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Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	**3 Maurice Avenue MALLACOOTA VIC 3892 CA: 9 Sec: 8**
The application is for a permit to:	**Development of four dwellings with common property and Vegetation Removal**
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	**Matter for which a permit is required**
32.08-7 (GRZ1)	Construct or extend two or more dwellings on a lot.
42.02-2 (VPO)	Remove, destroy or lop vegetation.
43.02-2 (DDO)	Construct a building or construct or carry out works.
44.06-2 (BMO)	Construct a building or construct or carry out works.
The applicant for the permit is:	**Anchor Homes**
The application reference number is:	**5.2025.225.1**

You may look at the application and any documents that support the application free of charge at: https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must
- **be made to the Responsible Authority in writing,**
- **include the reasons for the objection, and**
- **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	**Subject to the applicant giving notice**

If you object, the Responsible Authority will tell you its decision.

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April McDonald

From: Snapforms Notifications <no-reply@snapforms.com.au>
Sent: Friday, 4 July 2025 11:18 AM
To: Planning Unit Administration
Subject: Planning Permit application
Attachments: 250630_Title_MDHSS.pdf; 250630_Copy of Plan_MDHSS.pdf; 250630_PreliminaryDrawings_PD-G_MallacootaHealth.pdf; 250626_Planning Report_MDHSS.pdf; 250626_Cl55 Written Report_MDHSS.pdf; 250703_BMS_MDHSS.pdf; 250703_BMP_MDHSS.pdf; 250226_Soil,Wind_MH.pdf; 250226_FeatureSurvey_MH.pdf; 250129_LPOD_MallacootaHealth.pdf; 250128_PropertyInformationCert_MallacootaHealth.pdf; Planning_Permit_Application_2025-07-04T11-17-46_26232278_0.pdf

Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Applicant name: Heather Raikes

Business trading name: Anchor Homes

Email address: heather.raikes@anchorhomes.com.au

Postal address : 55 Industrial Road Stratford 3862

Preferred phone number: 0341577114

Owner's name:

Owner's postal address:

Street number: 3

Street name: Maurice Avenue

Town: Mallacoota

Post code: 3892

Other Legal Description: CA 9 Section 8 Townshiup of Mallacoota Parish of Mallacoota

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?: No

Will the proposal result in a breach of a registered covenant restriction or agreement?: No

Existing conditions : Vacant Land

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Description of proposal : Application for 4 dwellings within GRZ, BMO & DDO Application for Vegetation Removal within VPO

Estimated cost of development: 986700

Has there been a pre-application meeting: No

Full copy of Title: 250630_Title_MDHSS.pdf, 250630_Copy of Plan_MDHSS.pdf

Plans: 250630_PreliminaryDrawings_PD-G_

Planning report: 250626_Planning Report_MDHSS.pdf, 250626_Cl55 Written Report_MDHSS.pdf

ExtraFile: 6

1. Supporting information/reports: 250703_BMS_MDHSS.pdf

2. Supporting information/reports: 250703_BMP_MDHSS.pdf

4. Supporting information/reports: 250226_Soil,Wind_MH.pdf

3. Supporting information/reports: 250226_FeatureSurvey_MH.pdf

5. Supporting information/reports: 250129_LPOD_

6. Supporting information /reports: 250128_PropertyInformationCert_

Invoice Payer: Anchor Construction Group Pty Ltd

Address for Invoice: PO Box 210 SALE VIC 3850

Invoice Email: heather.raikes@anchorhomes.com.au

Primary Phone Invoice: 0341577114

Declaration: Yes

Authority Check: Yes

Notice Contact Check: Yes

Notice check 2: Yes

Privacy Statement Acknowledge: Yes

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 08274 FOLIO 592

Security no : 124125784217D
Produced 30/06/2025 04:02 PM

CROWN GRANT

LAND DESCRIPTION

Crown Allotment 9 Section 8 Township of Mallacoota Parish of Mallacoota.

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

ENCUMBRANCES, CAVEATS AND NOTICES

Any crown grant reservations exceptions conditions limitations and powers noted on the plan or imaged folio set out under DIAGRAM LOCATION below. For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP325460P FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

----------END OF REGISTER SEARCH STATEMENT----------

Additional information: (not part of the Register Search Statement)

Street Address: 3 MAURICE AVENUE MALLACOOTA VIC 3892

ADMINISTRATIVE NOTICES

NIL

eCT Control 21210T WARREN GRAHAM AND MURPHY PTY LTD
Effective from 08/03/2024

DOCUMENT END

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Document Type	**Plan**
Document Identification	**TP325460P**
Number of Pages (excluding this cover sheet)	**2**
Document Assembled	**30/06/2025 16:02**

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TITLE PLAN	EDITION 1	TP 325460P

Location of Land

Parish: MALLACOOTA
Township: MALLACOOTA
Section: 8
Crown Allotment: 9
Crown Portion:

Last Plan Reference:
Derived From: VOL 8274 FOL 592
Depth Limitation: 50 FEET

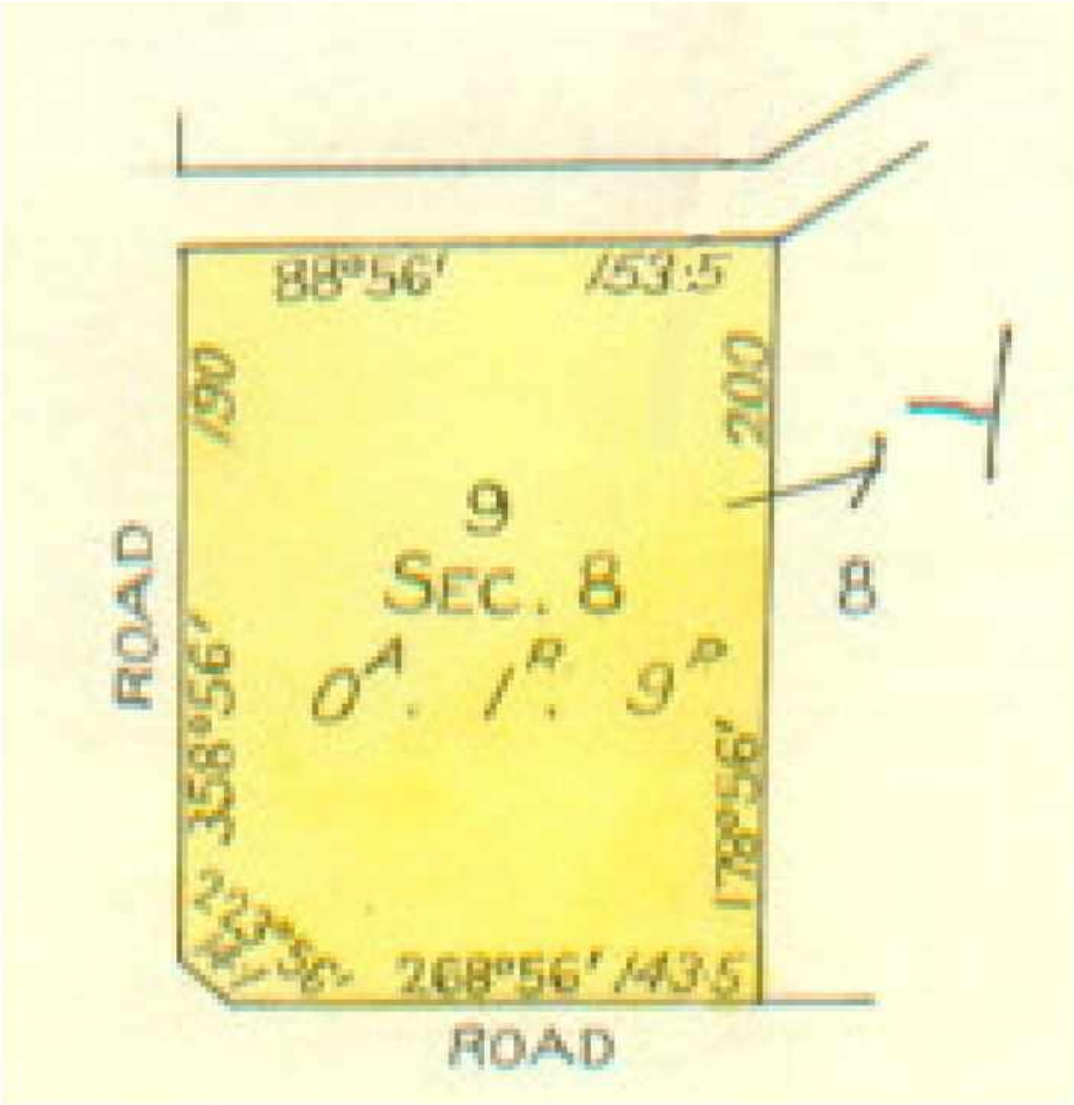
Notations

SUBJECT TO ANY RIGHT, SET FORTH IN EXCEPTIONS AND POWERS CONTAINED IN CROWN GRANT VOL. 8274 FOL. 592 AND NOTED ON SHEET 2 OF THIS PLAN

ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN

Description of Land / Easement Information

THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT
COMPILED: 21/02/2000
VERIFIED: AA



COLOUR CODE
Y = YELLOW

LENGTHS ARE IN LINKS	Metres = 0.3048 x Feet Metres = 0.201168 x Links		Sheet 1 of 2 sheets

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LAND DESCRIPTION INCLUDING RESERVATIONS EXCEPTIONS CONDITIONS AND POWERS SHOWN ON THE CROWN GRANT

All THAT PIECE OF LAND in the said State containing one rood and nine perches more or less being Allotment nine of Section eight in the Township of Mallacoota Parish of Mallacoota County of Croajingolong

delineated with the measurements and abuttals thereof in the map drawn in the margin of these presents and therein colored yellow PROVIDED nevertheless that the grantees shall be entitled to sink wells for water and to the use and enjoyment of any wells or springs of water upon or within the boundaries of the said land for any and for all purposes as though they held the land without limitation as to depth EXCEPTING nevertheless unto Us Our heirs and successors all gold and silver and minerals as defined in the *Mines Act* 1928 in upon or under or within the boundaries of the land hereby granted AND reserving to Us Our heirs and successors free liberty and authority for Us Our heirs and successors and Our and their licensees agents and servants at any time or times hereafter to enter upon the said land and to search and mine therein for gold silver and minerals as aforesaid and to extract and remove therefrom any such gold silver and minerals and to search for and work dispose of and carry away the said gold silver and minerals lying in upon or under the land hereby granted and for the purposes aforesaid to sink shafts make drives erect machinery and to carry on any works and do any other things which may be necessary or usual in mining and with all other incidents that are necessary to be used for the getting of the said gold silver and minerals and the working of all mines seams lodes and deposits containing such gold silver and minerals in upon or under the land hereby granted AND ALSO reserving to Us Our heirs and successors—

(i) all petroleum as defined in the *Mines (Petroleum) Act* 1935 on or below the surface of the said land and

(ii) the right of access for the purpose of searching for and for the operations of obtaining such petroleum in any part or parts of the said land and

(iii) rights of way for access and for pipe-lines and other purposes necessary for obtaining and conveying such petroleum in the event of such petroleum being obtained in any part or parts of the said land.

PROVIDED ALWAYS that the said land is and shall be subject to be resumed for mining purposes under Section 168 of the *Land Act* 1928.

AND PROVIDED also that the said land is and shall be subject to the right of any person being the holder of a miner's right or of a mining lease or mineral lease under the *Mines Act* 1928 or any corresponding previous enactment to enter therein and to mine for gold silver or minerals within the meaning of the said Act and to erect and occupy mining plant or machinery thereon in the same manner and under the same conditions and provisions as those to which such person would for the time being be entitled to mine for gold and silver in and upon Crown lands PROVIDED that compensation shall be paid to the said GRANTEE

their executors administrators assigns or transferees by such person for surface damage to be done to such land by reason of mining thereon such compensation to be determined as provided for the time being by law and the payment thereof to be a condition precedent to such right of entry.

LENGTHS ARE IN LINKS	Metres = 0.3048 x Feet Metres = 0.201168 x Links		Sheet 2 of 2 sheets

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Contact Gareth Hutchings
Our Ref LPOD/963/2025
Your Ref

Corporate Centre
273 Main Street (PO Box 1618)
Bairnsdale Victoria 3875
Telephone: (03) 5153 9500
National Relay Service: 133 677
Residents' Info Line: 1300 555 886
Facsimile: (03) 5153 9576
Email: feedback@egipps.vic.gov.au
ABN 81 957 967 765

29th January 2025

Anchor Construction Group Pty Ltd
PO Box 210
SALE VIC 3850

Email:

Dear Sir or Madam,

Storm Water Point of Discharge
3 Maurice Avenue MALLACOOTA
CA: 9 Sec: 8

As per your application, please find the attached plan showing Storm Water Point of Discharge for the above property.

The storm water pipe layout to the discharge point must be shown on the approved building permit plans.

For further information or advice on the provided Storm Water Point of Discharge, please contact Council's Senior Technical Officer on (03) 5153 9500.

Yours sincerely

Lachlan McArthur
Senior Technical Officer

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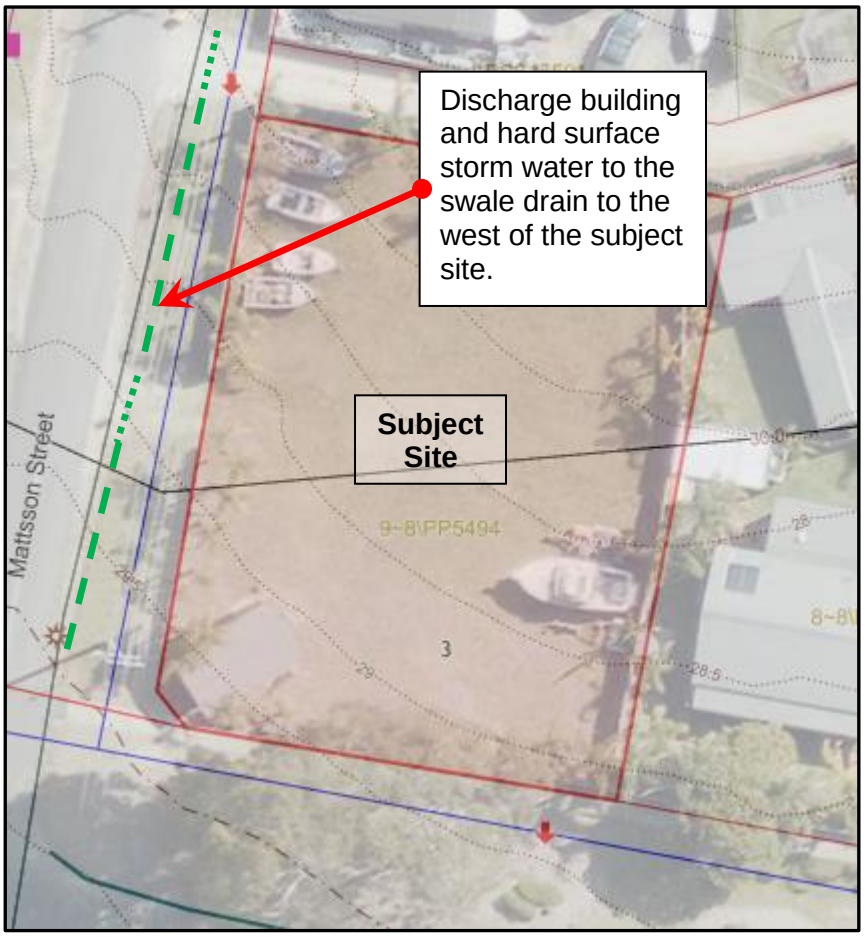
STORM WATER POINT OF DISCHARGE

Property: 3 Maurice Avenue MALLACOOTA
CA: 9 Sec: 8
Proposed: Multiple dwelling
Our ref: LPOD/963/2025



1. Drainage infrastructure exists within the road reserve to the West of the subject site in the form of a grassed swale drain.
2. Storm water runoff from buildings and paved areas must be directed to the swale drain.
3. Connections to the swale drain must be in accordance with Council requirements and to Council satisfaction.
4. Pipes in the verge (min. 200mm dia.) must be of a durable material such as galvanised steel, concrete, or Heavy-Duty sewer-grade M-PVC.
5. Reinstatement of the verge and swale drain must be to Council's satisfaction.
6. No storm water runoff from the development is permitted to flow or discharge over neighboring properties.

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Your Reference	Mallacoota Health
Our Reference	BLDG/1338
Contact	Building Department
Parcel Number	112243
Fee:	$52.10

Corporate Centre
273 Main Street (PO Box 1618)
Bairnsdale Victoria 3875
Telephone: (03) 5153 9500
National Relay Service: 133 677
Residents' Info Line: 1300 555 886
Facsimile: (03) 5153 9576
Email: feedback@egipps.vic.gov.au
ABN 81 957 967 765

24/01/2025

Anchor Construction Group Pty Ltd
PO Box 210
SALE VIC 3850

Dear Sir/Madam,

BUILDING INFORMATION – REGULATION 51(2)

Property Address: 3 Maurice Avenue MALLACOOTA VIC 3892
Property Description: CA: 9 Sec: 8 - Vol 8274 Fol 592

In reference to your request for information pursuant to Regulation 51(2) *Building Regulations 2018* on the above-mentioned property I would like to offer the following:

(a)(e)	In an area liable to flooding within the meaning of regulation 51(2) or is designated land.	No
(b)	In an area that is designated under regulation 150 as an area in which buildings are likely to be subject to attack by termites.	Yes
(c)	In an area for which a bushfire attack level has been specified in a planning scheme.	Yes See Bushfire Note below
(d)	In an area designated under regulation 152 as likely to be subject to significant snowfalls	No
(f)	Effected by Designated Works	No

Bushfire and Flooding Note
To see if this property has been designated in an area for which a bushfire attack level has been specified in a planning scheme, or within a land subject to inundation overlay, click on the following link: https://www.land.vic.gov.au/property-and-parcel-search

If the property shows as being in a BMO1 or BMO2, a bushfire attack level is specified in the Planning Scheme.

If the property shows as being in a land subject to inundation overlay, please contact the East Gippsland Catchment Management Authority to confirm any levels applicable to this property.
Ph. 5152 0600 www.egcma.com.au. The minimum designated flood level for Lakes Entrance is 1.8m AHD.

For further information regarding building matters please contact the Council on (03) 5153 9500.

Yours sincerely

MICHELLE VAN AARDE
Land Use Administration Team Leader

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Townhouse and Low-Rise Code

Written Statement checklist

9 Maurie Avenue Mallacoota

Under clause 55.01 (Application requirements) of the planning scheme an application must be accompanied by "a written statement outlining which standards are met and which are not met. If a standard is not met, the written statement must include an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines".

This checklist can be used to complete the written statement.

Where all the applicable standards shaded in grey are met, an objector has no right of appeal.

Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B2-1 Street setback (Clause 55.02-1)	X Yes ☐ No	☐ Yes, if standard not met X No, if standard met	Standard is met. The site is on a corner, and there is no abutting allotment facing the same street. And it is not a Transport Zone 2 street. Therefore, the applicable minimum setback from the front street is 4.0 metres.
Standard B2-2 Building height (Clause 55.02-2)	X Yes ☐ No	☐ Yes, if standard not met X No, if standard met	Standard is met. The maximum building height does not exceed 9 metres. Maximum height of development is 4.5 metres.
Standard B2-3 Side and rear setbacks (Clause 55.02-3)	X Yes ☐ No	☐ Yes, if standard not met X No, if standard met	Standard is met. North side boundary setback is 3.5 metres. South side boundary setback is 4.5 metres. Rear setback is greater than 10 metres.
Standard B2-4 Walls on boundaries (Clause 55.02-4)	X Yes ☐ No	☐ Yes, if standard not met X No, if standard met	Standard is met. There are no walls on boundaries.
Standard B2-5 Site coverage (Clause 55.02-5)	X Yes ☐ No	☐ Yes, if standard not met X No, if standard met	Standard is met. Site Coverage is 272m2 on a lot of 1240m2 – only 22%
Standard B2-6 Access	X Yes	☐ Yes, if standard not met	Standard is met. The width of the access way is less than 5.0 metres which is only 13% of the 38.22-metre front boundary

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Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
(Clause 55.02-6)	☐ No	X No, if standard met	
Standard B2-7 Tree canopy (Clause 55.02-7)	☐ Yes X No	X Yes, if standard not met ☐ No, if standard met	There are no existing canopy trees on site. Providing 20% canopy cover cannot be achieved due to Defendable Space requirements under the Bushfire Management Overlay.
Standard B2-8 Front fences (Clause 55.02-8)	☐ Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	NA – No front fence proposed.
Standard B3-1 Dwelling diversity (Clause 55.03-1)	☐ Yes ☐ No	No, irrespective of whether the standard is met or not.	NA – Less than 10 dwellings in this proposal
Standard B3-2 Parking location (Clause 55.03-2)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard is met. Habitable room windows are all more than 1.5 metres from accessways and carparks.
Standard B3-3 Street integration (Clause 55.03-3)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard is met. For each of the 4 dwellings: - Direct view is provided from front deck and living room of each. - Site services are at the rear and unable to be seen from Mattsson Street. - Compliant fencing screens services from being seen from Maurice Avenue.
Standard B3-4 Entry (Clause 55.03-4)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard is met. All four dwellings have a ground level entry door that: - Have a direct line of sight from Mattsson Street - Are not accessed through a garage - Have an external covered area of 7.2m2 with a minimum dimension of 1.8 metres
Standard B3-5 Private open space (Clause 55.03-5)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard is met. Secluded Private Open Space is provided as follows: - Unit 1 - more than 60m2 - minimum dimension 4.5 metres - Unit 2 – more than 45m2 - minimum dimension 3.5 metres - Unit 3 – more than 45m2 - minimum dimension 3.7 metres - Unit 4 – more than 55m2 - minimum dimension 3.5 metres

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Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B3-6 Solar access to open space (Clause 55.03-6)	☐ Yes **X** No	No, irrespective of whether the standard is met or not.	Not applicable to Units 2 and 4. SPOS north boundary for these 2 units is a picket fence. North wall height above SPOS = 3.265m. So theoretically setback works out to be 4.938m. - Unit 1 – north wall setback is 4.7 metres - Unit 3 – north wall setback is 3.6 metres Although the theoretical standard isn't met for Units 1 and 3, we believe the objective of the standard is met because SPOS proposed is much greater in area than the minimum requirement of B3-5 [25m2 with minimum dimension of 3.0m]. - Unit 1 has more than 60m2 of SPOS – > double the minimum requirement. - Unit 3 has more than 50m2 of SPOS – double the minimum requirement. Additionally, Private Open Space is available to the rear of the dwellings.
Standard B3-7 Functional layout (Clause 55.03-7)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard is met. - All bedrooms are 3.2 mx x 4.02 m - Living Area is approximately 25m2 for each unit single bedroom unit
Standard B3-8 Room depth (Clause 55.03-8)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard is met. - Not applicable to Living Rooms and Bedrooms, as these are provided with two windows each. - Bathroom is single aspect and depth < 2.5 times the ceiling height.
Standard B3-9 Daylight to new windows (Clause 55.03-9)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard is met. - All habitable rooms have at least one window that faces an outdoor space clear to the sky, not including land on an abutting lot.
Standard B3-10 Natural ventilation (Clause 55.03-10)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard is met. - Maximum breeze path is < 18 metres - Minimum breeze path is > 5 metres

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Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B3-11 Storage (Clause 55.03-11)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard is met. Each dwelling has exclusive access to 6m3 of externally accessible storage space.
Standard B3-12 Accessibility for apartment developments (Clause 55.03-12)	☐ Yes ☐ No	No, irrespective of whether the standard is met or not.	Not Applicable
Standard B4-1 Daylight to existing windows (Clause 55.04-1)	X Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard is met.
Standard B4-2 Existing north-facing windows (Clause 55.04-2)	X Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard is met.
Standard B4-3 Overshadowing secluded open space (Clause 55.04-3)	X Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard is met.
Standard B4-4 Overlooking (Clause 55.04-4)	X Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard is met.
Standard B4-5 Internal views (Clause 55.04-5)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard is met.

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Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B5-1 Permeability and stormwater management (Clause 55.05-1)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	The proposed development shows pervious surfaces significantly more than the minimum 20% required. Stormwater from all roof areas will be directed to the Legal Point of Discharge. Runoff from the access driveway will be managed on-site via landscaped garden beds and lawn areas, providing natural infiltration and filtration. The overall built form and site coverage of the proposal are comparable to that of a typical single dwelling, which would not ordinarily need a formal Stormwater Management Plan (SMP). Although the proposal comprises four individual units, the scale and intensity of development don't differ from that of a standard dwelling in terms of impervious area or runoff generation. Accordingly, we submit that the requirement for an SMP in this instance appears disproportionate, and that the proposed stormwater management measures are sufficient to ensure compliance with this Standard.
Standard B5-2 Overshadowing domestic solar energy systems (Clause 55.05-2)	X Yes ☐ No	☐ Yes, if standard not met ☐ No, if standard met	Standard is met.
Standard B5-3 Rooftop solar energy generation area (Clause 55.05-3)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard is met.
Standard B5-4 Solar protection to new north-facing windows (Clause 55.05-4)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	As stated in our response to Clause 55.05-1 above, this proposal is similar (or in some cases, smaller) to a typical single dwelling. A single dwelling on this lot would probably not trigger planning, nor would it require solar protection to new north-facing windows. In consideration of this context the requirement seems excessive given the modest scale of the proposal.

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Standard	Is standard fully met?	Does an objector have a right of appeal?	If the standard is not met, provide a written statement that includes an explanation of how the development meets the corresponding objective having regard to the corresponding decision guidelines
Standard B5-5 Waste and recycling (Clause 55.05-5)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard is met. Individual bin storage area provided for each dwelling of 1.8m2 Each dwelling includes an internal waste and recycling storage space of at least 0.07 cubic metres with a minimum depth of 250 millimetres.
Standard B5-6 Noise impacts (Clause 55.05-6)	X Yes ☐ No	No, irrespective of whether the standard is met or not.	Standard is met. No mechanical car storage, plant or lift facilities will be on this site.
Standard B5-7 Energy efficiency for apartment developments (Clause 55.05-7)	☐ Yes ☐ No	No, irrespective of whether the standard is met or not.	Not Applicable

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Site Classification

AS2870-2011 Residential Slabs and Footings

Date:	24/2/2025
Date of Fieldwork:	20/2/2025
Site Number:	238344
Site Address:	No. CA 9 Sec 8 No 3 Maurice Avenue Mallacoota VIC 3892
Client:	Anchor Homes

Summary of Assessment Results

Site Classification:	**"P"** in accordance with AS2870-2011
Climatic Zone:	**"1"** in accordance with AS2870-2011
Wind Rating:	**"N2"** in accordance with AS4055-2021

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Direct Contact

Any questions or queries regarding this report should be directed to Intrax Consulting Engineers on -03 8371 0100 or email at info@intrax.com.au.

Document Revision History

Date	Rev	Engineer	Comments
24/02/2025	A	Saroj Niroula	First Edition

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1 Introduction

Intrax Consulting Engineers Pty Ltd (Intrax) have been engaged by the client to conduct an investigation of the surface and subsurface conditions at **No. CA 9 Sec 8 No 3 Maurice Avenue Mallacoota VIC 3892** as depicted on the cover page with a view to reporting on the Site Classification for a proposed residential dwelling.

2 Site Classification

2.1 Site Geology

The available Geological Survey Maps showed the site to be underlain by **Quaternary Aged Sedimentary Deposits**. The subsurface profile encountered in the boreholes is considered to be consistent with the geological map indications.

2.2 Field Investigation

Three (3) boreholes were advanced using a **Mechanical Auger** to the depths indicated on the borehole logs (refer to Appendix B). These boreholes were positioned as indicated on the site plan (refer to Appendix A) along with details of the existing surface conditions such as slope, trees, and existing buildings. Disturbed materials obtained from augering boreholes were logged in accordance with AS1726-2017 and then classified in accordance with AS2870-2011.

A guide to the existing/natural soil profile consisted of:

FILL - SILT overlying the naturally occurring:

SILT and

CLAY

Full details of the observed subsurface material and conditions have been recorded on the borehole logs and presented in Appendix B.

2.3 Site Classification in Accordance With AS2870-2011

In accordance with AS2870-2011 "Residential Slabs and Footings Construction" a site classification of **Class "P"** is applicable to this site **due to abnormal moisture conditions – existing trees on site and adjacent.**

This site is subject to abnormal moisture conditions which must be alleviated or allowed for in the design of the footing system.
In the absence of these abnormal moisture conditions, the designing engineer should recognise that the natural soils encountered on this site result in a **"Class M"** site classification applying to this site.

On the basis of the findings in this investigation, including visual-tactile identification of the soil profile combined with this writer's local knowledge and experience, the characteristic surface movement (Ys) on this site – under normal conditions – has been estimated to be in the range of **20mm to 40mm**.

Should a more detailed investigation (by others) with relevance to the reactivity of the soils in the local area be available, Intrax should be provided with this documentation. It is a condition of this report that any information the client may have with regards to the site and its history be provided to Intrax. This may lead to Intrax reviewing the above classification and conducting a more detailed geotechnical investigation with regards to the additional information. This report is not a detailed geotechnical investigation. It complies with the requirements of AS2870-2011 and is limited to the items required under Clause 2.2.2(a). Should a more rigorous assessment be required, Intrax can provide a Geotechnical Investigation of the site upon request.

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In assessing the classification for this site, and unless specifically noted, this report has not considered any future tree(s) to be planted as part of either site or roadside landscaping. If additional information is known by the owner, future owner, any stakeholder, or any consultant, this information must be provided to the design engineer to ensure that the footing system is adequate for the conditions which are expected.

2.3.1 Additional Notes Relating to This Site Classification

This investigation is based on a limited geotechnical assessment. Should the subsurface conditions encountered during construction vary from those described above, Intrax must be advised of these variations to provide comment or inspect the site where necessary. The use of standard footings as presented in AS2870-2011 is only applicable to building with a loading and a construction style similar that of a residential dwelling as described in section 3.1 of AS2870-2011.

In accordance with AS2870-2011 Clause 2.5.2 a reclassification is required when the site is cut by more than 0.25Hs or 0.5m. Unless the effect of a proposed cut is specifically discussed and incorporated into this report Intrax recommends a second site investigation is undertaken on the final surface level unless the depth of investigation satisfies the impact of the cut. On sites with less than 1.0 m of cut the foundation design engineer may opt to design for reduced crack zone from first principles. An additional site investigation may not be required in situations where sufficient ground data exists to amend the report without further drilling, please contact Intrax to assess how this clause may impact your site.

2.4 Wind Rating

At the time of our site visit an investigation of this site and the surrounding terrain was conducted to determine the Wind Classification Design Speed. The maximum design gust wind speed for this site is **40 m/s** based on wind speed calculations (Vh) for use in ultimate limit state design only calculated in accordance with the limitations as in AS4055 Section 1.2.

The Wind Rating for this site has been assessed as **N2**.

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3 Founding Recommendations

Based on the site classification of the site, engineer designs in accordance with AS2870-2011 Section 4 can be adopted. An engineer designed footing system designed by engineering principles founded on natural material is recommended for this site. We recommend that the designing engineer refer to AS2870 - 2011 to ensure design compliance to this document, especially Sections 1.3 "Performance of Footing Systems and Design Considerations."

3.1 Isolated Pad/Stump Footing System

An isolated stump/pad footing system may be adopted for this site. Footings may be proportioned in accordance with a Class **"P(M)"** site as per AS2870-2011 provided that the following requirements are met:

- *In absence of abnormal moisture conditions,* Pads/Stumps should penetrate through any fill material and SILT be founded a minimum of 700mm below existing surface level unless refusal on weathered rock, at this depth allowable bearing of 120KPa can be adopted.
- *Due to the presence of the abnormal moisture conditions,* all stump/pad footings must be founded at a depth of 1000mm below the existing natural ground level, at this depth allowable bearing of 250KPa can be adopted.

Note: Minimum founding depths are relative to surface levels at the time of the site investigation.

3.2 Maintenance Recommendations

In line with AS 2870-2011 Appendices A and B, the owner, future owner, any stakeholder, and any consultant, have a duty of care to ensure that future landscaping will not contribute to an adverse impact on the footing system. Intrax recommends reference to the following resources when planning landscaping works for the site:

- HEDRA – How to protect your house (https://bit.ly/3opoBQf)
- CSIRO – Foundation Maintenance and Footing Performance: A Homeowner's Guide [2003] (https://bit.ly/3qe0yGb)
- VBA – Minimising foundation movement and damage to your house [2015] (https://bit.ly/3qhvIg4)

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3.3 Allowable Bearing Pressures

The following allowable bearing pressures can be adopted for the soils listed in the table below. These bearing pressures apply where typically the embedment is a minimum of 100mm into the specified material.

Table 1: Allowable Bearing Pressures

Soil Type	Indicative Founding Depth (mm)	Maximum Allowable Bearing Capacity (kPa)
Uncontrolled Fill[1]	N/A	N/A
Natural Silts[2]	100mm into layer	60
Natural Clay[2]	100mm into layer	120
Natural Clay[2]	900mm into layer	250

SILT* bearing pressures reported above are only applicable to raft slab and or waffle slab foundations. Where strip, pad, and bored piers are adopted bearing pressures reported for the deeper, clay and or rock units are to be adopted. The minimum founding depths as required by AS2870 can be adopted unless specific founding depths have been provided in Section 3. Further investigation may be required for such footing types.

[1] **Uncontrolled Fill** - Any FILLING that does not meet the requirements of AS2870-2011 Clause 2.5.3(b). This clause allows up to 0.8m of uncontrolled SAND FILL and up to 0.4m of uncontrolled CLAY FILL without impacting on the above site classification following that all foundations are founded on the natural soils through the filling.

[2] **Natural Material** – All-natural material given allowable bearing capacities denotes strength at optimum moisture conditions. The potential presence of perched groundwater in soils may lead to construction difficulties during wet weather. Please refer to Section 4.2 for site specific difficulties.

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4 Construction Techniques and Difficulties

4.1 General

1. All loose surface fill, all roots and all organic material are to be removed from the building platform.

2. Notwithstanding the recommendations made in this report, wherever footings are close to any excavations or easements, that part of the footing must be deepened so that the projection from the underside of the footing to the bottom of the excavations makes an angle not exceeding 30 degrees in sandy soils and 45 degrees in clayey soils (This angle is measured from the horizontal). Steeper angles are not recommended unless sufficient testing and investigation has been carried out to indicate otherwise or the foundations are founded in competent rock.

3. It is recommended a second soil test be undertaken if the site is cut more than 400mm for CLAY sites. Where it is proposed to FILL the site a second soil test will be required should > 400mm of CLAY FILL be proposed or >800mm SAND FILL be proposed. It is recommended that any FILLING placed meet the requirements of CONTROLLED FILL as this will minimise the impact of the FILLING on the current classification of the site.

4. The Plumber shall lay waste pipes below ground surface at minimum grade. Risers are to be staked firmly.

5. Care shall be taken with surface drainage of the allotment from the start of construction and must be well drained so that water cannot pond beside or adjacent to footings. The drainage system shall be completed by the finish of construction of the house in accordance with AS2870-2011 Clause 5.5.3 (a). Failure to do so may result in structural damage and/or cracked finishes.

6. Proper site drainage is important in reactive sites such as this site. It is therefore recommended that the ground surface immediately next to the perimeter footings be graded away or site drainage issues be addressed. Should you the client require detailed design for specific site drainage plans please contact Intrax Consulting Engineers.

7. On sloping sites, the potential for water to build up adjacent to the high side of the footing exists where permeable soils are present above impermeable soils. These conditions may result in structural damage and/or cracked finshes. In order to prevent this, additional drains may be installed so as to redirect the water around the house siting. In order to ensure the effectiveness of these measures, the drains should be installed at least 200mm into the impermeable soils.

8. Additional drainage measures such as dish drains may be required at the top batters to protect the face from scouring.

9. Acceptable construction practices for unretained permanent embankments shall be in accordance with NCC Clause 3.1.2. Pursuant to NCC Clause 3.1.2, unretained permanent embarkments relating to earthworks to form the dwelling bench, shall be in accordance with the underlying characteristic surface movement in the absence of abnormal moisture conditions as quantified in this report (site classification) and soil properties (refer section 2.3) as referred to in the relevant soil report and NCC Table 3.2.1. Application & Construction of Un-retained embankments shall be in accordance with section 3.2 Earthworks of the NCC.

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UN-Retained Embankment Slope Table

Soil class	Site cut (excavation) (slope ratio, angle of site cut H:L)	Compacted fill (slope ratio, angle of batter H:L)
Stable rock*	8:1	2:3
Sand/Silt	1:2	1:2
Firm clay	1:1	1:2
Soft Clay	2:3	Not suitable
Note: refer Clause 3.2.1 for application.		

*stability must be confirmed by experienced geotechnical engineer through onsite inspection of shallow cut (1:1) rock face between steepening the batter.

Note: If the site is affected by: surface surcharge loads, shallow groundwater, open drains, dams, channels, and/or ponds, existing or removed; the given slopes may need to be reduced. The embankments should be monitored, and if their performance is not satisfactory, consideration must be given to reducing the angle, installing a retaining wall or both. An experienced Geotechnical Engineer should be consulted.

10. Any filling placed across the site to assist in levelling prior to slab construction should conform with the requirement for either Controlled fill (Clause 2.5.3) or Rolled fill (Clause 6.4.2) AS 2870-2011. These clauses are as follows. If it cannot be confirmed that the fill is Controlled Fill or Rolled Fill then the reader should refer to item (c).

A. Controlled Fill - Fill that will be required to support structures or associated pavements, or for which engineering properties are to be controlled AS2870-2011. Refer Clause 2.5.3, Clause 2.5.3(a)(c) - (Ie: where a specification has been provided on the type, quality and compaction requirements for filling at a site and the earthworks have been deemed compliant with the specification)

B. Intrax has the express right to deem FILL uncontrolled where it cannot be clearly demonstrated that fill has been placed under the above conditions. That is to say that it is a requirement of the developer/builder to demonstrate fill placement has been placed in the appropriate layer thicknesses.

C. Rolled Fill - Rolled Fill consists of material compacted in layers by repeated rolling with an excavator or similar equipment. The depth of rolled fill shall not exceed 0.6metres compacted in layers not more than 0.3m thick for sand material or 0.3m compacted in layers not more than 0.15m thick for other material AS2870-2011 Cl6.4.2(b)

D. Where the nature of the fill cannot be confirmed, this office must undertake an assessment of the fill or be supplied with a suitable compaction report or geotechnical assessment of the fill to undertake an appropriate design for the site if the fill is to be utilised as a foundation.

11. We advise that it is possible that some sites may still have the presence of isolated areas of original organic material that may not have been fully removed during the sub division earthworks development stage. Intrax will make every effort to identify organic material within the soil profile, however due to the limitation on the number of boreholes for each site investigation, it is possible that some of these pockets may escape identification. Intrax does not take responsibility for isolated organic material that lies in areas outside our borehole locations, to the extent that these pockets could affect the design or construction of the footing system.

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4.2 Site Specific

- **The soils encountered on-site could develop a localised perched groundwater during periods of high rainfall which may lead to construction difficulties associated with excavations on this site.**

- **This site contains significant trees which may affect the foundations of the proposed residence. Remove existing trees and tree roots/material over the proposed building area. Any soft or loose material that does not respond to compaction should be excavated to achieve a firm working base. Fill holes with suitable fill compacted in 150mm (maximum) layers.**

- **An engineer designed footing system in accordance with AS2870 2011 is recommended for this site taking into consideration the effect of the existing trees in relation to the final house siting.**

- **If the existing structure falls under proposed structure, demolition of the structure is likely to leave isolated pockets of fill and or disturbed ground conditions. Where there is local disturbance the proposed foundations must extend a minimum of 100mm below the level of disturbance into either of the naturally occurring materials as identified in Section 2 of this report. Note alternatively the disturbed material may be controlled and subsequently adopted as a founding material (refer definitions on controlled FILL).**

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5 Conditions of Use of This Report

5.1 Report Limitations

1. The recommendations in this report are based on the following:

   a) Information about the site & its history, proposed site treatment and building type conveyed to us by the client and or their agent

   b) Professional judgments and opinions using the most recent information in soil testing practice that is available to us.

   c) The location of our test sites and the information gained from this and other investigations.

2. Should the client or their agent neglect to supply us with correct or relevant information, including information about previous buildings, trees or past activities on the site, or should changes be made to the building type, size and/or position, this report may be made obsolete, irrelevant or unsuitable. Whilst Intrax makes every attempt to identify the history of the site in a limited scope soil classification report such as this report, Intrax should be notified immediately if any of the above-mentioned circumstances are known, suspected by local knowledge, evidence of soil with varying moisture contents presents, isolated fill is evident and/or where other proof of historical activities is identified onsite, and not reflected in this report. In such cases as above, Intrax will not accept any liability for the consequences. Intrax reserves the right to make an additional charge if more testing or a change to the report is necessary due to the above.

3. The recommendations made in this report may need to be reviewed should any site works disturb any soil 200mm below the proposed founding depth.

4. The descriptions of the soils encountered in the boreholes follow those outlined in AS1726-2017; Geotechnical Site Investigations. Colour descriptions can vary with soil moisture content and individual interpretation.

5. If the site conditions at the time of construction differ from those described in this report then Intrax must be contacted so a site inspection can be carried out prior to any footing being poured. The owner/builder will be responsible for any fees associated with this additional work.

6. This report assumes that the soil profiles observed in the boreholes are representative of the entire site. If the soil profile and site conditions appear to differ substantially from those reported herein, then Intrax should be contacted immediately and this report may need to be reviewed and amended where appropriate. The owner/builder will be responsible for any fees associated with this additional work.

7. The user of this report must take into account the following limitations. Soil and drilling depths are given to a tolerance of +/- 200mm. Where spot levels or a feature survey have been undertaken, levels are given a tolerance of +/- 200mm.

8. It must be understood and a condition of acceptance of this report is that whilst every effort is made to identify fill material across the site, difficulties exist in determining fill material, in particular, for example, well compacted site or area derived fill, when utilising a small diameter auger. Consequently, Intrax emphasises that we will not be responsible for any financial losses, consequential or otherwise, that may occur as a result of not accurately determining the fill profile across the site.

9. The owner(s) and/or future owner(s) shall be cognisant of their responsibilities as outlined in AS2870-2011 Appendices A and B.

10. Intrax's assessment of flooding is based on Government/Council planning and GIS data available at the time of this investigation. Intrax has not made a site specific assessment based on height or hydrological data with reference to the future flood risk at the property. Intrax does not guarantee that this site is free from flooding as further detailed investigation may be required.

    a) This report does not assess the potential for landslide, undermining or aggressive soils.

11. Unless specifically mentioned, this report has not considered the risk of subsidence caused by historical, current or future mining activities.

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5.2 Variations to This Report

It is neither economically feasible nor practical to determine every subsurface feature on the site. Studies have shown that a large number of boreholes leads to only a slight increase in probability of detecting hidden site features (such as a filled well or cellar) in the foundation soils. As such, any variations, or discrepancies in soil type, colour, or horizon depth must be reported to the Engineer immediately so that their potential influence on the footings may be assessed.

5.3 Loss or Damages

Subject to the limitations of this report as expressed in Section 5.1, Intrax Consulting Engineers Pty Ltd will not accept liability for loss or damage, consequential or otherwise, based on the recommendations of this report, other than for the cost of re-assessment. This site classification assessment should not be considered a comprehensive analysis of the subject site. Should a more detailed geotechnical assessment be required Intrax Consulting Engineers Pty Ltd can provide such a report. Please contact Intrax Consulting Engineers Pty Ltd to discuss this further.

Should you have any questions regarding this report please do not hesitate to contact the Intrax Site Classification Division on 03 8371 0100.

For and on behalf of Intrax Consulting Engineers Pty Ltd

Saroj Niroula

B. Eng. (Civil)

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Appendix A

Site Plan

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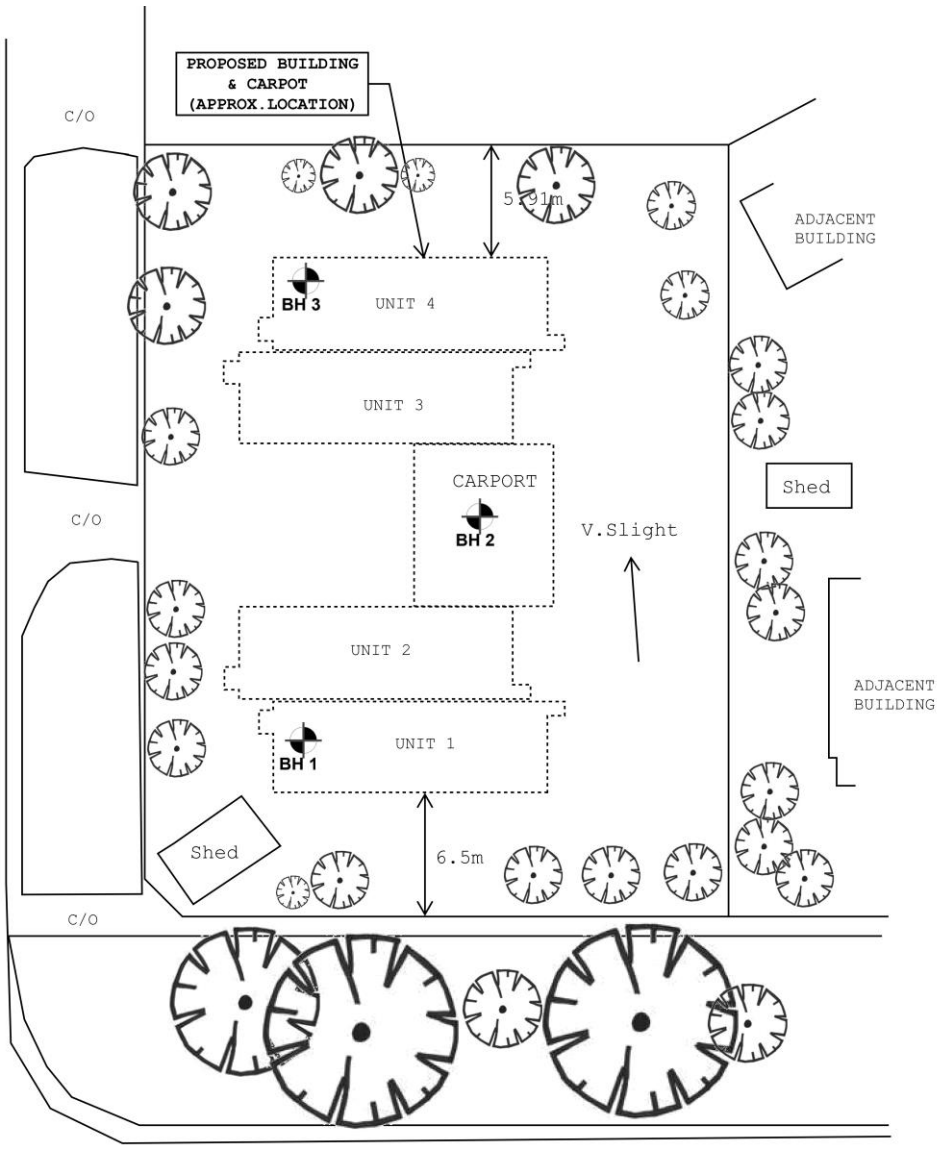
Site Plan



NOT TO SCALE

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Appendix B

Borehole Logs

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Intrax HOUSING

Borehole Logs

Site Address: No. CA 9 Sec 8 No 3 Maurice Avenue Mallacoota VIC 3892							MECHANICAL AUGER	MECHANICAL AUGER	MECHANICAL AUGER
Horizon	**USC**	**Soil Type**	**Moisture**	**Density/ Consistency/ Strength**	**Plasticity**	**Description**	**Borehole 1**	**Borehole 2**	**Borehole 3**
EXISTING SURFACE LEVEL							0	0	0
UNCONTROLLED FILL	ML	SILT with sand trace gravel	Moist, Dry to Near Plastic Limit	Firm	Low Plasticity	dark grey brown, root material.	0 - 100	0 - 100	0 - 200
A	ML	SILT trace clay & gravel	Moist, Dry to Near Plastic Limit	Firm	Low Plasticity	dark grey brown to pale grey brown, Charcoal, root material.	100 - 600	100 - 600	200 - 600
B	CI	CLAY trace gravel	Moist, Dry to Near Plastic Limit	Stiff to Very Stiff	Medium Plasticity	mottled grey red brown orange yellow, root material.	600 - 1800	600 - 1800	600 - 1800
Intrax HOUSING				**Intrax ID #:**		238344	NO REFUSAL	NO REFUSAL	NO REFUSAL
				Date of Fieldwork		20/02/2025	Groundwater Not Encountered	Groundwater Not Encountered	Groundwater Not Encountered

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PLANNING APPLICATION – 3 MAURICE AVENUE MALLACOOTA

- **4 Dwellings on a Lot, within**
  - **General Residential Zone,**
  - **Bushfire Management Overlay and**
  - **Design & Development Overlay**
- **Vegetation Removal in Vegetation Protection Overlay**

INTRODUCTION

Anchor Homes has been engaged by owner of the property, to prepare this Planning Submission in support of an Application for Planning Permit for use and development of 4 dwellings on the lot within the General Residential Zone, Bushfire Management Overlay and Design & Development Overlay and also vegetation removal within the Vegetation Protection Overlay.

Based on the following we believe this proposal will substantially comply with the relevant planning provisions to which the development is subjected. It is understood that it is not necessary to achieve full compliance with the relevant planning provisions given the minor nature of any variations and the overall design outcome.

This report is written in support of the proposed development and having due regard to the relevant provisions of the Planning and Environment Act, Planning Policy Framework, Municipal Planning Strategy, and the Decision guidelines and purpose and objectives of applicable zones and overlays.

LOCALITY DESCRIPTION

Mallacoota is a very popular holiday location and retirement area. It is a base for eco-tourism and known for its wildflowers, abalone industry, the inlet estuary consisting of Top Lake and Bottom Lake, and Croajingolong National Park that surrounds it.

With a permanent population of around 1300 it swells to a teeming 10,000 in the holiday season as people are drawn to the natural beauty of its beaches, inlet and National Parks.

Considered one of the most isolated towns in Victoria, Mallacoota is 25 kms off the Princes Highway and more than 500kms (6 hours) from Melbourne, and 7 hours from Sydney.

The nearest larger towns are Eden and Merimbula, just over an hour's drive across the NSW border, while a trip to Bunnings or Kmart necessitates a 2.5-hour drive to Bairnsdale.

Recruiting professional workers (e.g. healthcare) to remote locations like Mallacoota faces significant challenges for a wide range of reasons of which Mallacoota District Healthcare is well aware.

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Anchor Homes

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SUBJECT LOCATION & DESCRIPTION – 3 Maurice Avenue MALLACOOTA

On the southeast corner of Maurice Avenue and Mattsson Street, this substantial, rectangular property is 1240m2 and close to shops, schools, beaches and medical centres.

Oriented north/south, it slopes from the southern boundary down to the northern boundary with just over 2 metres of fall.

While the street address is Maurice Avenue, the longer boundary faces Mattsson Street – creating a natural 'front' to the lot.

Interestingly, the property originated as a Crown Grant in 1954 and is officially known as Crown Allotment 9 Section 8 Township of Mallacoota Parish of Mallacoota. Volume 08274 Folio 592. It came into the current ownership in 2024.

There are no encumbrances on the Title nor easements to burden the land.

The site is vacant apart from a small run-down shed (to be demolished) and is fenced for most of the perimeter. Several large Cocos Palms have been planted inside the boundaries.

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Anchor Homes

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SURROUNDING PROPERTIES, BUILTFORM & STREETSCAPE

On the west side of Mattsson Street, directly opposite the subject lot, is the principal location for Mallacoota District Health Services - situated on the southwest corner of Maurice Avenue (aka Genoa-Mallacoota Road) and Mattsson Street. This location also accommodates MDHSS housing.

The Mallacoota Urban Design Framework shows the subject lot adjoins Precinct 11 – the Civic Service Precinct, that includes police, community service centres, senior citizens, general practitioner, Telstra and other government departments.

East along Maurice Avenue – is Precinct 9, the Town Centre Residential Precinct. These are older permanent homes and holiday accommodation on smaller lots, most lots built on with low key materials and modest building styles. These lots would not have water views.

At the northern boundary – down Mattsson Street – the subject lot adjoins a right-of-way that provides access to the rear of properties facing Bruce Street and Maurice Avenue.

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Bayswater VIC 3153
-
03 5145 7110
sales@anchorhomes.com.au

THE PROPOSAL

The style and layout of the proposed dwellings are based on a modification of Anchor Homes' Suburban Gable design.

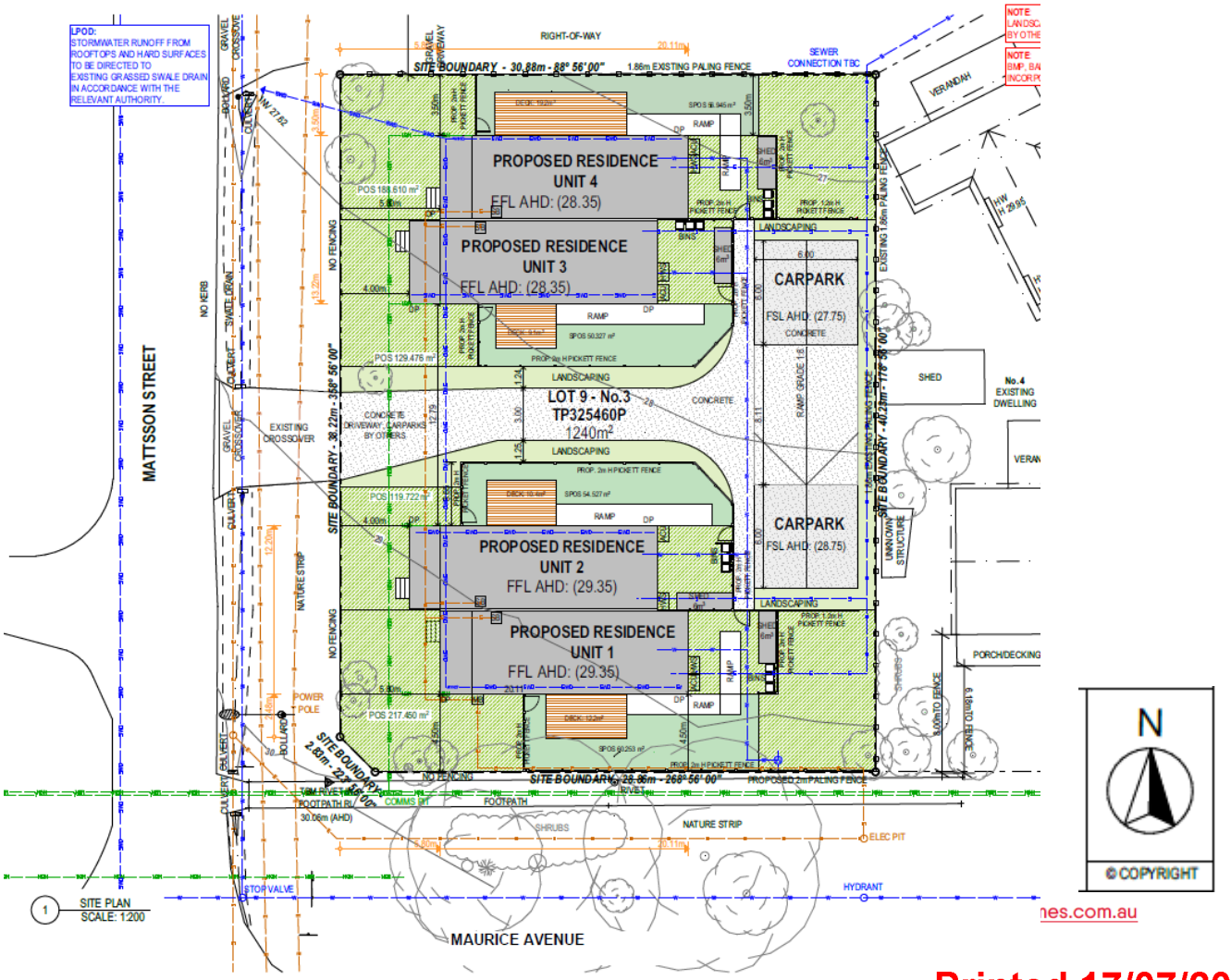
Although the four dwellings will be constructed in pairs, they will be entirely separate living spaces without connecting doors or passageways.

Each dwelling provides 68m2 internal living space comprising a single bedroom, bathroom, European laundry, and open plan kitchen, meals living area. The architectural front of the dwellings will face Mattsson Street. The sealed driveway leading to four carparking spaces at the rear of the dwellings will also be accessed from Mattsson Street.

Private open space and secluded private open space are provided for each dwelling which includes generous deck areas and Livable Housing access ramps.

The proposal also requires demolition of the little old shed and removal of most of the perimeter Cocos Palms.

Mallacoota District Health Services



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Artistic Impressions

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PLANNING CONTROLS

- **Municipal Planning Strategy**
- **Planning Policy Framework**
- **Built Environment & Housing**
- **General Residential Zone (GRZ)**
- **General Residential Zone – Schedule 1 (GRZ1)**
- **Bushfire Management Overlay (BMO)**
- **Design and Development Overlay (DDO)**
- **Design & Development Overlay – Schedule 12 (DDO12)**
- **Vegetation Protection Overlay (VPO)**
- **Vegetation Protection Overlay – Schedule 8 (VPO8)**

Municipal Planning Strategy

The following are extracts we consider relevant to this submission**:**

- *East Gippsland is growing at an annual rate of about one percent and development will be guided by policies to ensure that this growth reflects local character and meets the needs of future generations* This obviously includes adequate provision of healthcare and related services.

- *The Shire's many small townships* (such as Mallacoota) *present challenges in the planning and delivery of services* (healthcare being one of these) *and infrastructure; but also presents an opportunity for a more localised or place-based planning approach.*

- *The Shire has a vibrant tourism industry that offers potential for significant expansion.* Additional population, whether permanent or temporary always calls for additional healthcare offerings.

- *Strategic directions for environmental and landscape values includes 'balancing residential, business and tourist development with wildlife corridors and areas of rural or natural landscape.'* This proposal utilises vacant land in an existing suburban area – infill development that has no negative impact on wildlife corridors or areas of rural and natural landscape.

- *Strategic directions for transport and infrastructure includes 'maintaining and extending community services, cultural and recreation facilities.'* This proposal supports this direction in that it is providing pleasant, up-to-date accommodation for healthcare professionals, designed to attract them to a remote location like Mallacoota.

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Planning Policy Framework

Again, the following are extracts we consider relevant to our application:

- *Planning is to recognise the need for, and as far as practicable contribute towards 'health, wellbeing and safety.* There is clearly a need in Mallacoota for an increased provision of healthcare and related services. This development aims to assist by providing attractive accommodation for healthcare workers and professionals.

- *Planning is to facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services.* This proposed development responds positively to all these matters.

- *Plan for increased seasonal demand on services and infrastructure in towns with high holiday home ownership.* Mallacoota not only needs sufficient year-round healthcare but also must have healthcare offerings to meet the tremendous influx of population during the holiday period.

- *Support residential infill development within existing residential zones.* Our application is for dwellings in the General Residential Zone on a vacant lot set amongst other dwellings.

Built Environment

- *Planning should ensure that all land use and development appropriately responds to its surrounding landscape and character, valued built form and cultural context.*

- *Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.*

- *Planning should promote excellence in the built environment and create places that:*
  - *Are enjoyable, engaging, and comfortable to be in.*
  - *Support human health and community wellbeing.*
  - *Accommodate people of all abilities, ages and cultures.*
  - *Contribute positively to local character and sense of place.*

Housing

- *Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.*

- *Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.*

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Response

is the owner of the property located at 3 Maurice Avenue, Mallacoota. The organisation proposes the development of four self-contained dwellings on the site. The intent of this proposal is to provide high-quality, purpose-built accommodation to support the recruitment and retention of healthcare professionals—such as doctors and nurses—who are essential to the provision of medical services in this remote regional location. This initiative directly addresses the critical need for workforce housing in Mallacoota and is aligned with broader objectives to improve access to healthcare in rural communities.

The proposal represents an appropriate and strategically aligned infill development within the General Residential Zone (GRZ). The subject site is ideally located directly opposite the existing healthcare facility, ensuring convenient access for its intended occupants—healthcare workers and professionals. The development supports the efficient use of residentially zoned land and contributes to the broader objective of strengthening essential services in the region through the provision of well-located, purpose-built accommodation.

Aerial photograph looking northeast.

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General Residential Zone and Schedule 1

The purpose of the General Residential Zone is to encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

Clause 32.08-7 triggers a planning requirement because the development comprises 4 individual dwellings on the lot.

Clause 32.08-8 refers to the requirements of Clause 55; Schedule 1 (GRZ1) makes no modifications to standards included in Clause 55.

Clause 32.08-11 specifies limits on the maximum building height for dwellings

- The building height must not exceed 11 metres; and
- The building must contain no more than 3 storeys at any point.

Clause 32.08-12 sets out the appropriate information that must accompany an application.

Response

The proposed development responds admirably to requirements set out in this Zone:

- It provides a diversity of housing type
- Maximum building height is less than 5.0 metres above natural ground level
- Buildings are all single storey
- A Clause 55 Response is included with this submission.

Bushfire Management Overlay

Clause 44.06-2 calls for a planning permit for buildings and works associated with accommodation.

A Bushfire Management Statement and Plan have been prepared to demonstrate that all required bushfire protection measures for residential development on this site will be implemented and met.

Response

- **Defendable Space** will be managed to the property boundary, and in accordance with the details set out on the Plan.
- **Construction Standard**. The dwelling will be constructed to a minimum of BAL 29.
- **Static Water Supply** 10,000 litres of water will be dedicated for firefighting and stored in an above ground tank of metal or concrete and fitted with the required CFA pipework and fittings.
- **Access** will be provided to the static water supply in accordance with the Bushfire Management Statement.

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Design & Development Overlay and Schedule 12

Clause 43.02-2 calls for planning permission to construct a building or construction or carry out works unless a schedule to the overlay specifically states that a permit is not required. Schedule 19 – DDO19 – only provides relief from this obligation in Clause 2.0 where *'A permit is not required to construct a building or carry out works other than for:*

- *A building with a height over 7.5 metres from natural ground level measured within the building footprint.* Maximum building height is less than 5.0 metres
- *A development where the total building area proposed on a site is greater than 300m2 except within an approved building envelope.* Total proposed building area is 369.1m2.
- *A development where the slope of land where the works are to be carried out is greater than 15%.* Slope of land where the works are to be carried out is less than 6%.

Planning is triggered for this submission because the total building area proposed is greater than 300m2. The total proposed building area is 369.1m2

The Design Objectives of DDO12 focus on ensuring the design and siting of new development should minimise visual impact, integrate with the surrounding coastal and natural landscape, remain unobtrusive within the tree canopy, and protect the area's vegetated character as follows:

- *Height and visual bulk of new development is compatible with the coastal neighbourhood setting.*
- *New development is designed to minimise visual impacts on the natural landscape*
- *New development is visually and physically integrated with the site and surrounding landscape*
- *New development is site and designed to be visually unobtrusive through and above the surrounding tree canopy when viewed from nearby streets, lakes, coastal areas, or other distant viewpoints*

Response

The adjoining dwelling at 5 Maurice Avenue has a ridge height of 33.10m AHD. Proposed dwellings 1 and 2, closest to 5 Maurice will have a ridge height of 33.28mAHD. The property slopes down from Maurice Avenue and proposed dwellings 3 and 4 will have a ridge height of 32.27mAHD.

Design features include colorbond roofing, lightweight cladding (James Hardie Axon), large windows and generous external deck areas. Roofing will be a colour similar to Monument. External walls generally similar to Haymes Flannel Grey and the front external gable walls will be light brown, similar to Hames Sandstorm.

The proposed development responds appropriately to the Design and Development Overlay (DDO) objectives through its modest, low scale, built form, limited building height, and use of lightweight materials in muted tones. The dwelling is carefully sited and recessed into the landscape via minor excavation, enabling it to visually integrate with the natural topography. The extensive vegetation both north and east provides effective screening when viewed from the inlet and surrounding public vantage points, ensuring the development remains unobtrusive within the coastal setting.

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Vegetation Protection Overlay and Schedule 8

The Mallacoota Vegetation Protection Overlay seeks to conserve vegetation of ***high conservation value*** and vegetation with ***high aesthetic and landscape values.***

The VPO8 objective aims

- *To conserve areas of vegetation of **high conservation value** by minimising the extent of vegetation loss.*
- *To preserve existing trees and other vegetation where it contributes to **high landscape and aesthetic values of the area.***
- *To conserve and enhance fauna habitat and habitat corridors by minimising the extent of vegetation loss and encouraging regeneration of indigenous species.*
- *To reduce the risk of soil erosion and degradation of water quality by minimising the extent of vegetation loss.*

A permit is required to remove, destroy or lop any vegetation, with several exceptions, none of which apply to this application. Our application includes removal of several Cocos Palm trees from the perimeter of the site.

Response

It has to be acknowledged that this potential weed series contributes little in the way of high conservation, landscape or aesthetic value to the area.

Cocos Palms produce a large number of seeds that germinate easily, contributing to the spread and invasive potential to natural habitats like bushland, outcompeting native plants.

The palms have an untidy appearance due to hanging dead fronds and pose several dangers to Flying Foxes. Also, the palm fruit can be toxic to some animals.

In conclusion, Cocos Palms potential to become invasive weeds, their negative impact on wildlife, and their bedraggled appearance make them a less desirable choice, especially when considering native alternatives.

Compare the scruffy palms on the subject site with the beautiful eucalypt on the roadside verge of Maurice Avenue.

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There is nothing the Cocos Palms are providing in the way of enhancement of the visual amenity and landscape quality of the area.

This aerial photograph also highlights the less-than-minimal contribution the Cocos Palms on the subject site make to the landscape value of the area.

Finally, there is no risk of soil erosion, sedimentation or degradation of water quality by the removal of the Cocos Palms from this site.

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SUMMARY

We believe the proposed development will both blend with the existing built form in the area and reinforce a character that comprises a low-scale, residential environment and where the built form is visually recessive in the landscape.

Housing density is not impacted in the area – many surrounding properties are dual occupancies or multiple units. The subject site is large, and site coverage is only 22%.

The siting of the development is ideal, being within a designated residential zone, yet in proximity to the health service provider proposing to utilise the dwellings.

Based on the foregoing and together with attached supporting documentation, we believe the proposed development substantially complies with the relevant planning provisions and submit that it is not necessary to achieve full compliance with the planning provisions, so long as the overall development responds to the relevant factors to a level that warrants approval.

For the reasons set out in this report and supporting documentation, we conclude that it is appropriate for the Responsible Authority (East Gippsland Shire Council) to grant permission for the proposed dwelling, subject to any conditions required by Council or other Responsible Authority. The overall upgrade to the amenity and appearance of the property will enhance the neighbourhood character and provide an ideal improvement to the area.

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Fireguard AUSTRALIA

BPAD3 BUSHFIRE CONSULTANT

BMS25054

3 Maurice Avenue Mallacoota

03-Jul-2025

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Rev A

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BUSHFIRE MANAGEMENT STATEMENT

Information Table

Application Pathway	Pathway 2 Bushfire Protection Objectives
Document ID	**BMS25054**
Property Address	3 Maurice Avenue Mallacoota
Lot & Plan Number	Allot. 9 Sec. 8 TOWNSHIP OF MALLACOOTA
Area	1240 sqm
Council	East Gippsland
Applicant	
Name	
Phone	
Email	
Address	
Agent	
Company	Anchor Homes
Contact	Heather Raikes
Phone	03 51457110
Email	heather.raikes@anchorhomes.com.au
Address	55 Industrial Road, Stratford VIC 3862
Fireguard Australia	
Consultant	Laurie Heath (Reviewed by David Heath)
Mobile	[redacted]
Email	laurie@fireguardaustralia.com.au
Postal	PO Box 5020 HEATHWOOD Ringwood 3134

Revision	Date	Details
A	3-Jul-2025	First Issue

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Bushfire Management Statement (BMS)

1. Introduction

This Bushfire Management Statement has been prepared in response to the requirements of Clause 44.06-2 – Bushfire Management Overlay, and in accordance with the application requirements of Clause 53.02 – Bushfire Planning

This is a Pathway 2 application - Bushfire Protection Objectives.

1.1 Preparation of this report

This report was prepared by:	Laurie Heath (Reviewed by David Heath)
Accredited Practitioner	BPAD3
FPA Australia Accreditation No:	BPAD30269

1.2 Notes pertaining to the compilation of this report

The site assessment was conducted on:	17th June 2025
The owner was:	not at the site.

2. Project Outline

2.1 Project Description

4x New Single Story Dwellings for Staff only, on 1x title over 1000sqm, in the configuration of 2x Duplex Dwellings (4x residences).

Note:
Based on this configuration, we have allocated 1x 10,000L Static Water Tank to supply water requirements for all residences. If it was subdivided, each lot would required 1x 2,500L tank. On this single title proposal, we have proposed to allocate the required water provisions in a single tank.

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3. Site Details

3.1 Council Details

Name	East Gippsland	
Postal	PO Box 1618	Bairnsdale VIC 3875
Address	273 Main Street	Bairnsdale VIC 3875
Telephone	(03) 5153 9500	
Email	feedback@egipps.vic.gov.au	

3.2 Zoning Details

Note	In addition to the Bushfire Management Overlay (BMO) this site is subject to the following planning zone:
Overlay and Zone Classification	**GENERAL RESIDENTIAL ZONE (GRZ)** **DESIGN AND DEVELOPMENT OVERLAY (DDO)** **VEGETATION PROTECTION OVERLAY (VPO)**
Special Condition	Designated Bushfire Prone Areas and Areas of Aboriginal Cultural Heritage Sensitivity

4. Project Proposal Drawings

The Client has provided: 1 Plan drawings of the proposed construction.
The Client has provided: 1 Plan drawings of the site.

4.1 Drawing Register

Title	Date	Revision
250501_PreliminaryDrawings_PD-D_MallacootaHealth.pdf	25-May-2025	PD-D

5. Reference VPPs

Clause 44.06 Bushfire Management Overlay

Clause 53.02 Bushfire Planning

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6. Application Pathway and relevant Clause 53.02 objectives and measures

For the purposes of addressing clause 53.02, clause 53.02-2 applies which is for all other applications where:

The checklist below identifies those objective and approved measures that have been addressed, and are applicable to the Bushfire Management Statement for this proposal.

This is a Pathway 2 application - Bushfire Protection Objectives

Approved Measure/ Alternative Measure	Applicable	Relevant Table and Clause
Cl 53.02 -4.1: Landscape siting and design objectives		
AM 2.1 Bushfire risk to the development	YES	NIL
AM 2.2 Siting of Building	YES	maximum separation, public road proximity & Access by emergency services
AM 2.3 Design of Building	YES	NIL
Cl 53.02 -4.2: Defendable space and construction objective		
AM 3.1 Defendable space for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office or retail premises	YES	Column A, B, C, or if siting constraints, D of Table 2 of cl 53.02-5
AM3.2 Defendable space for accommodation other than a Dwelling	NO	Table 3 of cl 53.02-5
Alternative Measures		
AltM 3.3 Defendable space includes adjoining land	YES	Table 2 of cl 53.02-5
AltM 3.4 Method 2 of AS3959	NO	AS3959: 2009
AltM 3.5 A dwelling assessed to be high Risk site &/or FZ	NO	Table 2 of cl 53.02-5 Only applies if AM3.1 cannot be met
AltM 3.6 Accommodation & integrated Fire Management	NO	Table 3 of cl 53.02-5

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Approved Measure/ Alternative Measure (Continued)	Applicable	Relevant Table and Clause
Cl 53.02 -4.3: Water supply and access objectives		
AM 4.1 : Water and access for Dwelling	YES	Water - Table 4; Access - Table 5 of cl 53.02-5
AM 4.2: Water, access & risk management for accommodation	NO	Water - cl 53.02-4 : AM4.2; Access- Table 5 of cl 53.02-5

7. Information Required for Application Submission

In consideration of the BMO and Clause 53.02, the report comprises of 2 parts;
BMS Bushfi e Managment Statement, including
Appendix 1: Bushfire Management Plan
BHSA: Bushfire Hazard Site Assessment
BHLA: Bushfire Hazard Landscape Assessment
NIL
NIL

Below Banner displayed onsite during site assessment

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8. Clause 53.02-4: Bushfire protection objectives

8.1 Clause 53.02-4.1: Landscape, siting and design objectives

8.1.1 Approved Measure - AM2.1 Landscape bushfire risk

Clause 53.02 -4.1: Landscape, siting and design objectives	
Objective	Development is appropriate having regard to the nature of the Bushfire risk arising from the surrounding landscape. Development is sited to minimise the risk of bushfire. Development is sited to provide safe access for vehicles, including emergency vehicles. Building design minimises vulnerability to bushfire attack.
Approved Measure - AM2.1 Landscape bushfire risk	
Requirements	The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.
Response	The bushfire risk to the development from the immediate surrounding landscape is Extreme due to Forest vegetation across the region to the north around to the south west which can produce forward spotting bushfires due to extreme ember attack. Extreme ember attack can provide possible forward spotting ignition points and opportunity for a significant fire run with prevailing North, NW and South Western winds It is mitigated to an acceptable level by: * Building to an appropriate BAL rating to defend against extreme ember attack, rating as per cl. 53.02-5 Table 2 (BAL29). * Increasing the required Defendable Space over all slopes provided it can be considered low threat and well maintained. (32m or to the property boundary) * Defendable Space is 65 minimum except to the immediate SW clump, beyond to forest is 110m. * A good road which leads to safety when leaving early. * implementation of protection measures.
Conclusion	
Satisfies Approved Measure.	

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8.1.2 Approved Measure - AM2.2 Siting of Building

Clause 53.02 -4.1: Landscape, siting and design objectives

Approved Measure - AM2.2 Siting of Building	
Requirements	A building is sited to ensure the site best achieves the following; • The maximum separation distance between the building and the bushfire hazard. • The building is in close proximity to a public road. • Access can be provided to the building for emergency service vehicles.
Response	The proposed 2x duplex style buildings (4x dwellings) have good separation from the main landscape hazards in all directions, with Low threat defendable space in all direction for at least 46m to the Open Woodland to the South West and 65m to the Northern forest. A 12.5 BAL rating as per cl. 53.02-5 Table 2 is achieved, but FGA see fit it be elevated by two levels to BAL29 to protect against extreme ember attack that could come from the surrounding regional forest vegetation with prevailing winds which are within 65m to 110m. The 2x Duplex buildings have access to the public road that passes the western boundary and will remain low threat (f), providing access to the southern road leading to urban safety when leaving early. Access is available for emergency service vehicles.

Conclusion

Satisfies Approved Measure.

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8.1.3 Approved Measure - AM2.3 Building Design

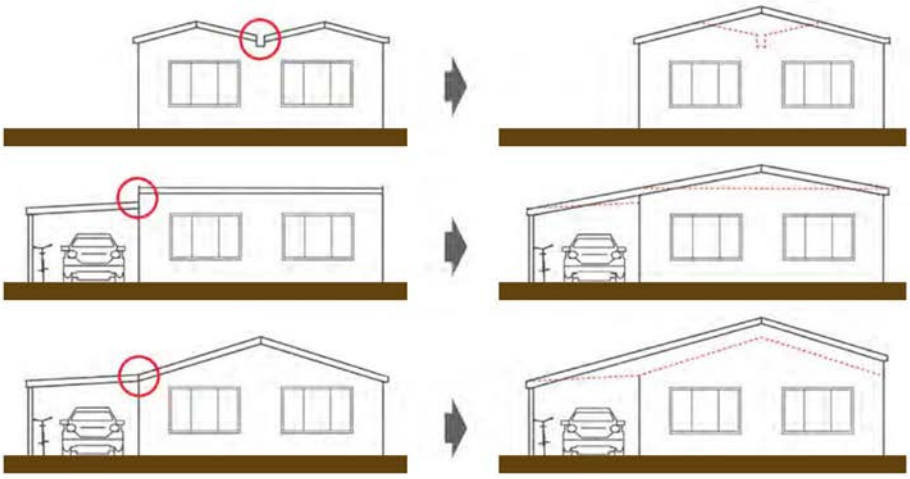
Clause 53.02 -4.1: Landscape, siting and design objectives

Approved Measure - AM2.3 Building Design	
Requirements	A building is designed to be responsive to the landscape risk and reduce the impact of bushfire on the building.
Response	The building is to be designed where possible to minimise ember entry - i.e. avoid re-entrant corners, complex roof lines. Refer to diagrams below:

Existing complex roof design ***Improved roof design***

Roof Design Considerations

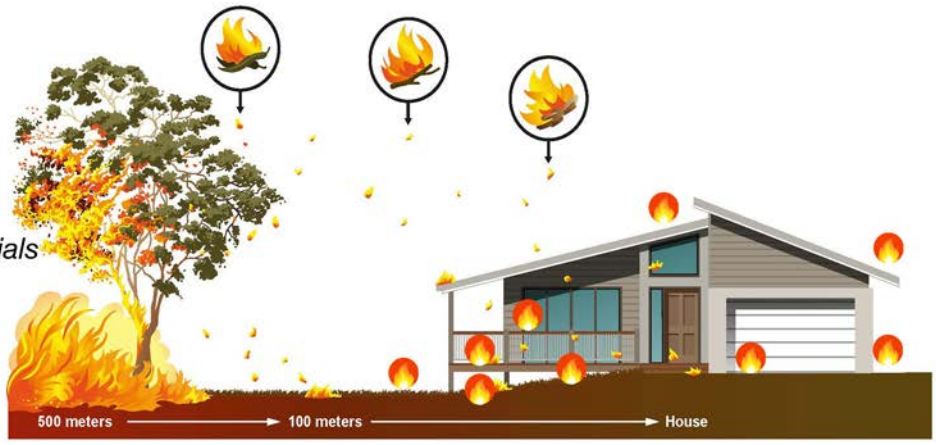
Central gutters
Open ended gables
Junction points



Building Design should minimise ember hazards released from surrounding Landscape during Busjfire attack

Ember Hazards

Re-entrant corners
Complex roof lines
Gaps between building materials
Unclosed unerfloor space



Conclusion

Satisfies Apppoved Measure.

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8.2.1 Approved Measure - AM3.1 Defendable space	
Clause 53.02 -4.2: Defendable space and construction objective	
Objective	Defendable space and building construction mitigate the effect of flam contact, radiant heat and embers on buildings.
Approved Measure - AM3.1 Defendable space	
Requirements	A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office or retail premises is provided with defendable space in accordance with: • Table 2 Columns A, B or C and Table 6 to Clause 53.02-4 wholly within the title boundaries of the land; or • If there are significant siting constraints, Table 2 Column D and Table 6 to Clause 53.02-5. The building is constructed to the bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02-5.
Response	The proposed defendable space meet clause 53.02-5 Table 2 defendable space requirements for BAL29 in alls directions, utilising defendable space to the titled boundary, and beyond where it will be reasonably considered to be maintained as low threat residential in perpetuity. The 2x duplex style buildings (4x dwellings) on the 1x title are constructed to the bushfire attack level that is appropriate to mitigate the risk of the landscape in accordance to Table 2 in consideration the surrounding landscape could produce extreme ember attack. Defendable space = 32m or to the property boundary, whichever is the lesser. The BAL Rating is 29 Refer to the working on pages 13 to 14 and the Defendable Space working diagram on page 16

Conclusion
Satisfies Approved Measure.

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8.2.2 BAL Calculations: Method 1 - Defendable Space & Construction Rating

METHOD 1	
Step 1	**Determine the assessment area and the defendable space standard that applies.**
Note	**The assessment area comprises an area of 150 metres around the selected site. The site refers to the proposed building envelop or works.**
Step 2	**Classify the vegetation, distance and slope.**
Step 3	Determine your defendable space and corresponding BAL.

	North	West	South	East
Vegetation Type A	Low threat vegetatior	Low threat vegetatior	Low threat vegetatior	Low threat vegetatioı
Exclusions	(f)	(f)	(f)	(f)
Distance from the site boundary to vegetation	**ADJ**	**ADJ**	**ADJ**	**ADJ**
Flat/Upslope or Downslope	>0-5°	Flat/Upslope	Flat/Upslope	>0-5°
Vegetation Type B	Forest	Woodland	-	-
Exclusions				
Distance from the site boundary to vegetation	**65m**	**46m**		
Flat/Upslope or Downslope	>0-5°	Flat/Upslope	-	-
Vegetation Type C	-	Forest	-	-
Exclusions				
Distance from the site boundary to vegetation		**110m**		
Flat/Upslope or Downslope	-	Flat/Upslope	-	-
Combined	**North**	**West**	**South**	**East**
BAL	**12.5**	**12.5**	**12.5**	**12.5**

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The highest BAL and associated defendable space is recorded below:

METHOD 1

BAL	**29**
Defendable Zone	**32m or to the property boundary, whichever is the lesser. Metres**

Summary

The BAL assessment from the site indicates a BAL of 12.5 is achievable based on classified vegetation distances from the siting.

FGA has increased it by two level's to BAL29, to suit the bushfire risk from the landscape, the proximity of the regional Forest - which pose the threat of extreme ember attack as experienced during the 2020 Bushfires.

It is appropriate to classify the nearby open Woodland clump to the SW at 46m, which has maintained separation beyond it to the forest at 110m.

On all other directions there is manicured and cultivated gardens which will continue to be maintained in a low fuel state in perpetuity.

32m to Forest at 0-5 degrees downslope as per 53.02 tables is sufficient.

These measures are appropriate to mitigate against the surrounding threat.

BAL Rating = 29

Defendable space = 32m or to the property boundary, whichever is the lesser.

Refer to the Defendable Space Working Diagram on page 16.

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8.2.3 Approved Measure - AM3.2 Defendable space	
Clause 53.02 -4.2: Defendable space and construction objective	
Approved Measure - AM3.2 Defendable space	
Requirements	A building used for accommodation (other than a dwelling or dependent person's unit), a child care centre, an education centre, a hospital, leisure and recreation or a place of assembly is: • Provided with defendable space in accordance with Table 3 and Table 6 to Clause 53.02-5 wholly within the title boundaries of the land. • Constructed to a bushfire attack level of BAL12.5.
Response	N/A
Conclusion	
Satisfies App oved Measure.	

8.2.4 Alternative Measure - AltM 3.3 Defendable space on adjoining land	
Clause 53.02 -4.2: Defendable space and construction objective	
Alternative Measures - AltM 3.3 Defendable space on adjoining land	
Requirements	Adjoining land may be included as defendable space where there is a reasonable assurance that the land will remain or continue to be managed in that condition as part of the defendable space.
Response	Method 1 BAL Calculation can be used as all adjoining land used as defendable space can be assumed will remain Low Threat, inclusive of cultivated gardens and a non vegetated roadway immediately to the west and south.
Conclusion	
Satisfies Approved Measure.	

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8.2.5 Assessment of Defendable Space Working Diagram

Defendable Space Working Diagram

Defendable Space = 32m or to the property boundary whichever is the lesser

1 DEFENDABLE SPACE WORKING DIAGRAM
102 1 : 1000

BPAD3 BUSHFIRE CONSULTANT

GENERAL
Heath Design Group Pty Ltd. trades as Fireguard Australia, Fireguard Medium Australia, Heath Design + Project Management & Dovce Director
Wes Heath - BPAD Level 3 - BPAD23 practitioner in both WC & BA - BPAD20228
FPA Australia Silver Members 31388.
Contact Laurie on 0417 728 945 for more information. Visit our websites for more details
www.heathdesign.com.au
www.fireguardaustralia.com.au
heath@fireguardaustralia.com.au

Rev	Description	Date
A	FIRST SUBMISSION - REV A PLAN	03/07/25

STATUS: **BUILDING PERMIT**

CLIENT:

TITLE: DEFENDABLE SPACE WORKING DIAGRAM

PROJECT: 2x SINGLE STORY DUPLEX RESIDENCE
3 Maurice Avenue Mallacoota

NORTH:
DRAWN: LH
CHECKED: DH
DATE: 03.07.2025
SCALE @ A3: AS SHOWN
PROJECT NO: 25054
DRAWING NO: 102
REVISION: A

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8.2.6 Alternative Measure - AltM 3.6 Integrated Risk Management

Clause 53.02 -4.2: Defendable space and construction objective

Alternative Measures - AltM 3.6 Integrated Risk Management

Requirements	A building used for a dwelling (including an extension or alteration to a A building used for accommodation (other than a dwelling or dependent person's unit), child care centre, education centre, hospital, leisure and recreation or place of assembly may provide defendable space in accordance with Table 2 Columns A, B or C and Table 6 to Clause 53.02-5 where it can be demonstrated that: • An integrated approach to risk management has been adopted that considers: - The characteristics of the likely future occupants including their age, mobility and capacity to evacuate during a bushfire emergency. - The intended frequency and nature of occupation. - The effectiveness of proposed emergency management arrangements, including a mechanism to secure implementation. • Less defendable space and a higher construction standard is appropriate having regard to the bushfire hazard landscape assessment.
Response	Not applicable to this submission. No disabled occupants or short term stays. Used for Staff accommodation.

Conclusion

Satisfies Approved Measure.

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8.3.1 Approved Measures - AM4.1 Water Supply (as specified in table 4 to clause 53.02-5) and Access Objectives

Clause 53.02 -4.3: Water supply and access objectives

Approved Measure - AM4.1 Water supply & access objectives

Response: Table 4 Water supply requirements for proposed Dwelling

Lot Sizes (Square metres)	Hydrant available	Capacity (litres)	Fire authority fittings and access required
1,001 and above	Not applicable	10,000	Yes

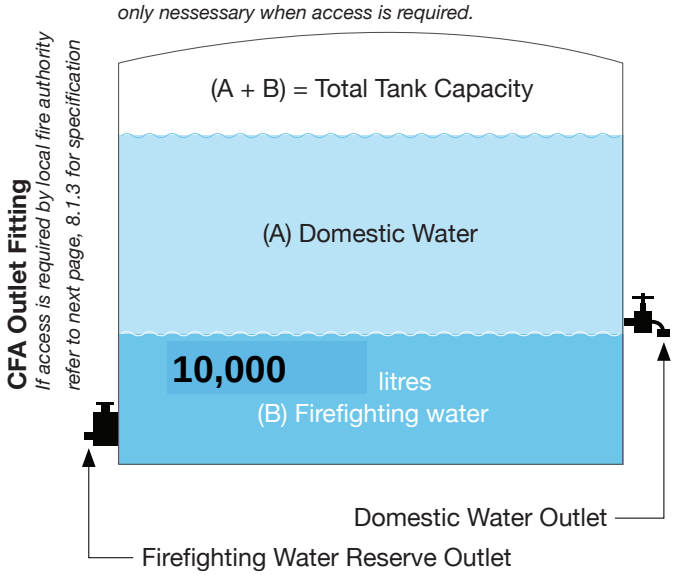
Water Supply Requirement Details & Diagram

The water supply if required should be identified with a marker flag;

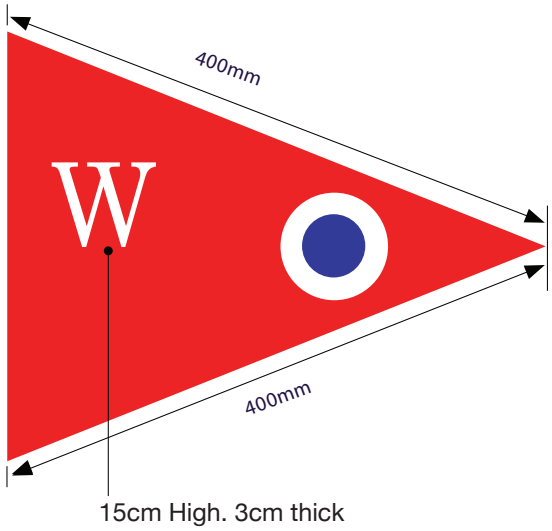
The area of the block requires a 10,000L water tank with access by local fire fighting authority. FGA propose the 2x duplex buildings (4x dwellings) can be serviced by 1x 10,000L tank on the single title (1240sqm). Access is approximately 10-20m to the outlet from the western entry.

Shared water tank

Specific Fire authority connection specifications only nessessary when access is required.



Water supply identification is nessessary only when direct access is required by the local fire authority



For all water tank capacities the following requirements apply:

- be stored in an above ground water tank constructed of concrete or metal
- have all fixed above ground water pipes and fittings equired for firefighting purposes made of corrosive material, and
- include a separate outlet for occupant use.
- the water supply must be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.

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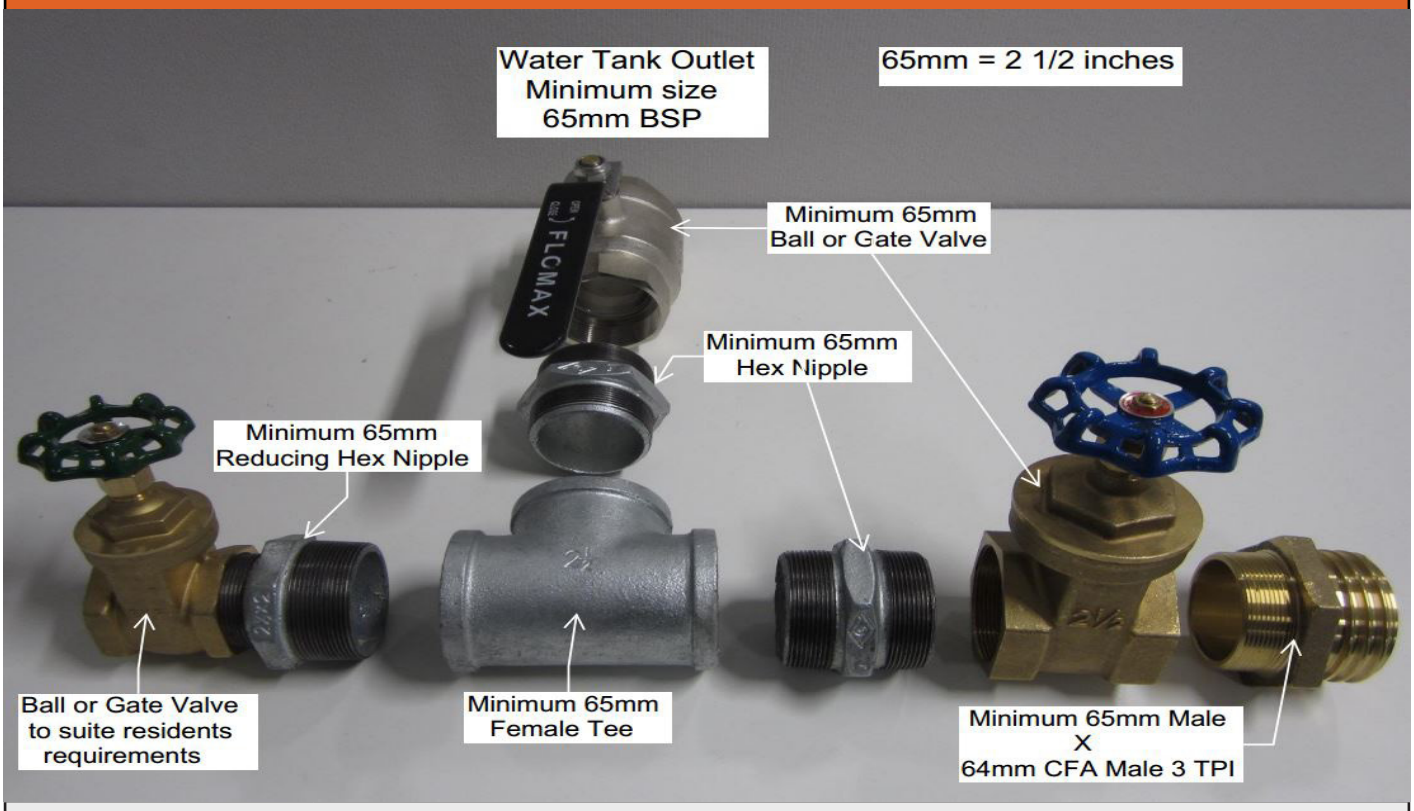
8.3.2 Approved Measures - AM4.1 Water Supply (as specified in Table 4 to clause 53.02-5) and Access objectives

Clause 53.02 -4.3: Water supply and access objectives

Approved Measure - AM4.1 Water supply and access objectives

Requirements	Tank size at or greater than 10,000L - requirements below ARE APPLICABLE Where a 10,000 & greater litre water supply is required the following fi e authority fittings apply • The water supply must be located within 60 metres of the outer edge of the approved building. • The outlet/s of the water tank must be within 4 metres of the access-way and unobstructed. • The water supply must incorporate a separate ball or gate valve British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting) • Any pipework and fittings must be a minimum of 65 millimet es (excluding the CFA coupling).

Requirement Diagram - Fittings.



If access is required, what is the length of access?

The length of access from the planned location to the road entry is less than 30m.
Due to size of block access and Design and Construction requirements need to be applied.

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8.3.3 Approved Measures - AM4.1 Vehicle Access as specified in table 5 to clause 53.02-5

Clause 53.02 -4.3: Water supply and access objectives

Approved Measure - AM4.1 Water supply and access objectives

Requirements	• Vehicle access that is designed and constructed as specified in able 5 to clause 53.02-5 • Fire authority access to the water supply required? Yes. Refer below

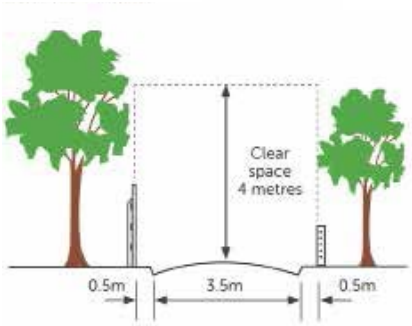
If access is required, the following Design and Construction requirements apply: Yes

1. All-weather construction.
2. A load limit of at least 15 tonnes.
3. Provide a minimum trafficable width of 3.5 metres.
4. Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
5. Curves must have a minimum inner radius of 10 metres.
6. The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
7. Dips must have no more than a 1 in 8 (12.5 per cent) (7.1 degrees) entry and exit angle.

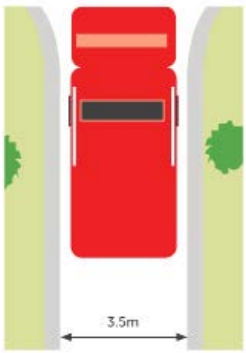
Diagram requirement samples from Table 5 to clause 53.02-5

Refer to the BMP for more detail

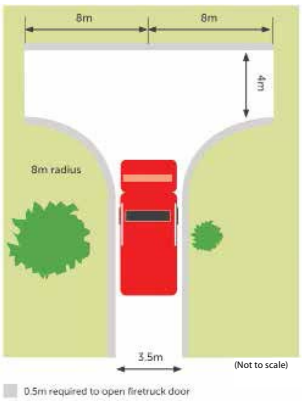
Encroachments for >30m



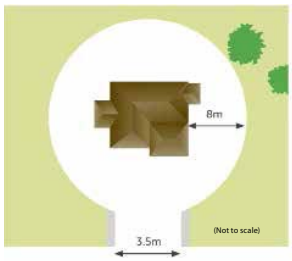
Width for >30m



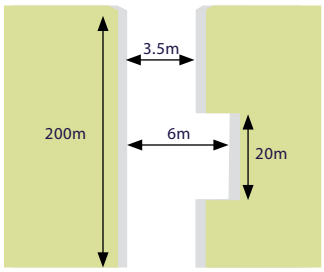
Dips & Gradients >30m



For >100m



For >100m



For >200m

Conclusion

Satisfies Approved Measure.

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8.3.3.1 Approved Measures - AM4.1 Vehicle Access as specified in table 5 to clause 53.02-5.

Clause 53.02 -4.3: Water supply and access objectives

Approved Measure - AM4.2 Water supply & vehicle access

Remote Outlet Design Considerations & Requirements

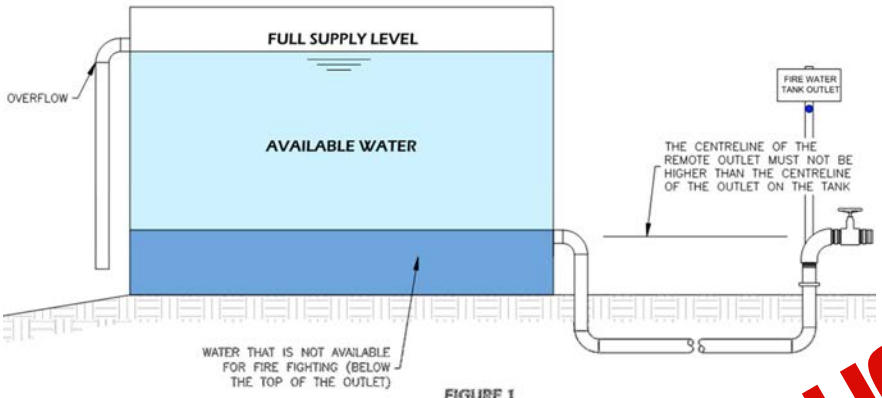

FIGURE 1

REMOTE OUTLET HEIGHT IN RELATION TO THE TANK OUTLET

NOT APPLICABLE

CFA Outlet Only

CFA & Occupant Outlet

FIGURE 2

Example remote Outlets

a) Location of Static Water Supply in relation to the Remote Outlet

The remote outlet must be no higher than the outlet on the tank (See Figure 1 below). This is to simplify the process of priming the pump on the fire truck and so a fire fighter can quickly tell water is available by simply turning on the valve at the remote outlet. This will be the case even if the tank is not completely full.

b) Pipe size

The pipe sizes from the tank to the remote outlet are provided in Appendix 1 have been calculated based on a fire truck drawing water from the tank at a rate of 20L/s and represents the minimum sizes and classes of pipe to be used to avoid negative pressure from the turbulence in the pipe. The calculations also assume that a 64mm diameter CFA coupling is being used at the outlet.

c) The Outlet

To allow fire fighters suitable access, the remote outlet must be above ground and its centreline must be between 300mm and 600mm above the surrounding ground level. The CFA coupling must be located horizontally so that a suction hose can be easily attached to it and the truck. There must be good fire fighter access to the outlet and the ground around the outlet should be clear of all vegetation for a distance of 1.5m.

The riser must be made of corrosive resistant metal (see item e) below). It must also be adequately supported by a steel post which is concreted into the ground.

(See Figure 3)

The remote outlet should be located so that a fire truck is able to park safely and not impede passing traffic. Below ground outlets are not permitted.

Figure 2 below shows examples of a remote outlet with only a CFA coupling only
and a remote outlet with both a CFA coupling and a coupling for occupant use.

d) Identification

A permanent sign is required to be attached to the top of the post supporting the riser so that fire fighters can quickly identify that the outlet is connected to a
static water supply for fire fighting. A blue reflector is also required to be attached to this post to aid in locating the outlet at night. The specifications for this reflector should be in accordance with the details given under item 5.1.1 of the “Identification of Street Hydrants for Fire Fighting Purposes”.

The remote outlet should be readily identifiable from the entrance to the
property or the dwelling/ building. This is so that fire fighters don’t waste
valuable time in searching for it. If the outlet is not readily identifiable, standard
signage must be installed to direct fire fighters to the outlet.

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Remote Outlet Design Considerations & Requirements

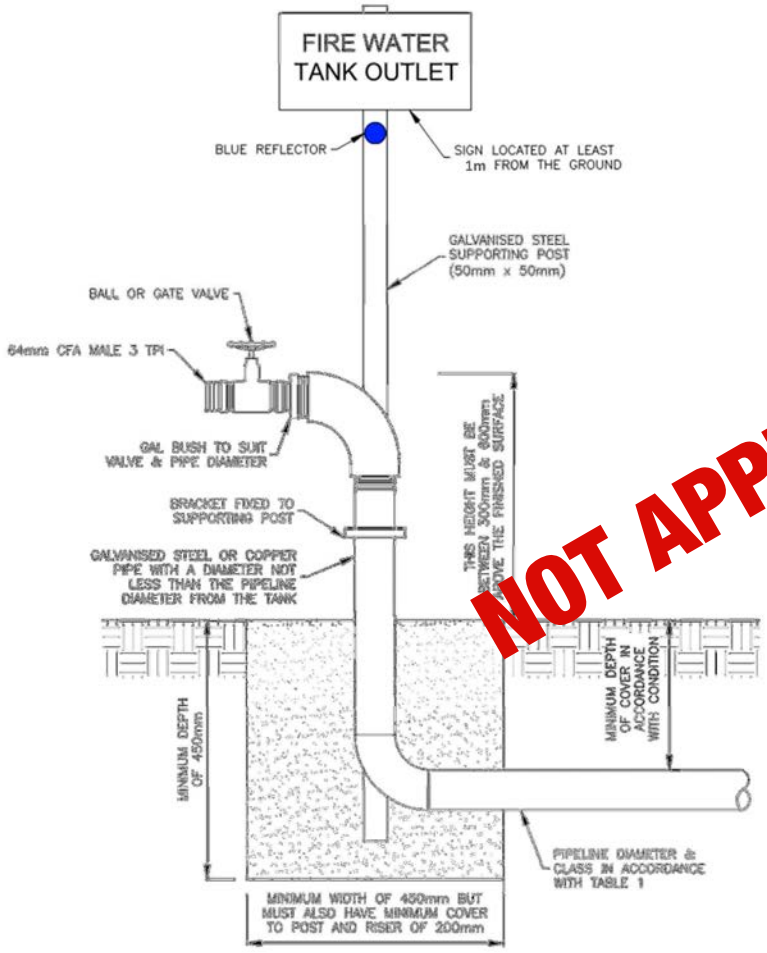

FIGURE 3
REMOTE OUTLET ARRANGEMENT

NOT APPLICABLE

e) Protection of pipework
The pipeline between the tank and the remote outlet must be installed so that it is not easily damaged. For the below-ground pipework, this can be achieved by ensuring that there is adequate cover over the pipeline. To achieve adequate cover, all below-ground water pipes must be installed to be at least the following depth below the finished surface:

- 300 mm for pipes subject to vehicle traffic
- 75 mm for pipes under dwellings or concrete slabs
- 225 mm for all other locations

All above ground pipework (e.g. the riser) and fixings and fittings must be made of corrosive resistant metal.

f) Distance of Outlet from a dwelling
The remote outlet should be located within 60m of the dwelling and be no closer
than 10m unless adequate shielding is provided.
If the outlet is too far from the dwelling it becomes inefficient for a fire truck to use it to protect that dwelling. If the dwelling is on fire where the outlet is less than 10m from the dwelling, it may not be possible to access the water supply because of radiant heat. However, if the remote outlet is provided with adequate heat shielding it may be permitted to be closer than 10m. For example, a brick wall without windows extending for 2m on each side of the outlet and 3m above would provide suitable shielding.

g) Distance between Tank and Remote Outlet
As can be seen from Appendix 3.0, (page 26) the pipe diameter must be increased as the pipeline between the remote outlet and the tank increases. The maximum distance which is allowed using Appendix 3.0 is 100m. If the pipeline length is greater than this, calculations from a hydraulic engineer demonstrating that the pipe size and class is adequate must be submitted for assessment.

Figure 4
shows the limitations on the distances between the dwelling, the tank and the remote outlet.

See CFA "Guidelines for remote outlets on water tanks in the Bushfire Management Overlay" -

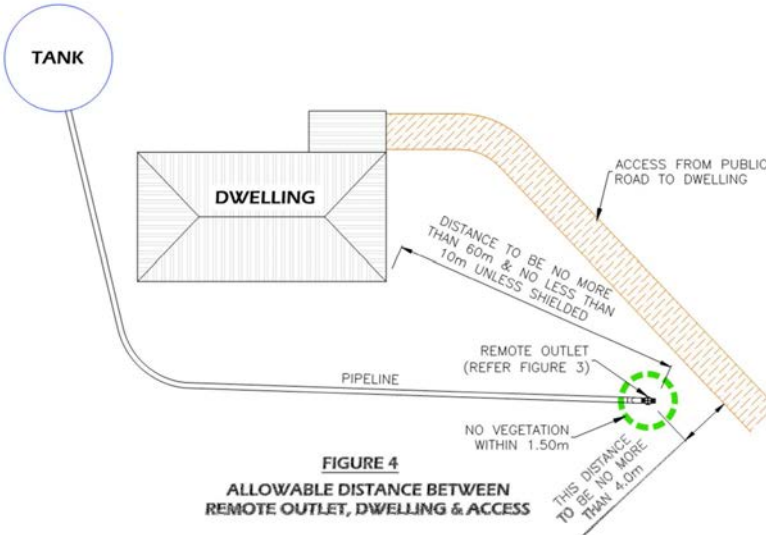

FIGURE 4
ALLOWABLE DISTANCE BETWEEN REMOTE OUTLET, DWELLING & ACCESS

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9. Conclusions

9.1 Main Conclusion	
1. Analysis	Mallacoota locality has an Extreme bushfire risk even though the siting is within GENERAL RESIDENTIAL ZONE (GRZ). The region is Extreme. The proposal can proceed as the risk is mitigated to an acceptable level by siting, vegetation breaks from north, western and sw forest. And when leaving early, proximity of township, firefighting resources, and the extent of residential development and refuge safety options along the waterfront
2. BAL rating	The BAL rating for the proposal is **29**
3. Defendable Space	The Defendable Space is **32m** or to the (existing internal) property boundary whichever is the lesser.
4. Water Tank Requirements	A 10,000L Water Tank made of non-combustible material is required to be installed onsite and maybe provided in the same water tank as other supplies provided they are separated with different outlets. The tank's outlet is to be fitted with CFA fittings and the CFA require access to within 4m of the outlet. It is to be identified with markings.
5. Access Requirements	Access to the site is required to enable access to the water tank's. The length of access is less than 30m length to the static water tank's outlet from entry.
6. Activity Requirements	Particular activities need to be undertaken in order for the building to meet the objectives of cl. 44.06 and cl 53.02. These address the; • Implementation of defendable space, • construction of the building, • installation of the water supplies, • and access.
Refer to the BUSHFIRE MANAGEMNT PLAN for details on all these items.	
Note	• This report is based on information supplied by the client • Other...

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10. Appendix 1.0: Bushfire Management Plan

Note: Reduced BMP Only. Please refer to the Full-size A3 Copy

Construction BAL Rating = 29

N

0 25 50 75

1 / 101 BUSHFIRE MANAGEMENT PLAN
1 : 1000

Bushfire Mitigation Measures - Mandatory Condition

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed

a) Defendable Space

Defendable space is provided for a distance of **32 metres** around the dwelling or to the property boundary whichever is the lesser and managed in accordance with the following:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

b) Construction Standard

Dwelling designed and constructed to a minimum Bushfire Attack Level of **BAL29**

c) Water Supply

A static water tank dedicated solely for firefighting must be provided and must meet the following requirements:

- An effective capacity of **10,000 Litres**
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- The Static water supply must include a separate outlet for the private use of the owner/occupier of the land that incorporates a ball or gate valve.

A 10,000 litre water supply is required, therefore the following fire authority fittings and access must be provided:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s (Remote Outlet) of the water tank must be within 4 metres of the accessway (or other suitable "hardstand") and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

d) Access

Access Required: **Yes.** The following design and construction requirements apply:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.1han 050 metres.) entry and exit angle.

Fireguard AUSTRALIA

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Visit our websites for more details
www.heathdesign.com.au
www.fireguardaustralia.com.au
bushfireconsultant@fireguardaustralia.com.au

Rev	Description	Date
A	FIRST SUBMISSION - REV A PLAN	03/07/25

STATUS: **BUILDING PERMIT**

CLIENT:

TITLE: BUSHFIRE MANAGEMENT PLAN

PROJECT: 2x SINGLE STORY DUPLEX RESIDENCE
3 Maurice Avenue Mallacoota

NORTH:	DRAWN: LH	DATE: 03.07.2025
	CHECKED: DH	SCALE @ A3: AS SHOWN
PROJECT NO: 25054	DRAWING NO: 101	REVISION: A

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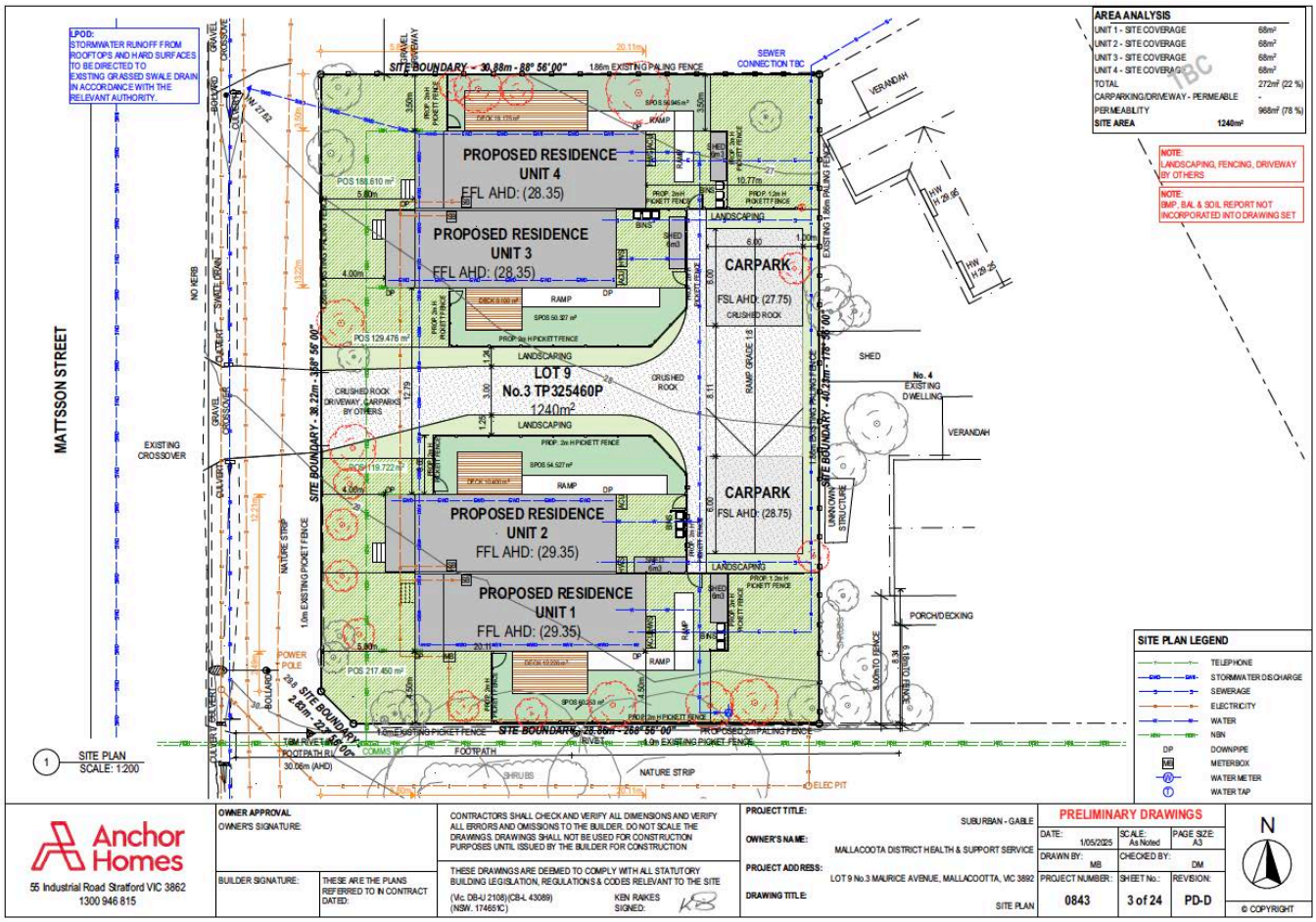
11. Appendix 2.0: Client's proposed development drawings

Note: Refer to 4. Project Proposed Drawing & the associated 4.1 Drawing Register on page 6



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12. Appendix 3.0: Pipe Sizes & Classes Required for Remote Drafting

Extract from CFA's "Remote-Outlet-Guidelines-V2-Sep2017.pdf"

Length of pipe between tank and remote outlet	10m		20m		30m		40m		50m		60m		80m		100m	
Pipe Type	PVC/Cu	HDPE	PVC/Cu	HDPE	PVC/Cu	HDPE	PVC/Cu	HDPE	PVC/Cu	HDPE	PVC/Cu	HDPE	PVC/Cu	HDPE	PVC/Cu	HDPE
Vertical Height between tank outlet and remote outlet																
Level (0m)	80	90	80	90	100	125	100	125	100	125	100	125	150	180	150	180
Remote Outlet 1m below tank outlet	80	90	80	90	100	125	100	125	100	125	100	125	100	125	150	180
Remote Outlet 2m below tank outlet	80	90	80	90	100	125	100	125	100	125	100	125	100	125	100	125
Remote Outlet 3m below tank outlet	80	90	80	90	80	90	100	125	100	125	100	125	100	125	100	125
Remote Outlet 4m below tank outlet	80	90	80	90	80	90	100	125	100	125	100	125	100	125	100	125
Remote Outlet 5m below tank outlet	80	90	80	90	80	90	100	125	100	125	100	125	100	125	100	125

NOT APPLICABLE

Notes:

1. PVC pipe is to be Class 12
2. Copper pipe is to be Class A
3. HDPE pipe is to be PN 12.5
4. Nominal pipe diameters in mm are shown in blue (PVC and Cu) and red (HDPE)

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Bushfire Hazard Site Assessment (BHSA)

1. Site Assessment Area

1.1 Description of Site

Total area of the site is 1240sqm. The surrounding GENERAL RESIDENTIAL ZONE (GRZ) is on the fringe of the Mallacoota township, with gentle downslopes leading into encompassing Forest to the North, around to the South West. All forest distances exceed standard table defendable space, but as per the most recent 2020 Bushfires, the flanking forest poses a significant threat. There is 65m manicured gardens to the north, and 130m to the west.

1.2 Site Aerial

1.3 Site Dimensions	The area of the site is 1240sqm
1.4 Existing Vehicle Access	Access is via Maurice Avenue to the west. <30m from entry to the static water supply.
1.5 Nearest Fire Hydrant	Within 30m north from the entry

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1.6 Features relevant to bushfire	
1. Analysis	The locality has an extreme bushfire risk, on the north western fringe of the township. The proposal can proceed as the risk is adequately mitigated to an acceptable level by the proximity of the township, fire fighting resources, the extent of residential development and access/egress that lead to safety. To mitigate threat of extreme ember attack, propose to elevate BAL by two level's to BAL29.
2. CFA Brigade Locations within:	• **Mallacoota CFA** • **Gypsy Point CFA** • **Cann river CFA** •

Relevant Features to Bushfire Diagram

There is one designated Neighbourhood Safer Place at located at Allan Drive Mallacoota.

The site is flanked by land that is low threat except in all directions, with forest to the north at 65m and 110/130m to the west.

The 4x sites are less than 30 from the sealed road that leads to other local roads that lead to safety towards the township to the East.

The main bushfire hazard is the forest to the north around to the south west, which are a source of embers that caused extreme devastation during 2019/2020 bushfire.

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2. Directional Site Assessment Photographs: Vegetation & Topography

2.1 North of Site

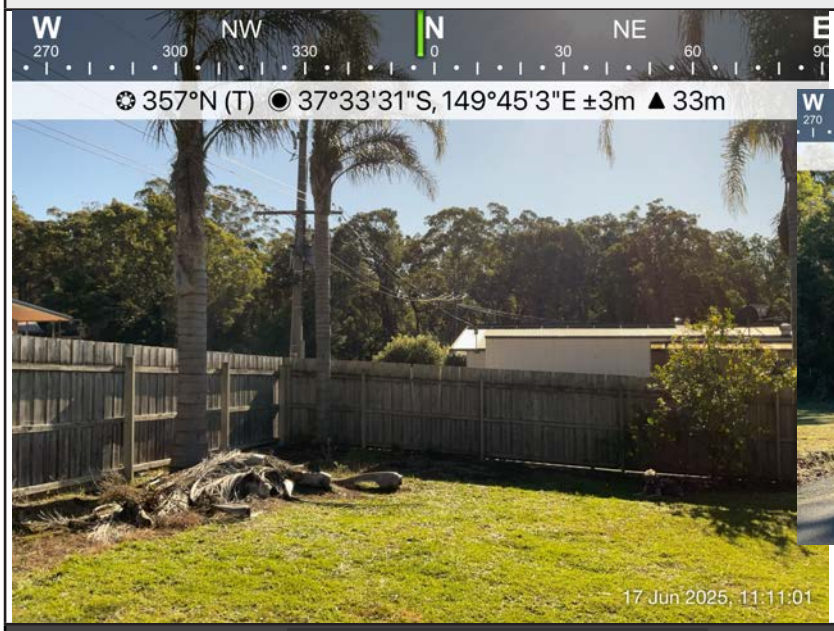

Figure 1 North Low threat vegetation **View Position** Ground

Above Figure relevant to 'Vegetation Type A' within the BAL Assessment Report Table on page 13

Low Threat cultivated gardens within GRZ property over 3-5 degrees downslope to the forest

Figure 1.1 North Forest **View Position** Ground

Above Figure relevant to 'Vegetation Type B' within the BAL Assessment Report Table on page 13

Low Threat cultivated gardens with Forest beyond at 65m 3-5 degrees downslope, increasing in slope within trees to 5.

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2.2 West of Site

Figure 2 West Low threat vegetation **View Position** Ground

Above Figure relevant to 'Vegetation Type A' within the BAL Assessment Report Table on page 13

Low Threat cultivated gardens upslope with Forest to the NW within 70-80m - see inset.

Figure 2.1 West Forest **View Position** Ground

Above Figure relevant to 'Vegetation Type B' within the BAL Assessment Report Table on page 13

Low Threat cultivated gardens upslope with Forest beyond at 130m

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2.3 South of Site

Figure 3 South Woodland **View Position** ground

Above Figure relevant to 'Vegetation Type B' within the BAL Assessment Report Table on page 13

Open Woodland clump at 46m upslope with Forest beyond.

Figure 3.1 South Low threat vegetation **View Position** Ground

Above Figure relevant to 'Vegetation Type A' within the BAL Assessment Report Table on page 13

Low Threat cultivated gardens immediately to the south over roadway

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2.4 East of Site

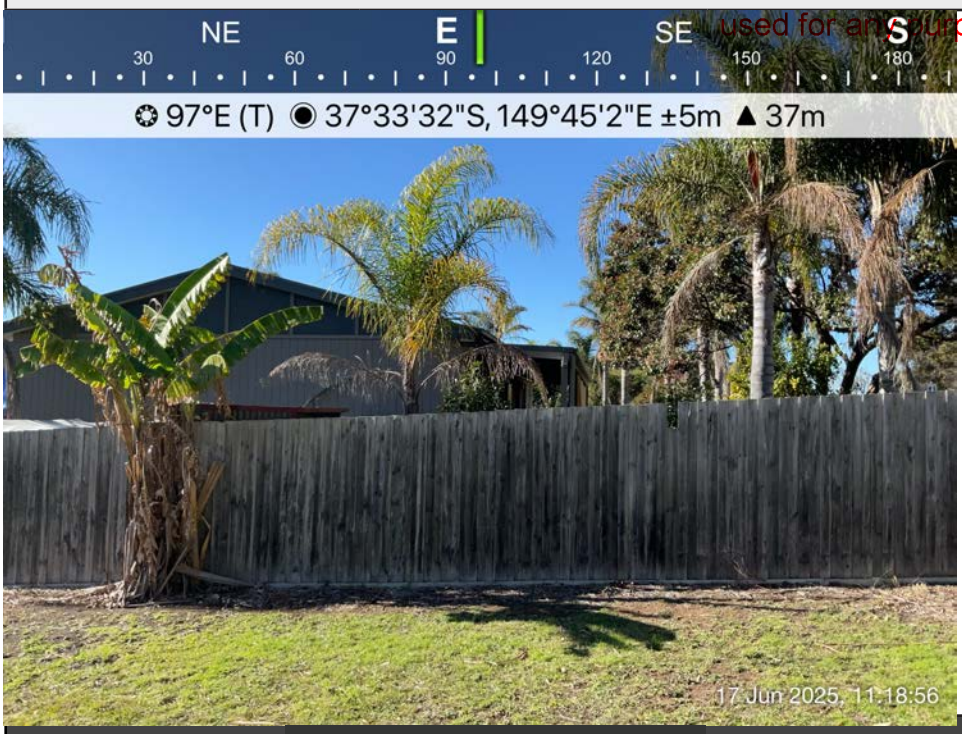

Figure 4 East	Low threat vegetation	**View Position**	ground

Above Figure relevant to 'Vegetation Type A' within the BAL Assessment Report Table on page 13

Low Threat cultivated gardens towards township

Figure 4.1 East	Low threat vegetation	**View Position**	Ground

Above Figure relevant to 'Vegetation Type A' within the BAL Assessment Report Table on page 13

Low Threat cultivated gardens towards township and water front. Direction of Place of Last Resort along the water front

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2.5 Access of Site

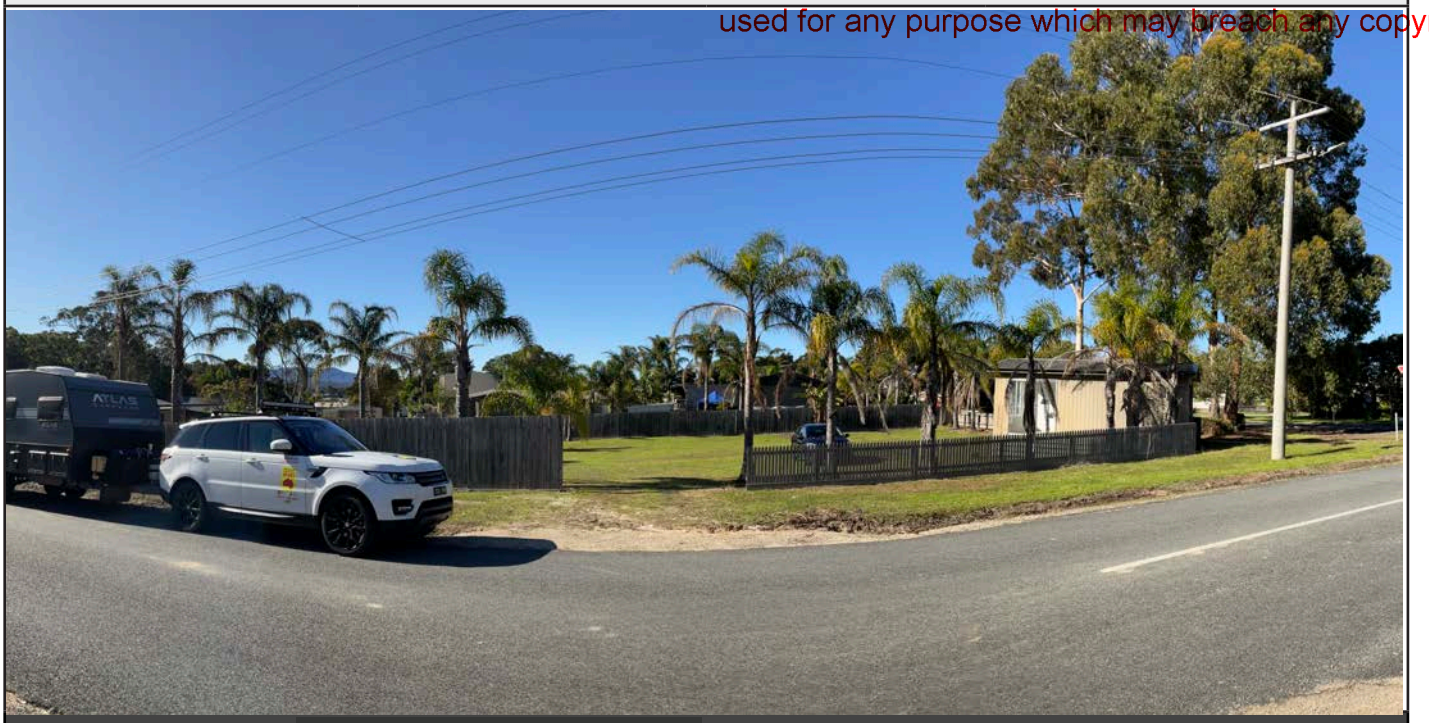

Figure 5 Access - **View Position** Ground

-

Access is less tan 10-20m from Maurice Avenue

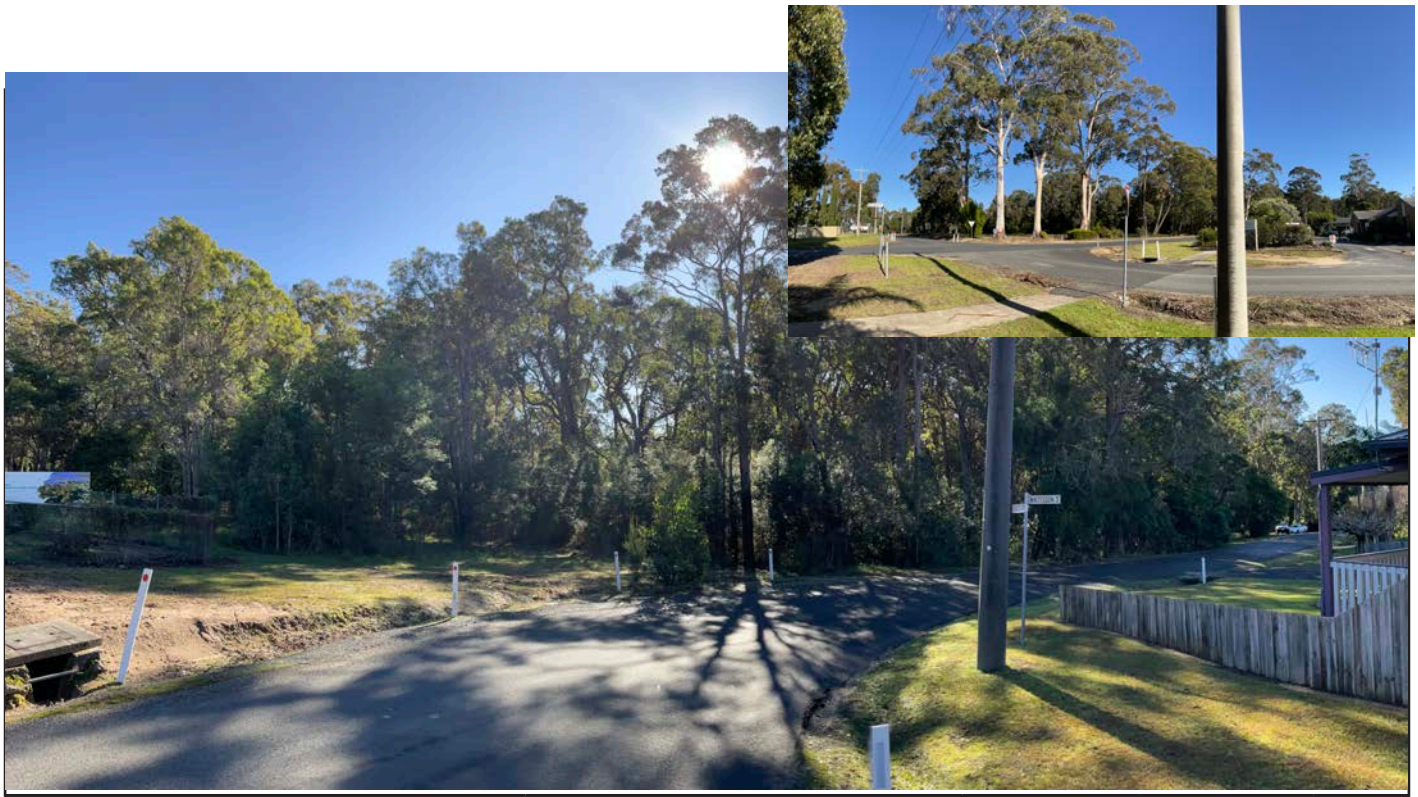

Figure 5.1 Main Threat Forest **View Position** Ground

-

Regional forest tot he North around to the South East ranging from 65m to the North, 130m to the West and 110m to the South West. This poses a fire front threat, but mainly a radiant heat and ember attack threat.

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3. Vegetation Exclusions

AS3959-2009 cl 2.2.3.2 - Determining the Bushfire Attack Level (BAL)
Low threat Vegetation and non-vegetation areas

Vegetation Classification	Direction from Building	Separation Distance (m)	Description
Cultivated Gardens	N, W, E, S	ADJ	Low Threat (f)
	West	ADJ	Road (e)

AS3959-2009 cl 2.2.3.2 - Determining the Bushfire Attack Level (BAL) Modified Vegetation

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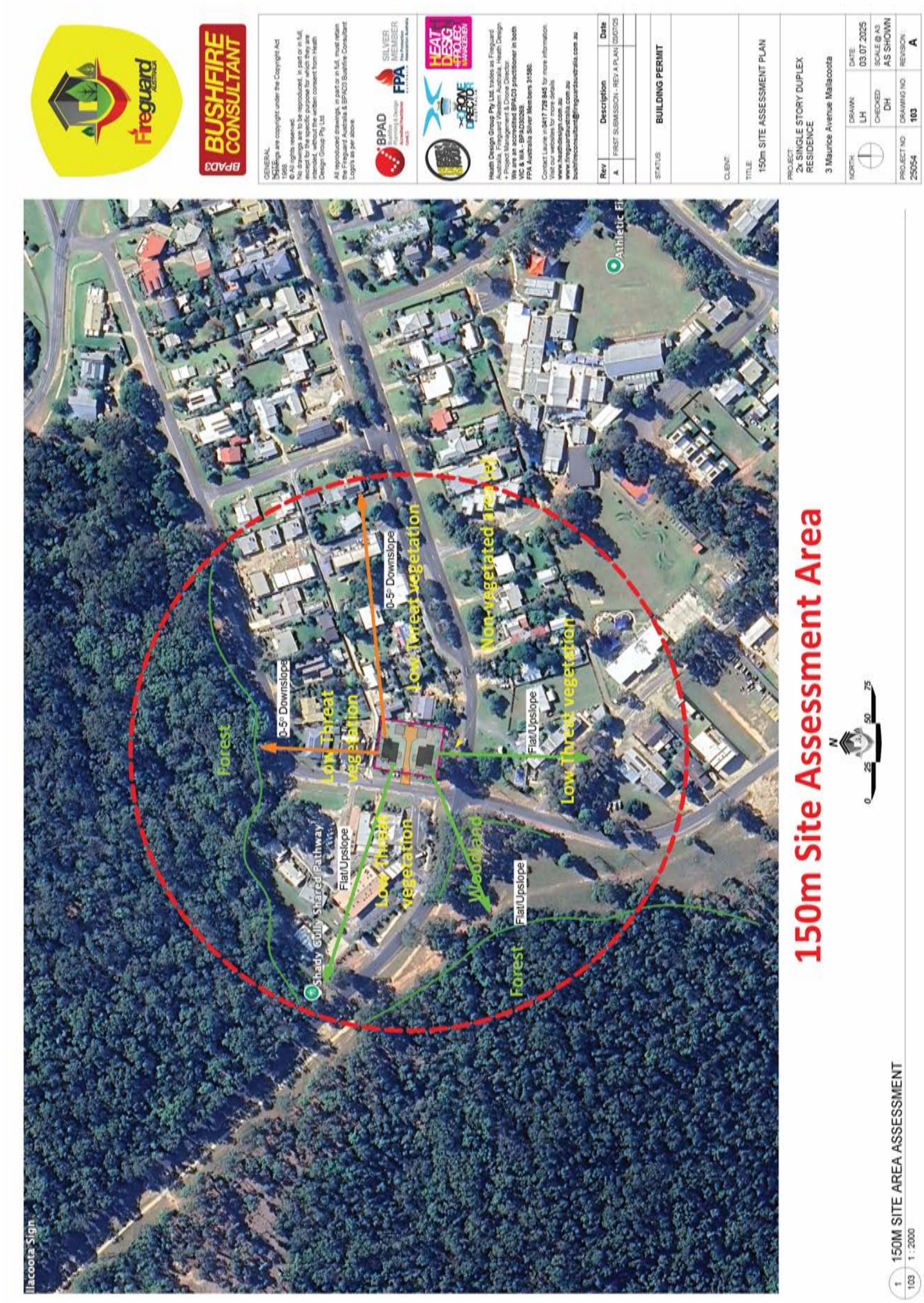
4. 150m Site Assessment Plan (SAP)

Refer to scale on diagram



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Bushfire Hazard Landscape Assessment (BHLA)

1. Reason for Site requiring a BHLA

Reference to Cl 53.02: Bushfire Planning - Application 2 applies as the zoning and/or type of construction are outside those defined as applying to Cl 53.02

2. Landscape Around Site

2.1 Locality Map

2.2 Description of Locality

Residential neighbourhood on the fringe of Mallacoota, NW from the centre of the township zoned within General Residential. It has gentle slopes leading into perimeter forest generally downslope from the siting. There is a Place of Last Resort Bushfire Refuge within 1km at the boat ramp.

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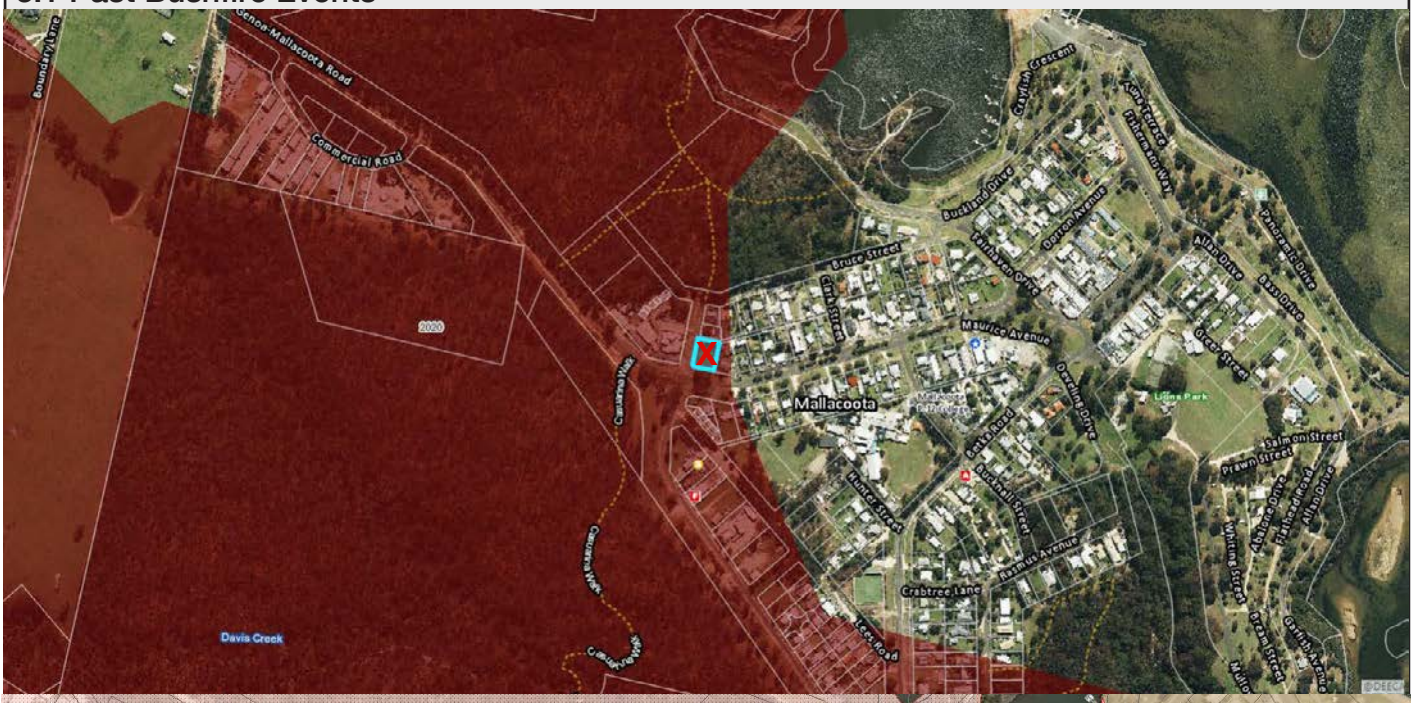
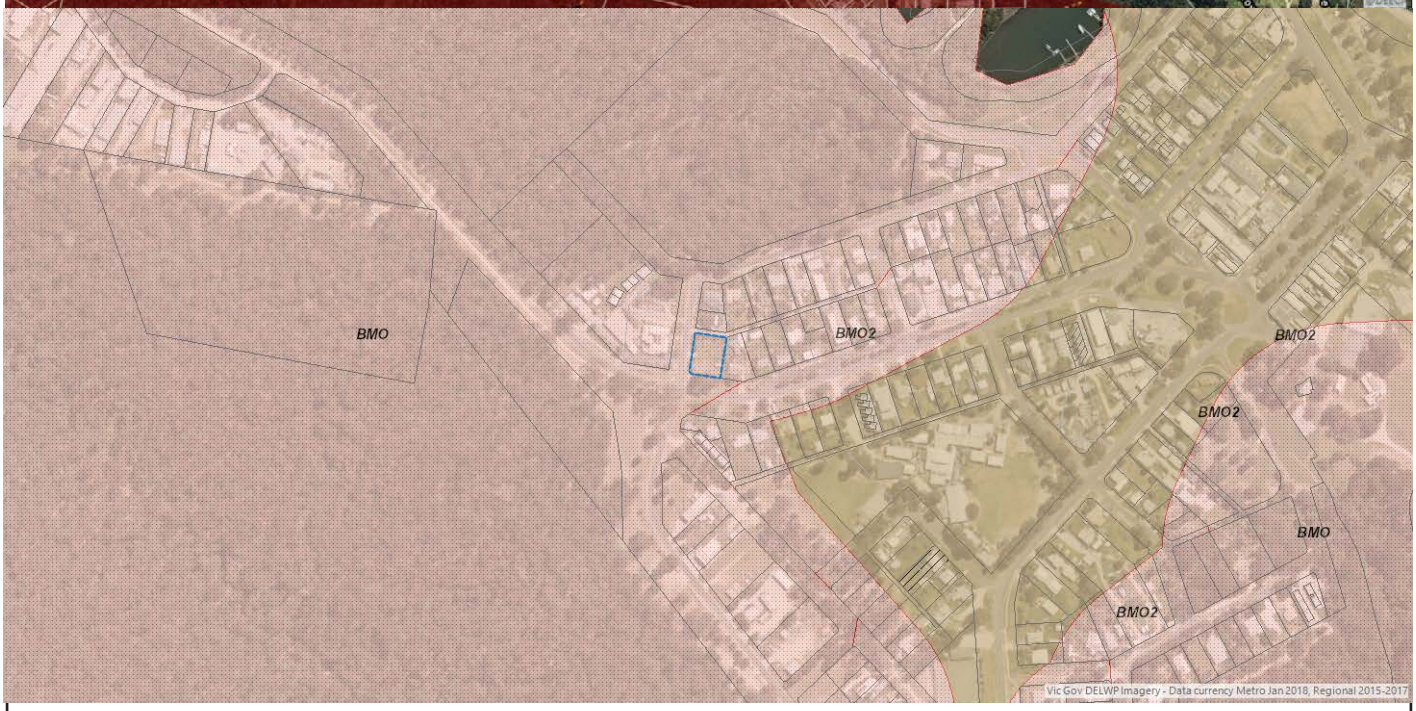
3. Bushfire History

3.1 Past Bushfire Events





The nature of the regional terrain and vegetation supports fast moving forest fires.

There is a history of large devastating fires in the area that threaten with ember attack across the region with prevailing winds.

Most recently the 2020 bushfire fire front breached the township, and further extended into the town with forward spotting embert attacks that caused sporadic devastation

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3.2 Possible Direction of Bushfire

Past fires have occurred around the landscape and have covered large areas like the 2020 fires. As the fires build in size they move fast or over obstacles such as roads and rivers with ease. Variations in fuel and topography become less relevant as large fires tend to smooth these out and advance in the direction driven by prevailing winds. This increases the likelihood of a fire approaching from the SW and NW. However fire may come to the site from prevailing winds, it will cause forward spotting from distance forest fires through ember attack.

3.3 Likely Bushfire scenarios

Most likely regional Forest fires with prevailing winds blowing embers over the township.

Embers can ignite clumps of vegetation and surrounding structures.
Embers can come from all directions based on prevailing winds.

4. Local Prevention and Bushfire Management

4.1 Fire Authority Locations

There are CFA Fire stations in the area - as the crow flies from the site :
* Mallacotta CFA
* Gypsy Point CFA
* Cann River CFA

4.2 Proximity to urban areas and towns and other areas of protection

Safety can be found in the Mallacotta township <1km to the East when leaving early and it is safe to do so. There are different pathways to the Place of Last Resort, be sure to plan ahead to determine which is the safest route when evacuating.

4.3 Other Measures

It is important to monitor the bushfire activity in the region and local area during the fire season to ensure the plan of leaving early is available and is the least risk to do so. Due to the localised threat, there is the high risk that a bushfire warning will not be early enough to evacuate in any direction. Ensure you make an informed decision on which direction you take to evacuate to avoid encountering obstruction to egress. When to late to leave, the protection of increased DS and elevated BAL is designed to provide place of last resort.

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5. Features relevant to bushfire protection

5.1 Adjoining Land

The land in all directions for at least 50m in all directions except to the South West (46m) is considered low threat, sufficient distance to provide appropriately increased Dependable Space from the areas of nearby forest

5.2 Access to Areas of safety

The main road leading to the east into the Mallacotta township and places of Last Resort is the quickest route to urban safety. There are variations to this route, be sure to check and verify the safest route before traveling when possible.

5.3 Constraints on implementation of appropriate Defendable space

There's no constraints in implementing appropriate DS within the title boundary. Zoned GENERAL RESIDENTIAL ZONE (GRZ), it is to be expected adjacent occupants will maintain their block in perpetuity to provide DS requirements for all dwellings.

6. Landscape Typology

6.1 Landscape Type

The landscape type is type 2 in close proximity, but type 3 across the region. Of this landscape the following can be stated: * The type of vegetation, and the topography of the land may result in neighbourhood destruction in the event of a major fire * Bushfire can approach from more than one aspect. * The site is located in an area that is predominately managed in a minimum fuel condition. * There is a history of major bushfire events with direct impact.
The bushfire risk from such a landscape is Extreme - and likely will increase over time post the 2020 Bushfires - as the annual Forestry work will be limited

6.2 Recommendations for Safety and proceeding with development

The development can proceed as: * There should be a fire plan to monitor surrounding areas, and once a fire threat has been confirmed, make an informed decision on which direction is safe, if not leaving early * There are bushfire fighting resources in the area. * the risk is mitigated by the implementation of the protection measures. * The owner should keep up to date with all communication avenues and be aware at all times of the status of any fires in the area and be aware and ready to take required safety precautions. * Although risk is very high to Extreme, preferred safety plan is to leave early when able to do so.

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Construction BAL Rating = 29

N

0 25 50 75

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101
BUSHFIRE MANAGEMENT PLAN
1 : 1000

Bushfire Mitigation Measures - Mandatory Condition

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed

a) Defendable Space

Defendable space is provided for a distance of **32 metres** around the dwelling or to the property boundary whichever is the lesser and managed in accordance with the following:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

b) Construction Standard

Dwelling designed and constructed to a minimum Bushfire Attack Level of **BAL29**

c) Water Supply

A static water tank dedicated solely for firefighting must be provided and must meet the following requirements:

- An effective capacity of **10,000 Litres**
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- The Static water supply must include a separate outlet for the private use of the owner/occupier of the land that incorporates a ball or gate valve.

A 10,000 litre water supply is required, therefore the following fire authority fittings and access must be provided:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s (Remote Outlet) of the water tank must be within 4 metres of the accessway (or other suitable "hardstand") and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

d) Access

Access Required: **Yes.** The following design and construction requirements apply:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.1han 050 metres.) entry and exit angle.

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FPA Australia Silver Members 31580.

Contact Laurie in **0417 728 845** for more information.
Visit our websites for more details
www.heathdesign.com.au
www.fireguardaustralia.com.au
bushfireconsultant@fireguardaustralia.com.au

Rev	Description	Date
A	FIRST SUBMISSION - REV A PLAN	03/07/25

STATUS: **BUILDING PERMIT**

CLIENT:

TITLE: BUSHFIRE MANAGEMENT PLAN

PROJECT: 2x SINGLE STORY DUPLEX RESIDENCE

3 Maurice Avenue Mallacoota

NORTH:	DRAWN: LH	DATE: 03.07.2025
	CHECKED: DH	SCALE @ A3: AS SHOWN
PROJECT NO: 25054	DRAWING NO: 101	REVISION: A

Printed 17/07/2025

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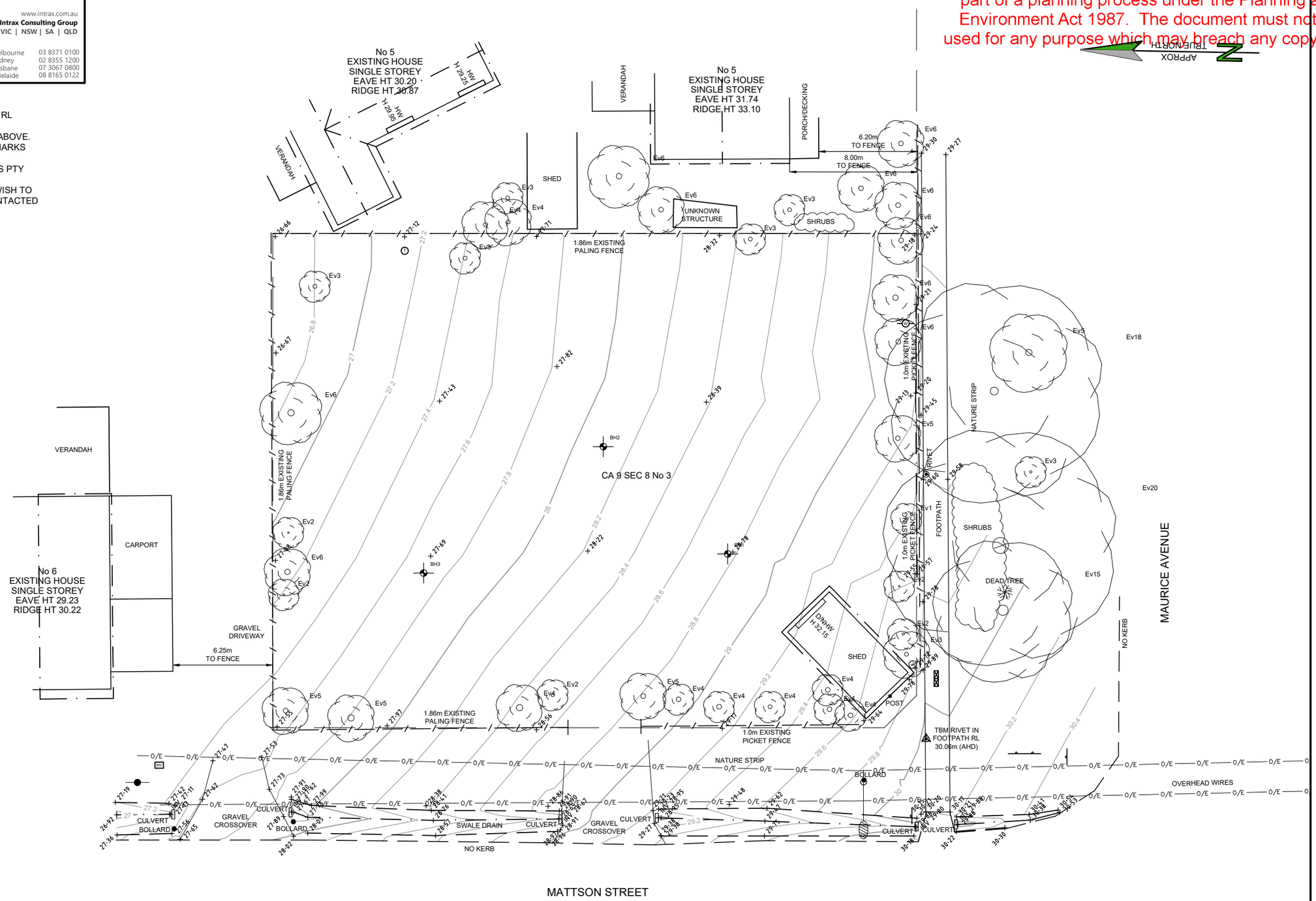
Sydney 02 8355 1200
Brisbane 07 3067 0800
Adelaide 08 8165 0122

NOTE:
1. LEVELS ARE TO AUSTRALIAN HEIGHT DATUM (AHD) - PM 43 - RL 19.927 AS OF 20.02.25.
2. AHD HEIGHT HAS BEEN DETERMINED FROM THE PM NOTED ABOVE. THIS INFORMATION HAS BEEN OBTAINED FROM THE SURVEY MARKS ENQUIRY SERVICE (SMES) WEBSITE. THE ACCURACY OF THIS INFORMATION IS TO +/- 50mm. INTRAX CONSULTING ENGINEERS PTY LTD TAKES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION OBTAINED FROM (SMES). SHOULD THE CLIENT WISH TO CONFIRM THE SMES PM MARKER THIS OFFICE SHOULD BE CONTACTED FOR A MORE DETAILED INVESTIGATION.

NOTE:
FULLY DIMENSIONED TITLE & EASEMENTS ARE NOT ALLOWED TO BE SHOWN UNLESS VERIFIED BY A LICENSED SURVEYOR CONDUCTING A TITLE RE-ESTABLISHMENT SURVEY.AN APPROXIMATE SITE OUTLINE HAS BEEN SHOWN.IN THIS INSTANCE SETBACKS HAVE BEEN MEASURED TO LOCATED OCCUPATION AND FEATURES ONLY WHERE APPLICABLE.

NOTE:
PLEASE CONTACT INTRAX OFFICE IF THERE ARE ANY QUESTIONS OR CONCERNS BEFORE ANY EARTHWORKS COMMENCE

NOTE:
DUE TO LONG GRASS ACROSS PORTIONS OF THE SITE & NATURE STRIP, SOME SERVICES MAY BE OBSCURED AND THEREFORE EITHER APPROXIMATELY LOCATED OR UNABLE TO BE LOCATED AT THE TIME OF THE SURVEY.



×104.89	SPOT HEIGHT	(S)	SEWER MANHOLE	GP	GRATED PIT	(T)	WATER TAP	SV	SEWER VENT
HW H 108.30 S 106.30	HABITABLE WINDOW	(E)	ELECTRICITY PIT	SEP	SIDE ENTRY PIT	(W)	WATER METER	IS	SEWER INSPECTION SHAFT
		EC	ELECTRICITY CABINET	JP	JUNCTION PIT		POWER POLE		SIGN
NHW H 108.30 S 106.30	NON-HABITABLE WINDOW		TBM	UNK	UNKNOWN PIT		P.S.M.	GV	GAS VALVE
		WV	WATER VALVE		TELSTRA PIT	(FH)	FIRE HYDRANT	Ev5	EVERGREEN TREE HEIGHT 5m SPREAD 3m
DOOR H 108.30 B 106.30	DOOR		LIGHTPOLE	(G)	GAS METER	(FP)	FIRE PLUG		

VER	DESCRIPTION	DATE	APP
A	ORIGINAL SURVEY	20.02.25	

FEATURE & LEVEL SURVEY

PROPERTY ADDRESS: No 3 MAURICE AVENUE MALLACOOTA VIC 3892
CLIENT: ANCHOR HOMES
PLAN OF SUBDIVISION: CA 9 SEC 8 ON TP325460P EDITION 1
HORIZONTAL DATUM: ARBITRARY
LEVEL DATUM: AHD
CONTOUR INTERVAL: 0.20 METRES

ORIGINAL SCALE: 1:250 AT A3	
SURVEYOR: V.V.	
DRAFTER: L.L.	CHECKED: J.B.
DATE OF SURVEY: 20.02.25	
INTRAX REF: 238344	
CLIENT REF: PO-43438	
SHEET 1 OF 1 SHEETS	VERSION: A

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SHT No.	DESCRIPTION	REV NO.
1	COVER PAGE	PD-G
2	GENERAL NOTES	PD-G
3	DEMOLITION PLAN	PD-G
4	LOCATION PLAN	PD-G
5	SITE PLAN	PD-G
6	CONTOUR PLAN	PD-G
7	UNIT 1-2: FLOOR PLAN	PD-G
8	UNIT 3-4: FLOOR PLAN	PD-G
9	UNIT 1-2: ELECTRICAL PLAN	PD-G
10	UNIT 3-4: ELECTRICAL PLAN	PD-G
11	UNIT 1-2: ROOF PLAN	PD-G
12	UNIT 3-4: ROOF PLAN	PD-G
13	ELEVATIONS	PD-G
14	ELEVATIONS	PD-G
15	ELEVATIONS	PD-G
16	3D PERSPECTIVE VIEWS	PD-G
17	UNIT 1 - JOINERY DRAWINGS: KITCHEN & LAUNDRY	PD-G
18	UNIT 1 - JOINERY DRAWINGS: BATHROOM & BEDROOM	PD-G
19	UNIT 2 - JOINERY DRAWINGS: KITCHEN & LAUNDRY	PD-G
20	UNIT 2 - JOINERY DRAWINGS: BATHROOM & BEDROOM	PD-G
21	UNIT 3 - JOINERY DRAWINGS: KITCHEN & LAUNDRY	PD-G
22	UNIT 3 - JOINERY DRAWINGS: BATHROOM & BEDROOM	PD-G
23	UNIT 4 - JOINERY DRAWINGS: KITCHEN & LAUNDRY	PD-G
24	UNIT 4 - JOINERY DRAWINGS: BATHROOM & BEDROOM	PD-G
25	WINDOW & DOOR SCHEDULE	PD-G
26	WINDOW & DOOR SCHEDULE	PD-G

PROPOSED NEW RESIDENCE

For: MALLACOOTA DISTRICT HEALTH & SUPPORT SERVICE

At: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892

AREA CALCULATIONS

UNIT	ZONE	AREA
1	LIVING	60.0
1	PORTICO	8.5
1	RAMP	10.7
1	DECK	12.2
1	LANDING	1.4
		92.8 m²
2	LIVING	60.0
2	PORTICO	8.5
2	DECK	10.4
2	RAMP	10.1
		89.0 m²
3	LIVING	60.0
3	PORTICO	8.6
3	RAMP	10.2
3	DECK	9.1
		87.9 m²
4	LIVING	60.0
4	PORTICO	8.6
4	LANDING	1.4
4	RAMP	10.2
4	DECK	19.2
		99.4 m²

Anchor Homes
55 Industrial Road Stratford VIC 3862
1300 946 815

OWNER APPROVAL
OWNER'S SIGNATURE:

BUILDER SIGNATURE:

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THESE DRAWINGS ARE DEEMED TO COMPLY WITH ALL STATUTORY BUILDING LEGISLATION, REGULATIONS & CODES RELEVANT TO THE SITE

(Vic. DB-U 2108)(CB-L 43089)
(NSW. 174651C)

KEN RAIKES
SIGNED:

PROJECT TITLE: SUBURBAN - GABLE

OWNER'S NAME:

PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892

DRAWING TITLE: COVER PAGE

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
DRAWN BY: MB	CHECKED BY: DM	
PROJECT NUMBER: 0843	SHEET No.: 1 of 26	REVISION: PD-G

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GENERAL NOTES:

ALL WORKS CARRIED OUT SHALL BE IN STRICT COMPLIANCE WITH THE PROVISIONS OF THE BUILDING CODE OF AUSTRALIA, STATE BUILDING REGULATIONS & LOCAL AUTHORITY REQUIREMENTS.

CONTRACTORS SHALL CHECK ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS.

WRITTEN DIMENSIONS HAVE PREFERENCE TO SCALE.

PLANS SHALL BE READ IN CONJUNCTION WITH PROJECT SPECIFICATIONS & ANY ATTACHED DOCUMENTATION. SPECIFICATION DOCUMENTS TAKE PRECEDENCE OVER ARCHITECTURAL DRAWINGS, WHERE A DISCREPANCY OCCURS.

IF A SPECIFIED PRODUCT (MATERIAL OR SIZE) IN THE PLANS IS NOT AVAILABLE, AN EQUIVALENT PRODUCT WILL BE SUBSTITUTED IN ACCORDANCE WITH THE BUILDING CONTRACT

IT IS THE BUILDERS RESPONSIBILTY TO ENSURE THAT THE BUILDING IS WITHIN THE DESIGNATED BOUNDARIES AND VERIFY THAT THE SITE IS SHOWN CORRECT.

IT IS THE OWNERS RESPONSIBILTY TO NOTIFY THE DESIGNER OF ANY SERVICES.

S DENOTES SMOKE ALARM INSTALLED IN ACCORDANCE WITH AS 3786

GLAZING TO COMPLY WITH AS 1288 "GLASS IN BUILDINGS - SELECTION & INSTALLATION".

OVERFLOW RELIEF GULLY REQUIREMENTS TO COMPLY WITH AS 3500.2 "SANITARY PLUMBING & SANITARY DRAINAGE".

DP DENOTES DOWNPIPE
SP DENOTES DOWNPIPE & SPREADER

EXHAUST FANS, RANGEHOODS & TASTICS VENTILATED TO OPEN AIR VENTS IN EAVE.

DOWNPIPE SOCKS TO BE USED DURING ON-SITE CONSTRUCTION WORKS.

REMOVEABLE HINGES TO BE FITTED TO WC.

WET AREAS TO BE IN ACCORDANCE WITH AS3740

STEPS TO BE CONSTRUCTED IN ACCORDANCE WITH NCC2022

TERMITE PROTECTION IS IN ACCORDANCE WITH COUNCIL GUIDELINES AND AS 3660

TIMBER STEPS & DECKING TO BE COATED WITH SLIP RESISTANT COATING TO MANUFACTURERS SPECIFICATIONS IN ACCORDANCE WITH AS 4586 REFER TO NCC2022

ALL ABOVE GROUND EXTERNAL FRAMING TIMBERS TO BE MINIMUM DURABILITY OF H3. ALL FRAMING/STRUCTURAL TIMBER IN CONTACT WITH OR BELOW GROUND TO BE MINIMUM DURABILITY OF H4.

ALL WORKMANSHIP & MATERIALS TO BE IN ACCORDANCE WITH RELEVANT BUILDING CODES & COUNCIL REQUIREMENTS. THESE DRAWINGS DO NOT SHOW ANY STRUCTURAL ENGINEERING DETAILS.

WASTE MANAGEMENT PLAN -
EXCAVATED MATERIALS RELOCATED ON SITE FOR GARDENS. BRICKS, CONCRETE, TIMBER & OTHER PRODUCTS SORTED AND DISPOSED TO LOCAL RECYCLING FACILITY AS PER WASTE BOARD GUIDE.

THE DEVELOPMENT WILL NOT HAVE ANY ADVERSE EFFECT ON THE ENVIRONMENT OR ITS SURROUNDS.

PROJECT SITE NOTES:

ALL DIMENSIONS ARE IN METERS.
DIMENSIONS ARE SHOWN ON THE SITE PLAN.
ALL DIMENSIONS ARE TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION.

THERE ARE NO TREES TO BE REMOVED IN THE CONSTRUCTION ZONE.

LEVELS TO **ARBITARY HEIGHT DATUM**, SEE SITE PLAN AND ELEVATIONS.

NEW WORKS CONNECTION TO COUNCIL APPROVED STORM WATER SYSTEMS.

BUILDING OFFSETS ARE SHOWN ON SITE PLAN.

SITE CUT TO BE CARRIED OUT - SILTATION CONTROL MAYBE REQUIRED.

PROJECT SPECIFIC NOTES:

SITE SOIL CLASSIFICATION - **P (M)**

BAL RATING - **BAL 29**

WIND LOAD CLASSIFICATION - **N2**

FOOTING DEPTH - **450MMØ BORED CONCRETE PIERS FOUNDED MIN. 1000MM BELOW EXISTING NATURAL GROUND, DUE TO THE PRESENCE OF ABNORMAL MOISTURE CONDITIONS**

DESIGNATED TERMITE AREA - **YES**

FLOOD PROTECTION LEVEL - **N/A**

SNOWLOADING
ROOF LOADING - **N/A**
GROUND LOADING - **N/A**

EXTERNAL WALL INSULATION - **'TBC'**

CEILING INSULATION - **'TBC'**

ROOF INSULATION - **'TBC'**

SUBFLOOR INSULATION - **'TBC'**

NCC 2022
(NATIONAL CONSTRUCTION CODE)

ALL BUILDING WORKS CARRIED OUT TO BE IN ACCORDANCE WITH NCC2022 REQUIREMENTS INCLUDING THE FOLLOWING :
- 7 STAR ENERGY RATING
- WHOLE OF HOME ASSESSMENT (MINIMUM RATING OF 60/150)
- CONDENSATION MANAGEMENT
- LIVABLE HOUSE DESIGN 2022

BAL NOTES: (BAL-29)

SUBFLOOR SUPPORTS	ENCLOSED BY EXTERNAL WALL OR STEEL, BRONZE OR ALUMINIUM MESH, NON-COMBUSTIBLE SUPPORTS WHERE THE SUBFLOOR IS ENCLOSED,NATURALLY FIRE RESISTANT TIMBER STUMPS OR POSTS ON 75mm METAL STIRRUPS
FLOORS	CONCRETE SLAB ON GROUND OR ENCLOSED BY EXTERNAL WALL, METAL MESH AS ABOVE OR FLOORING LESS THAN 400mm ABOVE GROUND LEVEL TO BE NON-COMBUSTIBLE, NATURALLY FIRE RESISTANT TIMBER OR PROTECTED ON THE UNDERSIDE WITH SARKING OR MINERAL WOOL INSULATION
EXTERNAL WALLS	NON-COMBUSTIBLE MATERIAL (MASONARY), BRICK, VENEER, MUD BRICK, AERATED CONCRETE, CONCRETE), TIMBER FRAMED, STEEL FRAMED WALLS, SARKED ON THE OUTSIDE AND CLAD WITH 6mm FIBRE CEMENT SHEETING OR STEEL SHEETING OR BUSHFIRE RESISTANT TIMBER
EXTERNAL WINDOWS	5mm TOUGHENED GLASS WITH OPENEABLE PORTION SCREENED AND FRAME OF METAL OR METAL REINFORCED PVC-U, OR BUSHFIRE RESISTING TIMBER AND PORTION WITHIN 400mm OF GROUND, DECK, ETC. SCREENED
EXTERNAL DOORS	PROTECTED BY BUSHFIRE SHUTTER, OR SCREENED WITH STEEL, BRONZE OR ALUMINIUM MESH OR NON COMBUSTIBLE OR 35mm SOLID TIMBER FOR 400mm ABOVE THRESHOLD, METAL OR BUSHFIRE RESISTING TIMBER FRAMED TIGHT FITTING WITH WEATHER STRIPS AT BASE
ROOFS	NON-COMBUSTIBLE COVERING. ROOF/WALL JUNCTION SEALED. OPENINGS FITTED WITH NON-COMBUSTIBLE EMBER GUARDS. ROOF TO BE FULLY SARKED
VERANDAHS DECKS ETC	ENCLOSED SUB-FLOOR SPACE OR NON-COMBUSTIBLE OR BUSHFIRE RESISTANT TIMBER SUPPORTS. DECKING TO BE NON-COMBUSTIBLE OR BUSHFIRE RESISTING TIMBER

REVISION SUMMARY

	NOTES
PD 28/01/25 CS	- PRELIMINARY DRAWINGS ISSUED
PD-A 07/02/25 MB	- ADDED EXTERNAL ELEVATIONS, ELECTRICAL PLANS, ROOF PLANS, INTERNAL ELEVATIONS AND SCHEDULING
PD-B 25/03/25 SW	- UNIT 3 & 4 RESITED - ADDITIONAL DECKS AND RAMPS ADDED TO UNITS - PROVIDED SEPARATE CARPORTS
PD-B 09/04/25 CS	**- POST FORTNIGHTLY PROGRESS DESIGN MEETING** - REDUCE FRONT SETBACK TO 4M - REMOVE INTERTENANCY CONNECTING DOOR - REDUCE SIZES OF DECKS TO DWELLINGS 1-3. INCREASING DECK TO DW 4
PD-C 23/04/25 CS	**- POST FORTNIGHTLY PROGRESS DESIGN MEETING- CLIENT NOT AVAILABLE** - REDUCE FRONT STREET SETBACK TO 4M - REMOVE INTERTENANCY CONNECTING DOOR THROUGH FIRE SEPARATION INTERTENANCY WALL TO MEET CLASS 1A REQUIREMENTS - REDUCE SIZES OF DECKS TO DWELLINGS 1-4. - DECK TO DW 4 REMAINS LARGER THEN 1-3 - ADJUST SITE CUT / FILL BENCHING LEVELS - DEFINE SECLUDED PRIVATE OPEN SPACES ON SITE PLAN - ALLOCATE STORAGE AND BIN STORE AREAS TO EACH DWELLING - ADD PICKET SCREEN FENCING TO ALL SECLUDED PRIVATE OPEN SPACES AREAS - REMOVE HIGH FENCING TO PRIVATE OPEN SPACES - REMOVE BOTH CARPORTS LEAVING FOUR EXTERNAL CARPARKING BAYS - PROVIDE CENTRAL DRIVEWAY UTILISING EXISTING CROSSOVER TO PROVIDE ACCESS TO CARPARKING - PROVIDE DIRECT REAR ACCESS AT GRADE FROM CARPORTS TO PRIVATE YARDS, TO RAMPS AND ONTO DECK FOR DWELLING ACCESS - ADD LANSCAPING TO BATTER SIDE OF CARPARKS - NOTE CRUSHED ROCK TO DRIVEWAY AND CARPARK - ANNOTATE FENCES TO SPOS - NOTE FENCES AND LANDSCAPING BY OTHERS
PD-D 01/05/25 WM	- UPDATED SITE SERVICES
PD-E 03/06/25 WM	- ADDED LOCATION PLAN - ADDED DEMOLITION PLAN - UPDATED GENERAL NOTES - CHANGED DRIVEWAY TO CONCRETE - UPDATED BOUNDARY FENCES - REMOVED FENCES FROM ELEVATION VIEWS - UPDATED 3D VIEWS TO INCLUDE NEIGHBOURING DWELLINGS
PD-F 18/06/25 WM	- ADDED EXISTING FENCES TO 3D VIEWS
PD-G 30/06/25 WM	- ADDED SOLAR ENERGY AREA ON ALL ROOFS - ADDED INTERNAL WASTE & RECYCLING STORAGE TO ALL UNITS - ADDED DIMENSIOSN & AREA TO EXTERNAL BIN SPACES - REMOVED BAL "TBC" NOTE - REMOVED BMP, BAL & SOIL REPORT NOTE FROM SITE PLAN - UPDATED AREA ANALYSIS ON SITE PLAN - ADDED FALL TOWARDS GARDEN & LAWNS TO DRIVEWAY

Anchor Homes
55 Industrial Road Stratford VIC 3862
1300 946 815

OWNER APPROVAL
OWNER'S SIGNATURE:

BUILDER SIGNATURE:

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(Vic. DB-U 2108)(CB-L 43089)
(NSW. 174651C)
KEN RAIKES
SIGNED:

PROJECT TITLE: SUBURBAN - GABLE
OWNER'S NAME:
PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892
DRAWING TITLE: GENERAL NOTES

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
DRAWN BY: MB	CHECKED BY: DM	
PROJECT NUMBER: 0843	SHEET No.: 2 of 26	REVISION: PD-G

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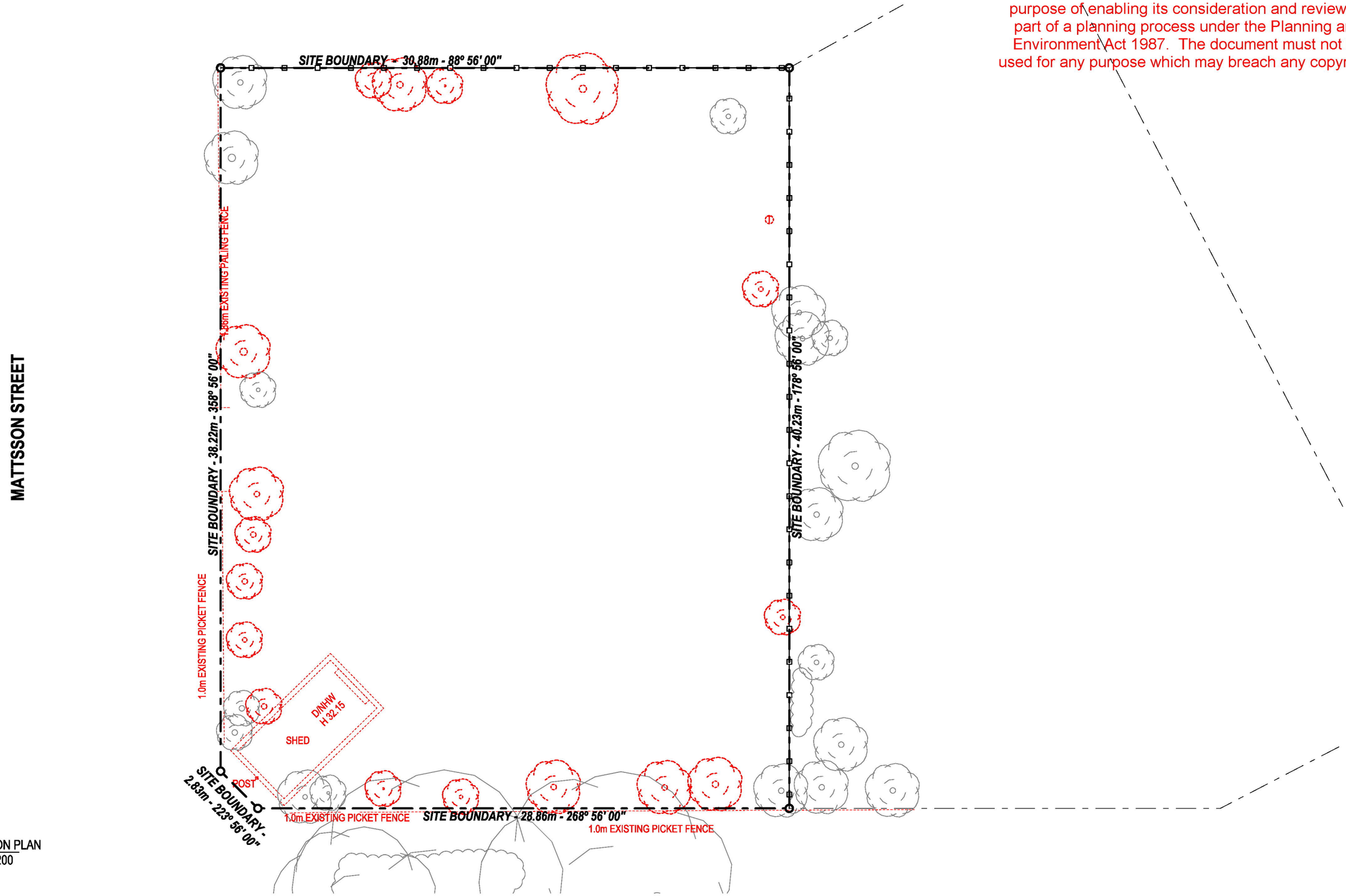

1 DEMOLITION PLAN
SCALE: 1:200

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OWNER'S NAME:
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DRAWING TITLE: DEMOLITION PLAN

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
DRAWN BY: MB	CHECKED BY: DM	
PROJECT NUMBER: 0843	SHEET No.: 3 of 26	REVISION: PD-G

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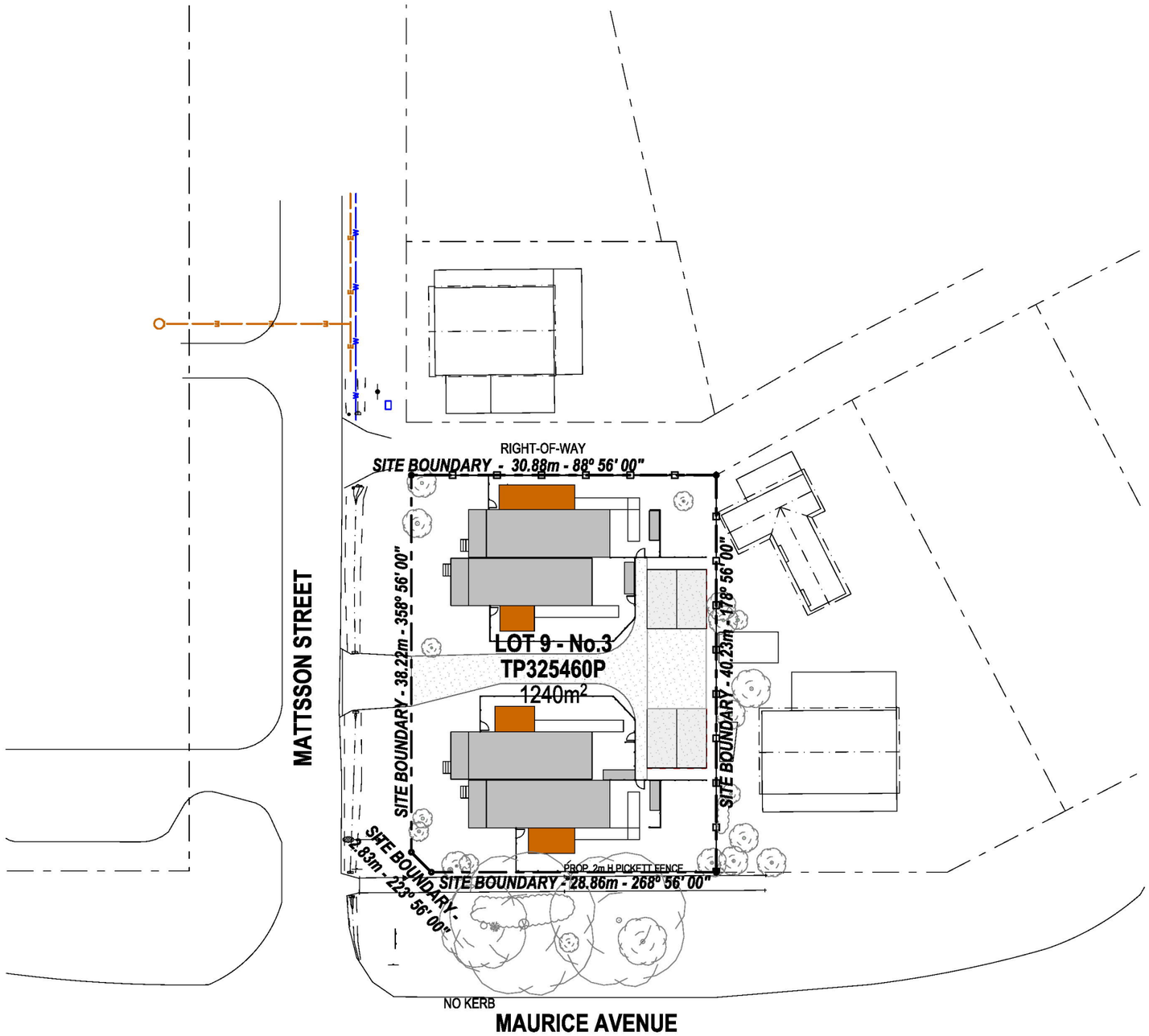

1 LOCATION PLAN
SCALE: 1:500

Anchor Homes
55 Industrial Road Stratford VIC 3862
1300 946 815

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(Vic. DB-U 2108)(CB-L 43089)
(NSW. 174651C)
KEN RAIKES
SIGNED:

PROJECT TITLE: SUBURBAN - GABLE
OWNER'S NAME:
PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892
DRAWING TITLE: LOCATION PLAN

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
DRAWN BY: MB	CHECKED BY: DM	
PROJECT NUMBER: 0843	SHEET No.: 4 of 26	REVISION: PD-G

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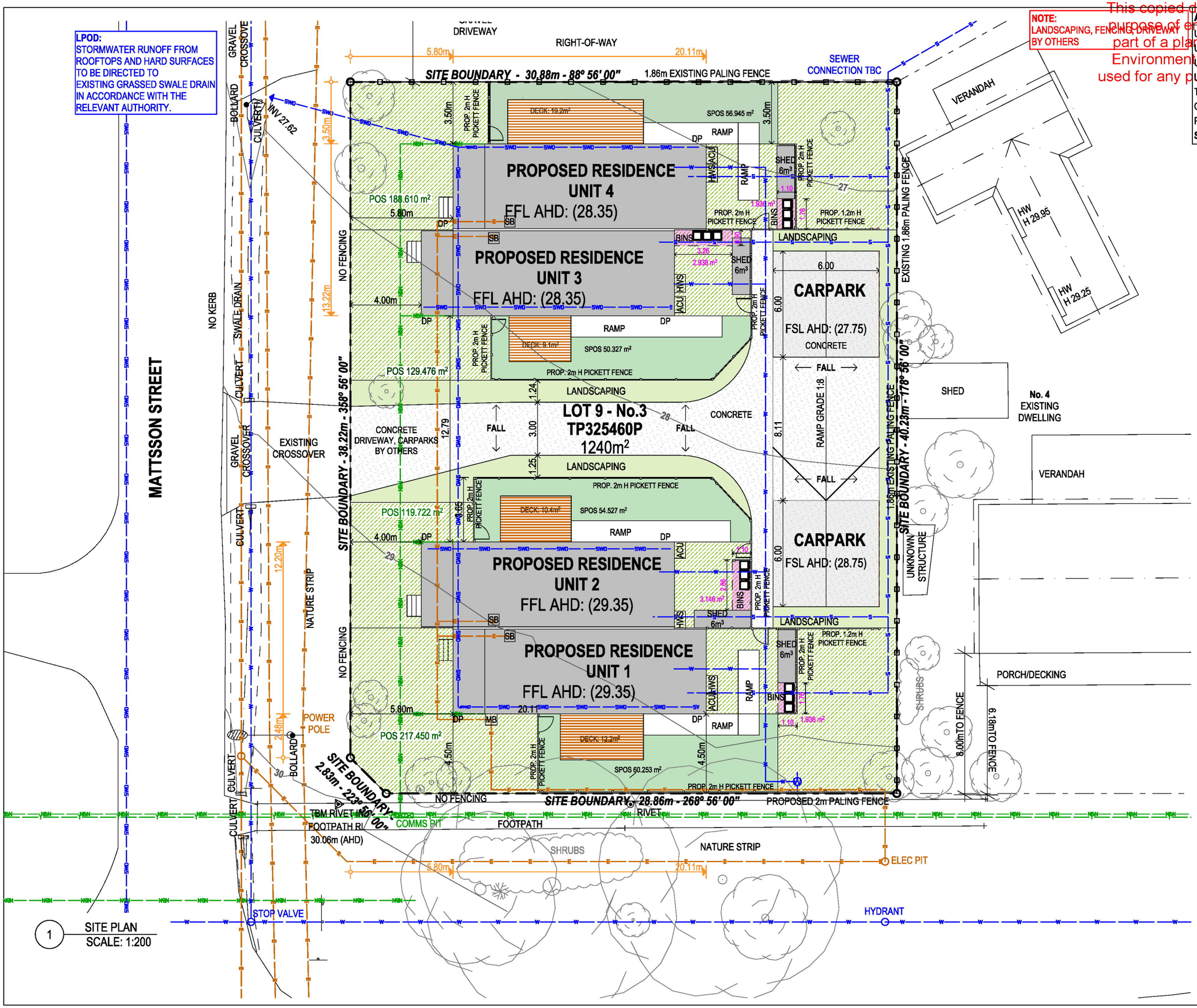

AREA ANALYSIS

UNIT 1 - SITE COVERAGE	92.8m²
UNIT 2 - SITE COVERAGE	89.0m²
UNIT 3 - SITE COVERAGE	87.9m²
UNIT 4 - SITE COVERAGE	99.4m²
TOTAL	369.1m² (29.7%)
CARPARKING/DRIVEWAY	231.9m²
PERMEABLILITY	639m² (51.3%)
SITE AREA	**1240m²**

SITE PLAN LEGEND

T	TELEPHONE
SWD	STORMWATER DISCHARGE
S	SEWERAGE
E	ELECTRICITY
W	WATER
NBN	NBN
DP	DOWNPIPE
MB	METERBOX
W	WATER METER
T	WATER TAP

Anchor Homes
55 Industrial Road Stratford
VIC 3862
1300 946 815

N

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PROJECT TITLE: SUBURBAN - GABLE

OWNER'S NAME:

PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892

DRAWING TITLE: SITE PLAN

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
DRAWN BY: MB	CHECKED BY: DM	
PROJECT NUMBER: 0843	SHEET No.: 5 of 26	REVISION: PD-G

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(Vic. DB-U 2108)(CB-L 43089)
(NSW. 174651C)
KEN RAIKES
SIGNED:

OWNER APPROVAL
OWNER'S SIGNATURE:

BUILDER SIGNATURE:
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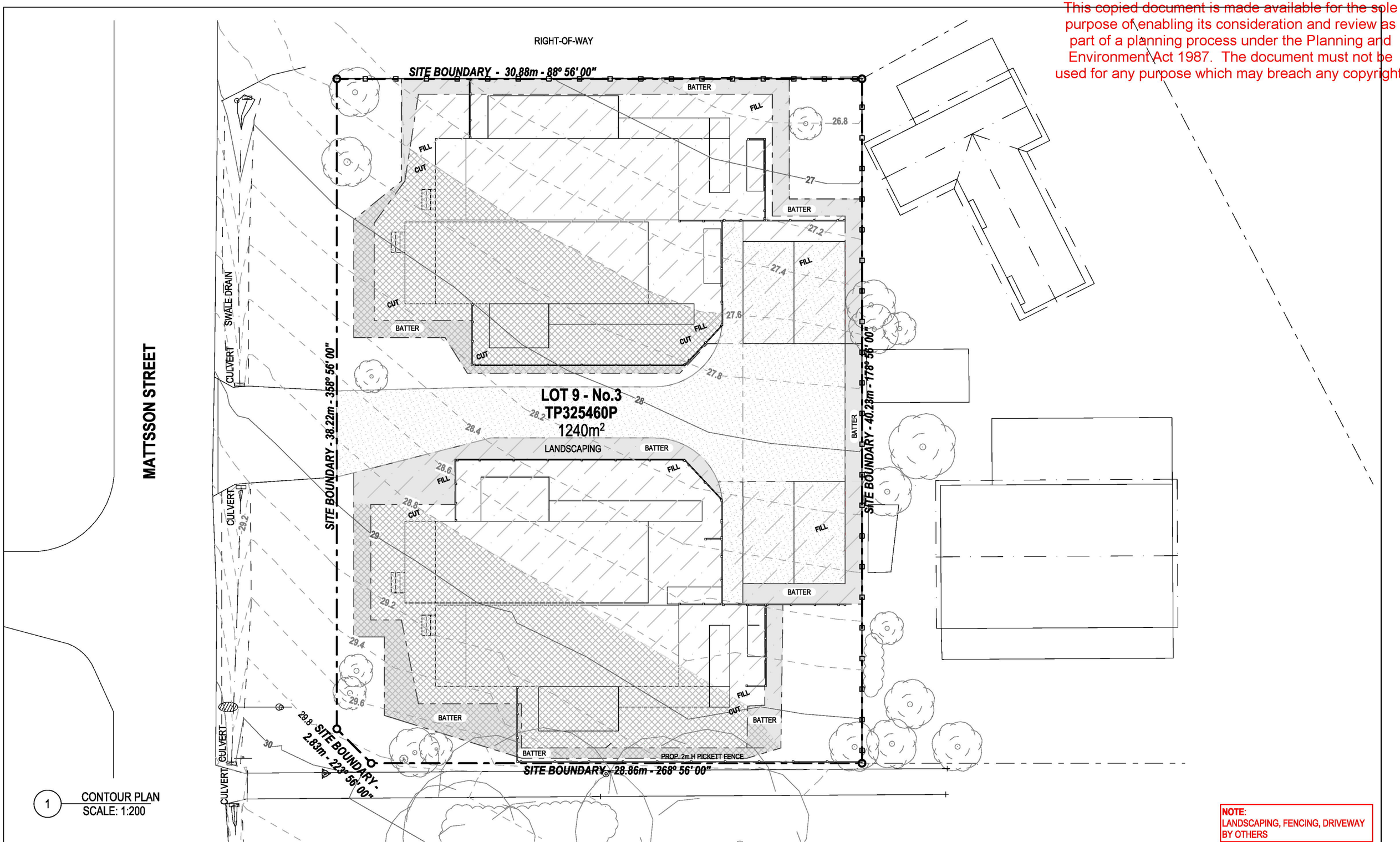

1 CONTOUR PLAN
SCALE: 1:200

NOTE:
LANDSCAPING, FENCING, DRIVEWAY BY OTHERS

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55 Industrial Road Stratford VIC 3862
1300 946 815

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PROJECT TITLE: SUBURBAN - GABLE
OWNER'S NAME:
PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892
DRAWING TITLE: CONTOUR PLAN

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
DRAWN BY: MB	CHECKED BY: DM	
PROJECT NUMBER: 0843	SHEET No.: 6 of 26	REVISION: PD-G

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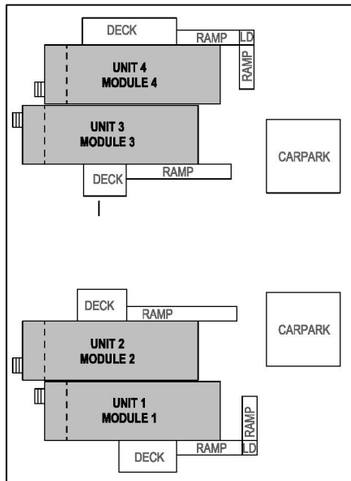
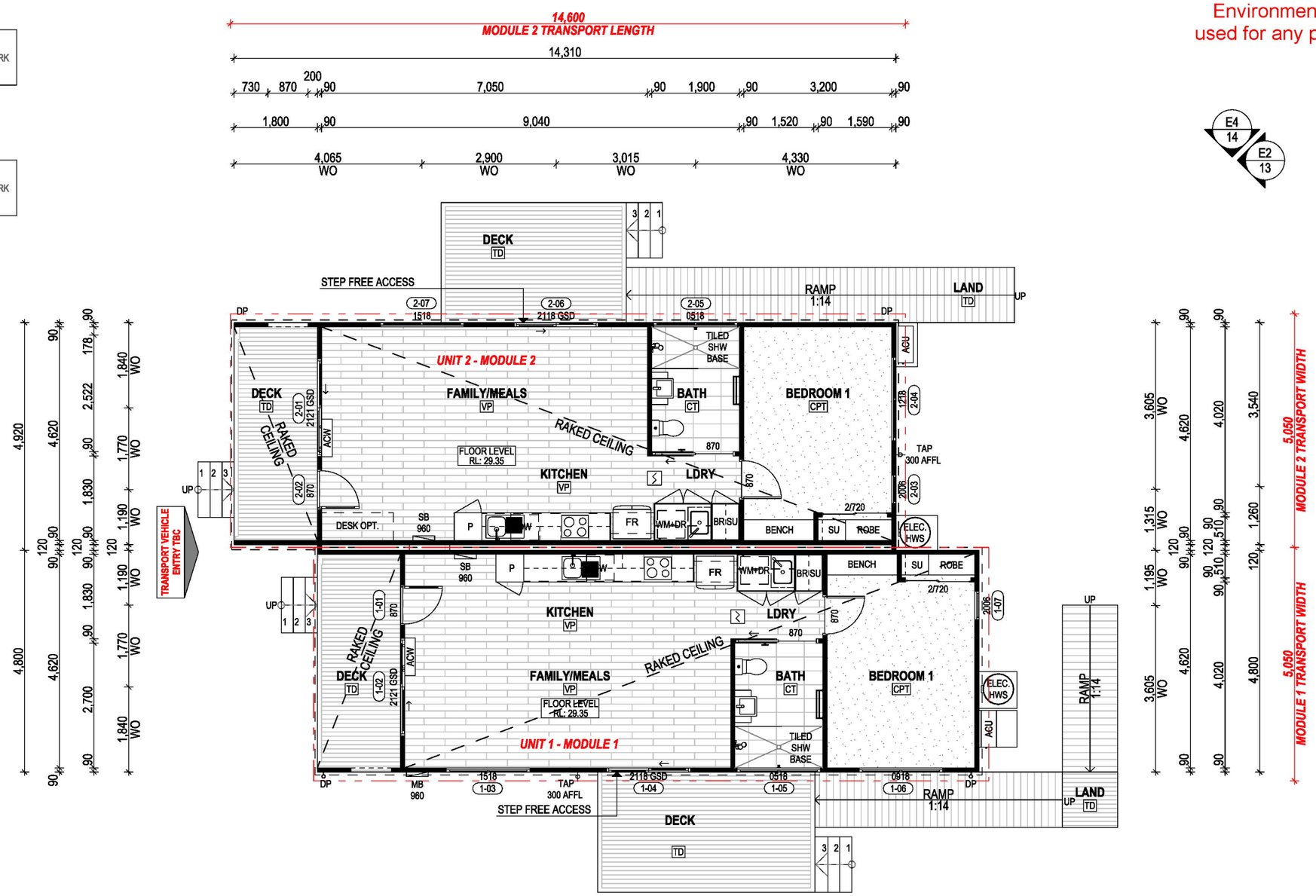
NOTE:
LIVABLE HOUSING DESIGN CLAUSE 5.1
PROVIDE BLOCKING TO BATH & SHOWER AS REQUIRED
FREE ENTRY TO SHOWER AS REQUIRED
LIVABLE HOUSING DESIGN CLAUSE 6.1
PRINCIPLES APPLY TO BATH & WC. PROVIDE WALL REINFORCING AS REQUIRED.





1 FLOOR PLAN
SCALE: 1:100

FLOOR PLAN LEGEND:

CON	CONCRETE SLAB
CT	CERAMIC TILES
CPT	CARPET
VP	VINYL PLANK FLOORING
OAK	ENG. OAK FLOORING
TD	TIMBER DECKING
DP	DOWN PIPE
SP	SPREADER

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VIC 3862
1300 946 815

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PROJECT TITLE: SUBURBAN - GABLE

OWNER'S NAME:

PROJECT ADDRESS:
LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892

DRAWING TITLE:
UNIT 1-2: FLOOR PLAN

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
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PROJECT NUMBER: 0843	SHEET No.: 7 of 26	REVISION: PD-G

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(NSW. 174651C)
KEN RAIKES
SIGNED:

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OWNER'S SIGNATURE:

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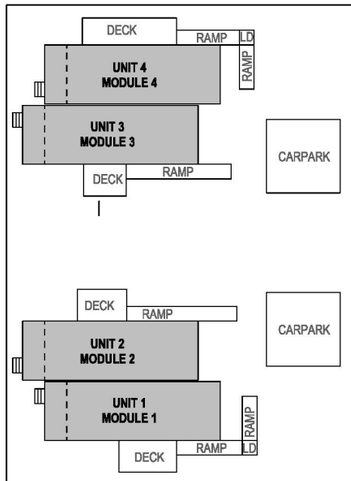

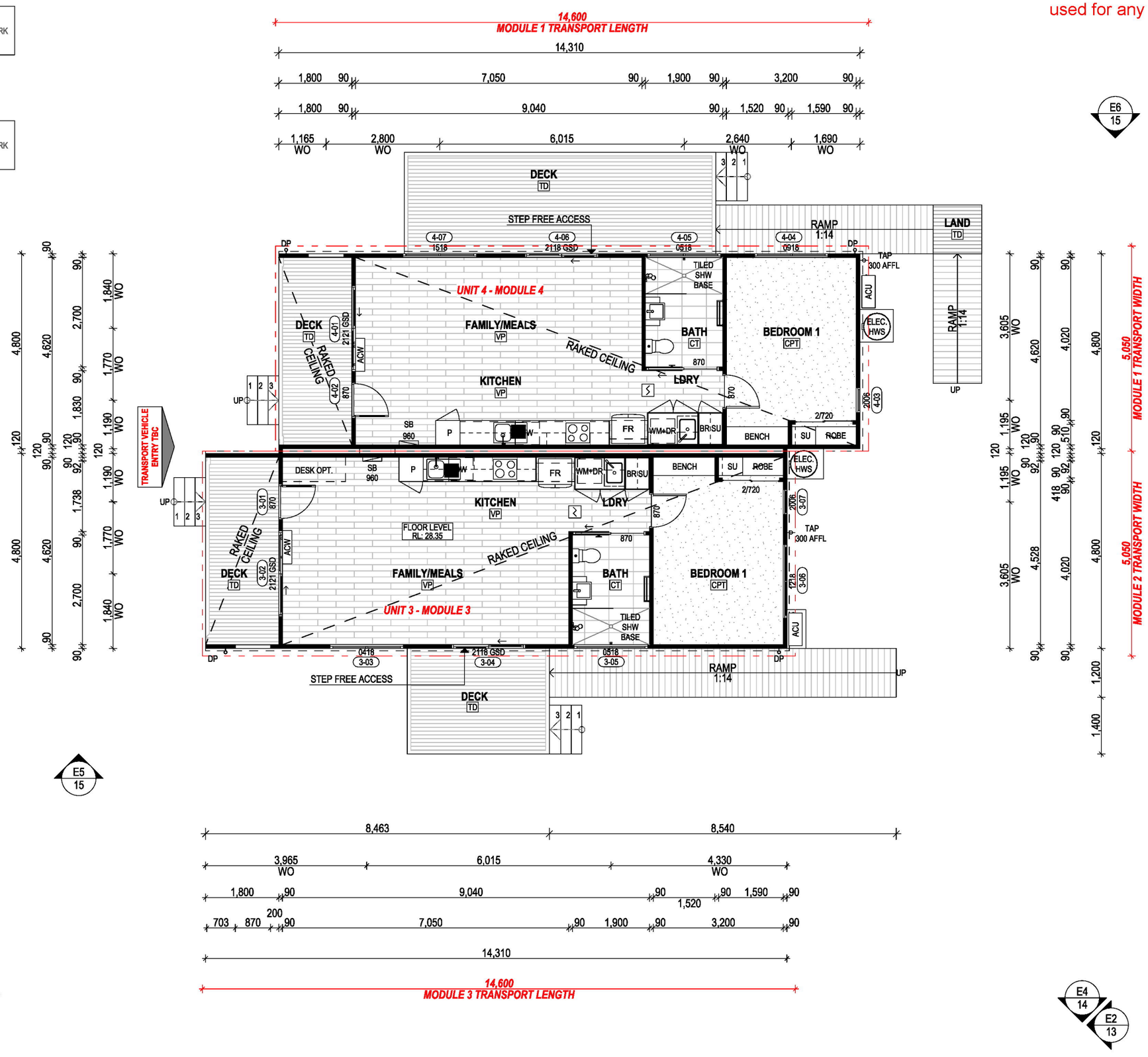

1 FLOOR PLAN
SCALE: 1:100

NOTE:
LIVABLE HOUSING DESIGN CLAUSE 5.1
PROVISION FOR FUTURE BATH REQUIRED
FREE ENTRY TO SHOWER ASREQUIRED
LIVABLE HOUSING DESIGN CLAUSE 6.1
PRINCIPLES APPLY TO BATH & WC. PROVIDE WALL REINFORCING AS REQUIRED.

FLOOR PLAN LEGEND:

CON	CONCRETE SLAB
CT	CERAMIC TILES
CPT	CARPET
VP	VINYL PLANK FLOORING
OAK	ENG. OAK FLOORING
TD	TIMBER DECKING
DP	DOWN PIPE
SP	SPREADER

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OWNER'S NAME:

PROJECT ADDRESS:
LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892

DRAWING TITLE: UNIT 3-4: FLOOR PLAN

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
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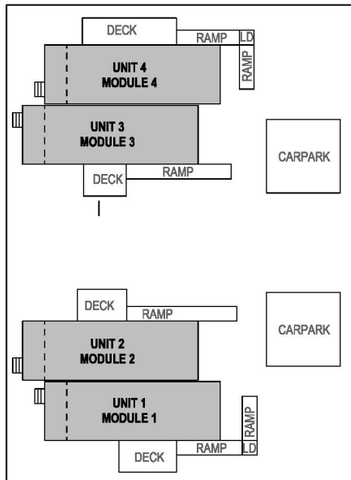

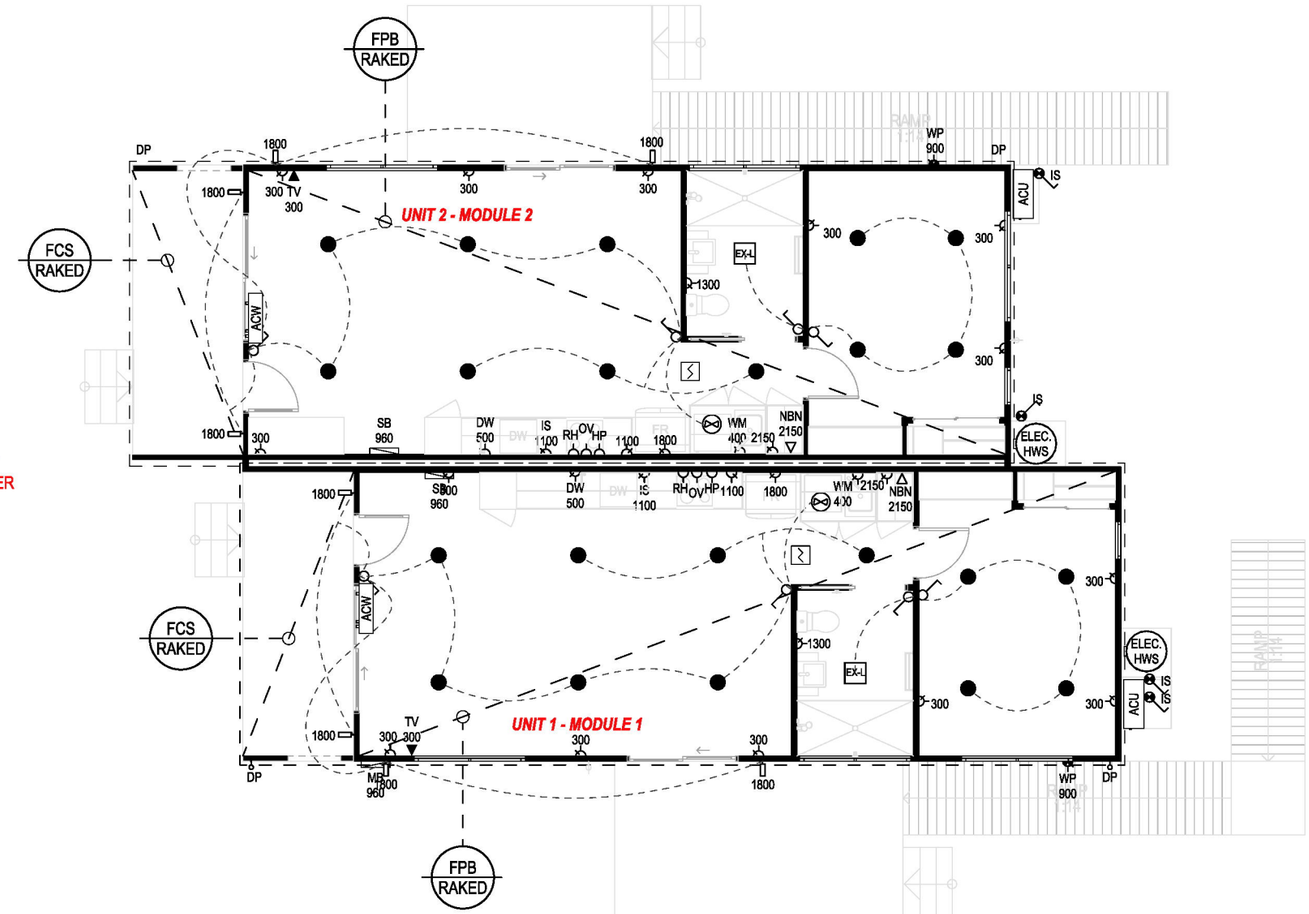

NOTE:
SUBJECT
SITE METER
BOX TBC

1 ELECTRICAL PLAN
SCALE: 1:100

ELECTRICIAN NOTES:

GPO & LIGHT LOCATIONS ARE APPROX U.N.O

GPO HEIGHTS FOR APPLIANCE TO SUIT MANUFACTURERS REQUIREMENTS

GPO FOR CANOPY R/HOOD IN CEILING SPACE
EXHAUST FAN LOCATIONS ARE APPROX & SHOULD BE POSITIONED TO SUIT ROOF / CEILING FRAMING

ISOLATION SWITCHES AS PER PLAN TO BE MARKED TO IDENTIFY THE APPLIANCE CONTROLLED

SMOKE ALARM NOTES:

SMOKE ALARMS TO BE HARDWIRED TO CONSUMER MAINS POWER (WHERE CONSUMER POWER IS CONNECTED TO BUILDING) WITH BATTERY BACKUP IN ACCORDANCE WITH AS3786

ALL SMOKE ALARMS TO BE INTERCONNECTED

SMOKE ALARMS TO BE POSITIONED AT A MIN 300mm FROM WALLS - REFER TO NCC 2022

DISCLAIMER:

THE FINAL LOCATION OF ALL ELECTRICAL OUTLETS WILL BE DETERMINED ON SITE BY THE ELECTRICIAN. IN SOME INSTANCES THE FINAL POSITION MAY BE VARIED SLIGHTLY DUE TO THE DESIRED LOCATION CLASHING WITH THE POSITIONING OF STRUCTURAL FRAMING MEMBERS THAT OTHERWISE CANNOT BE MOVED OR ELECTRICAL REGULATIONS WHICH PROHIBIT THE DESIRED LOCATION.

NBN:

FTTP & FTTN
NBN CABLE CONNECTION FROM INSIDE OF BUILDING IN P20 WHITE CONDUIT TO NBN UTILITY BOX LOCATED NEAR METER BOX OR WITHIN 1500mm FRONT OF BUILDING.

FIXED WIRELESS & SATELITE
NBN CABLE CONNECTION FROM INSIDE OF BUILDING IN P20 WHITE CONDUIT TO MANHOLE (IF INSTALLED) OR HIGHEST POINT OF ROOF SHEETS

ELECTRICAL LEGEND:

- DOWNLIGHT
- BATTENHOLDER CEILING LIGHT
- M — MOTION SENSOR
- F — DOUBLE FLURO
- EXTERNAL WALL LIGHT
- PAR 38 SPOT LIGHT
- EXHAUST FAN
- EX-L — 2 IN 1 LED LIGHT AND EXHAUST FAN
- SWITCH POINT - 1100 AFFL. UNO
- NBN 2000 — NBN CONNECTION POINT
- TV 1200 — TELEVISION POINT
- DATA CAT6
- SECURITY CAMERA
- HP — HOT PLATE POWER
- OV — OVEN POWER
- RH — RANGEHOOD POWER
- 300 — DOUBLE GPO
- IS 300 — DOUBLE GPO W/ ISOLATION SWITCH
- 300 — SINGLE GPO
- WP 300 — WEATHER PROOF DOUBLE GPO
- SMOKE ALARM
- SB 1200 — SUB-BOARD (HEIGHT TO U/SIDE OF SB)
- MB 1300 — METER BOX (HEIGHT TO U/SIDE OF MB)
- CF — CF - CEILING FAN; CFL - CEILING FAN & LIGHT
- MH — CEILING ACCESS MANHOLE
- FPB 000 — FPB - FLUSH PLASTERB'D CEILING LINING; FC - FIBRE CEMENT CEILING LINING; NL - NO CEILING LINING; RAKED - DENOTES RAKED CEILING; 000 - DENOTES CEILING HEIGHT
- ACW — WALL MOUNTED AIR-CONDITIONER UNIT - MOUNTED APPROX. 2300 AFFL. UNO
- ACU — AIR-CONDITIONER - OUTDOOR UNIT

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55 Industrial Road Stratford VIC 3862
1300 946 815

OWNER APPROVAL
OWNER'S SIGNATURE:

BUILDER SIGNATURE:
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DATED:

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(Vic. DB-U 2108)(CB-L 43089)
(NSW. 174651C)
KEN RAIKES
SIGNED:

PROJECT TITLE: SUBURBAN - GABLE
OWNER'S NAME:
PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892
DRAWING TITLE: UNIT 1-2: ELECTRICAL PLAN

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
DRAWN BY: MB	CHECKED BY: DM	
PROJECT NUMBER: 0843	SHEET No.: 9 of 26	REVISION: PD-G

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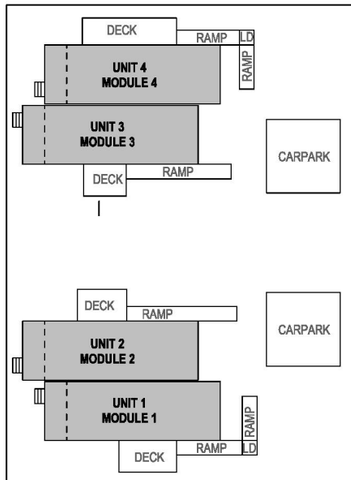

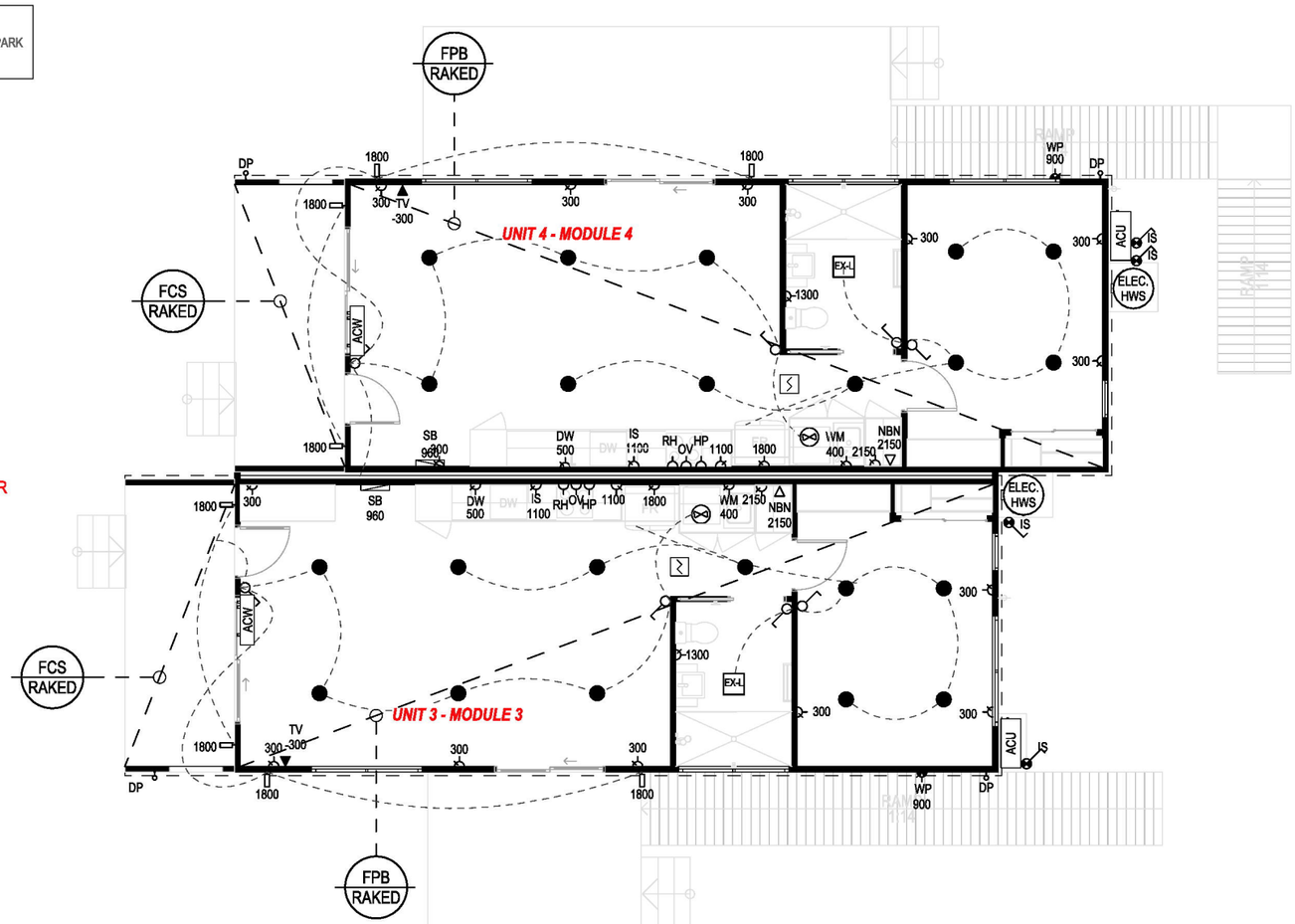

NOTE:
SUBJECT
SITE METER
BOX TBC

1 ELECTRICAL PLAN
SCALE: 1:100

ELECTRICIAN NOTES:

GPO & LIGHT LOCATIONS ARE APPROX U.N.O

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1300 946 815

OWNER APPROVAL
OWNER'S SIGNATURE:

BUILDER SIGNATURE:
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(NSW. 174651C)
KEN RAIKES
SIGNED:

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OWNER'S NAME:
PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892
DRAWING TITLE: UNIT 3-4: ELECTRICAL PLAN

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
DRAWN BY: MB	CHECKED BY: DM	
PROJECT NUMBER: 0843	SHEET No.: 10 of 26	REVISION: PD-G

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1 ROOF PLAN
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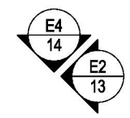

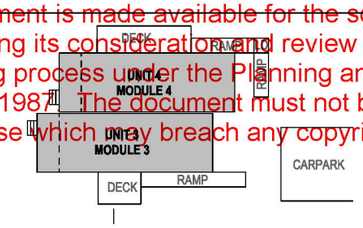

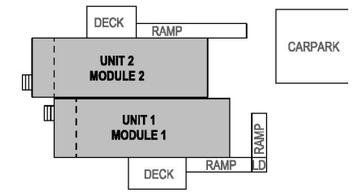

ROOF PLAN LEGEND:

DP DOWN PIPE
SP SPREADER

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PROJECT ADDRESS:
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DRAWING TITLE: UNIT 1-2: ROOF PLAN

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
DRAWN BY: MB	CHECKED BY: DM	
PROJECT NUMBER: **0843**	SHEET No.: **11 of 26**	REVISION: **PD-G**

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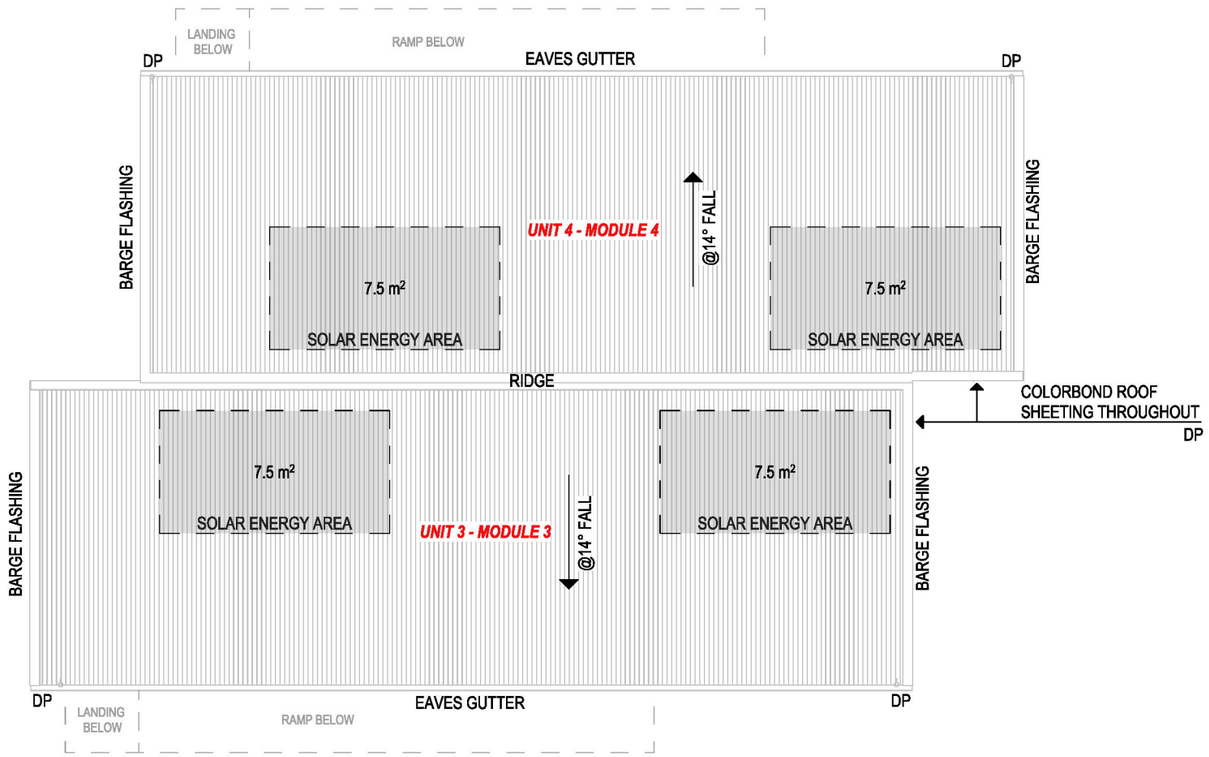
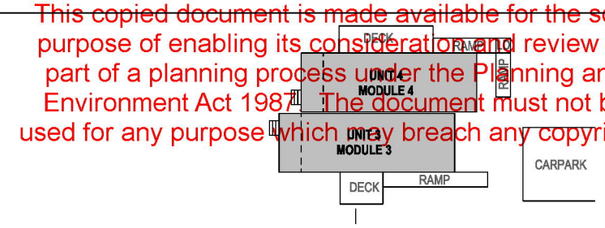


E5
15

1 ROOF PLAN
SCALE: 1:100



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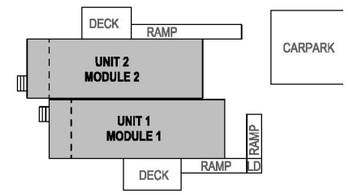

ROOF PLAN LEGEND:

DP DOWN PIPE
SP SPREADER

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PROJECT ADDRESS:
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DRAWING TITLE: UNIT 3-4: ROOF PLAN

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
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PROJECT NUMBER: 0843	SHEET No.: 12 of 26	REVISION: PD-G

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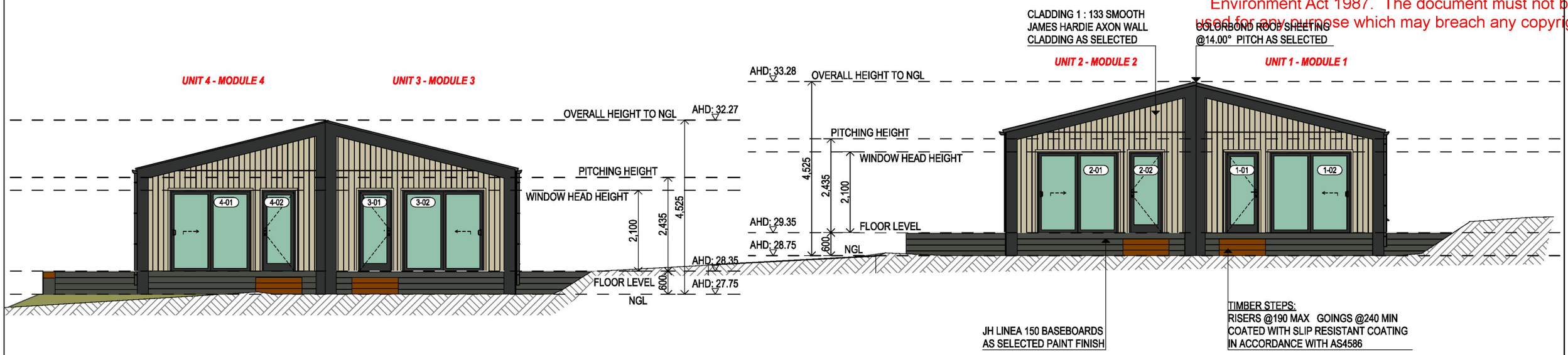
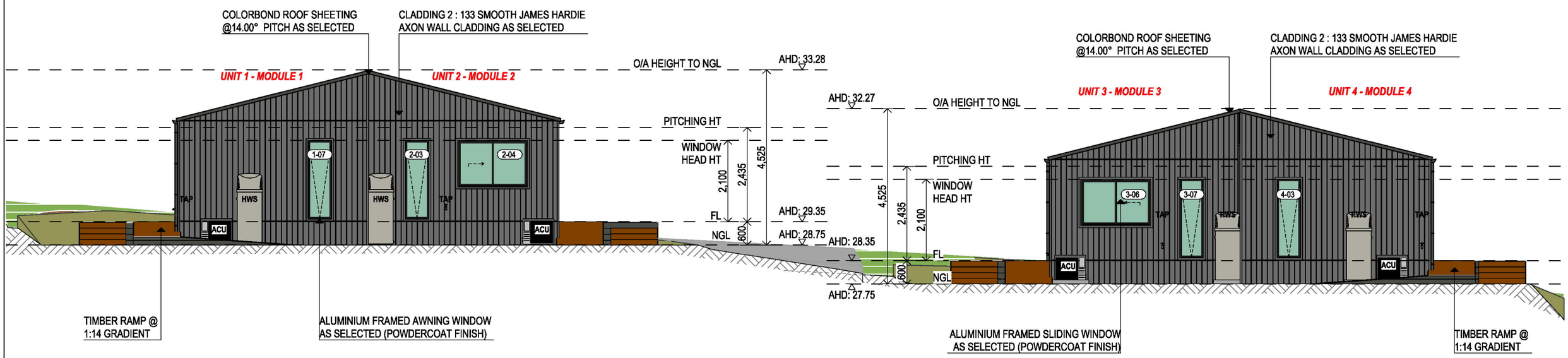


E1 WEST ELEVATION
SCALE: 1:100



E2 EAST ELEVATION
SCALE: 1:100

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1300 946 815

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BUILDER SIGNATURE:

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(NSW. 174651C)
KEN RAIKES
SIGNED:

PROJECT TITLE: SUBURBAN - GABLE
OWNER'S NAME:
PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892
DRAWING TITLE: ELEVATIONS

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
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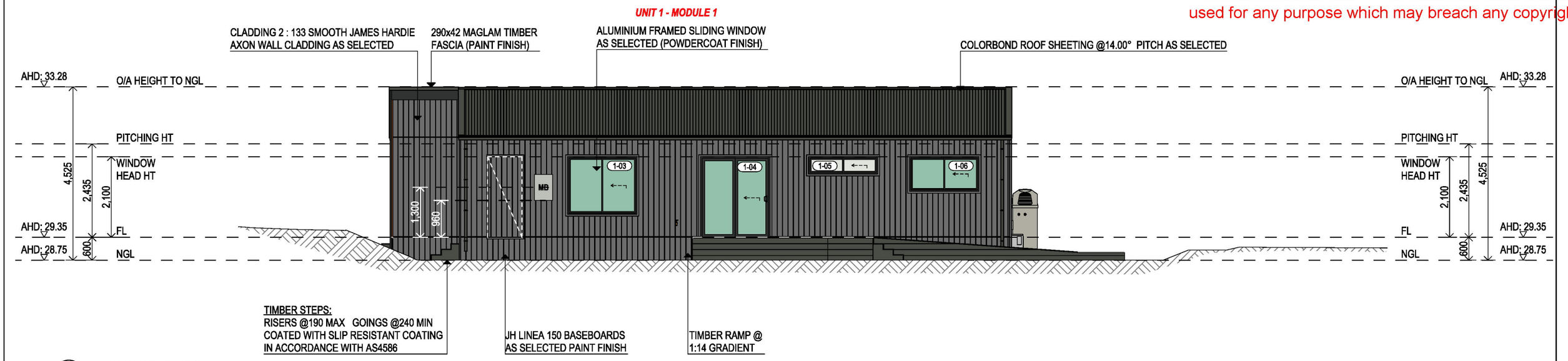
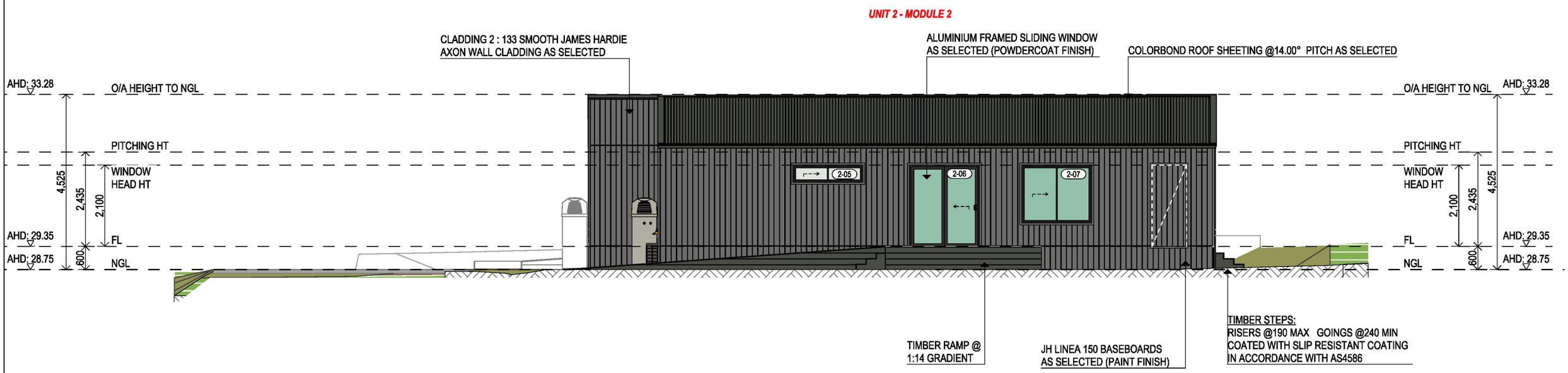


E3 SOUTH ELEVATION
SCALE: 1:100



E4 NORTH ELEVATION
SCALE: 1:100

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1300 946 815

OWNER APPROVAL
OWNER'S SIGNATURE:

BUILDER SIGNATURE:

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(Vic. DB-U 2108)(CB-L 43089)
(NSW. 174651C)
KEN RAIKES
SIGNED:

PROJECT TITLE: SUBURBAN - GABLE
OWNER'S NAME:
PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892
DRAWING TITLE: ELEVATIONS

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
DRAWN BY: MB	CHECKED BY: DM	
PROJECT NUMBER: 0843	SHEET No.: 14 of 26	REVISION: PD-G

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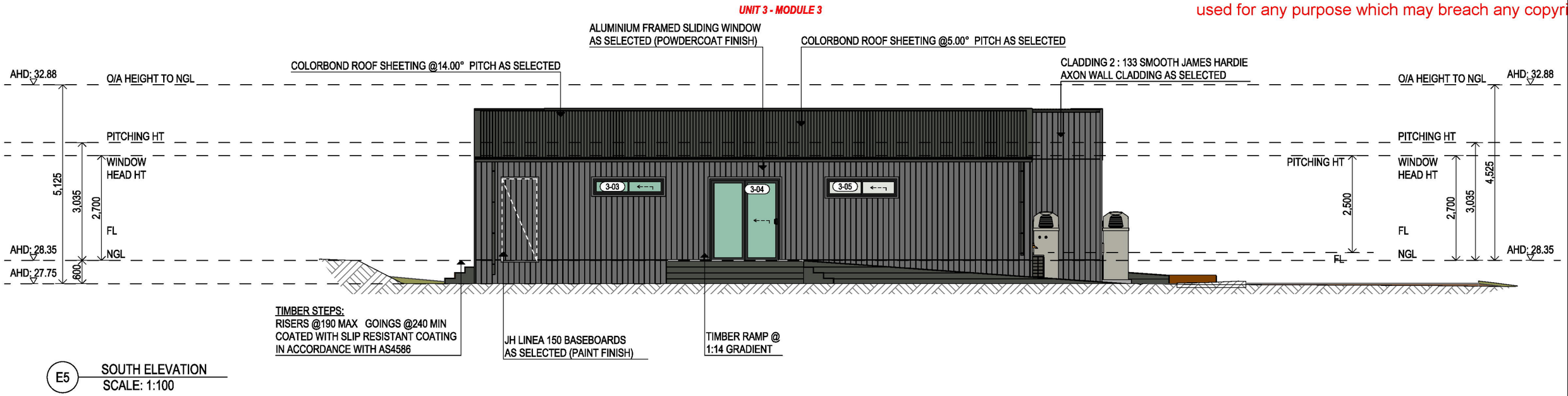
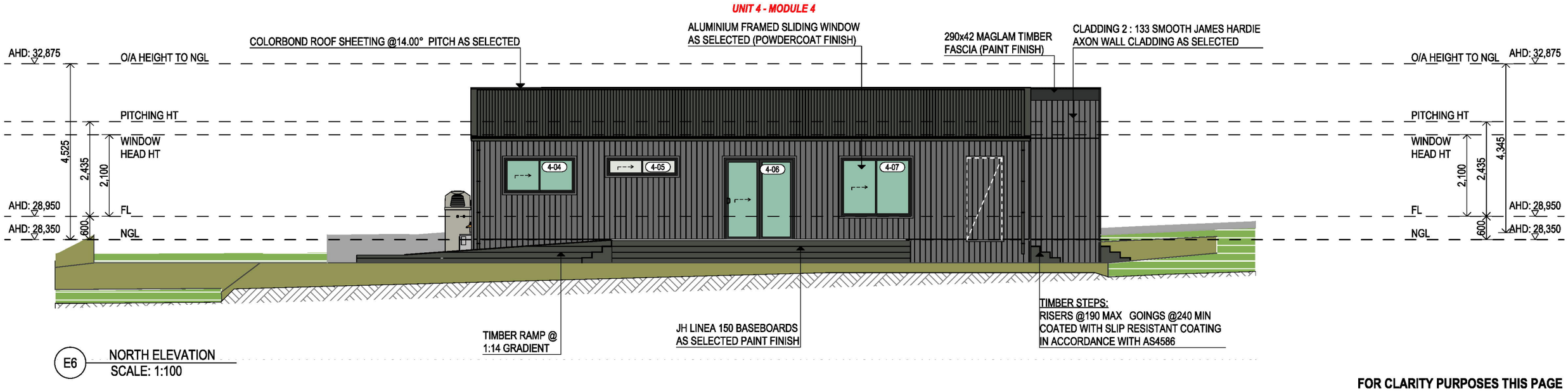


E5 SOUTH ELEVATION
SCALE: 1:100



E6 NORTH ELEVATION
SCALE: 1:100

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(NSW. 174651C)
KEN RAIKES
SIGNED:

PROJECT TITLE: SUBURBAN - GABLE
OWNER'S NAME:
PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892
DRAWING TITLE: ELEVATIONS

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
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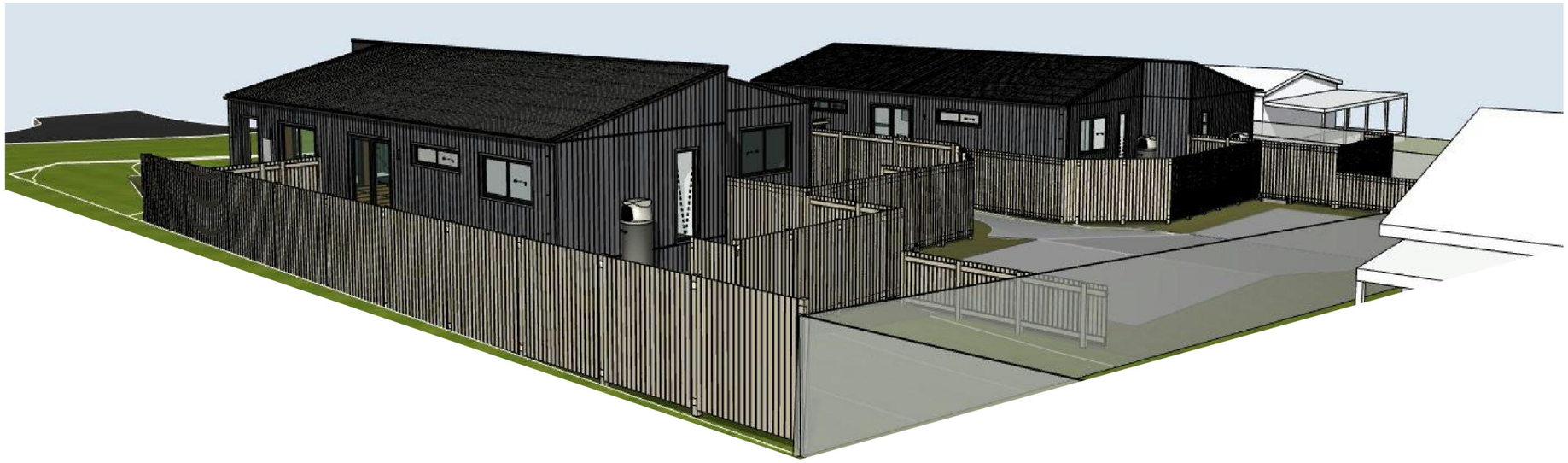
ARTISTIC IMPRESSION ONLY
DIMENSIONED PLANS/ELEVATIONS TAKE PRECEDENCE



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KEN RAIKES
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PROJECT TITLE: SUBURBAN - GABLE

OWNER'S NAME:

PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892

DRAWING TITLE: 3D PERSPECTIVE VIEWS

PRELIMINARY DRAWINGS

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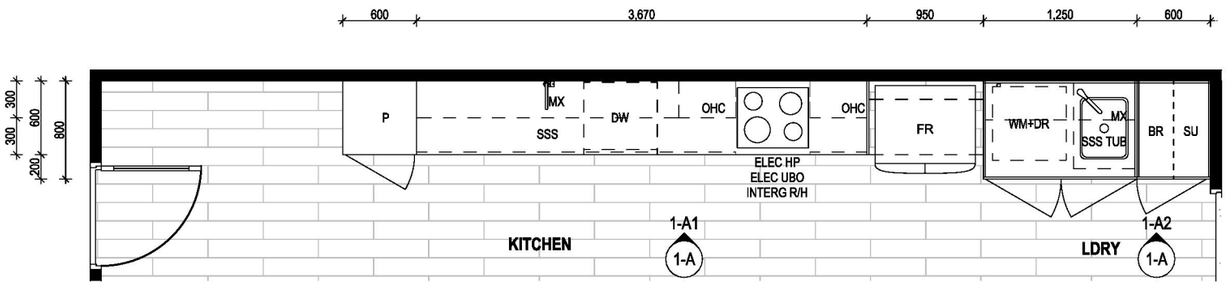
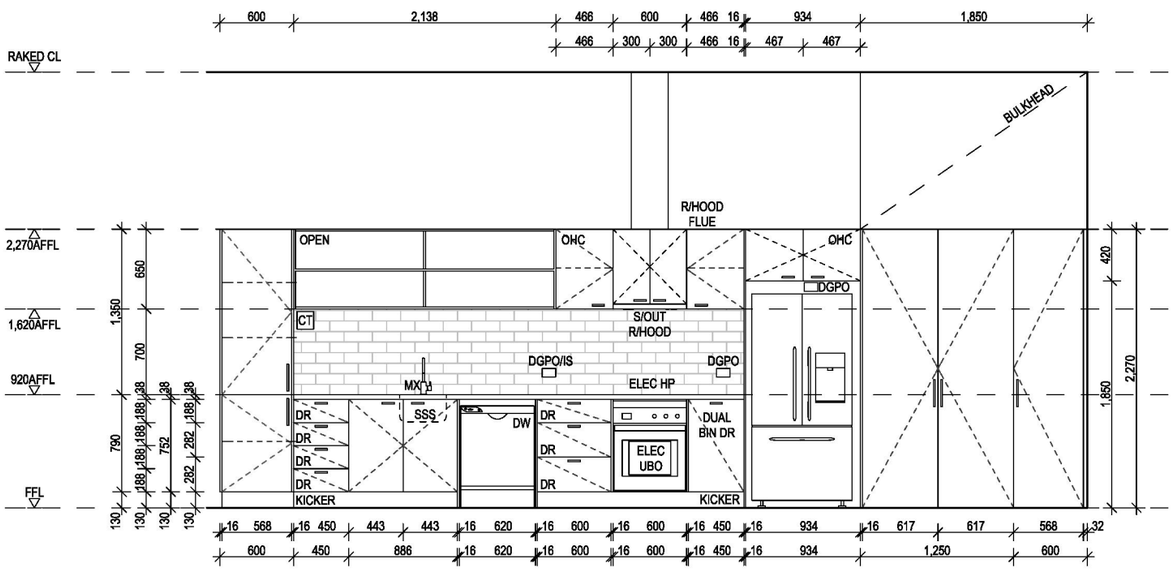
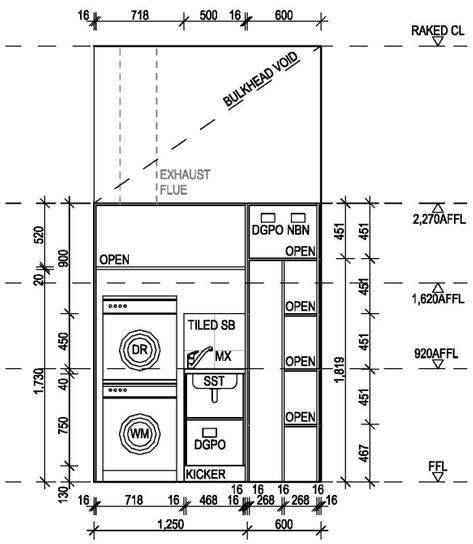


1-A KITCHEN & LAUNDRY DETAIL PLAN
SCALE: 1:50



1-A1 KITCHEN & L'DRY INTERNAL ELEVATION
SCALE: 1:50



1-A2 LAUNDRY INTERNAL ELEVATION
SCALE: 1:50

INTERNAL ELEVATION LEGEND

DW	DISHWASHER
FR	REFRIGERATOR RECESS
HP	HOTPLATE
MR	MICROWAVE RECESS
RH	RANGEHOOD
SSS	STAINLESS STEEL SINK
UBO	UNDER BENCH OVEN
BHO	BULKHEAD OVER
OHC	OVERHEAD CUPBOARD
SW	SWITCH POINT
DGPO	DOUBLE POWER POINT
DGPO/IS	DOUBLE POWER POINT - *WITH ISOLATION SWITCH*
CT	CERAMIC TILES
GL SB	GLASS SPLASHBACK
CT SB	TILED SPLASHBACK
SST	STAINLESS STEEL TROUGH
WM	WASHING MACHINE
DM	DRYING MACHINE
DR	DRAWERS
FP	FINGER PULL
KR	KICKRAIL
TWRL	TOWEL RAIL
HTWRL	HEATED TOWEL RAIL
TWRG	TOWEL RING
TRH	TOILET ROLL HOLDER
SH	SHOWER HEAD
MX	MIXER TAP
SP	BATH SPOUT
BA	BASIN
VB	VANITY BASIN
FW	FLOOR WASTE
WC	TOILET
GR	GRAB RAIL
SU	SHELF UNIT
HRAIL	HANGING RAIL

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(NSW. 174651C)
KEN RAIKES
SIGNED:

PROJECT TITLE: SUBURBAN - GABLE
OWNER'S NAME:
PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892
DRAWING TITLE: UNIT 1 - JOINERY DRAWINGS: KITCHEN & LAUNDRY

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
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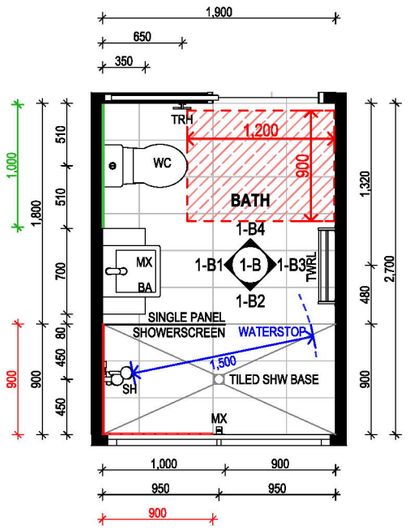
NOTE:
LIVABLE HOUSING DESIGN CLAUSE 5.1 DOORWAY ASSESSED TO BATH, BEDROOM AND FREE ENTRY TO SHOWER ASREQUIRED.
LIVABLE HOUSING DESIGN CLAUSE 6.1 PRINCIPLES APPLY TO BATH & WC. PROVIDE WALL REINFORCING AS REQUIRED.

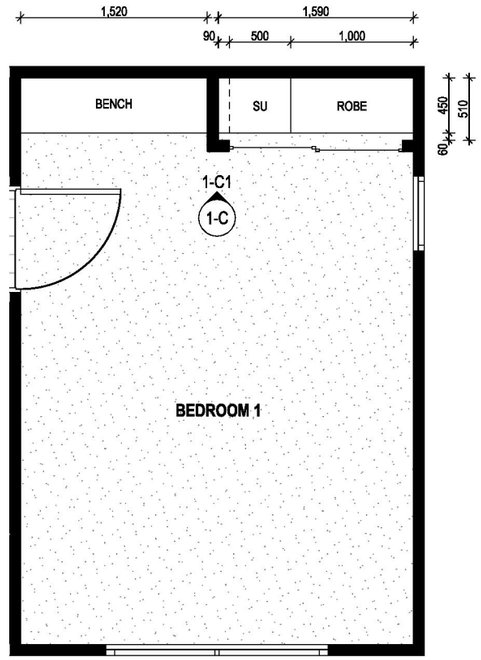
CLEAR CIRCULATION SPACE

SOLID BLOCKING MIN 150 NOGGING

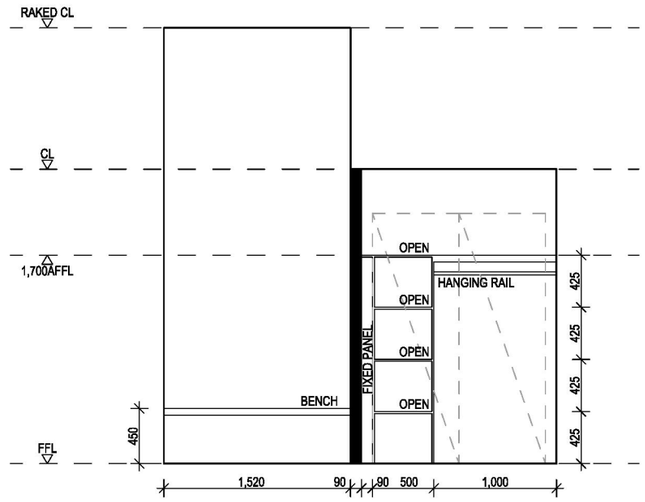
12MM STRUCTURAL PLY SHEET



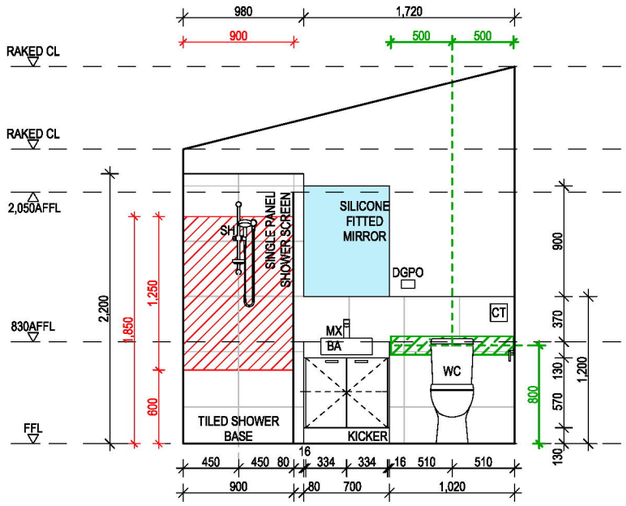
1-B BATHROOM DETAIL PLAN
SCALE: 1:50



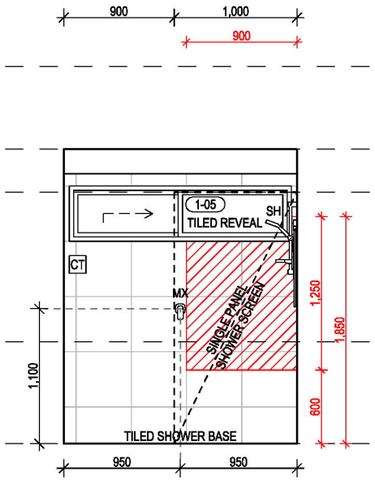
1-C BEDROOM 1 ROBE DETAIL PLAN
SCALE: 1:50



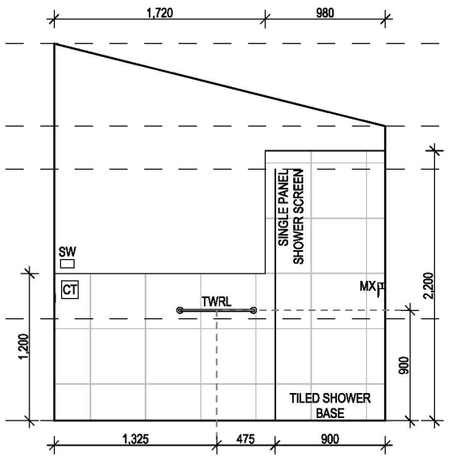
1-C1 BED 1 ROBE INTERNAL ELEVATION
SCALE: 1:50



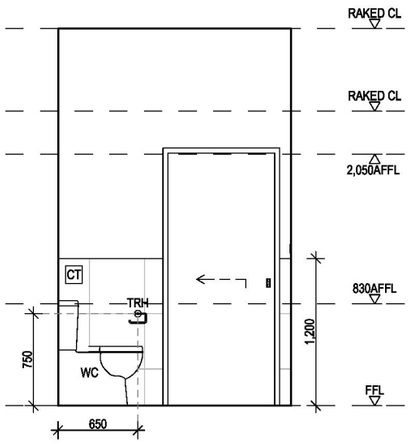
1-B1 BATHROOM INTERNAL ELEVATION
SCALE: 1:50



1-B2 BATHROOM INTERNAL ELEVATION
SCALE: 1:50



1-B3 BATHROOM INTERNAL ELEVATION
SCALE: 1:50



1-B4 BATHROOM INTERNAL ELEVATION
SCALE: 1:50

INTERNAL ELEVATION LEGEND

DW	DISHWASHER
FR	REFRIGERATOR RECESS
HP	HOTPLATE
MR	MICROWAVE RECESS
RH	RANGEHOOD
SSS	STAINLESS STEEL SINK
UBO	UNDER BENCH OVEN
BHO	BULKHEAD OVER
OHC	OVERHEAD CUPBOARD
SW	SWITCH POINT
DGPO	DOUBLE POWER POINT
DGPO/IS	DOUBLE POWER POINT - *WITH ISOLATION SWITCH*
CT	CERAMIC TILES
GL SB	GLASS SPLASHBACK
CT SB	TILED SPLASHBACK
SST	STAINLESS STEEL TROUGH
WM	WASHING MACHINE
DM	DRYING MACHINE
DR	DRAWERS
FP	FINGER PULL
KR	KICKRAIL
TWRL	TOWEL RAIL
HTWRL	HEATED TOWEL RAIL
TWRG	TOWEL RING
TRH	TOILET ROLL HOLDER
SH	SHOWER HEAD
MX	MIXER TAP
SP	BATH SPOUT
BA	BASIN
VB	VANITY BASIN
FW	FLOOR WASTE
WC	TOILET
GR	GRAB RAIL
SU	SHELF UNIT
HRAIL	HANGING RAIL

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BUILDER SIGNATURE:

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(Vic. DB-U 2108)(CB-L 43089)
(NSW. 174651C)

KEN RAIKES
SIGNED:

PROJECT TITLE: SUBURBAN - GABLE
OWNER'S NAME:
PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892
DRAWING TITLE: UNIT 1 - JOINERY DRAWINGS: BATHROOM & BEDROOM

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
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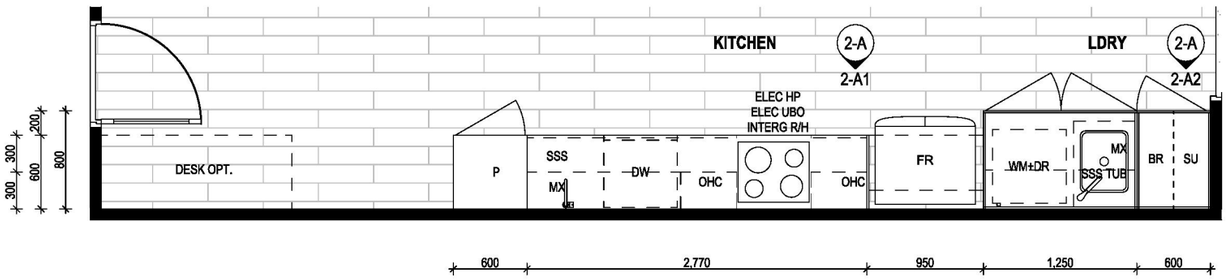
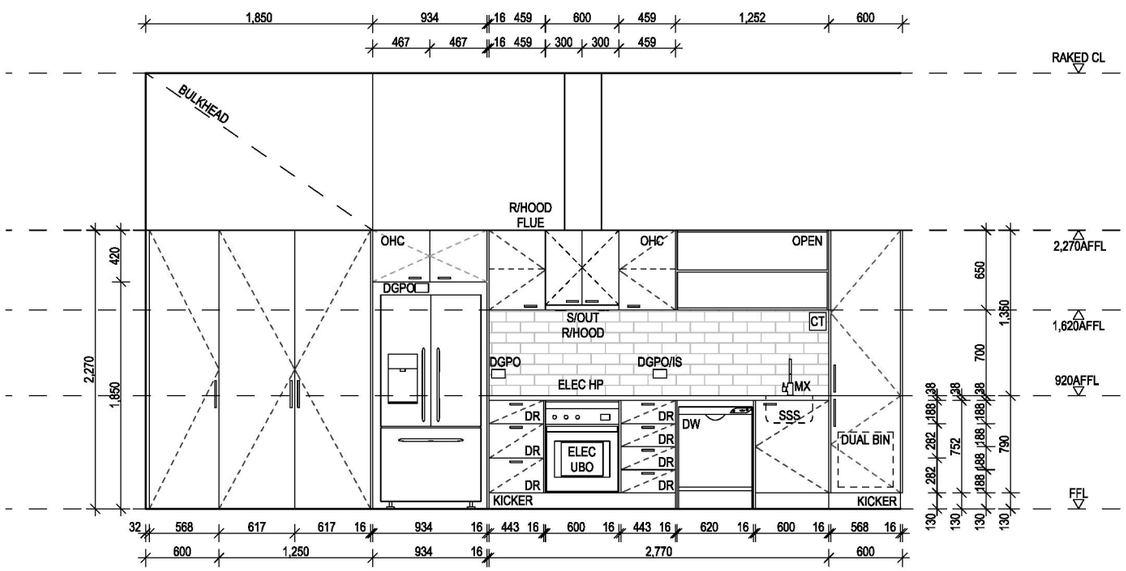
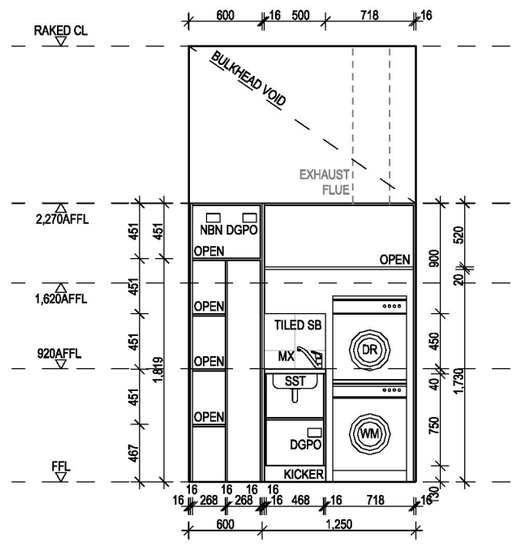


2-A KITCHEN & LAUNDRY DETAIL PLAN
SCALE: 1:50



2-A1 KITCHEN & L'DRY INTERNAL ELEVATION
SCALE: 1:50



2-A2 LAUNDRY INTERNAL ELEVATION
SCALE: 1:50

INTERNAL ELEVATION LEGEND

DW	DISHWASHER
FR	REFRIGERATOR RECESS
HP	HOTPLATE
MR	MICROWAVE RECESS
RH	RANGEHOOD
SSS	STAINLESS STEEL SINK
UBO	UNDER BENCH OVEN
BHO	BULKHEAD OVER
OHC	OVERHEAD CUPBOARD
SW	SWITCH POINT
DGPO	DOUBLE POWER POINT
DGPO/IS	DOUBLE POWER POINT - *WITH ISOLATION SWITCH*
CT	CERAMIC TILES
GL SB	GLASS SPLASHBACK
CT SB	TILED SPLASHBACK
SST	STAINLESS STEEL TROUGH
WM	WASHING MACHINE
DM	DRYING MACHINE
DR	DRAWERS
FP	FINGER PULL
KR	KICKRAIL
TWRL	TOWEL RAIL
HTWRL	HEATED TOWEL RAIL
TWRG	TOWEL RING
TRH	TOILET ROLL HOLDER
SH	SHOWER HEAD
MX	MIXER TAP
SP	BATH SPOUT
BA	BASIN
VB	VANITY BASIN
FW	FLOOR WASTE
WC	TOILET
GR	GRAB RAIL
SU	SHELF UNIT
HRAIL	HANGING RAIL

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(NSW. 174651C)

KEN RAIKES
SIGNED:

PROJECT TITLE: SUBURBAN - GABLE
OWNER'S NAME:
PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892
DRAWING TITLE: UNIT 2 - JOINERY DRAWINGS: KITCHEN & LAUNDRY

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
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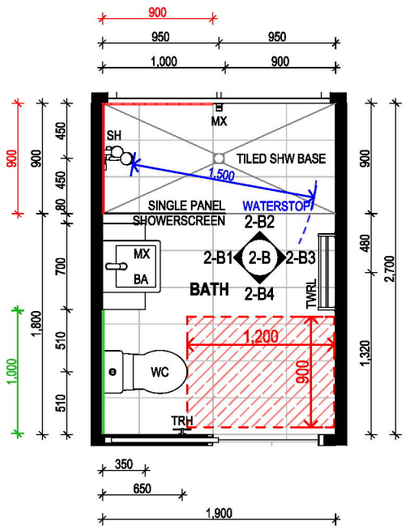
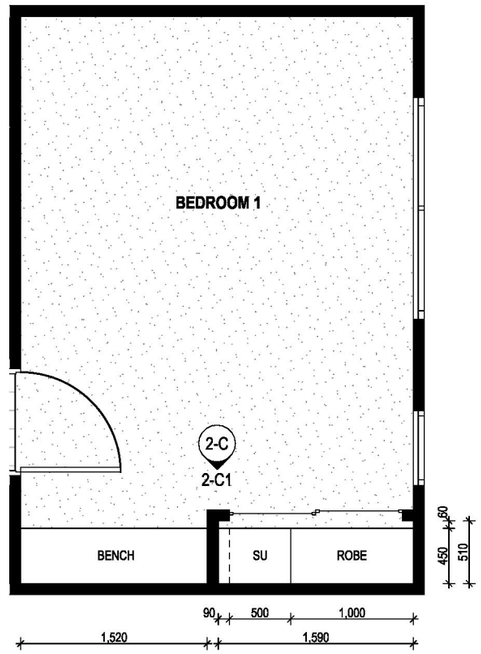
LIVABLE HOUSING DESIGN CLAUSE 6.1 PRINCIPLES APPLY TO BATH & WC. PROVIDE WALL REINFORCING AS REQUIRED.

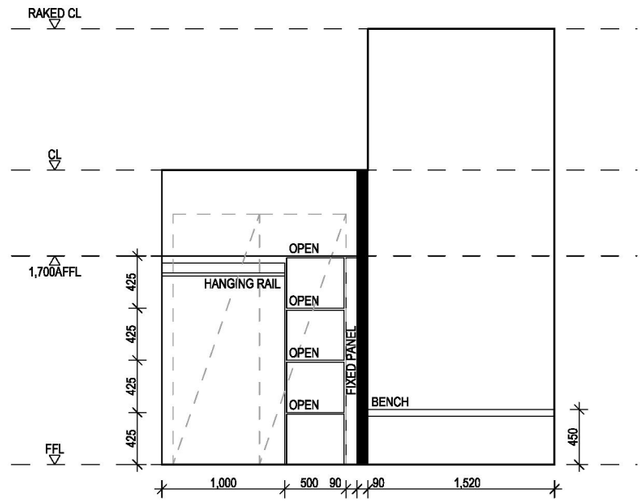
CLEAR CIRCULATION SPACE
SOLID BLOCKING MIN 150 NOGGING
12MM STRUCTURAL PLY SHEET



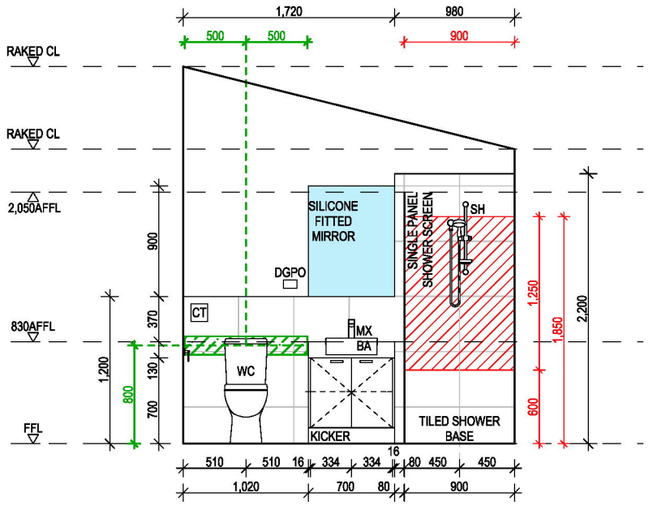
2-B BATHROOM DETAIL PLAN
SCALE: 1:50



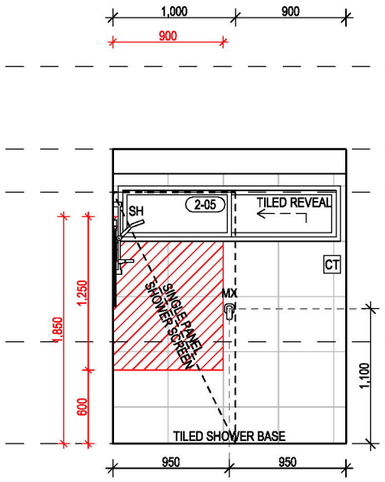
2-C BEDROOM 1 ROBE DETAIL PLAN
SCALE: 1:50



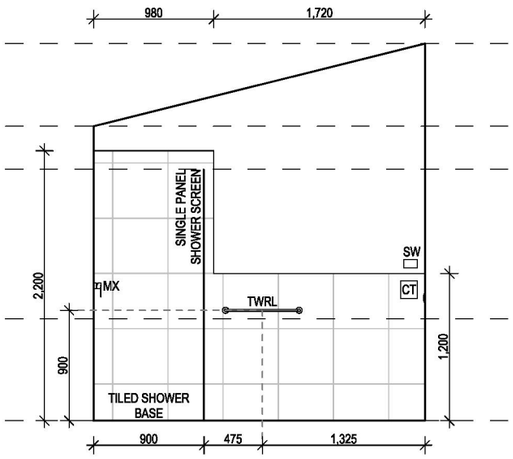
2-C1 BED 1 ROBE INTERNAL ELEVATION
SCALE: 1:50



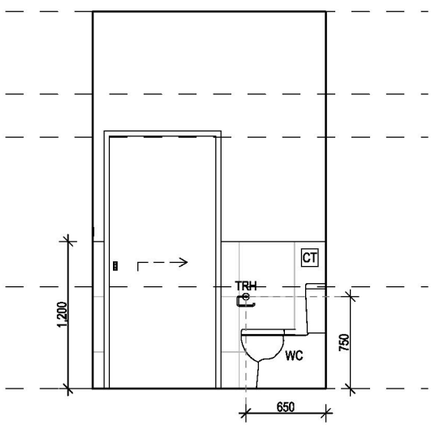
2-B1 BATHROOM INTERNAL ELEVATION
SCALE: 1:50



2-B2 BATHROOM INTERNAL ELEVATION
SCALE: 1:50



2-B3 BATHROOM INTERNAL ELEVATION
SCALE: 1:50



2-B4 BATHROOM INTERNAL ELEVATION
SCALE: 1:50

INTERNAL ELEVATION LEGEND

DW	DISHWASHER
FR	REFRIGERATOR RECESS
HP	HOTPLATE
MR	MICROWAVE RECESS
RH	RANGEHOOD
SSS	STAINLESS STEEL SINK
UBO	UNDER BENCH OVEN
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FP	FINGER PULL
KR	KICKRAIL
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HTWRL	HEATED TOWEL RAIL
TWRG	TOWEL RING
TRH	TOILET ROLL HOLDER
SH	SHOWER HEAD
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VB	VANITY BASIN
FW	FLOOR WASTE
WC	TOILET
GR	GRAB RAIL
SU	SHELF UNIT
HRAIL	HANGING RAIL

Anchor Homes
55 Industrial Road Stratford VIC 3862
1300 946 815

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BUILDER SIGNATURE:
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(Vic. DB-U 2108)(CB-L 43089)
(NSW. 174651C)
KEN RAIKES
SIGNED:

PROJECT TITLE: SUBURBAN - GABLE
OWNER'S NAME:
PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892
DRAWING TITLE: UNIT 2 - JOINERY DRAWINGS: BATHROOM & BEDROOM

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
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PROJECT NUMBER: 0843	SHEET No.: 20 of 26	REVISION: PD-G

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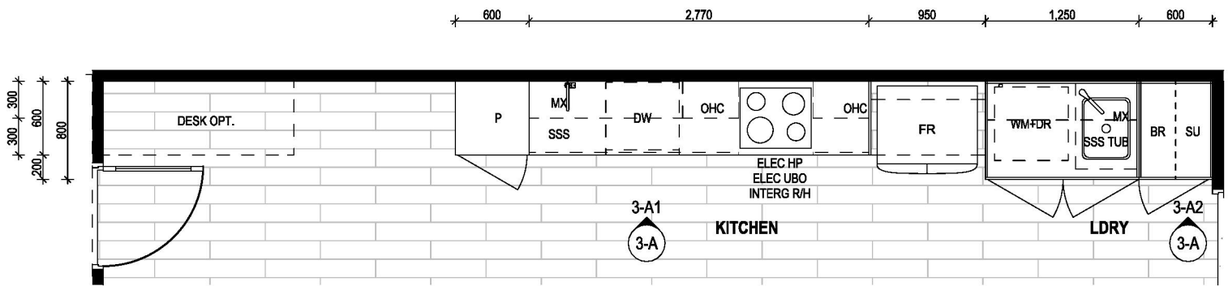
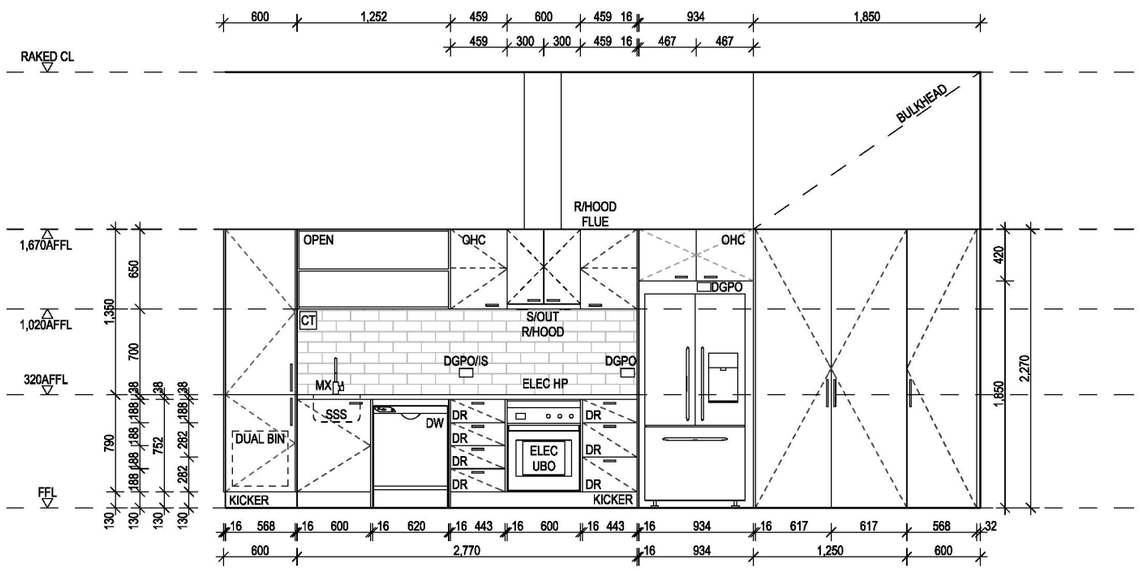
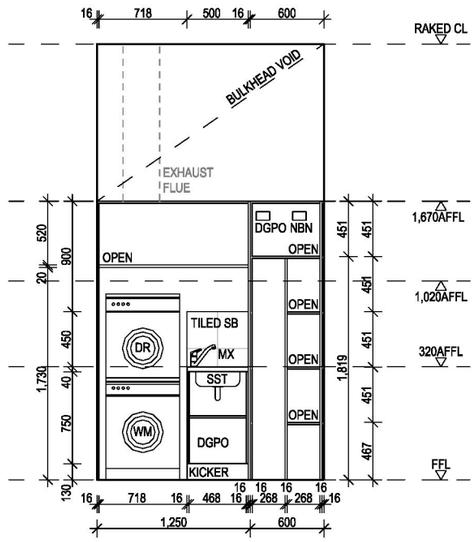


3-A KITCHEN & LAUNDRY DETAIL PLAN
SCALE: 1:50



3-A1 KITCHEN & L'DRY INTERNAL ELEVATION
SCALE: 1:50



3-A2 LAUNDRY INTERNAL ELEVATION
SCALE: 1:50

INTERNAL ELEVATION LEGEND

DW	DISHWASHER
FR	REFRIGERATOR RECESS
HP	HOTPLATE
MR	MICROWAVE RECESS
RH	RANGEHOOD
SSS	STAINLESS STEEL SINK
UBO	UNDER BENCH OVEN
BHO	BULKHEAD OVER
OHC	OVERHEAD CUPBOARD
SW	SWITCH POINT
DGPO	DOUBLE POWER POINT
DGPO/IS	DOUBLE POWER POINT - *WITH ISOLATION SWITCH*
CT	CERAMIC TILES
GL SB	GLASS SPLASHBACK
CT SB	TILED SPLASHBACK
SST	STAINLESS STEEL TROUGH
WM	WASHING MACHINE
DM	DRYING MACHINE
DR	DRAWERS
FP	FINGER PULL
KR	KICKRAIL
TWRL	TOWEL RAIL
HTWRL	HEATED TOWEL RAIL
TWRG	TOWEL RING
TRH	TOILET ROLL HOLDER
SH	SHOWER HEAD
MX	MIXER TAP
SP	BATH SPOUT
BA	BASIN
VB	VANITY BASIN
FW	FLOOR WASTE
WC	TOILET
GR	GRAB RAIL
SU	SHELF UNIT
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PROJECT TITLE: SUBURBAN - GABLE
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DRAWING TITLE: UNIT 3 - JOINERY DRAWINGS: KITCHEN & LAUNDRY

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
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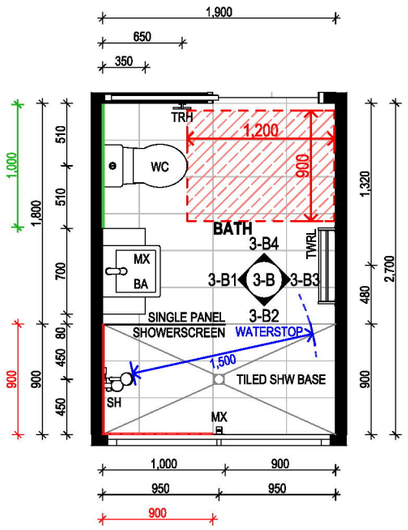
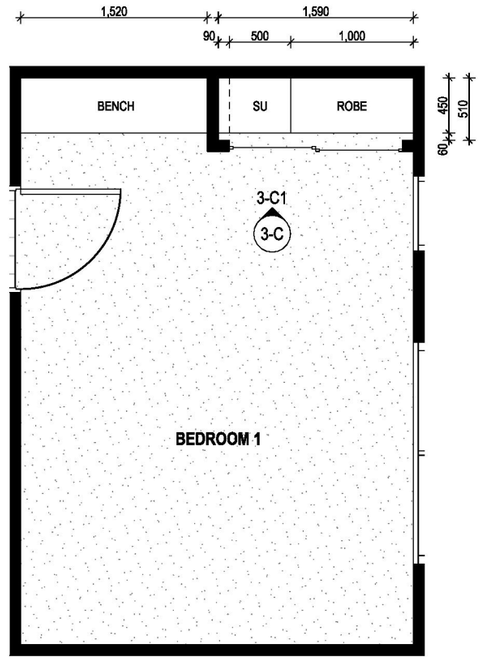
FREE ENTRY TO SHOWER AS REQUIRED.
LIVABLE HOUSING DESIGN CLAUSE 6.1 PRINCIPLES APPLY TO BATH & WG. PROVIDE WALL REINFORCING AS REQUIRED.

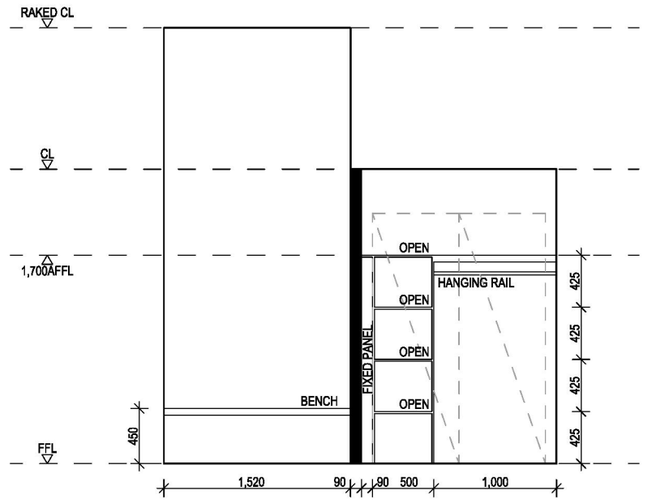
CLEAR CIRCULATION SPACE
SOLID BLOCKING MIN 150 NOGGING
12MM STRUCTURAL PLY SHEET



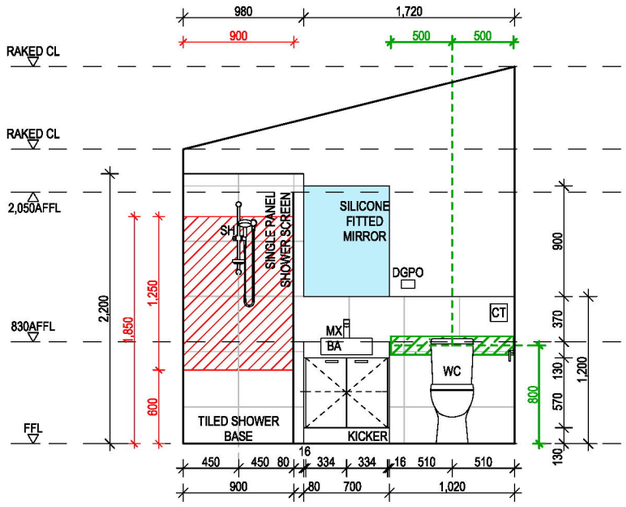
3-B BATHROOM DETAIL PLAN
SCALE: 1:50



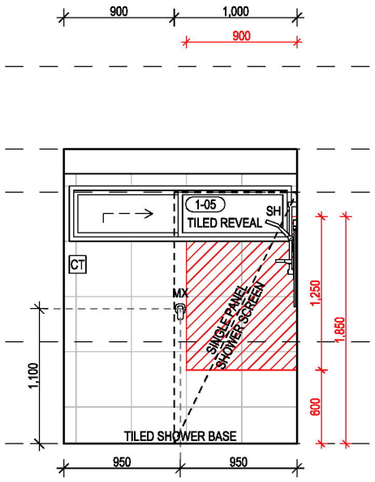
3-C BEDROOM 1 ROBE DETAIL PLAN
SCALE: 1:50



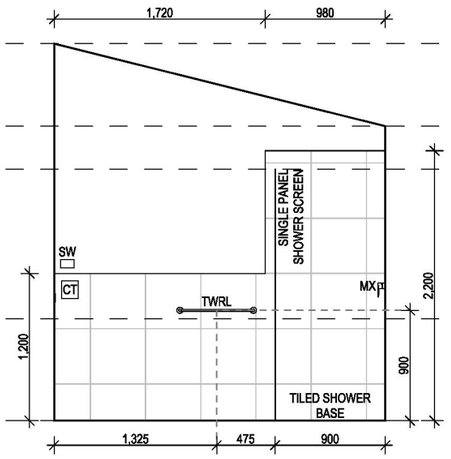
3-C1 BED 1 ROBE INTERNAL ELEVATION
SCALE: 1:50



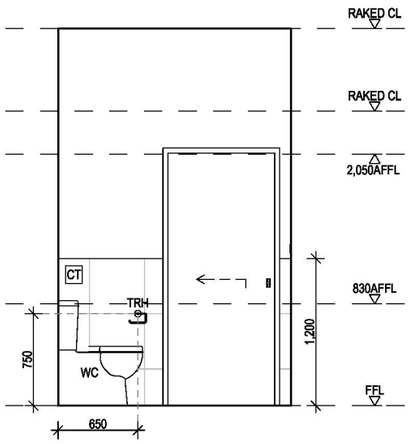
3-B1 BATHROOM INTERNAL ELEVATION
SCALE: 1:50



3-B2 BATHROOM INTERNAL ELEVATION
SCALE: 1:50



3-B3 BATHROOM INTERNAL ELEVATION
SCALE: 1:50



3-B4 BATHROOM INTERNAL ELEVATION
SCALE: 1:50

INTERNAL ELEVATION LEGEND

DW	DISHWASHER
FR	REFRIGERATOR RECESS
HP	HOTPLATE
MR	MICROWAVE RECESS
RH	RANGEHOOD
SSS	STAINLESS STEEL SINK
UBO	UNDER BENCH OVEN
BHO	BULKHEAD OVER
OHC	OVERHEAD CUPBOARD
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DGPO/IS	DOUBLE POWER POINT - *WITH ISOLATION SWITCH*
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GL SB	GLASS SPLASHBACK
CT SB	TILED SPLASHBACK
SST	STAINLESS STEEL TROUGH
WM	WASHING MACHINE
DM	DRYING MACHINE
DR	DRAWERS
FP	FINGER PULL
KR	KICKRAIL
TWRL	TOWEL RAIL
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TWRG	TOWEL RING
TRH	TOILET ROLL HOLDER
SH	SHOWER HEAD
MX	MIXER TAP
SP	BATH SPOUT
BA	BASIN
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PROJECT TITLE: SUBURBAN - GABLE
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DRAWING TITLE: UNIT 3 - JOINERY DRAWINGS: BATHROOM & BEDROOM

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
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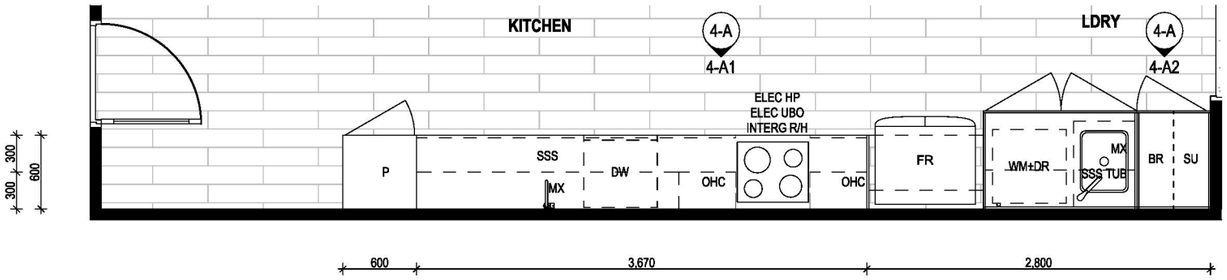
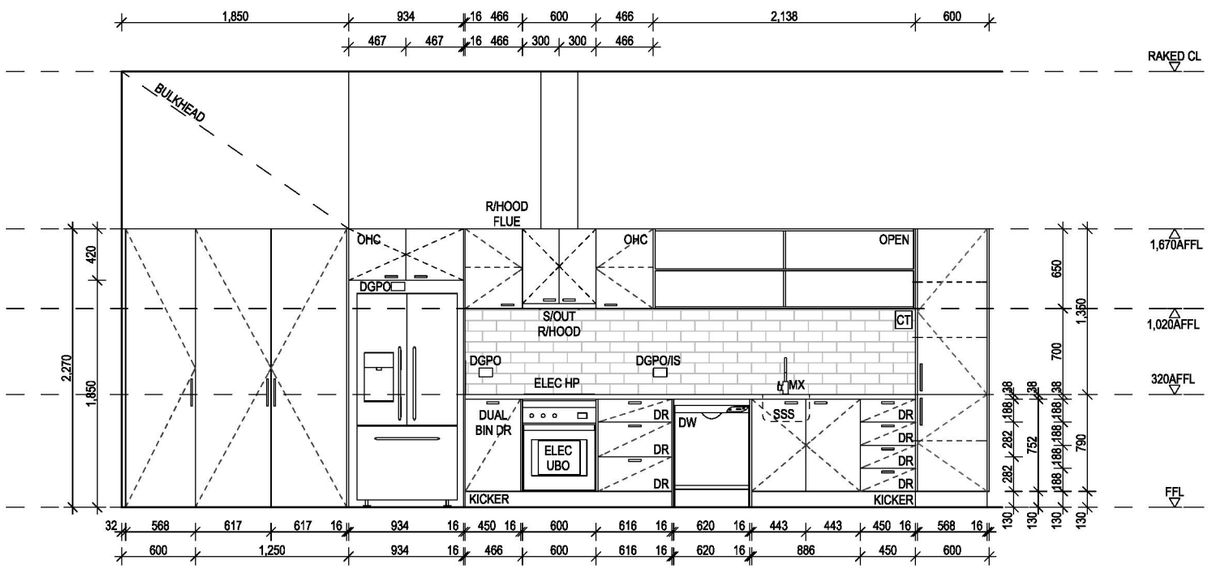
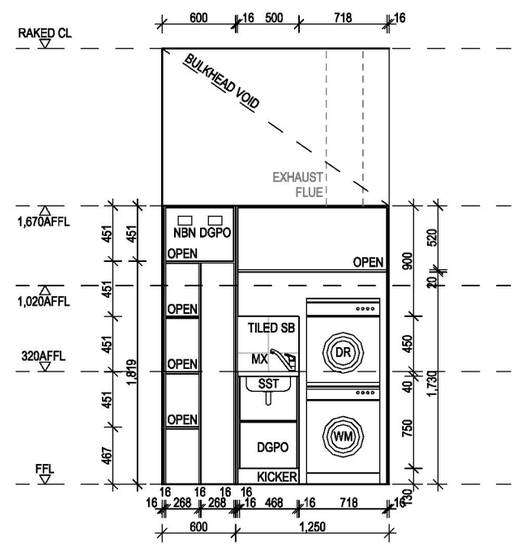


4-A KITCHEN & LAUNDRY DETAIL PLAN
SCALE: 1:50



4-A1 KITCHEN & L'DRY INTERNAL ELEVATION
SCALE: 1:50



4-A2 LAUNDRY INTERNAL ELEVATION
SCALE: 1:50

INTERNAL ELEVATION LEGEND

DW	DISHWASHER
FR	REFRIGERATOR RECESS
HP	HOTPLATE
MR	MICROWAVE RECESS
RH	RANGEHOOD
SSS	STAINLESS STEEL SINK
UBO	UNDER BENCH OVEN
BHO	BULKHEAD OVER
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DGPO	DOUBLE POWER POINT
DGPO/IS	DOUBLE POWER POINT - *WITH ISOLATION SWITCH*
CT	CERAMIC TILES
GL SB	GLASS SPLASHBACK
CT SB	TILED SPLASHBACK
SST	STAINLESS STEEL TROUGH
WM	WASHING MACHINE
DM	DRYING MACHINE
DR	DRAWERS
FP	FINGER PULL
KR	KICKRAIL
TWRL	TOWEL RAIL
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TRH	TOILET ROLL HOLDER
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MX	MIXER TAP
SP	BATH SPOUT
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DRAWING TITLE: UNIT 4 - JOINERY DRAWINGS: KITCHEN & LAUNDRY

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
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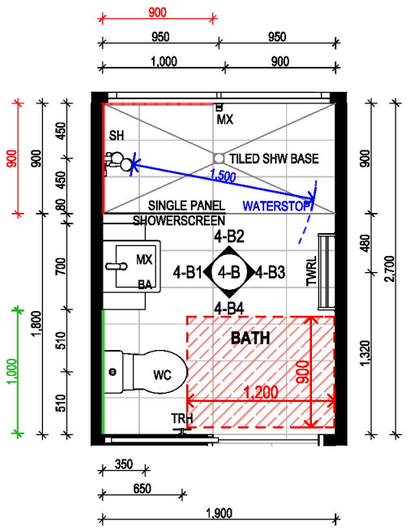
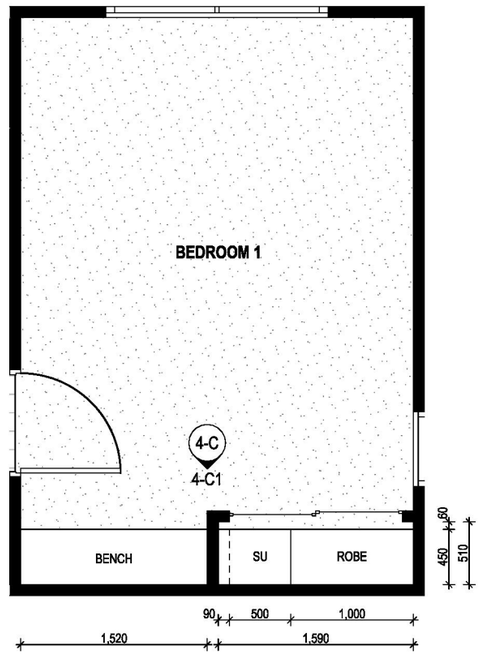
LIVABLE HOUSING DESIGN CLAUSE 6.1 PRINCIPLES APPLY TO BATH & WC. PROVIDE WALL REINFORCING AS REQUIRED.

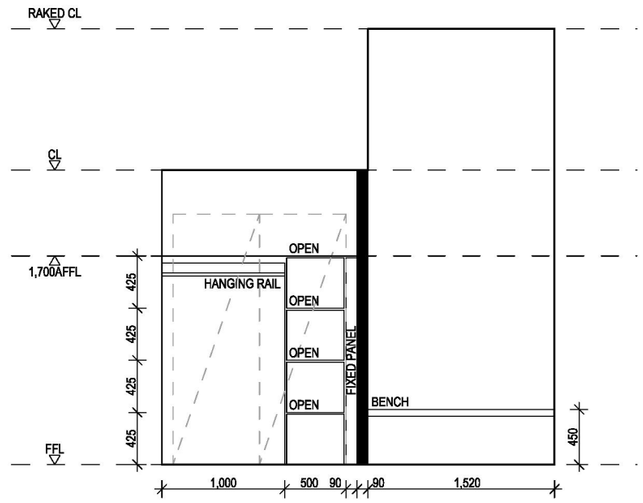
- CLEAR CIRCULATION SPACE
- SOLID BLOCKING MIN 150 NOGGING
- 12MM STRUCTURAL PLY SHEET



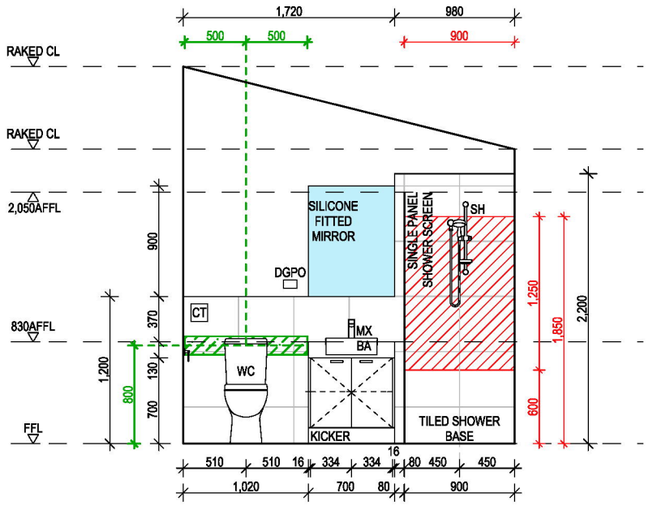
4-B BATHROOM DETAIL PLAN
SCALE: 1:50



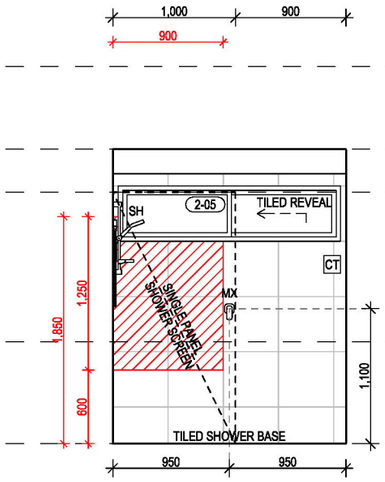
4-C BEDROOM 1 ROBE DETAIL PLAN
SCALE: 1:50



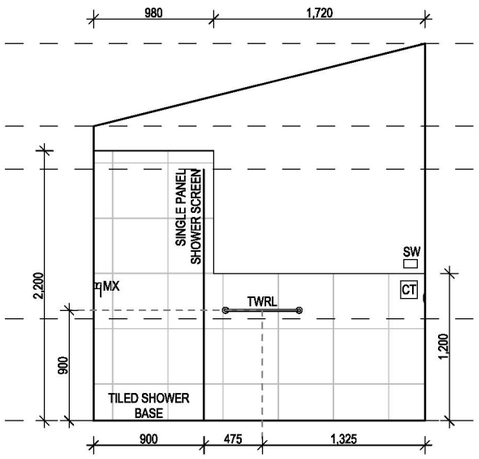
4-C1 BED 1 ROBE INTERNAL ELEVATION
SCALE: 1:50



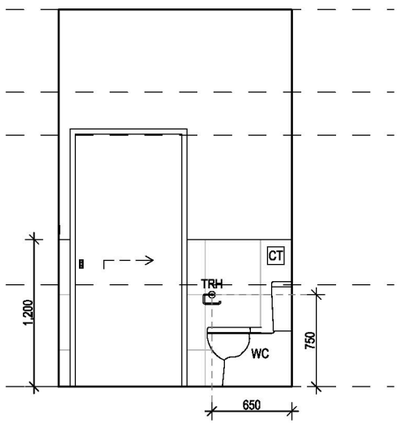
4-B1 BATHROOM INTERNAL ELEVATION
SCALE: 1:50



4-B2 BATHROOM INTERNAL ELEVATION
SCALE: 1:50



4-B3 BATHROOM INTERNAL ELEVATION
SCALE: 1:50



4-B4 BATHROOM INTERNAL ELEVATION
SCALE: 1:50

INTERNAL ELEVATION LEGEND

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HP	HOTPLATE
MR	MICROWAVE RECESS
RH	RANGEHOOD
SSS	STAINLESS STEEL SINK
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DR	DRAWERS
FP	FINGER PULL
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(NSW. 174651C)
KEN RAIKES
SIGNED:

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DRAWING TITLE: UNIT 4 - JOINERY DRAWINGS: BATHROOM & BEDROOM

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
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PROJECT NUMBER: 0843	SHEET No.: 24 of 26	REVISION: PD-G

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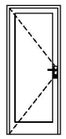
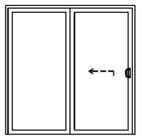
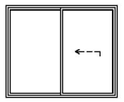
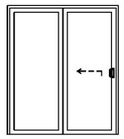
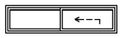
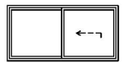
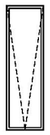
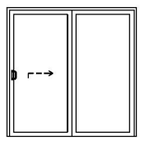
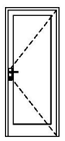
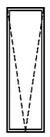
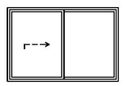
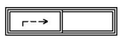
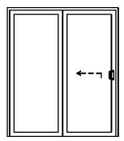
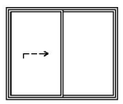
DOUBLE GLAZED WINDOWS THROUGHOUT, EXCLUDING WET AREAS.

UNIT 1: WINDOW / DOOR SCHEDULE

ROOM	FAMILY/MEALS	FAMILY/MEALS	FAMILY/MEALS	FAMILY/MEALS	BATH	BEDROOM 1	BEDROOM 1
ID	1-01	1-02	1-03	1-04	1-05	1-06	1-07
MATERIAL TYPE	TIMBER	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
WINDOW/DOOR TYPE	HINGED	SLIDING GLASS DOOR	SLIDING	SLIDING GLASS DOOR	SLIDING	SLIDING	AWNING
GLAZING TYPE	CLEAR	CLEAR	CLEAR	CLEAR	OBSCURE	CLEAR	CLEAR
HEAD HEIGHT	2,100	2,100	2,100	2,100	2,100	2,100	2,100
SILL HEIGHT	0	0	600	0	1,650	1,200	70
OUTSIDE VIEW							
HEIGHT	2,100	2,100	1,500	2,100	450	900	2,030
WIDTH	870	2,110	1,810	1,810	1,810	1,810	610
LINTEL	TBC	TBC	TBC	TBC	TBC	TBC	TBC
NOTES					TILED REVEAL		

UNIT 2: WINDOW / DOOR SCHEDULE

ROOM	FAMILY/MEALS	FAMILY/MEALS	BEDROOM 1	BEDROOM 1	BATH	FAMILY/MEALS	FAMILY/MEALS
ID	2-01	2-02	2-03	2-04	2-05	2-06	2-07
MATERIAL TYPE	ALUMINIUM	TIMBER	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
WINDOW/DOOR TYPE	SLIDING GLASS DOOR	HINGED	AWNING	SLIDING	SLIDING	SLIDING GLASS DOOR	SLIDING
GLAZING TYPE	CLEAR	CLEAR	CLEAR	CLEAR	OBSCURE	CLEAR	CLEAR
HEAD HEIGHT	2,100	2,100	2,100	2,100	2,100	2,100	2,100
SILL HEIGHT	0	0	70	900	1,650	0	600
OUTSIDE VIEW							
HEIGHT	2,100	2,100	2,030	1,200	450	2,100	1,500
WIDTH	2,110	870	610	1,810	1,810	1,810	1,810
LINTEL	TBC	TBC	TBC	TBC	TBC	TBC	TBC
NOTES					TILED REVEAL		

Anchor Homes
55 Industrial Road Stratford VIC 3862
1300 946 815

OWNER APPROVAL
OWNER'S SIGNATURE:

BUILDER SIGNATURE:

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(Vic. DB-U 2108)(CB-L 43089)
(NSW. 174651C)

KEN RAIKES
SIGNED:

PROJECT TITLE: SUBURBAN - GABLE
OWNER'S NAME:
PROJECT ADDRESS: LOT 9 No.3 MAURICE AVENUE, MALLACOOTTA, VIC 3892
DRAWING TITLE: WINDOW & DOOR SCHEDULE

PRELIMINARY DRAWINGS

DATE: 30/06/2025	SCALE: As Noted	PAGE SIZE: A3
DRAWN BY: MB	CHECKED BY: DM	
PROJECT NUMBER: 0843	SHEET No.: 25 of 26	REVISION: PD-G

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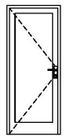
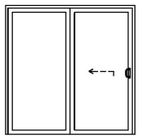
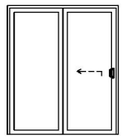
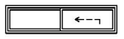
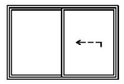
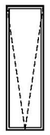
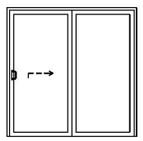
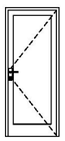
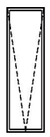
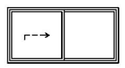
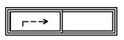
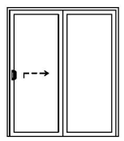
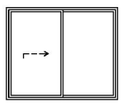
DOUBLE GLAZED WINDOWS THROUGHOUT, EXCLUDING WET AREAS.

UNIT 3: WINDOW / DOOR SCHEDULE

ROOM	FAMILY/MEALS	FAMILY/MEALS	FAMILY/MEALS	FAMILY/MEALS	BATH	BEDROOM 1	BEDROOM 1
ID	3-01	3-02	3-03	3-04	3-05	3-06	3-07
MATERIAL TYPE	TIMBER	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
WINDOW/DOOR TYPE	HINGED	SLIDING GLASS DOOR	SLIDING	SLIDING GLASS DOOR	SLIDING	SLIDING	AWNING
GLAZING TYPE	CLEAR	CLEAR	CLEAR	CLEAR	OBSCURE	CLEAR	CLEAR
HEAD HEIGHT	2,100	2,100	2,100	2,100	2,100	2,100	2,100
SILL HEIGHT	0	0	1,700	0	1,650	900	70
OUTSIDE VIEW							
HEIGHT	2,100	2,100	400	2,100	450	1,200	2,030
WIDTH	870	2,110	1,810	1,810	1,810	1,810	610
LINTEL	TBC	TBC	TBC	TBC	TBC	TBC	TBC
NOTES					TILED REVEAL		

UNIT 4: WINDOW / DOOR SCHEDULE

ROOM	FAMILY/MEALS	FAMILY/MEALS	BEDROOM 1	BEDROOM 1	BATH	FAMILY/MEALS	FAMILY/MEALS
ID	4-01	4-02	4-03	4-04	4-05	4-06	4-07
MATERIAL TYPE	ALUMINIUM	TIMBER	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM	ALUMINIUM
WINDOW/DOOR TYPE	SLIDING GLASS DOOR	HINGED	AWNING	SLIDING	SLIDING	SLIDING GLASS DOOR	SLIDING
GLAZING TYPE	CLEAR	CLEAR	CLEAR	CLEAR	OBSCURE	CLEAR	CLEAR
HEAD HEIGHT	2,100	2,100	2,100	2,100	2,100	2,100	2,100
SILL HEIGHT	0	0	70	1,200	1,650	0	600
OUTSIDE VIEW							
HEIGHT	2,100	2,100	2,030	900	450	2,100	1,500
WIDTH	2,110	870	610	1,810	1,810	1,810	1,810
LINTEL	TBC	TBC	TBC	TBC	TBC	TBC	TBC
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