

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	1520 Great Alpine Road SARSFIELD VIC 3875 Lot: 6 PS: 326729
The application is for a permit to:	Use and development of a dwelling and variation of a restrictive covenant
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
35.07-1 (FZ)	Use of the land for a Dwelling.
35.07-4 (FZ)	Construct or carry out a building or works for use of a Dwelling.
43.02-2 (DDO)	Construct a building or construct or carry out works.
52.02	Proceeding under Section 23 of the Subdivision Act 1988 to vary a restriction.
The applicant for the permit is:	Crowther & Sadler Pty Ltd
The application reference number is:	5.2025.257.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ♦ be made to the Responsible Authority in writing,
- ♦ include the reasons for the objection, and
- ♦ state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
--	--

If you object, the Responsible Authority will tell you its decision.

April McDonald

From: Snapforms Notifications <no-reply@snapforms.com.au>
Sent: Friday, 25 July 2025 3:29 PM
To: Planning Unit Administration
Subject: Planning Permit application
Attachments: Vol10217Fol024 merged.pdf; 21188-09 Site Plan V1.pdf; 21188-09 Report.pdf; C-112772 - Floorplan_elevations.pdf; Planning_Permit_Application_2025-07-25T15-29-21_26749349_0.pdf

Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Applicant name: Crowther & Sadler Pty Ltd

Business trading name: Crowther & Sadler Pty Ltd

Email address: contact@crowthersadler.com.au

Postal address : PO Box 722, bairnsdale 3875

Preferred phone number: 0351525011

Owner's name:

Street number: 1520

Street name: Great Alpine Road

Town: Sarsfield

Post code: 3875

Lot number: 6

Plan number: PS326729C

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?: Yes

Will the proposal result in a breach of a registered covenant restriction or agreement?: Yes

Existing conditions : Agriculture

Description of proposal : Use and development of a dwelling and variation of a restrictive covenant

Estimated cost of development: 0

Has there been a pre-application meeting: No

Full copy of Title: [Vol10217Fol024 merged.pdf](#)

Plans: [21188-09 Site Plan V1.pdf](#)

Planning report: [21188-09 Report.pdf](#)

ExtraFile: 1

1. Supporting information/reports: [C-112772 - Floorplan_elevations.pdf](#)

Invoice Payer:

Address for Invoice:

Invoice Email:

Primary Phone Invoice:

Declaration: Yes

Authority Check: Yes

Notice Contact Check: Yes

Notice check 2: Yes

Privacy Statement Acknowledge: Yes

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 10217 FOLIO 024

Security no : 124126271913Y
Produced 16/07/2025 03:13 PM

LAND DESCRIPTION

Lot 6 on Plan of Subdivision 326729C.
PARENT TITLE Volume 09658 Folio 184
Created by instrument PS326729C 27/02/1995

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT (as to whole or part of the land) in instrument T635597G 10/04/1995
Expiry Date 01/01/2070

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS326729C FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 1520 GREAT ALPINE ROAD SARSFIELD VIC 3875

ADMINISTRATIVE NOTICES

NIL

eCT Control
Effective from

DOCUMENT END



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Document Type	Plan
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PLAN OF SUBDIVISION		STAGE No. LTO USE ONLY	PLANNING PERMIT NUMBER
LOCATION OF LAND PARISH: TAMBO TOWNSHIP: ----- SECTION: ----- CROWN ALLOTMENT: 81 (PART) CROWN PORTION: ----- LTO BASE RECORD: CHART NO.LITHO 2 (3534) TITLE REFERENCES: VOL.9658 FOL.184 LAST PLAN REFERENCE: POSTAL ADDRESS: OMEO HIGHWAY <small>(at time of subdivision)</small> SARSFIELD 3883 AMG CO-ORDINATES: E 567 670 <small>(of approximate centre of land in plan)</small> N 5 822 450 ZONE: 55		<div style="text-align: center;"> EDITION 3 </div> <div style="text-align: center;"> PS 326729C </div> <div style="text-align: center;"> COUNCIL CERTIFICATION AND ENDORSEMENT </div> COUNCIL NAME : SHIRE OF TAMBO REF : 08/14/010/0359 1. THIS PLAN IS CERTIFIED UNDER SECTION 6 OF THE SUBDIVISION ACT 1988. 2. THIS PLAN IS CERTIFIED UNDER SECTION 11(7) OF THE SUBDIVISION ACT 1988. DATE OF THE ORIGINAL CERTIFICATION UNDER SECTION 6 / / 3. THIS IS A STATEMENT OF COMPLIANCE ISSUED UNDER SECTION 21 OF THE SUBDIVISION ACT 1988. OPEN SPACE (i) A REQUIREMENT FOR PUBLIC OPEN SPACE UNDER SECTION 18 OF THE SUBDIVISION ACT 1988 HAS - / HAS NOT BEEN MADE. (ii) THE REQUIREMENT HAS BEEN SATISFIED. (iii) THE REQUIREMENT IS TO BE SATISFIED IN STAGE - COUNCIL DELEGATE COUNCIL SEAL DATE 14 / 11 / 94 RE-CERTIFIED UNDER SECTION 11(7) OF THE SUBDIVISION ACT 1988 COUNCIL DELEGATE COUNCIL SEAL DATE / /	
VESTING OF ROADS OR RESERVES			
IDENTIFIER	COUNCIL/BODY/PERSON		
NIL	NIL		
NOTATIONS			
DEPTH LIMITATION SEE BELOW DEPTH LIMITATION OF 15.24m BELOW THE SURFACE APPLIES TO ALL THE LAND IN THIS PLAN LOTS 1-4 (BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN		STAGING THIS IS /IS NOT A STAGED SUBDIVISION PLANNING PERMIT No. THE LAND BEING SUBDIVIDED IS ENCLOSED WITHIN THICK CONTINUOUS LINES SURVEY THIS PLAN IS IS NOT BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No (s) . ----- IN PROCLAIMED SURVEY AREA No. -----	
EASEMENT INFORMATION			
LEGEND: A - APPURTENANT EASEMENT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)			
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN
E-1	TRANSMISSION OF ELECTRICITY	SEE DIAG.	C/G VOL.8821 FOL.098
E-2	WATER SUPPLY	SEE DIAG.	AD417563G
E-3	WATER SUPPLY	SEE DIAG.	AD538658T
LAND BENEFITED/IN FAVOUR OF			
S.E.C.V.			
EAST GIPPSLAND REGION WATER AUTHORITY			
EAST GIPPSLAND REGION WATER AUTHORITY			
LTO USE ONLY STATEMENT OF COMPLIANCE/ EXEMPTION STATEMENT RECEIVED <input checked="" type="checkbox"/> DATE 12 / 1 / 95			
LTO USE ONLY PLAN REGISTERED TIME DATE 27 / 2 / 95 <i>J. Svagan</i> ASSISTANT REGISTRAR OF TITLES SHEET 1 OF 2 SHEETS			
k.a.reed (group) pty.ltd. 8 MARKET STREET, MELBOURNE, 3000. TEL. 614 4911 FAX. 614 3877 surveyors A.C.N. 005 558 323 engineers architects planners cartographers		LICENSED SURVEYOR (PRINT) ALAN D NORMAN SIGNATURE DATE / / REF: 17874/3 VERSION A 10/10/94 DGN: PS1A3	
ORIGINAL SHEET SIZE A3		DATE / / COUNCIL DELEGATE SIGNATURE	

Printed 12/08/2025

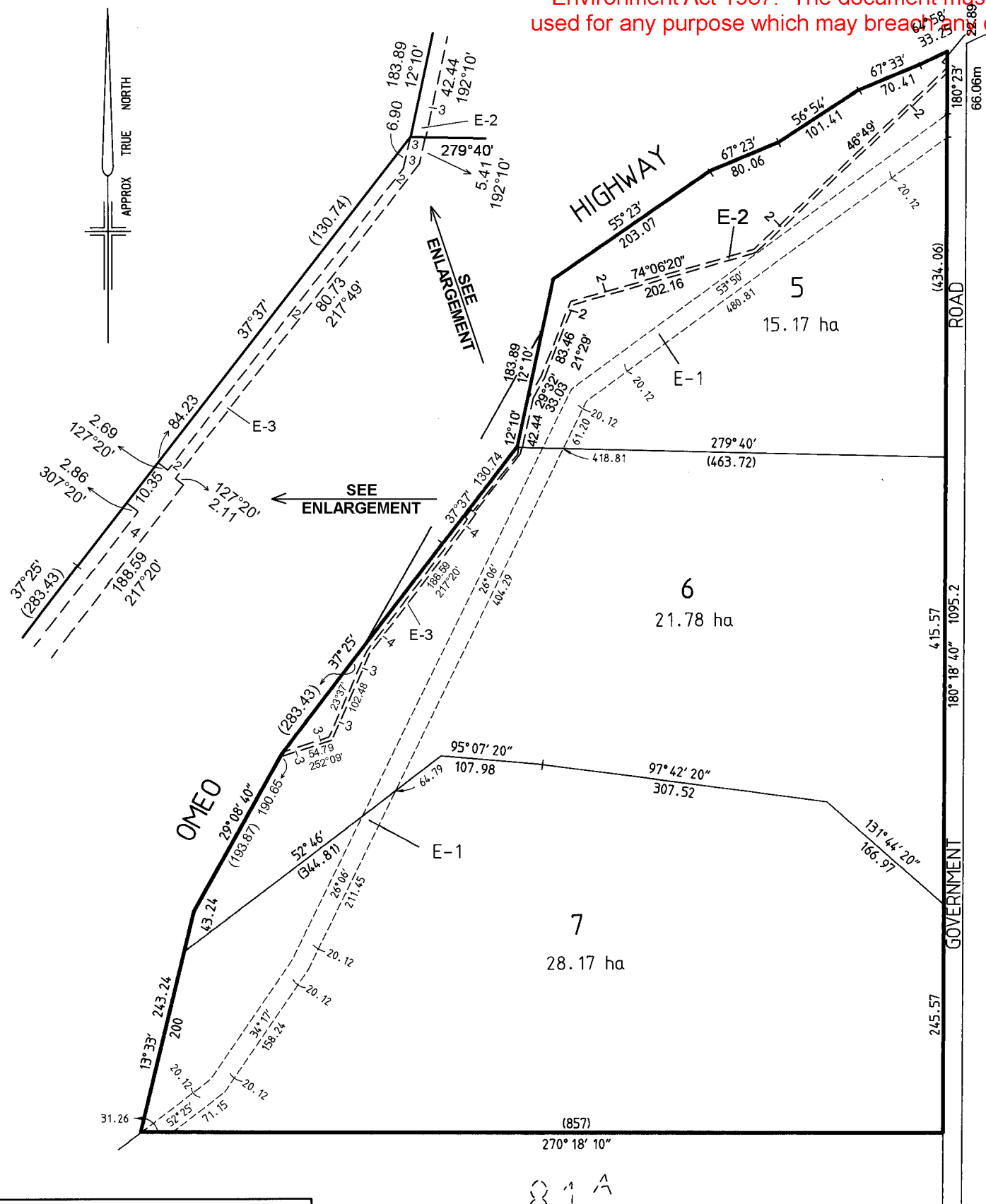
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PLAN OF SUBDIVISION

STAGE No. PLAN NUMBER

PS 326729C

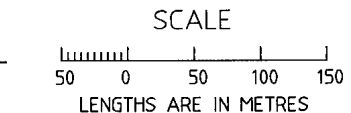
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 surveyors A.C.N. 005 558 323
 engineers architects planners cartographers



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 A3



LICENSED SURVEYOR (PRINT) ALAN D NORMAN
 SIGNATURE DATE / /
 REF: 17874/3 VERSION A 10/10/94 DGN: PS2A3

SHEET 2 OF 2 SHEETS
 DATE / /
 COUNCIL DELEGATE SIGNATURE

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VICTORIAN LAND TITLES

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Containing a
Covenant and/or

Section 45 Transfer of Land Act 1958

Lodged at the Land Titles Office by:

Name:

Nab



Phone:

"Your Guide to the T2 Form"

Ref: Customer Code

2000

Land Titles Office Use Only

MADE AVAILABLE / CHANGE CONTROL

The Transferor at the direction of the directing party (if any) transfers to the transferee the estate and interest specified in the land described for the consideration expressed-

- together with any easement created by this transfer;
- subject to the encumbrances affecting the land including any created by dealings lodged for registration before the lodging of this transfer; and
- subject to any easement reserved by this transfer or restrictive covenant contained or covenant created pursuant to statute and included in this transfer.

Land (Title)

10217

024

VOLUME 1058 FOLIO 104

Estate and Interest (e.g. "all my estate in fee simple")

All its estate in fee simple.

Consideration

\$75,000.00

Transferor (Full name)

CASVOR PTY LTD ACN 006 755 483

Transferee (Full name and address for future notices including postcode)

TERRY MICHAEL LEWIS and NICOLE NANCY LEWIS
both of 8 Victoria Avenue, Mitcham 3132 as joint proprietors.

Directing Party (Full name)

Nil

Creation and/or Reservation of Easement and/or Covenant

The transferee with the intent that the benefit of this covenant shall be attached to and run at law and in equity with the whole of the land comprised in Plan of Subdivision No. 326729C (other than the land hereby transferred) and each and every part thereof until the 1st day of January 2070 and that the burden of this covenant shall be annexed to and run at law and in equity with the land hereby transferred and each and every part thereof and the same shall be noted and appear on every Certificate of Title for the said lot and every part thereof as an encumbrance affecting same. DOES HEREBY for himself his respective heirs executors administrators and transferees COVENANT with Casvor Pty Ltd its successors and transferees and other registered proprietor or proprietors for the time being of the land comprised in the said Plan of Subdivision (other than the land hereby transferred) that the transferees will not:

- Erect, place, permit, licence or authorise on the said land any building being a dwellinghouse unless built only of new materials containing a floor area of not less than 112 square metres within the outer walls calculated (see reverse)

Land Titles Office Use Only

T2



Licence No. 2926L

Stamp Duty

Trn 050745441 Cde 52 28/03/95
Ref 89160 Amt \$ 1,600.00
Stamp Duty, Victoria
867771754729176

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ORDER TO REGISTER

To the Registrar of Titles

Please register this dealing and upon completion issue the documents as follows:

Signed.....

Firm's Name.....

Customer code.....

Creation and/or Reservation of Easement and/or Covenant (continuation if necessary)

by excluding the area of any carport, garage, terrace, pergola or verandah.

- (b) To erect or cause or suffer to be erected any building other than a building constructed in material of muted tonings in order to blend with the rural character of the surrounding land to the satisfaction and requirements of the responsible authority.
- (c) To erect or cause to suffer to be erected any building within a minimum of thirty metres from any road frontage except with the consent of the responsible authority.
- (d) To use or permit the use of the said land or any building thereon for the purpose of commercial breeding, boarding or training of cats or dogs or for the purpose of keeping poultry for commercial purposes.
- (e) To use or permit to be used the said lot or any part thereof for the purpose of carrying on any noxious or offensive trade or mining operations or excavations for the recovery of ore or materials.
- (f) To use or permit to be used the said lot or part thereof for the purpose of keeping or maintenance of pigs.
- (g) To use or permit or suffer to be used any main building for other than residential purposes.

Dated: 13 / 8 / 1994

Execution and Attestation

THE COMMON SEAL of CASVOR PTY.)
LTD was hereunto affixed in)
accordance with its Articles)
of Association in the presence)
of:)

xDirector

x Secretary

SIGNED By the Transferees in)
the presence of:)

x (Witness)



x
.....

x
.....

x TML
✓ NNC

See Annexure Sheet marked

Printed 12/08/2025

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25 July 2025

Our ref: 21188-09

Acting Statutory planning Coordinator
East Gippsland Shire Council
Via Portal

Attention: Andrew Bates

Dear Andrew,

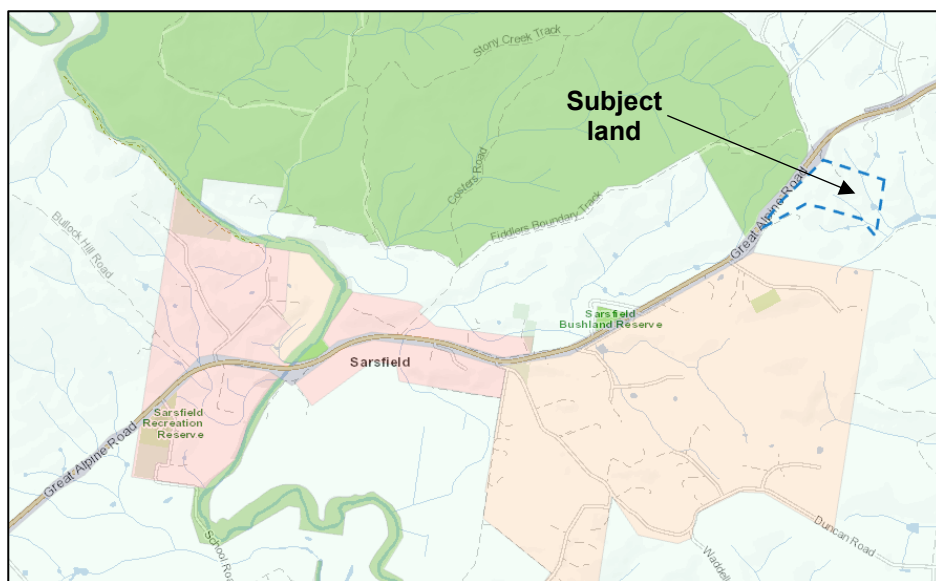
**Re: Planning Application – Use and Development of a Dwelling
and Variation of a Restrictive Covenant
1520 Great Alpine Road, Sarsfield**

On behalf of our client, we are submitting a planning application for the use and development of a dwelling and variation of a restrictive covenant.

Subject Land & Surrounds

Formally known as Lot 6 on PS326729C or more commonly known as 1520 Great Alpine Road, Sarsfield. The subject land is an irregular shaped property with an area of 21.7ha. The subject land has a long established agricultural activity as a flower farm producing cut flowers. The property contains some scattered native vegetation with some stands of exotic trees and has a dam located within the eastern part of the land.

The property previously contained an established dwelling which was unfortunately impacted by the 2019/20 bushfires. A temporary dwelling has been established on the land pursuant to the provisions of Clause 52.07 of the East Gippsland Planning Scheme.



Planning scheme zone mapping and locational plan (Source: VicPlan)



FS 520900





Aerial image of the subject land and immediate surrounds (Source: Google Earth)

Neighbouring properties on the north and south sides of the subject also contain established flower farms developed with dwellings and associated farm infrastructure. East of the site is a grazing property and west across the Great Alpine Road is the Yowen – Burrum State Forest.

Proposal

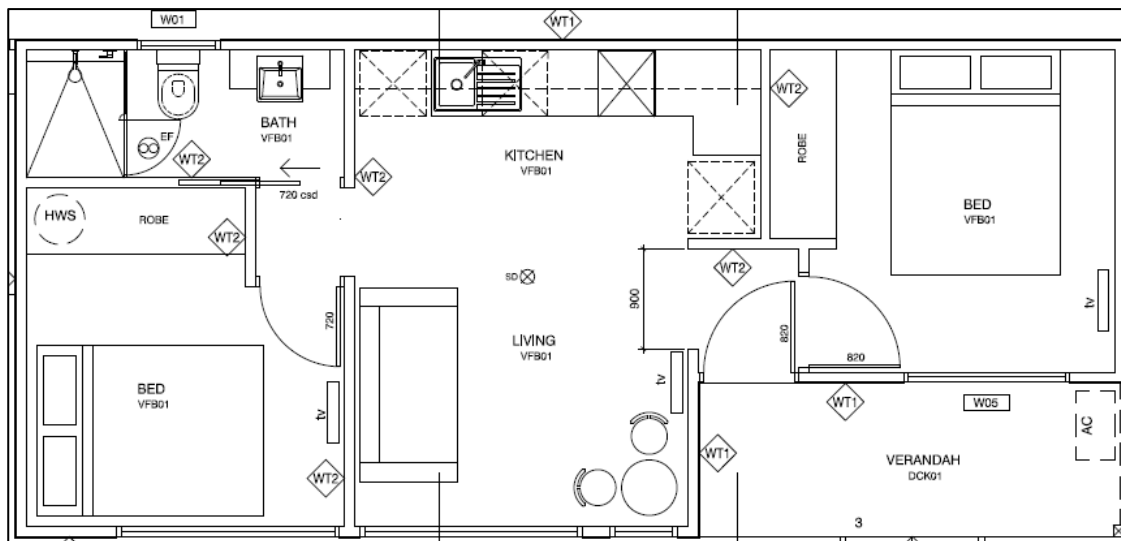
The application seeks approval for the use and development of a dwelling and variation of a restrictive covenant.

The application seeks approval to retain the dwelling established in accordance with the provisions of Clause 52.07, Emergency Recovery. With the area of the property being less than 40ha, approval is required for the use and development of a dwelling.

The proposed dwelling is located centrally on the subject land and is proposed to be setback 246 metres from the Great Alpine Road and 140 metres from the northern property boundary.

The proposed dwelling will consist of two bedrooms, open plan living/kitchen, bathroom and a verandah. The building is 9.98 metres in length and 4.47 metres in width and will have an overall area of 44.61 square metres. The proposed dwelling will have an overall height of 3.5 metres and will be constructed of Duracom BGC Fibre Cement Cladding with Colorbond roof sheeting.

The proposed dwelling will be accessed from an existing gravel driveway leading off the Great Alpine Road and will be serviced by an existing septic tank.



Proposed floor plan (Source: dig design)

Covenant T635597G is registered on title to the subject land. Covenant T635597G includes all land comprised in Plan of Subdivision 326729C and remains effective until 1 January 2070.

Pursuant to Clause (a) the owner must not:

Erect, place, permit, licence or authorize on the said land any building being a dwellinghouse unless built only of new materials containing a floor area of not less than 112 square metres within the outer walls calculated by excluding the area of any carport, garage, terrace, pergola or verandah.

Currently Clause (a) of the covenant prevents construction of any dwelling with a floor area of not less than 112 square metres within the outer walls calculated by excluding the area of the carport, garage, terrace, pergola or verandah. The application therefore seeks to vary the covenant to accommodate the proposed dwelling with a floor area less than 112 square metres.

It is proposed that Clause (a) be varied by deleting reference to the minimum floor area. Clause (a) is to state:

“Erect, place, permit, licence or authorise on the said land any building being a dwelling house unless built only of new materials.”

When the building was established on the subject land it was constructed from new materials, thereby complying with the other requirements of Clause (a).

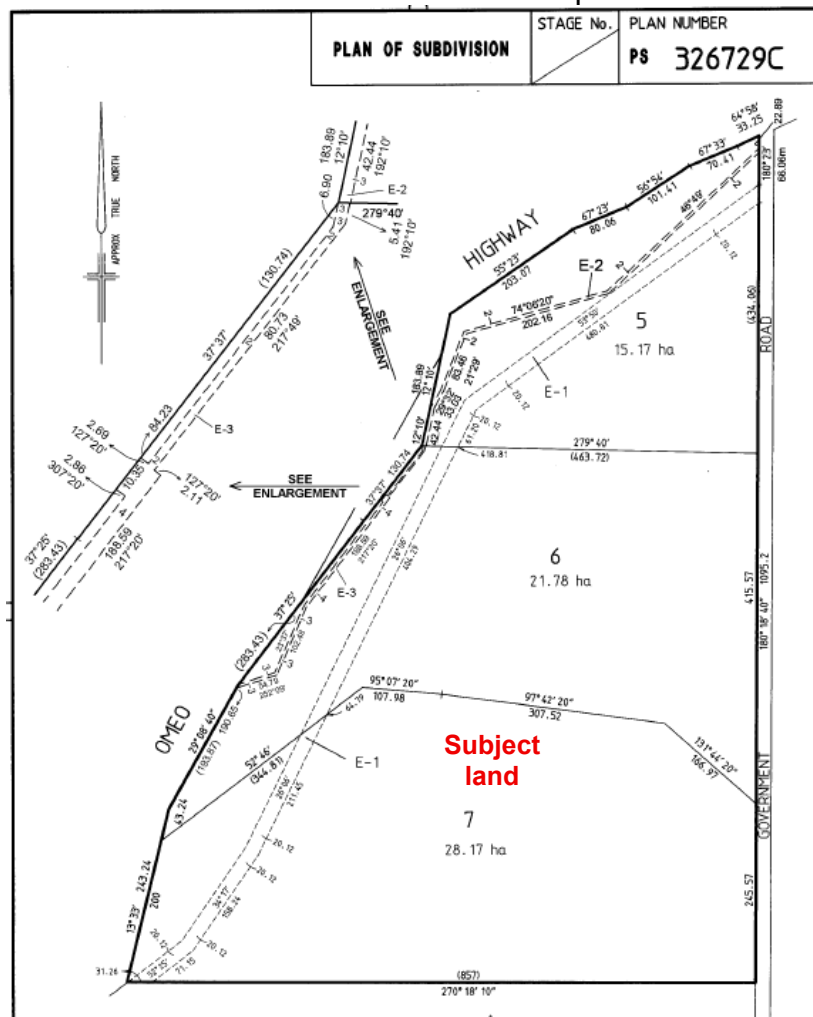
Planning and Environment Act 1987 – Section 60 (5)(a)

Section 60 (5) (a) of the *Planning and Environment Act 1987* states that:

(5) *The responsible authority must not grant a permit which allows the removal or variation of a restriction referred to in subsection (4) unless it is satisfied that-*

- (a) *The owner of any land benefited by the restriction (other than the owner who, before or after the making of the application for the permit but not more than three months before its making, has consented in writing to the grant of a permit) will be unlikely to suffer any detriment of any kind (including any perceived detriment) as a consequence of the removal or variation of the restriction;*

The beneficiaries to the covenant are all the Lots in plan of subdivision 326729C.



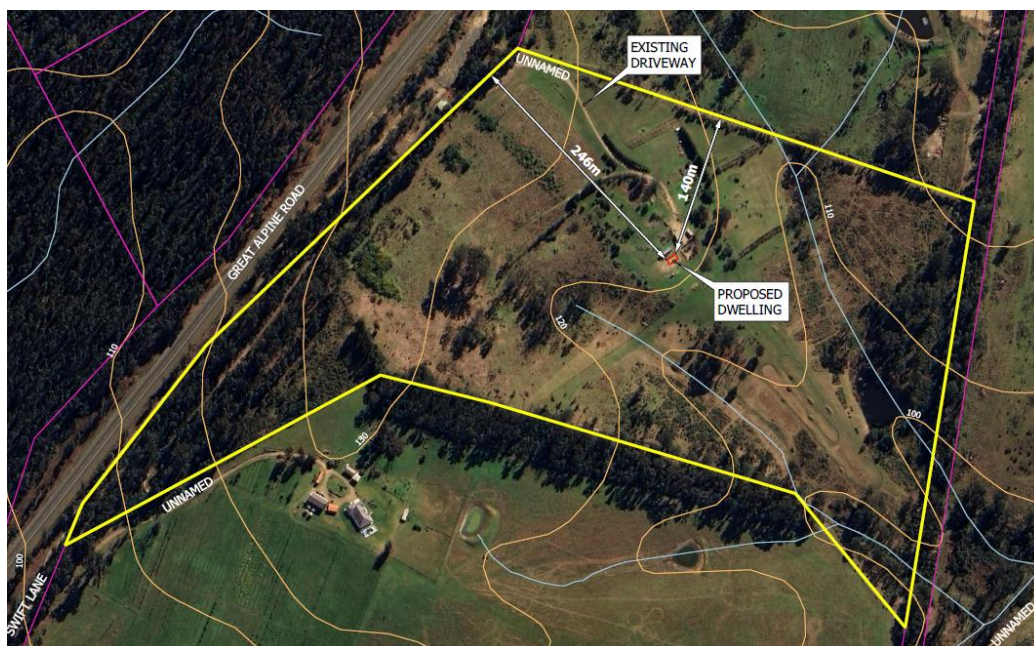
Lots that are the beneficiaries of covenant T635597G contained within the red line

A total of two properties are the beneficiaries to covenant T635597G. The benefiting properties are listed in the table below:

Lot & Plan of Subdivision	Street Address
Lot 5 on PS326729	1602 Great Alpine Road, Sarsfield
Lot 7 on PS326729	34 Swift Lane, Sarsfield

Varying the covenant will facilitate the temporary dwelling on the subject land to be a permanent dwelling.

The location of the dwelling will not alter as a result of the covenant variation, as is demonstrated by the site plan accompanying the application:



Site Plan

The existing scale and form of the building will remain as a result of the application. The internal dwelling layout will not alter remaining as a two bedroom dwelling as is demonstrated by the attached plan set submitted with the application.

Planning Scheme Clause	Matter for which a Permit is required
35.07-1 Farming Zone	Use of the land for a dwelling
35.07-4 Farming Zone	Buildings and works to a Section 2 use
43.02-2 Design and Development Overlay 7	Buildings and works
52.02 Easements, Restrictions and Reserves	To proceed under Section 23 of the <i>Subdivision Act 1988</i> to vary a restriction

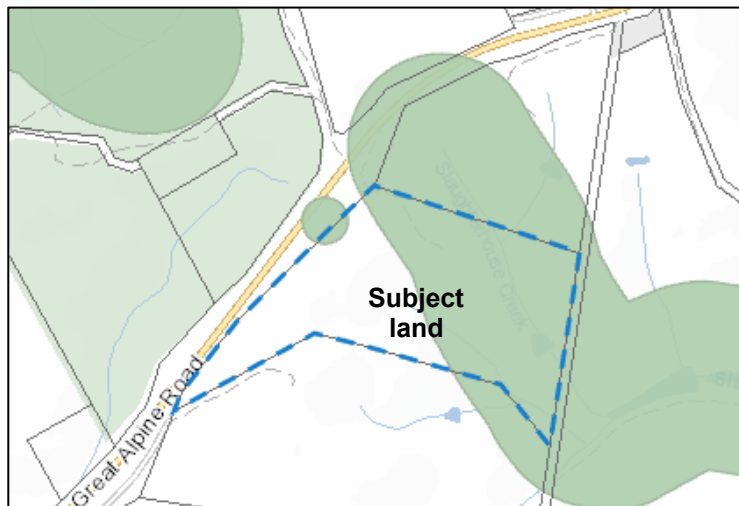
Parts of the subject land are located within an Environmental Significance Overlay 1-44, Vegetation Protection Overlay, Erosion Management Overlay and Bushfire Management Overlay. The proposed dwelling will not be located within any of these overlays.

No referral is required in accordance with Section 55 of the *Planning and Environment Act 1987*.

Cultural Heritage

Pursuant to Regulation 7 of the *Aboriginal Heritage Regulations 2018*, a CHMP is required for an activity if:

- (a) *all or part of the activity area for the activity is in an area of cultural heritage sensitivity; and*
- (b) *all or part of the activity is a high impact activity*



Extract from Cultural Heritage Sensitivity mapping, showing culturally sensitivity areas in dark green (Source: VicPlan)

The subject land is partly within an area of cultural heritage sensitivity however, the construction of a single dwelling on a lot is an exempt activity (Regulation 9). As such, there is no requirement to provide a CHMP in support of the application.

Planning Policy Framework

Siting the proposed dwelling centrally on the land and within a cleared area of the property avoids environmental impacts and minimises environmental risks as sought within Clause 12 Environmental values and Clause 13 Environmental risks.

Clause 14.01-1S Protection of agricultural land seeks to protect the state's agricultural base by preserving productive farmland. The subject land is well known flower farm at the eastern end of Sarsfield close to Mossiface. Having previously included a substantial dwelling the reinstatement of a new dwelling in the same vicinity as the previous dwelling use and development of a dwelling on the land will not limit the ongoing agricultural activity.

The proposal is consistent with Clause 14.01-1L-03 Rural dwellings as it is sited so as to achieve a generous separation distance from the bushfire hazard (outside the BMO). The dwelling will be located within a cleared area of the property minimising environmental impacts by avoiding the need for any native vegetation removal. Access to the site from the Great Alpine Road is unchanged and wastewater can be treated and retained onsite.

Clause 15.01-6S Design for rural areas is positively addressed by the proposed dwelling:

- The dwelling is well setback from the Great Alpine Road and is well screened by roadside vegetation.
- A small building footprint and a low height will reduce the visual appearance of the dwelling and maintains the rural character of the area.
- Utilisation of muted colours will sympathetically blend with the surrounding rural area.

Municipal Planning Strategy

Council's strategic directions within Clause 02.03-2 Environmental and landscape values are respected by the proposed siting of the dwelling. The dwelling will be sited within a cleared area of the property avoiding the need to remove native vegetation and is well setback from waterways.

Siting of the dwelling centrally on the subject land avoids potential environmental risks outlined within Clause 02.03-3 Environmental risks and amenity. Areas mapped as being subject to potential erosion on the property have been avoided and the setback from Great Alpine Road limits exposure to areas of higher bushfire risk.

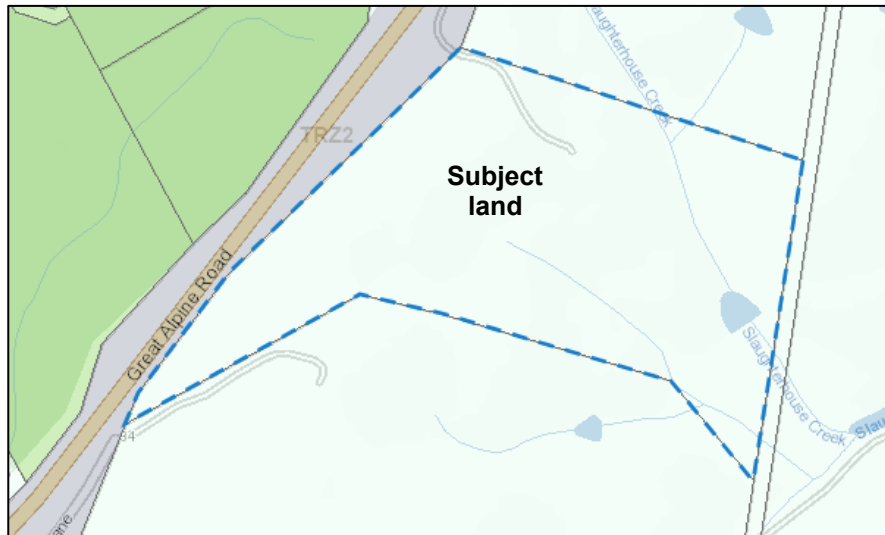


Extent of EMO over the subject land

The subject land is not farming land of strategic significance and permanent occupation of the property will allow the land to be better managed and returned to productive agriculture after the 2019/20 bushfire event, as encouraged by Clause 02.03-4 Natural resource management.

Farming Zone 1

The subject land is contained within the Farming Zone 1 under the East Gippsland Planning Scheme.



Planning scheme zone mapping (Source: VicPlan)

The proposed use and development of a dwelling is not inconsistent with the purposes of the zone. Providing permanent occupation of a dwelling on the subject land will assist to return the property to productive farmland and retains population to support the rural community of Sarsfield.

The proposed dwelling meets the requirements of 35.07-2:

- Access to the dwelling is provided via an all-weather road with dimensions adequate to accommodate emergency vehicles.
- The dwelling will be connected to an onsite wastewater treatment system which is capable of treating and retaining wastewater on the lot.
- An alternative potable water supply with adequate storage for domestic use as well as for fire fighting purposes will service the dwelling.
- The dwelling will be connected to an alternative energy source.

Decision Guidelines

The proposal addresses the decision guidelines, and the following commentary is provided:

- The subject land is capable of accommodating the proposed dwelling and will utilise the existing wastewater system.
- Establishing a permanent dwelling on the subject land will allow for ongoing occupation of the land enabling sustainable land management to return the land to productive farmland.
- Use of the land for a dwelling is compatible with the neighbouring flower farms (also developed with dwellings) and the eastern grazing property.

- The subject land will not be permanently lost to agricultural production.
- Nearby agricultural uses will not be limited by the use of the subject land for a dwelling as the adjoining agricultural uses are relatively benign.
- The property has proven to be able to sustain an agricultural use.
- The proposal will not result in the fragmentation of agricultural land.
- There are agricultural activities undertaken on adjoining properties however, the activities are less intensive than large commercial farming operations and are unlikely to detrimentally impact the proposed dwelling.
- Water quality of the area will be maintained through the use of the existing wastewater system.
- There will be no adverse impact on native flora as a result of the development with no native vegetation to be removed.
- The proposed dwelling being well setback from the Great Alpine Road and having a simple and smaller design will maintain the visual appearance of the tourist route.
- Existing access to the Great Alpine Road will be utilised.

Design and Development Overlay 7

The subject land is contained within the Design and Development Overlay 7.



Design and Development Overlay (DDO7) (Source: VicPlan)

Schedule 7 of the Overlay is Highway Corridors, Princes Highway & Great Alpine Road. The proposed development of a dwelling meets the objectives and decision guidelines of the schedule:

- The subject land enjoys existing access to the Great Alpine Road which will be used by the permanent dwelling.

- Siting of the dwelling well setback from the highway corridor (approx. 240m) and screened behind roadside vegetation will reduce the visual impact of the dwelling.
- No native vegetation will be impacted by the proposed development.
- Given the proposed permanent dwelling will replace a temporary dwelling there will be no additional traffic generation by the proposed use.
- The proposed dwelling will have a small building footprint, is single storey in height and will utilise muted colours maintaining the visual amenity and character of the area.

Clause 52.02 Easements, Restrictions and Reserves

In accordance with Clause 52.02 Easements, Restrictions and Reserves a permit is required before a person proceeds under Section 23 of the *Subdivision Act 1988* to vary a restriction.

The *Subdivision Act 1988* defines a restriction as follows:

Restriction means a restrictive covenant or a restriction which can be registered, or recorded in the Register under the Transfer of Land Act 1958.

Before deciding on an application, the responsible authority (Council) must consider the interests of affected people, resulting in the need for the application to be given public notice to all owners of land within Plan of Subdivision 326729C, displaying a notice on the site and placing a notice in the local newspaper.

It is considered the proposed variation of the covenant that will result in a permanent dwelling on the subject land will not result in detriment to owners of land benefited by the restriction:

- The location of the permanent dwelling will not alter from the current location of the temporary dwelling. The dwelling location is advantageous, being well setback from neighbouring dwellings and screened by vegetation.
- The dwelling siting on the subject land is setback from neighbouring dwellings and is of a lower height which does not dominate the landscape and maintains the amenity enjoyed by the covenant beneficiaries.
- No unreasonable overlooking or overshadowing will occur given the context of the area and the reduction of the covenant stipulated floor area.
- Colours and finishes of the dwelling are of natural and muted tones and with a smaller floor area reduces the visual appearance of the building.
- A dwelling with a floor area less than 112 square metres does not result in an inappropriate built form or a lesser architectural outcome.

Clause 65 Decision Guidelines

The proposal to vary the restrictive covenant is consistent with the decision guidelines of the planning scheme and commentary is offered:

- There are no mapped environmental risks associated with the dwelling siting that would suggest detrimental implications to a dwelling being developed on the subject land as facilitated by the application.
- Requirements of the zone at Clause 35.03-2 for the use of a dwelling are complied with:
 - Access to the dwelling is provided via an all-weather road (Great Alpine Road) with dimensions adequate to accommodate emergency vehicles.
 - Wastewater from the dwelling will be treated and retained within the lot in accordance with EPA requirements.
 - A potable water supply is connected to the building.
 - An alternative electricity supply is provided to the building.
- Varying the covenant to allow for a permanent dwelling on the land will provide a replacement residence which represents orderly planning.
- Allowing the variation of the covenant will not result in detrimental environmental outcomes, as the temporary dwelling has been sited within a cleared part of the land.
- The proposed dwelling will utilise the wastewater system installed on the land when the temporary dwelling was developed on the site. Approval of a variation to the covenant to allow for a permanent dwelling will not have a negative effect on human health or water quality.
- Stormwater from the temporary dwelling is discharged onsite and will continue to occur by providing a variation to the covenant.

Conclusion

The proposed use and development of a dwelling and variation of a restrictive covenant at 1520 Great Alpine Road, Sarsfield is considered to accord with the Farming Zone 1, Design and Development Overlay 7 and Clause 52.02 provisions of the East Gippsland Planning Scheme.

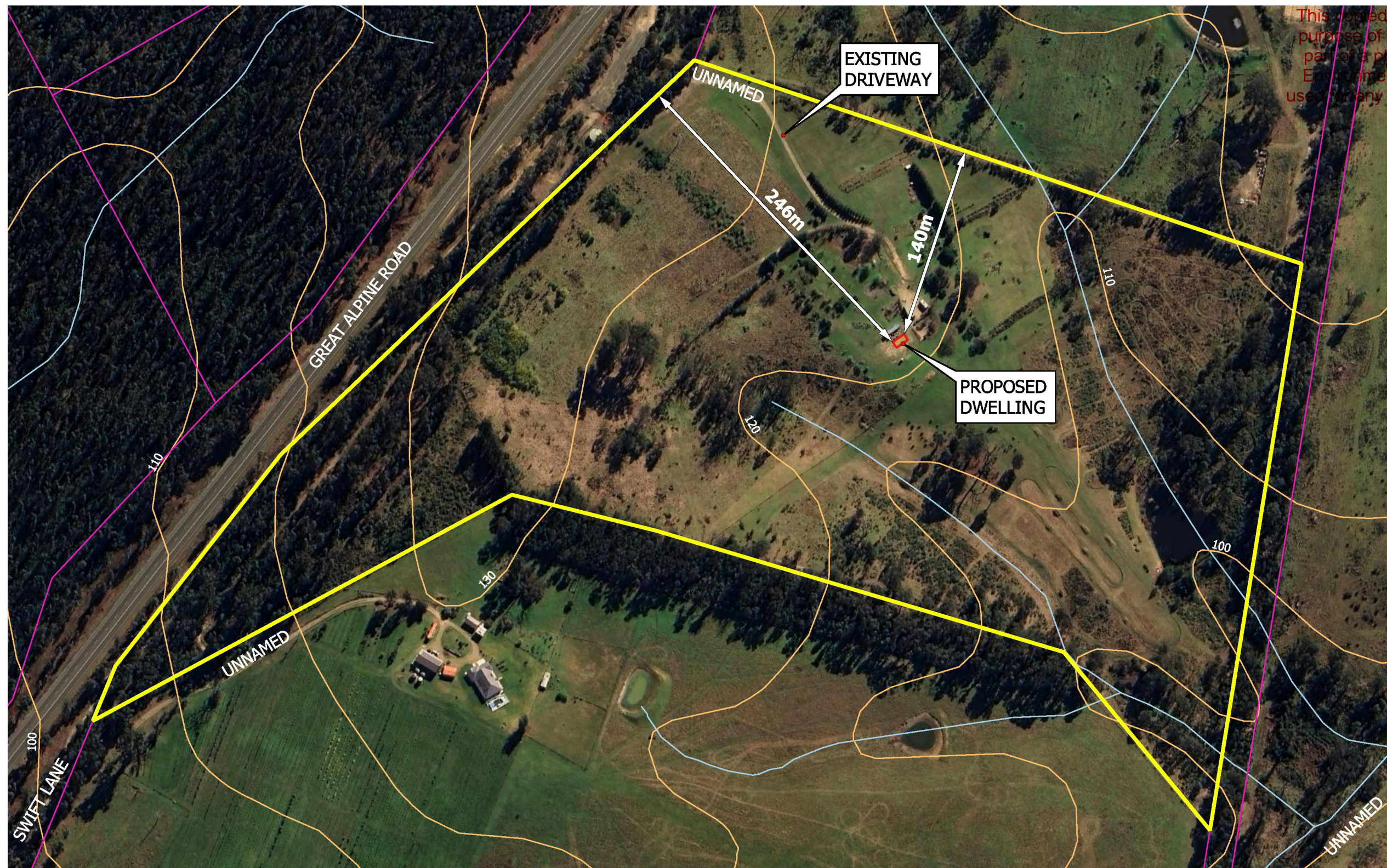
For these reasons we respectfully request that Council consider the merits of the application favourably and resolve to issue a Planning Permit.

Regards,

RICHARD HOXLEY
Director, Principal Planner

Encl. Site Plan (Version 1)
Floor Plans and Elevations (dig design)
Copy of Title

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- Subject_Land
- PARCEL_VIEW
- Setbacks
- Proposed Dwelling
- EL_CONTOUR
- HY_WATERCOURSE
- Google Satellite

1520 GREAT ALPINE ROAD, SARSFIELD

Crowther & Sadler Pty, Ltd.
 LICENSED SURVEYORS & TOWN PLANNERS

152 MACLEOD STREET, BAIRNSDALE, VIC., 3875
 P. (03) 5152 5011 E. contact@crowthersadler.com.au

NOTATIONS

SCALE (SHEET SIZE A3)

1:3000

SURVEYORS REF.

21188-09

VERSION 1 - DRAWN 18/07/2025

SITE PLAN

PARISH OF TAMBO
 CROWN ALLOTMENT 81 (PART)

LOT 6 ON PS326729

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GENERAL NOTES (NCC 2019 BCA VOL 2)

All materials and work practices shall comply with, but not limited to the Building Regulations 2006, National Construction Code Series 2019 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.

Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2019 Building Code of Australia Volume 2.

All materials and construction practice shall meet the Performance Requirements of the BCA. Where an alternative solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.

Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with:

- BCA Part 3.6 for Class 1 and 10 Buildings within a design wind speed of not more than N3; and
- NCC 2019 BCA Vol 1 Part B1.4 for Class 2 and 9 Buildings.

Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: Waterproofing of Domestic Wet Areas.

These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.

Step sizes (other than for spiral stairs) to be:

- Risers (R) 190mm maximum and 115mm minimum
- Going (G) 355mm maximum and 240mm minimum
- 2R + 1G = 700mm maximum and 550mm minimum
- with less than 125mm gap between open treads.

For Class 1 and 10 buildings all treads, landings and the like to have non-slip finish or suitable non-skid strip near edge of nosing, and for Class 2, 3 and 4 all treads, landings and the like to have a slip-resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.

Provide balustrades where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Balustrades (other than tensioned wire balustrades) to be:

- 1000mm min. above finished surface level of balconies, landings or the like, and
- 865mm min. above finished surface level of stair nosing or ramp, and
- vertical with less than 125mm gap between, and
- any horizontal element within the balustrade between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads.

Wire balustrade construction to comply with NCC 2019 BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2019 BCA Volume 1 Part D2.16 for other Classes of Buildings.

Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps.

Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.

Where the building (excludes a detached Class 10) is located in a termite prone area, the area to underside of building and perimeter is to be treated against termite attack.

Concrete stumps:

- up to 1400mm long to be 100mm x 100mm (1 No. H.D. Wire)
- 1401mm to 1800mm long to be 100mm x 100mm (2 No. H.D. Wires)
- 1801mm to 3000mm long to be 125mm x 125mm (2 No. H.D. Wires)
- 100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.

For buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS 4773.1-2010 'Masonry in small buildings' Part 1: Design.

All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.

These drawings shall be read in conjunction with all relevant structural and all other consultants' drawings/details and with any other written instructions issued in the course of the contract.

Site plan measurements in metres - all other measurements in millimetres u.n.o.

Figured dimensions take precedence over scaled dimensions.

The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.

The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.

Installation of all services shall comply with the respective supply authority requirements.

The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/ or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.

These plans have been prepared for the exclusive use by the Client of Dig Design ('The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.

The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. Any said variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing the said variation.

STORMWATER

90 mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction. The cover to underground stormwater drains shall be not less than

- 100mm under soil
- 50mm under paved or concrete areas
- 100mm under unreinforced concrete or paved driveways
- 75mm under reinforced concrete driveways

SITE ENVIRONMENT DESIGN INFORMATION

Site Bushfire Attack Assessment (simplified method) Reference document 'AS 3959-2009 construction of buildings in bush fire prone areas' Relevant Fire Danger Index (FDI)- (insert FDI) Predominate vegetation:- Classification- (insert vegetation classification) Type- (insert Vegetation type) Distance of site from predominate vegetation- (insert distance of the site from the classified vegetation) Effective slope of land- (insert effective slope of land) Determination of Bushfire Attack Level (BAL)- BAL 29

SITE CLASSIFICATION

Site classification as Class: (insert soil classification) Refer to soil report No: (insert soil report number) By: (insert Soil Engineer)

DESIGN GUST WIND SPEED / WIND CLASSIFICATION

Building tie-downs to be provided in accordance with AS1684-2010 for an assumed design gust wind speed / wind classification of (insert wind speed or wind classification) (subject to confirmation on site by Relevant Building Surveyor at first inspection) refer to AS1684 for construction requirements.

CLIMATE ZONE

Climate zone for thermal design / thermal performance assessment : Zone (insert Climate Zone).

CORROSION PROTECTION OF BUILT-IN STRUCTURAL MEMBERS

Provide corrosion protection of built-in structural steel members such as steel lintels, shelf angles, connectors, accessories (other than wall ties) in accordance with Table 4.1 of AS4773.1-2010 Masonry in Small Buildings, Part 1: Design suitable for an Environment Classification of (insert environment classification)

CORROSION PROTECTION FOR SHEET ROOFING

Provide corrosion protection for sheet roofing in accordance with BCA Table 3.5.1.1a suitable for an Environment Classification of (insert environment classification).

DESIGN EVENTS FOR SAFETY - EARTHQUAKE ACTIONS

For determination of domestic structures of a height less than or equal to 8.50m Building type importance level - (insert importance level from BCA Table 3.11.3a) Annual probability of exceedance - (insert probability from BCA Table 3.11.3b) Probability factor (kp) - (insert probability factor from AS1170.4 Table 3.1) Hazard factor (Z) for project location - (insert hazard factor for project location from AS1170.4 Table 3.2) Hazard at the (kpZ) - (insert kpZ value from AS1170.4 Table A1) Design required - (insert design required from AS1170.4 Table A1)

TERMITES

A termite barrier to be installed to minimise the risk of termite attack to primary building elements in accordance with AS3660.1. A durable notice must be permanently fixed to the building in a permanent location, indicating the following:

- The method of termite risk management.
- The date of installation of the system.
- Where chemical barrier is used, its life expectancy as listed on the National registration Authority label.
- The installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity.

WINDOWS

Where the fall height from floor to the ground below is 4m or greater, there shall be no window openings greater than 125mm within 865mm of the floor. Also, there shall be no horizontal elements between 150mm to 760mm above the floor which can facilitate climbing. A window sill is deemed to be capable of facilitating climbing.

Where the fall height from floor to ground below is 2m or greater, all openings within 1700mm of the floor shall be fitted with either a device to restrict the size of the opening, or a screen with secure fittings. The device or screen must not allow a 125mm ball to pass through the window opening; and resist an outward force of 250N (~25 kg). The device or screen may be removeable, but if so, must have a child resistant release mechanism.

if the device or screen is removeable, there shall be no window openings greater than 125mm within 865mm of the floor. Also, there shall be no horizontal elements between 150mm to 760mm above the floor which can facilitate climbing.

If the opening is less than 865mm above the floor or there are climable elements, then permanent screens or restrictors are required.

GUTTER

Gutter installation to be in accordance to Australian Standard AS/NZS 2179.1

VENTILATION

Mechanical ventilation to be installed in accordance with Part 3.8.5 of the BCA.

Provide clearance from underside of bearer to finished ground level of 150mm for floor with strip flooring or 200mm for floors with particleboard flooring OR 300MM WHERE IN TERMITE PRONE AREA

Sub floor vents to provide a rate of 6000mm sq. clear ventilation per 1000mm run of external masonry wall

INSULATION

Thermal insulation to be provided as follows for slab construction. (refer to energy rating report) R.F.L. to have flammability index not exceeding 5

LIGHTING

Artificial lighting to comply with AS/NZS1680.0-2010

Artificial lighting to be installed in accordance with Part 3.12.5.5 of the BCA 2019

THRESHOLDS

If the threshold sill of the doorway is greater than 190mm above the finished surface of the ground to which the doorway opens, a landing shall be provided no less than the width of the door leaf, or 900mm wide x 900mm long, whichever is greater.

SMOKE ALARMS

Location of smoke alarms to be provided and installed in accordance with A.S. 3786-2014 And Part 3.7.2 of the BCA 2019 and shall be hardwired with battery backup.

MASONRY

Masonry to comply with AS3700-2011 or AS4773.1-2010 & AS4773.2-2010

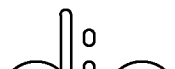
Provide wall ties to brickwork as per 3.3.3.2. BCA. Generally wall ties to be 600mm ctrs in each direction for cavity masonry, for masonry veneer: 600x450 for 450 stud walls and 600x600 for 600 stud walls and within 300mm of articulation joints.

Provide wall ties to brickwork at maximum 5000mm ctrs in each directions and within 300mm of articulation joints 2200mm sq. clear ventilation per 1000mm run of internal dwarf walls

Spacing of wall ties to top and sides of opening to be halved.

SITE SETOUT

Builder to use licensed surveyor for setouts. Ensure the building does not encroach on Title Boundaries or existing fence lines.

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				-		GENERAL NOTES			
				-	BRV - 2 BEDROOM				
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	BP02	30.06.16	CLIENT ISSUE			PROJECT NO.	20 010	DESIGN Printed 12/08/20 P. 24 of 34	
	BP01	23.05.16	BUILDING PERMIT ISSUE			SCALE.	N/A @A3		
						DATE.	JUNE 2020		
	NO.	DATE.	DETAILS.			DRAWING NO.	00		
AMENDMENTS.									

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BAL SPECIFICATION
BUSHFIRE ATTACK LEVEL (BAL) 29

Unenclosed Sub-floor Supports
The support posts are steel, a non-combustible material

Unenclosed Floor Space - Bearers, Joists + Flooring
Bearers and joists are steel, a non-combustible material
Flooring, James Hardie Secura Exterior Flooring, Compressed Fibre Cement, a non-combustible material
Sarking to underside of flooring, Insulation Bradford Optimo R1.5 (or approved equivalent)
Verandah decking, James Hardie Hardideck, Compressed Fibre Cement Decking, a non-combustible material

External Walls
90mm metal stud wall frame
Sarking, Hardie Wrap weather barrier (or approved equivalent), to the outside of the wall frame prior to fixing external cladding. To comply with AS/NZs 4200.1 and a flammability index not more than 5
Insulation, Bradford Multitel blanket to AS3959, R1.5 batts
Cladding, min 6mm thick fibre cement sheet external cladding, to manufacturers specification. jointing and instalation to prevent gaps greater than 3mm

Exteranal Glazed Elements Windows +- Doors
Screens for Windows +- Doors
Screen, maximum screen perforation 2mm, screen material aluminium, screen frame aluminium.
Maximum gap between screen frame and building element 3mm, screen fixing metal
Screening required to openable portion of windows.
Screening required to windows within 400mm of horizontal deck

Windows
Window frames aluminium, a non-combustible material
External hardware to be metal
Glazing to be toughened glass min 5mm thick
Where glazing is within 400mm of the deck, that section must be screened
Openable portion of windows to be screened

Sliding glass door
Frames to be aluminium
To be protected by screen
Glazing to be toughened glass min 6mm thick
Weatherstrips to prevent draught to be installed to openable doors
Sliding door to be tight fitted in frame

Side Hung External Glass Door
Door and frame to be aluminium
Fully framed glass door, toughened glass a min 6mm thick
External hardware to be metal
Protected externally with an approved screen
Doors to be tight fitted to frame
Weatherstrips to prevent draught to be installed to openable doors

Roofs
Steel sheet roof to be fully sarked
Sheet roof shall have gaps no greater than 3mm under corrugations or ribs of sheet
roofing and betweenroof components sealed at the wall line
Mineral wool insulation R3.0 batts
Gutters and downpipes to be colorbond metal, non-combustible
Roof exhast ventilation to be fitted with ember guards made from non-combustible materials with a max aperture of 2mm
Roof penetrations to be adequately sealed to prevent gaps greater than 3mm. The material used to be non-combustible.

Verandah
Verandah eaves lining to be fibre cement, min 4.5mm thick, joints to be sealed.
Verandah post metal

Handrail / Stair
Made of non-combustible material

Water Supply
Above ground water supply pipes to be metal

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BP02	30.06.20	CLIENT ISSUE
BP01	23.06.20	BUILDING PERMIT ISSUE
NO.	DATE.	DETAILS.

AMENDMENTS.

CONSULTANTS

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PROJECT TITLE.

BRV - 2 BEDROOM

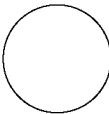
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BAL NOTES

PROJECT NO. 20 010
SCALE NA @A3
DATE JUNE 2020
DRAWING NO. 000

PROJECT NORTH.



JULIE-ANNE SMITH
LINDSAY DOUGLAS
ARCHITECT REG 5933

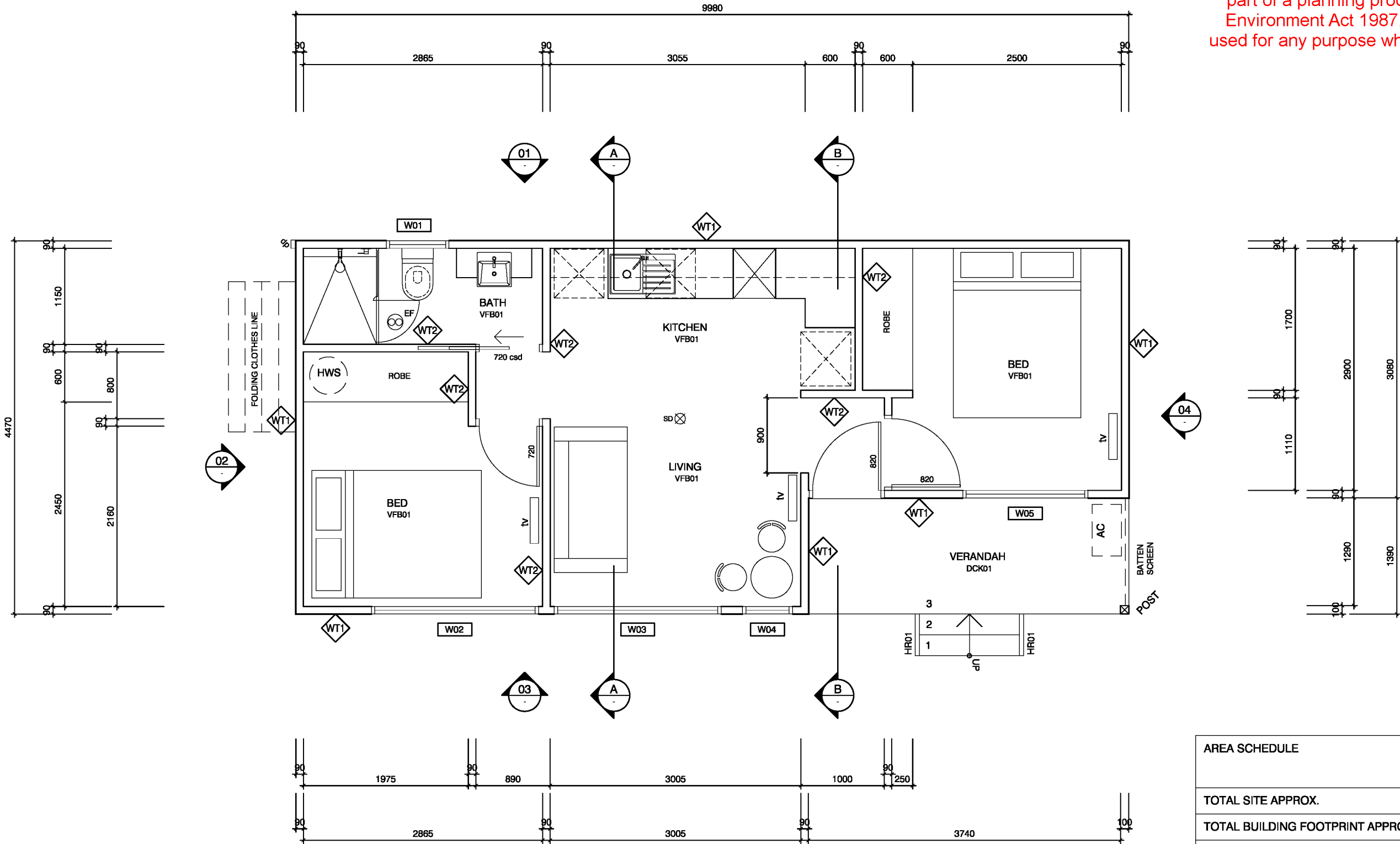
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DESIGN

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01 PROPOSED PLAN
SCALE 1:50

AREA SCHEDULE	
TOTAL SITE APPROX.	-m ²
TOTAL BUILDING FOOTPRINT APPROX.	-m ²
SITE COVERAGE	-%
TOTAL HARD SURFACE AREA APPROX.	-m ²
PERMEABILITY	-%
FLOOR AREA	39.6m ²
VERANDAH	5.3m ²

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AMENDMENTS.		
B	30.06.20	CLIENT ISSUE
A	23.06.20	CONSULTANT ISSUE
N.O.	DATE.	DETAILS.

CONSULTANTS	

PROJECT TITLE.	
BRV - 2 BEDROOM	

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PROPOSED PLAN	
PROJECT NO.	20 010
SCALE.	1:50 @A3 size
DATE.	JUNE 2020
DRAWING NO.	02

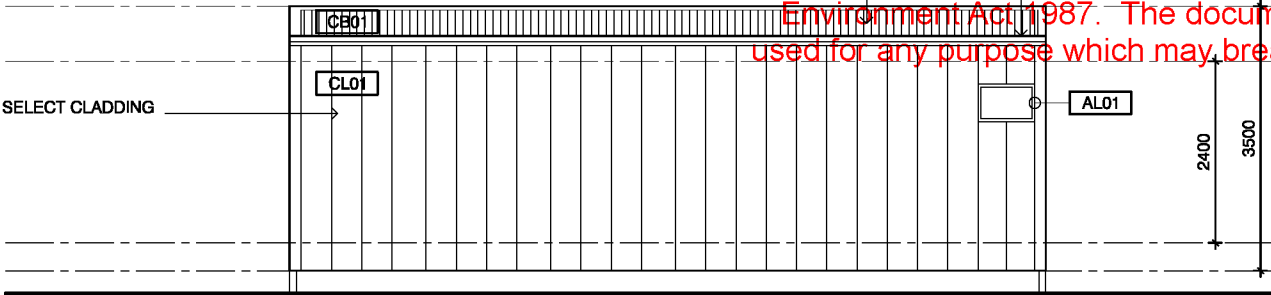
PROJECT NORTH.

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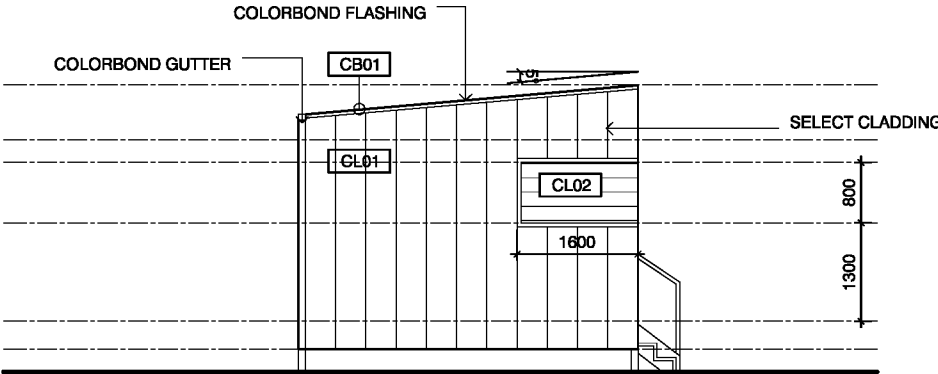


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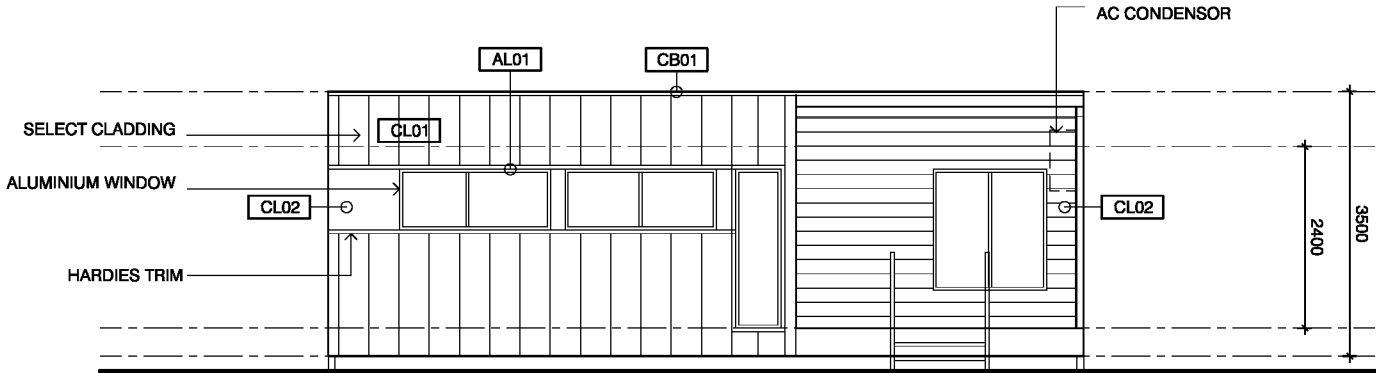
MATERIALS & COLOURS SCHEDULE		
CODE	MATERIAL	COLOUR/ FINISH
CL01	DURACOM 'BGC FIBRE CEMENT COMPRESSED CLADDING' RECESSED JOINT - VERTICAL	DULUX 'TEAHOUSE' SN4G6
CL02	DURACOM 'BGC FIBRE CEMENT COMPRESSED CLADDING' RECESSED JOINT - HORIZONTAL	DULUX 'SPANISH OLIVE' SG5E1
CL03	DURACOM 'BGC FIBRE CEMENT COMPRESSED CLADDING' RECESSED JOINT - HORIZONTAL	DULUX 'NIGHT SKY' C25
CB01	COLORBOND ROOF SHEETING, GUTTERS + DOWNPIPES	PALE EUCALYPT
AL01	ALUMINIUM FRAMED WINDOWS + DOORS	BLACK POWDERCOATED 'NIGHT SKY' 90E9190Z
AL02	ALUMINIUM BATTEN SCREEN	BLACK POWDERCOATED 'NIGHT SKY' 90E9190Z



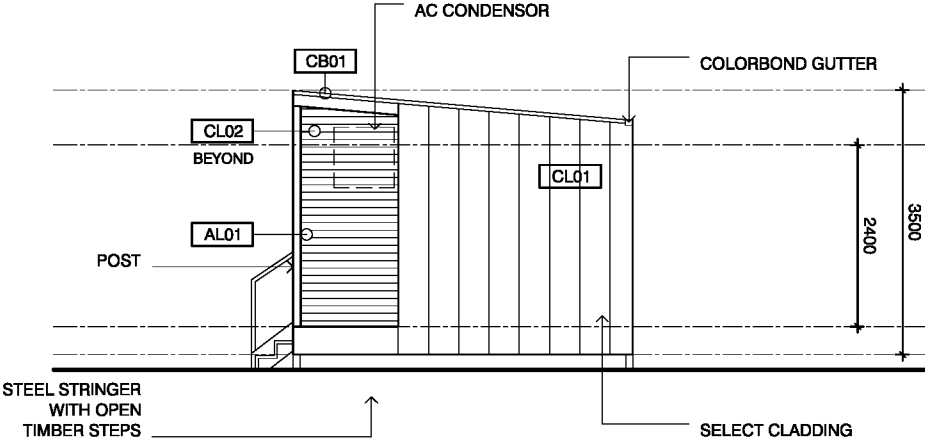
01 ELEVATION
SCALE 1:100



02 ELEVATION
SCALE 1:100



03 ELEVATION
SCALE 1:100



04 ELEVATION
SCALE 1:100

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N.O.	DATE.	DETAILS.
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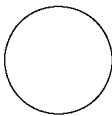
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ELEVATION

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DATE. JUNE 2020
DRAWING NO. 03

PROJECT NORTH.



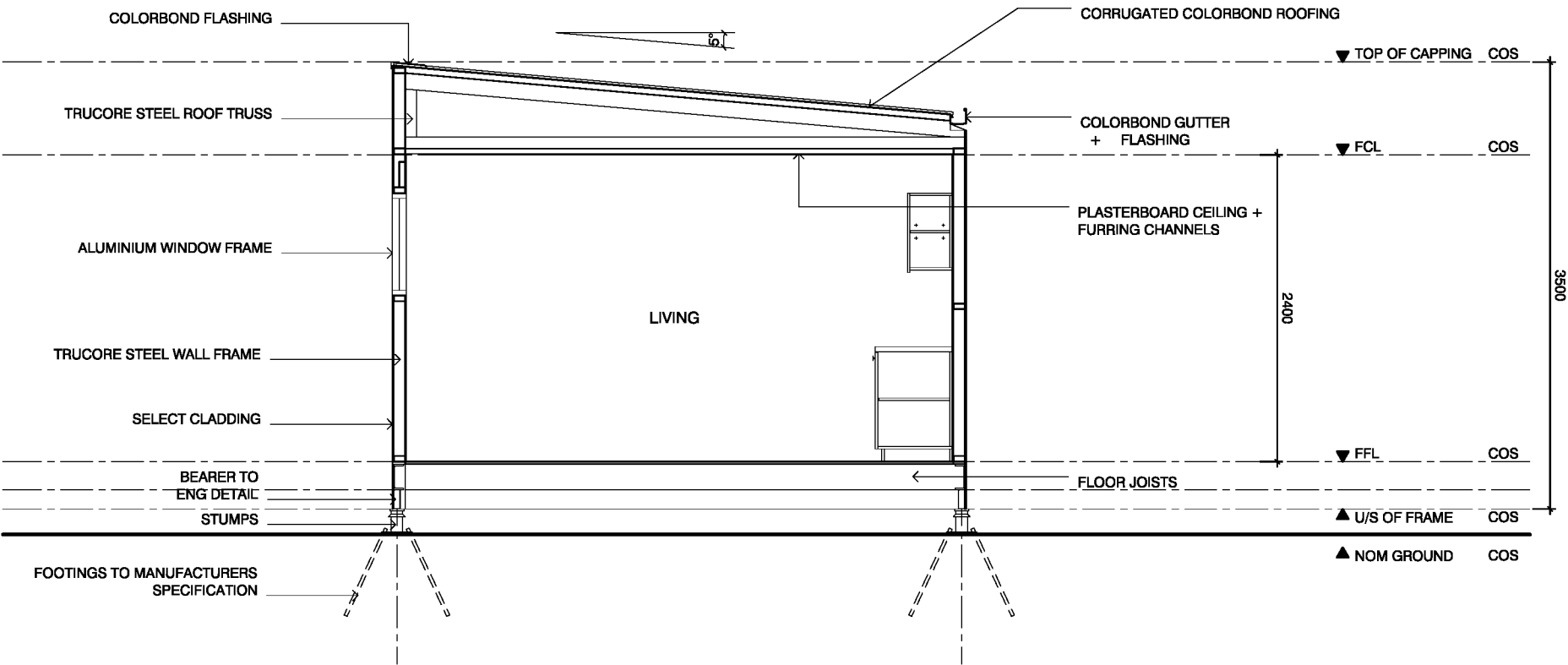
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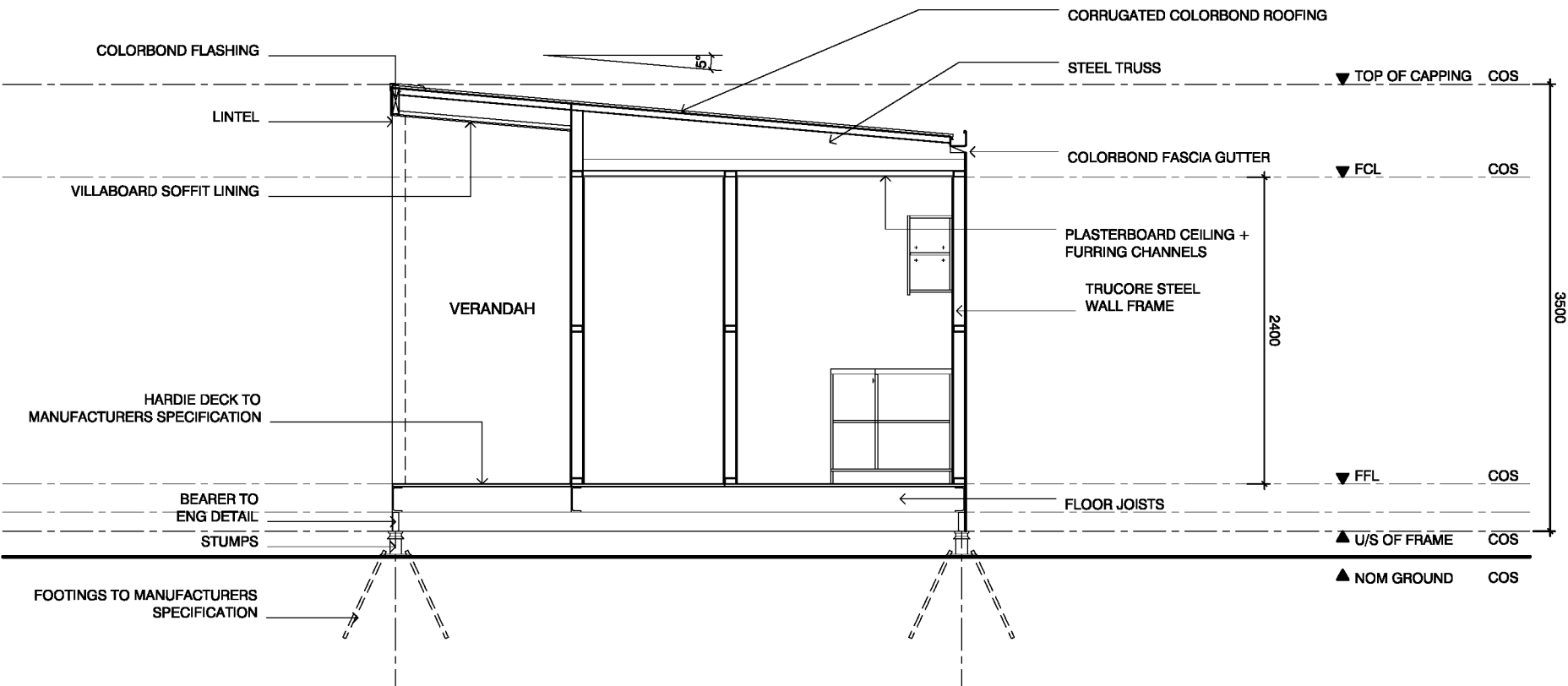
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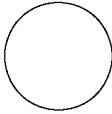

A SECTION A-A
SCALE 1:50

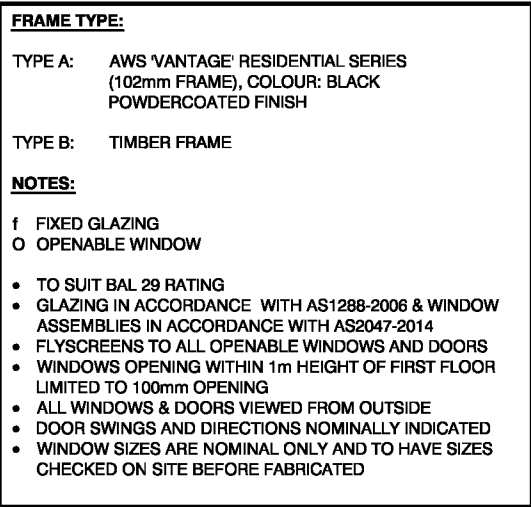
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B SECTION B-B
- SCALE 1:50

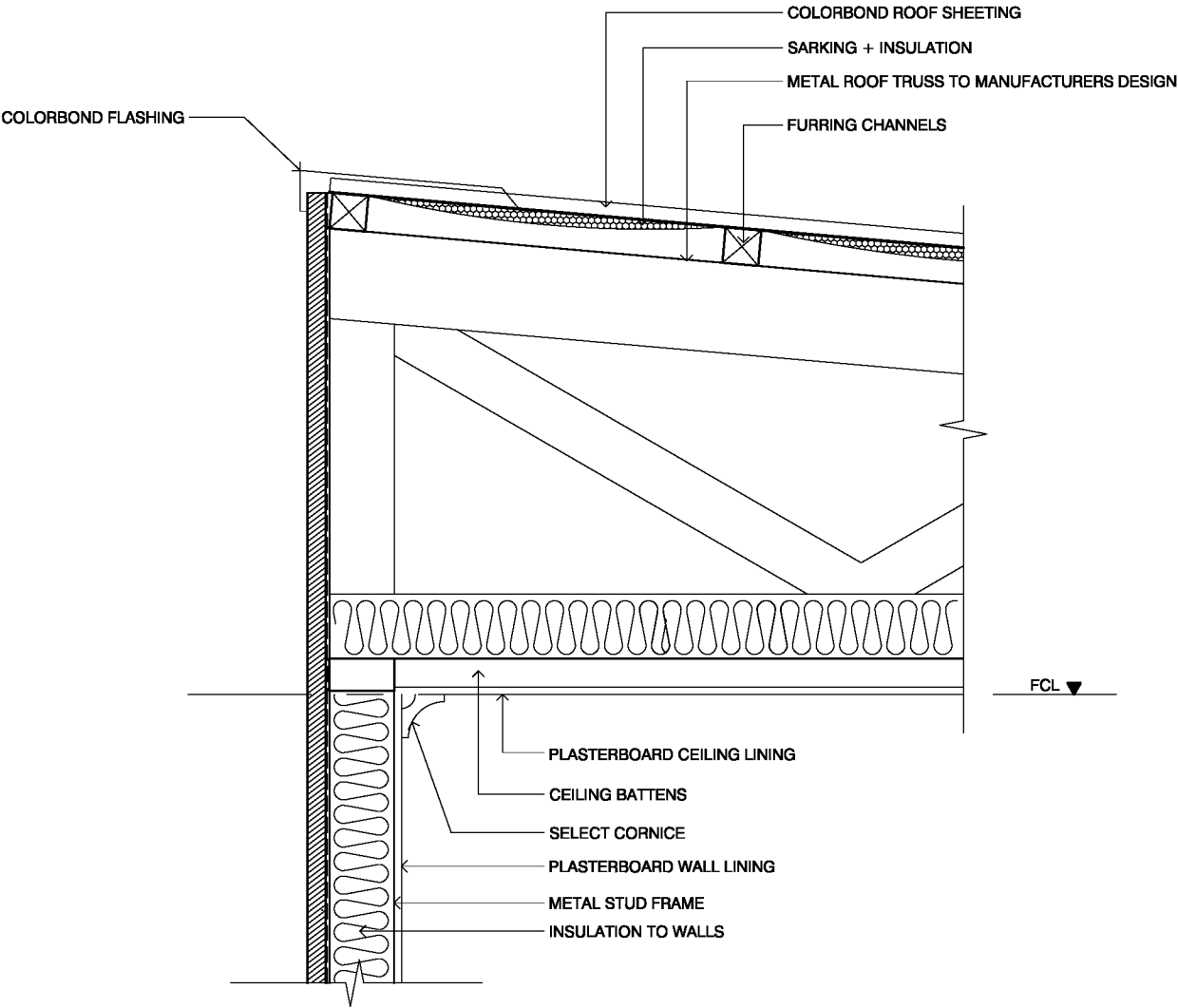
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	B	30.06.20	CLIENT ISSUE			PROJECT NO.	20 010	DESIGN	Printed 12/08/2025 Page 29 of 40
	A	23.06.20	CONSULTANT ISSUE			SCALE.	1:50 @A3 size		
						DATE.	JUNE 2020		
						DRAWING NO.	05		
	AMENDMENTS.								



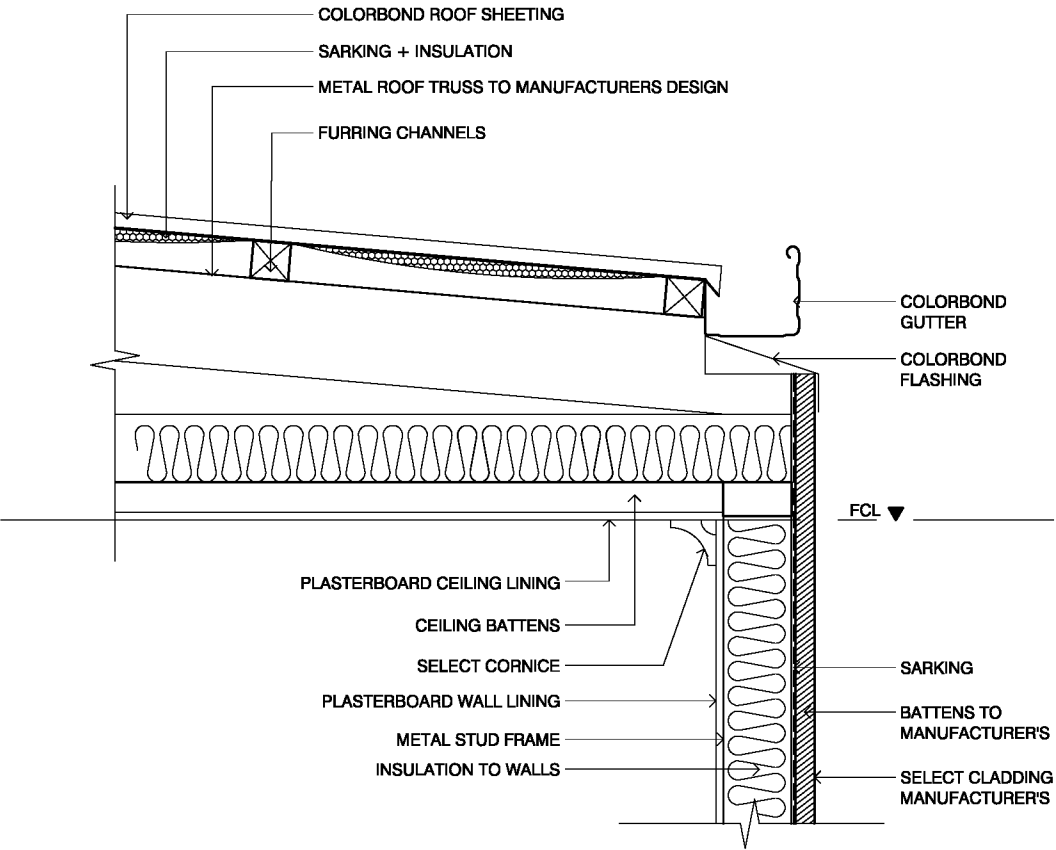
TURF AND TOP SOIL TO BE REMOVED TO A DEPTH SUFFICIENT TO PREVENT LATER GROWTH. TREE AND BUSH ROOTS THAT MIGHT ENCOURAGE LATER GROWTH TO BE GRUBBED UP AND ANY POCKETS OF SOFT COMPRESSIBLE MATERIAL THAT MIGHT AFFECT THE STABILITY OF THE BUILDING TO BE REMOVED.

[illegible]

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D02 TYPICAL ROOF DETAIL
SCALE 1:10



D03 TYPICAL ROOF DETAIL
SCALE 1:10

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A	23.06.20	CONSULTANT ISSUE
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AMENDMENTS.		

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PROJECT TITLE.

BRV - 2 BEDROOM

DRAWING TITLE.
DETAILS

PROJECT NO. 20 010
SCALE 1:10 @A3 size
DATE JUNE 2020
DRAWING NO. 07

PROJECT NORTH.

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LINDSAY DOUGLAS
ARCHITECT REG 5933

10.27 / 401 DOCKLANDS DRIVE
DOCKLANDS VICTORIA 3008
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dig
DESIGN

- EF ☒ EXHAUST FAN TO BE DUCTED
EXTERNALLY
- SD ☒ HARDWIRED, BATTERY OPERATED &
INTERCONNECTED SMOKE DETECTOR
TO AS3786-2014 & BCA PART 3.7.2

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|---------|--------------------|
| D1
○ | DOWNLIGHT |
| D2
○ | EXTERNAL DOWNLIGHT |
| ◁ | FLOOD LIGHT |

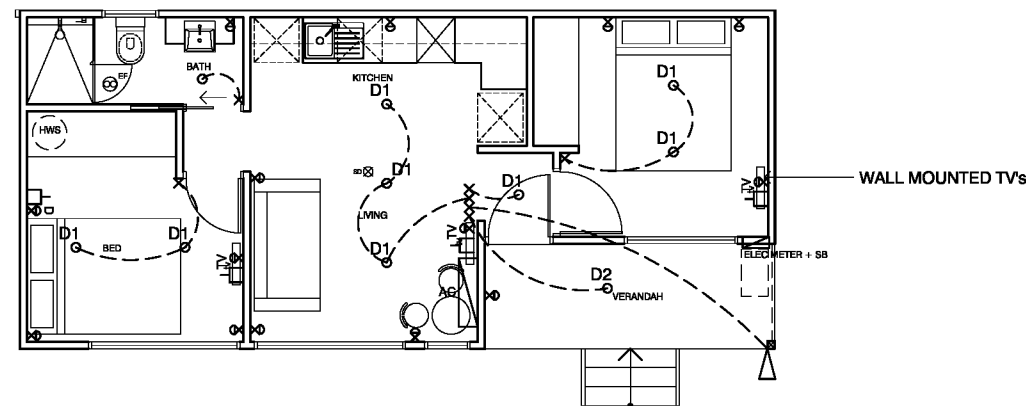
PROVIDE POWER TO ALL KITCHEN APPLIANCES

TV POINT / FOXTEL CABLE POINT WITH POWER POINT TO BE MOUNTED AT 1200mm AFFL

POWER POINT TO BE MOUNTED GENERALLY AT 300mm AFFL AND 150mm ABOVE BENCHTOP

LIGHT SWITCH TO BE MOUNTED AT 1200mm AFFL

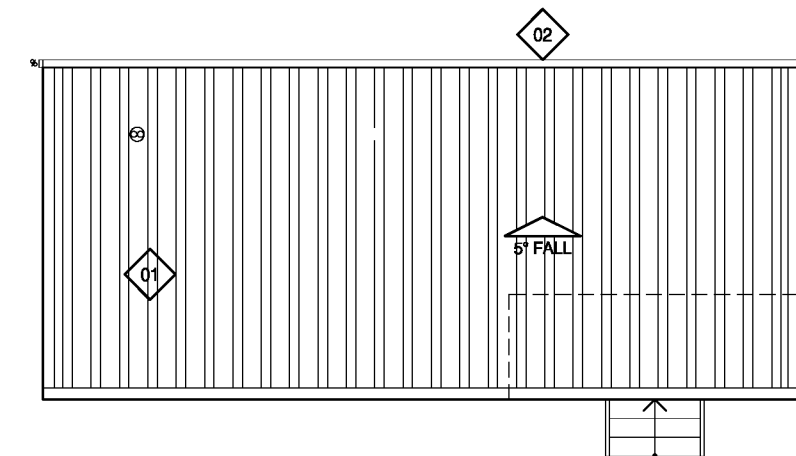
ALL WIRING INSTALLATION IN ACCORDANCE WITH AS/NZS 3000:2007





01 REFLECTED CEILING PLAN
- SCALE 1:100

- 01** 'CUSTOM ORB' COLORBOND STEEL SHEET ROOF AT ROOF PITCH INDICATED TO MANUFACTURERS SPECIFICATION

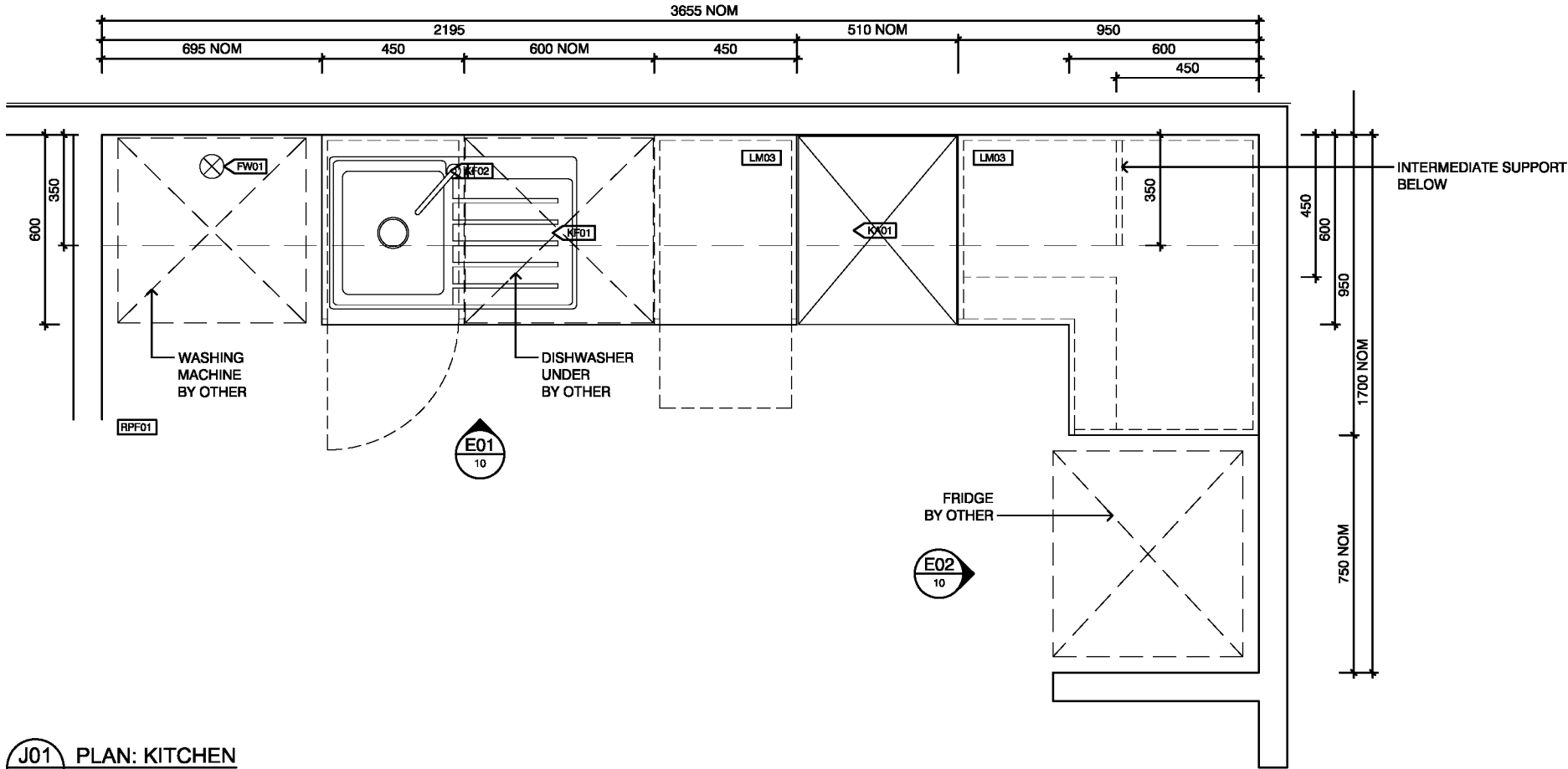
02 COLORBOND FASCIA GUTTER, CONCEALED FIXING TO MANUFACTURERS SPECIFICATION WITH 100 x 50 COLORBOND DOWNPIPE



01 ROOF PLAN
- SCALE 1:100

1. ALL LEVELS AND DIMENSIONS MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK.			CONSULTANTS			PROJECT TITLE. BRV - 2 BEDROOM			DRAWING TITLE. REFLECTED CEILING PLAN ROOF PLAN			PROJECT NORTH. 			JULIE-ANNE SMITH LINDSAY DOUGLAS ARCHITECT REG 5833 10. 27 401 DOCKLANDS DRIVE DOCKLANDS VICTORIA 3008 T. 03 9077 2662 W. digdesign.net.au E. info@digdesign.net.au © Copyright Reserved Douglas Smith Pty Ltd			 DESIGN Printed 12/08/20					
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PROJECT TITLE.

BRV - 2 BEDROOM

DRAWING TITLE.

KITCHEN

PROJECT NO. 20 010
SCALE. 1:20 @A3 size
DATE. JUNE 2020
DRAWING NO. 09



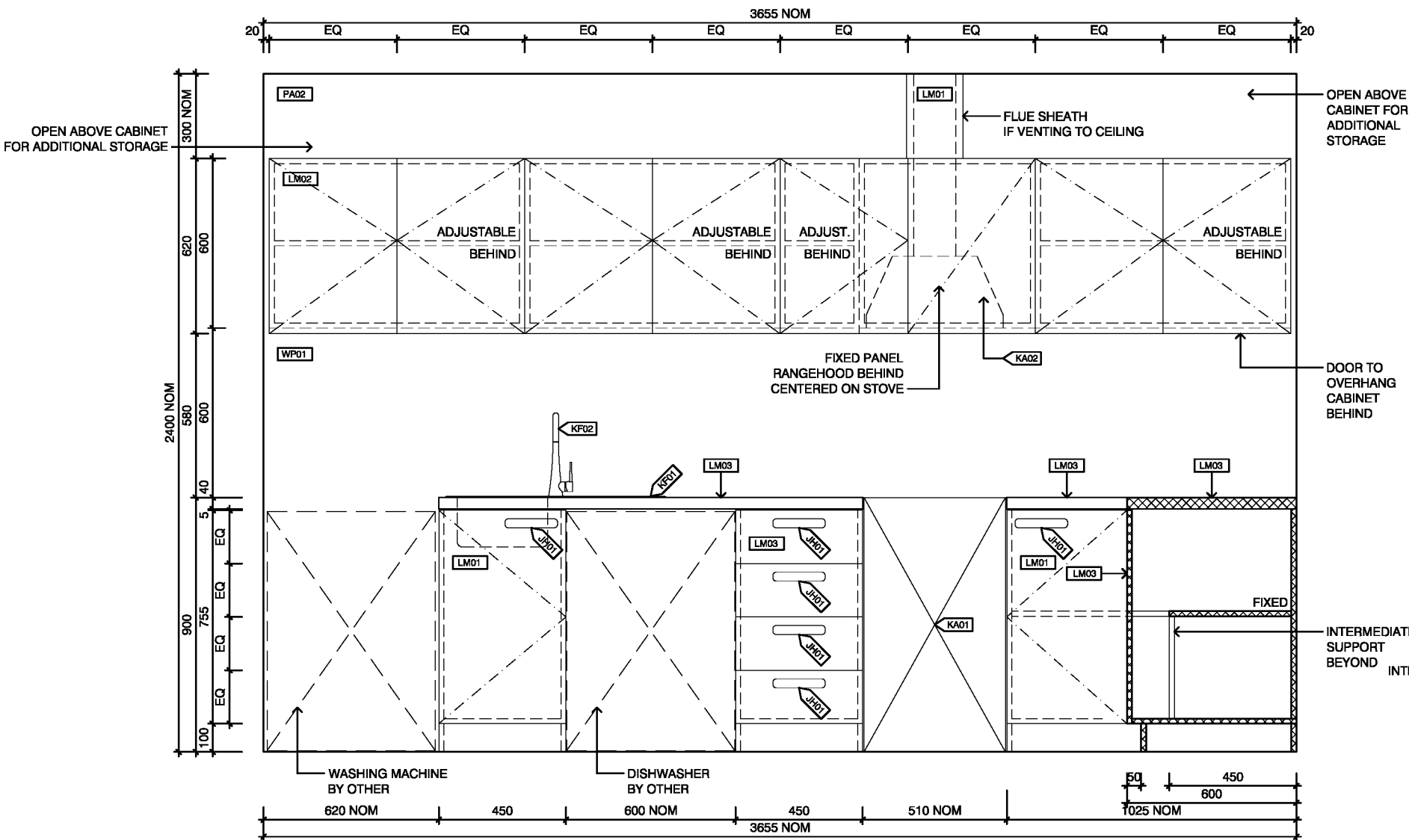
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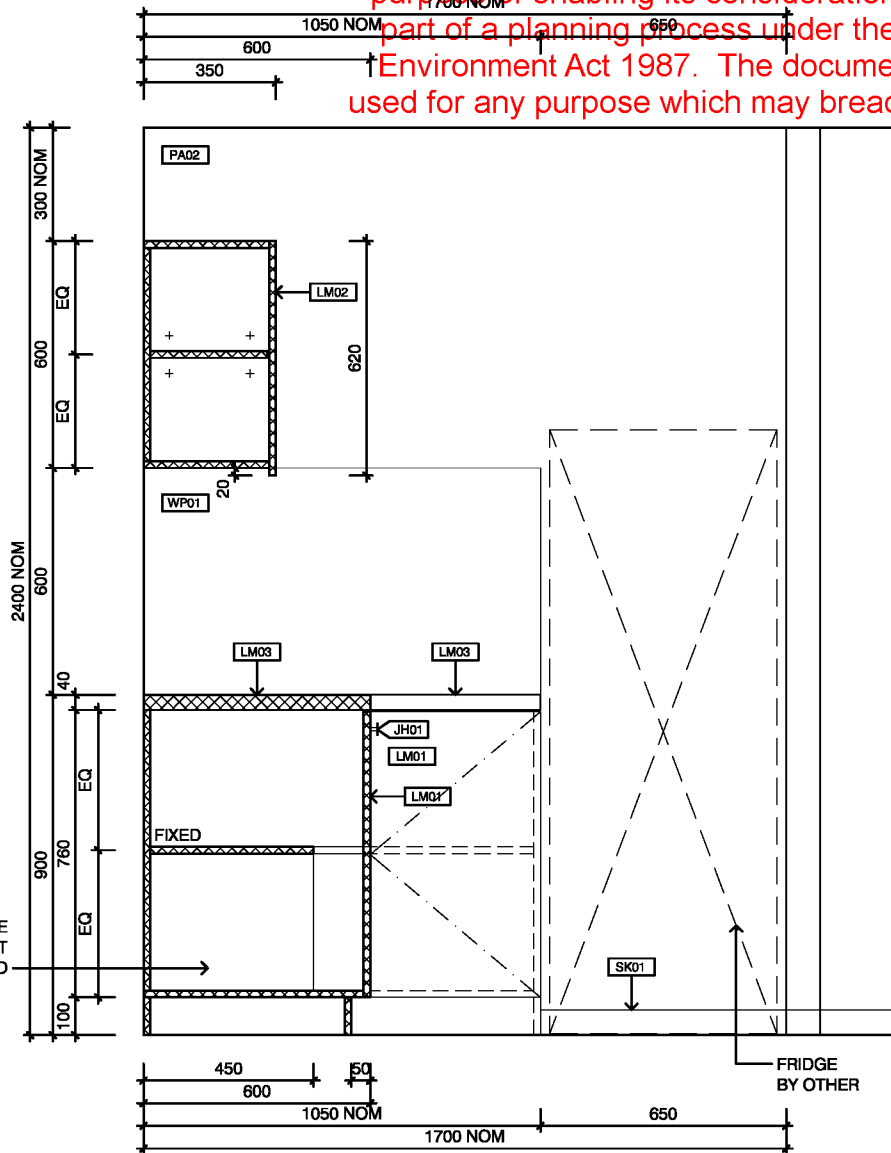
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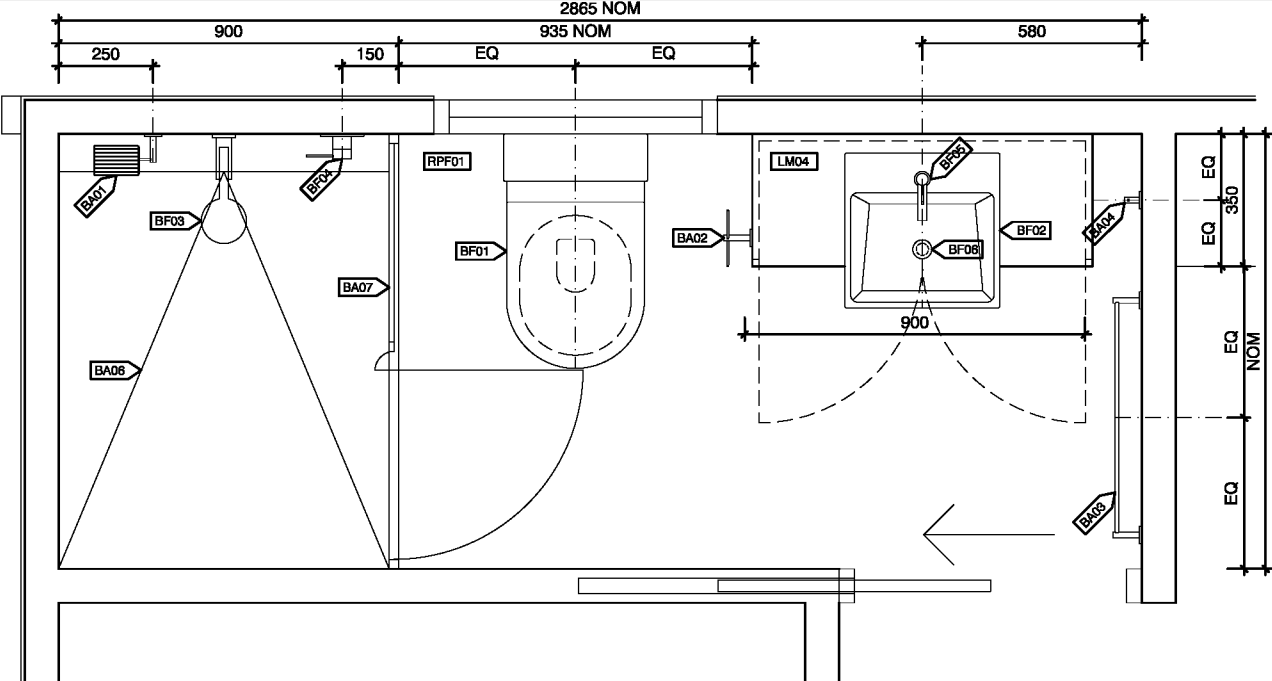
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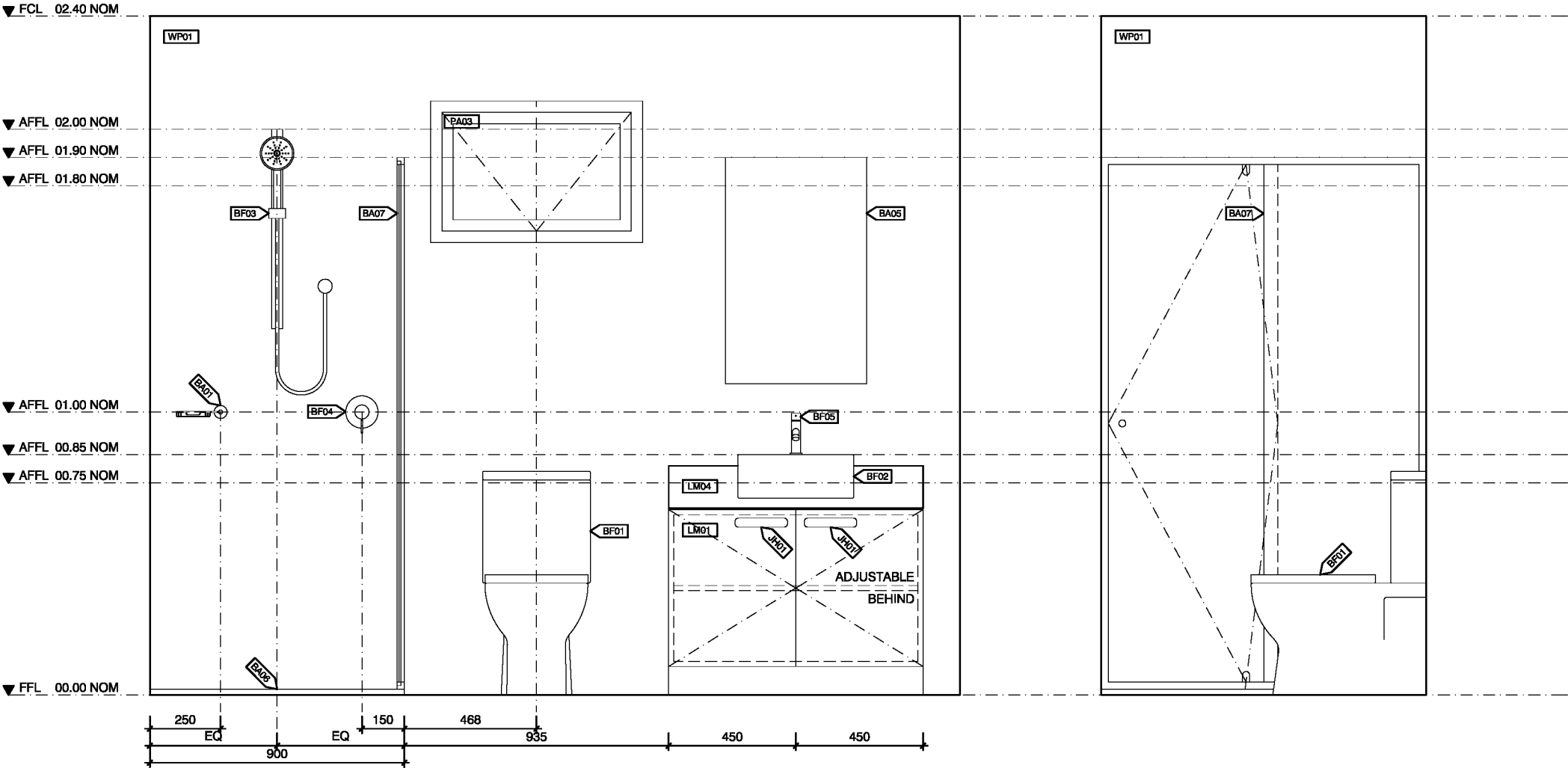
E02 ELEVATION: KITCHEN
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J02 PLAN: BATHROOM
SCALE 1:20



E01 ELEVATION: BATHROOM
SCALE 1:20

E02 ELEVATION: BATHROOM
SCALE 1:20

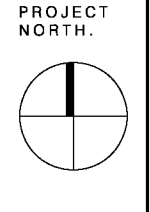
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NO.	DATE.	DETAILS.
AMENDMENTS.		

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PROJECT TITLE.
BRV - 2 BEDROOM
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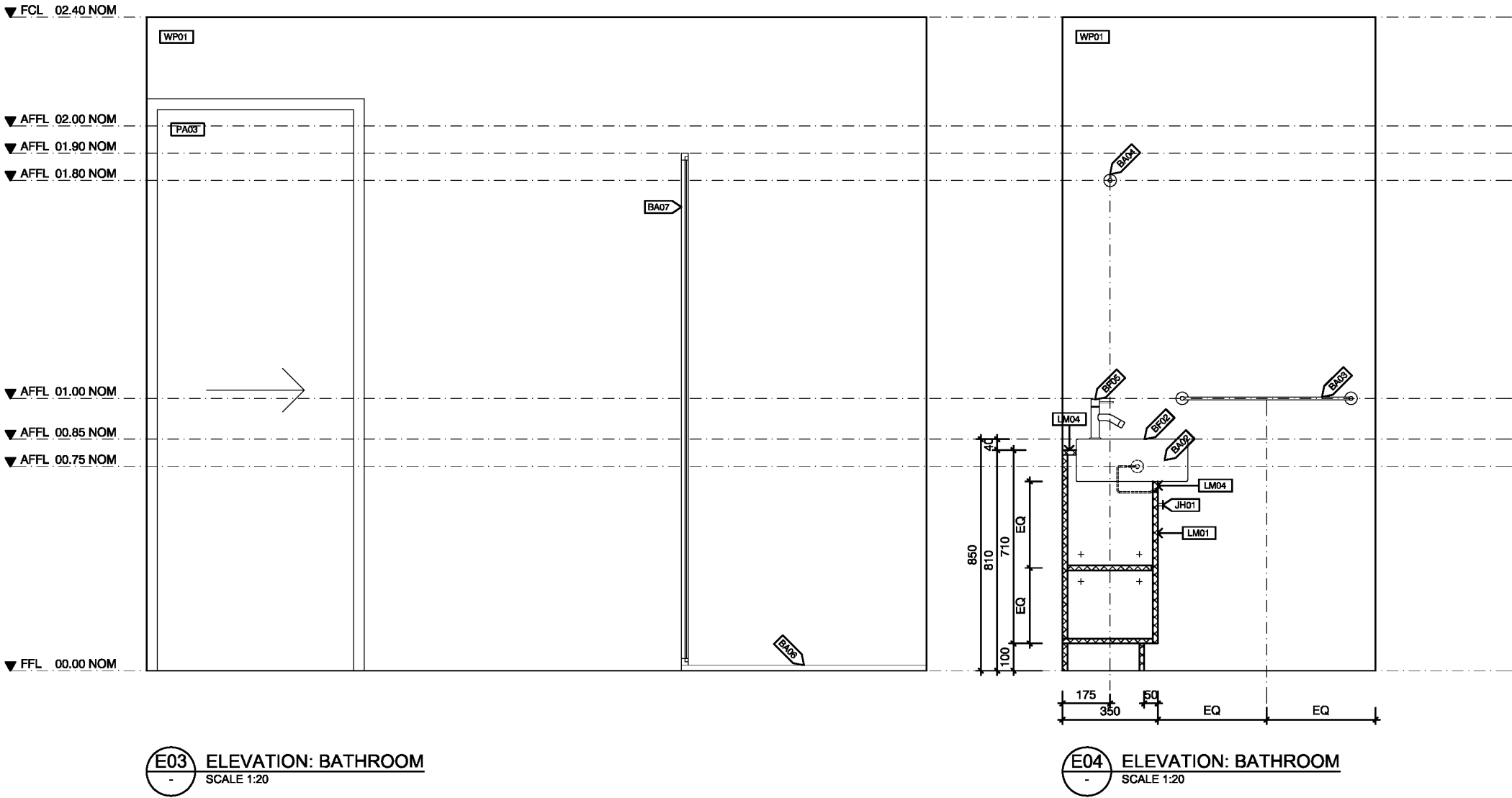
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BATHROOM
PROJECT NO.
20 010
SCALE.
1:20 @A3 size
DATE.
JUNE 2020
DRAWING NO.
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E03 ELEVATION: BATHROOM
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E04 ELEVATION: BATHROOM
SCALE 1:20

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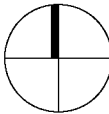
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DRAWING TITLE.

BATHROOM

PROJECT NO. 20 010
SCALE 1:20 @A3 size
DATE JUNE 2020
DRAWING NO. 12

PROJECT NORTH.



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LINDSAY DOUGLAS
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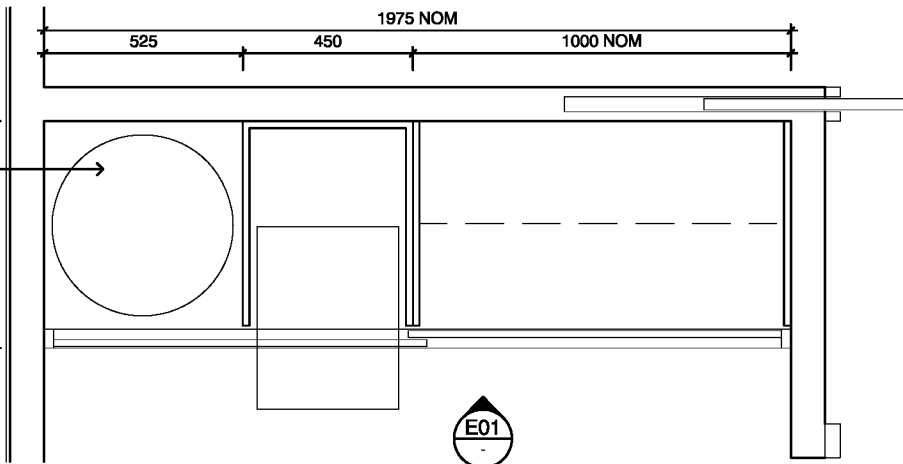
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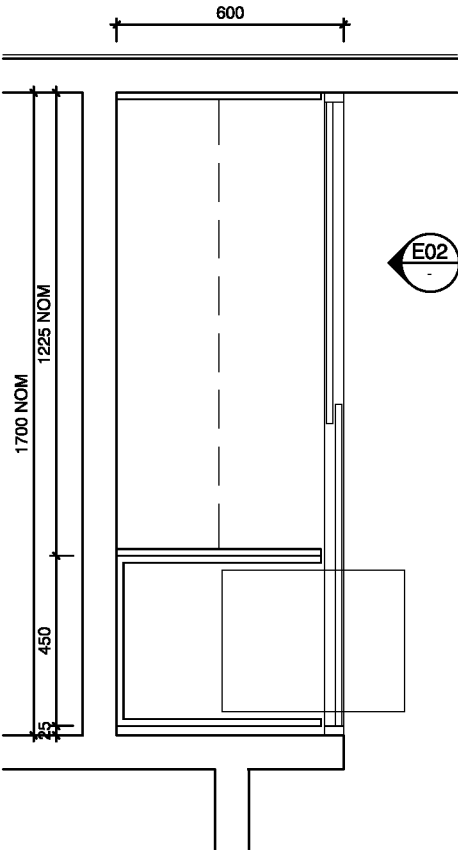
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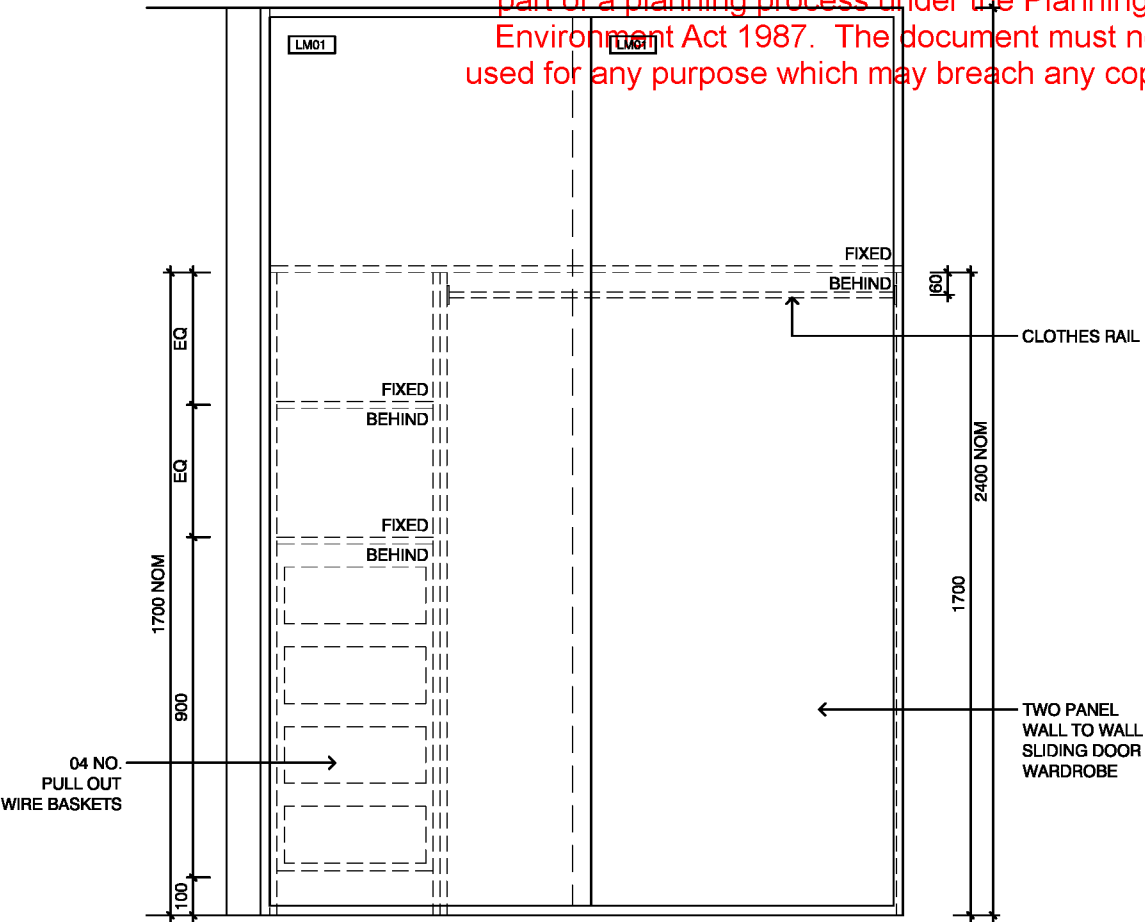
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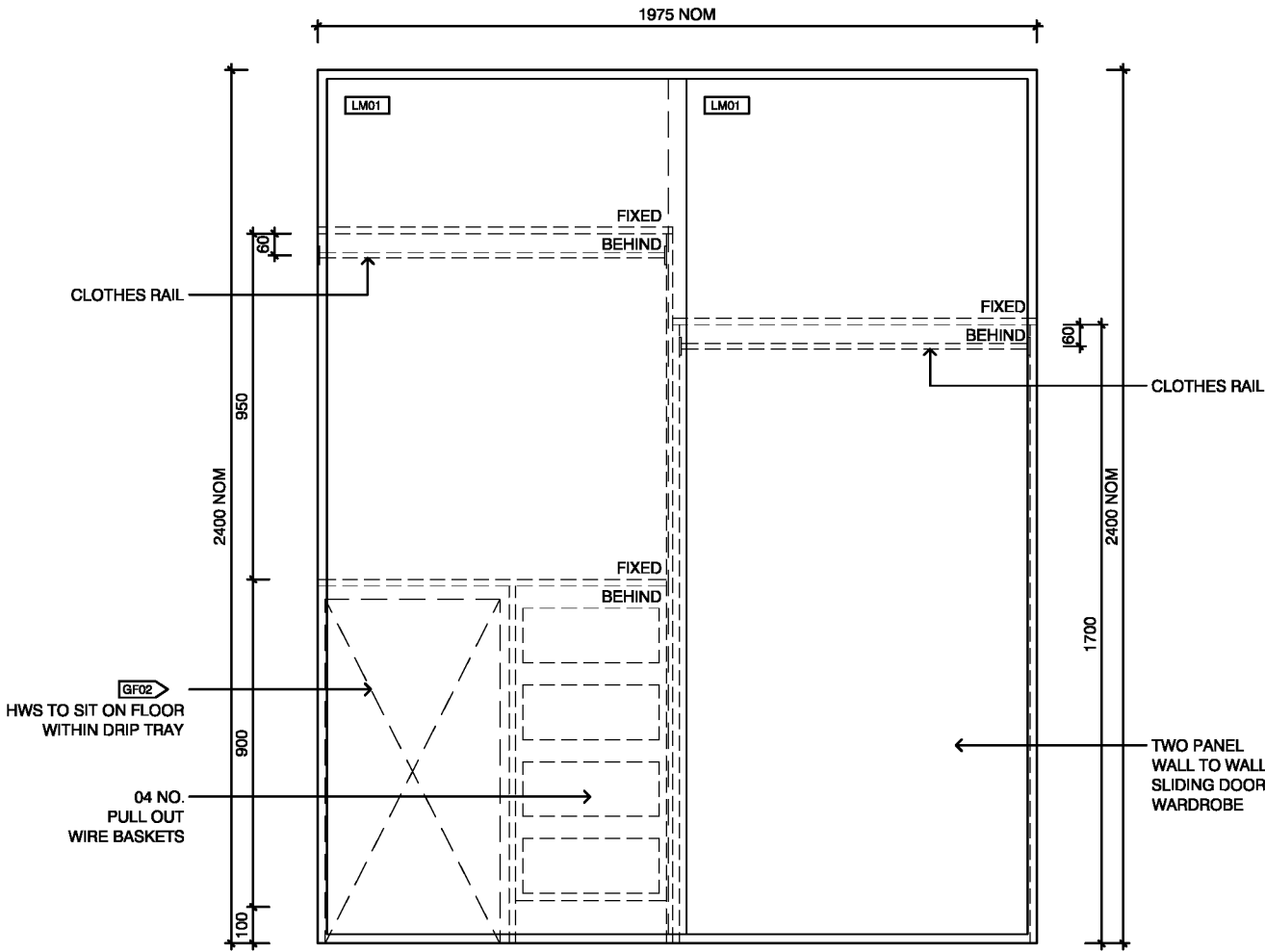
J03 PLAN: ROBE
SCALE 1:20



J04 PLAN: ROBE
SCALE 1:20

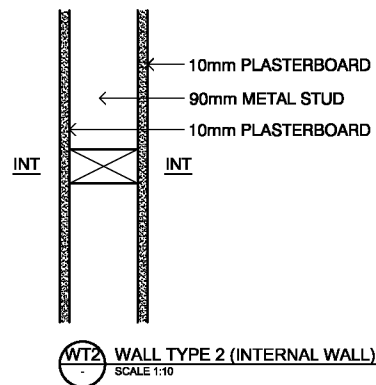


E02 ELEVATION: ROBE
SCALE 1:20



E01 ELEVATION: ROBE
SCALE 1:20

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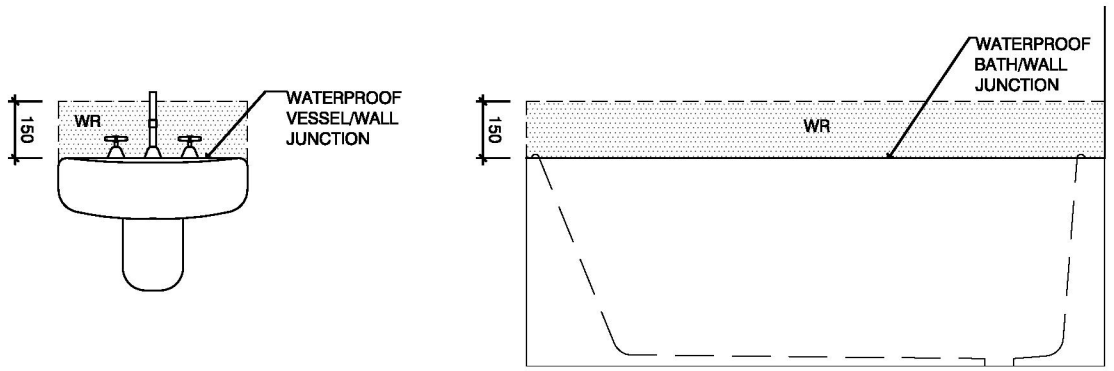
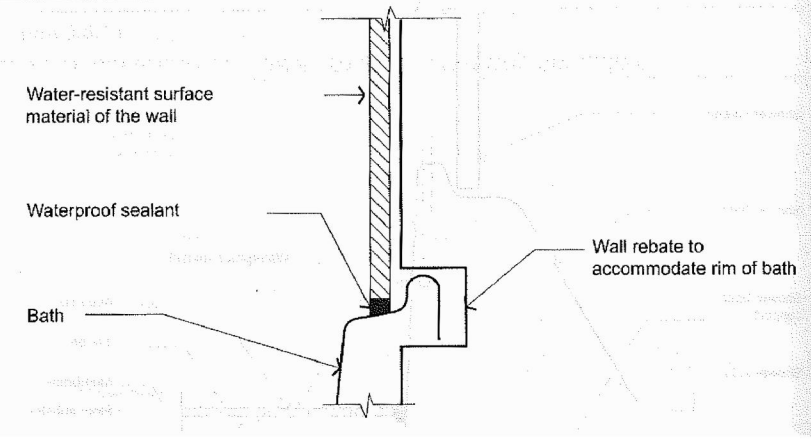
PROJECT NO.	20 010
SCALE.	1:10 @A3
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DRAWING NO.	S1

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Figure 3.8.1.8
TYPICAL BATH JUNCTIONS
Diagram a Bath/wall junction - recessed



D1 GENERAL WATERPROOFING DETAILS
SCALE 1:20

BCA Figure 3.8.1.5
BATH + VESSEL ABUTTING WALL - AREAS TO BE PROTECTED

Figure 3.8.1.2
UNENCLOSED SHOWERS ABOVE BATHS – AREA PROTECTED FOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING

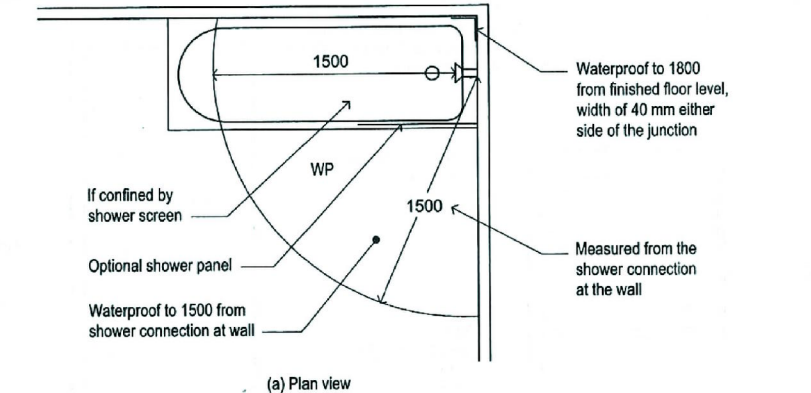
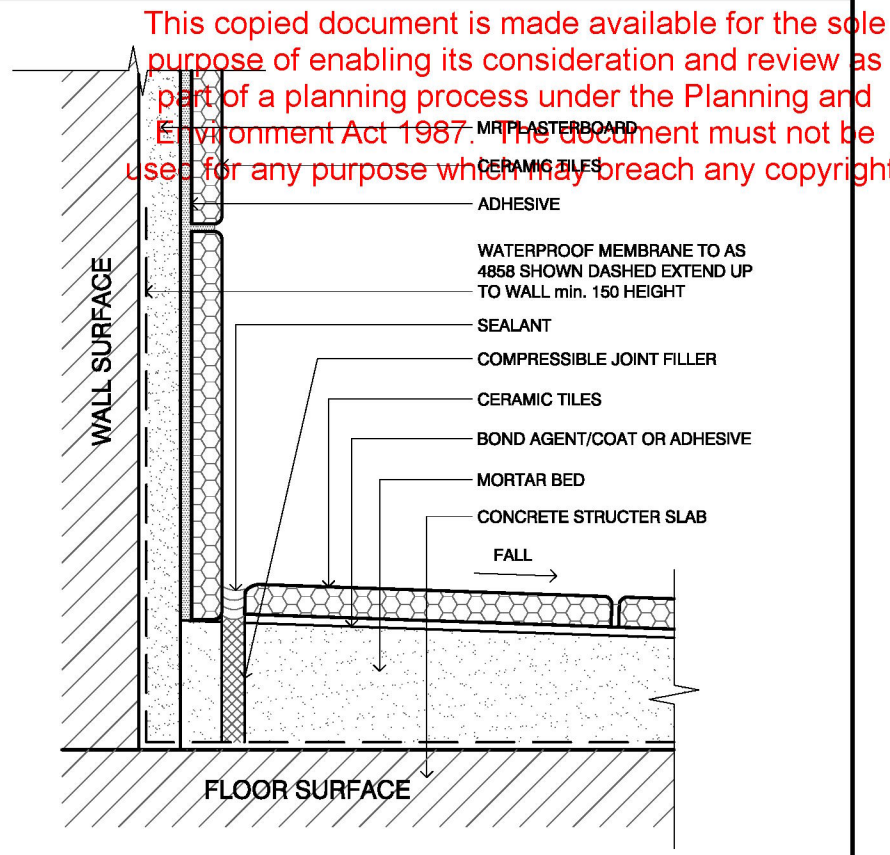
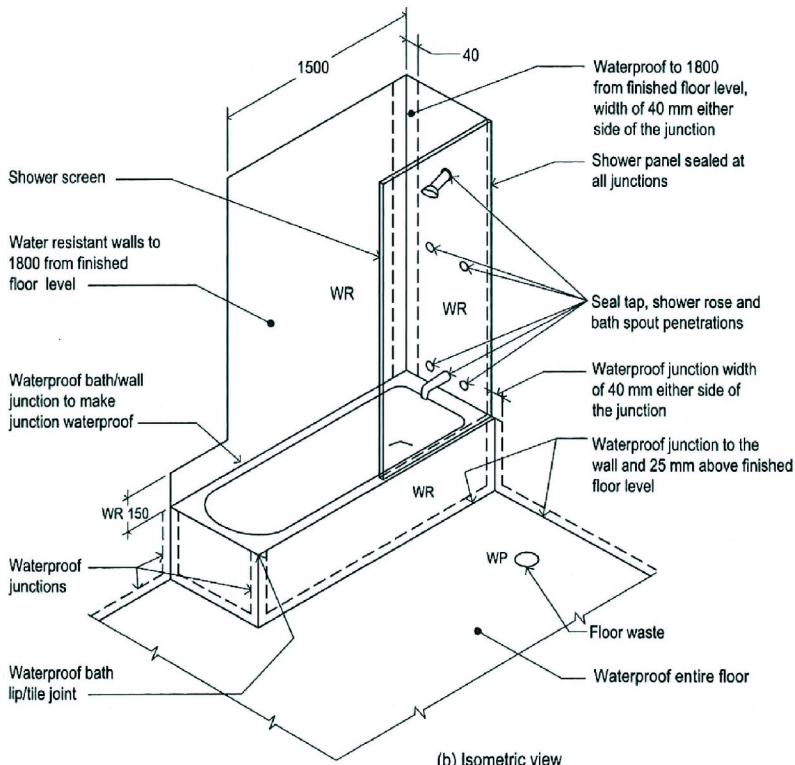
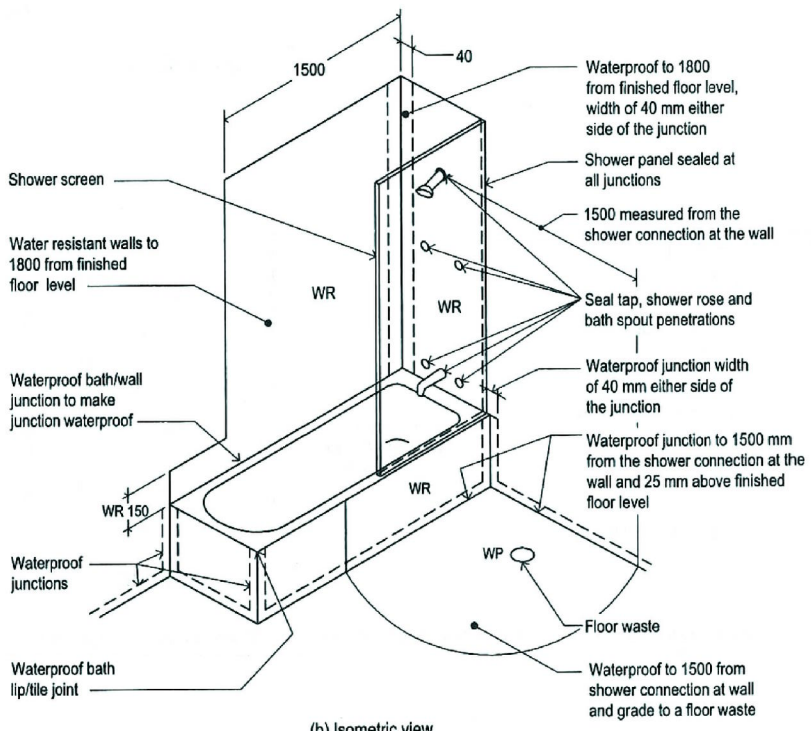
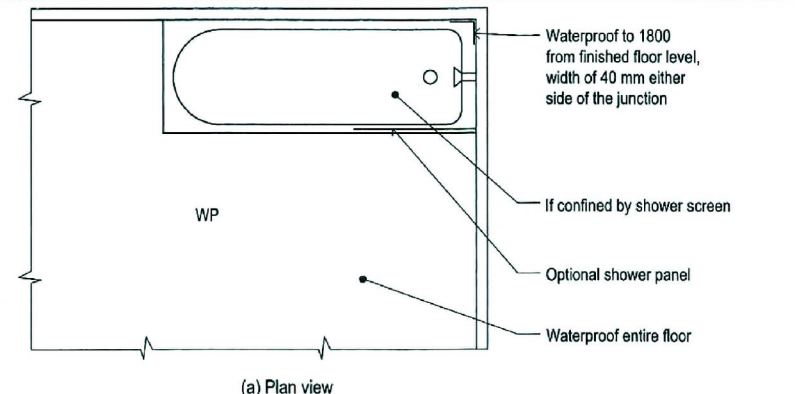
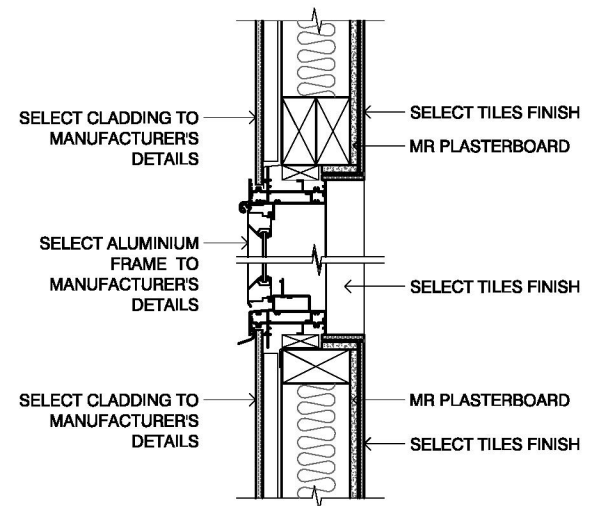


Figure 3.8.1.3
UNENCLOSED SHOWERS ABOVE BATHS – AREA PROTECTED FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER FLOOR MATERIALS



D2 WET AREA DETAIL
SCALE 1:2 TYPICAL



D3 TYPICAL WINDOW DETAIL AT WET AREA
SCALE 1:10 TYPICAL

WATERPROOFING
Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with current versions of standards including AS/NZS 1680.0-2009, AS3740-2010 + Part 3.8.1 of the BCA 2015 for wet areas.

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PROJECT TITLE.	
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DRAWING TITLE.	
STANDARD WET AREA	
PROJECT NO.	20010
SCALE.	AS- @A3
DATE.	AUGUST 2016
DRAWING NO.	S2

PROJECT NORTH.

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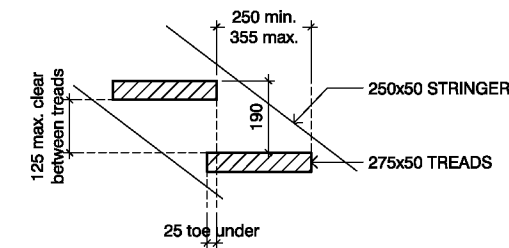
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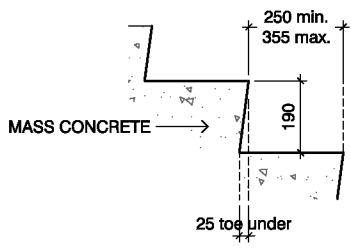
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TIMBER STAIR DETAIL
SCALE 1:50

- TIMBER STAIR:**
- SHALL HAVE MINIMUM THICKNESS OF 44mm
 - TO BE NOT LESS THAN 'F5' STRESS GRADE
 - CHECKING OF TREADS & STRINGERS SHALL BE ACCURATE AND NOT ALLOW MOVEMENT BETWEEN RECIPROCAL MEMBERS.

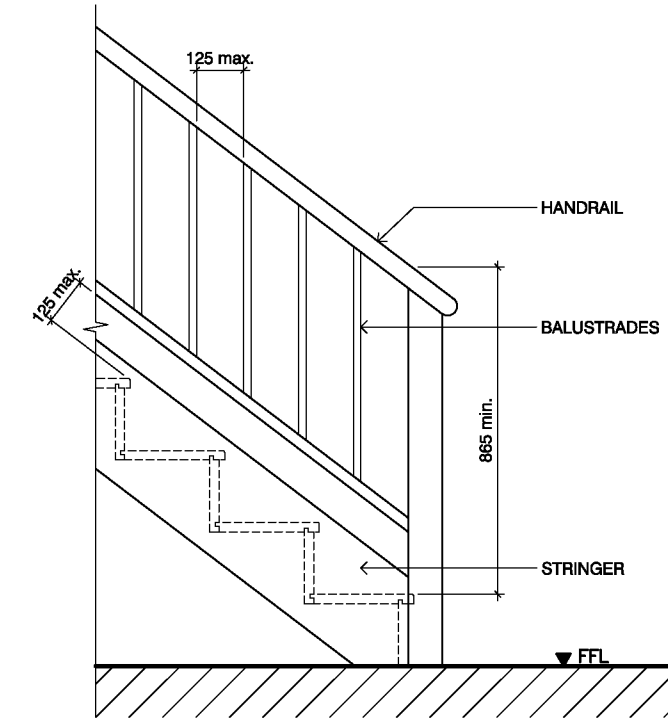


CONCRETE STEP DETAIL
SCALE 1:50

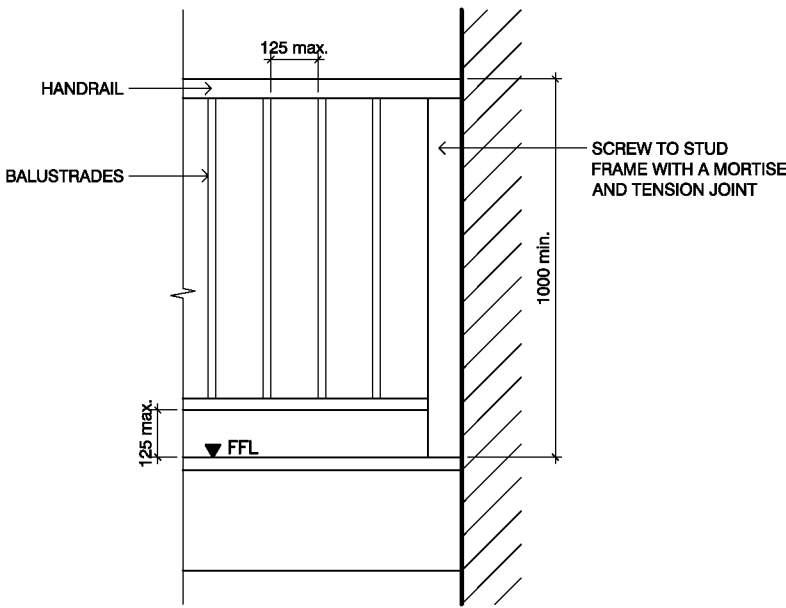
- CONCRETE STAIR:**
- SHALL BE 150 MINIMUM THICK, EXCLUSIVE OF TOPPINGS
 - SHALL BE OF MINIMUM 20 GRADE MASS CONCRETE
 - SHALL BE STEEL TROWELLED GRANOLITHIC FINISH

- STAIRS AND BALUSTRADES GENERAL NOTE:**
1. Stairs, stairways and balustrades to comply with BCA 3.9.1 and 3.9.2.
Stair requirements: (other than spiral stairs)
risers 190mm maximum, 115mm minimum;
going 355mm maximum; 240mm minimum;
private stairs (and 250mm for public stairs), risers and treads to be constant in size throughout flight.
 2. Provide nonslip finish or suitable non skid strip near edge of nosing. Ensure maximum gap between risers not to exceed 125mm or use closed risers. Provide continuous handrail 1000mm minimum.
 3. Height to balconies and decks which are 1000mm or more above ground level. 865mm minimum height handrail above stair nosing and landings.
 4. Maximum opening between balusters not to exceed 125mm.
 5. Continuous handrail to be installed to one side of stair compliant with Part 3.9.2.4 of the BCA 2015.
 6. Construction of wire balustrade to comply with BCA 3.9.2.3

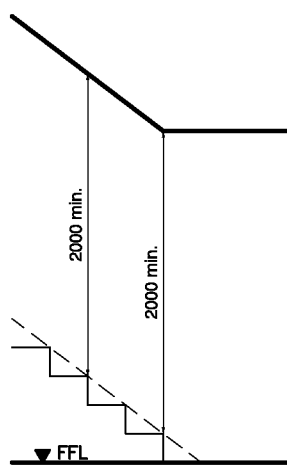
NOTE:
THESE ARE TYPICAL STAIR DETAILS.
DESIGN OF BALUSTRADES OR HANDRAILS
MAY DIFFER BUT THE MINIMUM AND
MAXIMUM HAVE TO REMAIN



BALUSTRADE DETAIL
SCALE 1:20



BALUSTRADE DETAIL
SCALE 1:20



STAIR HEAD HEIGHT DETAIL
SCALE 1:50

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BP01	23.06.20	BUILDING PERMIT ISSUE
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PROJECT TITLE.
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STANDARD STAIR DETAIL
PROJECT NO. 20 010
SCALE. -@A3
DATE. JUNE 2020
DRAWING NO. S3

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