING CONSTRUCTION DOWNPIPES MAY BE REMOVED FOR OPERATION PROCEDURES	
ALL STORMWATER DRAINS ARE TO BE CONNECTED TO THE NOMINATED LEGAL POINT OF DISCHARGE	
REFER TO ENGINEERS DESIGN FOR STORMWATER DRAINAGE DESIGN AND LAYOUT	

SEWER MANHOLE

ELECTRICITY PIT

ELECTRICITY CABINET

TBM

WATER VALVE

LIGHTPOLE

GRATED PIT

SIDE ENTRY PIT

JUNCTION PIT

UNKNOWN PIT

TELSTRA PIT

GAS METER

WATER TAP

WATER METER

POWER POLE

P.S.M.

FIRE HYDRANT

FIRE PLUG

SEWER VENT

SEWER INSPECTION SHAFT

SIGN

GAS VALVE

EVERGREEN TREE

HEIGHT 5m

SPREAD 3m

PROPOSED FENCE

PROPOSED WING FENCE

PROPOSED FRONT FENCE

EXISTING FENCE

REFER TO FENCES NOTE FOR HEIGHT & MATERIAL SPECIFICATIONS

100mm DIA. UPVC SEWER PIPE

METER BOX POSITION

EXTERNAL TAP

NOTE: 1 x EXTERNAL TAP TO BE WALL MOUNTED BY BUILDER. 1 x EXTERNAL TAP LOCATED NEXT TO WATER METER (LOCATION TBC)

N

E

S

W

NORTH DIRECTION

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PART SITE PLAN		
HOUSE NAME	HAND	CATEGORY
PEMBERTON 32	RH	E
FACADE NAME		
HOMESTEAD		
SHEET SCALE	ORIGINAL SHEET SIZE	COPYRIGHT
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John G. King

COLLECTION

JG KING HOMES

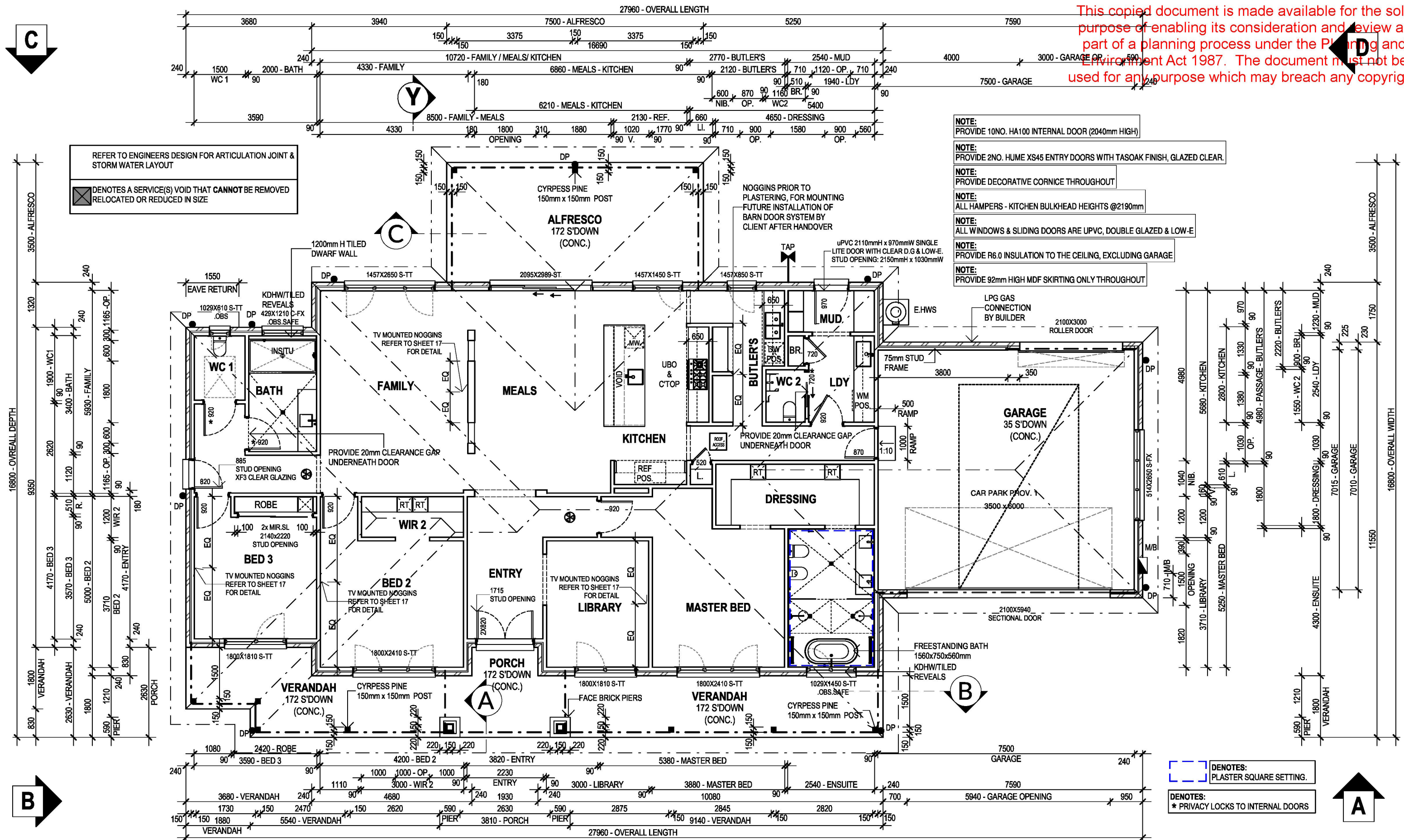
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TRARALGON, VIC 3844  
T(03) 5175 5555

TRARALGON

CLIENT	
ADDRESS	
CA 2 SEC B, NO. 2027 PRINCES HIGHWAY	
SUBURB	
NOWA NOWA VIC 3887	
JOB NO	JOB DATE
2409TRA262	20/01/2025
DRAWN	CHECKED
M-12	DL
MASTER RELEASE DATE	CONTRACT
10/09/2024	22/07/2025

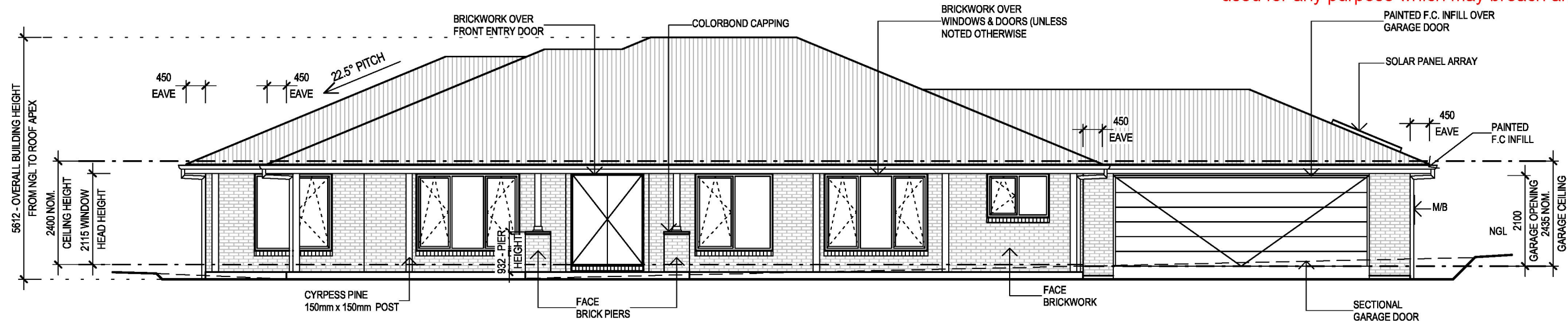


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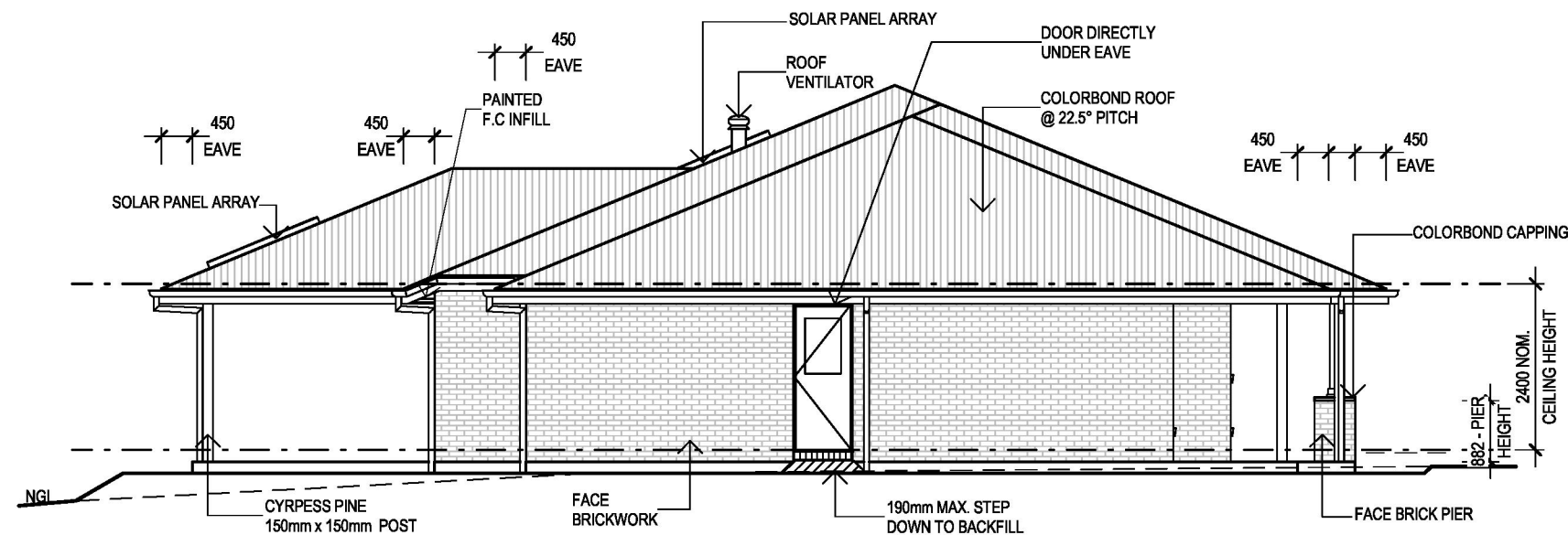


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## ELEVATION A

SCALE: 1 : 100



## ELEVATION B

SCALE: 1 : 100

### GENERAL NOTES

- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE)
- ALL GLAZING TO COMPLY WITH A.S. 1288 - 2021 (REFER TO ENERGY RATING FOR ALL GLAZING VALUES.) & A.S.2047-2014
- HWS : HOT WATER SYSTEM  
IHWS : INSTANTANEOUS HOT WATER SYSTEM  
M/B : METER BOX  
G : GAS METER

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CLIENT 1:

DATE 1:

CLIENT 2:

DATE 2:

JGK BUILDER:

DATE 3:

### SHEET TITLE

#### ELEVATIONS

HOUSE NAME  
**PEMBERTON 32**

HAND  
**RH**

CATEGORY  
**E**

FACADE NAME  
**HOMESTEAD**

SHEET SCALE  
**1 : 100**

ORIGINAL SHEET SIZE  
**A3**

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*John G. King*  
COLLECTION

TRARALGON

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TRARALGON, VIC 3844  
T(03) 5175 5555

### CLIENT

ADDRESS  
**CA 2 SEC B, NO. 2027 PRINCES HIGHWAY**

SUBURB  
**NOWA NOWA VIC 3887**

JOB NO  
**2409TRA262**

JOB DATE  
**20/01/2025**

DRAWN  
**M-12**

CHECKED  
**DL**

PROJECT STAGE  
**CONTRACT**

MASTER RELEASE DATE  
**10/09/2024**

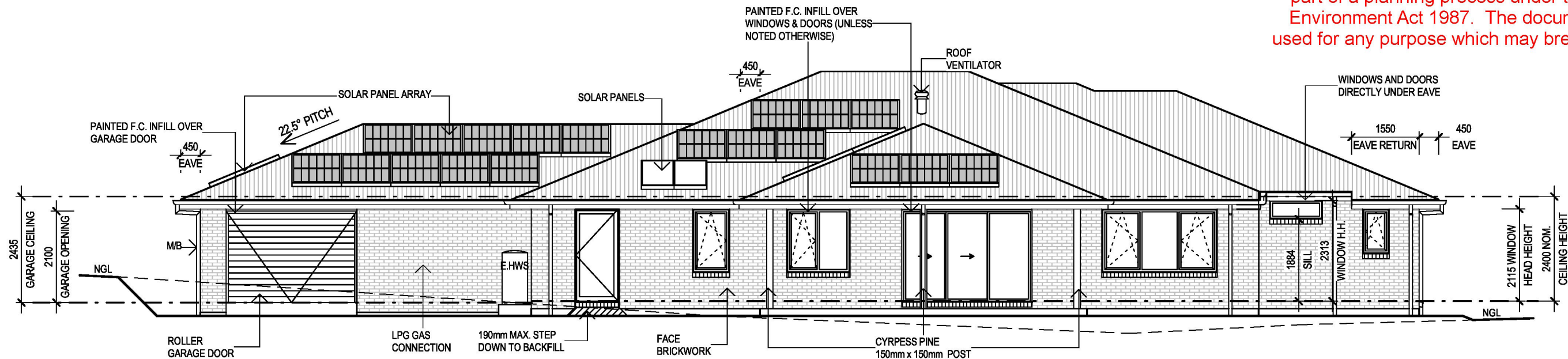
SHEET NO  
**03**

TOTAL SHEETS  
**23**

Printed 22/07/2025

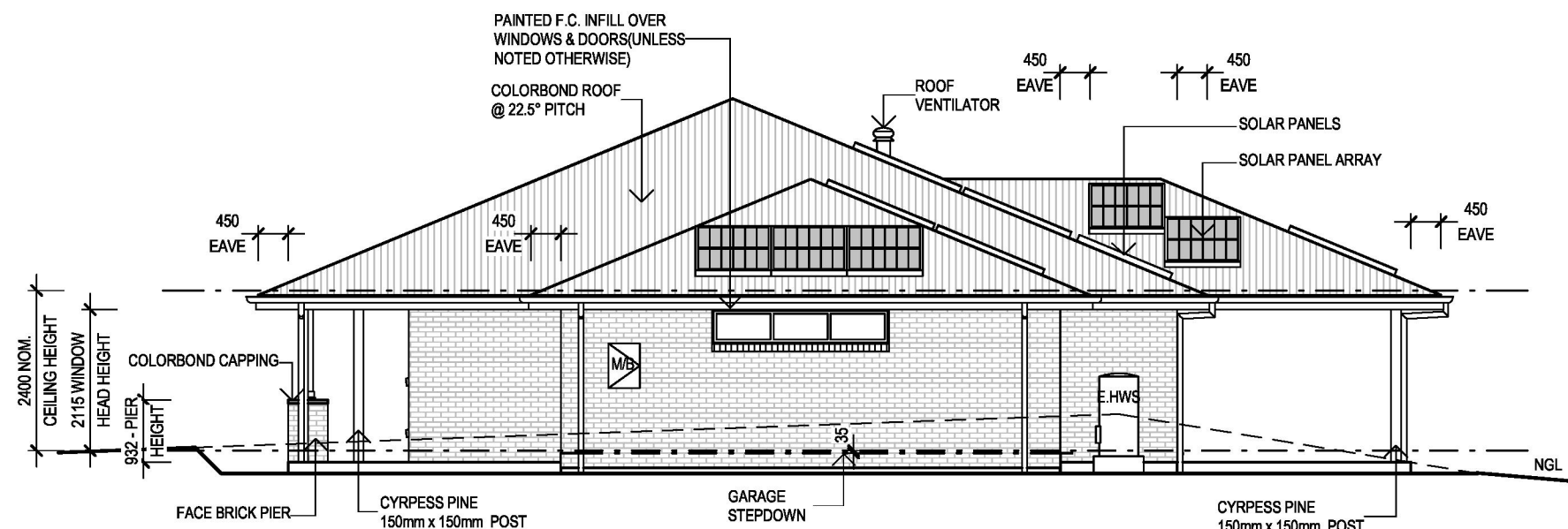
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## ELEVATION C

SCALE: 1 : 100

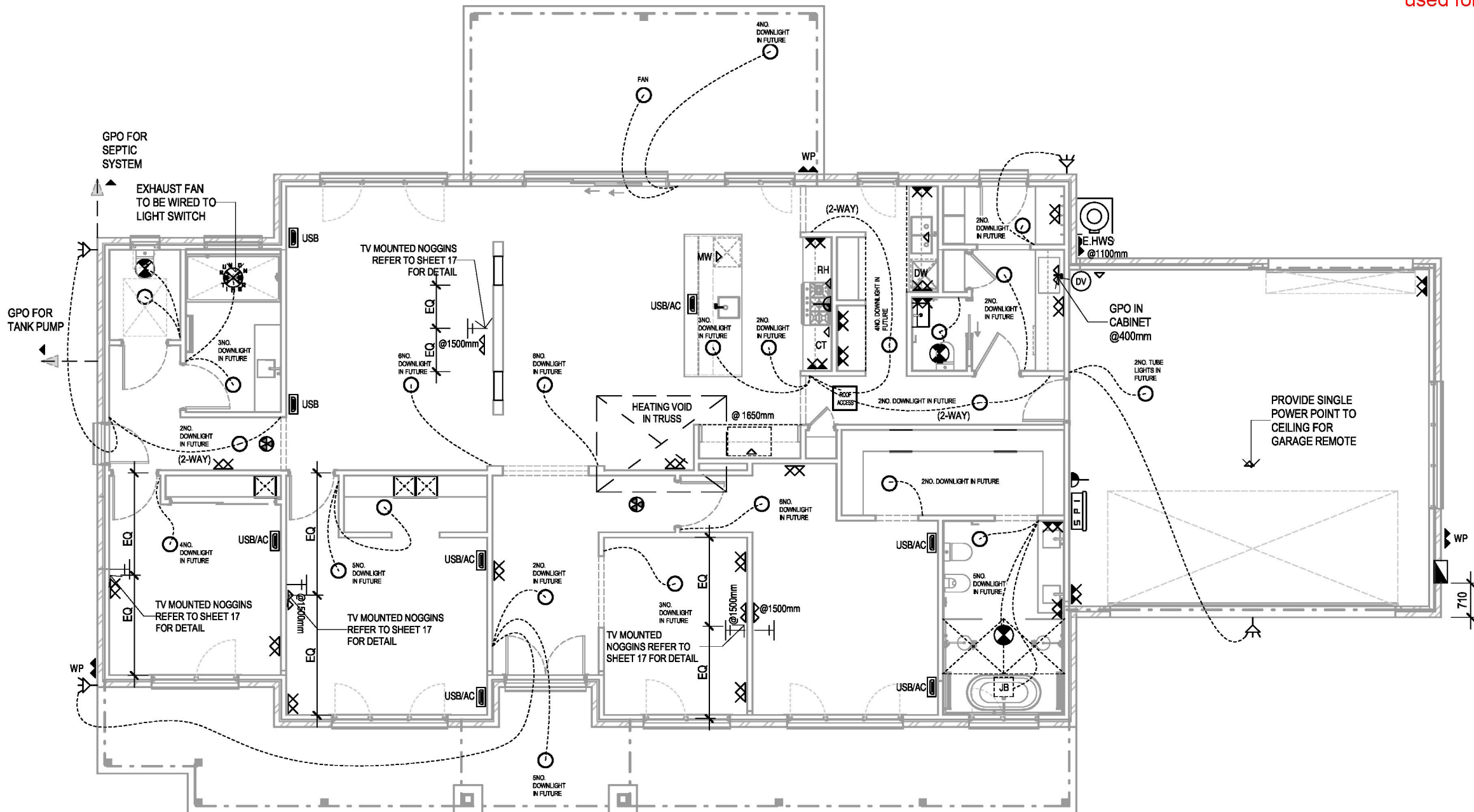


## ELEVATION D

SCALE: 1 : 100

<p><b>GENERAL NOTES</b></p> <ul style="list-style-type: none"> <li>WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE)</li> <li>ALL GLAZING TO COMPLY WITH A.S. 1288 - 2021 (REFER TO ENERGY RATING FOR ALL GLAZING VALUES.) &amp; A.S.2047-2014</li> <li>HWS : HOT WATER SYSTEM IHWS : INSTANTANEOUS HOT WATER SYSTEM M/B : METER BOX G : GAS METER</li> </ul>		<p><b>CLIENT ACKNOWLEDGEMENT</b></p> <p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<p><b>SHEET TITLE</b></p> <p><b>ELEVATIONS</b></p> <p>HOUSE NAME: <b>PEMBERTON 32</b> HAND: <b>RH</b> CATEGORY: <b>E</b></p> <p>FACADE NAME: <b>HOMESTEAD</b></p> <p>SHEET SCALE: <b>1 : 100</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2025</b></p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD*</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	<p><b>John G. King</b> COLLECTION</p> <p><b>TRARALGON</b></p> <p><b>JG KING HOMES</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p><b>CLIENT</b></p> <p>ADDRESS: <b>CA 2 SEC B, NO. 2027 PRINCES HIGHWAY</b></p> <p>SUBURB: <b>NOWA NOWA VIC 3887</b></p> <p>JOB NO: <b>2409TRA262</b> JOB DATE: <b>20/01/2025</b></p> <p>DRAWN: <b>M-12</b> CHECKED: <b>DL</b> PROJECT STAGE: <b>CONTRACT</b></p> <p>MASTER RELEASE DATE: <b>10/09/2024</b></p>
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## ARTIFICIAL LIGHTING

IN ACCORDANCE WITH NCC BUILDING CODE OF AUSTRALIA VOLUME 2 PART 2.12.5.5

Lighting Location	Actual
<b>Class 1 Building (5W/m<sup>2</sup>)</b> Residence	210
<b>Class 10 Building (3W/m<sup>2</sup>)</b> Garage/Carport	10
<b>External Lighting (4W/m<sup>2</sup>)</b> Verandah/Porch/Alfresco/Balcony	30
<b>Total</b>	<b>250</b>

LEGEND OF SYMBOLS		FITTING WATTAGE	QTY
	DOUBLE GPO-INTERNAL @ 300 mm	N/A	12
	DOUBLE GPO-INTERNAL @ 1100 mm	N/A	3
	SINGLE GPO-INTERNAL (HEIGHT VARIES)	N/A	7
	DOUBLE GPO-INTERNAL (HEIGHT VARIES)	N/A	5
	SINGLE GPO WEATHER PROOF - EXTERNAL (HEIGHT VARIES)	N/A	2
	DOUBLE GPO WEATHER PROOF - EXTERNAL (HEIGHT VARIES)	N/A	4
	DIRECT WIRE (APPLIANCE)	N/A	2
	CEILING LIGHT BATTEN HOLDER	10W	26
	LIGHT (EXTERNAL)-MIN. 40L/W HT. VARIES (1978mm FROM FINISH FLOOR LEVEL)	10W	4
	10AMP JUNCTION BOX IN ROOF SPACE	N/A	1
	2-WAY LIGHT SWITCH	N/A	3
	SMOKE ALARM	N/A	2
	ELECTRIC HOT WATER SERVICE	N/A	1
	EXHAUST FAN (SELF CLOSING)	N/A	3
	EXHAUST FAN (10min RUN ON TIMER)		1
	METER BOX	N/A	1
	DUCTED VAC SYSTEM	N/A	1
	T.V. COAXIAL POINT @300mm	N/A	5
	HEATING VOID IN TRUSS INCLUDING DOUBLE POWER POINT (INCLUDED IN VALUES ABOVE) **EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION)	N/A	1
	ROOF ACCESS (PROVIDE SINGLE BATTEN LIGHT WITHIN 1.6 M OF ROOF ACCESS, INCLUDED IN VALUES ABOVE)	N/A	1
	USB SOCKET	N/A	8
	SOLAR POWER INVERTER (INCLUDES POWER SUPPLY)	N/A	1
<b>NOTE:</b> THREE PHASE POWER			

GENERAL NOTES	
•	BOTTOM OF METER BOX TO BE 1100mm ABOVE GROUND LEVEL.
•	HEIGHTS MEASURED FROM FLOOR LEVEL TO CENTER OF FITTING UNLESS NOTED OTHERWISE
•	UNLESS NOTED OTHERWISE ALL POWER POINTS ARE TO BE LOCATED TO THE NEAREST STUD
•	POWER POINTS FOR APPLIANCES ARE TO SUIT MANUFACTURERS REQUIREMENTS
•	SOLAR PANEL LOCATION NOMINAL ONLY, INSTALLERS TO LOCATE (EXCLUDING FRONT ELEVATION) TO COMPLY WITH MANUFACTURERS REQUIREMENTS & AS/NZS 3600 PLUMBING AND DRAINAGE
•	DENOTES HARDWIRED INTERCONNECTED SMOKE ALARM(S) WITH BATTERY BACKUP AS PER NCC 2022 PART 9.5 & TO COMPLY WITH AS3786.

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JGK BUILDER:	DATE 3:

SHEET TITLE		
<b>ELECTRICAL PLAN</b>		
HOUSE NAME	HAND	CATEGORY
<b>PEMBERTON 32</b>	<b>RH</b>	<b>E</b>
FACADE NAME		
<b>HOMESTEAD</b>		
SHEET SCALE	ORIGINAL SHEET SIZE	COPYRIGHT
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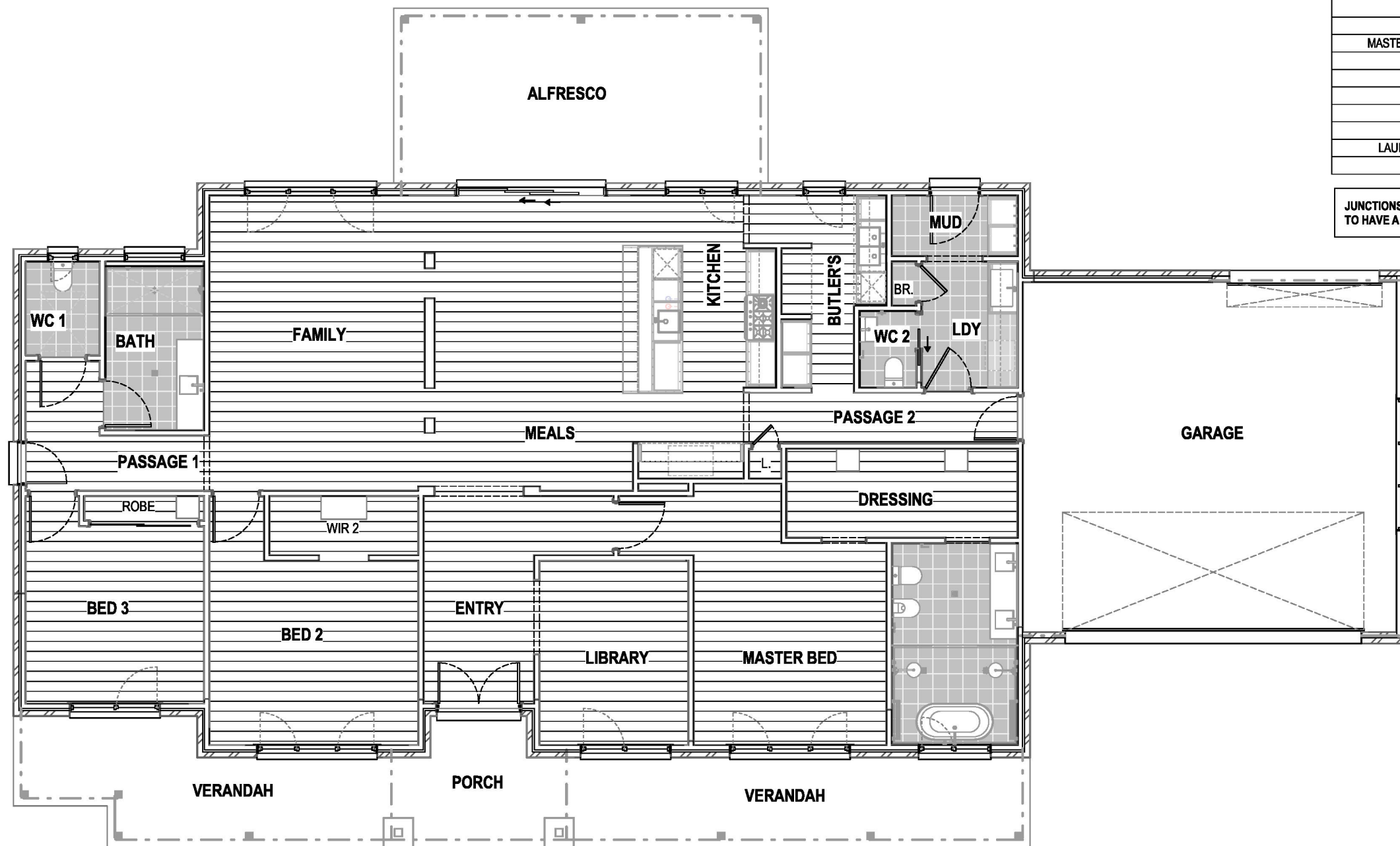


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## FLOOR COVERING SCHEDULE

LOCATION	MATERIAL	AREA
ENTRY	VINYL	11.29 m <sup>2</sup>
FAMILY - MEALS - KITCHEN - BUTLER'S	VINYL	66.86 m <sup>2</sup>
PASSAGE 2 - LINEN	VINYL	6.02 m <sup>2</sup>
PASSAGE 1	VINYL	6.46 m <sup>2</sup>
LIBRARY	VINYL	11.16 m <sup>2</sup>
MASTER BED - DRESSING	VINYL	27.51 m <sup>2</sup>
BED 2	VINYL	20.07 m <sup>2</sup>
BED 3	VINYL	14.56 m <sup>2</sup>
WC1	TILES	2.82 m <sup>2</sup>
BATH	TILES	6.73 m <sup>2</sup>
ENSUITE	TILES	10.18 m <sup>2</sup>
LAUNDRY - MUD - BR.	TILES	7.46 m <sup>2</sup>
WC 2	TILES	1.77 m <sup>2</sup>

JUNCTIONS / TRANSITIONS BETWEEN DIFFERENT FLOOR COVERINGS  
TO HAVE A SILL DIFFERENCE IN HEIGHT ≤ 5mm



## GENERAL NOTES

- THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3958.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY
- FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY & ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS
- NOTE : FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

## FLOOR FINISHES LEGEND

	CARPET		TILES
	VINYL		LAMINATE
	FLOOR BOARDS		

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## SHEET TITLE

## FLOOR FINISHES PLAN

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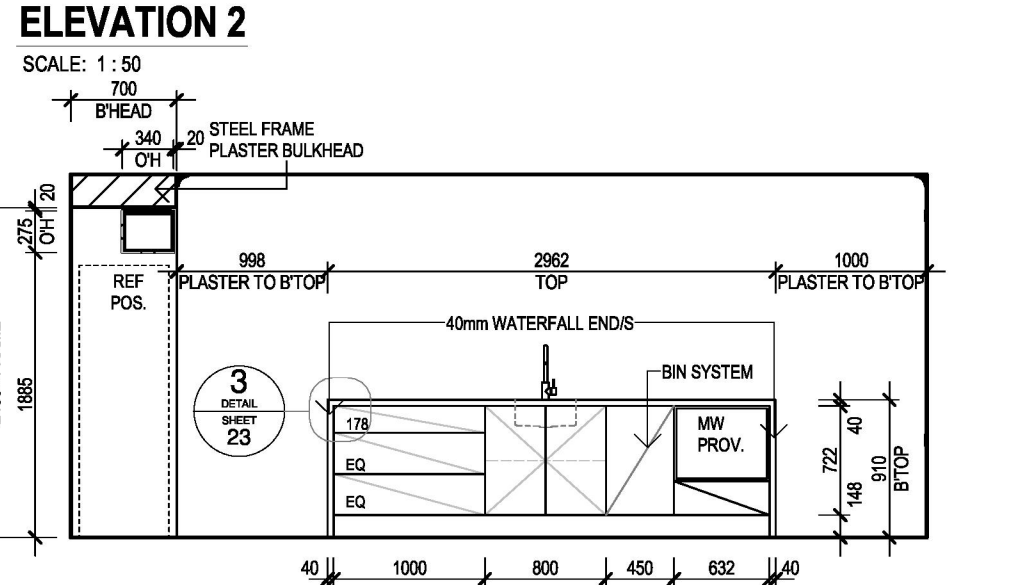
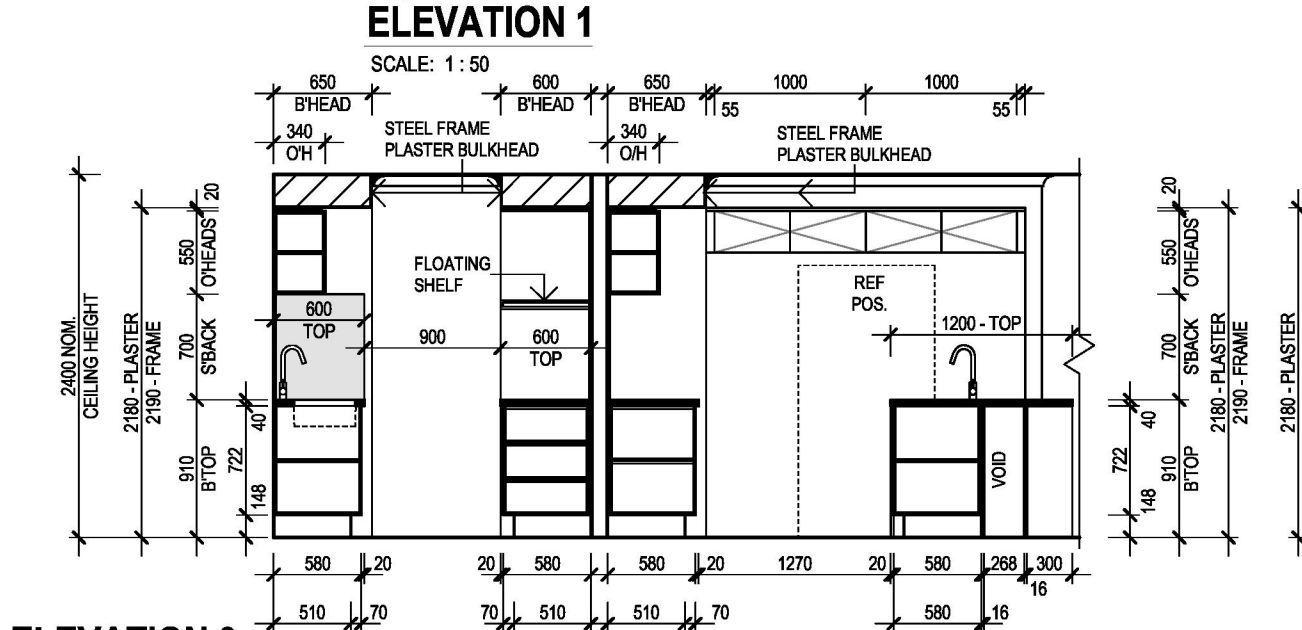
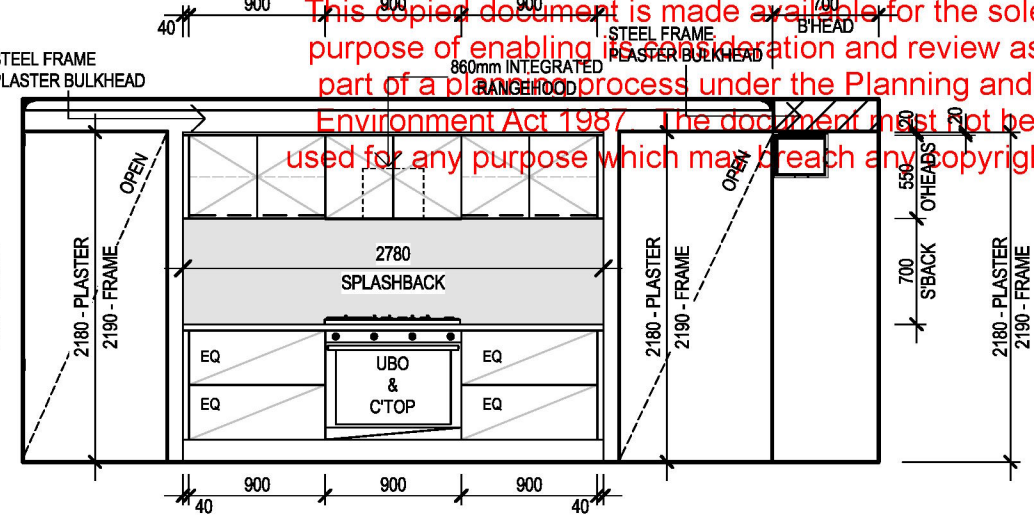
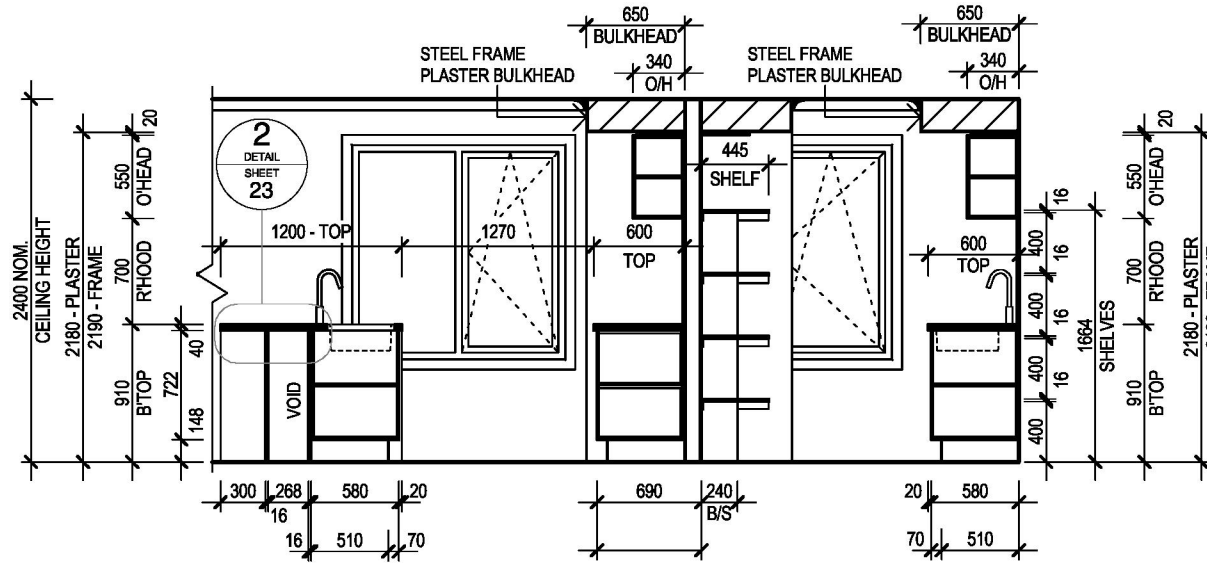
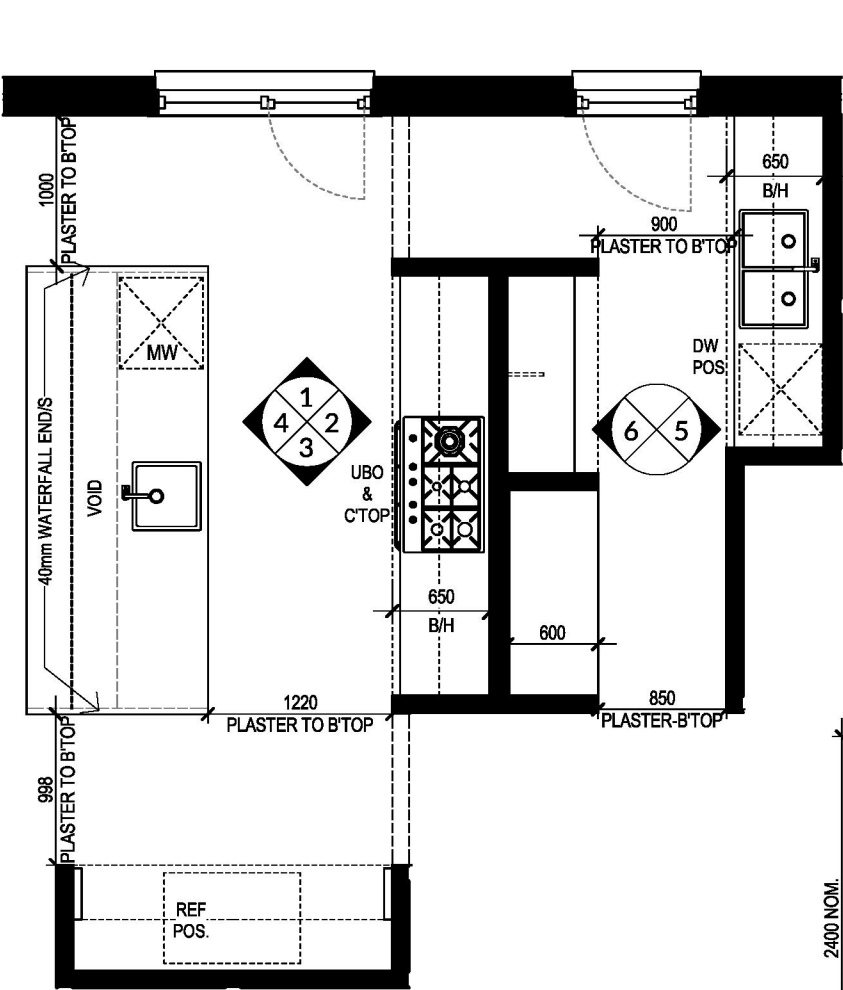
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JOB NO	2409TRA262
DRAWN	M-12
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PROJECT STAGE	CONTRACT

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### KITCHEN BENCHTOP DETAILS

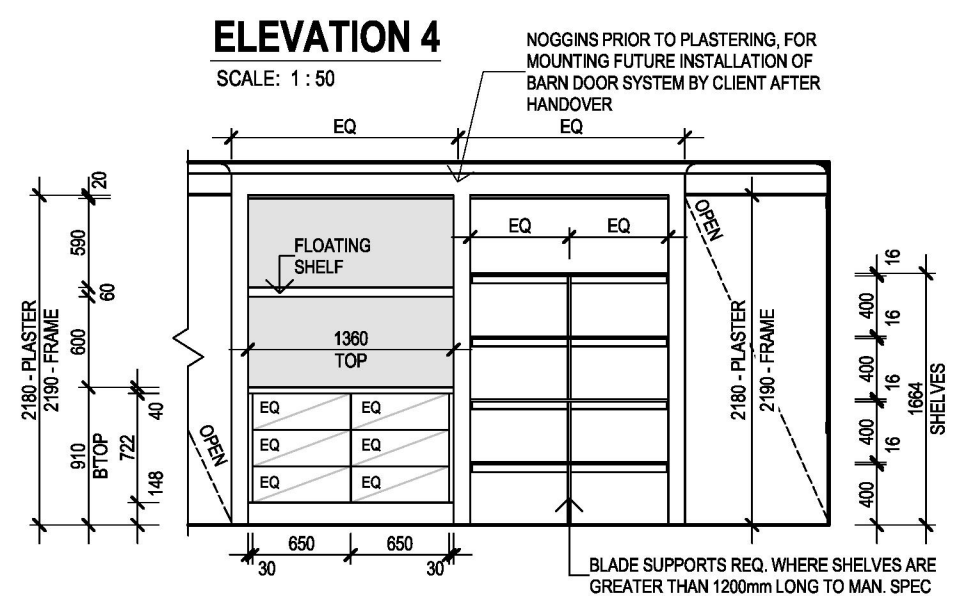
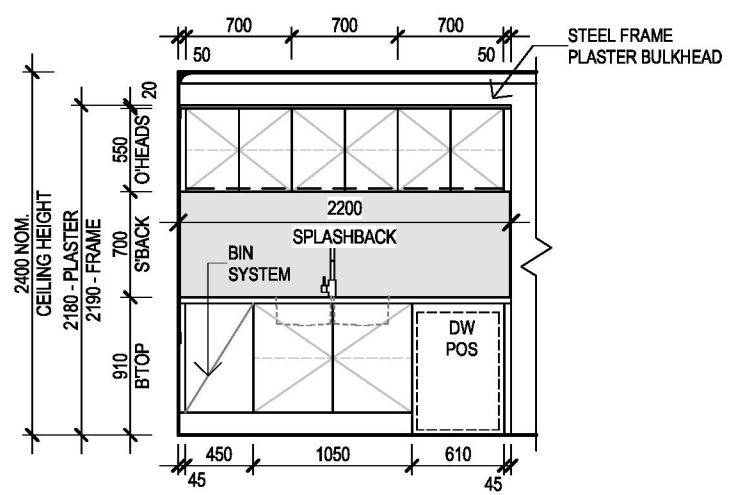
- 40mm STONE BENCHTOP TO KITCHEN
  - 40mm STONE BENCHTOP TO BUTLER'S
  - 20mm OVERHANG
  - NO SHADOW LINE
- REFER TO DETAILS ON SHEET 21

**NOTE:**  
REFER TO SHEET 19 FOR KITCHEN BULKHEAD DETAIL

- NOTE:**
- PROVIDE 20NO. SOFT CLOSE JOINERY DOOR
  - PROVIDE 14NO. SOFT CLOSE DRAWER

**DENOTE:**

- ——— PROVIDE NO HANDLES TO OVERHEAD CUPBORAD DOORS (20mm EXTENSION TO DOOR FACE)



**GENERAL NOTES**

- ALL TILE & CABINETRY DIMENSIONS ARE APPROXIMATE ONLY & MAY ALTER TO SUIT
- ALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME
- REFER TO COLOUR DOCUMENTATION FOR HANDLE LOCATIONS WHERE APPLICABLE

**CLIENT ACKNOWLEDGEMENT**

I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.

CLIENT 1: DATE 1:

CLIENT 2: DATE 2:

JGK BUILDER: DATE 3:

**SHEET TITLE**

**KITCHEN INTERNALS**

HOUSE NAME: **PEMBERTON 32** HAND: **RH** CATEGORY: **E**

FACADE NAME: **HOMESTEAD**

SHEET SCALE: **1 : 50** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2025**

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DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS



**CLIENT**

ADDRESS: **CA 2 SEC B, NO. 2027 PRINCES HIGHWAY**

SUBURB: **NOWA NOWA VIC 3887**

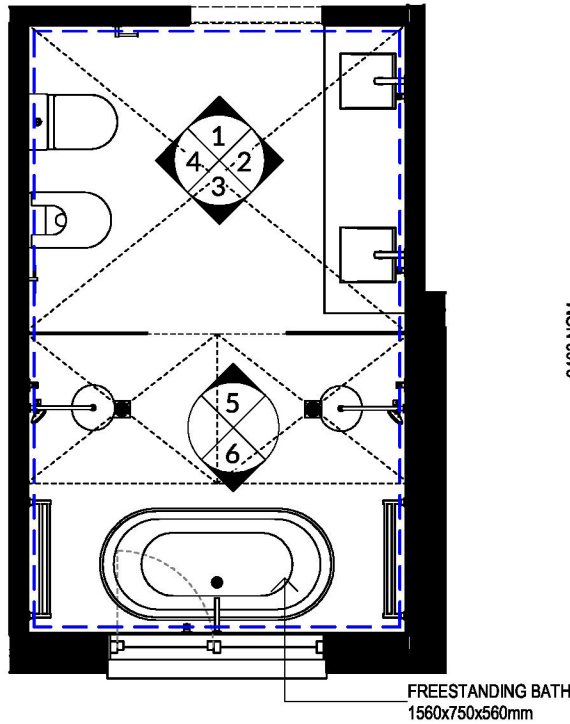
JOB NO: **2409TRA262** JOB DATE: **20/01/2025**

DRAWN: **M-12** CHECKED: **DL** PROJECT STAGE: **CONTRACT**

MASTER RELEASE DATE: **10/09/2024**

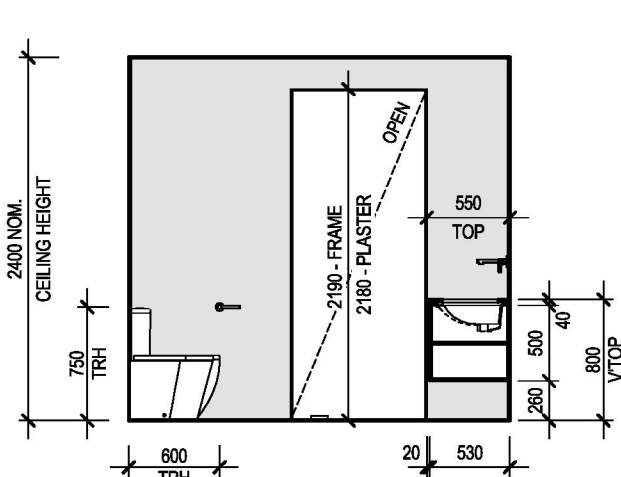


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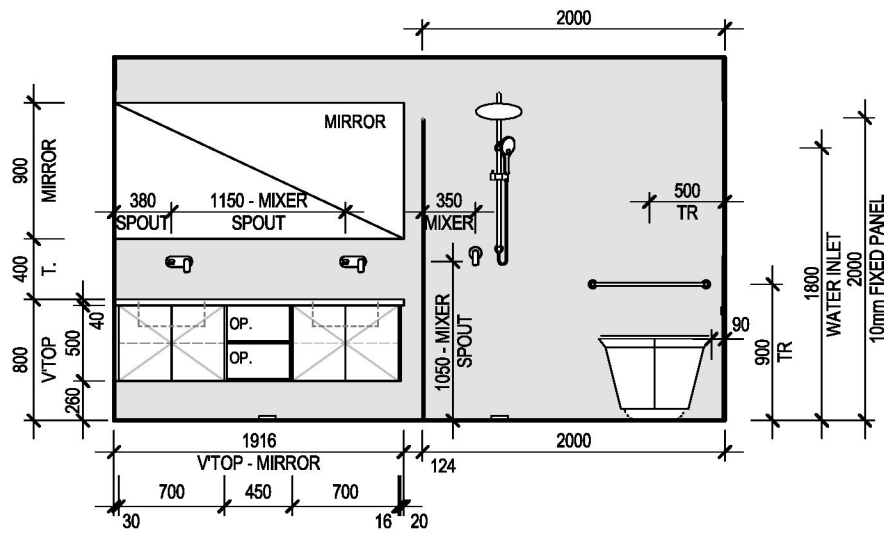
## ENSUITE PLAN

SCALE: 1 : 50



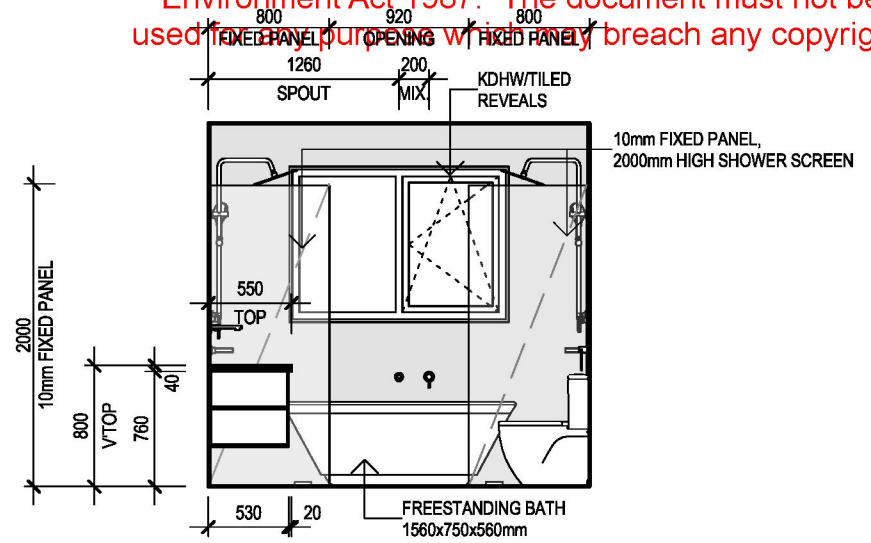
## ELEVATION 1

SCALE: 1 : 50



## ELEVATION 2

SCALE: 1 : 50



## ELEVATION 3

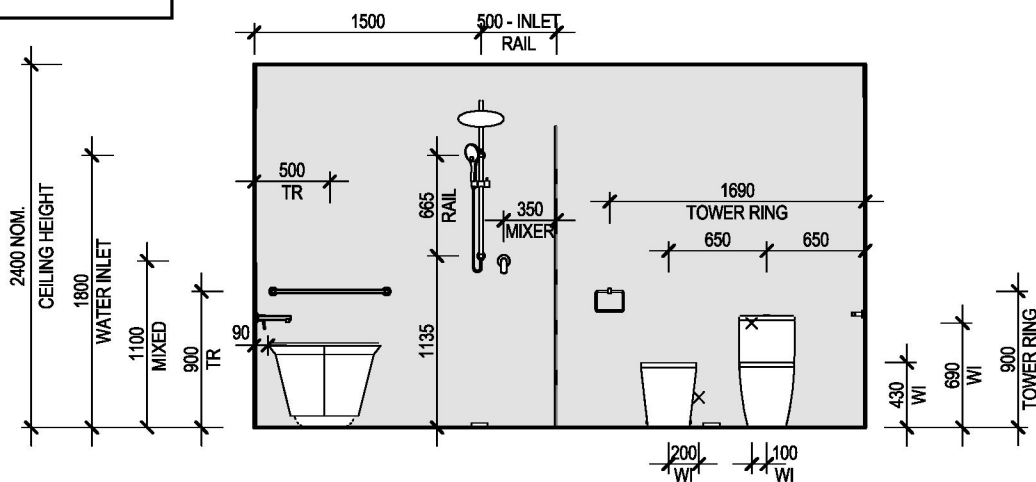
SCALE: 1 : 50

### ENSUITE BENCHTOP DETAILS

- 40mm STONE BENCHTOP TO KITCHEN
- 40mm STONE BENCHTOP TO BUTLER'S
- 20mm OVERHANG
- NO SHADOW LINE

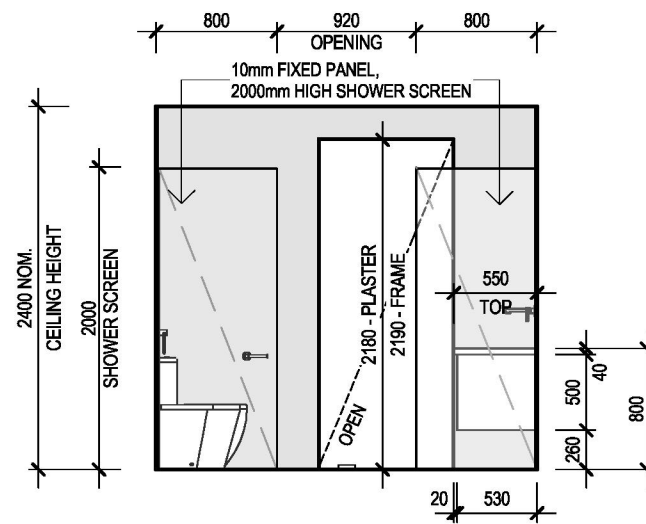
**DENOTES:**  
PLASTER SQUARE SETTING.

**NOTE:**  
- PROVIDE 4NO. SOFT CLOSE JOINERY DOOR



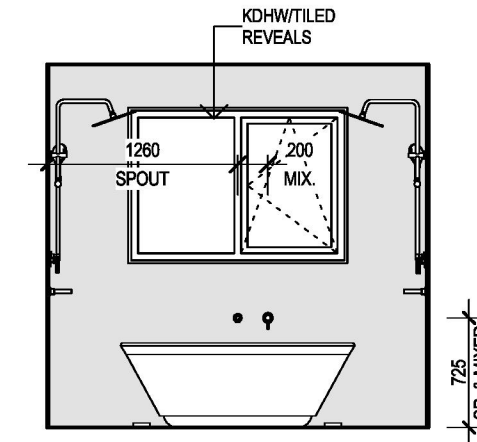
## ELEVATION 4

SCALE: 1 : 50




## ELEVATION 5

SCALE: 1 : 50



## ELEVATION 6

SCALE: 1 : 50

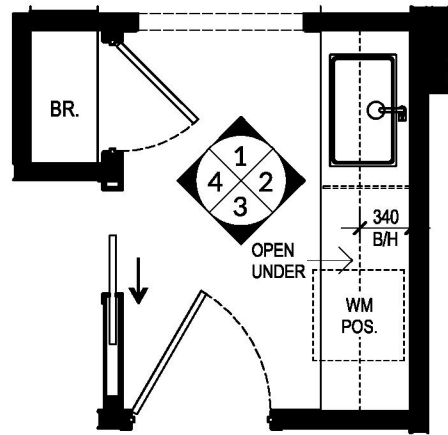
<b>GENERAL NOTES</b> <ul style="list-style-type: none"> <li>• ALL TILE &amp; CABINETRY DIMENSIONS ARE APPROXIMATE ONLY &amp; MAY ALTER TO SUIT</li> <li>• ALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME</li> <li>• REFER TO COLOUR DOCUMENTATION FOR HANDLE LOCATIONS WHERE APPLICABLE</li> </ul>		<b>CLIENT ACKNOWLEDGEMENT</b>  I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.  CLIENT 1: _____ DATE 1: _____  CLIENT 2: _____ DATE 2: _____  JGK BUILDER: _____ DATE 3: _____	<b>SHEET TITLE</b> <b>ENSUITE INTERNAL</b> HOUSE NAME: <b>PEMBERTON 32</b> HAND: <b>RH</b> CATEGORY: <b>E</b> FACADE NAME: <b>HOMESTEAD</b> SHEET SCALE: <b>1 : 50</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2025</b> <small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small> <small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small>	 <b>John G. King</b> COLLECTION <b>TRARALGON</b> 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555	<b>CLIENT</b> ADDRESS: <b>CA 2 SEC B, NO. 2027 PRINCES HIGHWAY</b> SUBURB: <b>NOWA NOWA VIC 3887</b> JOB NO: <b>2409TRA262</b> JOB DATE: <b>20/01/2025</b> DRAWN: <b>M-12</b> CHECKED: <b>DL</b> PROJECT STAGE: <b>CONTRACT</b> MASTER RELEASE DATE: <b>10/09/2024</b>
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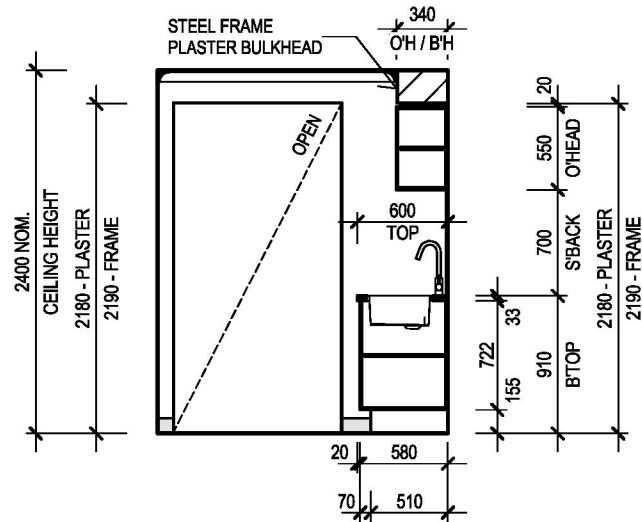
SCALE: 1 : 50

Page 88 of 100

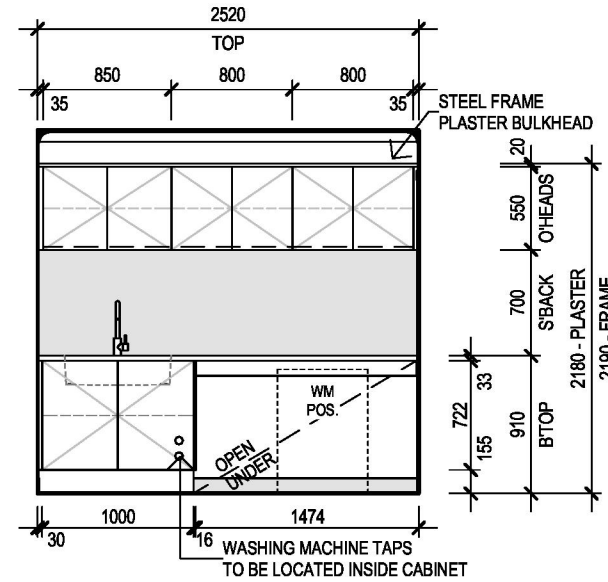


**LAUNDRY PLAN**

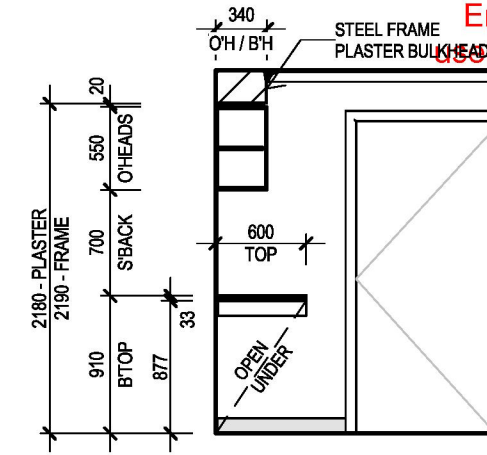
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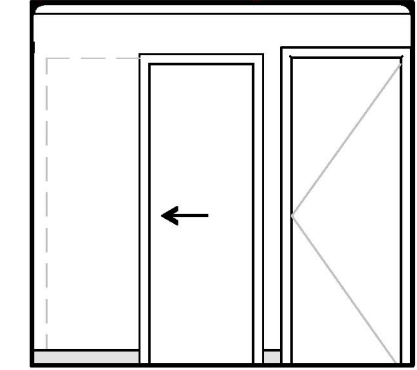
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**ELEVATION 2**

SCALE: 1 : 50

**ELEVATION 3**

SCALE: 1 : 50

**ELEVATION 4**

SCALE: 1 : 50

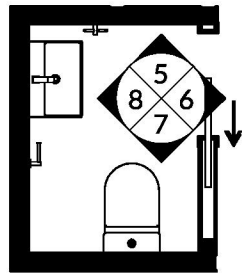
**LAUNDRY BENCHTOP DETAILS**

- 33mm LAMINATE BENCHTOP
- 20mm OVERHANG
- NO SHADOWLINE

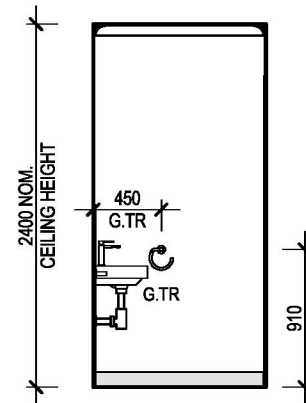
**NOTE:**  
REFER TO SHEET 19 FOR KITCHEN BULKHEAD DETAIL

**NOTE:**  
- PROVIDE 9NO. SOFT CLOSE JOINERY DOOR

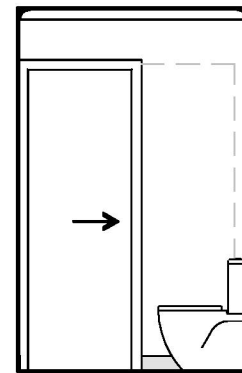
**DENOTE:**  
- — — PROVIDE NO HANDLES TO OVERHEAD CUPBORAD DOORS (20mm EXTENSION TO DOOR FACE)

**WC2 PLAN**

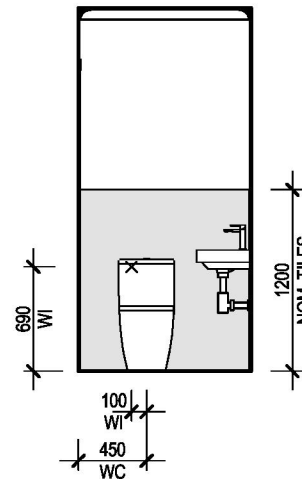
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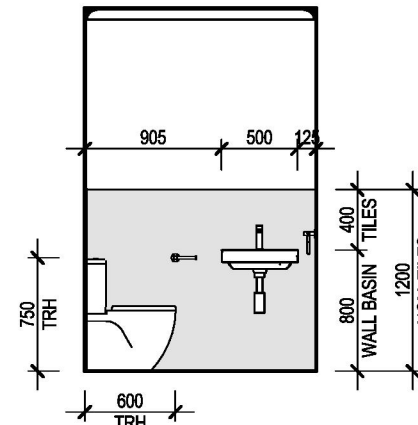
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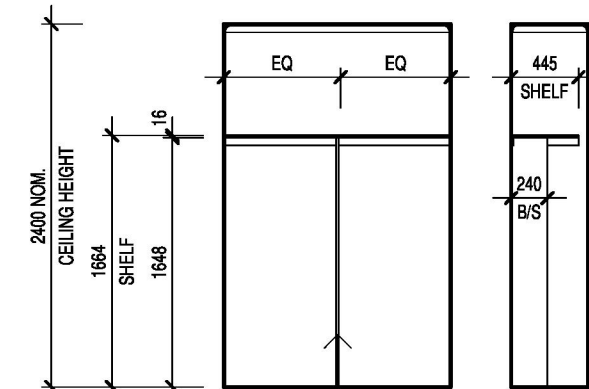
SCALE: 1 : 50

**ELEVATION 7**

SCALE: 1 : 50


**ELEVATION 8**

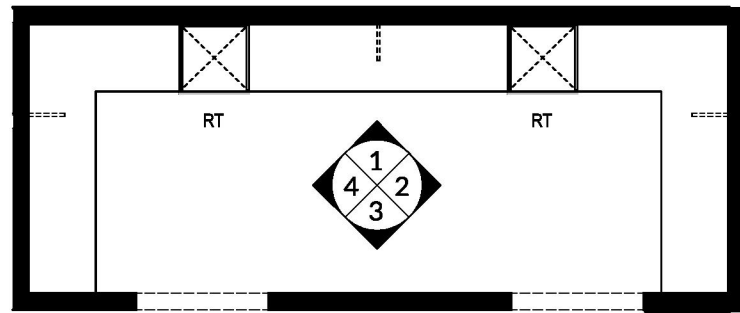
SCALE: 1 : 50

**BROOM - TYPICAL**

SCALE: 1 : 50

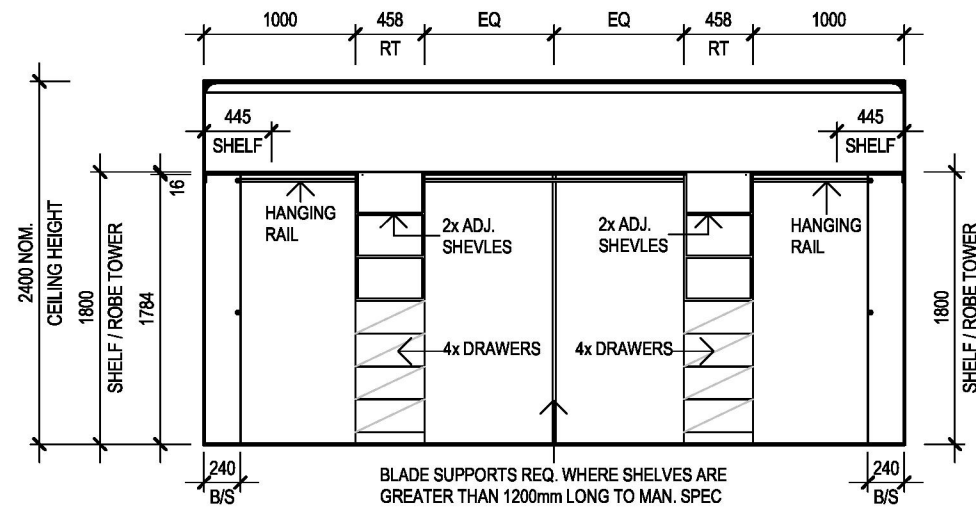
BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC

<b>GENERAL NOTES</b> <ul style="list-style-type: none"> <li>• ALL TILE &amp; CABINETRY DIMENSIONS ARE APPROXIMATE ONLY &amp; MAY ALTER TO SUIT</li> <li>• ALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME</li> <li>• REFER TO COLOUR DOCUMENTATION FOR HANDLE LOCATIONS WHERE APPLICABLE</li> </ul>		<b>CLIENT ACKNOWLEDGEMENT</b> I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.  CLIENT 1: _____ DATE 1: _____  CLIENT 2: _____ DATE 2: _____  JGK BUILDER: _____ DATE 3: _____	<b>SHEET TITLE</b> <b>L'DRY &amp; WC 2 INTERNALS</b> HOUSE NAME: <b>PEMBERTON 32</b> HAND: <b>RH</b> CATEGORY: <b>E</b> FACADE NAME: <b>HOMESTEAD</b> SHEET SCALE: <b>1 : 50</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2025</b> <small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small> <small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small>	 <b>John G. King</b> COLLECTION <b>TRARALGON</b> 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555	<b>CLIENT</b> ADDRESS: <b>CA 2 SEC B, NO. 2027 PRINCES HIGHWAY</b> SUBURB: <b>NOWA NOWA VIC 3887</b> JOB NO: <b>2409TRA262</b> JOB DATE: <b>20/01/2025</b> DRAWN: <b>M-12</b> CHECKED: <b>DL</b> PROJECT STAGE: <b>CONTRACT</b> MASTER RELEASE DATE: <b>10/09/2024</b>
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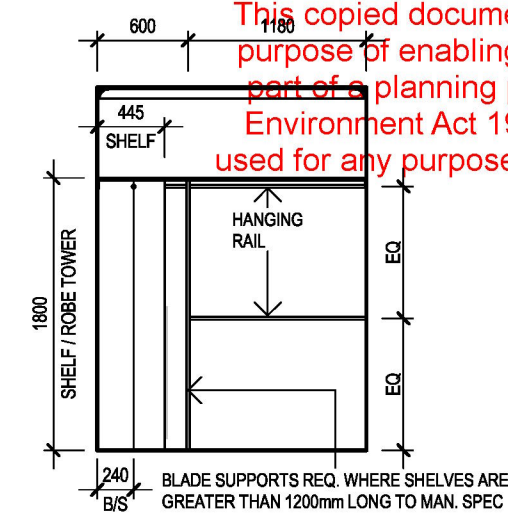
## DRESSING PLAN

SCALE: 1 : 50



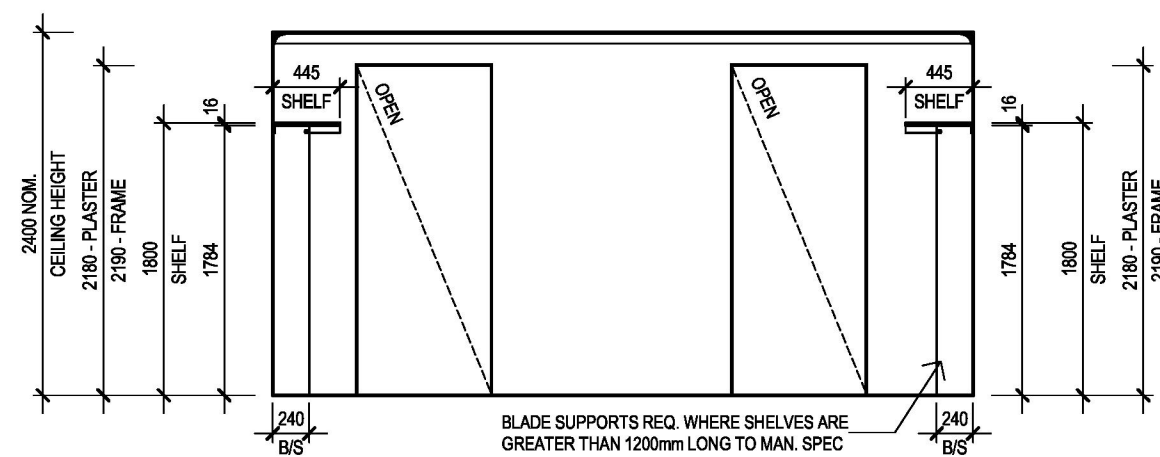
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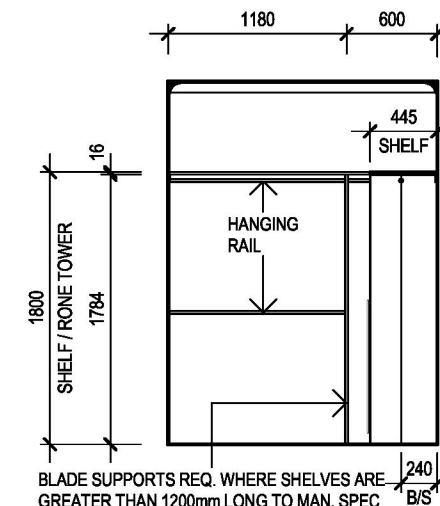
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SCALE: 1 : 50



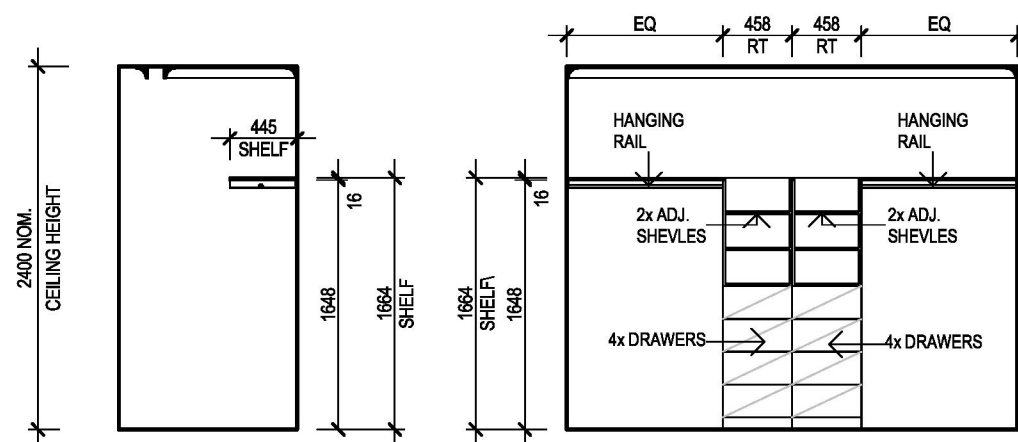
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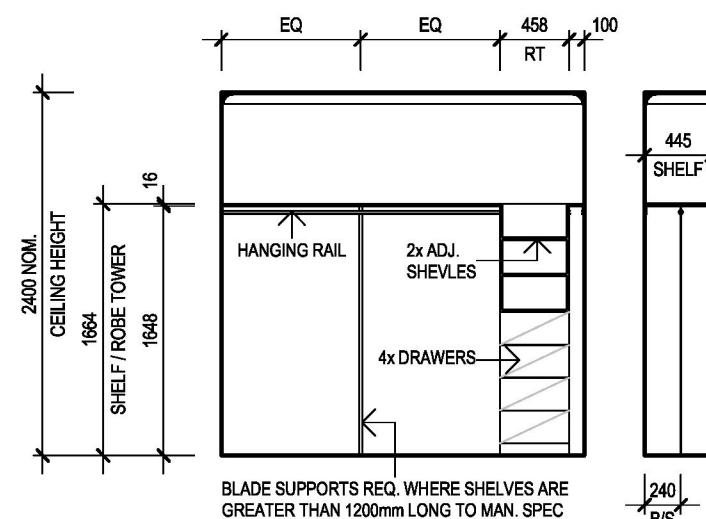
## ELEVATION 4

SCALE: 1 : 50



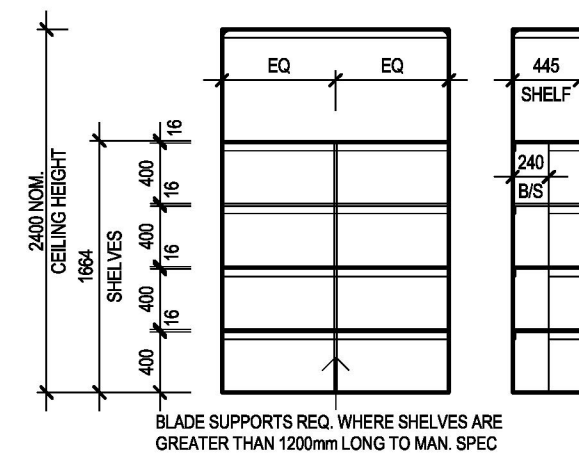
## WIR 2 - BED 2

SCALE: 1 : 50



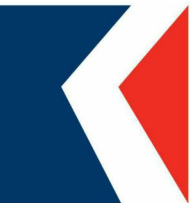
## ROBE - BED 3

SCALE: 1 : 50

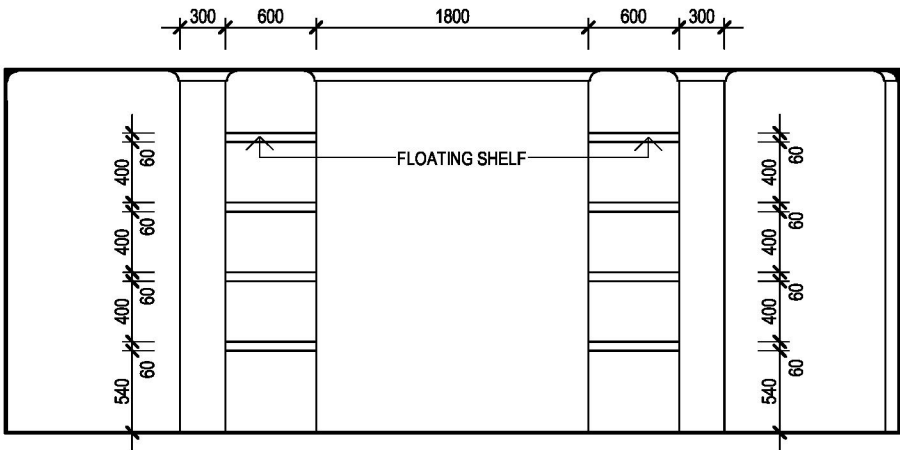
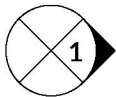
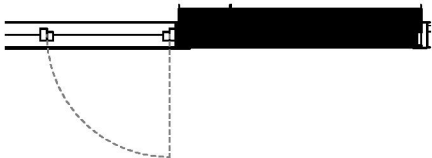


## LINEN - TYPICAL

SCALE: 1 : 50

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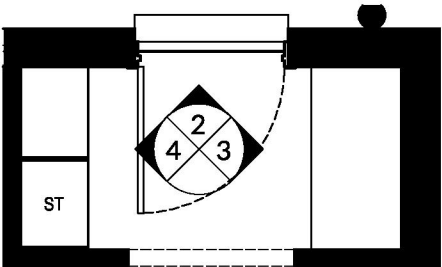




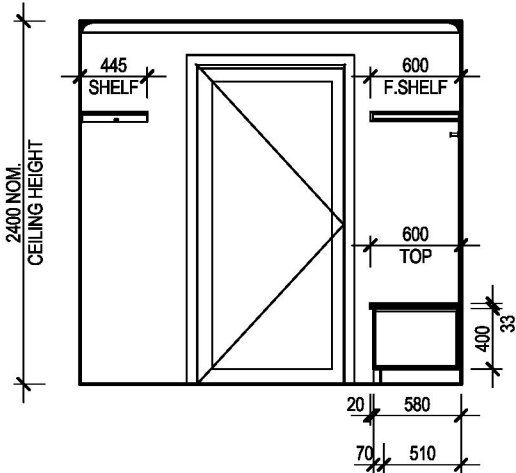
ELEVATION 1  
SCALE: 1 : 50



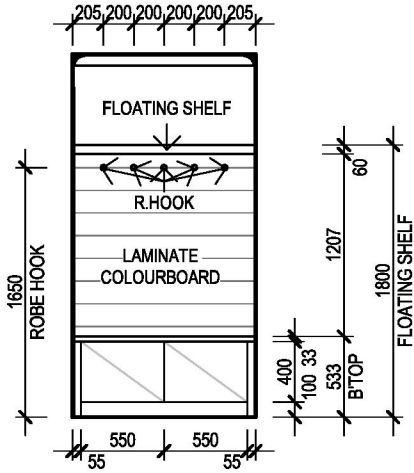
FAMILY PLAN  
SCALE: 1 : 50



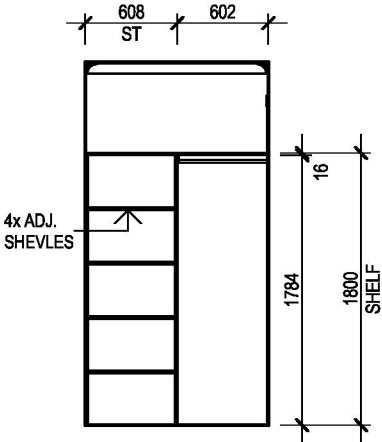
MUD ROOM PLAN  
SCALE: 1 : 50



ELEVATION 2  
SCALE: 1 : 50



ELEVATION 3  
SCALE: 1 : 50



ELEVATION 4  
SCALE: 1 : 50

GENERAL NOTES

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CLIENT ACKNOWLEDGEMENT

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CLIENT 1: DATE 1:  
CLIENT 2: DATE 2:  
JGK BUILDER: DATE 3:

SHEET TITLE

FAMILY & MUD ROOM PLAN

HOUSE NAME: PEMBERTON 32  
HAND: RH  
CATEGORY: E  
FACADE NAME: HOMESTEAD  
SHEET SCALE: 1 : 50  
ORIGINAL SHEET SIZE: A3  
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DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS



John G. King  
COLLECTION

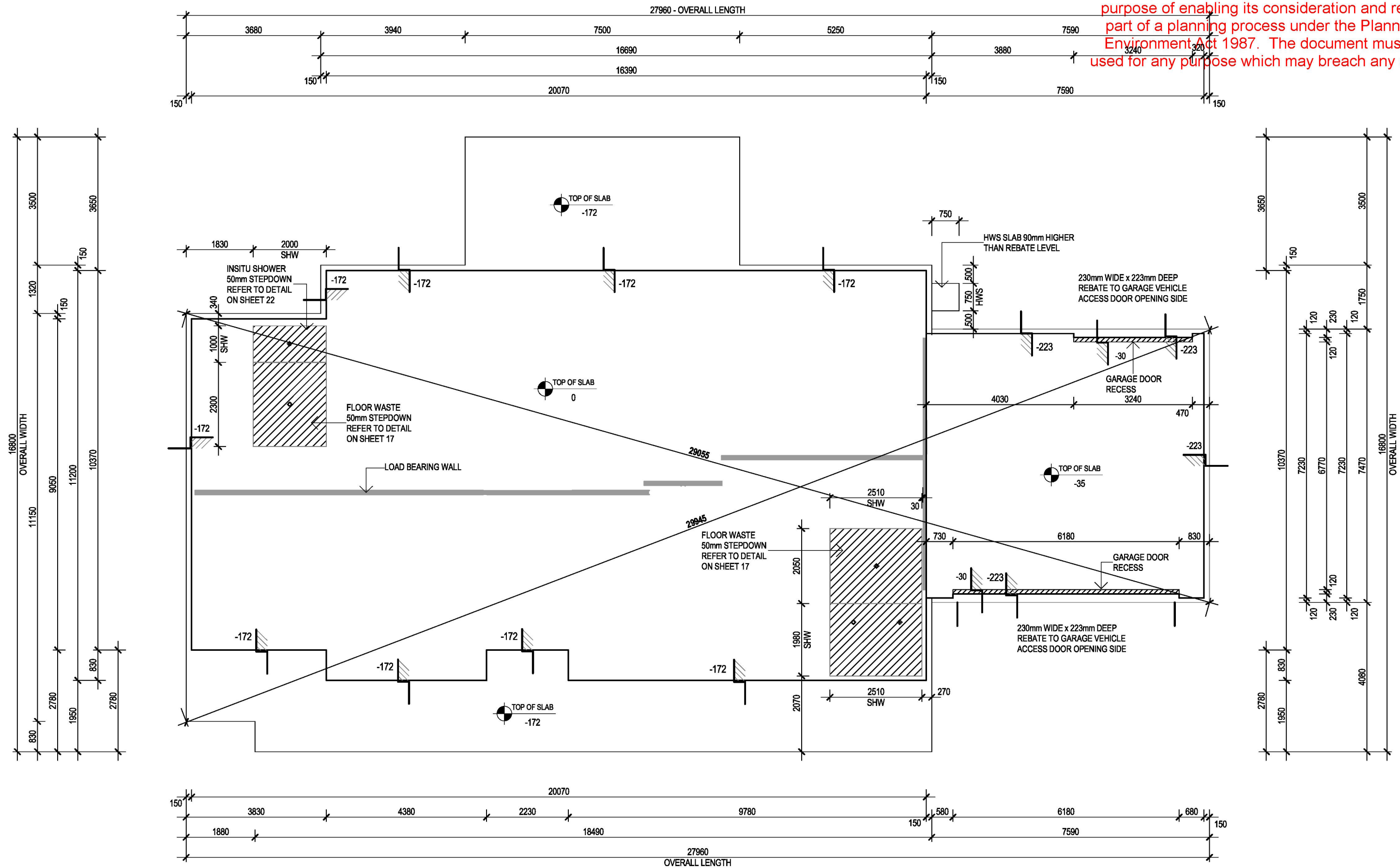
TRARALGON








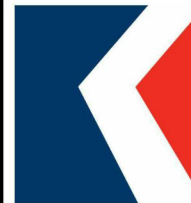
154 ARGYLE STREET,  
TRARALGON, VIC 3844  
T(03) 5175 5555

CLIENT

ADDRESS: CA 2 SEC B, NO. 2027 PRINCES HIGHWAY  
SUBURB: NOWA NOWA VIC 3887  
JOB NO: 2409TRA262  
JOB DATE: 20/01/2025  
DRAWN: M-12  
CHECKED: DL  
PROJECT STAGE: CONTRACT  
MASTER RELEASE DATE: 10/09/2024

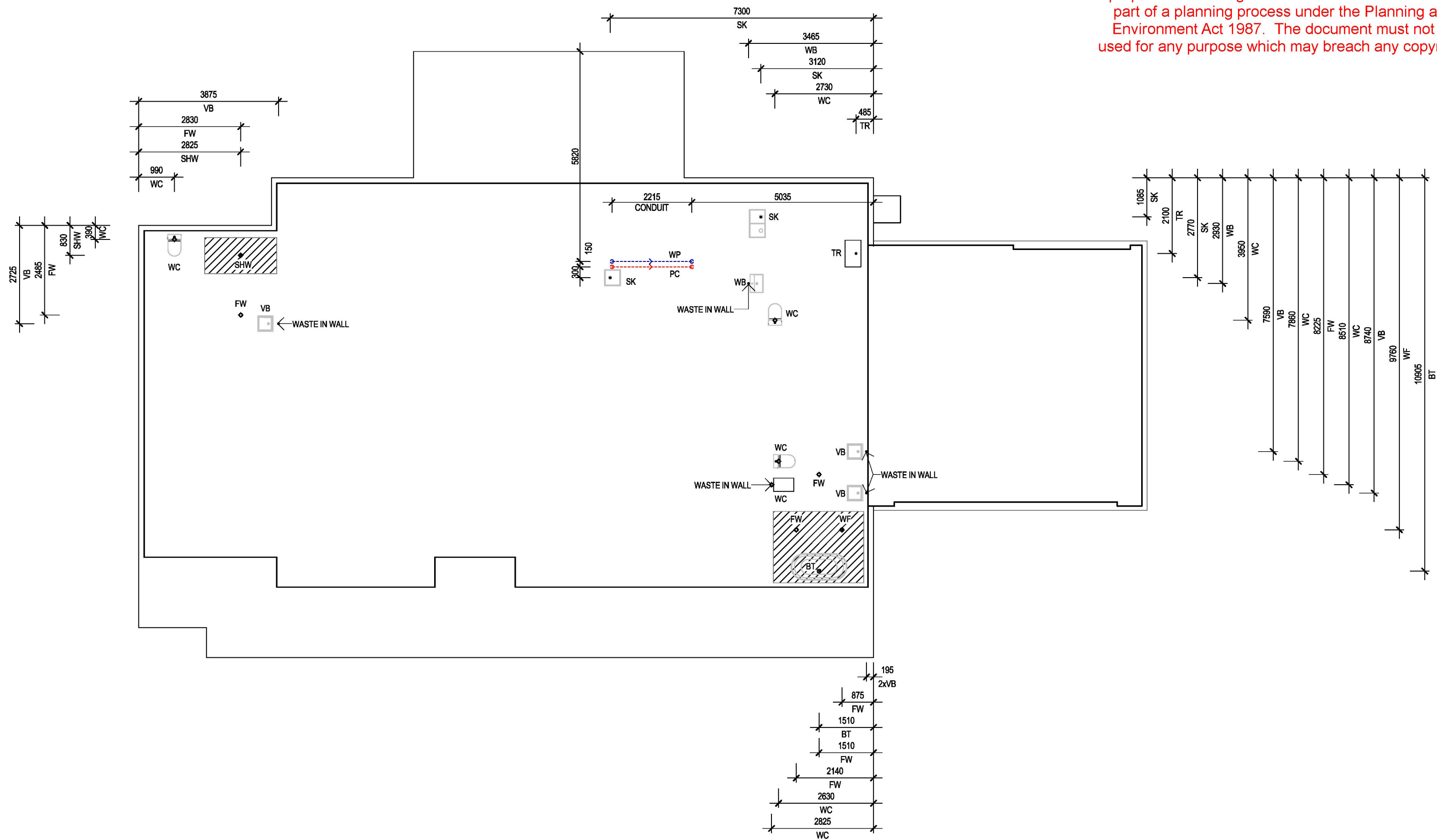
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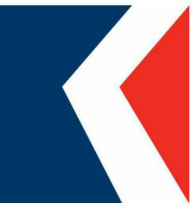


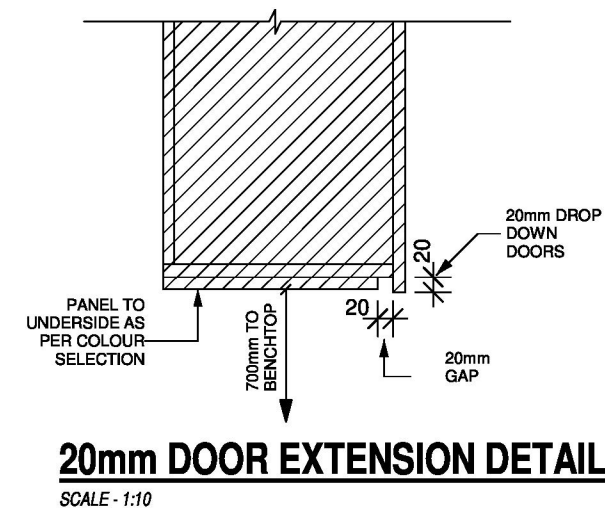
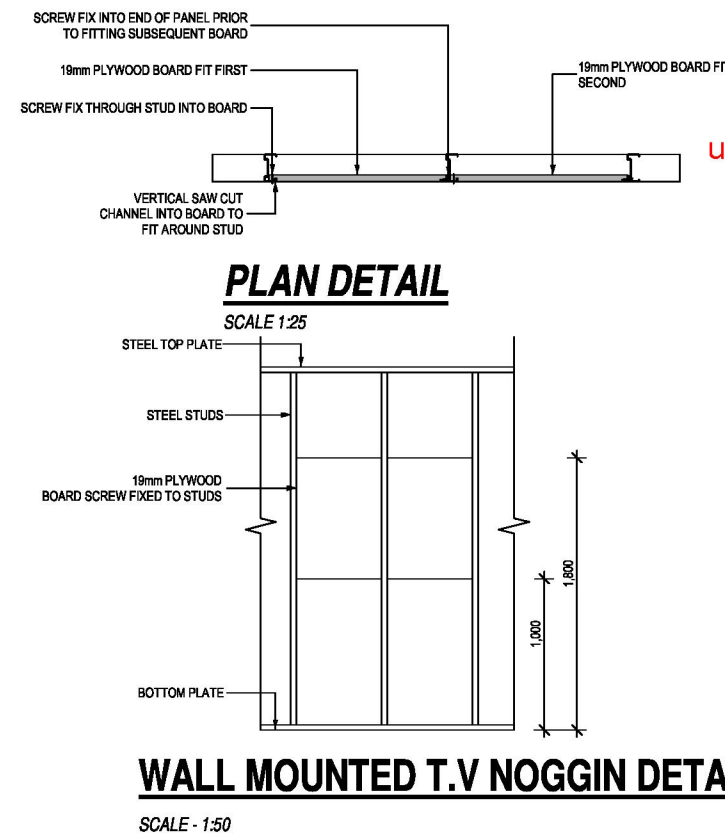
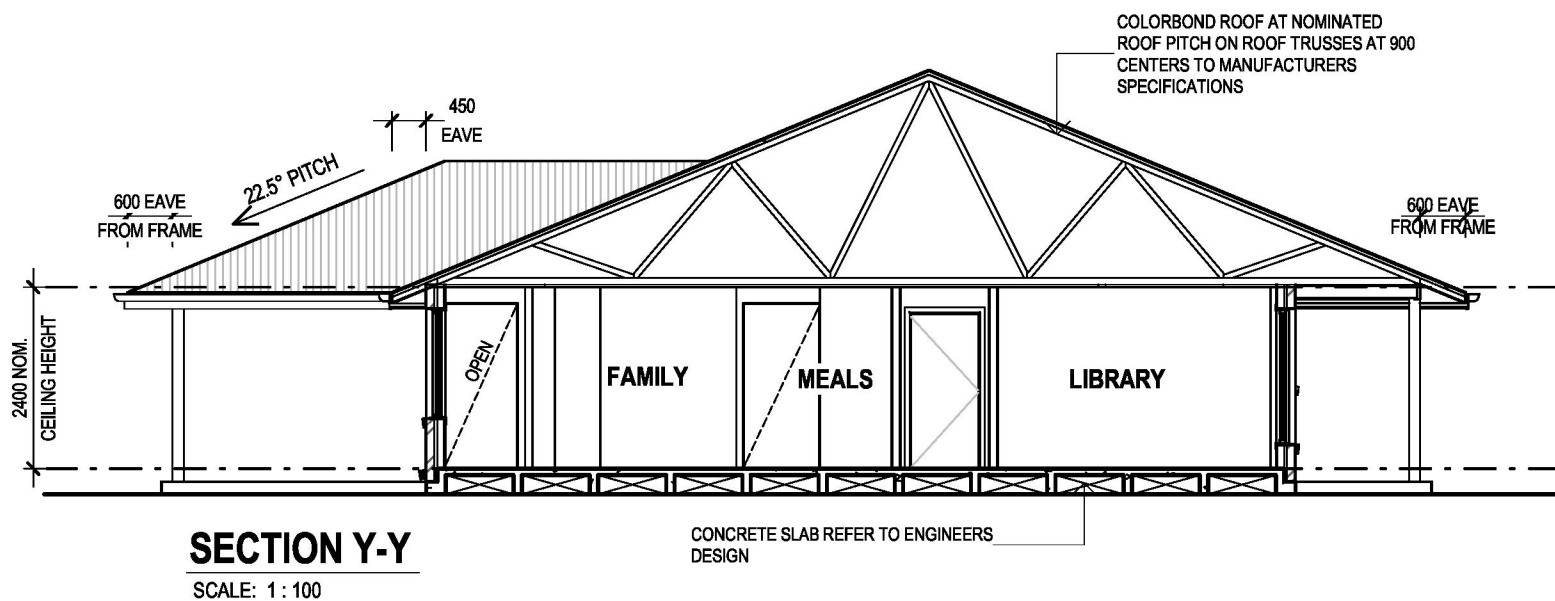
<b>GENERAL NOTES</b>	<b>LEGEND</b>  DENOTES INSITU SHOWER 50mm STEPDOWN WITH 100mm PIPE. REFER TO DETAILS  DENOTES STRUCTURAL BEAM TO ENGINEERS DESIGN  DENOTES STEPDOWN  DENOTES STRUCTURAL COLUMN  DENOTES FIRST FLOOR POINT LOAD  DENOTES LOAD BEARING WALL  DENOTES SPOT ELEVATION	<b>CLIENT ACKNOWLEDGEMENT</b> I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.  CLIENT 1: _____ DATE 1: _____  CLIENT 2: _____ DATE 2: _____  JGK BUILDER: _____ DATE 3: _____	<b>SHEET TITLE</b> <b>SLAB LAYOUT PLAN</b> HOUSE NAME: <b>PEMBERTON 32</b> HAND: <b>RH</b> CATEGORY: <b>E</b> FACADE NAME: <b>HOMESTEAD</b> SHEET SCALE: <b>1 : 100</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2025</b> <small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small>	 <b>John G. King</b> COLLECTION <b>TRARALGON</b> 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555	<b>CLIENT</b> ADDRESS: <b>CA 2 SEC B, NO. 2027 PRINCES HIGHWAY</b> SUBURB: <b>NOWA NOWA VIC 3887</b> JOB NO: <b>2409TRA262</b> JOB DATE: <b>20/01/2025</b> DRAWN: <b>M-12</b> CHECKED: <b>DL</b> PROJECT STAGE: <b>CONTRACT</b> MASTER RELEASE DATE: <b>10/09/2024</b> SHEET NO: <b>15</b> OF <b>23</b>
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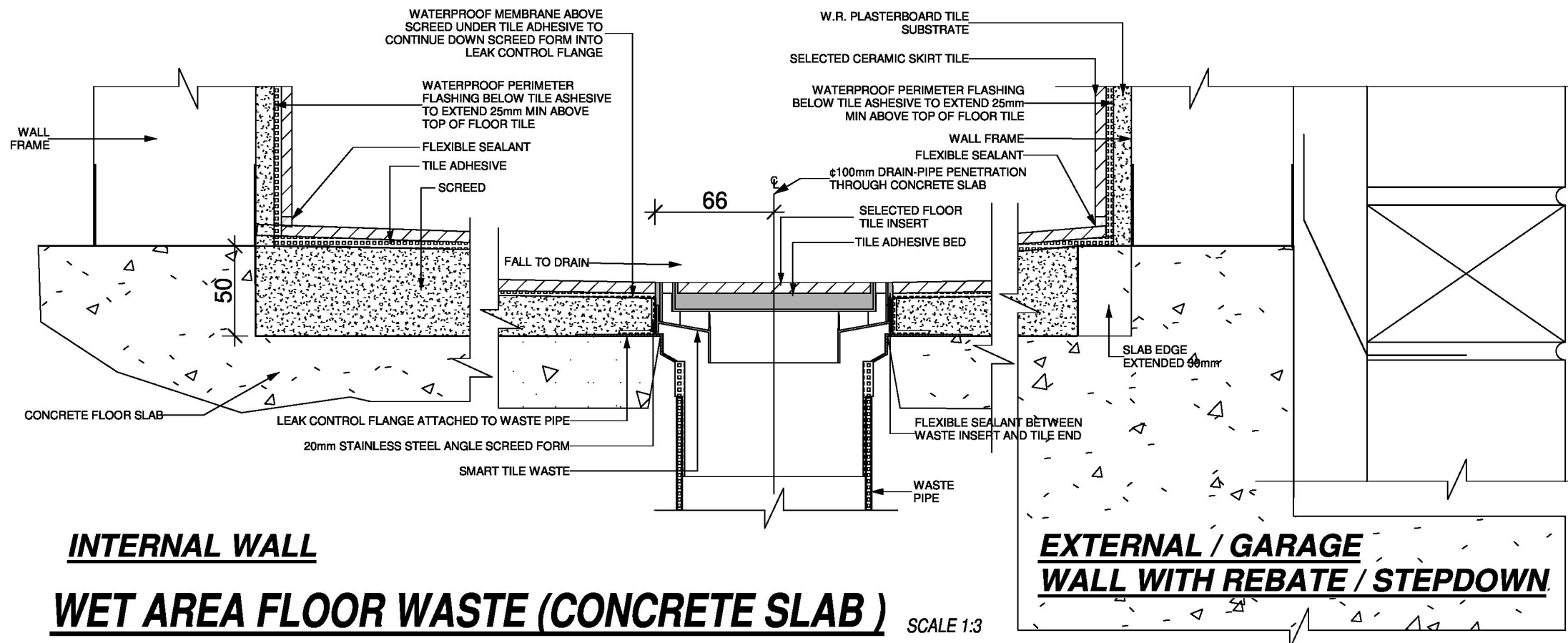
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<b>GENERAL NOTES</b>	<b>LEGEND</b> <ul style="list-style-type: none"> <li>SHW DENOTES SHOWER OUTLET</li> <li>WP PC DENOTES POWER/WATER CONDUIT</li> <li>WC DENOTES TOILET SUITE OUTLET</li> <li>BT DENOTES BATH TUB OUTLET</li> <li>VB DENOTES VANITY BASIN OUTLET</li> <li>TR DENOTES LAUNDRY THROUGH OUTLET</li> <li>SK DENOTES KITCHEN SINK OUTLET</li> <li>SK DENOTES WATER SUPPLY POINT</li> </ul>	<b>CLIENT ACKNOWLEDGEMENT</b> <p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<b>SHEET TITLE</b> <p><b>PLUMBING LAYOUT</b></p> <p>HOUSE NAME: <b>PEMBERTON 32</b> HAND: <b>RH</b> CATEGORY: <b>E</b></p> <p>FACADE NAME: <b>HOMESTEAD</b></p> <p>SHEET SCALE: <b>1 : 100</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2025</b></p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	 <p><i>John G. King</i> COLLECTION</p> <p><b>TRARALGON</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<b>CLIENT</b> <p>ADDRESS: <b>CA 2 SEC B, NO. 207 PRINCES HIGHWAY</b></p> <p>SUBURB: <b>NOWA NOWA VIC 3887</b></p> <p>JOB NO: <b>2409TRA262</b> JOB DATE: <b>20/01/2025</b></p> <p>DRAWN: <b>M-12</b> CHECKED: <b>DL</b> PROJECT STAGE: <b>CONTRACT</b></p> <p>MASTER RELEASE DATE: <b>10/09/2024</b> SHEET NO: <b>16</b> OF <b>23</b></p>
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FLOOR FALL TO BE 1:100 MIN.

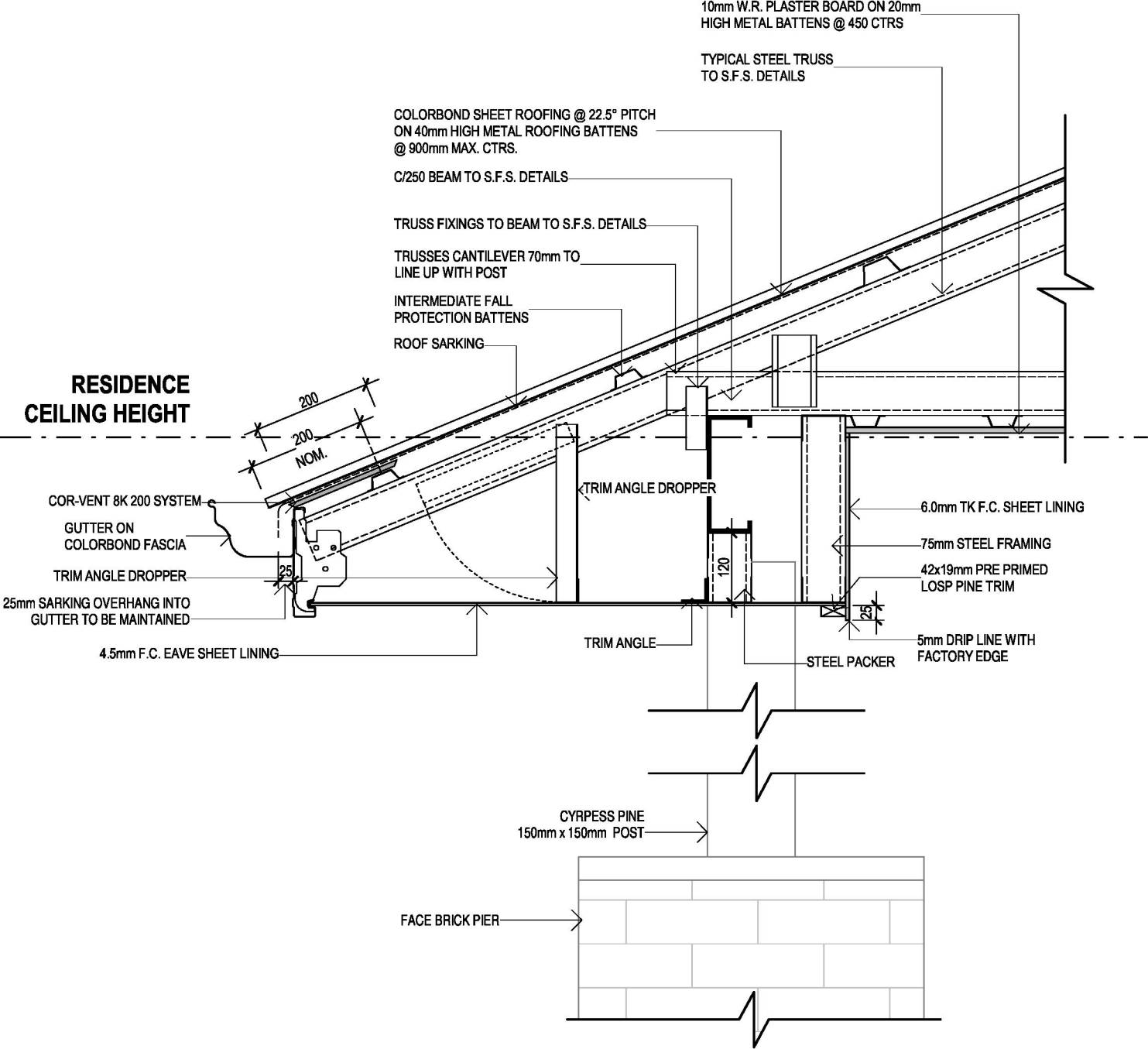


## INTERNAL WALL WET AREA FLOOR WASTE (CONCRETE SLAB)

<b>GENERAL NOTES</b>  		<b>CLIENT ACKNOWLEDGEMENT</b>  I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.  CLIENT 1: _____ DATE 1: _____  CLIENT 2: _____ DATE 2: _____  JGK BUILDER: _____ DATE 3: _____	<b>SHEET TITLE</b> <b>SECTION/DETAILS</b> HOUSE NAME: <b>PEMBERTON 32</b> HAND: <b>RH</b> CATEGORY: <b>E</b> FACADE NAME: <b>HOMESTEAD</b> SHEET SCALE: <b>As indicated</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2025</b> <small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small> <small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small>	 <b>John G. King</b> COLLECTION <b>TRARALGON</b> 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555	<b>CLIENT</b> ADDRESS: <b>CA 2 SEC B, NO. 2027 PRINCES HIGHWAY</b> SUBURB: <b>NOWA NOWA VIC 3887</b> JOB NO: <b>2409TRA262</b> JOB DATE: <b>20/01/2025</b> DRAWN: <b>M-12</b> CHECKED: <b>DL</b> PROJECT STAGE: <b>CONTRACT</b> MASTER RELEASE DATE: <b>10/09/2024</b>
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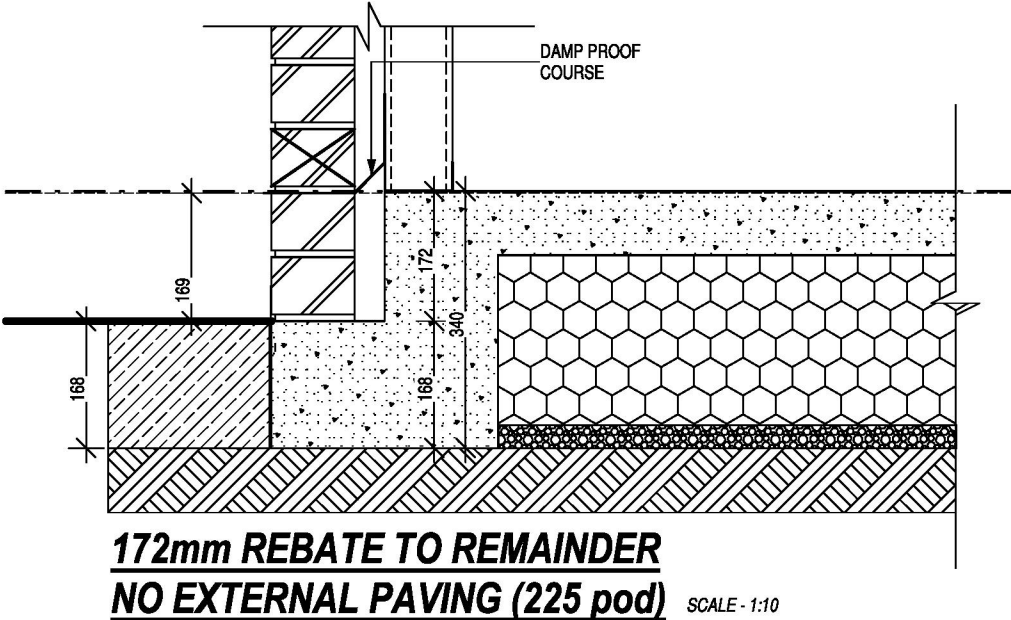
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CORX 5K, 8K & 25K CORVENT PRODUCTS CONFIRM FREE OPEN AREA TO COMPLY WITH NCC VOLUME 2 - TABLE 10.8.3 NCC 2022 REFER TO CERTIFICATION JAMES M FRICKER

LYSAGHT CUSTOM ORB ROOF SHEETING PROVIDES 7500mm2/m OF VENTILATION REFER PAB 19

LYSAGHT PRODUCT ADVISORY BULLETIN



## SECTION A

### PORCH DETAIL

SCALE - 1:10

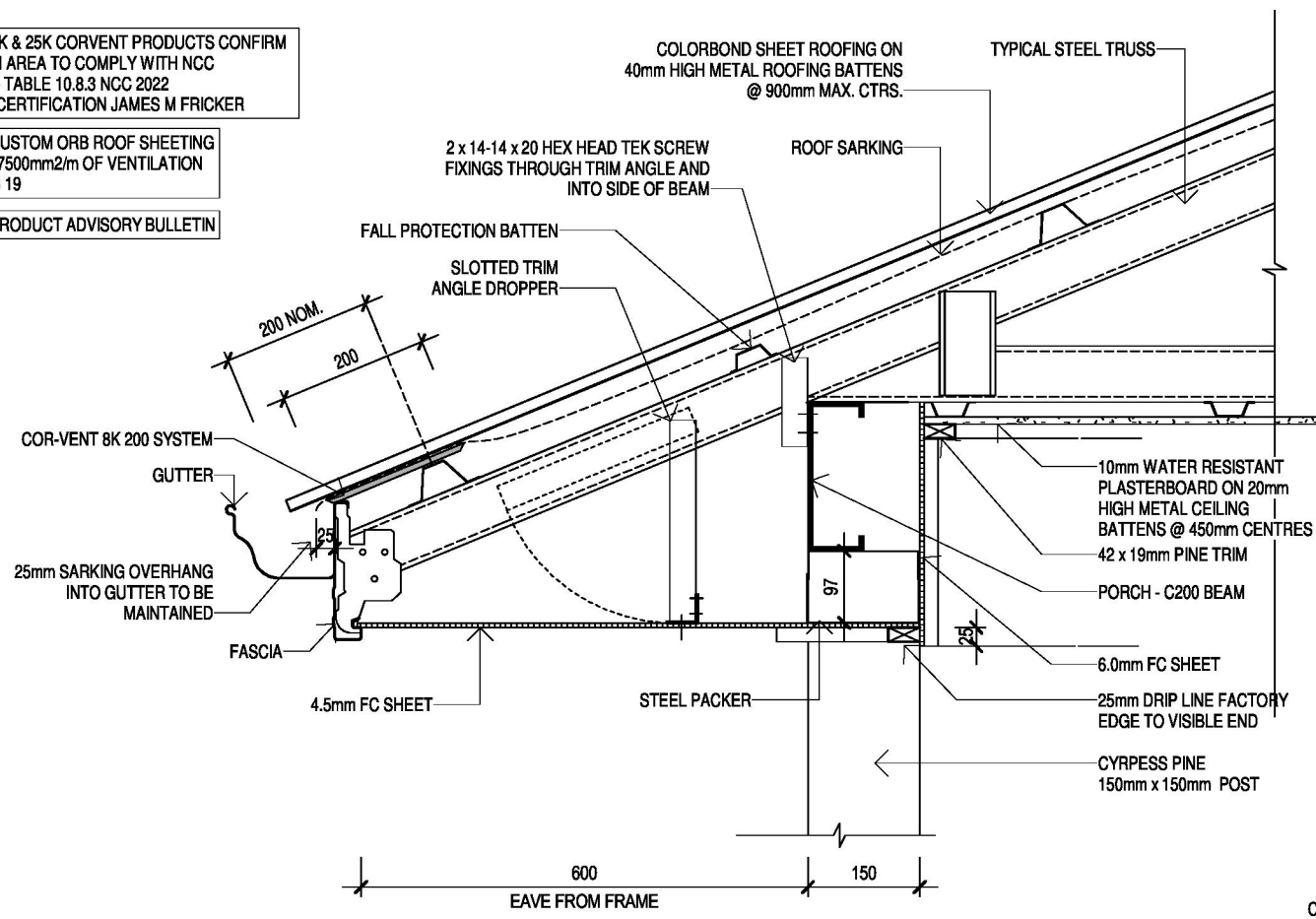
GENERAL NOTES				CLIENT ACKNOWLEDGEMENT		SHEET TITLE		<div><div><div></div><div></div></div><div><div>John G. King</div><div>COLLECTION</div></div></div>		CLIENT	
				I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.		SECTION/DETAILS				ADDRESS	
						HOUSE NAME		HAND		CATEGORY	
						PEMBERTON 32		RH		E	
						FACADE NAME				SUBURB	
						HOMESTEAD				NOWA NOWA VIC 3887	
		CLIENT 1:		DATE 1:		SHEET SCALE		ORIGINAL SHEET SIZE		JOB NO	
						1 : 10		A3		2025	
		CLIENT 2:		DATE 2:						JOB DATE	
										20/01/2025	
		JGK BUILDER:		DATE 3:						DRAWN	
										CHECKED	
										PROJECT STAGE	
										M-12	
										DL	
										CONTRACT	
										MASTER RELEASE DATE	
										10/09/2024	
										154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555	
										Printed 22/07/25	

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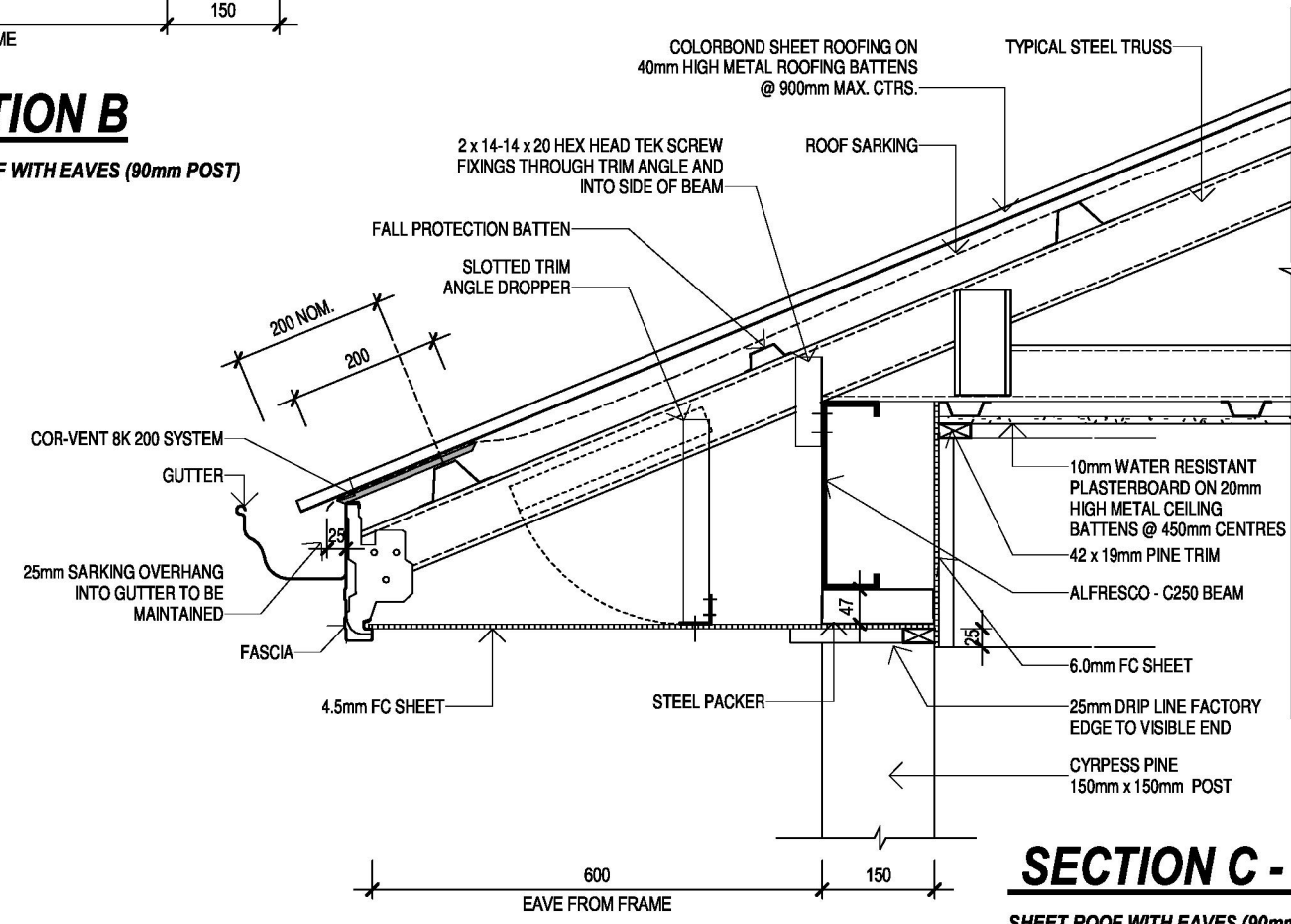
CORX 5K, 8K & 25K CORVENT PRODUCTS CONFIRM FREE OPEN AREA TO COMPLY WITH NCC VOLUME 2 - TABLE 10.8.3 NCC 2022 REFER TO CERTIFICATION JAMES M FRICKER

LYSAGHT CUSTOM ORB ROOF SHEETING PROVIDES 7500mm2/m OF VENTILATION REFER PAB 19

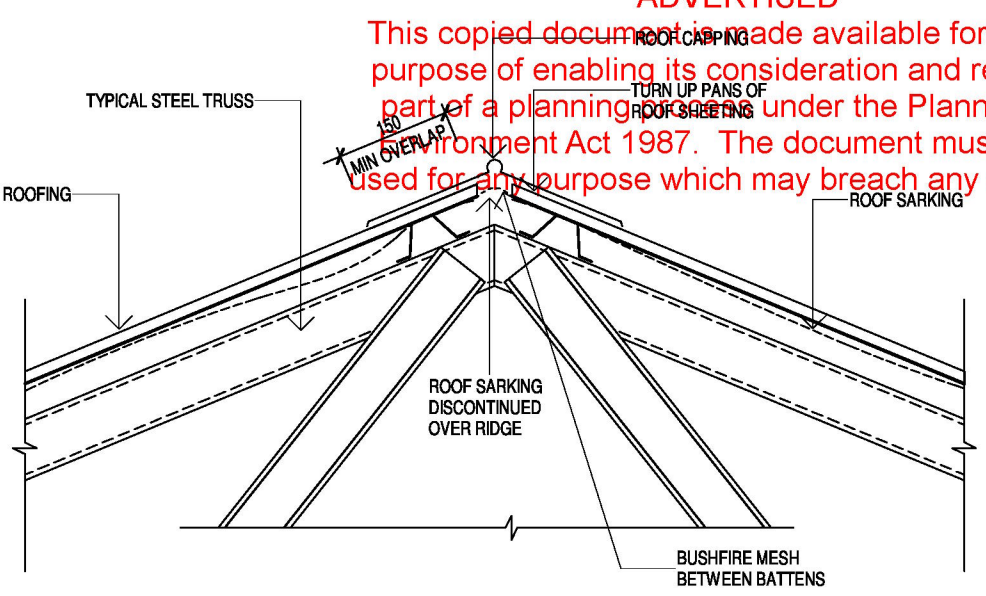
LYSAGHT PRODUCT ADVISORY BULLETIN




**SECTION B**  
**SHEET ROOF WITH EAVES (90mm POST)**  
SCALE - 1:10



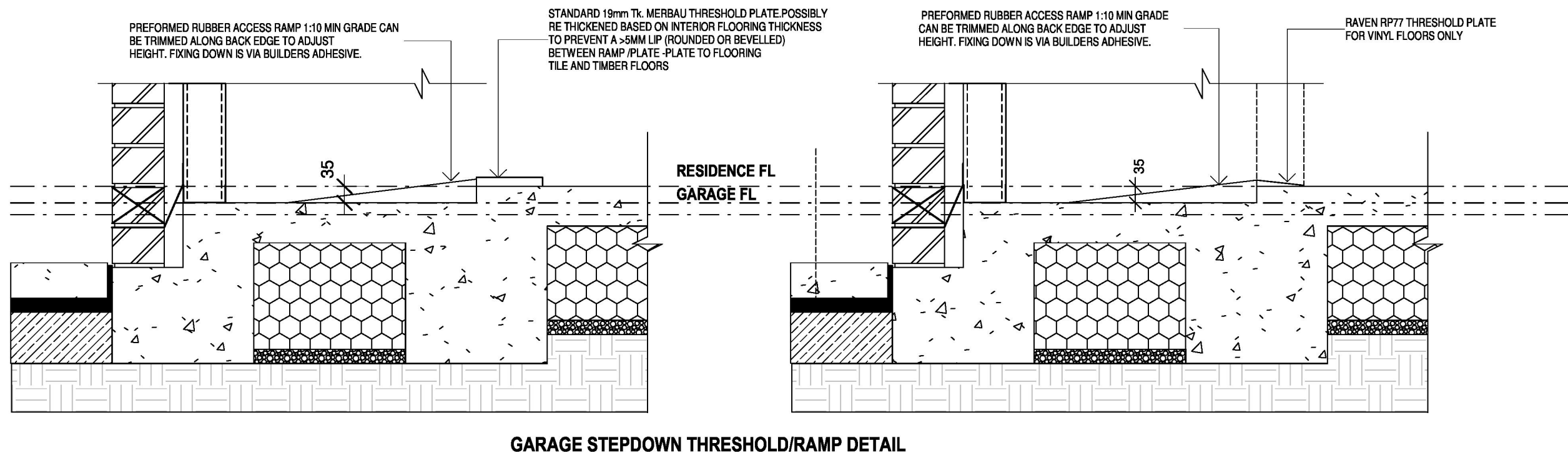
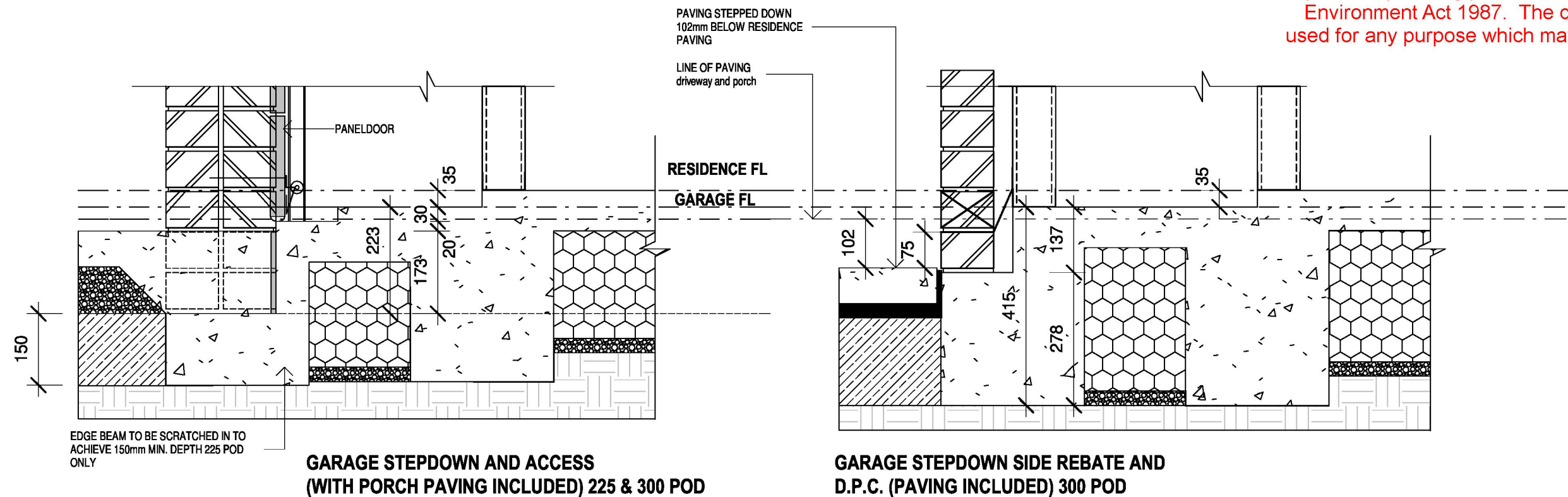
**SECTION C - ALFRESCO DETAIL**  
**SHEET ROOF WITH EAVES (90mm POST)**  
SCALE - 1:10




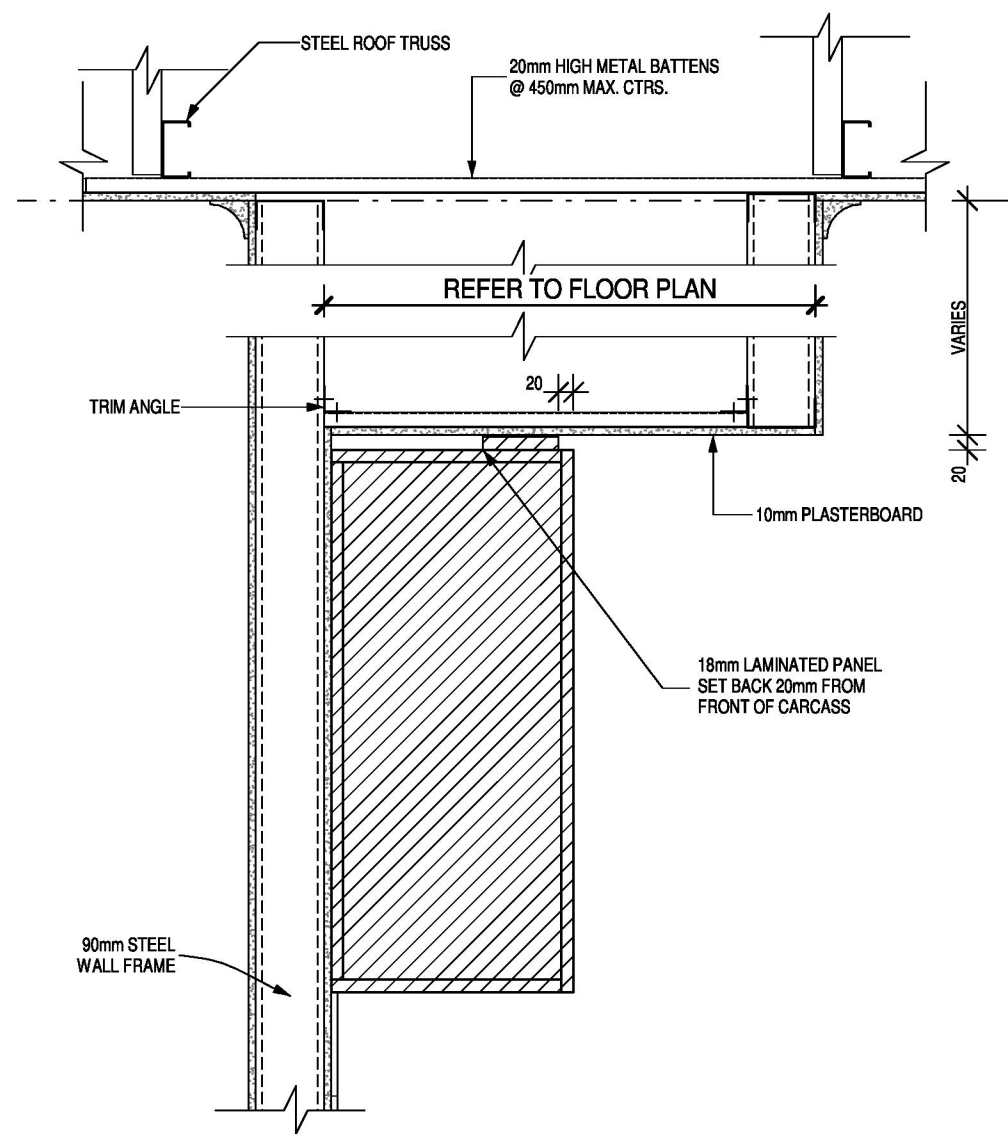
**TYPICAL RIDGE DETAIL**  
SCALE - 1:10

<b>GENERAL NOTES</b>		<b>CLIENT ACKNOWLEDGEMENT</b>  I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.  CLIENT 1: DATE 1:  CLIENT 2: DATE 2:  JGK BUILDER: DATE 3:		<b>SHEET TITLE</b> <b>SECTION/DETAILS</b> HOUSE NAME: <b>PEMBERTON 32</b> HAND: <b>RH</b> CATEGORY: <b>E</b> FACADE NAME: <b>HOMESTEAD</b> SHEET SCALE: <b>1 : 10</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2025</b> <small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small>		 <b>John G. King</b> COLLECTION <b>TRARALGON</b> 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555		<b>CLIENT</b> ADDRESS: <b>CA 2 SEC B, NO. 2027 PRINCES HIGHWAY</b> SUBURB: <b>NOWA NOWA VIC 3887</b> JOB NO: <b>2409TRA262</b> JOB DATE: <b>20/01/2025</b> DRAWN: <b>M-12</b> CHECKED: <b>DL</b> PROJECT STAGE: <b>CONTRACT</b> MASTER RELEASE DATE: <b>10/09/2024</b> SHEET NO: <b>19</b> OF <b>23</b>	
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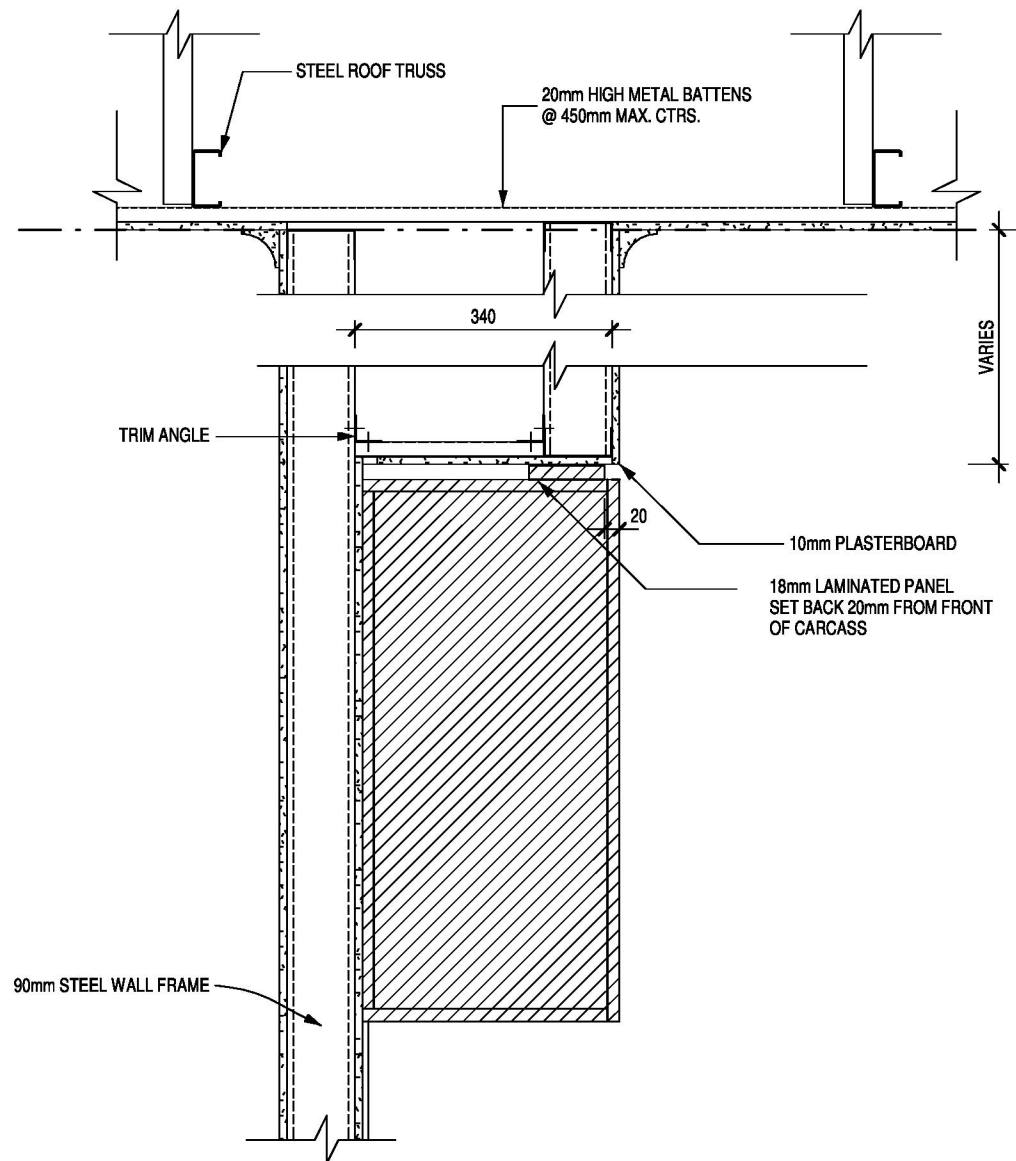




GENERAL NOTES		CLIENT ACKNOWLEDGEMENT I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.  CLIENT 1: DATE 1:  CLIENT 2: DATE 2:  JGK BUILDER: DATE 3:	SHEET TITLE <b>SECTION/DETAILS</b> HOUSE NAME <b>PEMBERTON 32</b> FACADE NAME <b>HOMESTEAD</b> SHEET SCALE <b>1 : 10</b> ORIGINAL SHEET SIZE <b>A3</b> COPYRIGHT <b>2025</b> <small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small>	 <b>JG KING HOMES</b> 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555	CLIENT ADDRESS <b>CA 2 SEC B, NO. 2027 PRINCES HIGHWAY</b> SUBURB <b>NOWA NOWA VIC 3887</b> JOB NO <b>2409TRA262</b> DRAWN <b>M-12</b> MASTER RELEASE DATE <b>10/09/2024</b> JOB DATE <b>20/01/2025</b> PROJECT STAGE <b>CONTRACT</b> CHECKED <b>DL</b> SHEET NO <b>20</b> OF <b>23</b>
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**KITCHEN JOINERY BULKHEAD DETAIL**

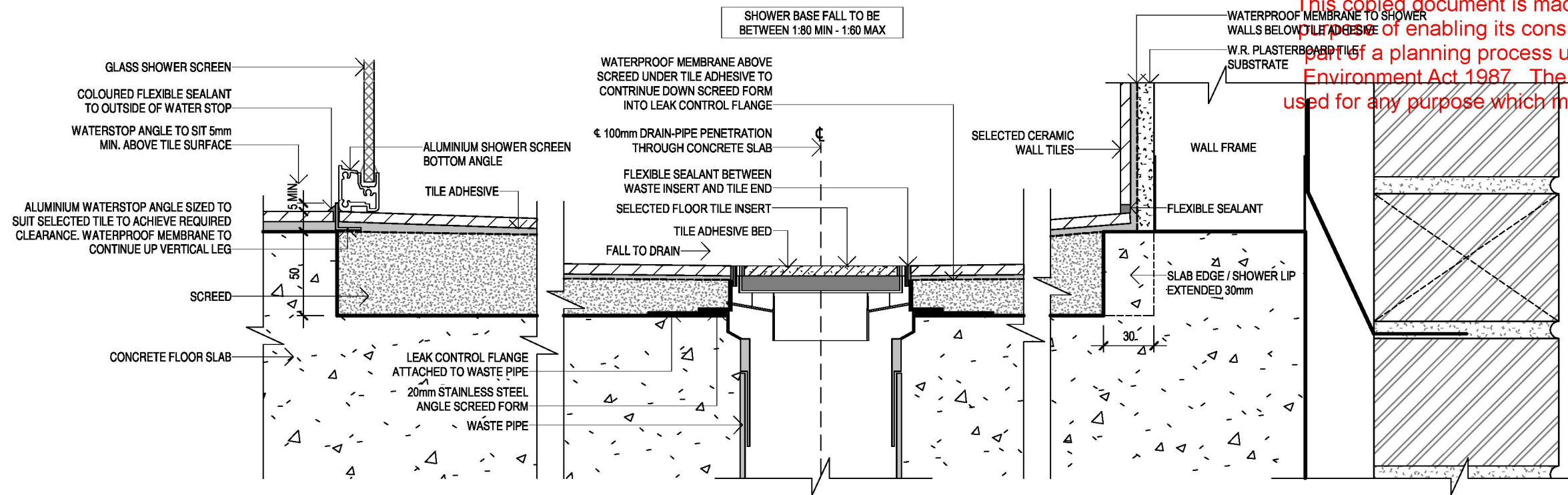
SCALE - 1:10

**LAUNDRY JOINERY BULKHEAD DETAIL**

SCALE - 1:10

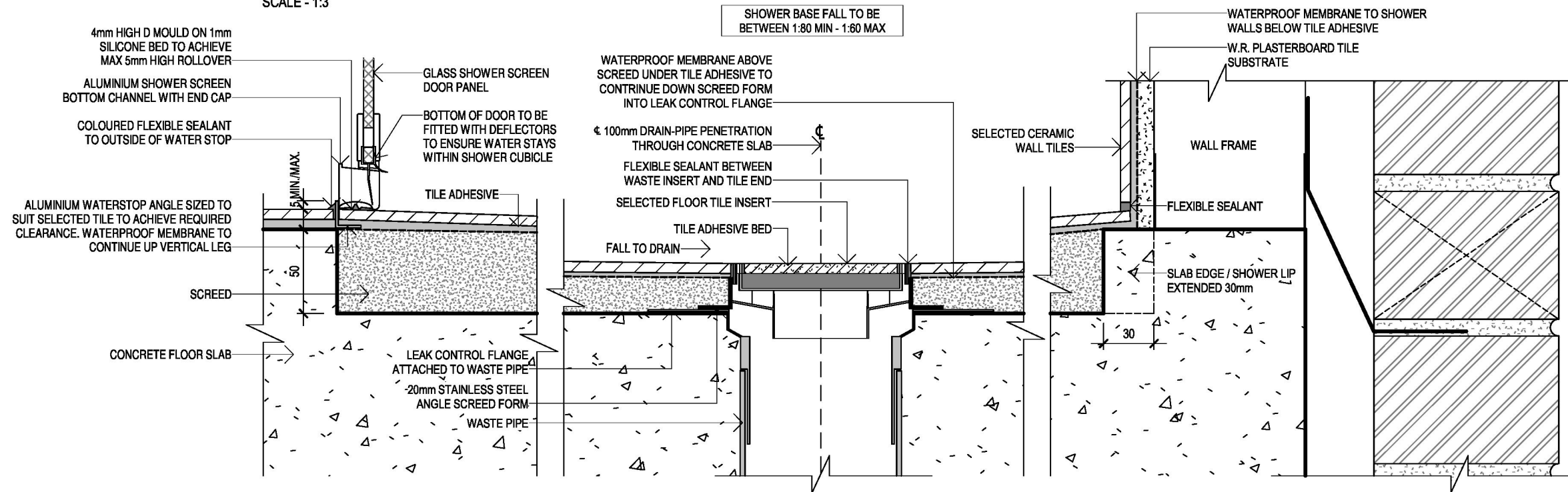
GENERAL NOTES				<div>CLIENT ACKNOWLEDGEMENT</div> <div>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</div> <div><div>CLIENT 1:</div><div>DATE 1:</div></div> <div><div>CLIENT 2:</div><div>DATE 2:</div></div> <div><div>JGK BUILDER:</div><div>DATE 3:</div></div>		<div>SHEET TITLE</div> <div>SECTION/DETAILS</div> <div><div>HOUSE NAME</div><div>PEMBERTON 32</div><div>FACADE NAME</div><div>HOMESTEAD</div><div>SHEET SCALE</div><div>1 : 10</div></div> <div><div>HAND</div><div>RH</div><div></div><div>A3</div><div>ORIGINAL SHEET SIZE</div></div> <div><div>CATEGORY</div><div>E</div><div></div><div>2025</div><div>COPYRIGHT</div></div> <div><div>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD*</div><div>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</div></div>		<div><div><div><div></div><div>John G. King</div><div>COLLECTION</div></div><div><div>JG KING HOMES</div><div>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</div></div></div><div>TRARALGON</div></div>		<div>CLIENT</div> <div>ADDRESS</div> <div>CA 2 SEC B, NO. 2027 PRINCES HIGHWAY</div> <div>SUBURB</div> <div>NOWA NOWA VIC 3887</div> <div><div>JOB NO</div><div>2409TRA262</div><div>DRAWN</div><div>M-12</div><div>MASTER RELEASE DATE</div><div>10/09/2024</div></div> <div><div>JOB DATE</div><div>20/01/2025</div><div>PROJECT STAGE</div><div>CONTRACT</div><div>Printed 22/07/2025</div></div>	
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### RECESSED TILED (INSITU) SHOWER BASE ON EXTERNAL CONCRETE SLAB (SCREEN SECTION)

SCALE - 1:3



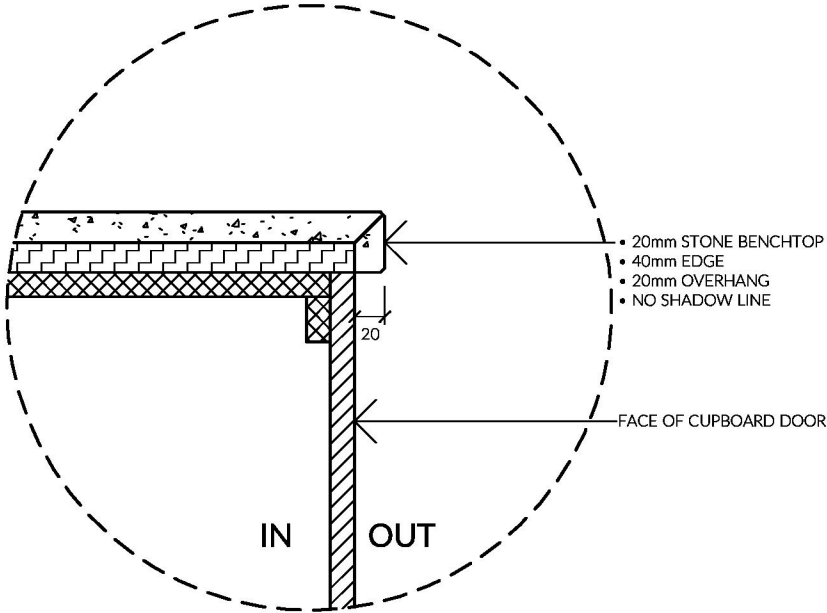
### RECESSED TILED (INSITU) SHOWER BASE ON EXTERNAL CONCRETE SLAB (DOOR SECTION)

SCALE - 1:3

GENERAL NOTES		CLIENT ACKNOWLEDGEMENT		SHEET TITLE		CLIENT	
		I/WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.		<b>SECTION/DETAILS</b>		ADDRESS	
				HOUSE NAME		CA 2 SEC B, NO. 2027 PRINCES HIGHWAY	
				Pemberton 32		SUBURB	
				FACADE NAME		NOWA NOWA VIC 3887	
				HOMESTEAD		JOB NO	
		CLIENT 1:		DATE 1:		2409TRA262	
		CLIENT 2:		DATE 2:		20/01/2025	
		JGK BUILDER:		DATE 3:		DRAWN	
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						CONTRACT	
						MASTER RELEASE DATE	
						10/09/2024	
						SHEET NO	
						22 of 23	

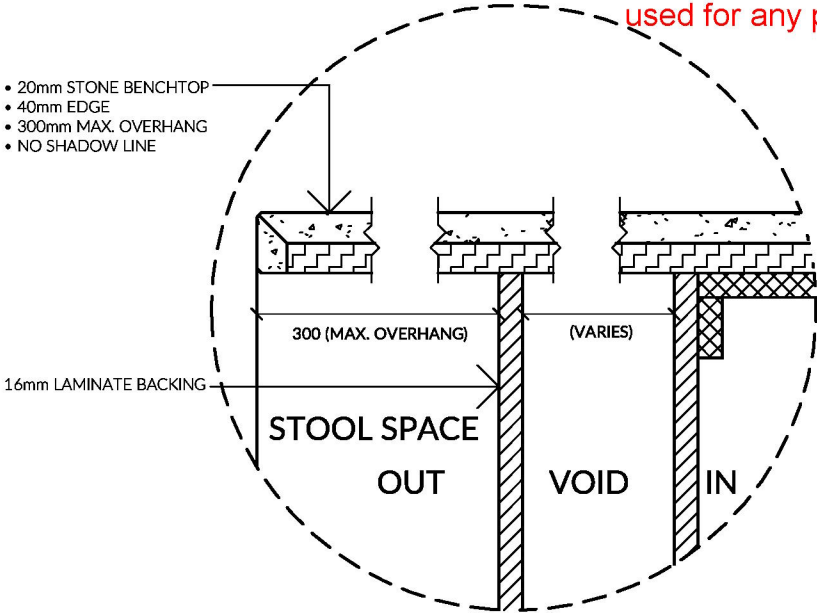
154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555	<b>JG KING HOMES</b>
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Page 99 of 100



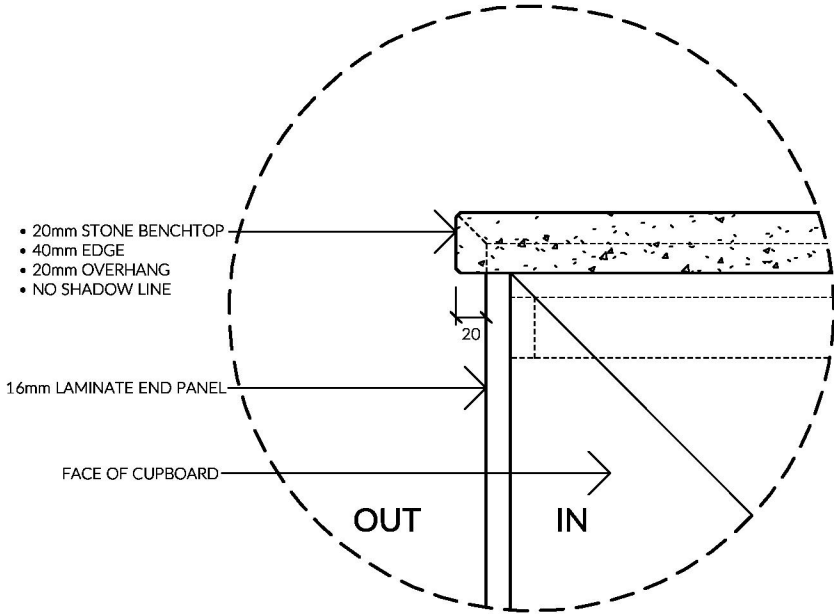
KITCHEN DETAIL 1

SCALE: 1:5



KITCHEN DETAIL 2

SCALE: 1:5



KITCHEN DETAIL 3

SCALE: 1:5

GENERAL NOTES				CLIENT ACKNOWLEDGEMENT		SHEET TITLE		<div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div>John G. King</div><div>COLLECTION</div></div></div>		CLIENT			
				I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.		JOINERY DETAILS		ADDRESS					
						HOUSE NAME		HAND		CATEGORY			
						PEMBERTON 32		RH		E			
						FACADE NAME							
				CLIENT 1:		DATE 1:		HOMESTEAD					
								SHEET SCALE		ORIGINAL SHEET SIZE		COPYRIGHT	
								1 : 5		A3		2025	
				CLIENT 2:		DATE 2:							
				JGK BUILDER:		DATE 3:							