

## NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	34 Houghton Crescent EAGLE POINT VIC 3878 Lot: 27 PS: 808314
The application is for a permit to:	Development of a Dwelling and Outbuilding
<b>A permit is required under the following clauses of the planning scheme:</b>	
<b>Planning Scheme Clause</b>	<b>Matter for which a permit is required</b>
43.02-2 (DDO)	Construct a building or construct or carry out works.
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2025.277.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ♦ **be made to the Responsible Authority in writing,**
- ♦ **include the reasons for the objection, and**
- ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to the applicant giving notice</b>
---	---

If you object, the Responsible Authority will tell you its decision.

**April McDonald**

---

**From:** Snapforms Notifications <no-reply@snapforms.com.au>  
**Sent:** Thursday, 14 August 2025 2:05 PM  
**To:** Planning Unit Administration  
**Subject:** Planning Permit application  
**Attachments:** APPENDIX A Copy of Title.PDF; APPENDIX A Copy of Plan.PDF; APPENDIX A Agreement AK796785G.PDF; APPENDIX B Shed Plans.pdf; APPENDIX B Development Plans.pdf; 25066 Planning Submission.pdf; Letter To Council.pdf; Planning\_Permit\_Application\_2025-08-14T14-04-39\_27184547\_0.pdf

## Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

**Applicant name:** COURTNEY CAMPBELL

**Business trading name:** DEVELOPMENT SOLUTIONS VICTORIA PTY LTD

**Email address:** ADMIN@DEVSOLVIC.COM.AU

**Postal address :** 48 BAILEY STREET, BAIRNSDALE VIC 3875

**Preferred phone number:** 0351524858

**Owner's name:**

**Owner's business trading name (if applicable):**

**Owner's postal address:**

**Street number:** 34

**Street name:** HOUGHTON CRESCENT

**Town:** EAGLE POINT

**Post code:** 3878

**Lot number:** 27

**Plan number:** 808314X

**Other Legal Description:** VOL 12288 FOL 125

**Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?:** Yes

**Will the proposal result in a breach of a registered covenant restriction or agreement?:** No



**Existing conditions :** VACANT LAND

**Description of proposal :** DEVELOPMENT OF A DWELLING AND OUTBUILDING

**Estimated cost of development:** \$615,000

**Has there been a pre-application meeting:** No

**Your reference number:** 25066

**Full copy of Title:** [APPENDIX A Copy of Title.PDF](#), [APPENDIX A Copy of Plan.PDF](#)

**Covenants agreements:** [APPENDIX A Agreement AK796785G.PDF](#)

**Plans:** [APPENDIX B Shed Plans.pdf](#), [APPENDIX B Development Plans.pdf](#)

**Planning report:** [25066 Planning Submission.pdf](#)

**ExtraFile:** 1

**1. Supporting information/reports:** [Letter To Council.pdf](#)

**Invoice Payer:** DEVELOPMENT SOLUTIONS VICTORIA PTY LTD

**Address for Invoice:** 48 BAILEY STREET, BAIRNSDALE VIC 3875

**Invoice Email:** ADMIN@DEVSOLVIC.COM.AU

**Primary Phone Invoice:** 0351524858

**Declaration:** Yes

**Authority Check:** Yes

**Notice Contact Check:** Yes

**Notice check 2:** Yes

**Privacy Statement Acknowledge:** Yes

## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 3

VOLUME 12288 FOLIO 125

Security no : 124126606571Q

Produced 28/07/2025 04:23 PM

### LAND DESCRIPTION

Lot 27 on Plan of Subdivision 808314X.  
PARENT TITLE Volume 12179 Folio 723  
Created by instrument PS808314X Stage 3 25/02/2021

### REGISTERED PROPRIETOR

Estate Fee Simple  
Joint Proprietors

### ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AK796785G 20/12/2013

### DIAGRAM LOCATION

SEE PS808314X FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 34 HOUGHTON CRESCENT EAGLE POINT VIC 3878

### ADMINISTRATIVE NOTICES

NIL

eCT Control 19052X ENGEL & PARTNERS  
Effective from 01/12/2023

DOCUMENT END

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Document Assembled	<b>28/07/2025 16:23</b>

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EDITION 3

PS 808314X

COUNCIL NAME: EAST GIPPSLAND SHIRE COUNCIL

# PLAN OF SUBDIVISION

## LOCATION OF LAND

**PARISH:** BAIRNSDALE  
**TOWNSHIP:** \_\_\_\_\_  
**SECTION:** A  
**CROWN ALLOTMENT:** 57 & 58  
**CROWN PORTION:** \_\_\_\_\_  
**TITLE REFERENCE:** VOL 10827 FOL 857  
 VOL 10827 FOL 858  
**LAST PLAN REFERENCE:** LOT 1 & 2 ON TP846525F  
**POSTAL ADDRESS:** 65 EAGLE POINT ROAD,  
 (at time of subdivision) EAGLE POINT 3878  
**MGA CO-ORDINATES:** E: 559 850 **ZONE:** 55  
 (of approx centre of land in plan) N: 5805 240 **GDA 94**

## VESTING OF ROADS AND/OR RESERVES

IDENTIFIER	COUNCIL/BODY/PERSON
R1 ROAD	EAST GIPPSLAND SHIRE COUNCIL
R2 ROAD	EAST GIPPSLAND SHIRE COUNCIL
R3 ROAD	EAST GIPPSLAND SHIRE COUNCIL
R4 ROAD	EAST GIPPSLAND SHIRE COUNCIL
RESERVE No.1	EAST GIPPSLAND SHIRE COUNCIL
RESERVE No.2	AUSNET ELECTRICITY SERVICES PTY LTD
RESERVE No.3	EAST GIPPSLAND SHIRE COUNCIL
RESERVE No.4	EAST GIPPSLAND SHIRE COUNCIL

## NOTATIONS

**DEPTH LIMITATION** DOES NOT APPLY

### SURVEY:

This plan is based on survey.

### STAGING:

This is a staged subdivision.  
 Planning Permit No. 471/2016/P

This survey has been connected to permanent marks No(s). 374 & 375

In Proclaimed Survey Area No.

## NOTATIONS

## EASEMENT INFORMATION

**LEGEND:** A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	DRAINAGE	2	THIS PLAN	EAST GIPPSLAND SHIRE COUNCIL
E-2	SEWERAGE	SEE DIAG.	THIS PLAN	EAST GIPPSLAND REGION WATER AUTHORITY
E-3	DRAINAGE & SEWERAGE	SEE DIAG.	THIS PLAN	EAST GIPPSLAND SHIRE COUNCIL & EAST GIPPSLAND REGION WATER AUTHORITY

**Crowthen & Sadler Pty. Ltd.**

LICENSED SURVEYORS & TOWN PLANNERS  
 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875  
 P. (03) 5162 5011 E. [contact@rowthensadler.com.au](mailto:contact@rowthensadler.com.au)

SURVEYORS FILE REF: 17482

PAUL ANTHONY DWYER, VERSION 1

ORIGINAL SHEET  
 SIZE: A3

SHEET 1 OF 7 SHEETS

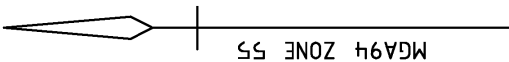
THIS IS A LAND USE VICTORIA  
 COMPILED PLAN  
 FOR DETAILS SEE MODIFICATION TABLE HERE

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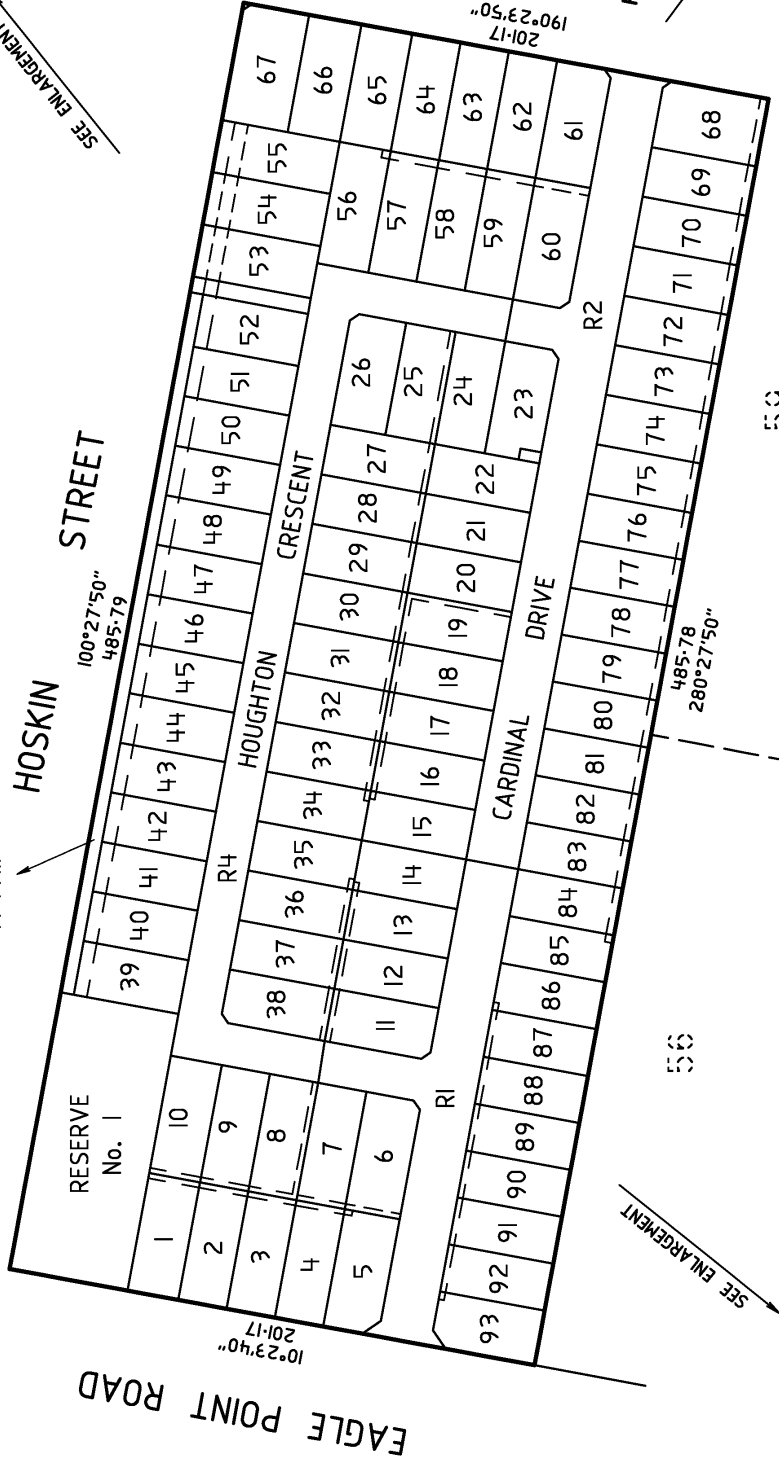
FOR ENLARGEMENT  
SEE SHEET 4

SEE ENLARGEMENT

RESERVE No.3  
FOR CONSERVATION PURPOSES  
1343m<sup>2</sup>

FOR ENLARGEMENT  
SEE SHEET 5

SEE ENLARGEMENT



SEE ENLARGEMENT

FOR ENLARGEMENT  
SEE SHEET 3

FOR ENLARGEMENT  
SEE SHEET 6

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SURVEYORS REF  
17492

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LENGTHS ARE IN METRES  
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ORIGINAL SHEET  
SIZE: A3

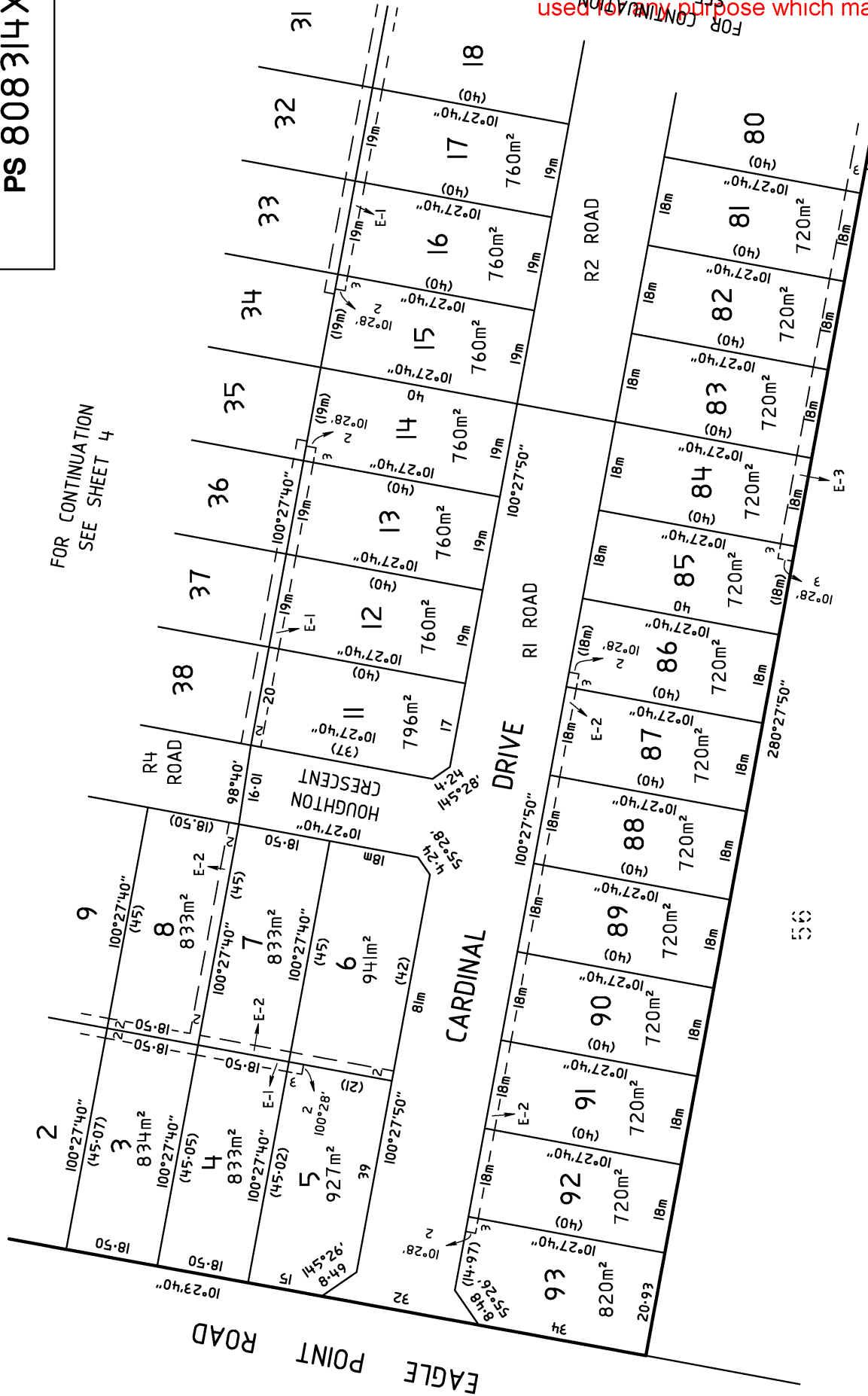
SHEET 2

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1:800

LENGTHS ARE IN METRES  
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ORIGINAL SHEET  
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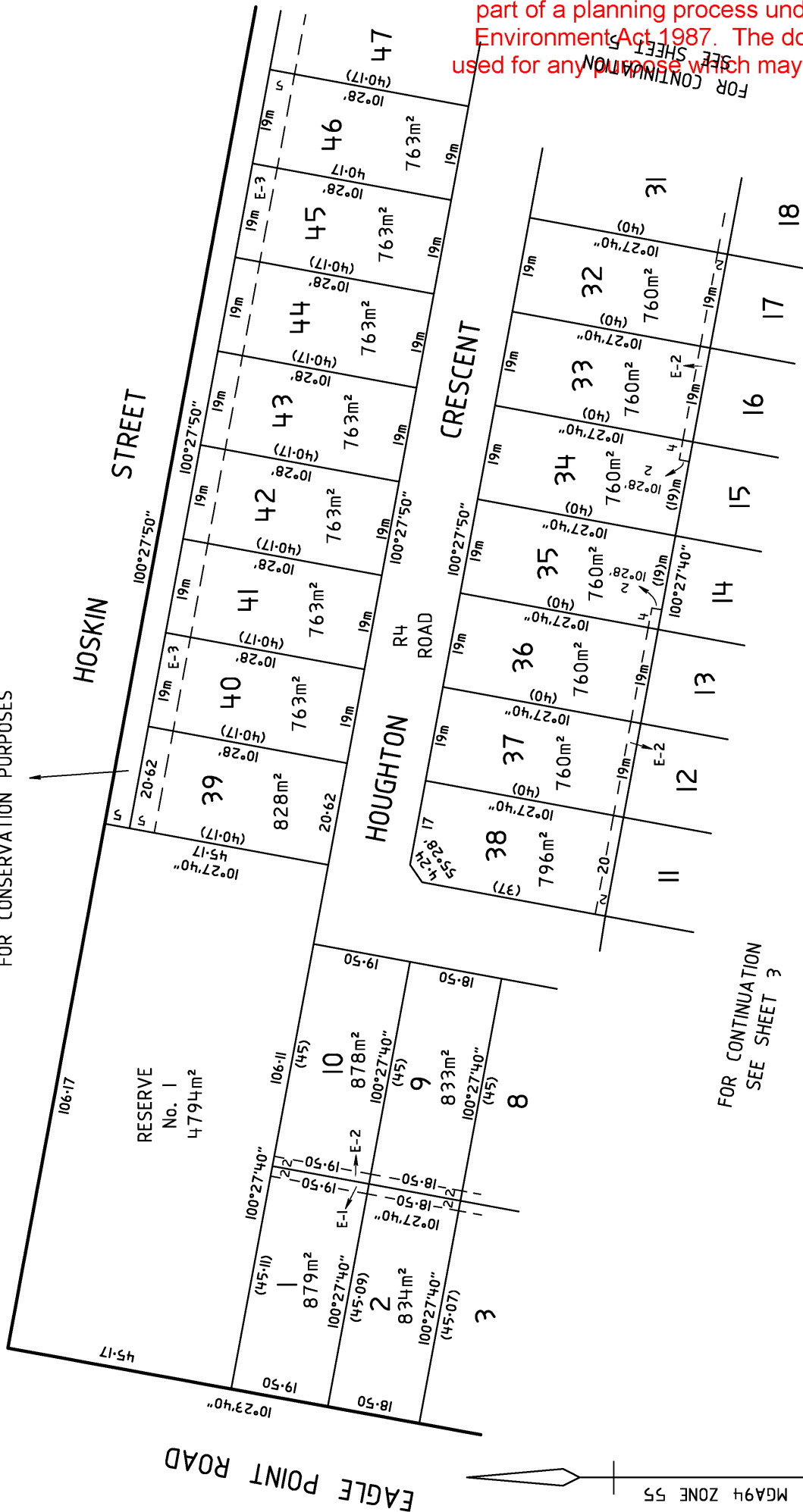
SHEET 3

PAUL ANTHONY DWYER, VERSION 1

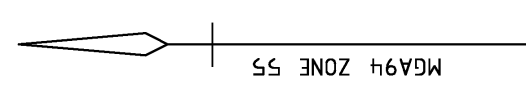
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RESERVE No. 3  
FOR CONSERVATION PURPOSES



FOR CONTINUATION  
SEE SHEET 3

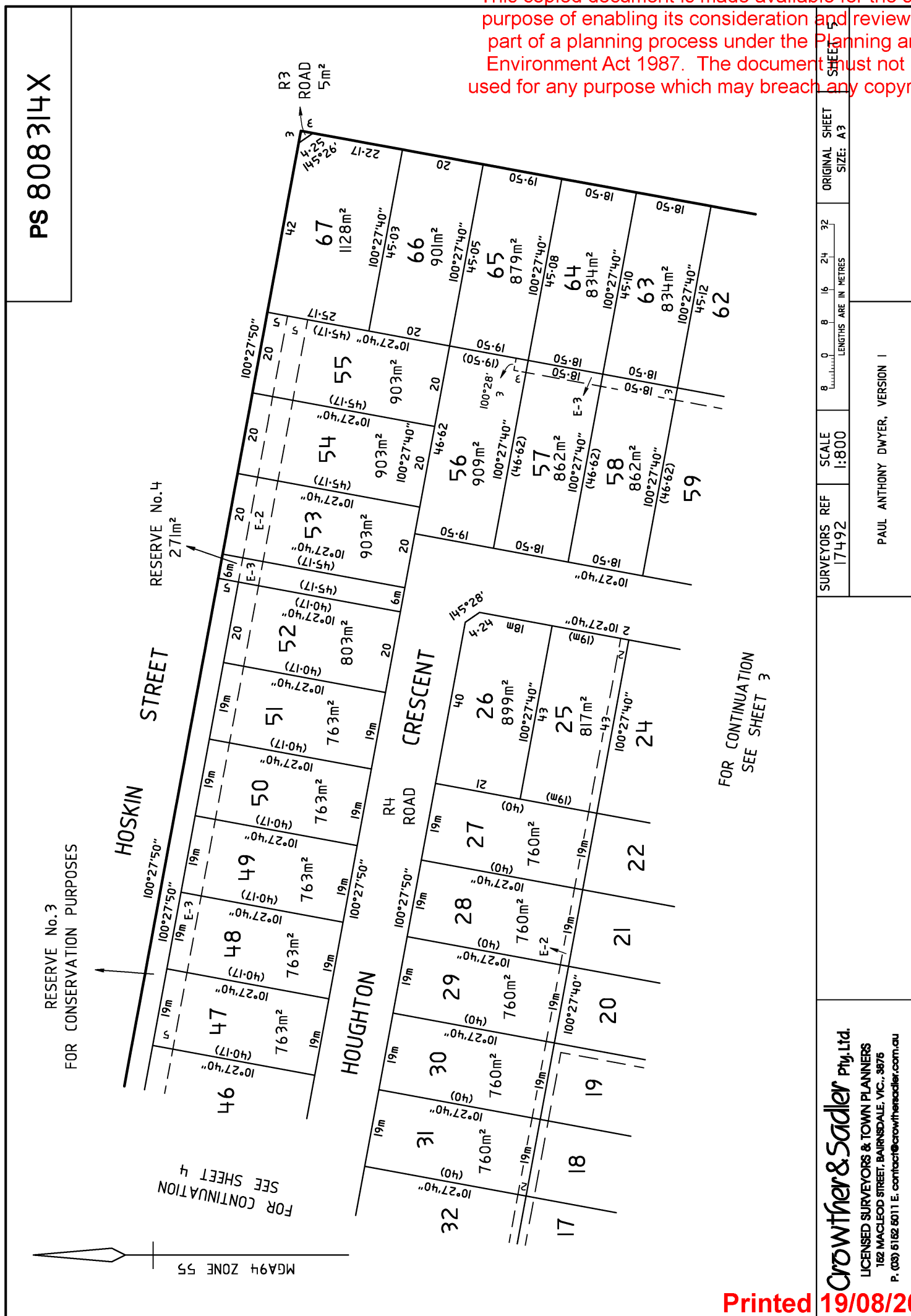


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			<div>PAUL ANTHONY DWYER, VERSION 1</div>						



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FOR CONTINUATION  
SEE SHEET 5

FOR CONTINUATION  
SEE SHEET 3

MGA94 ZONE 55

STREET

DRIVE

CARDINAL

HOUGHTON  
CRESCENT

R4  
ROAD

R2  
ROAD

RESERVE  
No. 2  
34m<sup>2</sup>

17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32

61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81

55

56

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SURVEYORS REF  
17492

SCALE  
1:800

LENGTHS ARE IN METRES  
8 16 24 32

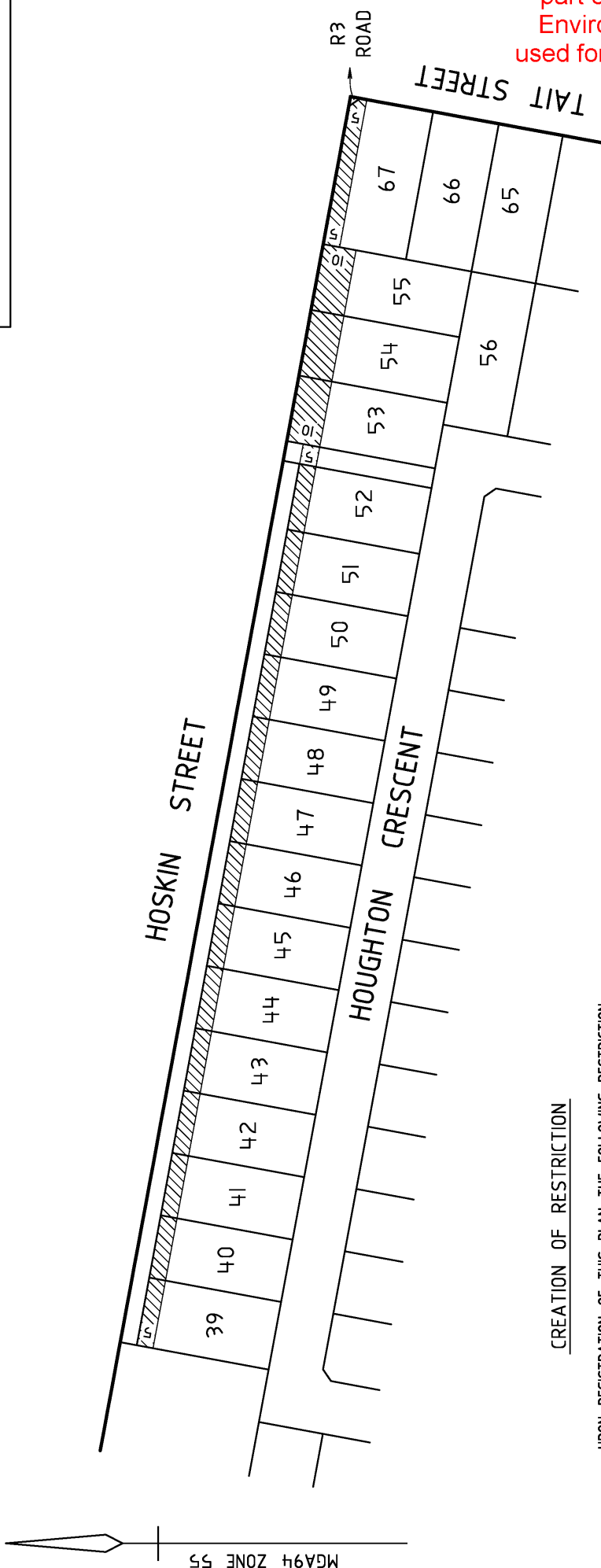
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ORIGINAL SHEET  
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SHEET 6

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## CREATION OF RESTRICTION

UPON REGISTRATION OF THIS PLAN THE FOLLOWING RESTRICTION  
IS TO BE CREATED AS DIRECTED IN PLANNING PERMIT No. 120/2009/P  
ISSUED BY EAST GIPPSLAND SHIRE COUNCIL

LAND TO BENEFIT:

LOTS 1-38 & LOTS 53-93 INCLUSIVE ON THIS PLAN

LAND TO BE BURDENED:

**LOTS 39-55 INCLUSIVE & LOT 67 ON THIS PLAN**

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY LOTS ON THIS PLAN OF SUBDIVISION SHALL NOT CONSTRUCT ANY BUILDING WITHIN THE AREA SHOWN HATCHED.

**Crowtner & Sadler** Pty. Ltd.

**LICENSED SURVEYORS & TOWN PLANNERS**  
152 MACLEOD STREET, BAIRNSDALE, VIC., 3875

P. (03) 5152 5011 E. [contact@crowthersadler.com.au](mailto:contact@crowthersadler.com.au)

SURVEYORS REF 17492	SCALE 1:250	<p>12.5 0 12.5 25 37.5 50 LENGTHS ARE IN METRES</p>	ORIGINAL SHEET SIZE: A3
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## RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

PS808314X

WARNING: THE IMAGE OF THIS DOCUMENT OF THE REGISTER HAS BEEN DIGITALLY AMENDED.  
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2012/2013 116 173

**Section 181**

**APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE MAKING OF A  
RECORDING OF AN AGREEMENT**

***Planning and Environment Act 1987***

Lodged by:

Name: Macpherson + Kelley Lawyers Pty Ltd  
Phone: 9794 2600  
Address: 40-42 Scott Street, Dandenong 3175  
Ref: PRM:CV 226163  
Customer Code: 1161S

The Authority having made an agreement referred to in section 181(1) of the *Planning and Environment Act 1987* requires a recording to be made in the Register for the land.

Land: Certificate of Title Volume 10827 Folio 857 and Volume 10827 Folio 858

Authority: East Gippsland Shire Council of 273 Main Street, Bairnsdale, 3875

Section and Act under which agreement made: Section 173 of the *Planning and Environment Act 1987*

A copy of the Agreement is attached to this Application.

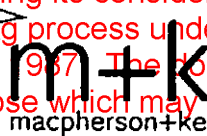
Signature for the Authority:

  
Aaron Hallow, Manager Development

Date: 13/12/2013

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**AK796785G**

20/12/2013

\$113

173



**AGREEMENT UNDER SECTION  
173 OF THE PLANNING AND  
ENVIRONMENT ACT 1987**

65 Eagle Point Road, Eagle Point, Victoria

**EAST GIPPSLAND SHIRE COUNCIL**  
("Council")

- and -

**AQUALINA PTY LTD ACN 133 932 635**  
("Owner")

Ref: PRM 226163

Version No: 1

V-2676744:1

**Macpherson+Kelley Lawyers**  
Website [www.mk.com.au](http://www.mk.com.au)  
Email [info@mk.com.au](mailto:info@mk.com.au)

**Victoria**  
Melbourne  
Dandenong

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Longreach

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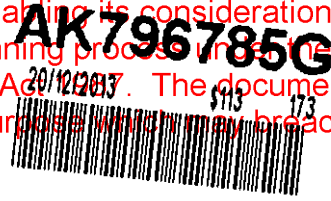
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## SCHEDULE



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## SCHEDULE

<b>Item 1 Owner</b>	AQUALINA PTY LTD ACN 133 932 635
<b>Item 2 Land</b>	65 Eagle Point Road, Eagle Point, Victoria being the whole of the land in Certificate of Title Volume 10827 Folio 857 and Volume 10827 Folio 858. Any reference to the Land in this Agreement includes any Lot created by the subdivision of the Land or any part of it.
<b>Item 3 Mortgage</b>	AG872783X
<b>Item 4 Commencement Date</b>	The date of this Agreement or if no date is specified the date of issue of the Permit
<b>Item 5 Termination Date</b>	The date on which Council provides written notice to the Owner that all the requirements of this Agreement have been fulfilled.
<b>Item 6 Address of Council</b>	273 Main Street, Baimsdale, Victoria 3875
<b>Item 7 Address of Owner</b>	Level 1, 20 Council Street, Hawthorn East 3122



DATED the *second*

day of *December*

2013

BETWEEN:

EAST GIPPSLAND SHIRE COUNCIL of 273 Main Street, Bairnsdale, Victoria 3875 ("Council")

AND:

The party referred to in Item 1 ("Owner")

## RECITALS

- A. Council is the Responsible Authority for administration of the Planning Scheme under the Act.
- B. The Owner is or is entitled to be the registered proprietor of the Land.
- C. Council has issued the Permit.
- D. The Permit allows for the subdivision of the Land into ninety-three (93) lots and to remove native vegetation in accordance with the Endorsed Plans.
- E. Condition 10 of the Permit provides that prior to the issue of the statement of compliance the Owner must enter into an agreement with Council under Section 173 of the Act, to provide for the matters referred to in that condition.
- F. Council and the Owner have agreed to enter into this Agreement to:
  - (a) give effect to Condition 10 of the Permit; and
  - (b) achieve and advance the objectives of planning in the State of Victoria and the objectives of the Planning Scheme.
- G. As at the date of the Agreement the Land is encumbered by the Mortgage.

## GENERAL TERMS

### 1. Definitions

In this Agreement the following words have the following meanings unless the contrary intention appears:

"Act" means the *Planning and Environment Act 1987 (Vic)*;

"Agreement" means this agreement

"Commencement Date" means the date in Item 4;

"Dwelling" has the same meaning as in the Planning Scheme;

"Endorsed Plans" means the plans of the Land approved by Council from time to time to form part of the Permit;

"Item" means an item in the Schedule;

**AK796785G**

20/12/2013 \$113 173



AK796785C



**"Land"** means the land described in Item 2;

**"Lot"** means any allotment created by the subdivision of the Subject Land whether in accordance with the Planning Permit or otherwise;

**"Mortgage"** means the mortgage described in Item 3;

**"Owner"** means the person referred to in Item 1, and entitled from time to time to be registered as proprietor of an estate in fee simple of the Land or any part of it; and includes a mortgagee-in-possession

**"Permit"** means Planning Permit Number 120/2009/P/A Amended issued on 16 August 2010 as amended on 28 September 2011 and any subsequent amendment thereto;

**"Planning Approval"** means any planning permit issued in accordance with the Act;

**"Planning Scheme"** means the East Gippsland Planning Scheme and any other planning scheme which applies to the Land and includes any planning control in the form of or similar to a planning scheme;

**"Rainwater Tank"** means the rainwater tank to be installed on a Lot and includes an external tap for garden irrigation.

**"Schedule"** means the schedule forming part of this Agreement; and

**"Termination Date"** means the date in Item 5.

## 2. Interpretation

- 2.1 Unless the context provides otherwise, the singular includes the plural and the plural includes the singular.
- 2.2 A reference to a gender includes a reference to each other gender.
- 2.3 A reference to a person includes a reference to a firm, corporation or other corporate body.
- 2.4 A reference to a permit includes a reference to that permit and all amendments to that permit.
- 2.5 If the Owner comprises more than one person, this Agreement binds them jointly and each of them severally.
- 2.6 A reference to a law includes any law amending, consolidating or replacing it or any regulation made under that law.
- 2.7 All headings are for ease of reference only and are not to be taken into account in the construction or interpretation of this Agreement.
- 2.8 The recitals to this Agreement are and are taken to be part of this Agreement.
- 2.9 Any reference in this Agreement to the Council includes (where applicable) its agents, officers, employees, servants, workers and contractors.

AK796785G



**3. Agreement under Section 173 of the Act**

The Council and the Owner agree that, without limiting or restricting their respective powers to enter into this Agreement and as far as it may be treated, this Agreement is made as a deed under section 173 of the Act.

**4. Effect of Agreement**

**4.1 Commencement Date**

This Agreement commences on the Commencement Date.

**4.2 Planning objectives**

The parties acknowledge that the provisions of this Agreement are intended to achieve or to advance (or both) the objectives of planning in Victoria and the objectives of the Planning Scheme and any matters incidental to those objectives.

**4.3 Binding covenants**

The obligations of the Owner under this Agreement take effect as covenants which are annexed to and run at law and equity with the Land to bind the Owner and each successor, assignee or transferee of the Owner, the registered proprietor, the mortgagee in possession and the beneficial owner for the time being of the Land and every part of the Land.

**5. Successors in Title**

Without limiting the operation or effect of this Agreement, the Owner must, until such time as a memorandum of this Agreement is registered on the title to the Land, procure that the Owner's successors in title:

- 5.1 give effect to and do all acts and sign all documents which may be required for the Owner's successors to give effect to this Agreement; and
- 5.2 execute a deed agreeing to be bound by the terms of this Agreement as if the Owner's successors were named as the Owner under this Agreement.

**6. Covenants of the Owner**

The Owner covenants and agrees that:

**6.1 RainwaterTank**

Except with the prior written consent of Council, in the event that the development of a lot includes the construction of a Dwelling

- 6.1.1 the Owner of the Lot must, must at the Owner's full cost, install and maintain a Rainwater Tank on the Lot with

- (a) a minimum storage capacity of 10,000 litres;
- (b) an external tap for garden irrigation purposes; and

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- 6.1.2 the rainwater Tank must collect all rainwater run - off from the roof of the Dwelling and must be used as the primary water source for all ;
  - (a) toilet flushing; and
  - (b) laundry services.
- 6.2 must bring this Agreement to the attention of any mortgagee of the Land and of any assignee, transferee, lessee, licensee or occupier of the Land;
- 6.3 warrants that there are no mortgages, liens, charges or other encumbrances or leases or any rights of any person other than the Owner affecting the Land not disclosed by the usual searches or notified to Council in writing before the Commencement Date;
- 6.4 warrants that no part of the Land is subject to any rights obtained by adverse possession or to any easements or rights described or referred to in Section 42 of the *Transfer of Land Act 1958 (Vic)*;
- 6.5 consents and agrees to Council making application to the Registrar of Titles to record this Agreement on the certificate of title to the Land in the register in accordance with Section 181 of the Act and to do all things necessary to enable the recording to be made in the register, including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator; and
- 6.6 indemnifies and keeps indemnified Council against all costs, expenses, losses or damages which Council may sustain, incur or suffer or be or become liable for in respect of any suit, action, proceeding, judgment or claim brought by any person arising from or referable to the matters referred to in this Agreement or any breach of this Agreement,

all to the satisfaction of Council.

## 7. Costs

The Owner must pay, on demand, Council's costs and expenses (including legal and other consultants' expenses) of and incidental to:

- 7.1 the negotiation, preparation, execution, registration and enforcement or attempted exercise or enforcement of this Agreement or the ending of this Agreement as contemplated by Clause 14;
- 7.2 the administration and supervision of this Agreement by Council, except for administration and supervision which Council is obliged to carry out under its statutory duties; and
- 7.3 any request by the Owner for Council's consent or approval under this Agreement.

## 8. Notices

- 8.1 A notice or other communication required or allowed to be served by a party on another party must be in writing and must be served:



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- (a) by delivering it personally to that party;
- (b) by sending it by prepaid post addressed to that party at the address set out in Item 6 or Item 7 (as the case may be) or as subsequently notified to each party from time to time; or
- (c) by sending it by fax.

8.2 A notice or other communication is taken to be served:

- (a) if personally delivered, on the next business day following delivery;
- (b) if posted, on the expiry of two business days after the date of posting; or
- (c) if sent by fax, at the time recorded by the fax machine of the party sending the transmission, provided that:
  - (i) the transmission is successful and has been transmitted in its entirety; and
  - (ii) if the time recorded is after 5.00pm, the time is taken to be 9.00am on the first business day following transmission.

**AK796785G**



## 9. Further Assurance

Each party to this Agreement must sign and execute all further documents and do all acts and things as may be required by Council to give effect to the terms and conditions in this Agreement.

## 10. No Fettering of Council's Powers

The Owner acknowledges that this Agreement does not fetter, limit or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the grant of any Planning Approval or certification of any plans of subdivision applicable to the Land or relating to any use or development of the Land.

## 11. Waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner does not in any way amount to a waiver of any of the rights or remedies of Council under this Agreement.

## 12. Severability

If a court, arbitrator, tribunal or other competent authority determines that any part of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement remain operative.

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**13. Governing Law**

This Agreement takes effect, is governed by and to be construed in accordance with the laws from time to time in force in the State of Victoria.

**14. Ending of Agreement**

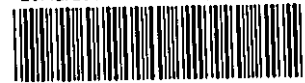
14.1 This agreement ends on the Termination Date.

14.2 As soon as reasonably practicable after this Agreement has ended Council may (but is not obliged) at the request and cost of the Owner make application to the Registrar of Titles under Section 183(2) of the Act to cancel the recording of this Agreement in the register.

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**AK796785G**

20/12/2013 \$113 173



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AK796785G



**EXECUTED** as a Deed:

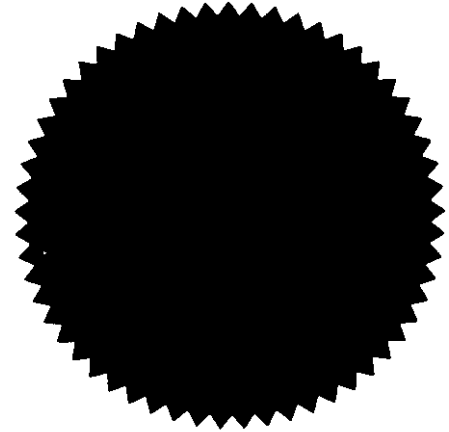
THE COMMON SEAL of the EAST  
GIPPSLAND SHIRE COUNCIL was affixed on  
behalf of the Council in the presence of a  
Councillor and the Chief Executive Officer

Councillor

Name of Councillor

Chief Executive Officer

Steve Kozlowski  
Name of Chief Executive Officer 02/12/13



**EXECUTED** by AQUALINA PTY LTD (ACN 133  
932 635) in accordance with the Corporations Act

Signature of Director

**MICHAEL JOSEPH CORCORIS**

Name of Director

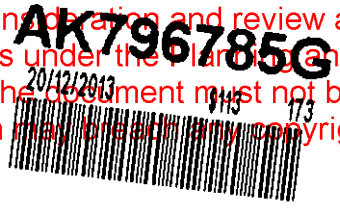
Signature of Director

**MARK ANTHONY REDFORD**

Name of Director

ADVERTISED

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## MORTGAGEE CONSENT

RMBL INVESTMENTS LIMITED as mortgagee under registered mortgage number AG872783X, consents to this Agreement.

EXECUTED by RMBL INVESTMENTS LIMITED )  
(ACN ) in accordance with the *Corporations Act* )

Signature of Director

**Surinder Gurdial**

Name of Director

Signature of Director/Secretary

**COLIN HENRY MADDEN**

Name of Director/Secretary





AUG  
20  
25



APPLICATION FOR PLANNING PERMIT

**DEVELOPMENT OF A DWELLING AND  
OUTBUILDING**

34 HOUGHTON CRESCENT, EAGLE POINT

REF: 25066

## CONTENTS

1	Introduction	4
2	Site Context	5
3	The Proposal	10
4	Zones and Overlays	12
5	Planning Assessment	16
6	Conclusion	18

## APPENDIX

- A Copy of Title and Plan of Subdivision
- B Proposed Development Plans

## DOCUMENT REVISION

1	Draft Report	DAC	12/08/2025
2	Final Report	CMC	13/08/2025



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Printed 19/08/2025

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## 1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of the owners of land and the applicants for this planning permit application for the development of a dwelling and outbuilding at 34 Houghton Crescent, Eagle Point.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

Planning approval is required for the proposed development of a dwelling and outbuilding under the provisions of the Design and Development Overlay as the total building footprint will exceed 300m<sup>2</sup>.

The proposal will result in a new residential dwelling and outbuilding within an existing residential area of Eagle Point.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

Address	34 Houghton Crescent, Eagle Point
Site Description	Lot 27 on Plan of Subdivision 808314X
Title Particulars	Vol 12288 Fol 125
Site Area	760m <sup>2</sup>
Proposal	Development of a Dwelling and Outbuilding
Planning Scheme	East Gippsland Planning Scheme
Zone	General Residential Zone – Schedule 1
Overlays	Design and Development Overlay – Schedule 11
Aboriginal Cultural Heritage	Not identified as an area of Cultural Heritage Sensitivity
Permit Triggers	Clause 43.02-2 Design and Development Overlay - Buildings and Works
Notice	No Exemptions Available
Referrals	No referrals required
Work Authority Licence	Not Applicable
Planning Scheme requirements	Municipal Planning Strategy – Clause 02 Settlement – Coastal settlements – Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Planning Policy Framework – Clause 10 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Built environment and heritage – Clause 15 Housing – Clause 16 Design and Development Overlay - Clause 43.02 Decision guidelines – Clause 65

## 2. SITE CONTEXT

### Site

The subject site is located at 34 Houghton Crescent, Eagle Point. A copy of the Title and Plan of Subdivision is contained in **Appendix A**. The title is affected by a Section 173 Agreement registered on title as AK796785G. There is a 2 metre wide sewerage easement along the southern boundary of the site.

### AK796785G

This agreement requires the landowner to install a rainwater tank with a 10,000 litre capacity and be the primary source of water for flushing toilets and laundry.

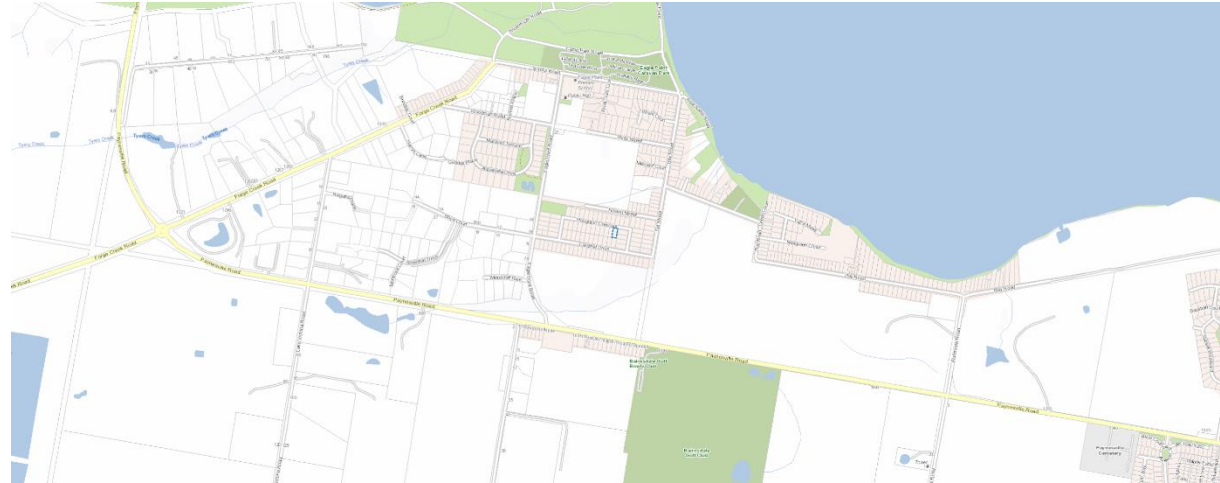
The site is rectangular in shape with a total area of approximately 760m<sup>2</sup> and is currently vacant land.

The site is gently undulating in nature and does not contain any vegetation.

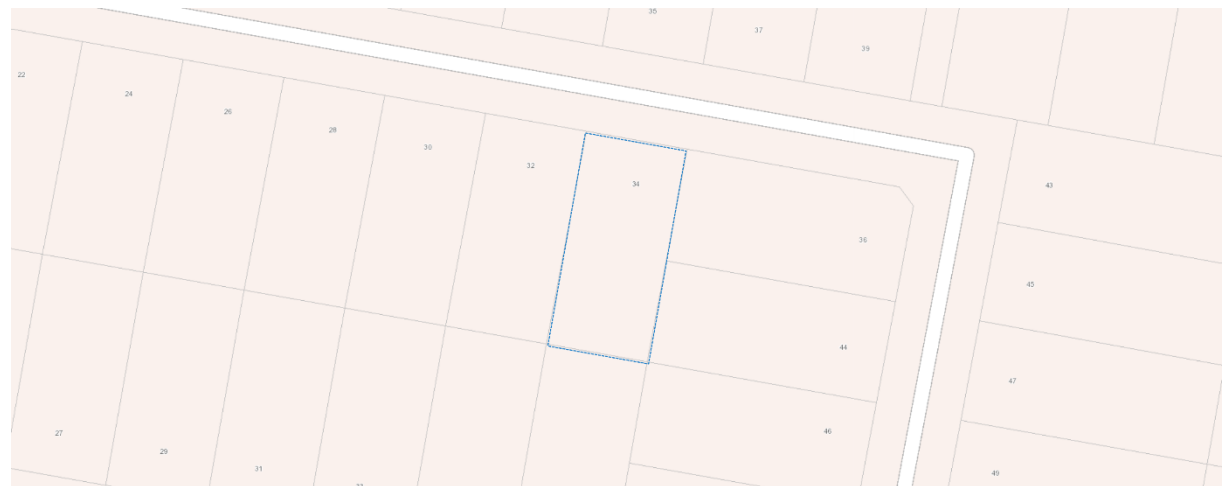
There is no formal access to the subject site, access is proposed via a concrete crossover and driveway in the eastern portion of the northern boundary directly from Houghton Crescent. Houghton Crescent is a bitumen sealed road with rollover curb and channel, traversing in an east to west direction adjoining the northern boundary of the subject site.

Details of the site are depicted in the photographs provided below.

The subject site in relation to Eagle Point as well as the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2**.



**Figure 1** – Locality Plan – 34 Houghton Crescent, Eagle Point (source: mapshare.vic.gov.au)



**Figure 2** – Locality Plan – 34 Houghton Crescent, Eagle point (source: mapshare.vic.gov.au)

## Surrounds

The land in this locality is mostly developed with existing residential development with farming land in the broader landscape.

Adjoining the northern boundary is Houghton Crescent and further residential development. Adjoining the eastern, western and southern boundaries is land containing existing residential development and associated facilities.

Eagle Point is a coastal locality within the East Gippsland Shire, surrounded by the Gippsland Lakes. Eagle Point is located approximately 5.4 kilometres northeast of Paynesville and approximately 14.6 kilometres southeast of Bairnsdale.

Eagle Point has limited community facilities and no commercial services. Paynesville offers a basic level of commercial and community services whilst Bairnsdale offers a full range of services and facilities.

The subject site in relation to Eagle Point is shown in the aerial photograph below.





Photograph 1 – Aerial Photograph of the subject site and surrounding land – 34  
 Houghton Crescent, Eagle Point (source: <https://maps.land.vic.gov.au/lassi/>)  
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 part of a planning process under the Planning and  
 Environment Act 1987. The document must not be  
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**Photograph 2** – Subject site at 34 Houghton Crescent, Eagle Point.



**Photograph 4** – Subject site facing north.



**Photograph 6** – Subject site facing south.



**Photograph 3** – Proposed location for access to the subject site at 34 Houghton Crescent, Eagle Point.



**Photograph 5** – Subject site facing east.



**Photograph 7** – Subject site facing west.





**Photograph 8** – Neighbouring property opposite the subject site at 35 Houghton Crescent, Eagle Point



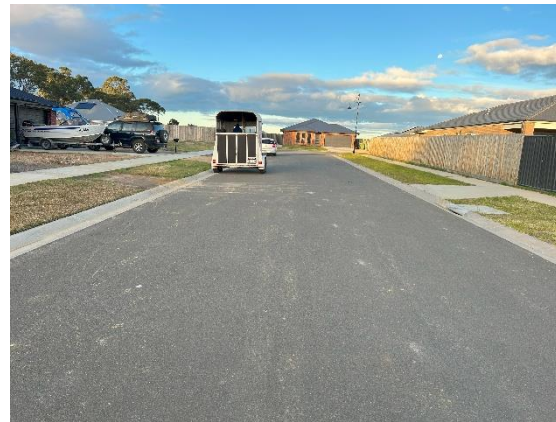
**Photograph 10** – Neighbouring property along the western boundary at 32 Houghton Crescent, Eagle Point.



**Photograph 12** – Houghton Crescent facing west.



**Photograph 9** – Neighbouring property adjoining the eastern boundary at 36 Houghton Crescent, Eagle Point.



**Photograph 11** – Houghton Crescent facing east.

### 3. THE PROPOSAL

This application seeks approval for the development of a dwelling and outbuilding under the provisions of the Design and Development Overlay. The proposed development plans are contained in **Appendix B**.

#### Dwelling

The proposed dwelling will be located in the northern portion of the subject site with a setback of 5 metres to the northern boundary being Houghton Crescent, 200mm to the eastern boundary, 4.5 metres to the southern boundary and approximately 2.2 metres to the western boundary.

The building footprint of the proposed dwelling is 333.95m<sup>2</sup> including the garage and alfresco area. The proposed dwelling will have an overall height of approximately 5.93 metres.

The finished colours and materials of the proposed dwelling will include a combination of face brickwork in the colour Pathway, render with a painted finish of Haymes Ash Grey and Newport primeline cladding with a painted finish of Haymes Ash Grey. The roofing, fascia and gutters will be finished with the Colorbond colour Monument. An extract from the plans showing the site plan and north elevation is

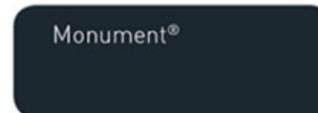
provided in **Figures 3 and 4** as well as in **Appendix B**. A visual description of the proposed colours is located below.



Pathway



Haymes Ash Grey



Monument®

#### Outbuilding

The proposed outbuilding will be located in the southeastern corner of the site and will have a setback of 1 metre to the eastern boundary, 3 metres to the southern boundary and 4.5 metres from the proposed dwelling.

The proposed outbuilding will be 4.5 metres long by 3.75 metres wide. The overall height will be 2.48 metres. The total building footprint will be 16.8m<sup>2</sup>.

The finished colours and material of the proposed outbuilding will include metal sheeting in the colour Armour Grey.

The proposed outbuilding will be used to store maintenance equipment associated with the upkeep of the site.



Figure 3 – North Elevation – JG King Homes

Vehicle access to the site is proposed in the eastern portion of the northern boundary, directly from Houghton Crescent via a new concrete crossover and driveway.

Drainage from the proposed dwelling and outbuilding will be directed to the proposed Modline Water Tank in the first instance with overflow directed to the legal point of discharge to the satisfaction of the responsible authority.

The subject site has access to an appropriate level of services and infrastructure including, reticulated water, sewerage, electricity, telecommunications and a good quality road network. The proposed dwelling will connect to all available services.

Earthworks will be required to create a level building surface however will not exceed 1 metre in depth. No vegetation removal is required for this proposal.

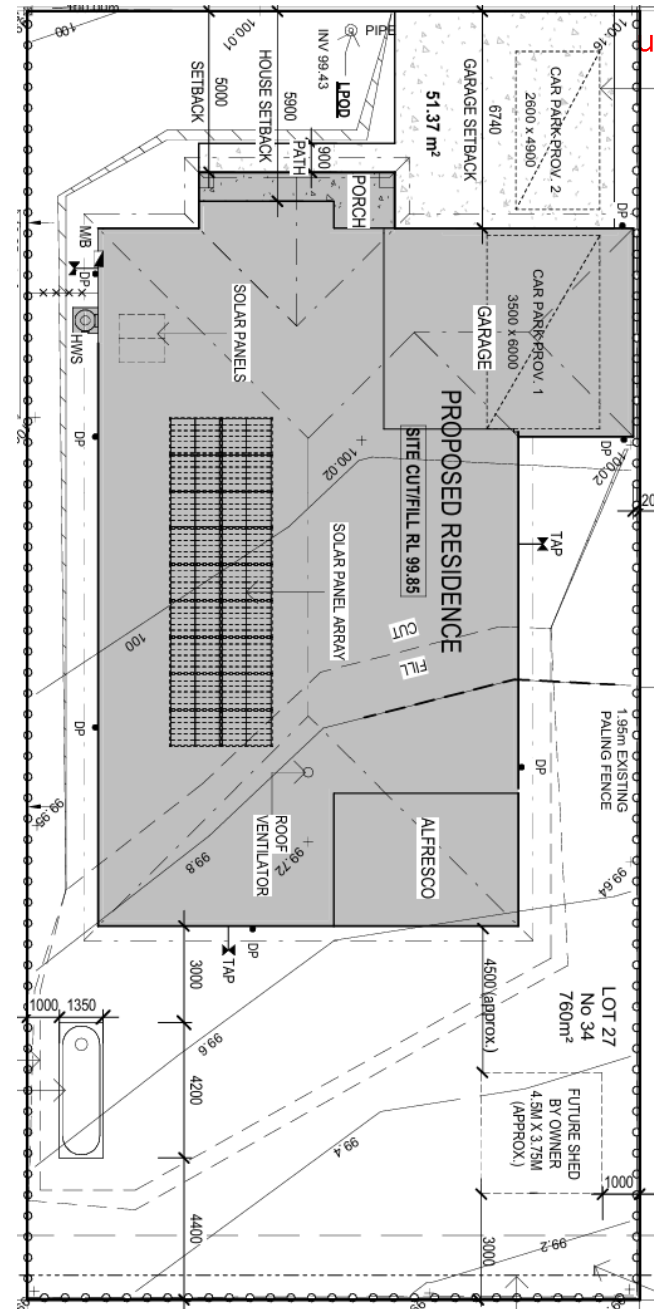


Figure 4 – Site Plan – JG King Homes



#### 4. ZONES AND OVERLAY

##### General Residential Zone – Schedule 1

The purpose of the General Residential Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

An extract of the General Residential Zone Map is provided in **Figure 5**.

Clause 32.08-5 of the General Residential Zone provides a permit is not required to construct or extend one dwelling on a lot as the lot is greater than 300m<sup>2</sup> and a permit is not required for an outbuilding ancillary to a dwelling. This is not addressed further.

The proposal meets the garden area requirement for a site over 650m<sup>2</sup> which has a minimum requirement of 35%. The proposal includes 50.78% garden area.

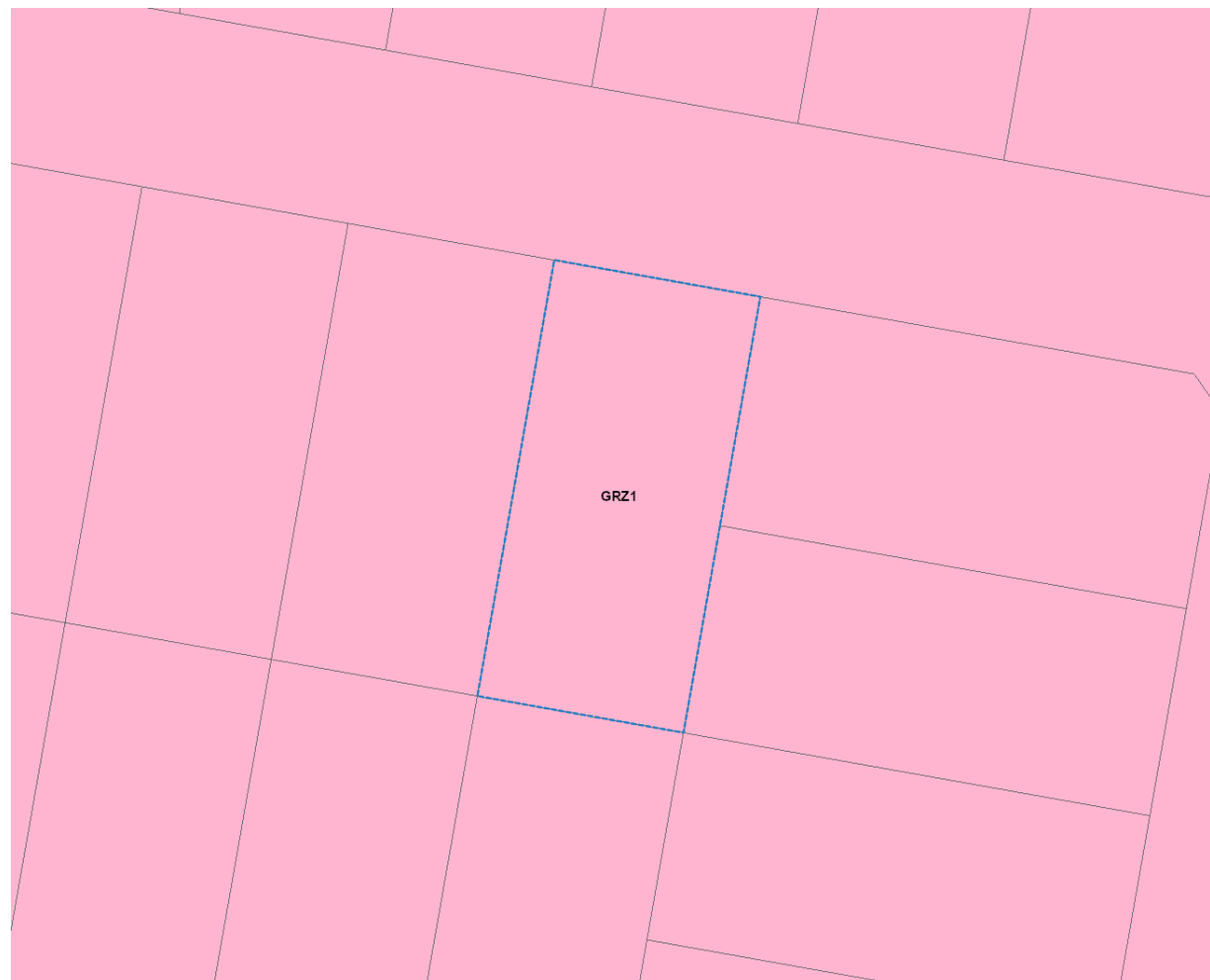


Figure 5 – General Residential Zone – (source - mapshare.vic.gov.au)

## Design and Development Overlay – Schedule 11

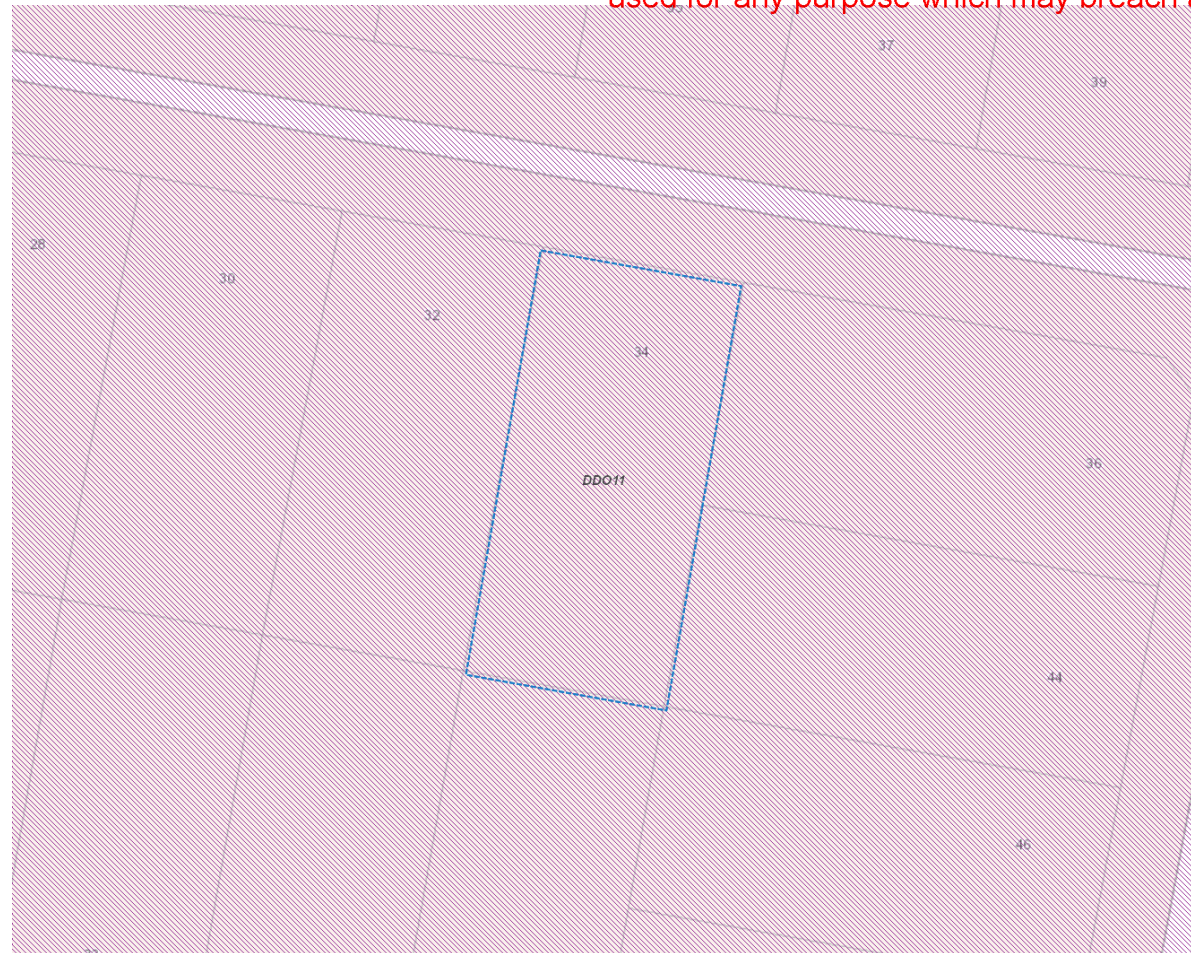
The purpose of the Design and Development Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

An extract of the Design and Development Overlay Map is provided in **Figure 6**.

Clause 43.02-2 – Buildings and works provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is required for a building exceeding 7.5 metres in height and for a building with a footprint greater than 300m<sup>2</sup>.

The total building footprint will exceed 300m<sup>2</sup> in area, and as such a planning approval is required for the development of a dwelling and outbuilding under the provisions of the Design and Development Overlay. The relevant decision guidelines and schedule are addressed in Section 5 of this submission.



**Figure 6** – Design and Development Overlay – (source - mapshare.vic.gov.au)

## Design and Development Overlay – Schedule 11 continued:

Schedule 11 to the Design and Development Overlay relates to Residential Development in Coastal Settlements and contains the following design objectives:

- *To protect and manage the township character of coastal settlements.*
- *To ensure that the height and visual bulk of new development is compatible with the coastal neighbourhood setting.*
- *To ensure that new development is designed to minimise visual impacts on the natural landscape.*
- *To ensure that new development is visually and physically integrated with the site and surrounding landscape.*
- *To ensure that new development is sited and designed to be visually unobtrusive through and above the surrounding tree canopy when viewed from nearby streets, lakes, coastal areas, or other distant viewpoints.*
- *To protect the vegetated character of the landscape, particularly where it is a*

*dominant visual and environmental feature.*

- *To ensure that the scale and character of existing development in areas fronting Marine Parade in Marlo and on the lake frontage at Newlands Arm is preserved and that any new development should be consistent with the prevailing development form and height to retain the existing character and view corridors.*
- *To ensure that the subdivision of land within the Newlands Arm Estate is consistent with the Newlands Arm Estate Restructure Plan, Version 7 (March 2017).*

## Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is not recognised as being within an area of Aboriginal Cultural Heritage Sensitivity and as such does not require the preparation of a Heritage Management Plan. This is not addressed further.

An extract of the Aboriginal Cultural Heritage Overlay Map is provided in **Figure 7**.



**Figure 7** – Aboriginal Cultural Heritage Overlay – (source - mapshare.vic.gov.au)



## 5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate residential dwelling and outbuilding that can be respectful of the existing surrounding development and the environment.
- The proposal ensures a high standard of environmental sustainability, urban design and amenity by designing the dwelling and outbuilding to address the constraints of the site, particularly its gently undulating nature. This approach reduces potential environmental impacts and meets the objectives of relevant Clauses, including **Clause 02.03** and **Clause 11**.
- **Clause 02.03-1** identifies Eagle Point as a coastal settlement. Eagle Point is a small, consolidated town distinct from Paynesville, with a permanent resident settlement and a holiday recreation destination.
- The proposed dwelling and outbuilding will connect to all available services and infrastructure including reticulated water, sewerage, electricity, telecommunications and a good quality road network.
- A Section 173 Agreement is registered on title which requires the owner to install a 10,000 litre water tank that connects to the laundry and provides for toilet flushing. The proposal includes the specified tank capacity and required connections so as not to contravene any conditions set out in the agreement. Drainage from the proposed dwelling and outbuilding will be directed to the water tank in the first instance with overflow directed to the legal point of discharge to the satisfaction of the responsible authority.
- The proposal meets the objectives of **Clause 16** by providing an additional dwelling within an existing, predominantly developed residential area that will in turn support additional housing.
- The proposal is consistent with the decision guidelines of the Design and Development Overlay at **Clause 43.02-6** which seeks to identify areas which are affected by specific requirements relating to the design and built form of new development.
- The proposed dwelling and outbuilding will result in an appropriate development that will be used for residential purposes.

Planning approval is required as a proposed building footprint will exceed 300m<sup>2</sup> in area. The proposed dwelling will be located in the northern portion of the subject site and the proposed outbuilding will be located in the southeastern corner as indicated on the proposed development plans. The proposed dwelling and outbuilding will have appropriate setbacks from the boundaries.

- The proposed development is unlikely to be visible from the water being Eagle Point Bay particularly given the existing surrounding development, vegetation and topography of the area.
- The proposed colours of the dwelling and outbuilding have been selected to ensure the development is not visually obtrusive and will be well integrated with the surrounding development and environment. Land surrounding the subject site is predominantly developed residential land containing dwellings of various heights, styles and setbacks. The proposed colours are low reflective and muted in toning. A visual description of the proposed colours is provided in Section 3 of this submission.
- The proposal is not dissimilar to many others in the locality and represents an appropriate residential development



- respectful of the significant landscape surrounding.
- **Schedule 11** refers to residential development in coastal settlements which requires consideration of the impact of the development in the landscape.
  - The roof form of the proposed development will be below the prevailing tree canopy and will be a suitable distance from the surrounding waterways.
  - The scale of the development is considered appropriate for the location and is consistent with surrounding development.
  - The vegetated nature of the landscape is important in this locality. It is noted that this proposal does not require the removal of any vegetation.
  - No additional planting beyond simple landscape gardens is proposed at this time, particularly given the bushfire prone nature of the area.
  - This submission has addressed the requirements of the East Gippsland Planning Scheme, including the Design and Development Overlay and the decision guidelines of **Clause 65**. The proposed development supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
- Access to the dwelling is proposed in the eastern portion of the northern boundary directly from Houghton Crescent via a new concrete crossover and driveway as indicated on the proposed development plans, there will be no negative impact on the existing road network. The increased traffic as a result of the proposal is unlikely to generate any negative impact on the existing road network.
  - There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.

## 6. CONCLUSION

This submission is in support of a planning permit application for the development of a dwelling and outbuilding at 34 Houghton Crescent, Eagle Point.

The relevant provisions of the East Gippsland Planning Scheme have been addressed, and it has been ascertained that the proposed development is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Design and Development Overlay.
- The design of the proposal is complementary to the existing surrounding development and is consistent with the character of the area.

It is requested that a planning permit be granted for this development.

**Development Solutions Victoria**

### Disclaimer:

*This document has been prepared for planning permit application purposes only. The report has been made with careful consideration and with the best information available to Development Solutions Victoria Pty Ltd at the time.*

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SITE AREA	BUILDING AREA	SITE COVERAGE
760 M <sup>2</sup>	333.95M <sup>2</sup>	43.94 %
PAVING AREA	BLDG+PAV AREA	PERMEABILITY
51.37M <sup>2</sup>	665.32M <sup>2</sup>	49.36 %
GARDEN AREA	GARDEN PER	POS
385.95M <sup>2</sup>	50.78 %	343.58M <sup>2</sup>

HOUSE INFORMATION	
SITE CUT & FILL RL :	99.85M
HOUSE FFL	GARAGE FFL
100.190M	100.155M
SLAB TYPE	SLAB HEIGHT
WAFFLE	340mm

SITE CUT & FILL INFORMATION	
PROVIDE SITE CUT OF BUILDING PLATFORM	300 mm AND FILL OF 350 mm OVER
PROVIDE AN ADDITIONAL SITE SCAPE OF AREA TO SUIT A	35 mm STEPDOWN
BATTERS ARE TO BE PROVIDED AT A	45 ° ANGLE CUT
BATTERS ARE TO BE PROVIDED AT A	30 ° ANGLE FILL
IF SITE CUT IS GREATER THAN 300mm RISER PIPES ARE TO BE PROVIDED AND CONNECTED TO STORMWATER	
WHERE RETAINING WALLS ARE REQUIRED, AG DRAINS TO BE CONNECTED TO STORMWATER VIA SILT PITS	

GENERAL NOTES	
TOWN PLANNING REQUIRED	
SITING SUBJECT TO TOWN PLANNING APPROVAL	

OTHER NOTES	
- THREE PHASE POWER BY BUILDER	

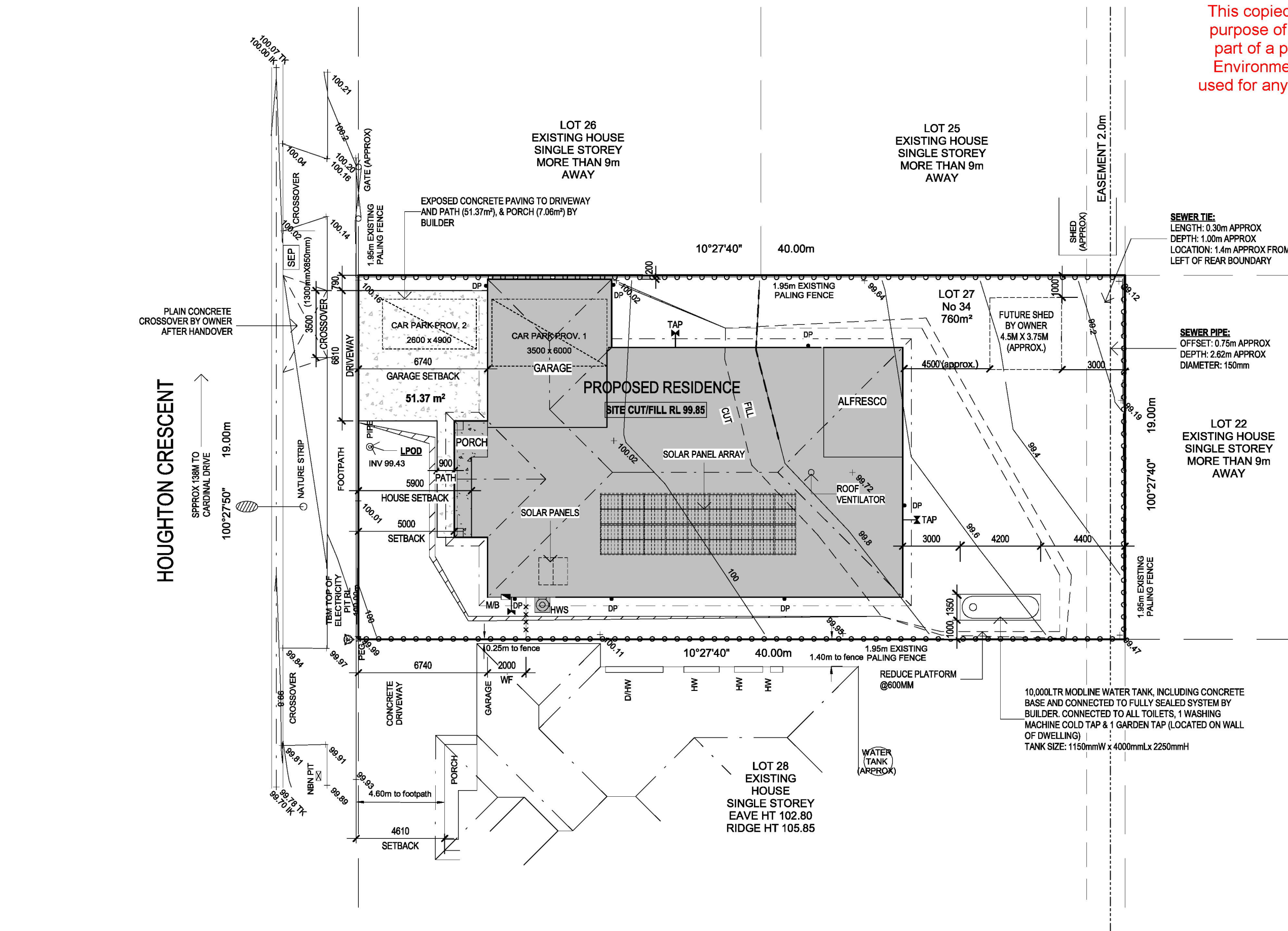
TERMITE TREATMENT REQUIRED	
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660	

BUSHFIRE ATTACK LEVEL (BAL)	
BAL 12.5 EMBER ATTACK	

WIND SPEED INFORMATION	
THE MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: N2-40 m/s	
THE WIND SPEED CALCULATION IS HAS BEEN TAKEN FROM THE JOB/SITE SPECIFIC SOIL REPORT	
OUR STANDARD HOMES ARE DESIGNED TO SUIT A WIND GUST SPEED OF 33 m/s	

SITE DRAINAGE INFORMATION	
SITE DRAINAGE MUST COMPLY WITH NCC 3.1.2 DRAINAGE AND AS 3500 - 3-2021 PLUMBING AND DRAINAGE	
GRADE ALL SURFACES AWAY FROM FOOTINGS WITH A MIN 1:20 FALL	
PROVIDE TEMPORARY DOWNPIPES CONNECTED TO STORMWATER AS SOON AS THE ROOF CLADDING IS COMPLETE. DURING CONSTRUCTION DOWNPIPES MAY BE REMOVED FOR OPERATION PROCEDURES	
ALL STORMWATER DRAINS ARE TO BE CONNECTED TO THE NOMINATED LEGAL POINT OF DISCHARGE	
REFER TO ENGINEERS DESIGN FOR STORMWATER DRAINAGE DESIGN AND LAYOUT	

CLIENT	
ADDRESS	LOT 27, NO. 34 HOUGHTON CRESCENT
SUBURB	EAGLE POINT VIC 3878
JOB NO	2411TRA276
JOB DATE	21/07/2025
DRAWN	GM
CHECKED	DL
PROJECT STAGE	CONTRACT
MASTER RELEASE DATE	17/09/2024



SURVEY LEGEND	
⑥ SEWER MANHOLE	⑦ WATER TAP
⑧ ELECTRICITY PIT	⑧ WATER METER
⑨ ELECTRICITY CABINET	⑨ POWER POLE
⑩ TBM	⑩ P.S.M.
⑪ WATER VALVE	⑪ FIRE HYDRANT
⑫ LIGHTPOLE	⑫ FIRE PLUG
⑬ GRATED PIT	⑬ SEWER VENT
⑭ SIDE ENTRY PIT	⑭ SEWER INSPECTION SHAFT
⑮ JUNCTION PIT	⑮ SIGN
⑯ UNKNOWN PIT	⑯ GAS VALVE
⑰ TELSTRA PIT	⑰ EVERGREEN TREE
⑱ GAS METER	⑱ HEIGHT 5m
	⑱ SPREAD 3m

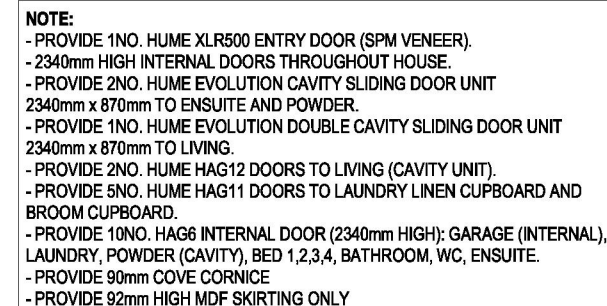
LEGEND	
— PROPOSED FENCE	— PROPOSED WING FENCE
— PROPOSED FRONT FENCE	— EXISTING FENCE
REFER TO FENCES NOTE FOR HEIGHT & MATERIAL SPECIFICATIONS	
— 100mm DIA. UPVC SEWER PIPE	— METER BOX POSITION
— EXTERNAL TAP	

CLIENT ACKNOWLEDGEMENT	
I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.	
CLIENT 1:	DATE 1:
CLIENT 2:	DATE 2:
JGK BUILDER:	DATE 3:

SHEET TITLE	
SITE PLAN	
HOUSE NAME	FITZROY 30
FACADE NAME	SOMERSET
SHEET SCALE	1 : 200
ORIGINAL SHEET SIZE	A3
COPYRIGHT	2025

ALPHA COLLECTION	
TRARALGON	
154 ARGYLE STREET, TRARALGON, VIC 3844	
T(03) 5175 5555	





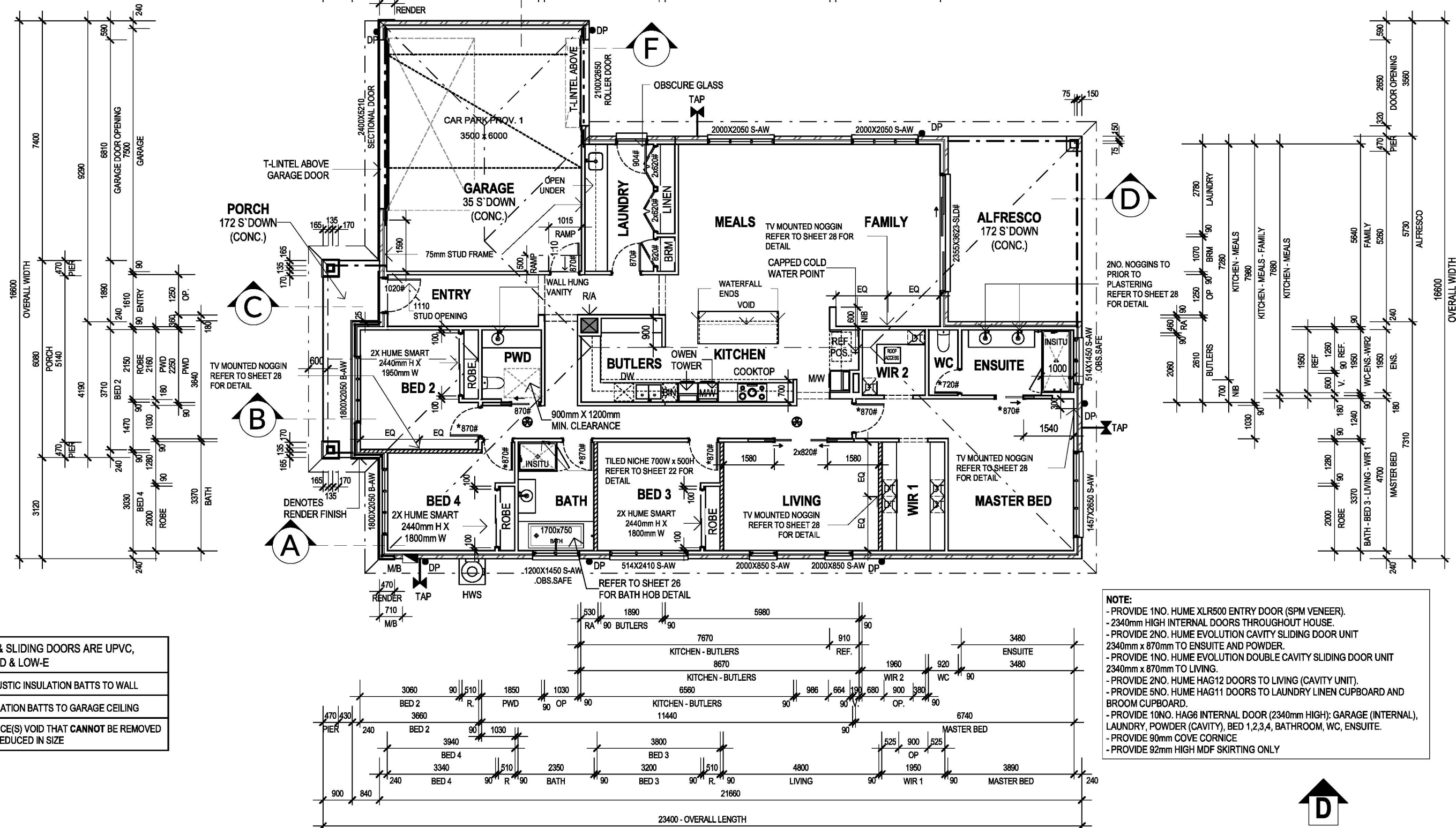
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**NOTE:**

\* DENOTES PRIVACY LOCKS TO INTERNAL DOORS  
- PROVIDE EMB-A-SEAL TO SECTIONAL GARAGE DOOR & ROLLER DOOR.



GENERAL NOTES	
	DENOTES HARDWIRED INTERCONNECTED SMOKE ALARM(s) WITH BATTERY BACKUP AS PER NCC 2022 - PART 9.5 & TO COMPLY WITH AS3786
	DENOTES DOWNPIPE LOCATIONS
	ALL GLAZING TO COMPLY WITH AS 1288-2021 & A.S. 2047-2014
	DENOTES BEAM AS PER ENGINEERING SPECIFICATIONS
	M/B : METER BOX
	HWS : HOT WATER SYSTEM
	G : GAS METER
	IHWS : INSTANTANEOUS HOT WATER SYSTEM
	# DENOTES 2340H DOORS
	ST : STACKER
	BI : BIFOLD
	SL : SLIDING
	AW : AWNING
	FX : FIXED
	TL : TILT
	TR : TURN
	TT : TILT&TURN
	OB : OBSCURE GLAZING
	SAFE : SAFETY GLASS
	S : STANDARD
	T : T SERIES
	H : H SERIES
	F : F SERIES
	M : M SERIES
	B : B SERIES
	T1/T2H1 : EQUAL PANELS
	H2 : EQUAL/850mm OPENABLE PANEL
	F1 : 610mm OPENABLE PANEL
	F2 : 850mm OPENABLE PANEL

AREAS TABLE			
GROUND FLOOR	254.24 M <sup>2</sup>	27.37 SQ <sup>2</sup>	
FIRST FLOOR	0.00 M <sup>2</sup>	0.00 SQ <sup>2</sup>	
<b>SUB TOTAL(FLOOR)</b>	<b>254.24 M<sup>2</sup></b>	<b>27.37 SQ<sup>2</sup></b>	
GARAGE	49.04 M <sup>2</sup>	5.28 SQ <sup>2</sup>	
PORCH	7.06 M <sup>2</sup>	0.76 SQ <sup>2</sup>	
ALFRESCO	23.61 M <sup>2</sup>	2.54 SQ <sup>2</sup>	
BALCONY	0.00 M <sup>2</sup>	0.00 SQ <sup>2</sup>	
<b>SUB TOTAL(OTHER)</b>	<b>79.71 M<sup>2</sup></b>	<b>8.58 SQ<sup>2</sup></b>	
<b>TOTAL</b>	<b>333.95 M<sup>2</sup></b>	<b>35.95 SQ<sup>2</sup></b>	

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CLIENT 1:	DATE 1:		
CLIENT 2:	DATE 2:		
JGK BUILDER:	DATE 3:		

SHEET TITLE		
<b>GROUND FLOOR PLAN</b>		
HOUSE NAME	HAND	CATEGORY
<b>FITZROY 30</b>	<b>RH</b>	<b>D</b>
FACADE NAME		
<b>SOMERSET</b>		
SHEET SCALE	ORIGINAL SHEET SIZE	COPYRIGHT
<b>1 : 125</b>	<b>A3</b>	<b>2025</b>
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**ALPHA COLLECTION**

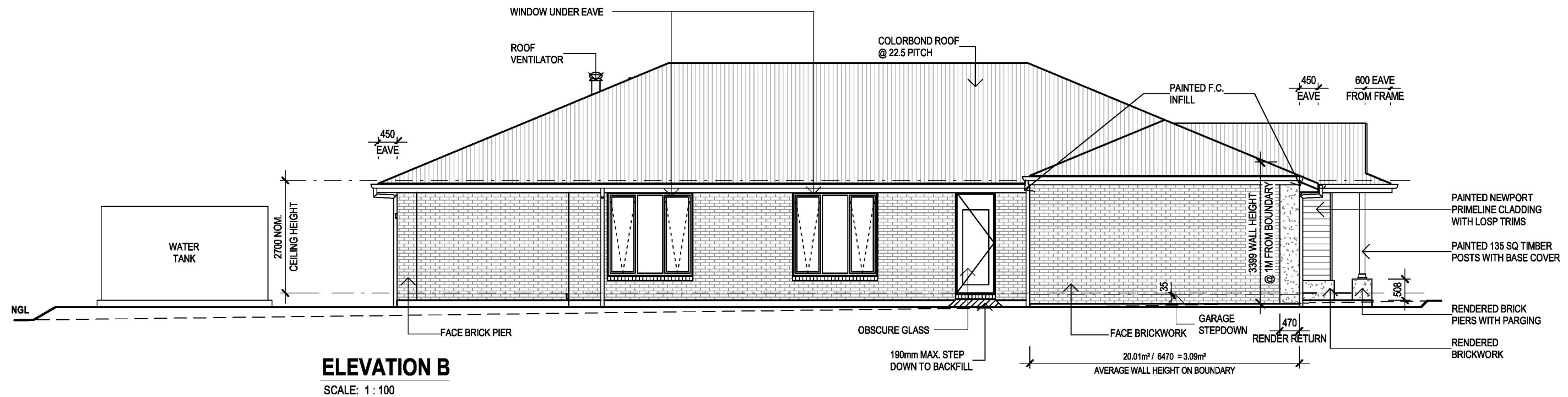
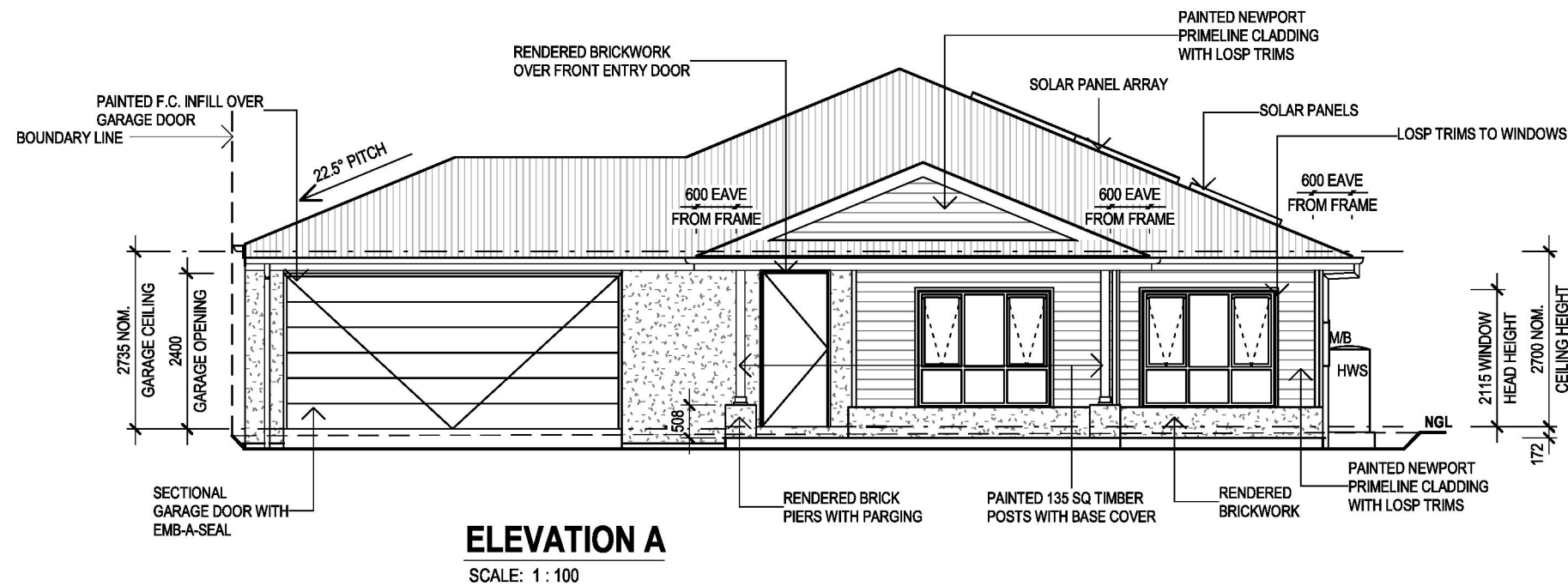
**JG KING HOMES**

154 ARGYLE STREET,  
TRARALGON, VIC 3844  
T(03) 5175 5555

CLIENT			
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SUBURB	EAGLE POINT VIC 3878		
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MASTER RELEASE DATE	17/09/2024	DATE	17/09/2024

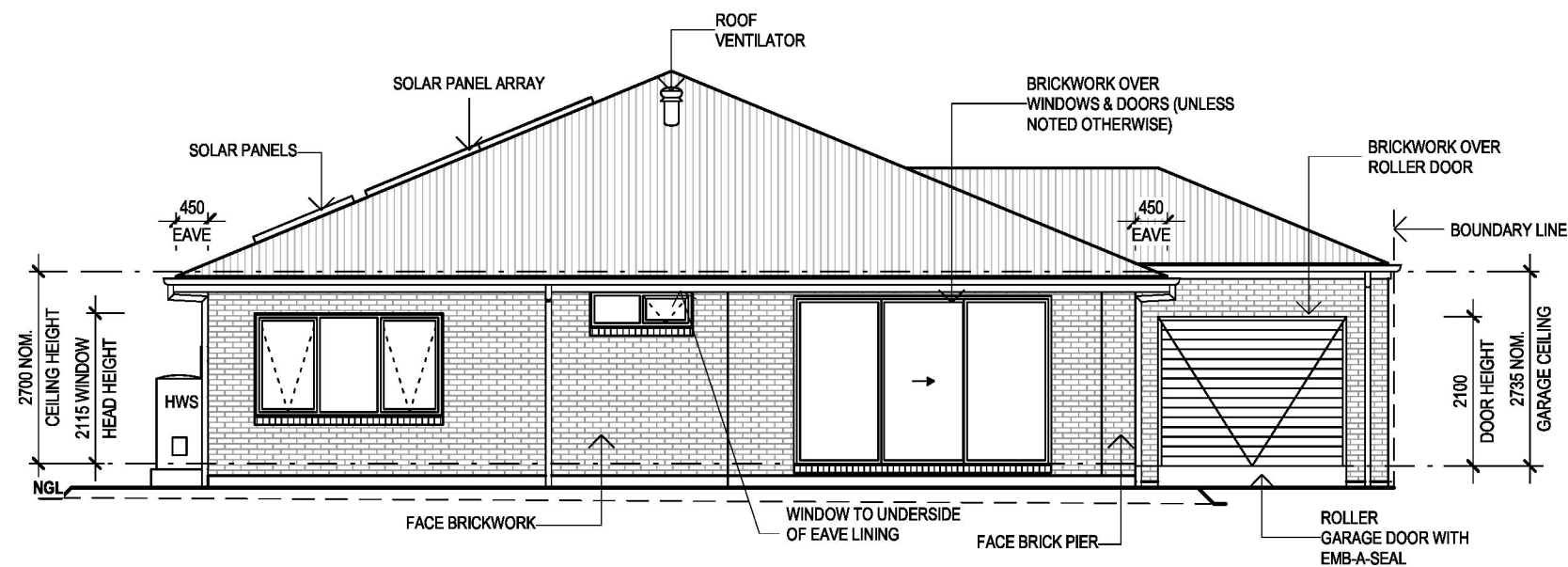
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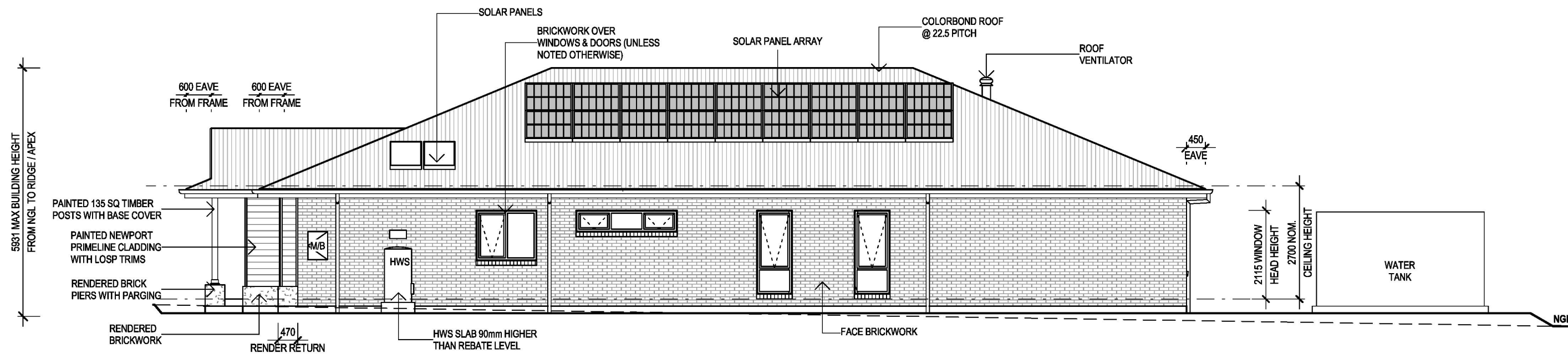
<p><b>GENERAL NOTES</b></p> <ul style="list-style-type: none"> <li>WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE)</li> <li>ALL GLAZING TO COMPLY WITH A.S. 1288 - 2021 (REFER TO ENERGY RATING FOR ALL GLAZING VALUES.) &amp; A.S.2047-2014</li> <li>HWS : HOT WATER SYSTEM IHWS : INSTANTANEOUS HOT WATER SYSTEM M/B : METER BOX G : GAS METER</li> </ul>		<p><b>CLIENT ACKNOWLEDGEMENT</b></p> <p>I/WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 36 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1: CLIENT 2: DATE 2: JGK BUILDER: DATE 3:</p>	<p><b>SHEET TITLE</b> <b>ELEVATIONS</b></p> <p>HOUSE NAME: <b>FITZROY 30</b> HAND: <b>RH</b> CATEGORY: <b>D</b></p> <p>FACADE NAME: <b>SOMERSET</b></p> <p>SHEET SCALE: <b>1 : 100</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2025</b></p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD*</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	<p><b>ALPHA COLLECTION</b></p> <p><b>JG KING HOMES</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p><b>CLIENT</b></p> <p>ADDRESS: <b>LOT 27, NO. 34 HOUGHTON CRESCENT</b> SUBURB: <b>EAGLE POINT VIC 3878</b></p> <p>JOB NO: <b>2411TRA276</b> JOB DATE: <b>21/07/2025</b></p> <p>DRAWN: <b>GM</b> CHECKED: <b>DL</b> PROJECT STAGE: <b>CONTRACT</b></p> <p>MASTER RELEASE DATE: <b>17/09/2024</b></p>
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### ELEVATION C

SCALE: 1 : 100



### ELEVATION D

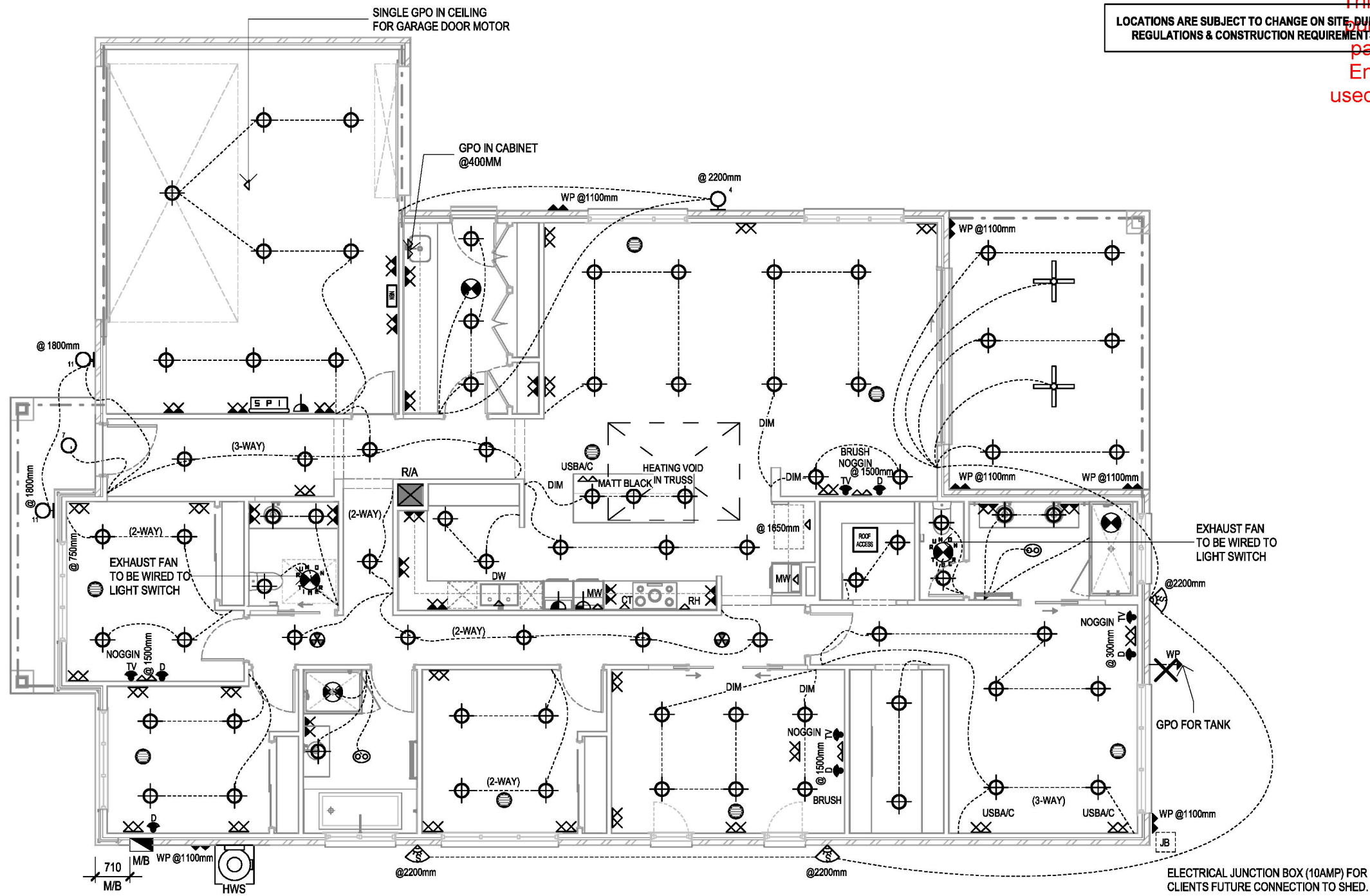
SCALE: 1 : 100

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LOCATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO REGULATIONS & CONSTRUCTION REQUIREMENTS



# LEGEND OF SYMBOLS

SYMBOL	DESCRIPTION	FITTING WATTAGE	QTY
	DOUBLE GPO-INTERNAL @ 300mm	N/A	24
	DOUBLE GPO-INTERNAL @ 1100mm	N/A	18
	SINGLE GPO-INTERNAL (HEIGHT VARIES)	N/A	7
	DOUBLE GPO-INTERNAL (HEIGHT VARIES)	N/A	5
	SINGLE GPO WEATHER PROOF - EXTERNAL (HEIGHT VARIES)	N/A	1
	DOUBLE GPO WEATHER PROOF - EXTERNAL (HEIGHT VARIES)	N/A	6
	DIRECT WIRE (APPLIANCE)	N/A	3
	CEILING LIGHT BATTEN HOLDER	10W	2
	LED DOWN LIGHT	7W	81
	TEMPAIR MINI 1X500W EXH FAN/LT WHT	N/A	2
	SECURE 2LT FLOOD BLACK SENSOR	20W	3
	WHITEHAVEN 56 3BLD DC BLK FAN	N/A	2
	JUNCTION BOX	N/A	1
	2-WAY LIGHT SWITCH	N/A	5
	3-WAY LIGHT SWITCH	N/A	2
	SMOKE ALARM	N/A	2
	HOT WATER SERVICE	N/A	1
	EXHAUST FAN (SELF CLOSING)	N/A	3
	EXHAUST FAN (10min RUN ON TIMER)	N/A	2
	METER BOX	N/A	1
	RETURN AIR LOCATION	N/A	1
	HEATING VOID IN TRUSS INCLUDING DOUBLE POWER POINT (INCLUDED IN VALUES ABOVE) **EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION	N/A	1
	DUCTED HEATING OUTLET (APPX. LOC.) (EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION)	N/A	8
	ROOF ACCESS (PROVIDE SINGLE BATTEN LIGHT WITHIN 1.6 M OF ROOF ACCESS, INCLUDED IN VALUES ABOVE)	N/A	1
	SECURE 2LT FLOOD BLACK	20W	1
	BOULDER RND UP/DOWN WALL/LT GU10 BLACK	8W	2
	SOLAR POWER INVERTER (INCLUDES POWER SUPPLY)	N/A	1

## ARTIFICIAL LIGHTING

IN ACCORDANCE WITH NCC BUILDING CODE OF AUSTRALIA VOLUME 2 PART 2.12.5.5

Lighting Location	Actual
<b>Class 1 Building (5W/m²)</b> Residence	479
<b>Class 10 Building (3W/m²)</b> Garage/Carport	56
<b>External Lighting (4W/m²)</b> Verandah/Porch/Alfresco/Balcony	50
<b>Total</b>	<b>585</b>

### NOTE:

- PROVIDE RINNAI HOME WIFI TOUCH CONTROLLER WHICH INCLUDES THE FOLLOWING SIX TEMPERATURE CONTROLLED ZONES. (KITCHEN/MEALS/FAMILY/ENTRY, HALL/LIVING ROOM, MASTER BEDROOM, BED 2, BED 3, BED 4).  
- PROVIDE 2NO. HOME THEATRE CABLE MANAGEMENT. INCLUDING BULL NOSE PLATE, BRUSH PLATE AND CONDUIT WITH DRAWSTRING IN WALL PLATES MUST BE INSTALLED ABOVE/BELOW EACH OTHER ON SAME WALL.

## NBN LEGEND

	NBN BOX	1
	NBN TV POINT	4
	CAT6 DATA POINT (INTERNET/PHONE)	5

### GENERAL NOTES

- BOTTOM OF METER BOX TO BE 1100mm ABOVE GROUND LEVEL.
- HEIGHTS MEASURED FROM FLOOR LEVEL TO CENTER OF FITTING UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE ALL POWER POINTS ARE TO BE LOCATED TO THE NEAREST STUD.
- POWER POINTS FOR APPLIANCES ARE TO SUIT MANUFACTURERS REQUIREMENTS.
- SOLAR PANEL LOCATION NOMINAL ONLY. INSTALLERS TO LOCATE (EXCLUDING FRONT ELEVATION) TO COMPLY WITH MANUFACTURERS REQUIREMENTS & AS/NZS 3500 PLUMBING AND DRAINAGE.
- DENOTES HARDWIRED INTERCONNECTED SMOKE ALARM(S) WITH BATTERY BACKUP AS PER NCC PART 9.5 & TO COMPLY WITH AS3786.

### PROVIDE NBNCO FIBRE PACKAGE

INCLUDES:  
-TRENCH AND P20 CONDUIT FROM COMMUNICATIONS PIT TO HOUSE.  
-INTERNAL P20 CONDUIT TO LOCATION OF NBNCO CONNECTION.  
-DOUBLE POWER POINT TO LOCATION OF NBNCO CONNECTION.  
-SURFACE MOUNT ENCLOSURE (INCLUDES CAT 6 DATA/TELEPHONE MODULE AND TV SPLITTER).  
-2 X TV POINTS & 4 X DATA/COMMUNICATION POINTS  
-10/100MBPS 8 PORT/POINT SWITCH WITH PATCH CABLES.  
-FIBRE PROVISIONING (INTERNAL ONLY).  
-OUTLETS TESTED AND LABELLED.

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CLIENT 1:	DATE 1:
CLIENT 2:	DATE 2:
JGK BUILDER:	DATE 3:

### SHEET TITLE

## ELECTRICAL PLAN

HOUSE NAME	HAND	CATEGORY
FITZROY 30	RH	D
FACADE NAME		
SOMERSET		
SHEET SCALE	ORIGINAL SHEET SIZE	COPYRIGHT
1 : 100	A3	2025
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ALPHA COLLECTION

JG KING HOMES

154 ARGYLE STREET,  
TRARALGON, VIC 3844  
T(03) 5175 5555

### CLIENT

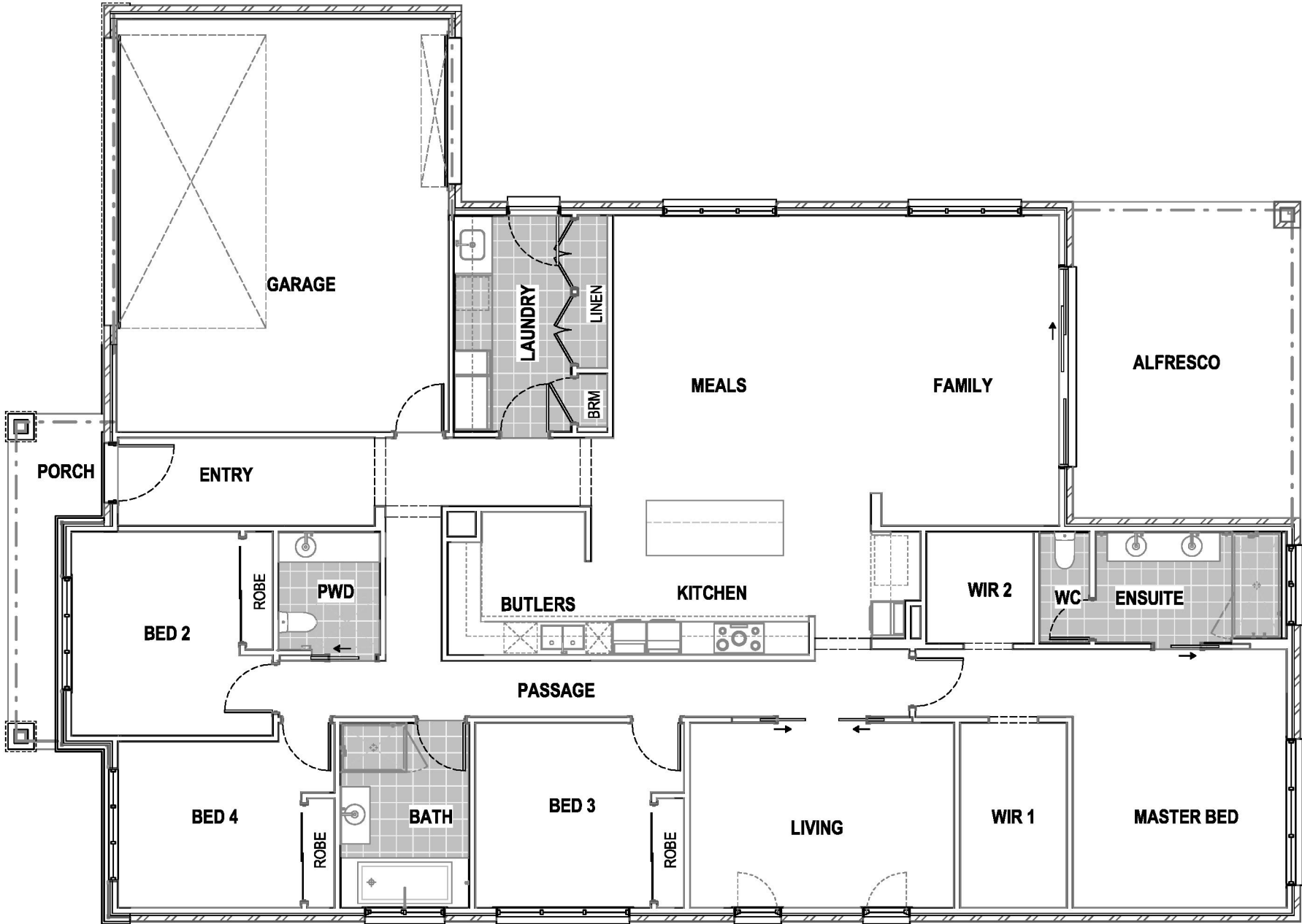
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JUNCTIONS / TRANSITIONS BETWEEN DIFFERENT FLOOR COVERINGS  
TO HAVE A SILL DIFFERENCE IN HEIGHT ≤ 5mm

ADVERTISED

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FLOOR COVERING SCHEDULE		
LOCATION	MATERIAL	AREA
ENTRY	N/A	12.18 m²
MEALS - FAMILY - KITCHEN - NOOK	N/A	56.68 m²
PWD	N/A	4.81 m²
PASSAGE	N/A	15.25 m²
MASTER BED - WIR 1 - WIR 2	N/A	32.20 m²
BED 3	N/A	12.61 m²
LIVING	N/A	16.08 m²
BED 4	N/A	12.09 m²
BED 2	N/A	13.45 m²
LAUNDRY - LINEN - BROOM	TILES	9.32 m²
BATH	TILES	5.59 m²
PWD	TILES	4.12 m²
ENSUITE - WC	TILES	8.57 m²



GENERAL NOTES

- THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3958.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY
- FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY & ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS
- NOTE : FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

FLOOR FINISHES LEGEND

	CARPET		TILES
	VINYL		LAMINATE
	FLOOR BOARDS		

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CLIENT 1:	DATE 1:
CLIENT 2:	DATE 2:
JGK BUILDER:	DATE 3:

SHEET TITLE

FLOOR FINISHES PLAN

HOUSE NAME	HAND	CATEGORY
FITZROY 30	RH	D
FACADE NAME		
SOMERSET		
SHEET SCALE	ORIGINAL SHEET SIZE	COPYRIGHT
1 : 100	A3	2025

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ALPHA  
COLLECTION

JG KING  
HOMES

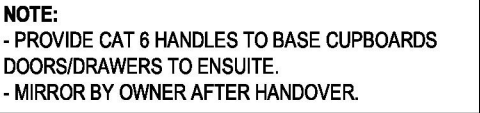
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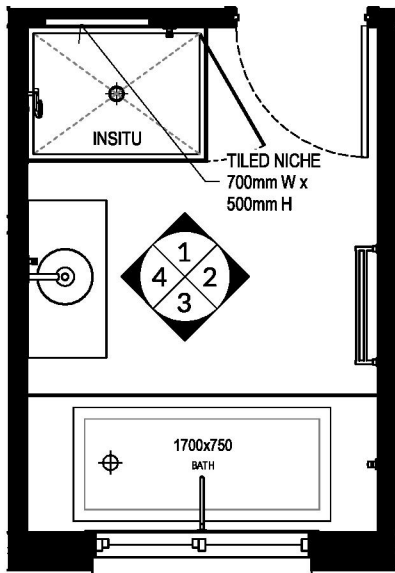




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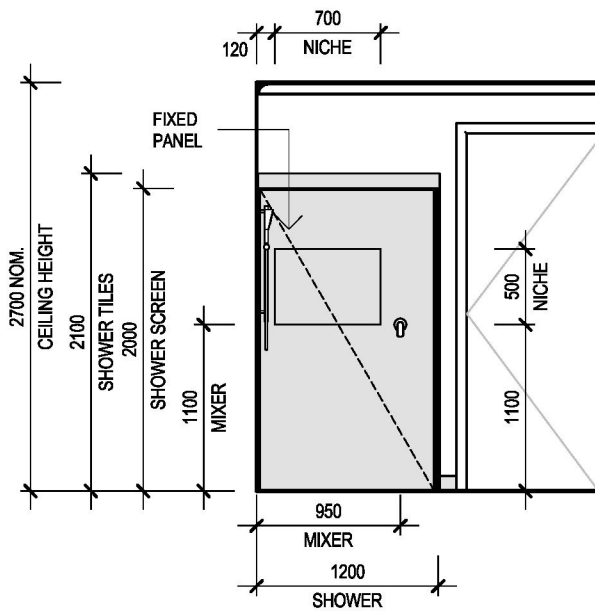
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## BATH PLAN

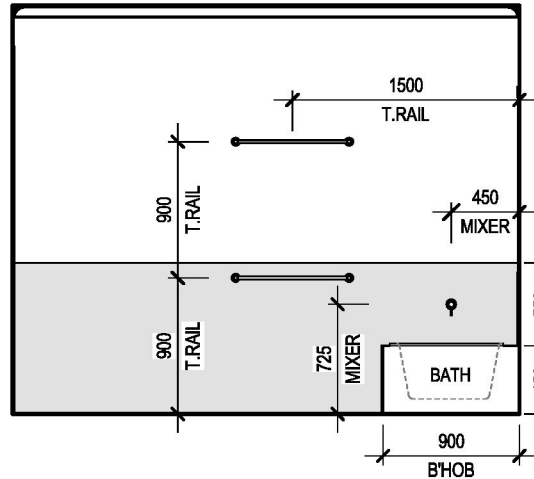
SCALE: 1 : 50

- NOTE:**
- PROVIDE CAT 6 HANDLES TO BASE CUPBOARDS DOORS/DRAWERS TO (BATHROOM & POWDER).
  - PROVIDE SOFT CLOSE DRAWER TO POWDER.



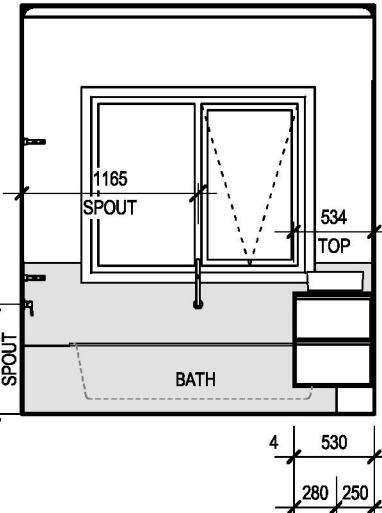
## ELEVATION 1

SCALE: 1 : 50



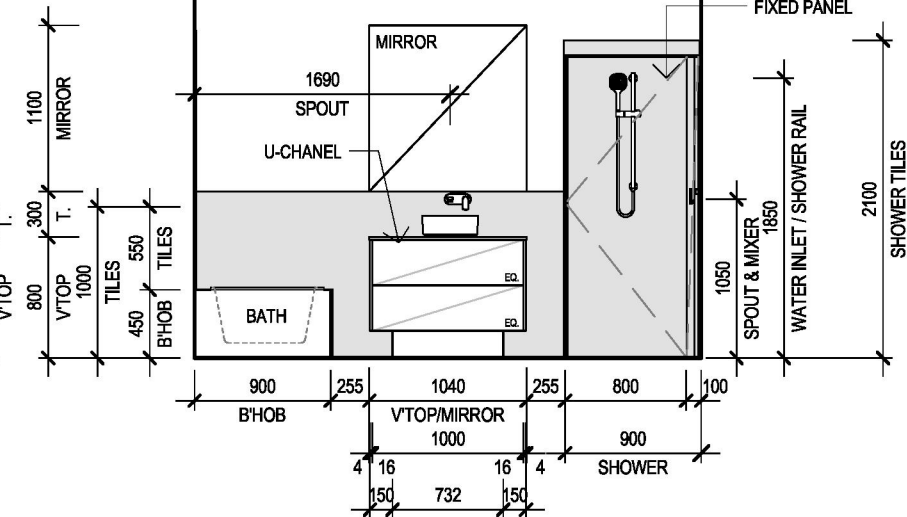
## ELEVATION 2

SCALE: 1 : 50



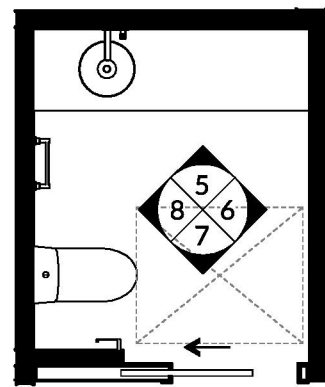
## ELEVATION 3

SCALE: 1 : 50



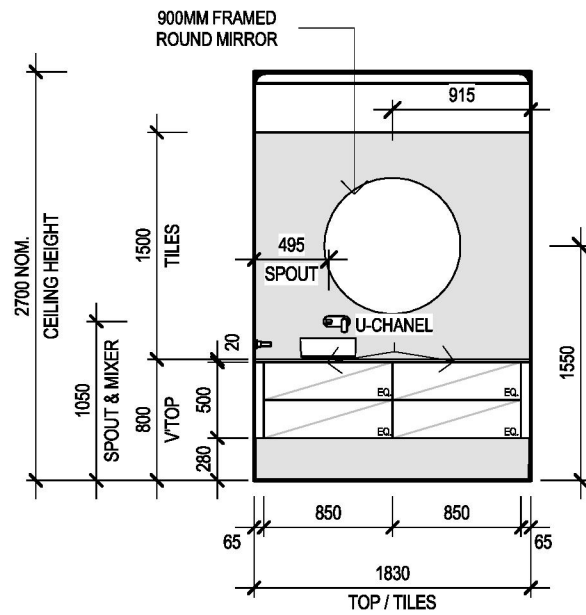
## ELEVATION 4

SCALE: 1 : 50



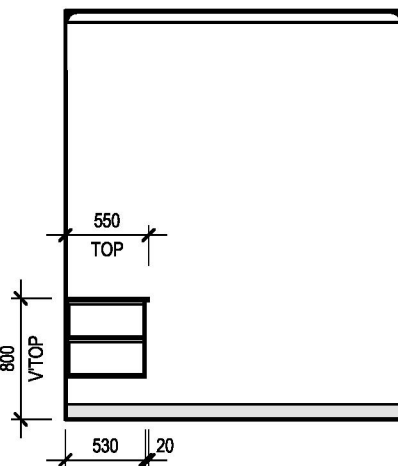
## PWD PLAN

SCALE: 1 : 50



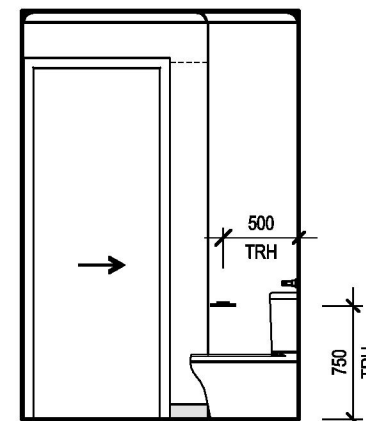
## ELEVATION 5

SCALE: 1 : 50



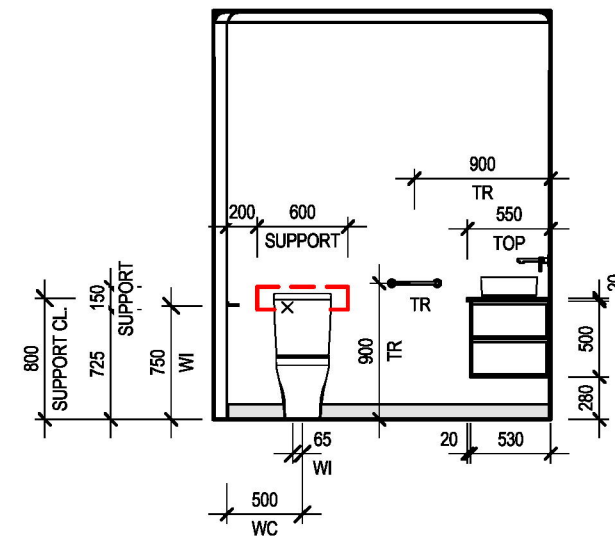
## ELEVATION 6

SCALE: 1 : 50



## ELEVATION 7

SCALE: 1 : 50

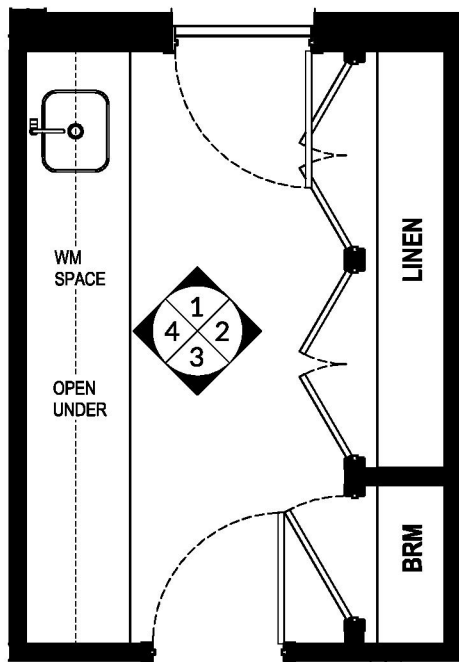


## ELEVATION 8

SCALE: 1 : 50

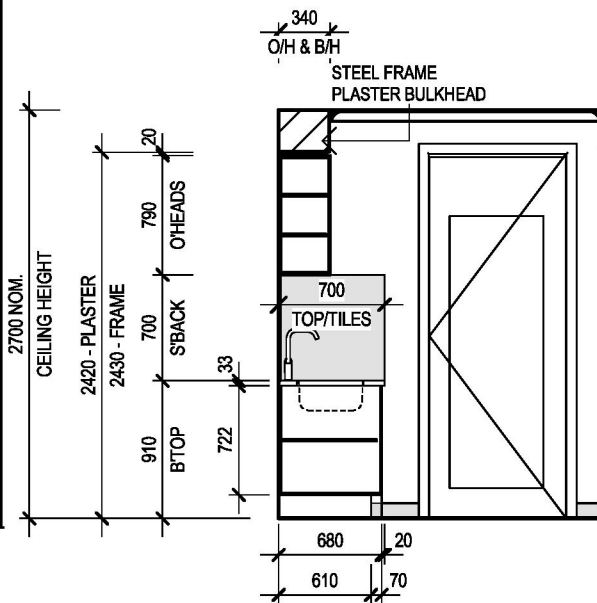
<p><b>GENERAL NOTES</b></p> <ul style="list-style-type: none"> <li>ALL TILE &amp; CABINETRY DIMENSIONS ARE APPROXIMATE ONLY &amp; MAY ALTER TO SUIT</li> <li>ALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME</li> <li>REFER TO COLOUR DOCUMENTATION FOR HANDLE LOCATIONS WHERE APPLICABLE</li> </ul>		<p><b>CLIENT ACKNOWLEDGEMENT</b></p> <p>I/WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 36 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<p><b>SHEET TITLE</b></p> <p><b>BATHROOM &amp; PWD INTERNALS</b></p> <p>HOUSE NAME: FITZROY 30 HAND: RH CATEGORY: D</p> <p>FACADE NAME: SOMERSET</p> <p>SHEET SCALE: 1 : 50 ORIGINAL SHEET SIZE: A3 COPYRIGHT: 2025</p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD*</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	<p><b>ALPHA COLLECTION</b></p> <p><b>JG KING HOMES</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p><b>CLIENT</b></p> <p>ADDRESS: LOT 27, NO. 34 HOUGHTON CRESCENT</p> <p>SUBURB: EAGLE POINT VIC 3878</p> <p>JOB NO: 2411TRA276 JOB DATE: 21/07/2025</p> <p>DRAWN: GM CHECKED: DL PROJECT STAGE: CONTRACT</p> <p>MASTER RELEASE DATE: 17/09/2024</p>
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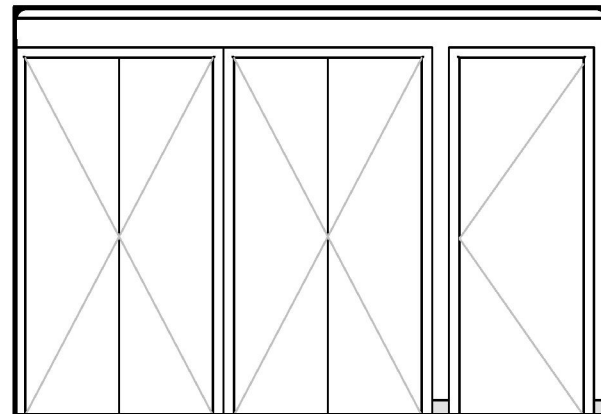
## LAUNDRY PLAN

SCALE: 1 : 50



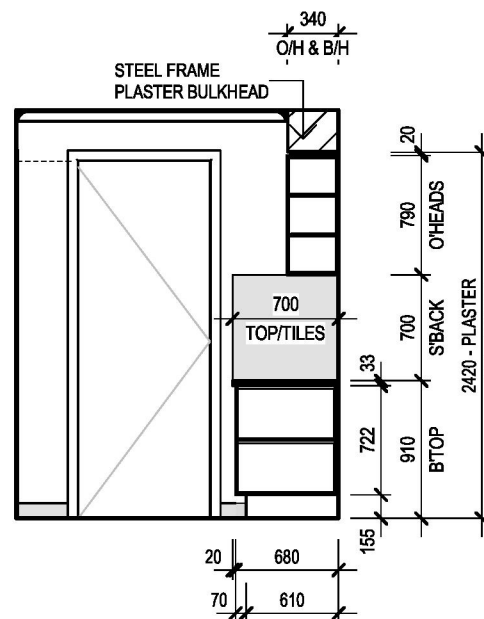
## ELEVATION 1

SCALE: 1 : 50



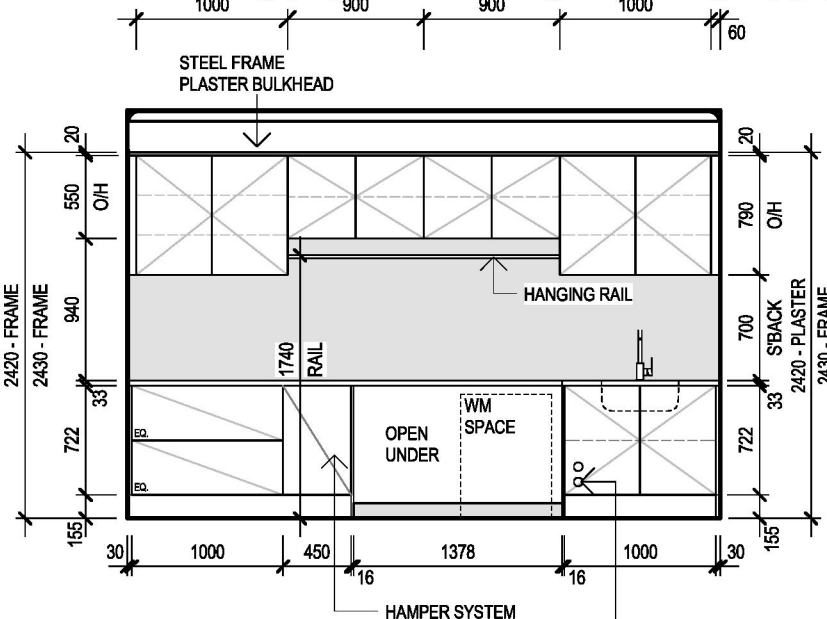
## ELEVATION 2

SCALE: 1 : 50



## ELEVATION 3

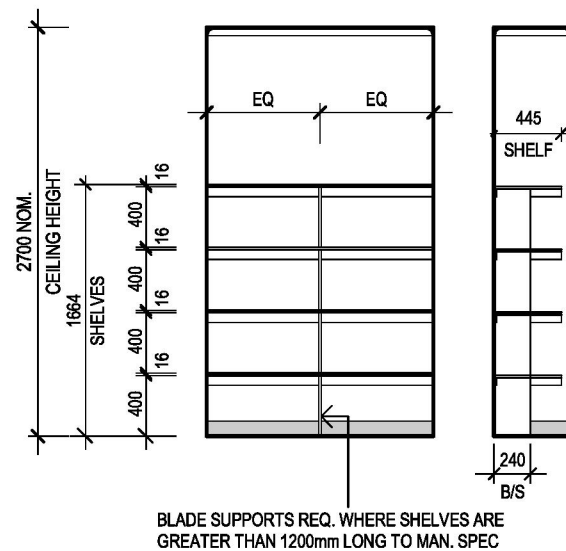
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## ELEVATION 4

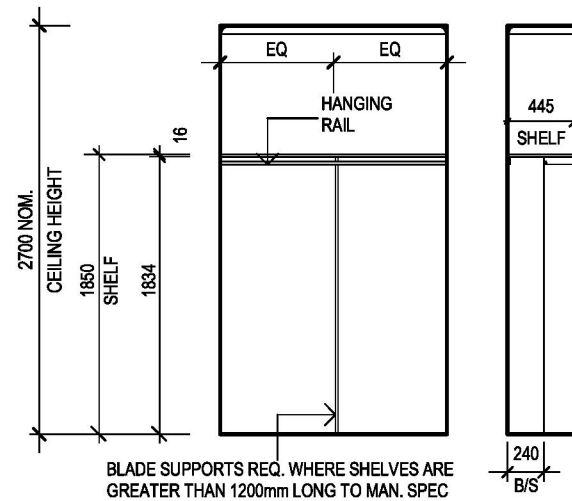
SCALE: 1 : 50

- NOTE:**
- PROVIDE CAT 6 HANDLES TO BASE CUPBOARDS DOORS/DRAWERS TO LAUNDRY.
  - NO HANDLES TO OVERHEAD CUPBOARDS 20mm EXTENSION TO DOOR FACE REFERENCE DETAIL SHEET 28
  - FINGER PULLS (NO HANDLES) TO ALL OVERHEAD CUPBOARDS
  - PROVIDE SOFT CLOSE JOINERY DOOR TO LAUNDRY
  - PROVIDE SOFT CLOSE DRAWER TO LAUNDRY.
  - PROVIDE PLUMBING PROVISIONS FOR INSTALLATION OF DRYER WITH HEAT PUMP.
  - REFER TO SHEET 24 FOR JOINERY BULKHEAD DETAIL



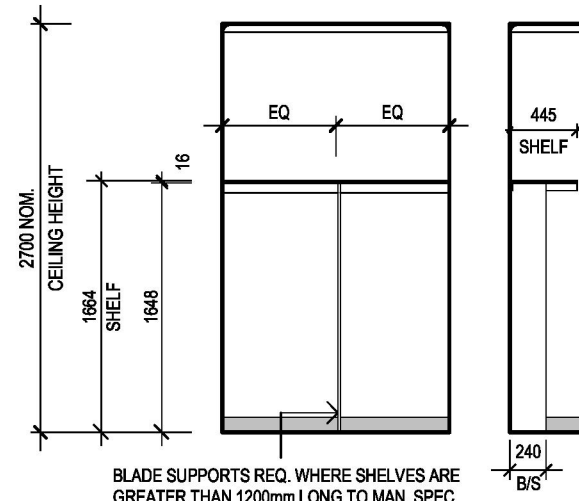
## LINEN - TYPICAL

SCALE: 1 : 50



## ROBE - TYPICAL

SCALE: 1 : 50



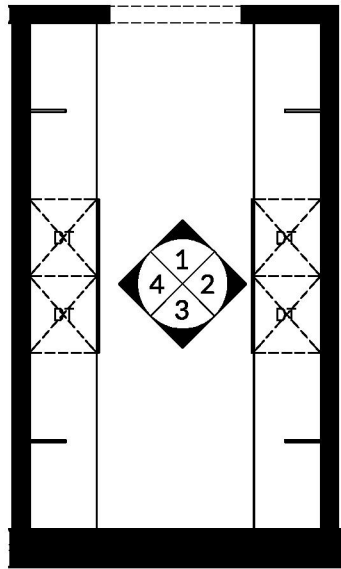
## BROOM - TYPICAL

SCALE: 1 : 50

<p><b>GENERAL NOTES</b></p> <ul style="list-style-type: none"> <li>ALL TILE &amp; CABINETRY DIMENSIONS ARE APPROXIMATE ONLY &amp; MAY ALTER TO SUIT</li> <li>ALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME</li> <li>REFER TO COLOUR DOCUMENTATION FOR HANDLE LOCATIONS WHERE APPLICABLE</li> </ul>		<p><b>CLIENT ACKNOWLEDGEMENT</b></p> <p>I/WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 36 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<p><b>SHEET TITLE</b></p> <p><b>LAUNDRY &amp; WIL INTERNALS</b></p> <p>HOUSE NAME: FITZROY 30 HAND: RH CATEGORY: D</p> <p>FACADE NAME: SOMERSET</p> <p>SHEET SCALE: 1 : 50 ORIGINAL SHEET SIZE: A3 COPYRIGHT: 2025</p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD*</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	<p><b>ALPHA COLLECTION</b></p> <p><b>JG KING HOMES</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p><b>CLIENT</b></p> <p>ADDRESS: LOT 27, NO. 34 HOUGHTON CRESCENT</p> <p>SUBURB: EAGLE POINT VIC 3878</p> <p>JOB NO: 2411TRA276 JOB DATE: 21/07/2025</p> <p>DRAWN: GM CHECKED: DL PROJECT STAGE: CONTRACT</p> <p>MASTER RELEASE DATE: 17/09/2024</p>
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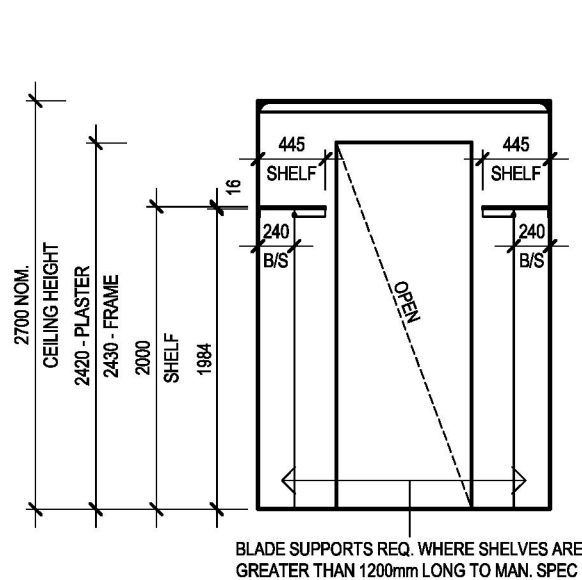


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### WIR 1 PLAN

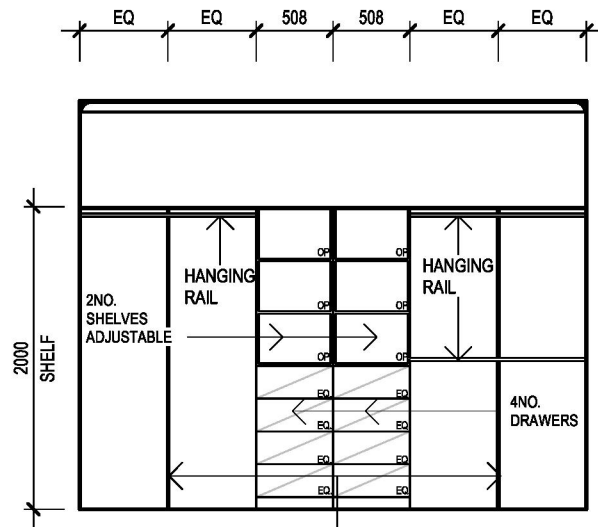
SCALE: 1 : 50



### ELEVATION 1

SCALE: 1 : 50

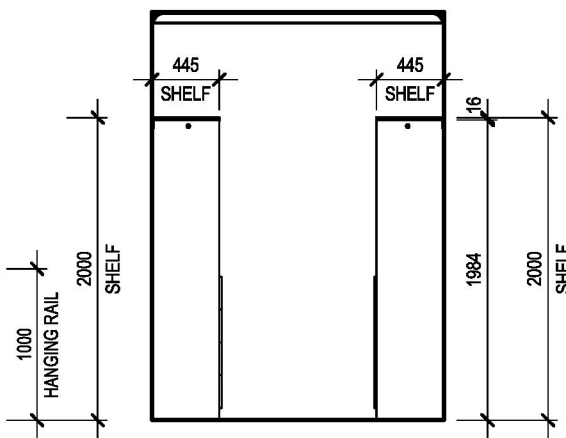
BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC



### ELEVATION 2

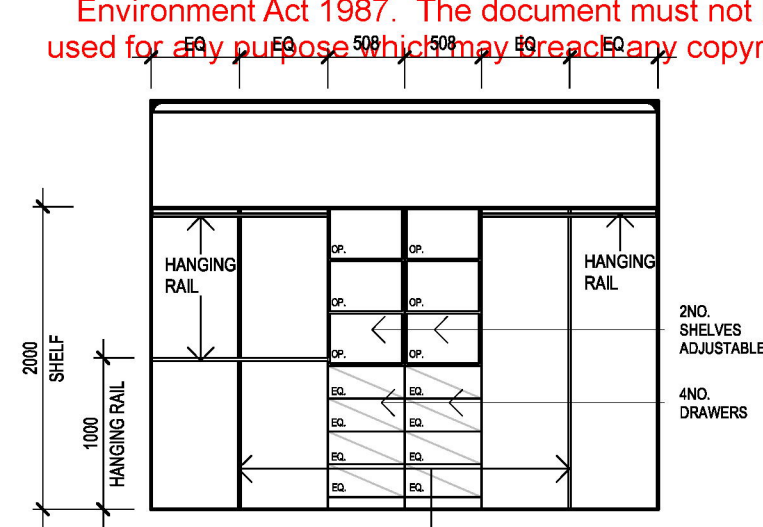
SCALE: 1 : 50

BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC



### ELEVATION 3

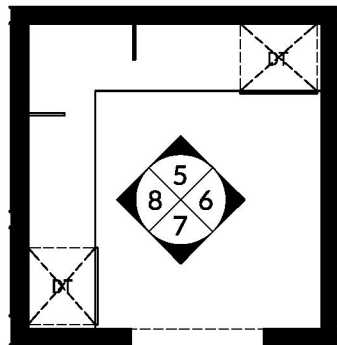
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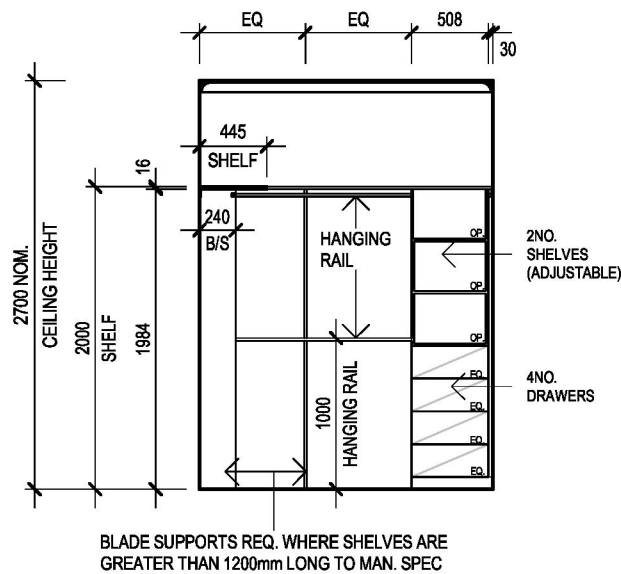
SCALE: 1 : 50

BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC



### WIR 2 PLAN

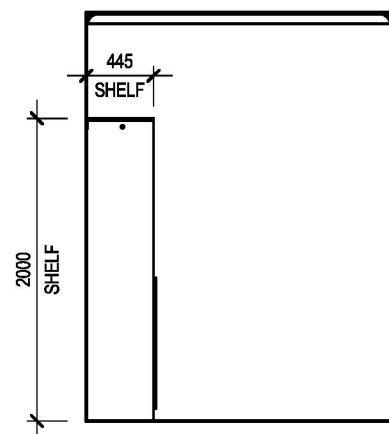
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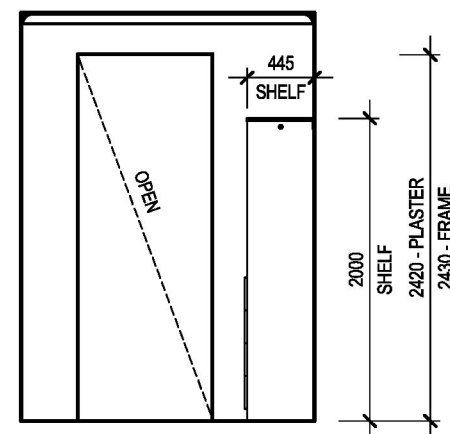
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BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC



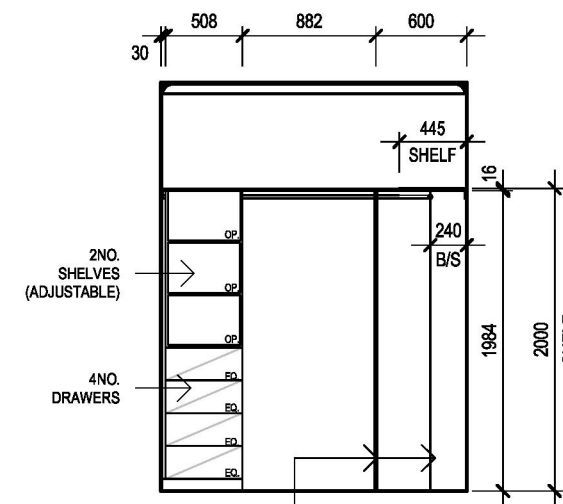
### ELEVATION 6

SCALE: 1 : 50



### ELEVATION 7

SCALE: 1 : 50

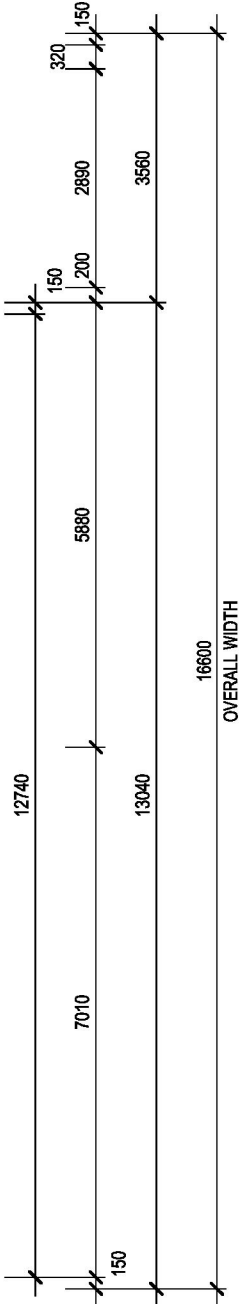


### ELEVATION 8

SCALE: 1 : 50

BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC

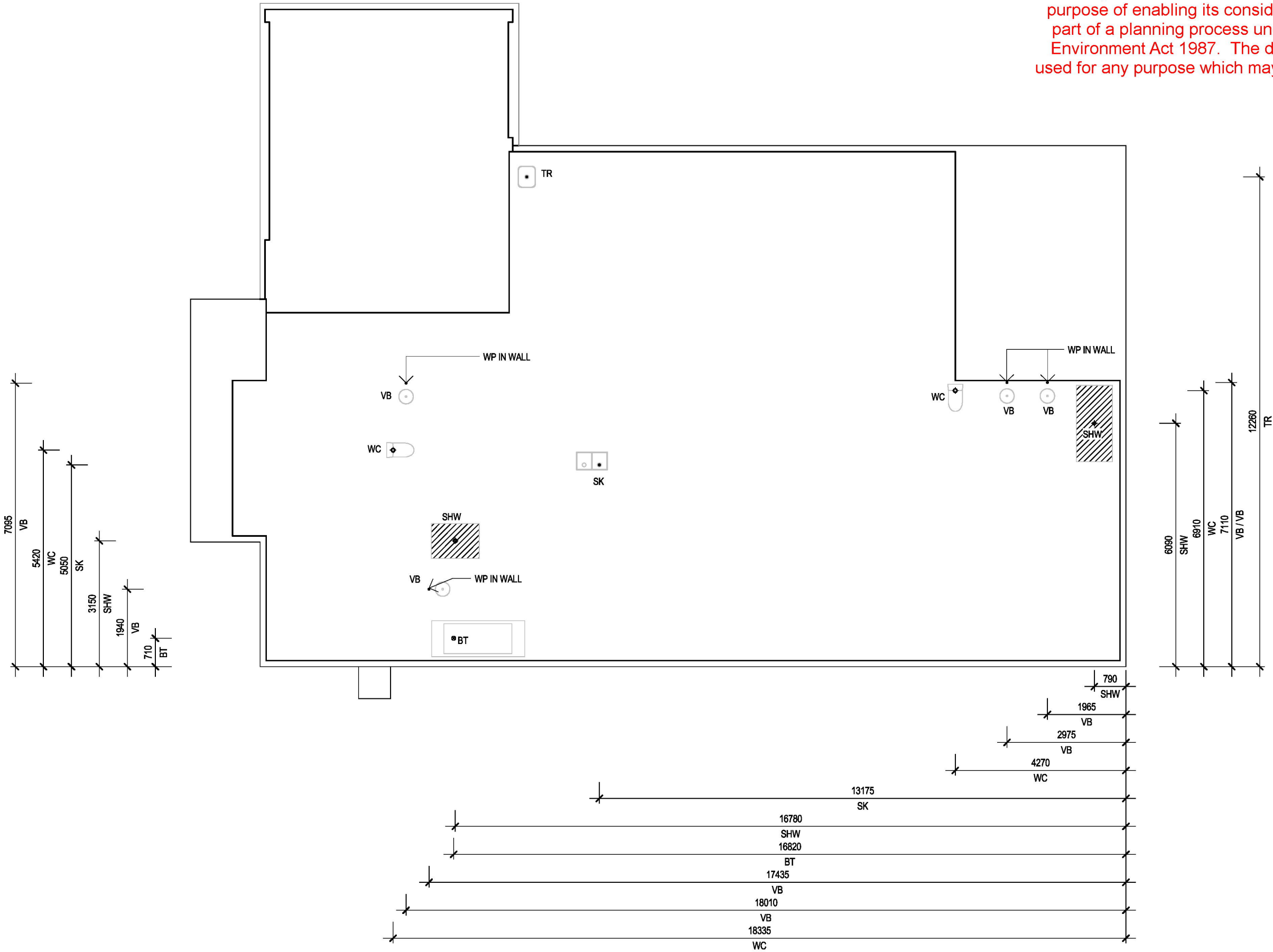
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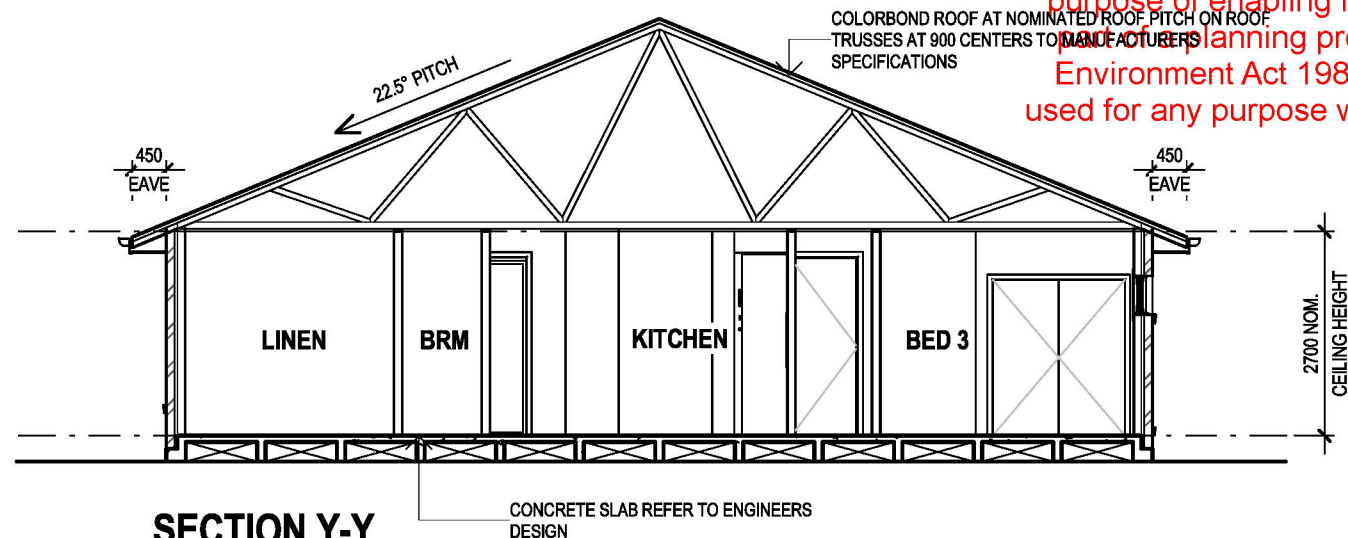
Printed 19/08/2025  
Page 58 of 84



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<p>GENERAL NOTES</p>	<p>LEGEND</p> <ul style="list-style-type: none"><li>SHW DENOTES SHOWER OUTLET</li><li>WP PC DENOTES POWERWATER CONDUIT</li><li>WC DENOTES TOILET SUITE OUTLET</li><li>BT DENOTES BATH TUB OUTLET</li><li>VB DENOTES VANITY BASIN OUTLET</li><li>TR DENOTES LAUNDRY THROUGH OUTLET</li><li>SK DENOTES KITCHEN SINK OUTLET</li></ul>	<p>CLIENT ACKNOWLEDGEMENT</p> <p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 36 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<p>SHEET TITLE</p> <p>PLUMBING LAYOUT</p> <p>HOUSE NAME FITZROY 30 HAND RH CATEGORY D</p> <p>FACADE NAME SOMERSET</p> <p>SHEET SCALE 1 : 100 ORIGINAL SHEET SIZE A3 COPYRIGHT 2025</p> <p><small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	<p>ALPHA COLLECTION</p> <p>JG KING HOMES</p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>CLIENT</p> <p>ADDRESS LOT 27, NO. 34 HOUGHTON CRESCENT</p> <p>SUBURB EAGLE POINT VIC 3878</p> <p>JOB NO 2411TRA276 JOB DATE 21/07/2025</p> <p>DRAWN GM CHECKED DL PROJECT STAGE CONTRACT</p> <p>MASTER RELEASE DATE 17/09/2024</p>
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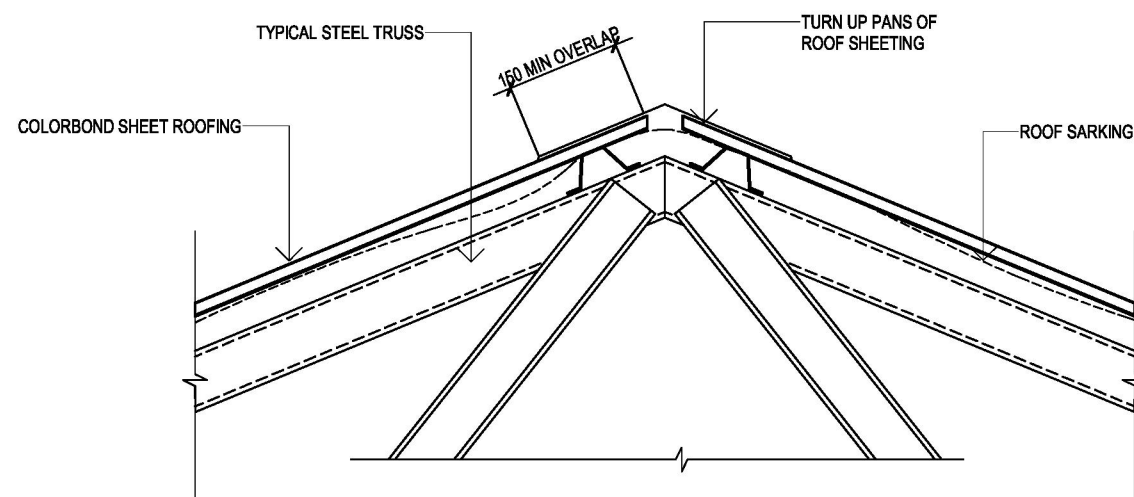
### SECTION Y-Y

SCALE: 1 : 100

### LYSAGHT PRODUCT ADVISORY BULLETIN

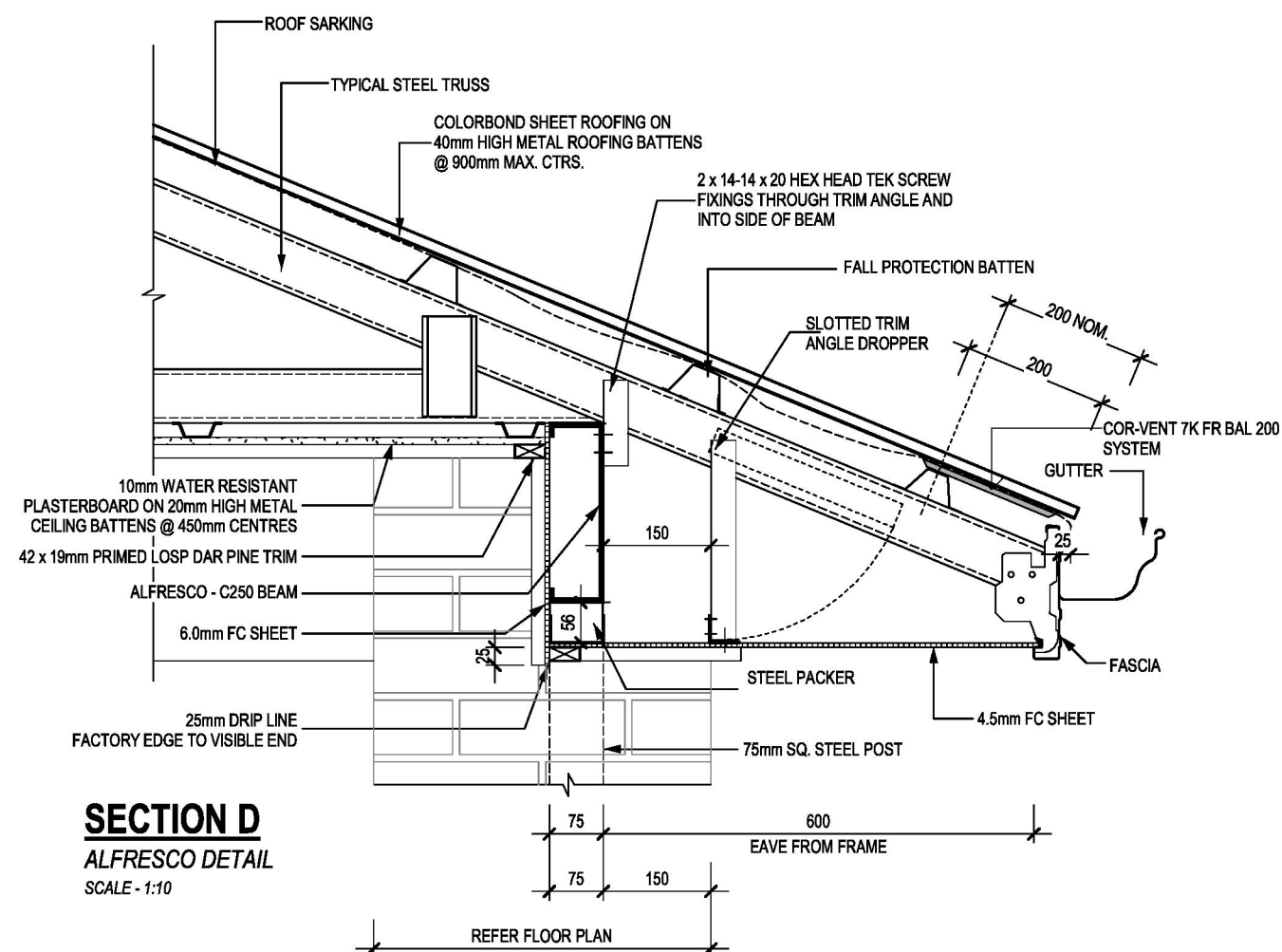
LYSAGHT CUSTOM ORB ROOF SHEETING PROVIDES 7500mm<sup>2</sup>/m OF VENTILATION  
REFER PAB 19

COREX 5K, 8K & 25K CORVENT PRODUCTS CONFIRM FREE OPEN AREA TO COMPLY WITH NCC VOLUME 2 - TABLE 10.8.3 NCC 2022  
REFER TO CERTIFICATION JAMES M FRICKER



### TYPICAL RIDGE DETAIL

SCALE - 1:10



### SECTION D

ALFRESCO DETAIL

SCALE - 1:10

<b>GENERAL NOTES</b>  	<b>LEGEND</b>  <div>  DENOTES INSITU SHOWER 50mm STEPDOWN WITH 100mm PIPE. REFER TO DETAILS </div> <div>  DENOTES STRUCTURAL BEAM TO ENGINEERS DESIGN </div> <div>  DENOTES STEPDOWN </div> <div>  DENOTES STRUCTURAL COLUMN </div> <div>  DENOTES FIRST FLOOR POINT LOAD </div> <div>  DENOTES LOAD BEARING WALL </div> <div>  DENOTES SPOT ELEVATION </div>	<b>CLIENT ACKNOWLEDGEMENT</b>  I/WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 36 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.  <div> <b>CLIENT 1:</b> _____ <b>DATE 1:</b> _____ </div> <div> <b>CLIENT 2:</b> _____ <b>DATE 2:</b> _____ </div> <div> <b>JGK BUILDER:</b> _____ <b>DATE 3:</b> _____ </div>	<b>SHEET TITLE</b>  <b>SECTION/DETAILS</b> <div> <b>HOUSE NAME</b> <b>FITZROY 30</b> <b>HAND</b> <b>RH</b> <b>CATEGORY</b> <b>D</b> </div> <div> <b>FACADE NAME</b> <b>SOMERSET</b> </div> <div> <b>SHEET SCALE</b> <b>As indicated</b> <b>ORIGINAL SHEET SIZE</b> <b>A3</b> <b>COPYRIGHT</b> <b>2025</b> </div> <small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small> <small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small>	<div> <b>ALPHA</b> COLLECTION </div> <div> <b>JG KING HOMES</b> </div> <div> <b>TRARALGON</b>  154 ARGYLE STREET,  TRARALGON, VIC 3844  T(03) 5175 5555 </div>	<b>CLIENT</b>  <div> <b>ADDRESS</b>  LOT 27, NO. 34 HOUGHTON CRESCENT  SUBURB  EAGLE POINT VIC 3878 </div> <div> <b>JOB NO</b> 2411TRA276 <b>JOB DATE</b> 21/07/2025 </div> <div> <b>DRAWN</b> GM <b>CHECKED</b> DL <b>PROJECT STAGE</b> CONTRACT </div> <div> <b>MASTER RELEASE DATE</b> 17/09/2024 <b>SHEDUC</b> 16 <b>of</b> 20 </div>
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LYSAGHT PRODUCT ADVISORY BULLETIN

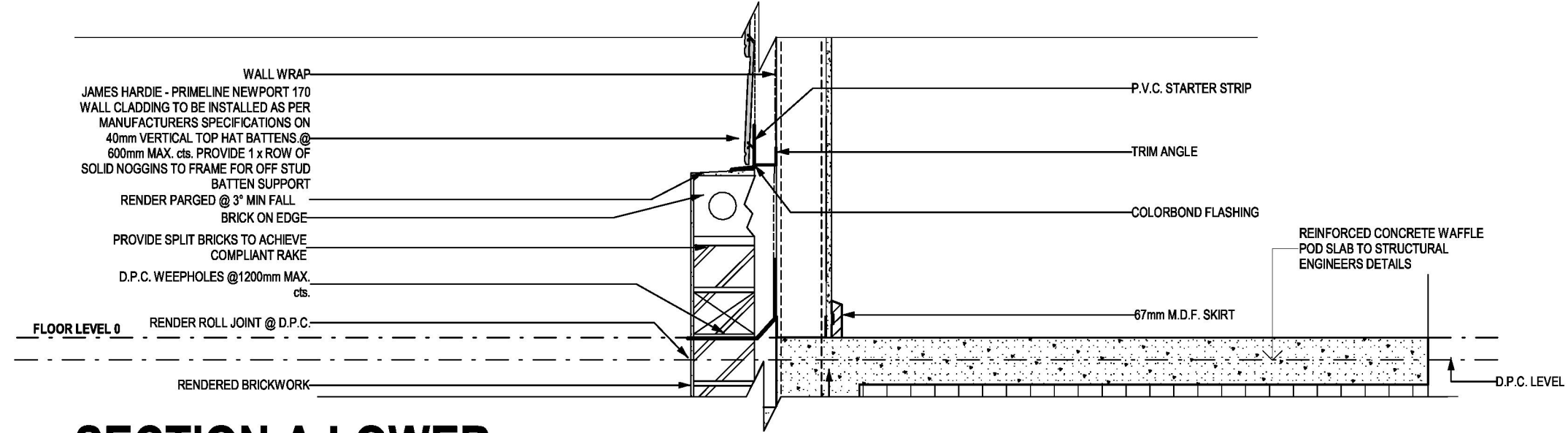
LYSAGHT CUSTOM ORB ROOF SHEETING PROVIDES 7500mm<sup>2</sup>/m OF VENTILATION  
REFER PAB 19

COREX 5K, 8K & 25K CORVENT PRODUCTS CONFIRM FREE OPEN AREA TO COMPLY WITH NCC VOLUME 2 - TABLE 10.8.3 NCC 2022  
REFER TO CERTIFICATION JAMES M FRICKER

U/S CEILING (REFER ELEVATIONS)

SECTION A UPPER

SOMERSET FACADE  
SCALE - 1:10



SECTION A LOWER

SOMERSET FACADE  
SCALE - 1:10

GENERAL NOTES		CLIENT ACKNOWLEDGEMENT		SHEET TITLE		CLIENT	
<ul style="list-style-type: none"><li>THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3968.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY</li><li>FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY &amp; ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS</li><li>NOTE : FLOOR TILE AREA IS EXCLUDING SKIRTING TILES</li></ul>		I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.		SECTION/DETAILS		ADDRESS	
		CLIENT 1:					

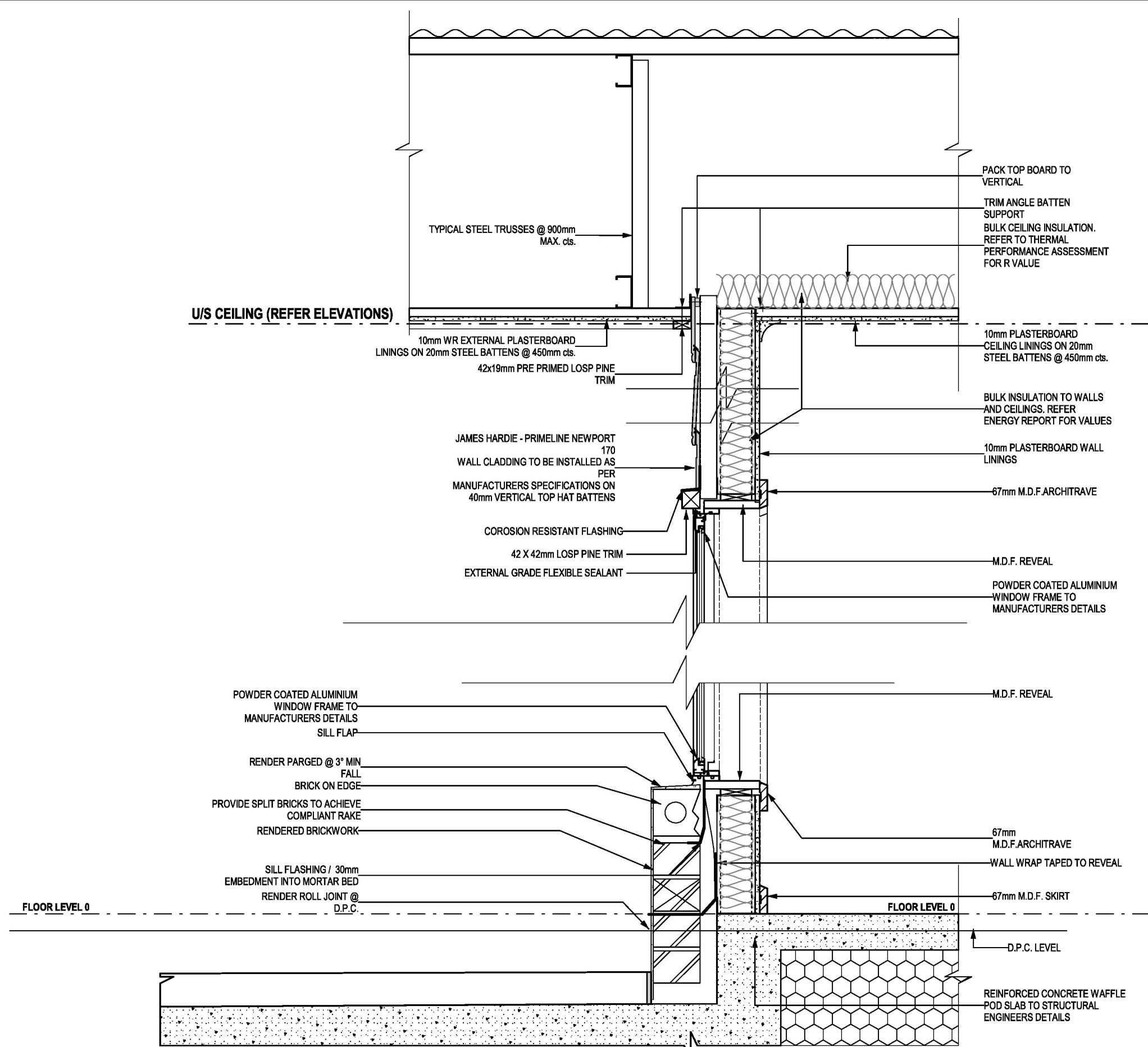


ALPHA  
COLLECTION



JG KING  
HOMES

154 ARGYLE STREET,  
TRARALGON, VIC 3844  
T(03) 5175 5555



## SECTION B

SOMERSET FACADE  
SCALE - 1:10

## SILL DETAIL

SOMERSET FACADE  
SCALE - 1:10

### GENERAL NOTES

- THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3958.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY
- FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY & ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS
- NOTE : FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

### CLIENT ACKNOWLEDGEMENT

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CLIENT 1:

DATE 1:

CLIENT 2:

DATE 2:

JGK BUILDER:

DATE 3:

### SHEET TITLE

#### SECTION/DETAILS

HOUSE NAME	HAND	CATEGORY
FITZROY 30	RH	D
FACADE NAME		
SOMERSET		
SHEET SCALE	ORIGINAL SHEET SIZE	COPYRIGHT
1 : 10	A3	2025

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### CLIENT

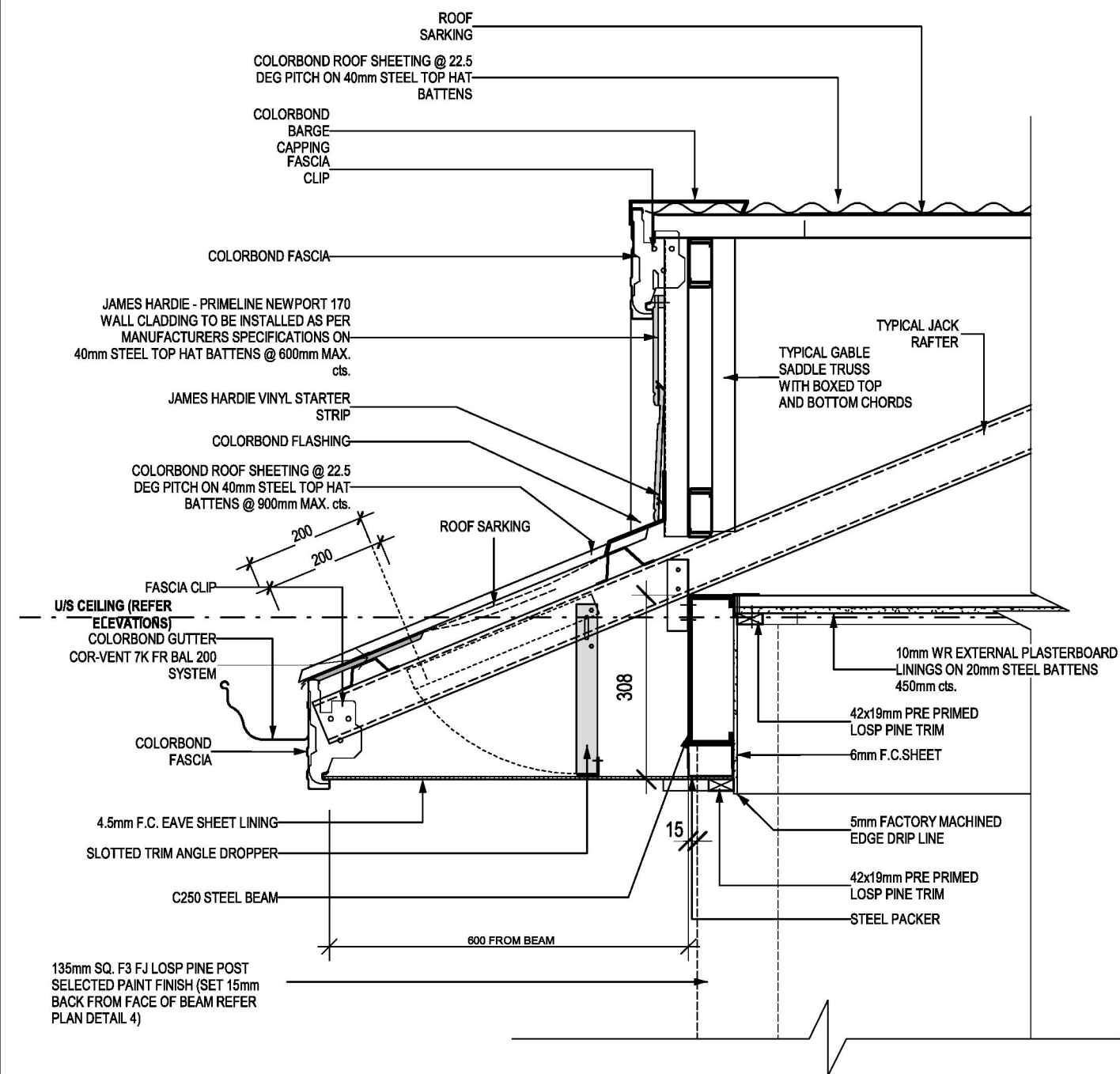
ADDRESS	
LOT 27, NO. 34 HOUGHTON CRESCENT	
SUBURB	
EAGLE POINT VIC 3878	
JOB NO	JOB DATE
2411TRA276	21/07/2025
DRAWN	CHECKED
GM	DL
MASTER RELEASE DATE	PROJECT STAGE
17/09/2024	CONTRACT

Printed 19/08/2025

Page 62 of 84



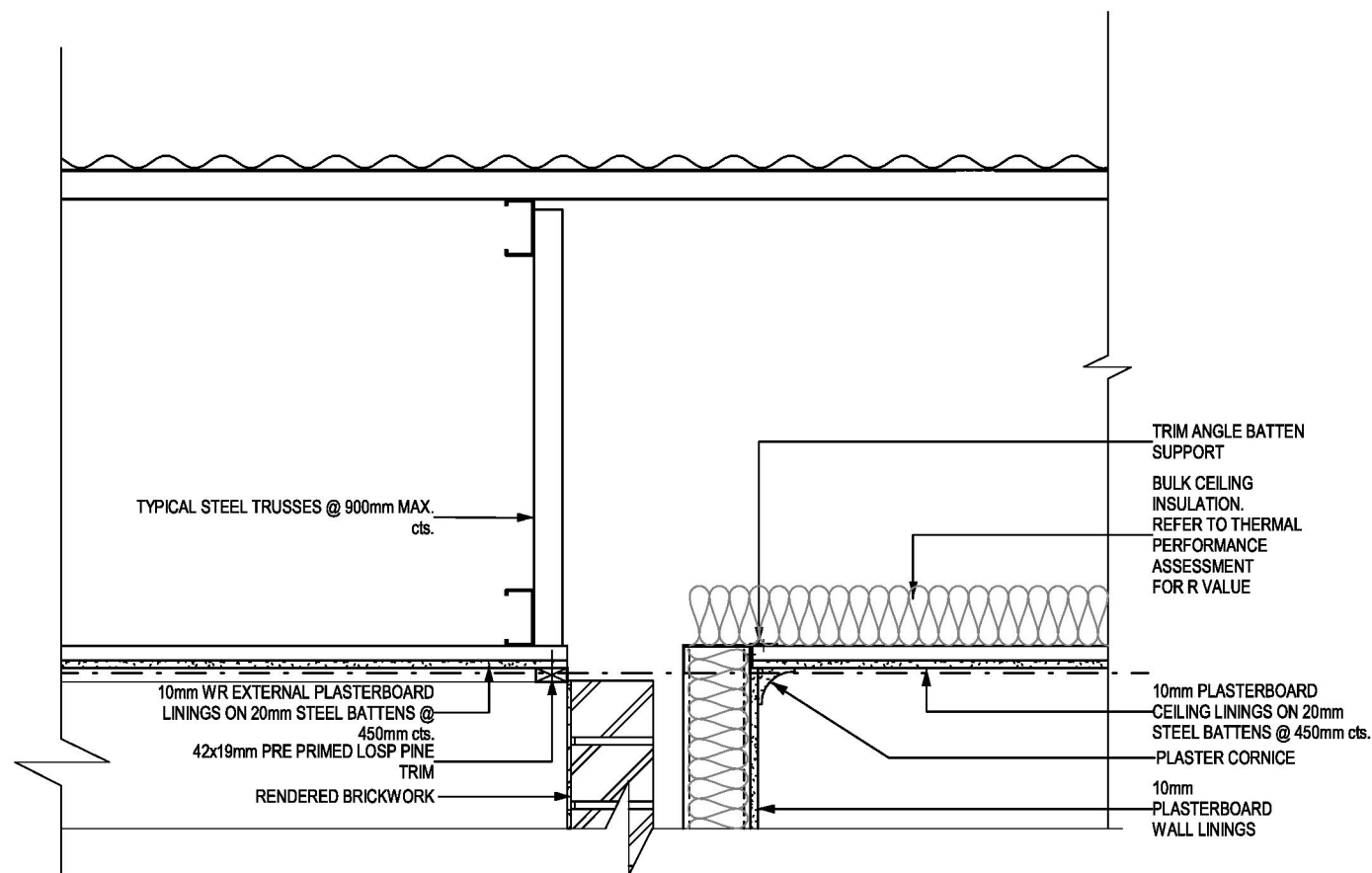
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## SECTION C

### SOMERSET FACADE

SCALE - 1:10



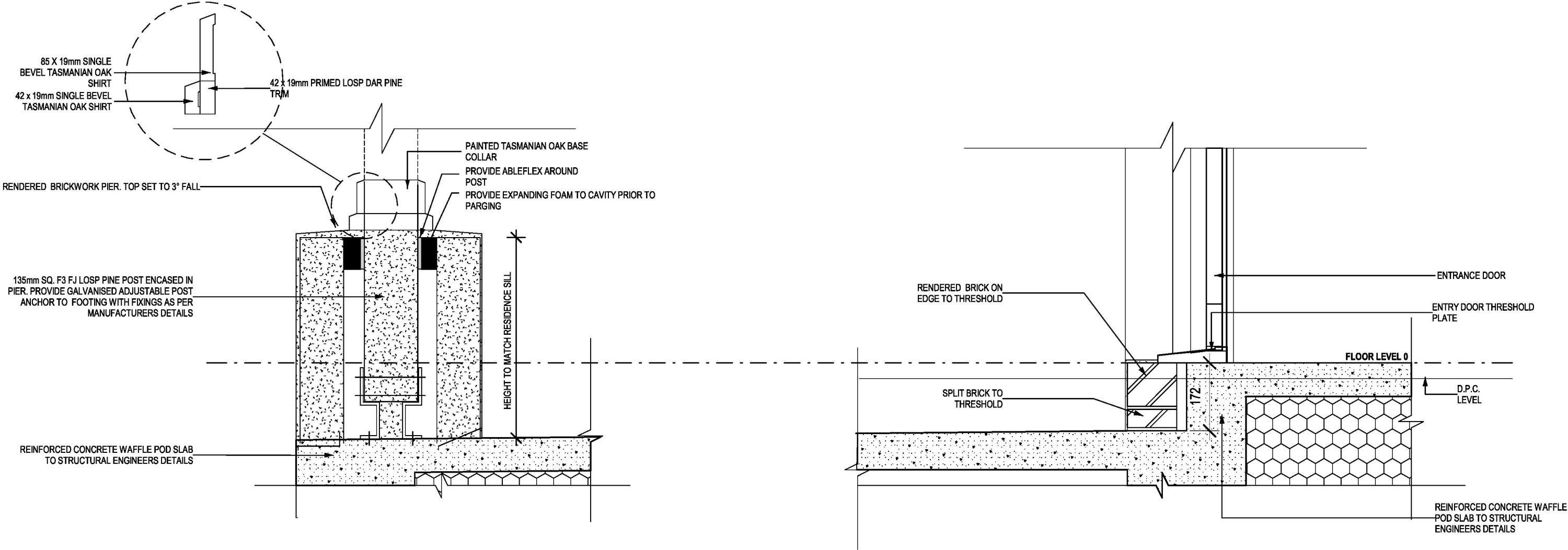
### LYSAGHT PRODUCT ADVISORY BULLETIN

LYSAGHT CUSTOM ORB ROOF SHEETING PROVIDES  
7500mm<sup>2</sup>/m OF VENTILATION  
REFER PAB 19

COREX 5K, 8K & 25K CORVENT  
PRODUCTS CONFIRM FREE OPEN AREA TO COMPLY  
WITH NCC VOLUME 2 - TABLE 10.8.3 NCC 2022  
REFER TO CERTIFICATION JAMES M FRICKER

GENERAL NOTES		CLIENT ACKNOWLEDGEMENT	SHEET TITLE	CLIENT	
<ul style="list-style-type: none"><li>THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 9888.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY</li><li>FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY &amp; ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS</li><li>NOTE : FLOOR TILE AREA IS EXCLUDING SKIRTING TILES</li></ul>		I/WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 36 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.	<b>SECTION/DETAILS</b> HOUSE NAME <b>FITZROY 30</b> FACADE NAME <b>SOMERSET</b> SHEET SCALE <b>1 : 10</b> ORIGINAL SHEET SIZE <b>A3</b> COPYRIGHT <b>2025</b> <small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD*</small> <small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small>	ADDRESS LOT 27, NO. 34 HOUGHTON CRESCENT	
				SUBURB EAGLE POINT VIC 3878	
				JOB NO 2411TRA276	JOB DATE 21/07/2025
				DRAWN GM	CHECKED DL
		CLIENT 1:	DATE 1:	PROJECT STAGE CONTRACT	
		CLIENT 2:	DATE 2:	MASTER RELEASE DATE 17/09/2024	
		JGK BUILDER:	DATE 3:	SHEET NO 19 of 28	

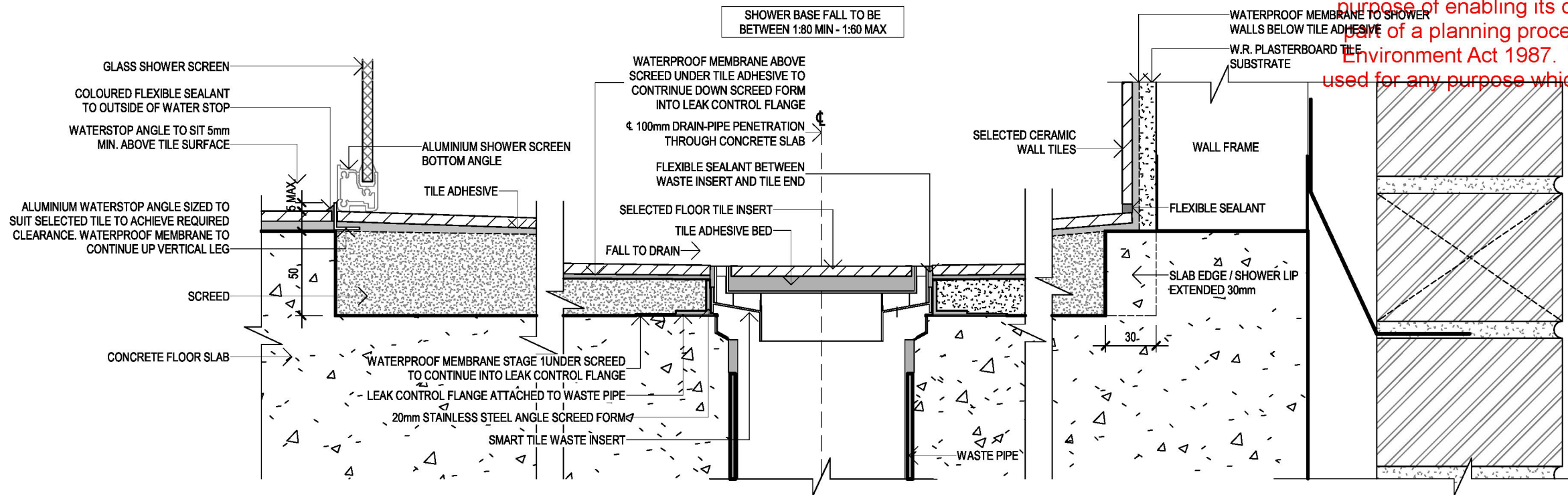




**SECTION C**  
**SOMERSET FACADE (NO PAVING)**  
SCALE - 1:10

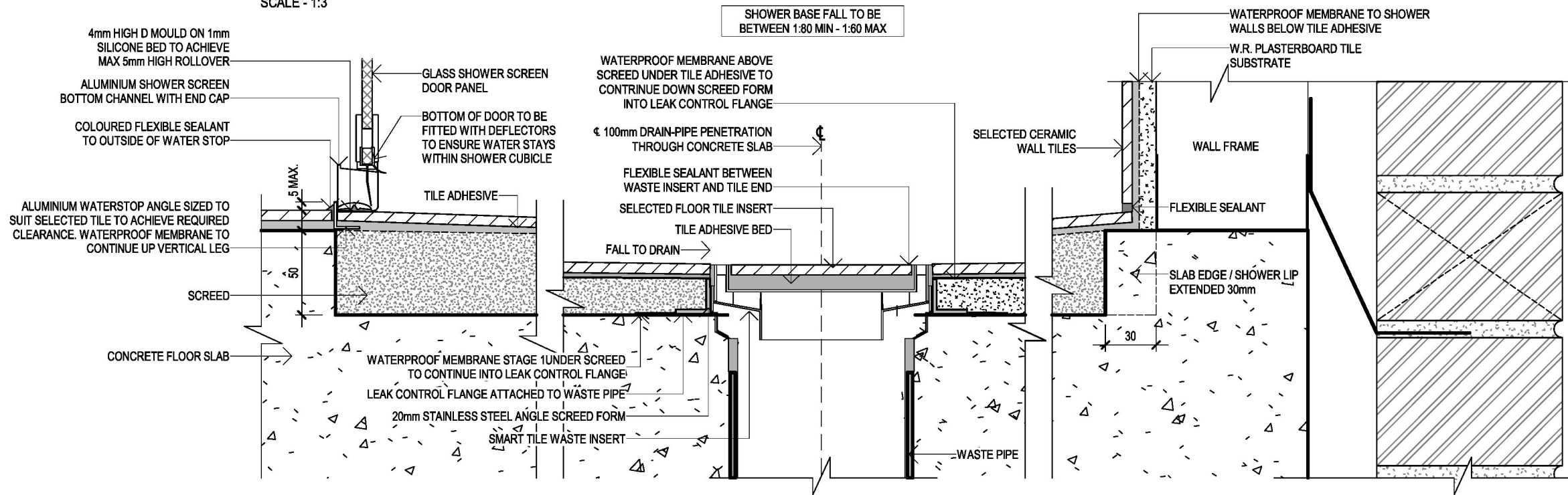
GENERAL NOTES				CLIENT ACKNOWLEDGEMENT		SHEET TITLE		CLIENT	
<ul style="list-style-type: none"><li>THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3958.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY</li><li>FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY &amp; ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS</li><li>NOTE : FLOOR TILE AREA IS EXCLUDING SKIRTING TILES</li></ul>				<p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 36 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1:    </p>					





## RECESSED TILED (INSITU) SHOWER BASE ON EXTERNAL CONCRETE SLAB (SCREEN SECTION)

SCALE - 1:3

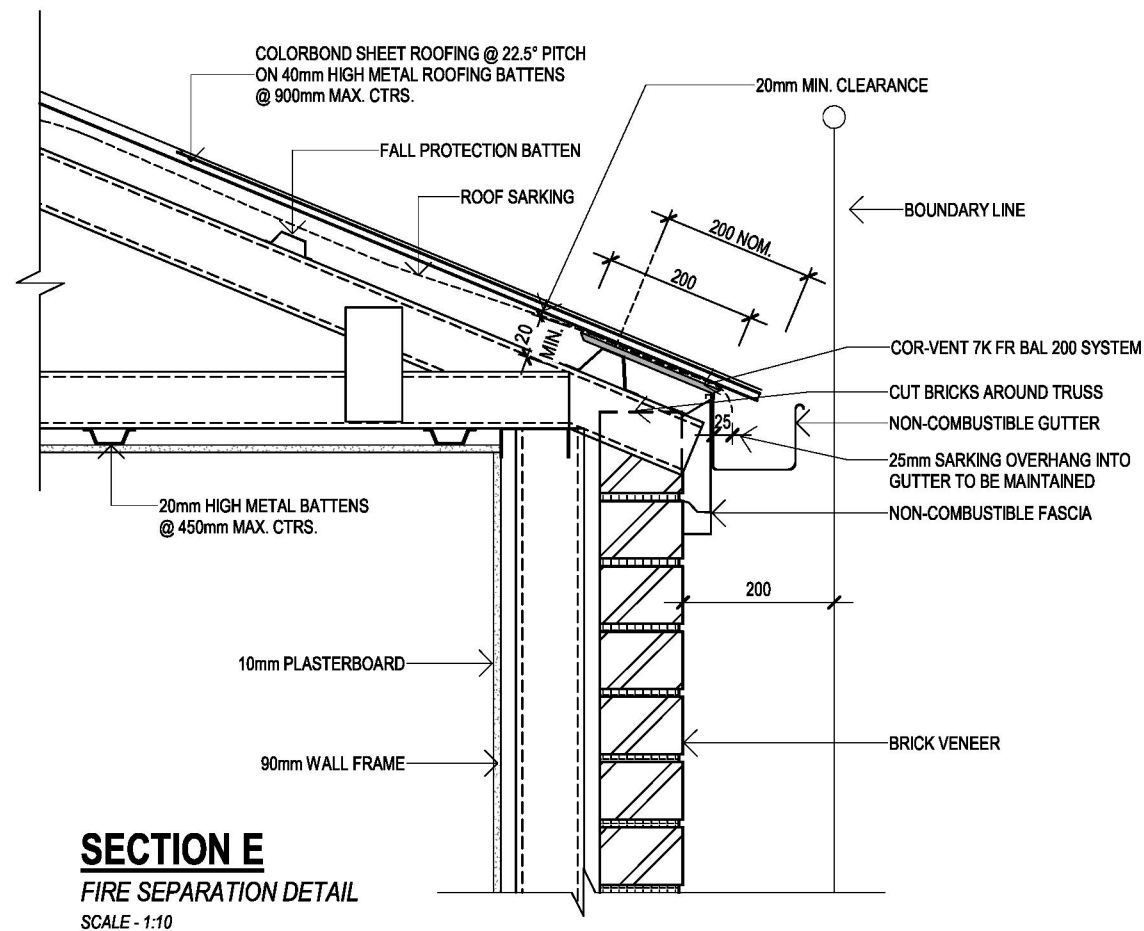


## RECESSED TILED (INSITU) SHOWER BASE ON EXTERNAL CONCRETE SLAB (DOOR SECTION)

SCALE - 1:3

<p><b>GENERAL NOTES</b></p> <ul style="list-style-type: none"> <li>THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3088.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY</li> <li>FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY &amp; ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS</li> <li>NOTE : FLOOR TILE AREA IS EXCLUDING SKIRTING TILES</li> </ul>		<p><b>CLIENT ACKNOWLEDGEMENT</b></p> <p>I/WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 36 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: _____ DATE 1: _____</p> <p>CLIENT 2: _____ DATE 2: _____</p> <p>JGK BUILDER: _____ DATE 3: _____</p>	<p><b>SHEET TITLE</b></p> <p><b>SECTION/DETAILS</b></p> <p>HOUSE NAME: <b>FITZROY 30</b> HAND: <b>RH</b> CATEGORY: <b>D</b></p> <p>FACADE NAME: <b>SOMERSET</b></p> <p>SHEET SCALE: <b>1:3</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2025</b></p> <p><small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	<p><b>ALPHA COLLECTION</b></p> <p><b>JG KING HOMES</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p><b>CLIENT</b></p> <p>ADDRESS: <b>LOT 27, NO. 34 HOUGHTON CRESCENT</b></p> <p>SUBURB: <b>EAGLE POINT VIC 3878</b></p> <p>JOB NO: <b>2411TRA276</b> JOB DATE: <b>21/07/2025</b></p> <p>DRAWN: <b>GM</b> CHECKED: <b>DL</b> PROJECT STAGE: <b>CONTRACT</b></p> <p>MASTER RELEASE DATE: <b>17/09/2024</b></p>
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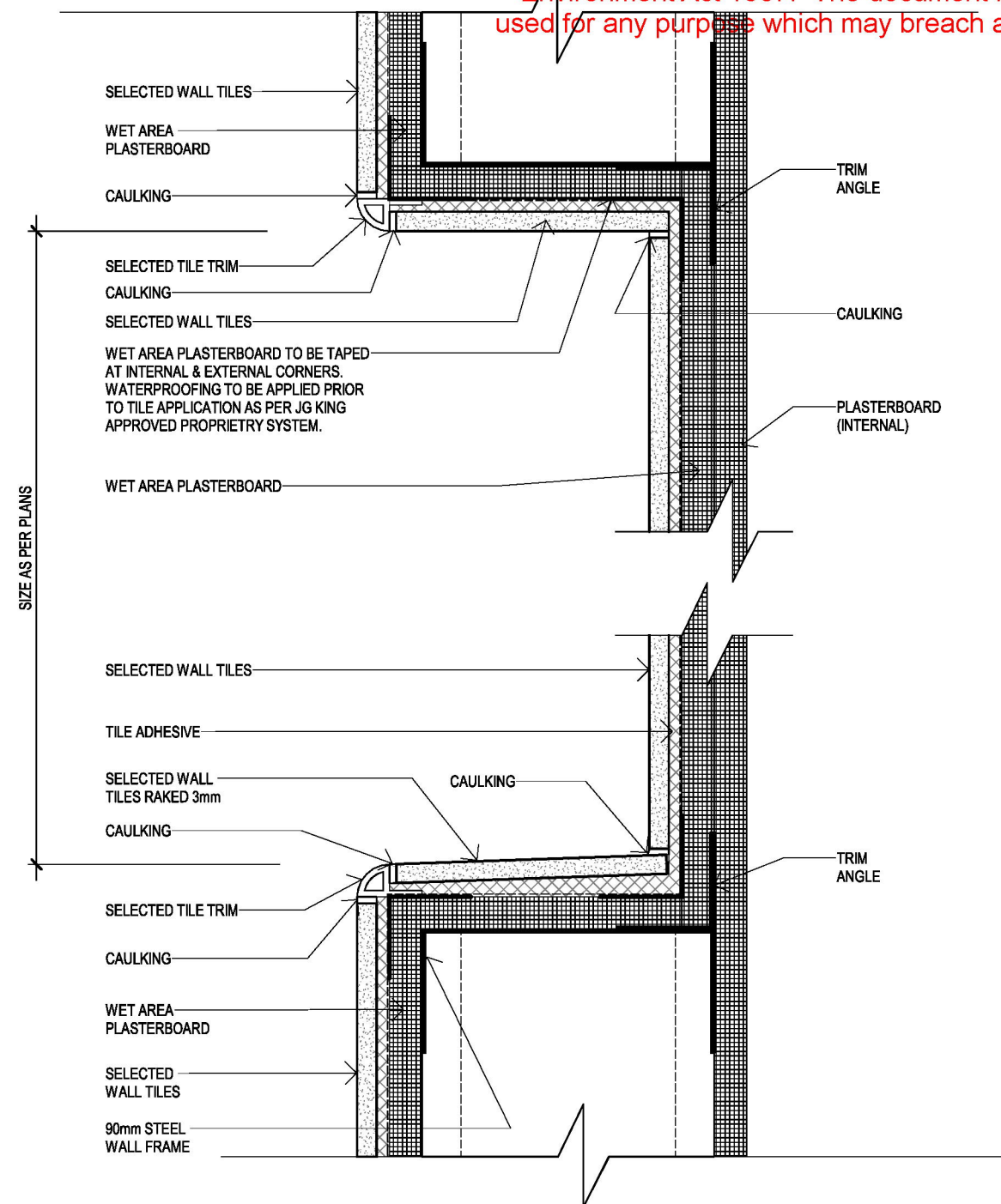




LYSAGHT PRODUCT ADVISORY BULLETIN

LYSAGHT CUSTOM ORB ROOF SHEETING PROVIDES 7500mm<sup>2</sup>/m OF VENTILATION  
REFER PAB 19

COREX 5K, 8K & 25K CORVENT PRODUCTS CONFIRM FREE OPEN AREA TO COMPLY WITH NCC VOLUME 2 - TABLE 10.8.3 NCC 2022  
REFER TO CERTIFICATION JAMES M FRICKER



<p><b>GENERAL NOTES</b></p> <ul style="list-style-type: none"> <li>THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3958.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY</li> <li>FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY &amp; ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS</li> <li>NOTE : FLOOR TILE AREA IS EXCLUDING SKIRTING TILES</li> </ul>		<p><b>CLIENT ACKNOWLEDGEMENT</b></p> <p>I/WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 36 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: _____ DATE 1: _____</p> <p>CLIENT 2: _____ DATE 2: _____</p> <p>JGK BUILDER: _____ DATE 3: _____</p>	<p><b>SHEET TITLE</b></p> <p><b>SECTION/DETAILS</b></p> <p>HOUSE NAME: <b>FITZROY 30</b> HAND: <b>RH</b> CATEGORY: <b>D</b></p> <p>FACADE NAME: <b>SOMERSET</b></p> <p>SHEET SCALE: <b>As indicated</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2025</b></p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD*</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	<p><b>ALPHA COLLECTION</b></p> <p><b>JG KING HOMES</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p><b>CLIENT</b></p> <p>ADDRESS: <b>LOT 27, NO. 34 HOUGHTON CRESCENT</b></p> <p>SUBURB: <b>EAGLE POINT VIC 3878</b></p> <p>JOB NO: <b>2411TRA276</b> JOB DATE: <b>21/07/2025</b></p> <p>DRAWN: <b>GM</b> CHECKED: <b>DL</b> PROJECT STAGE: <b>CONTRACT</b></p> <p>MASTER RELEASE DATE: <b>17/09/2024</b></p>
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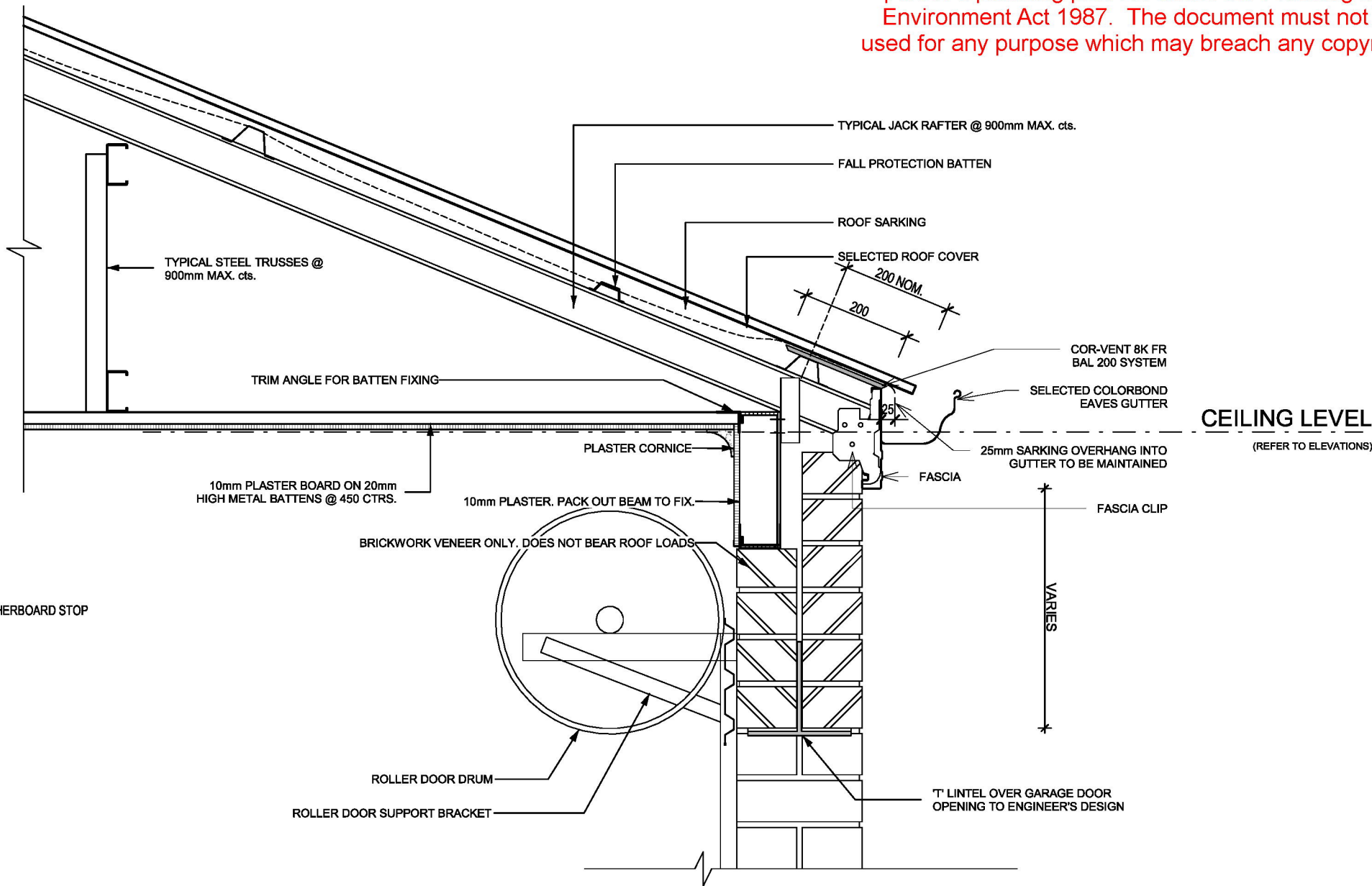


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LYSAGHT PRODUCT ADVISORY BULLETIN

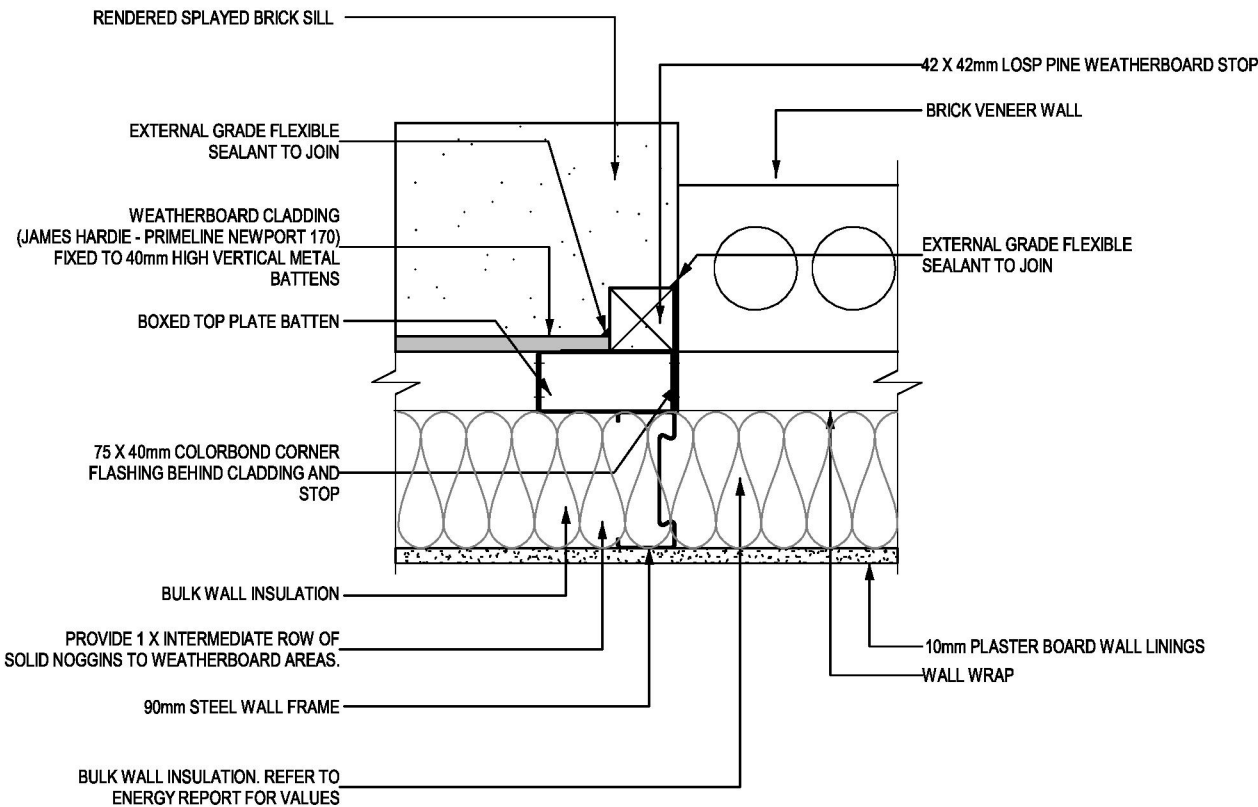
LYSAGHT CUSTOM ORB ROOF SHEETING PROVIDES 7500mm<sup>2</sup>/m OF VENTILATION  
REFER PAB 19

COREX 5K, 8K & 25K CORVENT PRODUCTS CONFIRM FREE OPEN AREA TO COMPLY WITH NCC VOLUME 2 - TABLE 10.8.3 NCC 2022  
REFER TO CERTIFICATION JAMES M FRICKER



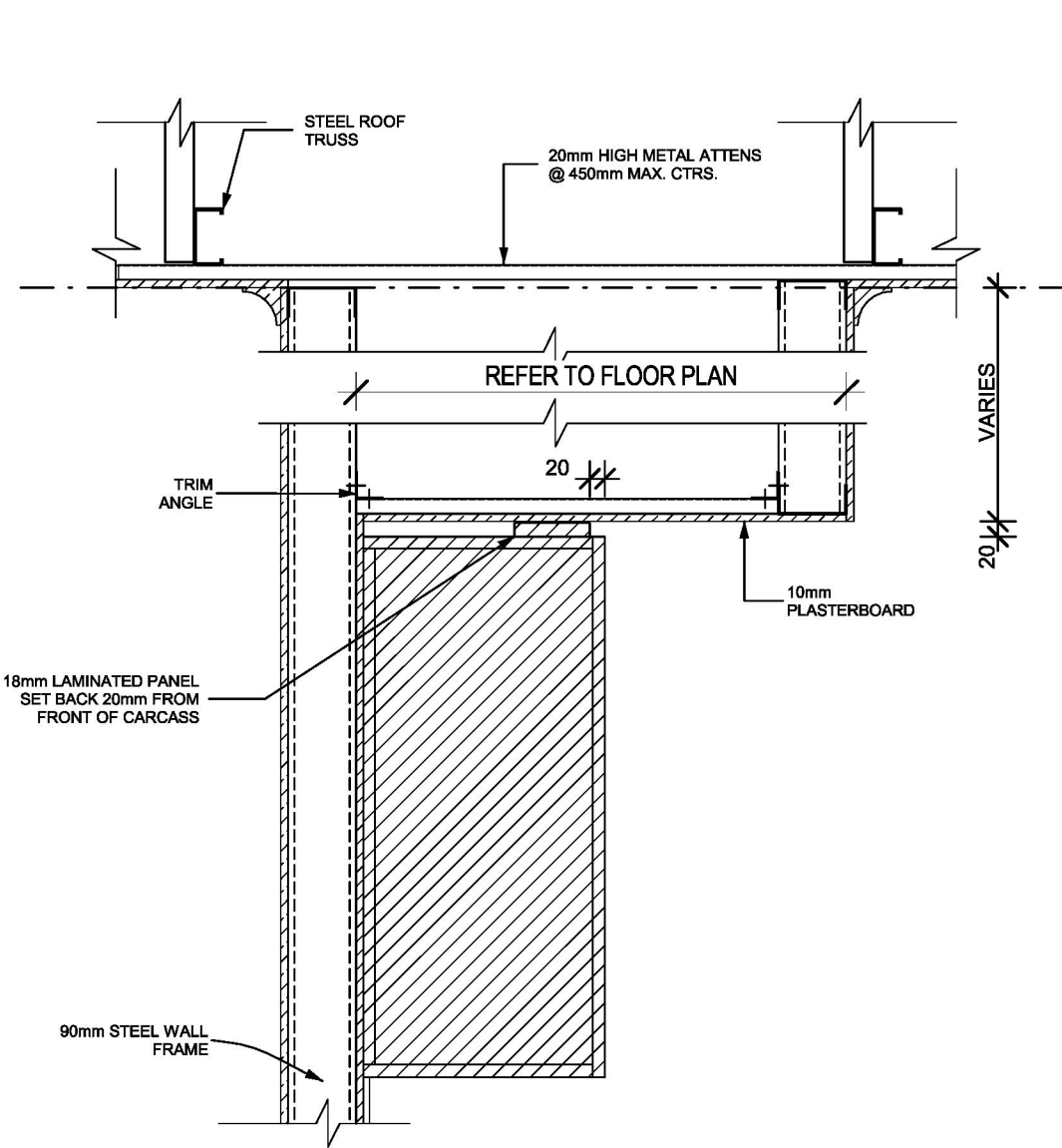
**SECTION F - GARAGE 'T' LINTEL DETAIL**  
SCALE - 1:10

**TYPICAL DETAIL ONLY,  
ROOF COVER, CLADDINGS  
EAVES, PARAPETS ETC.  
MAY VARY REFER TO  
PLANS AND ELEVATIONS**

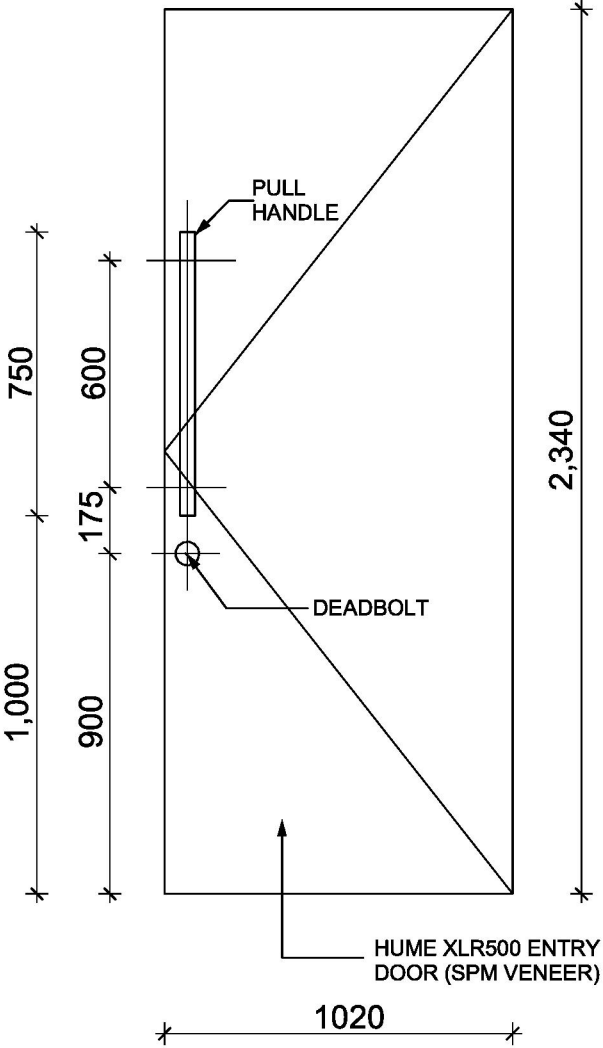


**DETAIL 1**  
**SOMERSET FACADE**  
SCALE - 1:5

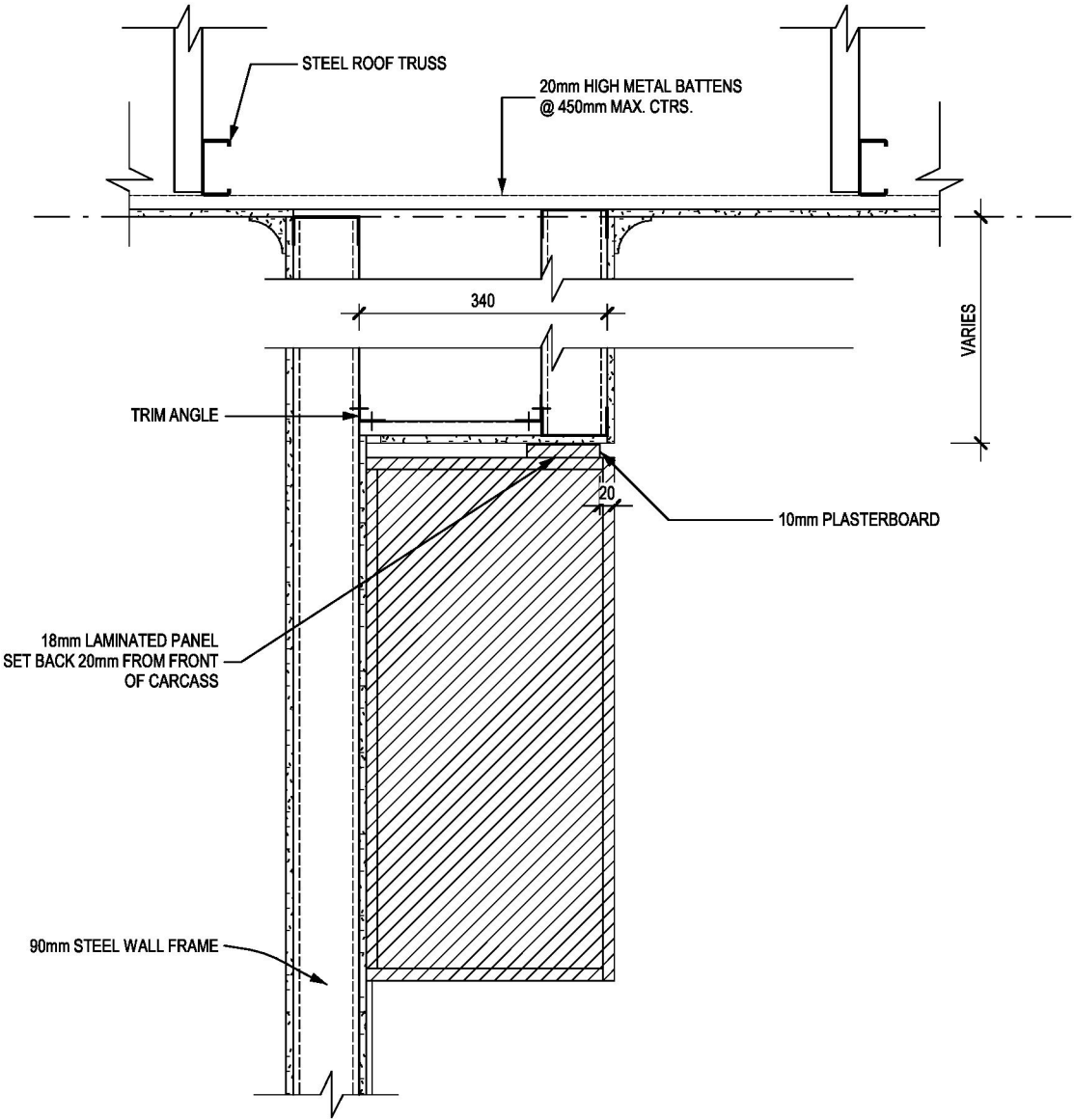
<p><b>GENERAL NOTES</b></p> <ul style="list-style-type: none"> <li>THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3958.1 AND BE LOCATED ON A FULL TILE JOINT AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY</li> <li>FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY &amp; ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS</li> <li><b>NOTE :</b> FLOOR TILE AREA IS EXCLUDING SKIRTING TILES</li> </ul>		<p><b>CLIENT ACKNOWLEDGEMENT</b></p> <p>I/WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 36 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: _____ DATE 1: _____</p> <p>CLIENT 2: _____ DATE 2: _____</p> <p>JGK BUILDER: _____ DATE 3: _____</p>	<p><b>SHEET TITLE</b></p> <p><b>SECTION/DETAILS</b></p> <p>HOUSE NAME: <b>FITZROY 30</b> HAND: <b>RH</b> CATEGORY: <b>D</b></p> <p>FACADE NAME: <b>SOMERSET</b></p> <p>SHEET SCALE: <b>As indicated</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2025</b></p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD*</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	<p><b>ALPHA COLLECTION</b></p> <p><b>JG KING HOMES</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p><b>CLIENT</b></p> <p>ADDRESS: <b>LOT 27, NO. 34 HOUGHTON CRESCENT</b></p> <p>SUBURB: <b>EAGLE POINT VIC 3878</b></p> <p>JOB NO: <b>2411TRA276</b> JOB DATE: <b>21/07/2025</b></p> <p>DRAWN: <b>GM</b> CHECKED: <b>DL</b> PROJECT STAGE: <b>CONTRACT</b></p> <p>MASTER RELEASE DATE: <b>17/09/2024</b></p>
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**BULKHEAD DETAIL**  
SCALE - 1:10



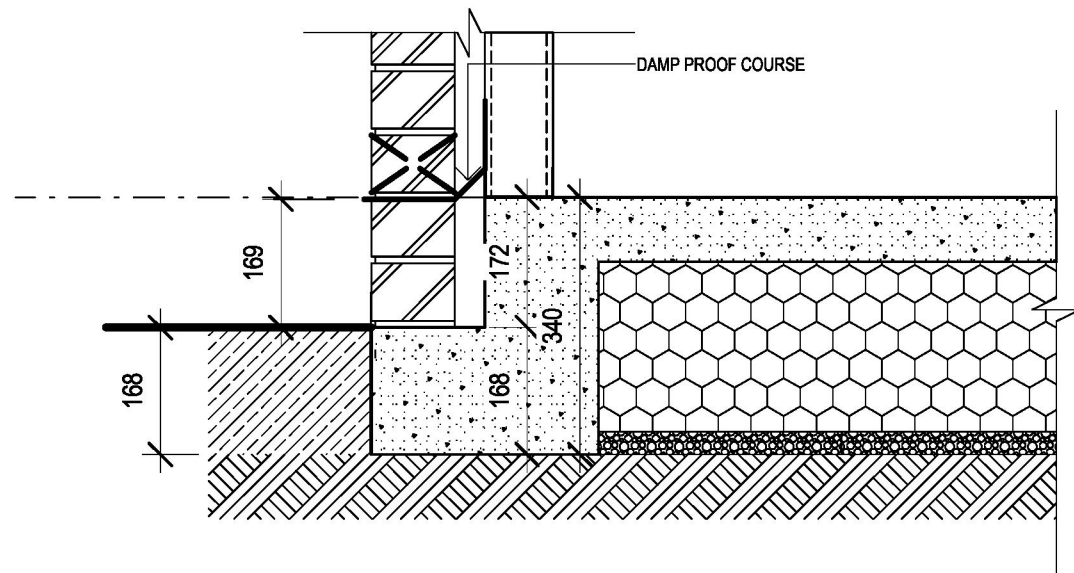
**FRONT DOOR LOCK /HANDLE DETAIL**  
SCALE - 1:20



**LAUNDRY JOINERY BULKHEAD DETAIL**  
SCALE - 1:10

<p><b>GENERAL NOTES</b></p> <ul style="list-style-type: none"> <li>THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3958.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY</li> <li>FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY &amp; ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS</li> <li>NOTE : FLOOR TILE AREA IS EXCLUDING SKIRTING TILES</li> </ul>		<p><b>CLIENT ACKNOWLEDGEMENT</b></p> <p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 36 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: _____ DATE 1: _____</p> <p>CLIENT 2: _____ DATE 2: _____</p> <p>JGK BUILDER: _____ DATE 3: _____</p>	<p><b>SHEET TITLE</b></p> <p><b>SECTION/DETAILS</b></p> <p>HOUSE NAME <b>FITZROY 30</b> HAND <b>RH</b> CATEGORY <b>D</b></p> <p>FACADE NAME <b>SOMERSET</b></p> <p>SHEET SCALE <b>As indicated</b> ORIGINAL SHEET SIZE <b>A3</b> COPYRIGHT <b>2025</b></p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD*</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	<p><b>ALPHA COLLECTION</b></p> <p><b>JG KING HOMES</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p><b>CLIENT</b></p> <p>ADDRESS <b>LOT 27, NO. 34 HOUGHTON CRESCENT</b></p> <p>SUBURB <b>EAGLE POINT VIC 3878</b></p> <p>JOB NO <b>2411TRA276</b> JOB DATE <b>21/07/2025</b></p> <p>DRAWN <b>GM</b> CHECKED <b>DL</b> PROJECT STAGE <b>CONTRACT</b></p> <p>MASTER RELEASE DATE <b>17/09/2024</b></p>
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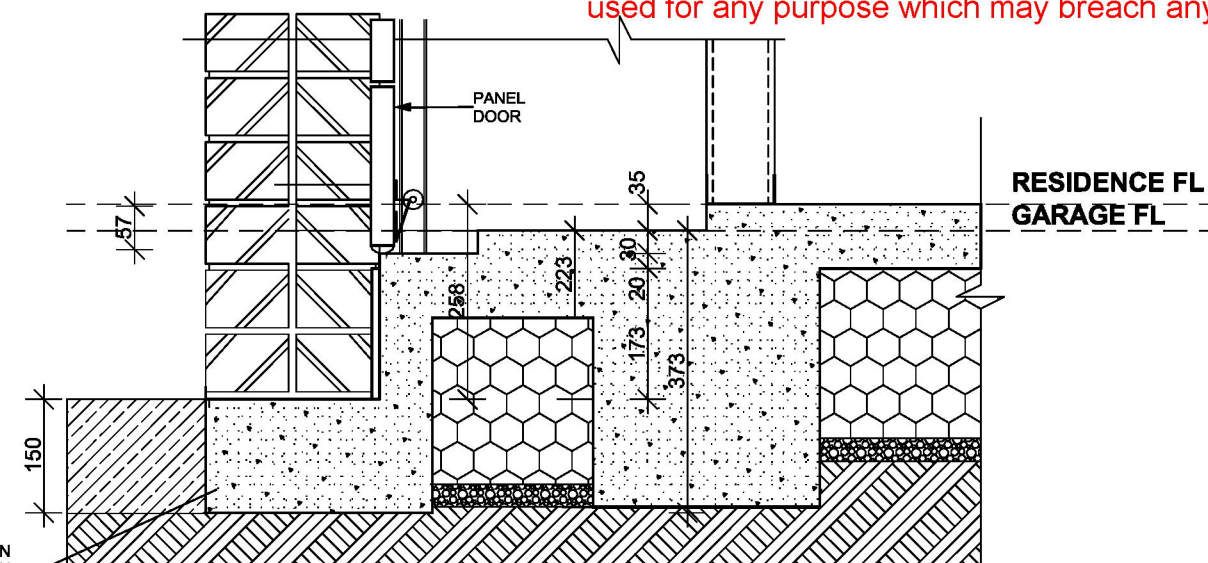




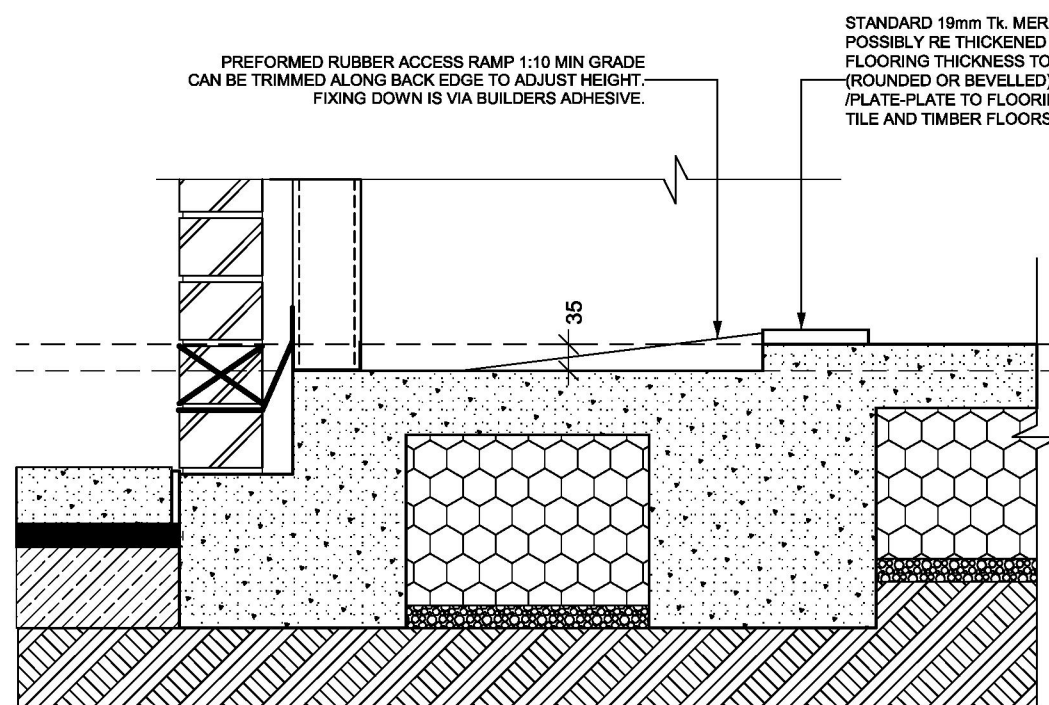
## 172mm REBATE TO REMAINDER NO EXTERNAL PAVING (225 pod)

SCALE 1:10

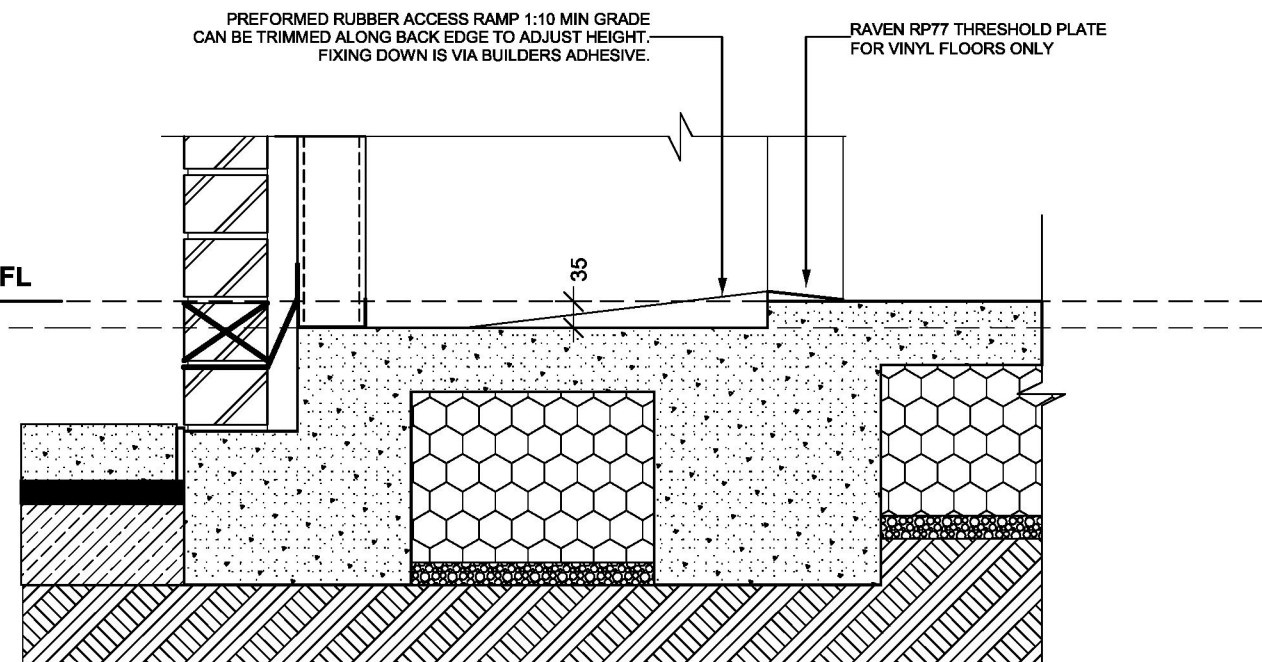
EDGE BEAM TO BE SCRATCHED IN  
TO ACHIEVE 150mm MIN. DEPTH  
225 POD ONLY



### GARAGE STEPDOWN AND ACCESS (WITH PORCH PAVING INCLUDED) 225 & 300 POD



### GARAGE STEPDOWN THRESHOLD DETAIL



GENERAL NOTES

<



**SCALE - 1:10**

GENERAL NOTES		CLIENT ACKNOWLEDGEMENT		SHEET TITLE		CLIENT	
<ul style="list-style-type: none"><li>THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3968.1 AND BE LOCATED ON A FULL TILE JOINT AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY</li><li>FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY &amp; ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS</li><li>NOTE : FLOOR TILE AREA IS EXCLUDING SKIRTING TILES</li></ul>		<p>I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1:    </p>					

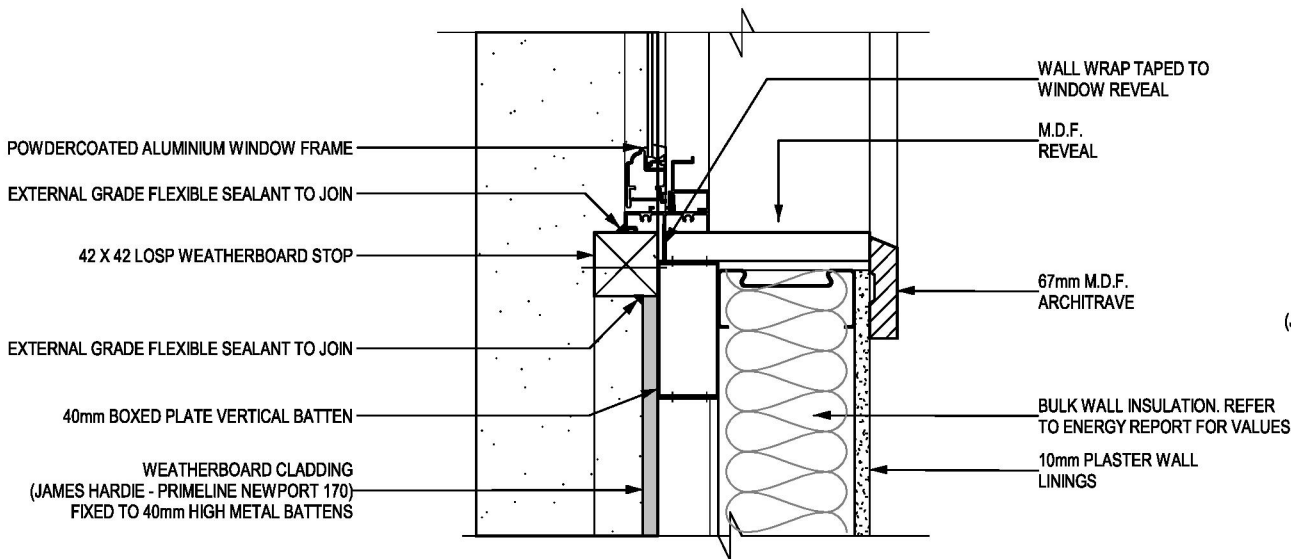


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# DETAIL 2

## SOMERSET FACADE

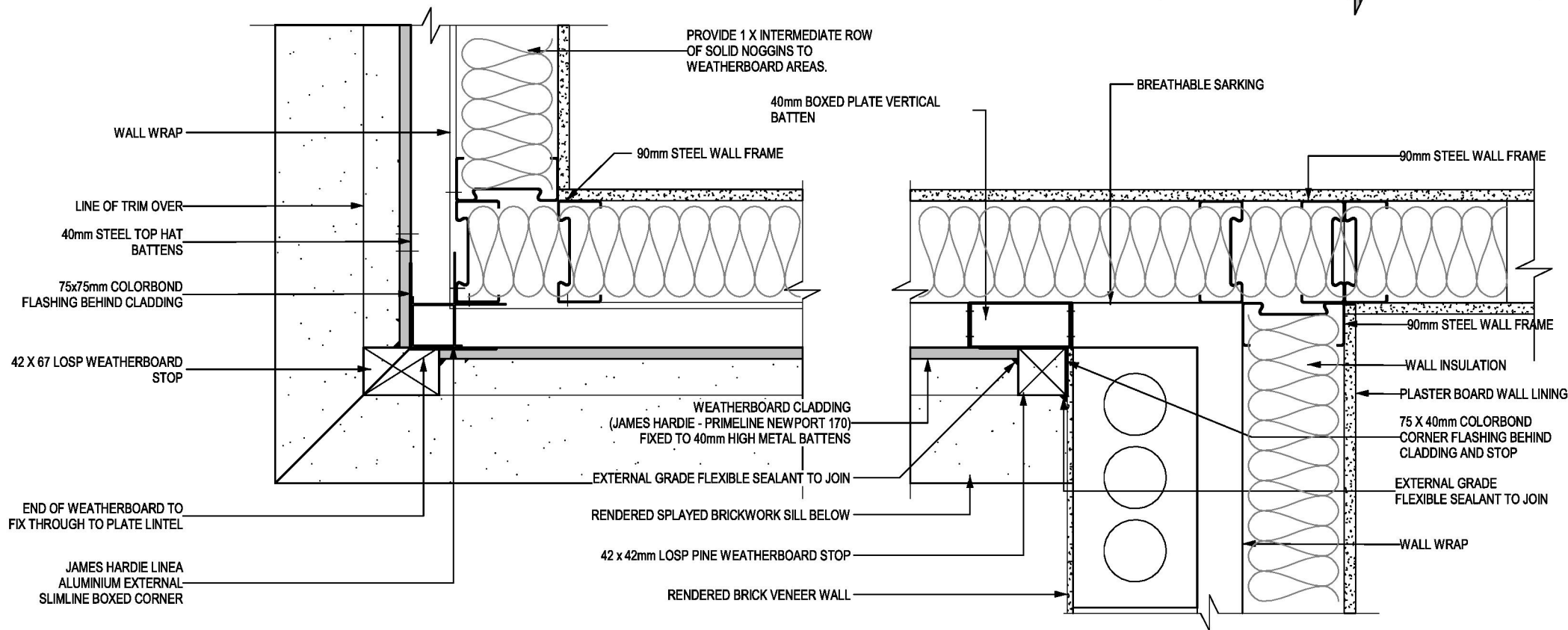
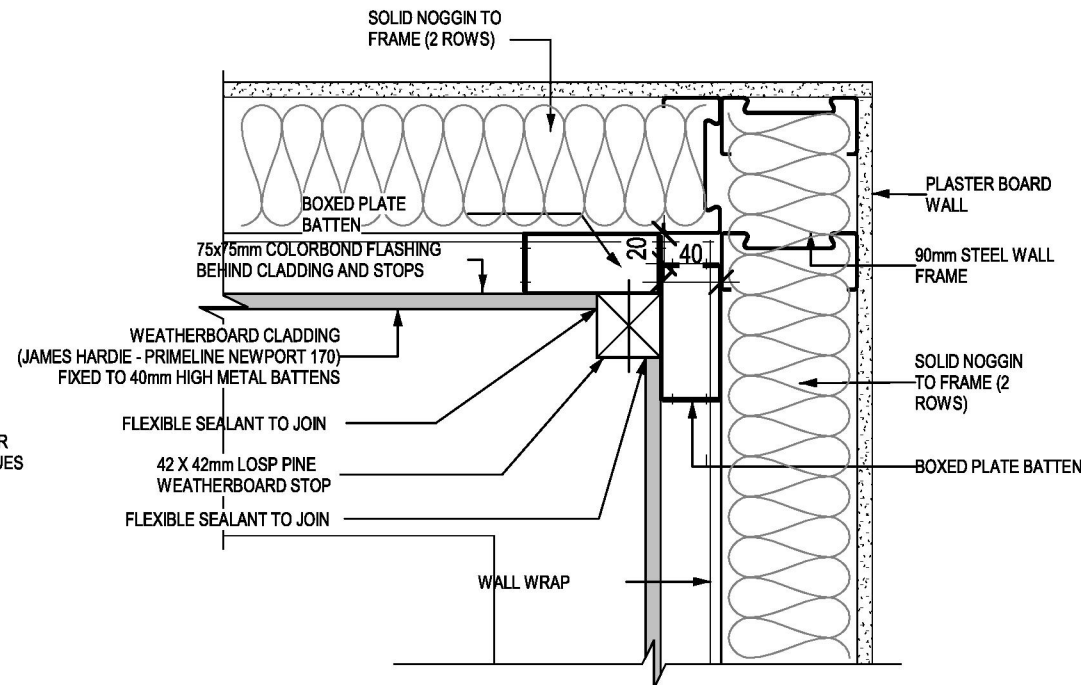
SCALE - 1:5



# DETAIL 3

## SOMERSET FACADE -

SCALE - 1:5



### GENERAL NOTES

- THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 988.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY
- FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY & ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS
- NOTE : FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

### CLIENT ACKNOWLEDGEMENT

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CLIENT 1: DATE 1:  
CLIENT 2: DATE 2:  
JGK BUILDER: DATE 3:

### SHEET TITLE

#### SECTION/DETAILS

HOUSE NAME: FITZROY 30  
HAND: RH  
CATEGORY: D  
FACADE NAME: SOMERSET  
SHEET SCALE: 1:5  
ORIGINAL SHEET SIZE: A3  
COPYRIGHT: 2025

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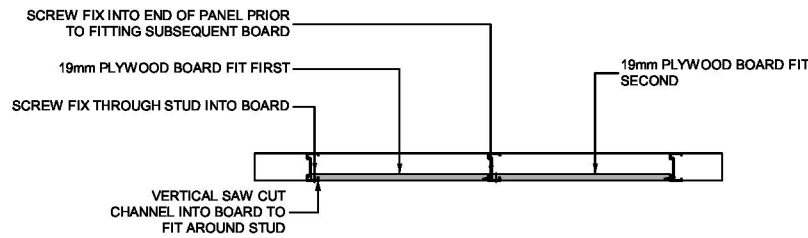


### CLIENT

ADDRESS: LOT 27, NO. 34 HOUGHTON CRESCENT  
SUBURB: EAGLE POINT VIC 3878  
JOB NO: 2411TRA276  
JOB DATE: 21/07/2025  
DRAWN: GM  
CHECKED: DL  
PROJECT STAGE: CONTRACT  
MASTER RELEASE DATE: 17/09/2024  
SHEET NO: 27 of 28

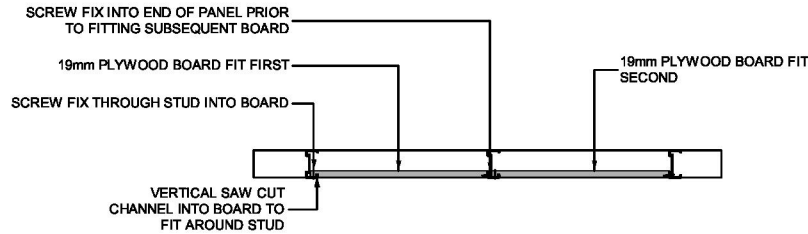
Printed 19/08/2025

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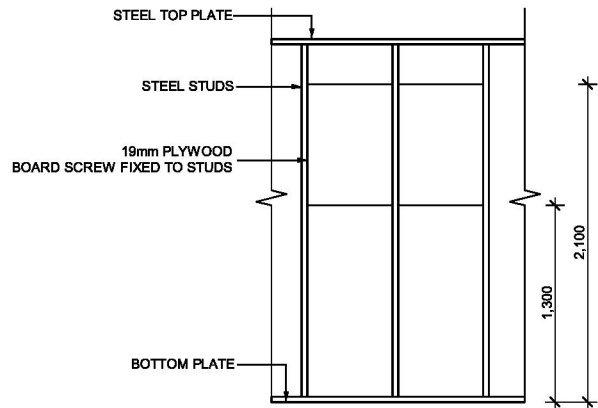
### PLAN DETAIL

SCALE 1:25



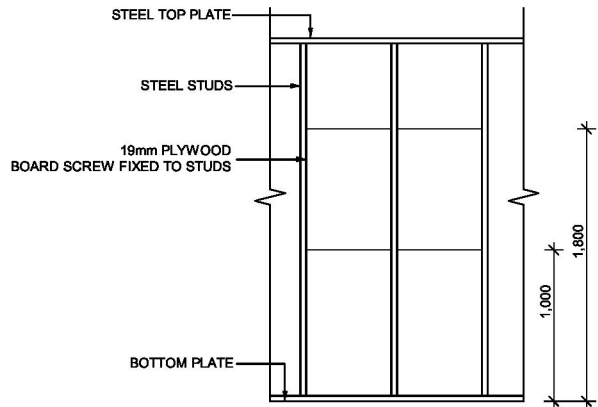
### PLAN DETAIL

SCALE 1:25



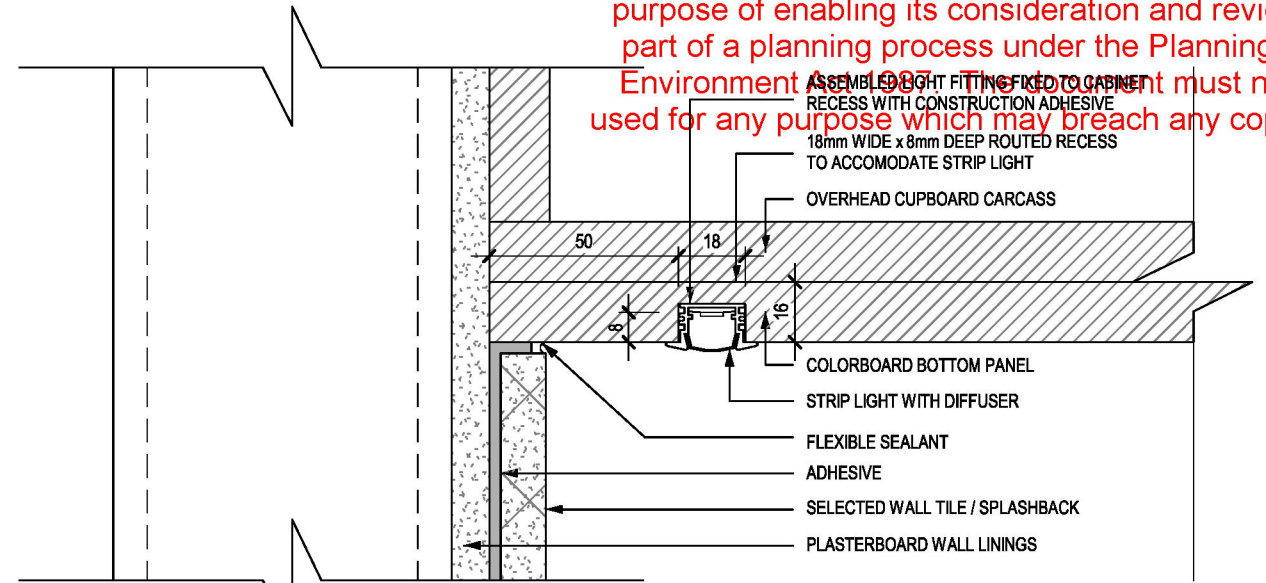
### WALL MOUNTED DRYER/MIRROR NOGGIN DETAIL

SCALE - 1:50



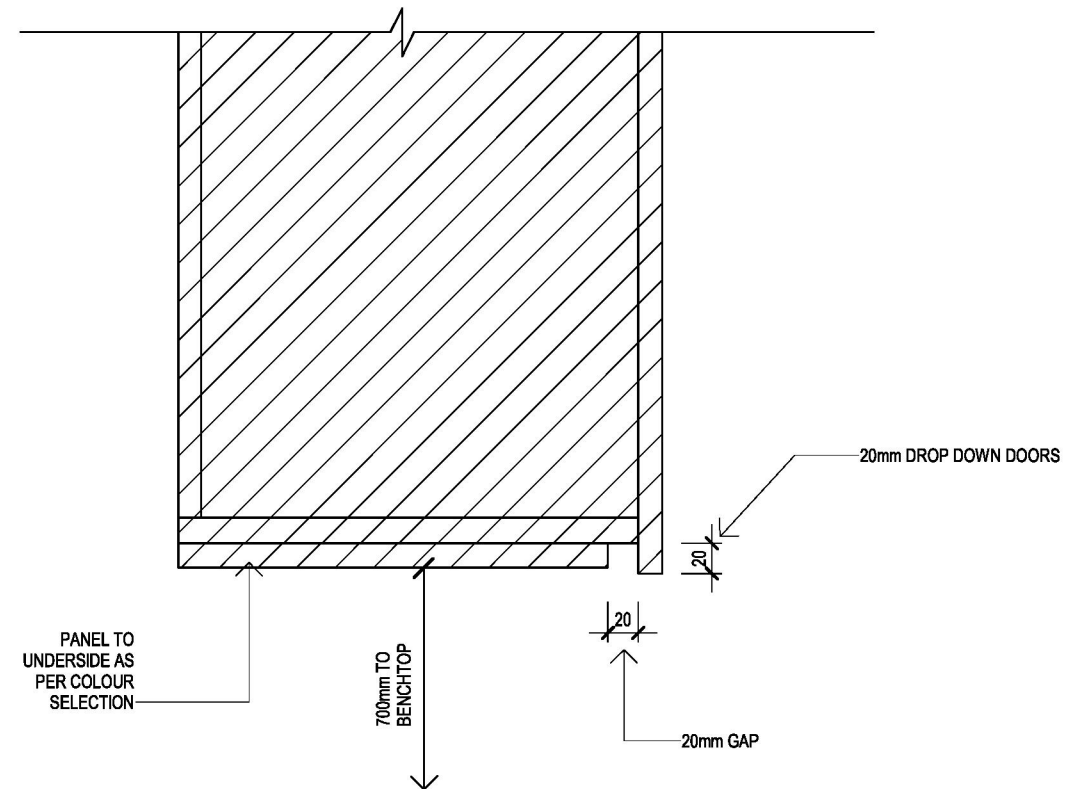
### WALL MOUNTED T.V NOGGIN DETAIL

SCALE - 1:50



### CABINET STRIP LIGHTING DETAIL

SCALE - 1:2



### 20mm DOOR EXTENSION DETAIL

SCALE - 1:5

<p><b>GENERAL NOTES</b></p> <ul style="list-style-type: none"> <li>THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3858.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY</li> <li>FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY &amp; ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS</li> <li><b>NOTE :</b> FLOOR TILE AREA IS EXCLUDING SKIRTING TILES</li> </ul>		<p><b>CLIENT ACKNOWLEDGEMENT</b></p> <p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS &amp; AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 36 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd &amp; MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<p><b>SHEET TITLE</b></p> <p><b>SECTION/DETAILS</b></p> <p>HOUSE NAME: <b>FITZROY 30</b> HAND: <b>RH</b> CATEGORY: <b>D</b></p> <p>FACADE NAME: <b>SOMERSET</b></p> <p>SHEET SCALE: <b>As indicated</b> ORIGINAL SHEET SIZE: <b>A3</b> COPYRIGHT: <b>2025</b></p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD*</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	<p><b>ALPHA COLLECTION</b></p> <p><b>JG KING HOMES</b></p> <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p><b>CLIENT</b></p> <p>ADDRESS: <b>LOT 27, NO. 34 HOUGHTON CRESCENT</b></p> <p>SUBURB: <b>EAGLE POINT VIC 3878</b></p> <p>JOB NO: <b>2411TRA276</b> JOB DATE: <b>21/07/2025</b></p> <p>DRAWN: <b>GM</b> CHECKED: <b>DL</b> PROJECT STAGE: <b>CONTRACT</b></p> <p>MASTER RELEASE DATE: <b>17/09/2024</b></p>
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# Colour Selection

Complete colour, fittings and the selection document

Job Number:	2411TRA276	Contact:				
Client Name:		Phone (H):	(W):			
		Phone (M):				
Job Address:	Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878	Administrator:	Emily Sangster			
House Package:	Fitzroy 30 Alpha inclusions Somerset Facade	Consultant:	Susan Radman			
Document:	1	Prepared:	21/03/25			
Raised By:	Susan Radman	Status:	Final			
Item	Selection Level 1	Selection Level 2	Selection Level 3			
External Materials and Fixtures Selection						
External Materials and Fixtures						
Natural Clay Bricks	Note:	Variations in colour, texture and size can occur due to natural characteristics of clay products.	Whilst every effort is made to provide samples consistent with products to site, they should be viewed as a guide only.	Please visit the brick manufacture Disclaimer for more details.		
Bricks including window sills	Manufacturer	PGH	Category	Category 6	Colour	Pathway (Additional cleaning required)
Mortar Joints			Style	Rolled	Colour	Natural
Roof - Colorbond					Colour	Monument
Roof Whirlybird Ventilator					Colour	Monument
Colorbond Gutter					Colour	Monument
Colorbond Fascia					Colour	Dover White
Downpipes (on Brick)			Material	Colorbond 100mm x 50mm		Monument
Colorbond Barge Capping					Colour	Monument
Colorbond Barge Fascia					Colour	Dover White
Windows & Window winders				All Windows		Jet Black (Handle Colour - Black)
Glass Sliding Doors				Sliding door - As per plan		Jet Black (Handle Colour - Black)
Flyscreen colour & Flydoor colour (if app)				All Windows		Jet Black
Security Doors/Cast Panels						
Front Door type	Selection	Hume XLR500 (SPM veneer face)				
Laundry Door type	Selection			uPVC Single Lite	Glazing	Obscure Satin
Garage Door - Front	Type	Steel-Line Textured (standard range)	Profiles	Slimline Textured	Colour	Monument
Garage Door - Rear	Type	Roll-A-Door			Colour	Monument
Verandah items						
Miscellaneous items						
Concrete Paving		Gippsland range	Type	Exposed Aggregate	Colour	Gravity
Water Tank					Colour	Monument (Colorbond® steel)



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Client Name:				Phone (H):	(W):
				Phone (M):	
Job Address:	Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878			Administrator:	Emily Sangster
House Package:	Fitzroy 30 Alpha inclusions Somerset Facade			Consultant:	Susan Radman

Item	Selection Level 1	Selection Level 2	Selection Level 3
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External Paint Selection

External Paint

Front Door Colour	Note:	If a dark paint colour is selected		the manufacturer's warranty is voided.
		the manufacturer's warranty is voided.		
		the manufacturer's warranty is voided.		
Front Door (Outside of Door)		Finish	Painted Ext door - Haymes Elite High Gloss Acrylic	Colour CB - Dover White
Front Door Entry Frame & Sidelite (if app)		Finish	Painted Ext door - Haymes Elite High Gloss Acrylic	Colour CB - Dover White
Porch/Eave & Alfresco Lining		Finish	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	Colour JGK White
Infill - Windows (FC Sheet or Other)		Finish	Brick infill	Colour Refer Brick section
Meter Box		Finish	Painted	Colour CB - Monument
Render #1	Applies to	As per Plans	Finish	Colour Haymes - Ash Grey
Cladding #1	Type	PrimeLine Newport (horizontal 170mm board)	Finish Painted	Colour Haymes - Ash Grey
Gable Infill		PrimeLine Newport (horizontal 170mm board)	Finish Painted	Colour Haymes - Ash Grey
Verandah Beams/Rafters/Posts/B rackets		Posts	Finish Painted	Colour Haymes - Dover White

Internal Paint Selection

Internal Paint

All rooms - Walls	Finish	Painted Walls - Haymes Elite Interior Low Sheen Acrylic	Colour	Aura
All rooms - Ceilings	Finish	Painted Ceilings - Haymes Elite Ceiling Finish	Colour	JGK White

Woodwork

Skirting/Architraves	Finish	Haymes Ultratrim Acrylic High Gloss	Colour	Haymes - Gradient #2
Front Entry Frame & Sidelite (if app)	Finish	Haymes Ultratrim Acrylic High Gloss	Colour	Haymes - Gradient #2
Front Door (Inside of Door)	Finish	Haymes Ultratrim Acrylic High Gloss	Colour	Haymes - Gradient #2
Internal Doors	Finish	Haymes Ultratrim Acrylic High Gloss	Colour	Haymes - Gradient #2

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Job Address:	Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878			Administrator:	Emily Sangster
House Package:	Fitzroy 30 Alpha inclusions Somerset Facade			Consultant:	Susan Radman
Item	Selection Level 1	Selection Level 2	Selection Level 3		
Internal Fitting Selection					
Skirting/Architraves					
Skirting (type & size)			Profile	Single Bevel (92mm x 15mm) (additional cost apply)	
Architrave (type & size)			Profile	Single Bevel (67mm x 15mm)	
Cornices					
Cornices			Profile	90mm Cove	
Window Furnishings					

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Job Address:	Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878			Administrator:	Emily Sangster	
House Package:	Fitzroy 30 Alpha inclusions Somerset Facade			Consultant:	Susan Radman	
Item	Selection Level 1		Selection Level 2		Selection Level 3	
Kitchen						
Benchtop - Stone	Category	Category 2	Edge Profile	40mm Aris	Colour	Caesarstone Mineral Quartz - Organic White
Base Cupboards - Hinged doors/Panels	Type	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Terril
Waterfall ends	Type	Waterfall stone mitred ends (To match benchtop)	Edge Profile	Waterfall Stone mitred ends (To match benchtop)	Colour	Waterfall stone mitred ends (To match benchtop)
Island Bench Cupboards - Front	Type	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Terril
Island Bench Cupboards - Barback	Type	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Terril
Overhead Cupboards - Hinged doors/Panels	Type	Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Terril
Fridge Overhead - Hinged doors/Panels	Type	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Terril
Fridge Side Panel	Type	Laminex Natural finish	Edge/Door Profile		Colour	Terril
Overhead shadowpanel infill/bulkhead					Type & Colour	Overhead cupboard colour (joiner built)
Wall tower	Type	Laminex Natural finish	Edge Profile	Flat face - Square Edge	Colour	Terril
Handles - Base Cupboard (Drawers)	Category		Selection	Livorno D handle 256mm M3163_256_MBL.FG Mtt Black	Direction	Horizontal
	to 2no. door to sink cupboard		Livorno D handle 160mm M3163_160_MBL.FG Matt Black		Horizontal	
Handles - Overhead Cupboards	Category	Other	Selection	No Handles (20mm door extension & panel to Overheads)		
Hardware (Soft Close)					Location	Doors & Drawers (All)
Hardware (Push to open)					Location	Doors only
					x3 Towers	
Splashback			Type	Tiled Splashback	Category & Colour	Tiled - Refer tile selection
Appliances - Oven					Colour	Dark Stainless Steel
Appliances - Cooktop/ Freestanding Cooker					Colour	Glass (induction)
Appliances - Rangehood					Colour	Dark Stainless Steel



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Job Number:	2411TRA276	Document:	1	Contact:	JG King Homes - Life Starts Here	
Client Name:				Phone (H):	(W):	
				Phone (M):		
Job Address:	Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878			Administrator:	Emily Sangster	
House Package:	Fitzroy 30 Alpha inclusions Somerset Facade			Consultant:	Susan Radman	
Item	Selection Level 1		Selection Level 2		Selection Level 3	
Butlers/Walk In Pantry						
Benchtop - Stone	Category	Category 2	Edge Profile	40mm Aris	Colour	Caesarstone Mineral Quartz - Organic White
Base Cupboard - Hinged doors/Panels	Type	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Terril
Kickboards					Colour	Kicker - Cabinet colour (standard)
Overheads Cupboard - Hinged doors/Panels	Type	Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Terril
Pantry Shelving			Edge Profile	Laminated shelving (joinery matched colours) (join	Colour	Terril
Handles - Base Cupboard (Doors)	Category		Selection	Livorno D handle 256mm M3163_256_MBL.FG Matt Black	Direction	Horizontal
	2no. doors to sink cupboard			Livorno D handle 160mm M3163_160_MBL.FG Matt Black	Horizontal	
Handles - Base Cupboard (Drawers)	Category		Selection	Livorno D handle 256mm M163_256_MBL.FG	Direction	Horizontal
				Matt Black		
Handles - Overhead Cupboards	Category	Other	Selection	No Handles (20mm door extension & panel to Overheads)		
Hardware (Soft Close)					Location	Doors & Drawers (All)
Splashback			Type	Tiled Splashback	Category & Colour	Tiled - Refer tile selection
Sink				Memo Freya Undermont (2411007)	Colour	Granite Black
Tapware				Mizu Soothe MK2 Pullout	Colour	Black

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House Package:	Fitzroy 30 Alpha inclusions Somerset Facade			Consultant:	Susan Radman	
Item	Selection Level 1		Selection Level 2		Selection Level 3	
Bathroom						
Benchtop - Stone	Category	Category 1	Edge Profile	20mm Aris	Colour	Caesarstone Mineral Quartz - Raven
Drawer Bank (nominate profile for Formwrap/Colourtec - Single OR Individual)	Type	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Aries
Kickboards					Colour	Kicker - Cabinet colour (standard)
Handles	Category		Selection	Livorno D handle 256mm M163_256_MBL.F G  Matt Black	Direction	Horizontal
Hardware (Soft Close)					Location	Drawers only
Vanity Basins			Selection	Roca Inspira Oval (1808094)	Colour	White
Vanity Basin Waste					Selection	Black Pop-Up
Bath/Spa			Selection	Bath	Colour	White
Bath/Spa Waste					Selection	Black Pop-Down
Shower Base			Type/Style	Tiled Base (To match floor tiles) with tile insert waste (upgrade)	Drain/Waste Colour	Matte Black
Shower Frame			Frame Type	Semi-frameless screen 2m high including pivot door	Frame Colour	Black
Shower Glass					Selection	Clear Glass (standard)
Mirror			Selection	Frameless 4mm Mirror	Edging/Colour	Polished Arris edge
Towel Rail					Colour	Black
Tapware					Colour	Black
Toilet Roll Holder					Colour	Black
Window Glass					Glazing Type	Decor Satin Obscure

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<b>House Package:</b>	Fitzroy 30 Alpha inclusions Somerset Facade			<b>Consultant:</b>	Susan Radman	
<b>Item</b>	<b>Selection Level 1</b>	<b>Selection Level 2</b>		<b>Selection Level 3</b>		
<b>Ensuite</b>						
<b>Benchtop - Stone</b>	<b>Category</b>	Category 1	<b>Edge Profile</b>	20mm Aris	<b>Colour</b>	Caesarstone Mineral Quartz - Raven
<b>Benchtop - Shadowline</b>						
<b>Drawer Bank (nominate profile for Formwrap/Colourtec - Single OR Individual)</b>	<b>Type</b>	Laminex Natural finish	<b>Edge/Door Profile</b>	Flat face - Square Edge	<b>Colour</b>	Aries
<b>Kickboards</b>					<b>Colour</b>	Kicker - Cabinet colour (standard)
<b>Handles</b>	<b>Category</b>		<b>Selection</b>	Livorno D handle 256mm M163_256_MBL.F G	<b>Direction</b>	Horizontal
				Matt Black		
<b>Hardware (Soft Close)</b>					<b>Location</b>	Drawers only
<b>Vanity Basins</b>				<b>Selection</b>	Roca Inspira Oval (1808094)	<b>Colour</b> White
<b>Vanity Basin Waste</b>				<b>Selection</b>	Black Pop-Up	
<b>Shower Base</b>			<b>Type/Style</b>	Tiled Base (To match floor tiles) with tile insert waste (upgrade)	<b>Drain/Waste Colour</b>	Matte Black
<b>Shower Frame</b>			<b>Frame Type</b>	Frameless + Door	<b>Frame Colour</b>	Black
<b>Shower Glass</b>					<b>Selection</b>	Clear Glass (standard)
<b>Mirror</b>						
<b>Towel Rail</b>					<b>Colour</b>	Black
<b>Tapware</b>					<b>Colour</b>	Black
<b>Toilet Suite</b>					<b>Colour</b>	White
<b>Toilet Roll Holder</b>					<b>Colour</b>	Black
<b>Window Glass</b>					<b>Glazing Type</b>	Decor Satin Obscure



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House Package:	Fitzroy 30 Alpha inclusions Somerset Facade			Consultant:	Susan Radman	
Item	Selection Level 1		Selection Level 2		Selection Level 3	
Powder Room						
Benchtop - Stone	Category	Category 1	Edge Profile	20mm Aris	Colour	Caesarstone Mineral Quartz - Raven
Base Cupboard - Hinged doors/Panels	Type	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Aries
Kickboards					Colour	Floating
Handles	Category		Selection	Livorno D handle 256mm M163_256_MBL.F G Matt Black	Direction	Horizontal
Hardware (Soft Close)					Location	Drawers only
Vanity Basins			Selection	Roca Inspira Oval (1808094)	Colour	White
Vanity Basin Waste					Selection	Black Pop-Up
Mirror			Selection	Premium 900mm Round	Edging/Colour	Black
Towel Rail					Colour	Black
Tapware					Colour	Black
Toilet Suite					Colour	White
Toilet Roll Holder					Colour	Black
Toilet (Ground Floor)						
Laundry						
Benchtop - Laminate	Type	Laminex Natural finish	Edge Profile	D Mould	Colour	Avenza Bianco
Base Cupboard - Hinged doors/Panels	Type	Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Green Slate
Drawer Bank (nominate profile for Formwrap/Colourtec - Single OR Individual)	Type	Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Green Slate
Kickboards					Colour	Kicker - Cabinet colour (standard)
Overheads Cupboard - Hinged doors/Panels	Type	Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Green Slate
Overhead infill/bulkhead					Type & Colour	Overhead cupboard colour (joiner built)
Handles - Base Cupboards	Category		Selection	Livorno D handle 256mm M163_256_MBL.F G Mtt Black	Direction	Horizontal
	2no. Doors to trough cupboard			Livorno D handle 160mm M163_160_MBL.FG Matt Black	Horizontal	
Handles - Overhead Cupboards	Category	Other	Selection	No Handles (20mm door extension & panel to Overheads)		
Hardware (Soft Close)					Location	Doors & Drawers (All)
Splashback			Type	Tiled Splashback	Category & Colour	Tiled - Refer tile selection
Trough/Sink			Type	Insert Trough/Sink	Colour	Stainless Steel Trough/Sink
Joinery (Built in)						

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House Package:	Fitzroy 30 Alpha inclusions Somerset Facade			Consultant:	Susan Radman	

Item	Selection Level 1	Selection Level 2	Selection Level 3			
Joinery (Miscellaneous)						
Door Furniture - External						
Front Entry Door	Manufacturer	Paradigm Back-to-Back Pull handle	Handle Type	Element with Backplate	Colour/Finish	Black
Garage to House Door (Hinged)	Manufacturer	Lockwood Symmetry Element level lockset	Handle Type	lever	Colour/Finish	Black
Door Furniture - Internal						
Hinged Door Furniture	Manufacturer	Lockwood Large Round Rose (63mm)	Handle Type	Element (#L3) handle	Colour/Finish	Black
Linen Door Furniture	Manufacture		Handle Type	Livorno D handle 256mm M163_256_MBL.F G	Colour/Finsh	Matt Black
			ORIENTATION : Vertical			
Privacy locks Door Furniture	Manufacturer	Lockwood	Handle Type and Colour	To match door furniture Bed 1,2,3,4, Bath & Powder (cavity)	Location	Nominate location
Cavity Sliding Door Furniture	Manufacturer	Lockwood Sliding Handles	Type	Rectangular FP2-150 with "rectangular" inner hole	Colour	Black
Internal Doors						
Internal Doors				Selection	HAG6	
Robe Doors	Hinged/Sliding	Hume Smart Robe 2400mm 1800mm	Track & Frame Colour	Colour/Style	HAG6	
Linen Doors	Hinged/Sliding		Track & Frame Colour	Colour/Style	HAG11	
Broom Doors	Hinged/Sliding		Track & Frame Colour	Colour/Style	HAG11	
Other/Special	Hinged/Sliding	Living ONLY	Track & Frame Colour	Colour/Style	HAG12	
Shelving						
WIR			Edge Profile	Melamine 16mm - White (standard)	Colour	Melamine 16mm - White (standard)
Bedrooms			Edge Profile	Melamine 16mm - White (standard)	Colour	Melamine 16mm - White (standard)
Linen			Edge Profile	Melamine 16mm - White (standard)	Colour	Melamine 16mm - White (standard)
Broom			Edge Profile	Melamine 16mm - White (standard)	Colour	Melamine 16mm - White (standard)
Floor Coverings						
Tiles	Category	Refer to Tile Selection	Selection	Refer to Tile Selection	Colour	Refer to Tile Selection
Power points & Light Switches						
Power Points & Light Switches				Type	Excel Life plate series (standard)	

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<b>House Package:</b>	Fitzroy 30 Alpha inclusions Somerset Facade			<b>Consultant:</b>	Susan Radman

Item	Selection Level 1	Selection Level 2	Selection Level 3
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Please sign and date to indicate that the information is correct and that you have read and understood this document.

BO 1 Signature	_____	Date	27/5/2025
BO 2 Signature	- _____	Date	27/5/2025
Builder Signature	_____	Date	28/5/2025
Checked By	_____	Date	_____

(Amendments permitted by authorised J G King Eastern Corridor decorators only)



# 4.5m x 3.75m Workshop Shed



## SHED DETAILS

Type	TALL Workshop
Width	4.50m
Depth	3.75m
Height	2.48m
Peak Height	2.48m
Material	High Tensile Steel
Wind Rating	N1 Rated

## DOORS

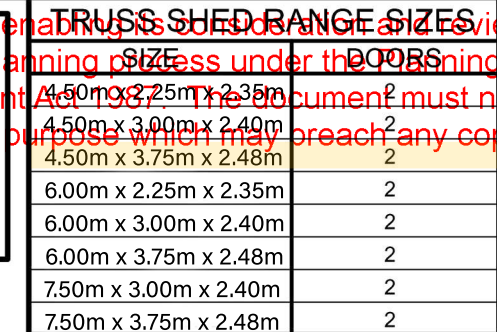
Door Type	1.50m Hinged double doors on (w)
Door Wall Height	2.10m
Door Opening	1.50m

## ACCESSORIES OPTION

Anchors	3 pack(s)
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## CHOOSE COLOUR: Armour Grey





1. THE INFORMATION CONTAINED ON THESE DRAWINGS IS FOR STRUCTURAL ENGINEERING PURPOSES ONLY. ANY DISCREPANCIES THAT COULD RESULT IN CHANGES TO THE STRUCTURAL DETAILS SHALL BE REFERRED TO THE ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. ALL DIMENSIONS SHOWN SHALL BE VERIFIED BY THE BUILDER ON SITE PRIOR TO CONSTRUCTION, DO NOT SCALE FROM THESE DRAWINGS
3. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED. TEMPORARY BRACING SHALL BE PROVIDED BY THE BUILDER TO KEEP THE WORKS STABLE AT ALL TIMES.

1. SLAB THICKNESS IS SHOWN INDICATIVELY. SLAB PROFILE SHOULD BE DESIGNED IN ACCORDANCE WITH AS2870. SLAB DESIGNED BY OTHERS

1. REFER TO S14 FOR FIXING DETAILS.
2. HOLDING-DOWN BOLTS POSITIONS SO THAT BOLT TO SHEETING OCCURS AT CENTRE OF PAN.

1. REFER TO S13 & S15 FOR STIFFENING MEMBER DETAILS
2. ROOF, WALL, AND DOOR SHEETING TO BE GRADE G550 AZ150 ZINCALUME HI-TEN WITH A B.M.T.= 0.30mm U.N.O.
3. PROVIDE SUITABLE CORROSION PROTECTION TO ALL UN GALVANIZED COMPONENTS TO AS / NZ 2312



DATE: \_\_\_\_\_