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NOTICE OF AN APPLICATION FOR PLANNING PERMIT 1987. The document must not be used for any purpose which may breach any copyright.

The land affected by the application is located at:	34 Houghton Crescent EAGLE POINT VIC 3878 Lot: 27 PS: 808314
The application is for a permit to:	Development of a Dwelling and Outbuilding
A permit is required under the	ne following clauses of the planning scheme:
Planning Scheme Clause	Matter for which a permit is required
43.02-2 (DDO)	Construct a building or construct or carry out works.
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2025.277.1

You may look at the application and any documents that support the application free of charge at: https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- be made to the Responsible Authority in writing,
- include the reasons for the objection, and
- state how the objector would be affected.

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice

If you object, the Responsible Authority will tell you its decision.

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April McDonald

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Snapforms Notifications <no-reply@snapforms.com.au> From:

Sent: Thursday, 14 August 2025 2:05 PM Planning Unit Administration To: **Subject:** Planning Permit application

Attachments: APPENDIX A Copy of Title.PDF; APPENDIX A Copy of Plan.PDF; APPENDIX A

Agreement AK796785G.PDF; APPENDIX B Shed Plans.pdf; APPENDIX B

Development Plans.pdf; 25066 Planning Submission.pdf; Letter To Council.pdf;

Planning_Permit_Application_2025-08-14T14-04-39_27184547_0.pdf

Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Applicant name: COURTNEY CAMPBELL

Business trading name: DEVELOPMENT SOLUTIONS VICTORIA PTY LTD

Email address: ADMIN@DEVSOLVIC.COM.AU

Postal address: 48 BAILEY STREET, BAIRNSDALE VIC 3875

Preferred phone number: 0351524858

Owner's name:

Owner's business trading name (if applicable):

Owner's postal address:

Street number: 34

Street name: HOUGHTON CRESCENT

Town: EAGLE POINT

Post code: 3878

Lot number: 27

Plan number: 808314X

Other Legal Description: VOL 12288 FOL 125

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?: Yes

Will the proposal result in a breach of a registered covenant restriction or agreement?: No

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Existing conditions: VACANT LAND

Estimated cost of development: \$615,000

Has there been a pre-application meeting: No

Your reference number: 25066

Full copy of Title: APPENDIX A Copy of Title.PDF, APPENDIX A Copy of Plan.PDF

Covenants agreements: <u>APPENDIX A Agreement AK796785G.PDF</u>

Plans: APPENDIX B Shed Plans.pdf, APPENDIX B Development Plans.pdf

Planning report: 25066 Planning Submission.pdf

ExtraFile: 1

1. Supporting information/reports: Letter To Council.pdf

Invoice Payer: DEVELOPMENT SOLUTIONS VICTORIA PTY LTD

Address for Invoice: 48 BAILEY STREET, BAIRNSDALE VIC 3875

Invoice Email: ADMIN@DEVSOLVIC.COM.AU

Primary Phone Invoice: 0351524858

Declaration: Yes

Authority Check: Yes

Notice Contact Check: Yes

Notice check 2: Yes

Privacy Statement Acknowledge: Yes





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REGISTER SEARCH STATEMENT (Title Seatech) for gay step sof which may breach gon knopyright. Land Act 1958

VOLUME 12288 FOLIO 125

Security no : 124126606571Q Produced 28/07/2025 04:23 PM

LAND DESCRIPTION

Lot 27 on Plan of Subdivision 808314X. PARENT TITLE Volume 12179 Folio 723 Created by instrument PS808314X Stage 3 25/02/2021

REGISTERED PROPRIETOR

Estate Fee Simple Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987 AK796785G 20/12/2013

DIAGRAM LOCATION

SEE PS808314X FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT------

Additional information: (not part of the Register Search Statement)

Street Address: 34 HOUGHTON CRESCENT EAGLE POINT VIC 3878

ADMINISTRATIVE NOTICES

NIL

19052X ENGEL & PARTNERS eCT Control Effective from 01/12/2023

DOCUMENT END



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NOTATIONS

PLAN OF SUBDIVISION

LOCATION OF LAND

PARISH: BAIRNSDALE

TOWNSHIP: —

SECTION: A

CROWN ALLOTMENT: 57 & 58

CROWN PORTION: ——

TITLE REFERENCE: VOL 10827 FOL 857 VOL 10827 FOL 858

LAST PLAN REFERENCE: LOT | & 2 ON TP846525F

POSTAL ADDRESS: 65 EAGLE POINT ROAD, (at time of subdivision) EAGLE POINT 3878

MGA CO-ORDINATES: (of approx centre of land

in plan)

E: 559 850

ZONE: 55

N: 5805 240 GDA 94

VESTING OF ROADS AND/OR RESERVES

IDENTIFIER	COUNCIL/BODY/PERSON			
RI ROAD	EAST GIPPSLAND SHIRE COUNCIL			
R2 ROAD	EAST GIPPSLAND SHIRE COUNCIL			
R3 ROAD R4 ROAD	EAST GIPPSLAND SHIRE COUNCIL EAST GIPPSLAND SHIRE COUNCIL			
RESERVE No.I	EAST GIPPSLAND SHIRE COUNCIL			
RESERVE No.2	AUSNET ELECTRICITY SERVICES PTY LTD			
RESERVE No.3 RESERVE No.4	EAST GIPPSLAND SHIRE COUNCIL EAST GIPPSLAND SHIRE COUNCIL			

NOTATIONS

DEPTH LIMITATION DOES

DOES NOT APPLY

SURVEY:

This plan is based on survey.

STAGING:

This is a staged subdivision. Planning Permit No. 471/2016/P

This survey has been connected to permanent marks No(s). 374 & 375

In Proclaimed Survey Area No.

EASEMENT INFORMATION

LEGEND: A – Appurtenant Easement E – Encumbering Easement R – Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of	
E-I	DRAINAGE	2	THIS PLAN	EAST GIPPSLAND SHIRE COUNCIL	
E-2	SEWERAGE	SEE DIAG.	THIS PLAN	EAST GIPPSLAND REGION WATER AUTHORITY	
E-3	DRAINAGE & SEWERAGE	SEE DIAG.	THIS PLAN	EAST GIPPSLAND SHIRE COUNCIL & EAST GIPPSLAND REGION WATER AUTHORITY	

Crowther&Sadler Pty.Ltd.

LICENSED SURVEYORS & TOWN PLANNERS 152 MACLEOD STREET, BAIRNSDALE, VIC., 3875 P. (03) 5152 5011 E. contact@crowthersadler.com.au SURVEYORS FILE REF: 17482

PAUL ANTHONY DWYER, VERSION I

ORIGINAL SHEET
SIZE: A3

SHEET | OF 7 SHEETS

THIS IS A LAND USE VICTORIA

COMPILED PLAN

FOR DETAILS SEPING FEET N 14940 8 F 2025

Page 6 of 84

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AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	EDITION NUMBER	ASSISTANT REGISTRAF OF TITLES
LOT S2	LOTS 15 - 23 , 53 - 55 , 60 - 85 , S3 , ROADS R2 , R3 & RES:NO1	STAGE PLAN	PS808314X/S2	14/01/20	2	ΙΤ
LOT S3	LOTS 8-10, 24-52, 56-59, R4, RES. NO3 & NO.4	STAGE PLAN	PS808314X/S3	25/01/21	3	YL
						19/08/



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APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE MAKING OF A RECORDING OF AN AGREEMENT

Planning and Environment Act 1987

Lodged by:

Name: Macpherson + Kelley Lawyers Pty Ltd

Phone: 9794 2600

Address: 40-42 Scott Street, Dandenong 3175

Ref: PRM:CV 226163

Customer Code: 1161S

The Authority having made an agreement referred to in section 181(1) of the *Planning* and *Environment Act 1987* requires a recording to be made in the Register for the land.

Land: Certificate of Title Volume 10827 Folio 857 and Volume 10827

Folio 858

Authority: East Gippsland Shire Council of 273 Main Street, Bairnsdale, 3875

Section and Act under which agreement made: Section 173 of the Planning and

Environment Act 1987

A copy of the Agreement is attached to this Application.

Signature for the Authority:

An Hollow, Manager Development

Date: 13/12/2013

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AGREEMENT UNDER SECTION 173 OF THE PLANNING AND ENVIRONMENT ACT 1987

65 Eagle Point Road, Eagle Point, Victoria

EAST GIPPSLAND SHIRE COUNCIL ("Council")

- and -

AQUALINA PTY LTD ACN 133 932 635 ("Owner")

Ref: PRM 226163 Version No: 1

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TABLE OF CONTENTS y purpose which may breach any copyright.

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	INTERPRETATION AGREEMENT UNDER SECTION 173 OF THE ACT. EFFECT OF AGREEMENT. SUCCESSORS IN TITLE. COVENANTS OF THE OWNER. COSTS. NOTICES. FURTHER ASSURANCE NO FETTERING OF COUNCIL'S POWERS. WAIVER. SEVERABILITY. GOVERNING LAW.

SCHEDULE



Item 7 Address of Owner

ADVERTISED

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SCHEDULE

ltem 1	Owner	AQUALINA PTY LTD ACN 133 932 635
Item 2	Land	65 Eagle Point Road, Eagle Point, Victoria being the whole of the land in Certificate of Title Volume 10827 Folio 857 and Volume 10827 Folio 858. Any reference to the Land in this Agreement includes any Lot created by the subdivision of the Land or any part of it.
Item 3	Mortgage	AG872783X
Item 4	Commencement Date	The date of this Agreement or if no date is specified the date of issue of the Permit
Item 5	Termination Date	The date on which Council provides written notice to the Owner that all the requirements of this Agreement have been fulfilled.
Item 6	Address of Council	273 Main Street, Baimsdale, Victoria 3875

Level 1, 20 Council Street, Hawthorn East 3122

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DATED the Second

BETWEEN:

EAST GIPPSLAND SHIRE COUNCIL of 273 Main

Street, Bairnsdale, Victoria 3875 ("Council")

AND:

The party referred to in Item 1 ("Owner")

RECITALS

- A. Council is the Responsible Authority for administration of the Planning Scheme under the Act.
- B. The Owner is or is entitled to be the registered proprietor of the Land.
- C. Council has issued the Permit.
- D. The Permit allows for the subdivision of the Land into ninety-three (93) lots and to remove native vegetation in accordance with the Endorsed Plans.
- E. Condition 10 of the Permit provides that prior to the issue of the statement of compliance the Owner must enter into an agreement with Council under Section 173 of the Act, to provide for the matters referred to in that condition.
- F. Council and the Owner have agreed to enter into this Agreement to:
 - (a) give effect to Condition 10 of the Permit; and
 - (b) achieve and advance the objectives of planning in the State of Victoria and the objectives of the Planning Scheme.
- G. As at the date of the Agreement the Land is encumbered by the Mortgage.

GENERAL TERMS

1. Definitions

In this Agreement the following words have the following meanings unless the contrary intention appears:

"Act" means the Planning and Environment Act 1987 (Vic);

"Agreement" means this agreement

"Commencement Date" means the date in Item 4;

AK796785G
20/12/2013 \$113 173

"Dwelling" has the same meaning as in the Planning Scheme;

"Endorsed Plans" means the plans of the Land approved by Council from time to time to form part of the Permit;

"Item" means an item in the Schedule;

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"Land" means the land described in Item 2;

"Lot" means any allotment created by the subdivision of the Subject Land whether in accordance with bthe Planning Permit or otherwise;

"Mortgage" means the mortgage described in Item 3;

"Owner" means the person referred to in Item 1, and entitled from time to time to be registered as proprietor of an estate in fee simple of the Land or any part of it; and includes a mortgagee-in-possession

"Permit" means Planning Permit Number 120/2009/P/A Amended issued on 16 August 2010 as amended on 28 September 2011 and any subsequent amendment thereto;

"Planning Approval" means any planning permit issued in accordance with the Act;

"Planning Scheme" means the East Gippsland Planning Scheme and any other planning scheme which applies to the Land and includes any planning control in the form of or similar to a planning scheme;

"Rainwater Tank" means the rainwater tank to be installed on a Lot and includes an external tap for garden irrigation.

"Schedule" means the schedule forming part of this Agreement; and

"Termination Date" means the date in Item 5.

2. Interpretation

- 2.1 Unless the context provides otherwise, the singular includes the plural and the plural includes the singular.
- 2.2 A reference to a gender includes a reference to each other gender.
- A reference to a person includes a reference to a firm, corporation or other corporate body.
- 2.4 A reference to a permit includes a reference to that permit and all amendments to that permit.
- 2.5 If the Owner comprises more than one person, this Agreement binds them jointly and each of them severally.
- 2.6 A reference to a law includes any law amending, consolidating or replacing it or any regulation made under that law.
- 2.7 All headings are for ease of reference only and are not to be taken into account in the construction or interpretation of this Agreement.
- 2.8 The recitals to this Agreement are and are taken to be part of this Agreement.
- 2.9 Any reference in this Agreement to the Council includes (where applicable) its agents, officers, employees, servants, workers and contractors.

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3. Agreement under Section 173 of the Act

The Council and the Owner agree that, without limiting or restricting their respective powers to enter into this Agreement and as far as it may be treated, this Agreement is made as a deed under section 173 of the Act.

4. Effect of Agreement

4.1 Commencement Date

This Agreement commences on the Commencement Date.

4.2 Planning objectives

The parties acknowledge that the provisions of this Agreement are intended to achieve or to advance (or both) the objectives of planning in Victoria and the objectives of the Planning Scheme and any matters incidental to those objectives.

4.3 Binding covenants

The obligations of the Owner under this Agreement take effect as covenants which are annexed to and run at law and equity with the Land to bind the Owner and each successor, assignee or transferee of the Owner, the registered proprietor, the mortgagee in possession and the beneficial owner for the time being of the Land and every part of the Land.

5. Successors in Title

Without limiting the operation or effect of this Agreement, the Owner must, until such time as a memorandum of this Agreement is registered on the title to the Land, procure that the Owner's successors in title:

- 5.1 give effect to and do all acts and sign all documents which may be required for the Owner's successors to give effect to this Agreement; and
- 5.2 execute a deed agreeing to be bound by the terms of this Agreement as if the Owner's successors were named as the Owner under this Agreement.

6. Covenants of the Owner

The Owner covenants and agrees that:

6.1 RainwaterTank

Except with the prior written consent of Council, in the event that the development of a lot includes the construction of a Dwelling

- 6.1.1 the Owner of the Lot must, must at the Owner's full cost, install and maintain a Rainwater Tank on the Lot with
 - (a) a minimum storage capacity of 10,000 litres;
 - (b) an external tap for garden irrigation purposes; and

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- 6.1.2 the rainwater Tank must collect all rainwater run off from the roof of the Dwelling and must be used as the primary water source for all;
 - (a) toilet flushing; and
 - (b) laundry services.
- 6.2 must bring this Agreement to the attention of any mortgagee of the Land and of any assignee, transferee, lessee, licensee or occupier of the Land;
- 6.3 warrants that there are no mortgages, liens, charges or other encumbrances or leases or any rights of any person other than the Owner affecting the Land not disclosed by the usual searches or notified to Council in writing before the Commencement Date;
- 6.4 warrants that no part of the Land is subject to any rights obtained by adverse possession or to any easements or rights described or referred to in Section 42 of the *Transfer of Land Act 1958 (Vic)*;
- consents and agrees to Council making application to the Registrar of Titles to record this Agreement on the certificate of title to the Land in the register in accordance with Section 181 of the Act and to do all things necessary to enable the recording to be made in the register, including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator; and
- 6.6 indemnifies and keeps indemnified Council against all costs, expenses, losses or damages which Council may sustain, incur or suffer or be or become liable for in respect of any suit, action, proceeding, judgment or claim brought by any person arising from or referable to the matters referred to in this Agreement or any breach of this Agreement,

all to the satisfaction of Council.

7. Costs

The Owner must pay, on demand, Council's costs and expenses (including legal and other consultants' expenses) of and incidental to:

- 7.1 the negotiation, preparation, execution, registration and enforcement or attempted exercise or enforcement of this Agreement or the ending of this Agreement as contemplated by Clause 14;
- 7.2 the administration and supervision of this Agreement by Council, except for administration and supervision which Council is obliged to carry out under its statutory duties; and
- 7.3 any request by the Owner for Council's consent or approval under this Agreement.

8. Notices

A notice or other communication required or allowed to be served by a party on another party must be in writing and must be served:



V-2676744:1

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- (a) by delivering it personally to that party;
- (b) by sending it by prepaid post addressed to that party at the address set out in Item 6 or Item 7 (as the case may be) or as subsequently notified to each party from time to time; or
- (c) by sending it by fax.

8.2 A notice or other communication is taken to be served:

- (a) if personally delivered, on the next business day following delivery;
- (b) if posted, on the expiry of two business days after the date of posting; or
- (c) if sent by fax, at the time recorded by the fax machine of the party sending the transmission, provided that:

AK796785G



- (i) the transmission is successful and has been transmitted in its entirety; and
- (ii) if the time recorded is after 5.00pm, the time is taken to be 9.00am on the first business day following transmission.

9. Further Assurance

Each party to this Agreement must sign and execute all further documents and do all acts and things as may be required by Council to give effect to the terms and conditions in this Agreement.

10. No Fettering of Council's Powers

The Owner acknowledges that this Agreement does not fetter, limit or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the grant of any Planning Approval or certification of any plans of subdivision applicable to the Land or relating to any use or development of the Land.

11. Waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner does not in any way amount to a waiver of any of the rights or remedies of Council under this Agreement.

12. Severability

If a court, arbitrator, tribunal or other competent authority determines that any part of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement remain operative.

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13. Governing Law

This Agreement takes effect, is governed by and to be construed in accordance with the laws from time to time in force in the State of Victoria.

14. Ending of Agreement

- 14.1 This agreement ends on the Termination Date.
- As soon as reasonably practicable after this Agreement has ended Council may (but is not obliged) at the request and cost of the Owner make application to the Registrar of Titles under Section 183(2) of the Act to cancel the recording of this Agreement in the register.

The rest of this page has intentionally been left blank

AK796785G
20/12/2013 \$113 173

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EXECUTED as a Deed:

THE COMMON SEAL of the EAST GIPPSLAND SHIRE COUNCIL was affixed on behalf of the Council in the presence of a)))
Councillor and the Chief Executive Officer	
Councillor	
Name of Councillor	
Steve Kozlowski	
Name of Chief Executive Officer 02/12/13	
EXECUTED by AQUALINA PTY LTD (ACN 1 932 635) in accordance with the <i>Corporations Act</i>	,
Signature of Director	Signature of Director
MICHAEL JOSEPH CORCORIS	MARK ANTHONY REDFORD

Name of Director

Name of Director

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- 8 Environment Act 1987. The deciment must not be used for any purpose which in the plantage of the plantage

MORTGAGEE CONSENT

RMBL INVESTMENTS LIMITED as mortgagee under registered mortgage number AG872783X, consents to this Agreement.

(ACN) in accordance with the Corporations Ac	,
Al	, Can
Signature of Director	Signature of Director/Secretary
Surinder Gurdial	COLIN HENRY MADDEN
Name of Director	Name of Director/Secretary



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CONTENTS

Introduction 1 2 Site Context 5 The Proposal 3 10 **Zones and Overlays** 12 Planning Assessment 5 16 6 Conclusion 18

APPENDIX

- A Copy of Title and Plan of Subdivision
- **B** Proposed Development Plans

DOCUMENT REVISION

1 Draft Report DAC 12/08/2025

2 Final Report CMC 13/08/2025



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1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of the owners of land and the applicants for this planning permit application for the development of a dwelling and outbuilding at 34 Houghton Crescent, Eagle Point.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

Planning approval is required for the proposed development of a dwelling and outbuilding under the provisions of the Design and Development Overlay as the total building footprint will exceed 300m².

The proposal will result in a new residential dwelling and outbuilding within an existing residential area of Eagle Point.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

	used for any purpose which may breach a		
Address	34 Houghton Crescent, Eagle Point		
Site Description	Lot 27 on Plan of Subdivision 808314X		
Title Particulars	Vol 12288 Fol 125		
Site Area	760m ²		
Proposal	Development of a Dwelling and Outbuilding		
Planning Scheme	East Gippsland Planning Scheme		
Zone	General Residential Zone – Schedule 1		
Overlays	Design and Development Overlay – Schedule 11		
Aboriginal Cultural Heritage	Not identified as an area of Cultural Heritage Sensitivity		
Permit Triggers	Clause 43.02-2 Design and Development Overlay - Buildings and Works		
Notice	No Exemptions Available		
Referrals	No referrals required		
Work Authority Licence	Not Applicable		
Planning Scheme	Municipal Planning Strategy – Clause 02		
requirements	Settlement – Coastal settlements – Clause 02.03-1		
	Environmental and landscape values – Clause 02.03-2		
	Environmental risks and amenity – Clause 02.03-3		
	Built environment and heritage – Clause 02.03-5		
	Planning Policy Framework – Clause 10		
	Settlement – Clause 11		
	Environmental and landscape values – Clause 12		
	Environmental risks and amenity – Clause 13		
	Built environment and heritage – Clause 15		
	Housing – Clause 16		
	Design and Development Overlay - Clause 43.02		
	Decision guidelines – Clause 65		

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2. SITE CONTEXT

Site

The subject site is located at 34 Houghton Crescent, Eagle Point. A copy of the Title and Plan of Subdivision is contained in *Appendix A*. The title is affected by a Section 173 Agreement registered on title as AK796785G. There is a 2 metre wide sewerage easement along the southern boundary of the site.

AK796785G

This agreement requires the landowner to install a rainwater tank with a 10,000 litre capacity and be the primary source of water for flushing toilets and laundry.

The site is rectangular in shape with a total area of approximately 760m² and is currently vacant land.

The site is gently undulating in nature and does not contain any vegetation.

There is no formal access to the subject site, access is proposed via a concrete crossover and driveway in the eastern portion of the northern boundary directly from Houghton Crescent. Houghton Crescent is a bitumen sealed road with rollover curb and channel, traversing in an east to west direction adjoining the northern boundary of the subject site.

Details of the site are depicted in the photographs provided below.



Figure 1 – Locality Plan – 34 Houghton Crescent, Eagle Point (source: mapshare.vic.gov.au)



Figure 2 – Locality Plan – 34 Houghton Crescent, Eagle point (source: mapshare.vic.gov.au)

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Surrounds

The land in this locality is mostly developed with existing residential development with farming land in the broader landscape.

Adjoining the northern boundary is Houghton Crescent and further residential development. Adjoining the eastern, western and southern boundaries is land containing existing residential development and associated facilities.

Eagle Point is a coastal locality within the East Gippsland Shire, surrounded by the Gippsland Lakes. Eagle Point is located approximately 5.4 kilometres northeast of Paynesville and approximately 14.6 kilometres southeast of Bairnsdale.

Eagle Point has limited community facilities and no commercial services. Paynesville offers a basic level of commercial and community services whilst Bairnsdale offers a full range of services and facilities.

The subject site in relation to Eagle Point is shown in the aerial photograph below.





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Photograph 2 – Subject site at 34 Houghton Crescent, Eagle Point.



Photograph 4 – Subject site facing north.



Photograph 6 – Subject site facing south.



Photograph 3 – Proposed location for access to the subject site at 34 Houghton Crescent, Eagle Point.



Photograph 5 – Subject site facing east.



Photograph 7 – Subject site facing west.

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Photograph 10 – Neighbouring property along the western boundary at 32 Houghton Crescent, Eagle Point.



Photograph 12 – Houghton Crescent facing west.



Photograph 8 – Neighbouring property opposite the subject site at 35 Houghton Crescent, Eagle Point



Photograph 9 – Neighbouring property adjoining the eastern boundary at 36 Houghton Crescent, Eagle Point.



Photograph 11 – Houghton Crescent facing east.

3. THE PROPOSAL

This application seeks approval for the development of a dwelling and outbuilding under the provisions of the Design and Development Overlay. The proposed development plans are contained in *Appendix B*.

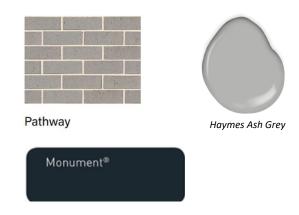
Dwelling

The proposed dwelling will be located in the northern portion of the subject site with a setback of 5 metres to the northern boundary being Houghton Crescent, 200mm to the eastern boundary, 4.5 metres to the southern boundary and approximately 2.2 metres to the western boundary.

The building footprint of the proposed dwelling is 333.95m² including the garage and alfresco area. The proposed dwelling will have an overall height of approximately 5.93 metres.

The finished colours and materials of the proposed dwelling will include a combination of face brickwork in the colour Pathway, render with a painted finish of Haymes Ash Grey and Newport primeline cladding with a painted finish of Haymes Ash Grey. The roofing, fascia and gutters will be finished with the Colorbond colour Monument. An extract from the plans showing the site plan and north elevation is

provided in *Figures 3* and *4* as well as in *Appendix B.* A visual description of the proposed colours is located below.



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The proposed outbuilding will be located in the southeastern corner of the site and will have a setback of 1 metre to the eastern boundary, 3 metres to the southern boundary and 4.5 metres from the proposed dwelling.

The proposed outbuilding will be 4.5 metres long by 3.75 metres wide. The overall height will be 2.48 metres. The total building footprint will be 16.8m².

The finished colours and material of the proposed outbuilding will include metal sheeting in the colour Armour Grey.

The proposed outbuilding will be used to store maintenance equipment associated with the upkeep of the site.

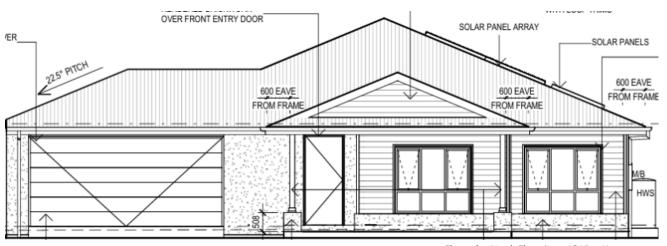


Figure 3 – North Elevation – JG King Homes

Vehicle access to the site is proposed in the eastern portion of the northern boundary, directly from Houghton Crescent via a new concrete crossover and driveway.

Drainage from the proposed dwelling and outbuilding will be directed to the proposed Modline Water Tank in the first instance with overflow directed to the legal point of discharge to the satisfaction of the responsible authority.

The subject site has access to an appropriate level of services and infrastructure including, reticulated water, sewerage, electricity, telecommunications and a good quality road network. The proposed dwelling will connect to all available services.

Earthworks will be required to create a level building surface however will not exceed 1 metre in depth. No vegetation removal is required for this proposal.

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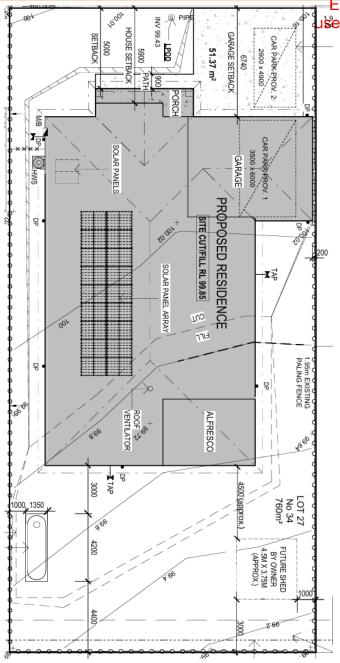


Figure 4 – Site Plan – JG King Homes

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4. ZONES AND OVERLAY

General Residential Zone - Schedule 1

The purpose of the General Residential Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

An extract of the General Residential Zone Map is provided in *Figure 5*.

Clause 32.08-5 of the General Residential Zone provides a permit is not required to construct or extend one dwelling on a lot as the lot is greater than 300m² and a permit is not required for an outbuilding ancillary to a dwelling. This is not addressed further.

The proposal meets the garden area requirement for a site over 650m² which has a minimum requirement of 35%. The proposal includes 50.78% garden area.

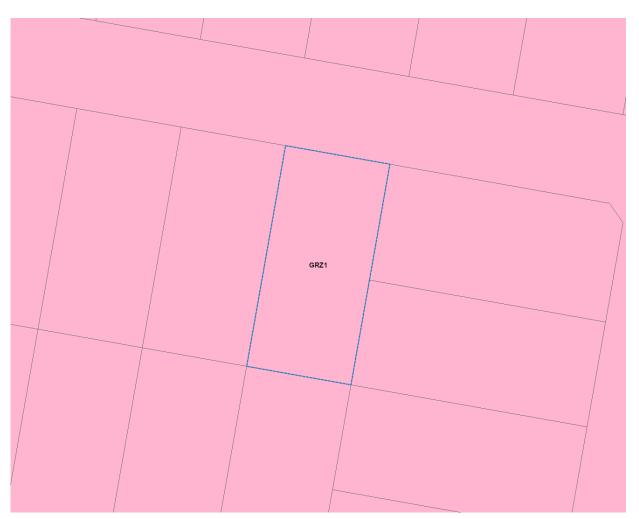


Figure 5 – General Residential Zone – (source - mapshare.vic.gov.au)

Design and Development Overlay – Schedule 11

The purpose of the Design and Development Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

An extract of the Design and Development Overlay Map is provided in *Figure 6*.

Clause 43.02-2 – Buildings and works provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is required for a building exceeding 7.5 metres in height and for a building with a footprint greater than 300m².

The total building footprint will exceed 300m² in area, and as such a planning approval is required for the development of a dwelling and outbuilding under the provisions of the Design and Development Overlay. The relevant decision guidelines and schedule are addressed in Section 5 of this submission.

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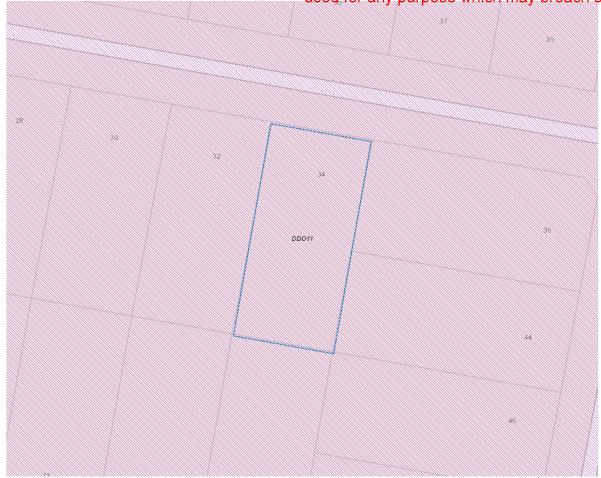


Figure 6 - Design and Development Overlay - (source - mapshare.vic.gov.au)

Design and Development Overlay – Schedule 11 continued:

Schedule 11 to the Design and Development Overlay relates to Residential Development in Coastal Settlements and contains the following design objectives:

- To protect and manage the township character of coastal settlements.
- To ensure that the height and visual bulk of new development is compatible with the coastal neighbourhood setting.
- To ensure that new development is designed to minimise visual impacts on the natural landscape.
- To ensure that new development is visually and physically integrated with the site and surrounding landscape.
- To ensure that new development is sited and designed to be visually unobtrusive through and above the surrounding tree canopy when viewed from nearby streets, lakes, coastal areas, or other distant viewpoints.
- To protect the vegetated character of the landscape, particularly where it is a

- dominant visual and environmental feature.
- To ensure that the scale and character of existing development in areas fronting Marine Parade in Marlo and on the lake frontage at Newlands Arm is preserved and that any new development should be consistent with the prevailing development form and height to retain the existing character and view corridors.
- To ensure that the subdivision of land within the Newlands Arm Estate is consistent with the Newlands Arm Estate Restructure Plan, Version 7 (March 2017).

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Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is not recognised as being within an area of Aboriginal Cultural Heritage Sensitivity and as such does not require the preparation of a Heritage Management Plan. This is not addressed further.

An extract of the Aboriginal Cultural Heritage Overlay Map is provided in *Figure 7*.



Figure 7 – Aboriginal Cultural Heritage Overlay – (source - mapshare.vic.gov.au)

5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at Clause 02 and the Planning Policy Framework at Clause 10 providing for an appropriate residential dwelling and outbuilding that can be respectful of the existing surrounding development and the environment.
- The proposal ensures a high standard of environmental sustainability, urban design and amenity by designing the dwelling and outbuilding to address the constraints of the site, particularly its gently undulating nature. This approach reduces potential environmental impacts and meets the objectives of relevant Clauses, including Clause 02.03 and Clause 11.
- Clause 02.03-1 identifies Eagle Point as a coastal settlement. Eagle Point is a small, consolidated town distinct from Paynesville, with a permanent resident settlement and a holiday recreation destination.

- The proposed dwelling and outbuilding will connect to all available services and infrastructure including reticulated water, sewerage, electricity, telecommunications and a good quality road network.
- A Section 173 Agreement is registered on title which requires the owner to install a 10,000 litre water tank that connects to the laundry and provides for toilet flushing. The proposal includes the specified tank capacity and required connections so as not to contravene any conditions set out in the agreement. Drainage from the proposed dwelling and outbuilding will be directed to the water tank in the first instance with overflow directed to the legal point of discharge to the satisfaction of the responsible authority.
- The proposal meets the objectives of Clause
 16 by providing an additional dwelling within an existing, predominantly developed residential area that will in turn support additional housing.
- The proposal is consistent with the decision guidelines of the Design and Development Overlay at Clause 43.02-6 which seeks to identify areas which are affected by specific requirements relating to the design and built form of new development.
- The proposed dwelling and outbuilding will result in an appropriate development that

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Planning approval is required as a proposed building footprint will exceed 300m² in area. The proposed dwelling will be located in the northern portion of the subject site and the proposed outbuilding will be located in the southeastern corner as indicated on the proposed development plans. The proposed dwelling and outbuilding will have appropriate setbacks from the boundaries.

- The proposed development is unlikely to be visible from the water being Eagle Point Bay particularly given the existing surrounding development, vegetation and topography of the area.
- The proposed colours of the dwelling and outbuilding have been selected to ensure the development is not visually obtrusive and will be well integrated with the surrounding development and environment. Land surrounding the subject site is predominantly developed residential land containing dwellings of various heights, styles and setbacks. The proposed colours are low reflective and muted in toning. A visual description of the proposed colours is provided in Section 3 of this submission.
- The proposal is not dissimilar to many others in the locality and represents an appropriate residential development

- respectful of the significant landscape surrounding.
- Schedule 11 refers to residential development in coastal settlements which requires consideration of the impact of the development in the landscape.
- The roof form of the proposed development will be below the prevailing tree canopy and will be a suitable distance from the surrounding waterways.
- The scale of the development is considered appropriate for the location and is consistent with surrounding development.
- The vegetated nature of the landscape is important in this locality. It is noted that this proposal does not require the removal of any vegetation.
- No additional planting beyond simple landscape gardens is proposed at this time, particularly given the bushfire prone nature of the area.
- This submission has addressed the requirements of the East Gippsland Planning Scheme, including the Design and Development Overlay and the decision guidelines of Clause 65. The proposed development supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.

- Access to the dwelling is proposed in the eastern portion of the northern boundary directly from Houghton Crescent via a new concrete crossover and driveway as indicated on the proposed development plans, there will be no negative impact on the existing road network. The increased traffic as a result of the proposal is unlikely to generate any negative impact on the existing road network.
- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.

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6. CONCLUSION

This submission is in support of a planning permit application for the development of a dwelling and outbuilding at 34 Houghton Crescent, Eagle Point.

The relevant provisions of the East Gippsland Planning Scheme have been addressed, and it has been ascertained that the proposed development is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Design and Development Overlay.
- The design of the proposal is complementary to the existing surrounding development and is consistent with the character of the area.

It is requested that a planning permit be granted for this development.

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Disclaimer:

This document has been prepared for planning permit application purposes only. The report has been made with careful consideration and with the best information available to Development Solutions Victoria Pty Ltd at the time.

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GENERAL NOTES:

THE OWNER, BUILDER AND/OR SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND ANY SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BY LAWS AND RESCODE REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION

- THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING THESE PLANS SHALL BE READ IN CONSUME TION WITH ANY STRUCTURAL OF CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS. THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT. FOOTINGS ARE TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED I THE SOIL REPORT. WHERE THE BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT
- LEVELS RELATING TO GROUND LEVELS ARE APPROXIMATE ONLY & ARE TO BE CHECKED & VERIFIED ON SITE BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- STORMWATER SHALL BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RELEVANT AUTHORITY.
- SEWER OR SEPTIC SYSTEMS SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY
- FOOTINGS ARE NOT TO ENCROACH OVER ANY TITLE BOUNDARIES AND/OR EASEMENT LINES.
- FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA ENSURE THAT ALL STEELWORK, BRICK CAVITY FIES, STEEL LINTELS ETC. THAT ARE IMBEDDED OR FIXED TO MASONRY BE PROTECTED IN ACCORDANCE WITH A.S. 3700-2018, HOT DIP GALVANIZED, STAINLESS STEEL OR CADMIUM COATED
- BUILDING SETBACKS ARE FROM TITLE LINE (NOT FENCE LINE) REFER TITLE RE-ESTABLISHMENT
- ALL WET AREAS ARE TO COMPLY WITH NCC 2022 PART 10.2.1 OR AS 3740-2021. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800MM ABOVE FLOOR LEVEL TO ANY SHOWER ENCLOSURES AND 150MM ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75MM OF THE
- WATERPROOFING TO HOBLESS SHOWER TO COMPLY WITH CLAUSE 3.13.5 OF AS3740-2021
- RISERS -190MM MAXIMUM, 115MM MINIMUM. GOING -355MM MAXIMUM, 240MM MINIMUM. RISERS AND TREADS ARE TO BE CONSTANT IN SIZE THRU-OUT FLIGHT. PROVIDE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSING

ENSURE A MAXIMUM GAP BETWEEN RISERS IS NOT TO EXCEED 125MM OR USE CLOSED RISERS PROVIDE CONTINUOUS HAND RAILING 1000MM MINIMUM HEIGHT TO BALCONIES AND DECKS WHICH ARE 1000MM OR GREATER ABOVE GROUND LEVEL. HANDRAILS ARE TO BE A MINIMUM OF 865MM ABOVE STAIR NOSING AND LANDINGS, MAXIMUM GAP BETWEEN BALUSTERS SHALL BE 125MM

- SMOKE ALARMS ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH NCC 2022 PART 9.5 & AS3786-2014, AND UNLESS INSTALLED IN AN EXISTING PART OF A CLASS 1, 2 OR 3 BUILDING OR A CLASS 4 PART OF A BUILDING THE SMOKE ALARM SHALL BE HARD-WIRED WITH A BATTERY BACK-UP NTERCONNECTED A MINIMUM FLOW RATE OF EXHAUST FANS WITHIN BATHROOM OR SANITARY COMPARTMENTS ARE TO BE 25 L/s AND A MINIMUM FLOW RATE FOR RANGEHOODS OR LAUNDRIES OF 40L/s DUCTED DIRECTLY TO THE OUTSIDE AIR
- 11. BUILDING SEALING TO BE IN ACCORDANCE WITH NCC PARTS 13.4.2 13.4.7
 - CLOTHES DRYER NOT PART OF CONTRACT WITH JG KING. OWNER TO BE AWARE THAT IF INSTALLED TO BE VENTED TO OUTSIDE AIR
- 12. JUNCTIONS / TRANSITIONS BETWEEN DIFFERENT FLOOR COVERINGS TO HAVE A SILL DIFFERENCE IN
- 13. CORROSION PROTECTION TO EXPOSED STRUCTURAL STEEL TO COMPLY WITH NCC 6.3.9

SPECIFICATION NOTES:

REQUIRED FILL & COMPACTION TO BE IN ACCORDANCE WITH A.S.2870-2011

ALLOWABLE BEARING PRESSURE OF SOIL:

UNDER STRIP OR PAD FOOTINGS - 100kPa

UNDER SLAB OR BEAMS

BRICKWORK

PROVIDE WALL-TIES TO BRICKWORK AT A MAXIMUM OF 600MM IN EACH DIRECTION AND WITHIN 300MM OF ANY ARTICULATION JOINTS. FOR PERPS AND BEDS JOINTS SPACINGS (REFER TO NCC 2022 PART 5.6.5) WEEPHOLES TO BE IN ACCORDANCE WITH AS 3700 CLAUSE 4.7.2

ALL STEEL STRUCTURE TO COMPLY WITH AS4100-1998. COMPOSITE STRUCTURES TO COMPLY WITH AS2327-2017, COLD FORMED STEEL STRUCTURES TO COMPLY WITH AS4600-2018.

FOR STRUCTURAL DETAILS REF. BHP HOUSE WALL FRAMING DESIGN MANUAL.

FOR ACTUAL CONFIGURATION & RACKING CAPACITY OF EACH TYPE OF BRACED PANEL REFER TO THE BHP

WALL FRAMES DESIGNED & CONSTRUCTED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN TITLE

WALL LINTELS & SUPPORT STUDS:

FOR ALL EXTERNAL PERIMETER LOAD-BEARING LINTELS AND THEIR SUPPORTING STUDS REFER TO THE ENGINEERS DETAILS AND DRAWINGS AND TO GENERAL SPECIFICATIONS CARPENTERS TO ALLOW 45MM DOOR STUD AT WALL JUNCTIONS.

INTERNAL DOORS

ALL INTERNAL DOORS ARE TO BE 2040mm HIGH UNLESS NOTED OTHERWISE ON THE PLAN.

HINGED DOORS THAT OPEN INWARDS TOWARDS THE PAN BUT THE EDGE OF THE DOOR IS A MINIMUM OF 1200MM AWAY FROM THE PAN AT ITS NEAREST POINT, MUST HAVE DEMOUNTABLE HINGES TO ALLOW EASY REMOVAL OF THE DOOR FROM THE OUTSIDE THE WC COMPARTMENT.

GUTTERS AND DOWNPIPES

BOX GUTTERS MUST BE FLASHED AT THE GUTTER ROOF JUNCTION WITH NON COMBUSTIBLE MATERIAL. NO MATERIAL REQUIREMENTS FOR STANDARD GUTTERS & DOWNPIPES

TEMPORARY DOWNPIPES ARE TO BE USED DURING CONSTRUCTION.

FLOORING & FOOTINGS:

FINISHED FLOOR LEVELS ARE NOMINAL ONLY AND SHOULD BE CONFIRMED PRIOR TO START OF WORK. READ IN ACCORDANCE WITH THE SOIL REPORT REQUIREMENTS, READ IN CONJUNCTION WITH THE ENGINEERS DETAILS FOR ALL FOOTING SIZE & DETAILS. PLEASE NOTE MINIMUM FOUNDING DEPTH TO BE DETERMINED AS "NOTED" IN THE SOIL REPORT

ALL CONCRETE TO HAVE A STRENGTH OF 20MPa

ALL SLAB, BEAM & FOOTING CONCRETE REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT

LAPPING & SUPPORT OF REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS A.S.2870.1-2011

POLYTHENE MEMBRANE TO BE LAPPED A MINIMUM OF 200mm AT JOINTS & SHALL BE TAPPED AROUND PIPES WHICH PENETRATE THE SLAB

TOP SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED FROM THE SURROUNDING AREA.

ROOF STRUCTURE DESIGNED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN THE TITLE PANEL CEILING BATTENS TO BE 25mm *TOP HAT* SECTION, ROOFING MATERIAL AS NOTED ON ELEVATIONS & PLAN REFER TO BUILDING CONTRACTS FOR DOWNPIPE SPECIFICATIONS. ROOFING TO BE IN ACCORDANCE WITH AS 3500.3 - 2021

TILED ROOF: TILED ROOFS TO BE FULLY SARKED BELOW THE ROOF BATTENS. COVERING THE ENTIRE ROOF INCLUDING THE RIDGE AND BE INSTALLED SO THAT THERE ARE NO GAPS AT FASCIAS, **GUTTERS, VALLEYS ETC.**

SHEET ROOF: COLORBOND ROOFS TO BE FULLY SARKED (BELOW OR ABOVE THE ROOF BATTENS) COVERING THE ENTIRE ROOF INCLUDING THE RIDGE AND BE INSTALLED SO THAT THERE ARE NO GAPS AT

DETACHED ROOFS: ROOF STRUCTURES AS PER DETAILS COMPLY (VERANDAHS ETC.) (NO LINING

ROOF PENETRATIONS: SKYLIGHTS TO COMPLY WITH AS3959-2018. PRODUCT DETAILS AND PROOF OF COMPLIANCE TO BE PROVIDED IF SKYLIGHT REQUIRED. EVAPORATIVE COOLERS TO BE FITTED WITH BUTTERFLY CLOSER'S AT OR NEAR THE CEILING.

WINDOWS & DOORS:

ALL GLAZING SHALL CONFORM TO AS1288-2021 & AS 2047-2014.
WINDOW SIZES SHOWN ARE NOMINAL DEPENDING ON THE WINDOW MANUFACTURERS CLOSEST

- ALL GLAZING IS TO BE IN ACCORDANCE WITH AS1288-2021.
 READ IN CONJUNCTION WITH THE WINDOW SCHEDULE & ELEVATIONS.
- ALL EXTERNAL DOORS ARE TO FITTED WITH WEATHER STRIPS. 'F DENOTES FIXED GLAZING, 'D' DENOTES OPENABLE SASH.

NOTE: THESE HEIGHTS MAY VARY SLIGHTLY ACCORDING TO DIFFERENCES IN BRICK SIZES

ALL EXTERNAL WINDOWS & GLAZED DOORS TO BE ALUMINUM FRAMED UNLESS NOTED OTHERWISE

GARAGE PASSAGE DOORS TO BE FITTED WITH DRAFT SEAL AS PER 13.4.4 OF THE NCC 2022

ALL CAVITY SLIDING DOORS TO BE FLUSH JAMB TYPE. STANDARD STUD OPENING TO BE WIDENED BY

FOR STRUCTURAL DETAILS REFER TO BHP HOUSE WALL FRAMING DESIGN MANUAL. FOR ACTUAL CONFIGURATION & RACKING CAPACITY OF EACH TYPE OF BRACED PANEL REFER TO THE NASH STANDARD RESIDENTIAL & LOW - RISE STEEL FRAMING PARTS 1 & 2. WALL FRAMES DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH WIND LOADINGS SPECIFIED IN THE TITLE PANEL.

WALL SARKING MATERIAL TO COMPLY WITH AS/NZS 4200.1 AND NCC CLAUSE 10.8.1 (2022) AND TO BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.2

EAVES TO BE CONSTRUCTED WITH 4.5MM FC SHEET WITH PVC JOINERS. FASCIAS TO BE CONSTRUCTED WITH NON-COMBUSTIBLE STEEL. GABLES TO COMPLY WITH THE CONSTRUCTION OF EXTERNAL WALLS

ALL HEATING & COOLING UNITS, SIZES, TYPES & LOCATIONS ARE TO BE CONFIRMED BETWEEN THE BUILDER & THE SUPPLIER. ALL HEATING & COOLING DUCTS & VENT LOCATIONS ARE TO BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCEMENT OF BUILDING TO DETERMINE IF ANY ADDITIONAL RISER DUCTS ARE REQUIRED. ALL HEATING & COOLING POINTS LOCATIONS, MAY VARY FROM PLAN TO PLAN.

GEOTECHNICAL:
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH A GEOTECHNICAL REPORT. IT IS THE BUILDERS'S RESPONSIBILITY TO OBTAIN SUCH REPORTS PRIOR TO COMMENCEMENT OF WORKS. FULL HEIGHT CONTROL JOINTS (FOOTING TO EAVES) AT 5m MAX CTRS UNLESS OTHERWISE STATED IN THE SOIL REPORT, REFER TO SOIL REPORT.

LINTEL NOTES:

BUILDER IS TO NOTE THAT LINTELS SELECTED BY THE ENGINEER ARE DESIGNED TO CARRY ONLY STANDARD TILE ROOFING & TRUSS LOADS WHERE ARE AT 600mm MAXIMUM CTRS. IF ANY GIRDER TRUSSES ARE LOCATED DIRECTLY ON ANY LINTELS. TRUSS MANUFACTURER AND / OR BUILDER IS TO REFER TO THE ENGINEER TO CONFIRM IF LINTEL & SUPPORTING STUDS ARE ADEQUATE. ENGINEER'S DRAWINGS TAKE PRECEDENCE OVER NOMINAL SIZES INDICATED ON THESE PLANS.

ALL STEEL AND MORTAR TO BE IN ACCORDANCE WITH SECTION 5 OF AS 3700-2018 DUE TO DWELLING BEING WITHIN 10KM OF A SURF COAST.

ALL WORKS INCLUDING BRICKS. BRICKWORK, CONCRETE, SLABS & FOOTINGS OF THE RELEVANT AUSTRALIAN STANDARDS.

BAL REQUIREMENT NOTES: BAL 12.5

SUB FLOOR (POSTS, STUMPS COLUMNS)

ENCLOSED: NO REQUIREMENT, BRICK & PIER SUBFLOOR WALLS COMPLY

FLOORS (BEARERS, JOISTS AND FLOORING) ENCLOSED: NO REQUIREMENT

ENCLOSED SUBFLOOR SPACE - NO SPECIAL REQUIREMENTS FOR MATERIALS EXCEPT WITHIN 400MM OF

GROUND. NO SPECIAL REQUIREMENTS FOR SUPPORTS OR FRAMING. DECKING TO BE NON-COMBUSTIBLE OR BUSFIRE RESITANT WITHIN 300MM HORIZTONTALLY AND 400MM VERTICALLY FROM GLAZED ELEMENT. /ERANDAH/ALRESCO POSTS TO BE ON 75MM STIRRUPS OR INCLUDE BUSHFIRE RESISTANT TIMBER

BALUSTRADES, HANDRAILS OR OTHER BARRIERS

ENERGY RATING SUPPLIED BY R&C

ulation (details see NatHERS certificate

R2.5 batts to garage ceiling as per the plans. R2.0 acoustic wall insulation as per plans.

R2.0 batts to Garage internal walls only.

dow Details and WERS Codes:

arking to roof space.

s per Window Schedul

Iding Sealing

tificial lighting

ass 1 internal areas

ached external areas 4W/m2

ass 10a internal areas 3W/m2

Refer to plans/builder for proposed wattages

Class

R2.0 batts to the external walls, including the garage

R5.0/ R2.5 insulation to the ceiling, excluding Garage

VC, double glazed and low E glazing throughout

ENERGY EFFICIENCY DETAILS

JatHERS tech note/section 10 defaults are used where applicable

.U-010-05 W IDEAL 2000 Awning Window DG LightBridge_ClrSO_4-16-4

ALU-001-17 A Casement Id4000 DG 003_AGG CLASSIC Cir 6_16_6

Air infiltration seals to external residence and garage internal doors

Floor Area (m2)

rimeter lighting to be min. 40 Lumens/Watt or controlled by daylight sensors

254.24

30 67

49.04

Max. Lamp (W)

1271.2

122.68

147.12

wnlights to be IC rated & sealed if fitted (insulated over)

Density

LU-005-27 A Sliding Door DG 013 AGG PRIME Clr 6 16 6

efer to NatHERS Certificate for additional details

ceiling insulation penetrations and Glazing values

haust fans to have self-closing dampers

NO REQUIREMENT

PARTS LESS THAN 400MM ABOVE GROUND OR DECKS ETC TO BE OF NON-COMBUSTIBLE MATERIAL. 6MM FIBRE CEMENT CLAD OR BUSHFIRE RESISTANT/NATURALLY FIBRE RESISTANT TIMBER. NO GAP GREATER

WINDOWS INCLUDING DOOR SIDELITES & GLAZED PANELS WITHIN DOORS

PROTECTED BY BUSHFIRE SHUTTER, COMPLETELY SCREENED WITH STEEL, BRONZE OR ALUMINIUM MESH OR 4MM GRADE A SAFTEY GLASS OR GLASS BLOCKS WITHIN 400MM OR GROUND, DECK, ETC. OPENABLE PORTION METAL SCREENED WITH FRAME OF METAL OR METAL REINFORCED PVC-U OR BUSHFIRE RESISTING TIMBER, NO GAP GREATER THAN 2MM.

EXTERNAL DOORS

PROTECTED BY BUSHFIRE SHUTTER, OR SCREENED WITH STEEL, BRONZE OR ALUMINIUM MESH OR GLAZED WIT 5MM TOUGHENED GLASS, NON-COMBUSTIBLE OR 35MM SOLID TIMBER FOR 400MM ABOVE THRESHOLD, METAL OR BUSHFIRE RESISTING TIMBER FRAMED FOR 400MM ABOVE GROUND, DECKING, ETC. TIGHT FITTING WITH WEATHER STRIPS AT BASE. GARAGE DOORS TO BE PROTECTED WITH SUITABLE WEATHER STRIPS, DRAUGHT EXCLUDERS, DRAUGHT SEALS OR BUSHES WITH NO GAP GREATER THAN

NON-COMBUSTIBLE COVERINGS, ROOF/WALL JUNCTION SEALED. ROOF TO BE FULLY SARKED. NO GAP

LOT 27, 34 HOUGHTON CRESCENT, EAGLE POINT VIC 3878

U Value

1.59

2.19

1.94

0.34

0.38

0.4

COLLECTION

FITZROY 30

FACADE: SOMERSET

CLIENT:

ADDRESS: LOT 27, NO. 34 HOUGHTON CRESCENT

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SUBURB: **EAGLE POINT VIC 3878**

JOB No: 2411TRA276

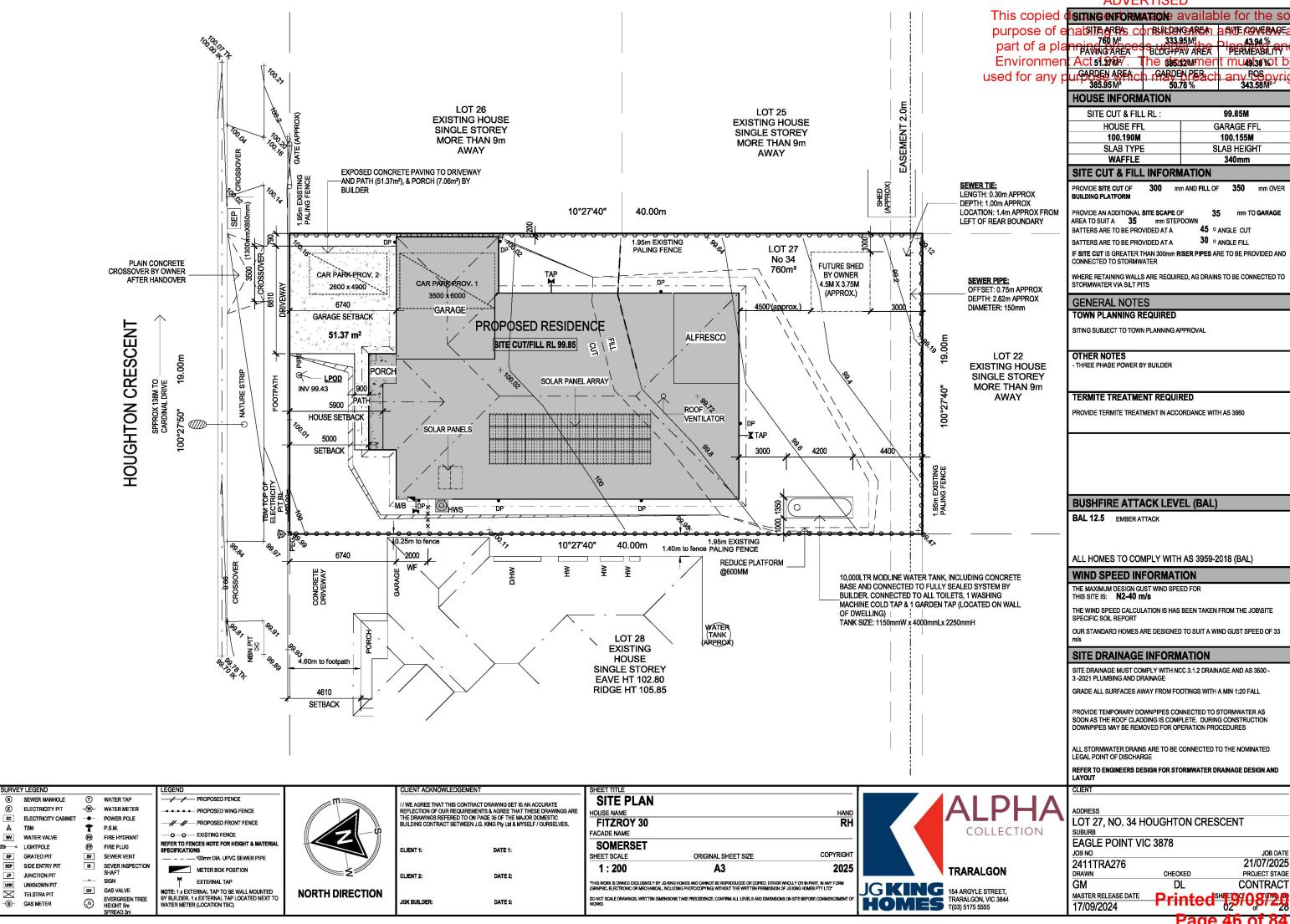
SHEET No: 01 of 28





IMPORTANT NOTE: IMAGES ARE FOR ILLUSTRATION FOR AND AND SALES 25

IMPRESSIONS ONLY Page 45 of 84

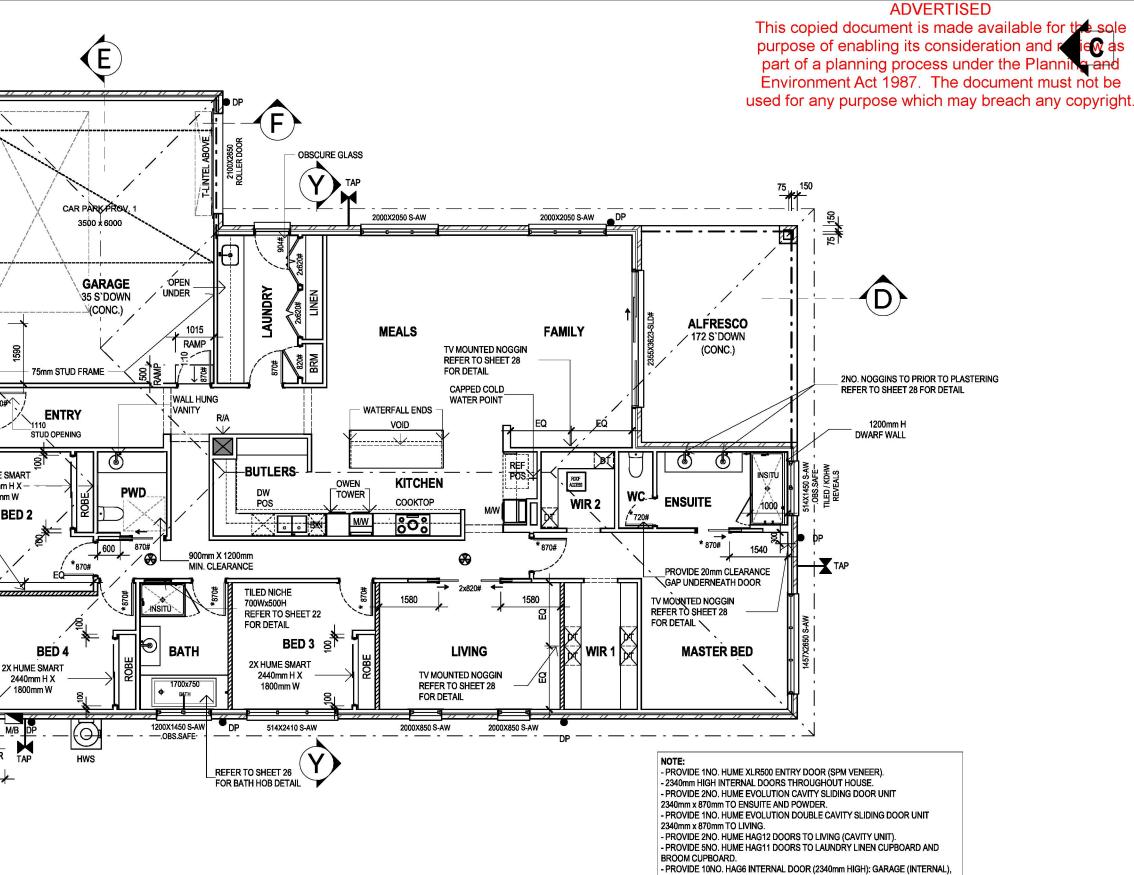


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distring informations available for the so Acts 1.57617. The statement must and b





* DENOTES PRIVACY LOCKS TO INTERNAL DOORS - PROVIDE EMB-A-SEAL TO SECTIONAL GARAGE DOOR & ROLLER DOOR.

ALL WINDOWS & SLIDING DOORS ARE UPVC, DOUBLE GLAZED & LOW-E

TV MOUNTED NOGGIN

REFER TO SHEET 28 FOR DETAIL

PORCH

172 S'DOWN

(CONC.)

165 170 135

DENOTES RENDER FINISH

2X HUME SMART

2440mm H X -

BED 2

1800mm W

710

DENOTES R2.0 ACOUSTIC INSULATION BATTS TO WALL

PROVIDE R2.5 INSULATION BATTS TO GARAGE CEILING

DENOTES A SERVICE(S) VOID THAT CANNOT BE REMOVED RELOCATED OR REDUCED IN SIZE

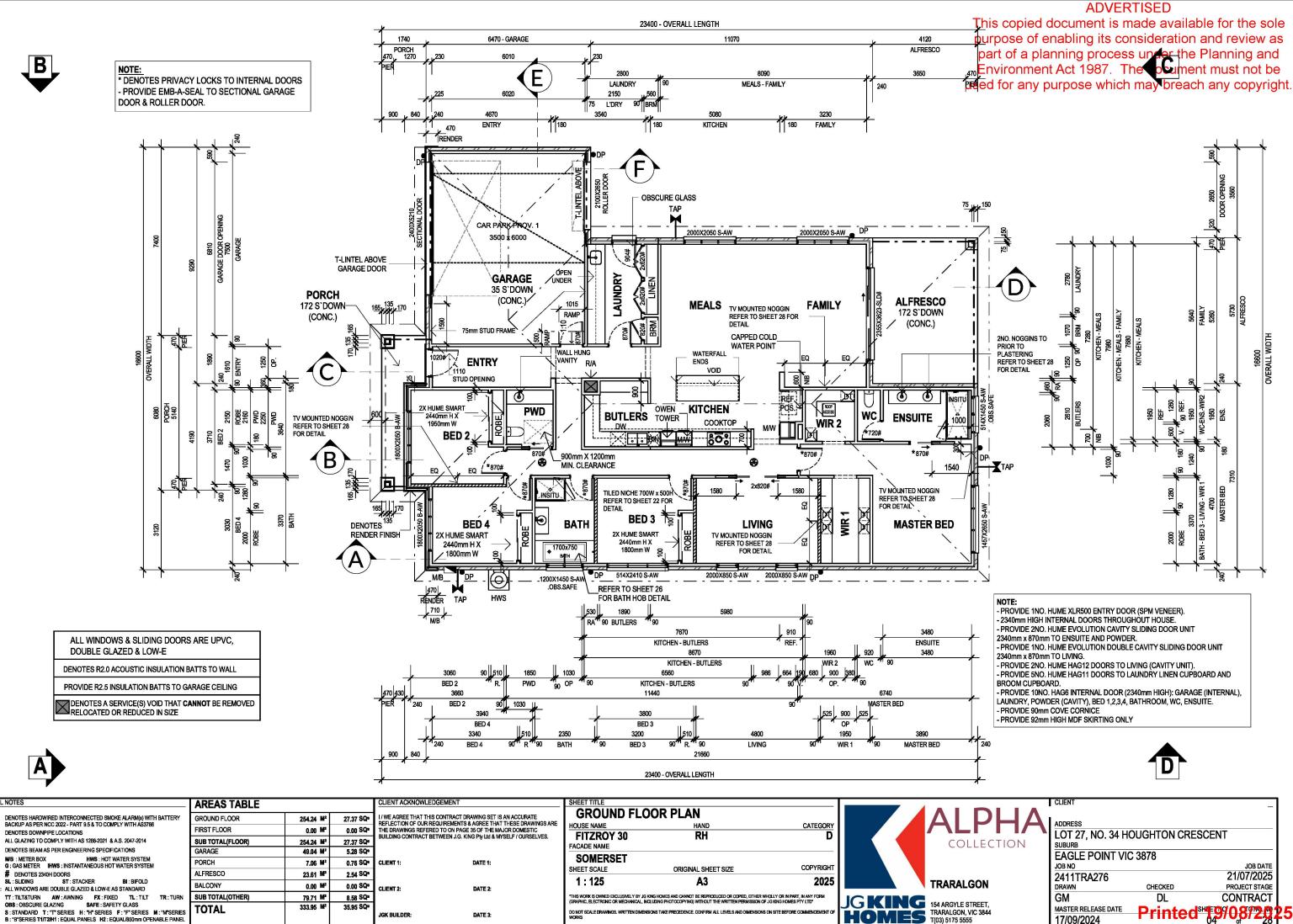
Page 47 of 84

- LAUNDRY, POWDER (CAVITY), BED 1,2,3,4, BATHROOM, WC, ENSUITE.
- PROVIDE 90mm COVE CORNICE

- PROVIDE 92mm HIGH MDF SKIRTING ONLY



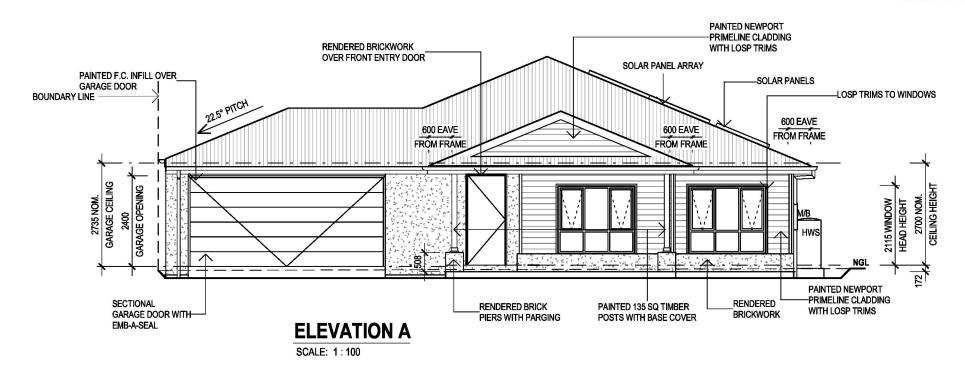
-	GENERAL NOTES	AREAS TABLE			CLIENT ACKNOWLEDGEMENT	SHEET TITLE				4	CLIENT		
- 1	DENOTES HARDWIRED INTERCONNECTED SMOKE ALARM(s) WITH BATTERY	GROUND FLOOR	254.24 M²	27 27 SOs	I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE	GROUND FLO	OOR PLAN						
- 1	BACKUP AS PER NCC 2022 - PART 9.5 & TO COMPLY WITH AS3786	FIRST FLOOR	0.00 M²	50 10 10 10 10 10 10 10 10 10 10 10 10 10	REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC	ARE HOUSE NAME	HAND	CATEGORY		AIPHA	ADDRESS		
- 1	● DP DENOTES DOWNPIPE LOCATIONS ALL GLAZING TO COMPLY WITH AS 1288-2021 & A.S. 2047-2014	DECEMBER OF THE PERSON OF THE	-	0.00	BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVE	FITZROY 30	RH	D			LOT 27, NO. 34 H	OUGHTON CRES	CENT
- 1	DENOTES BEAM AS PER ENGINEERING SPECIFICATIONS	SUB TOTAL(FLOOR) GARAGE	254.24 M² 49.04 M²	27.37 SQs 5.28 SQs		FACADE NAME				COLLECTION	SUBURB		
- 1	MVB: METER BOX HWS: HOT WATER SYSTEM	PORCH				SOMERSET					EAGLE POINT VI	C 3878	
- 1	G: GAS METER IHWS: INSTANTANEOUS HOT WATER SYSTEM	XXX-3466-3-4403-1-300	7.06 M ²			SHEET SCALE	ORIGINAL SHEET SIZE	COPYRIGHT			JOB NO		JOB DATE
- 1	DOORS: # DENOTES 2340H DOORS SL : SLIDING ST : STACKER BI : BIFOLD	ALFRESCO	23.61 M²	2.54 SQs	-	1:100	A3	2025		TRADALCON	2411TRA276		21/07/2025
- 1	WINDOWS: ALL WINDOWS ARE DOUBLE GLAZED & LOW-E AS STANDARD	BALCONY	0.00 M²	0.00 SQs	CLIENT 2: DATE 2:					TRARALGON	DRAWN	CHECKED	PROJECT STAGE
- 1		SUB TOTAL(OTHER)	79.71 M²	8.58 SQs			KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER ICLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION		CKING	154 ARGYLE STREET.	GM	DL	CONTRACT
- 1	OBS: OBSCURE GLAZING SAFE: SAFETY GLASS S: STANDARD T: "T" SERIES H: "H" SERIES F: "F" SERIES M: "M"SERIES	TOTAL	333.95 M²	35.95 SQs		DO NOT SCALE DRAWINGS. WRITTEN DIMEN	ISIONS TAKE PRECEDENCE, CONFIRM ALL LEVELS AND DIMENSIC	NS ON SITE BEFORE COMMENCEMENT OF			MASTER RELEASE DATE	Printed ^s	<u> ተመረሰር የምክ</u> ሳ
- 1	B: "B"SERIES T1/T2/H1: EQUAL PANELS H2: EQUAL/850mm OPENABLE PANEL			1	JGK BUILDER: DATE 3:	WORKS			HUME	TRARALGON, VIC 3844 T(03) 5175 5555	17/09/2024	i iiiteu	0301 001 2364

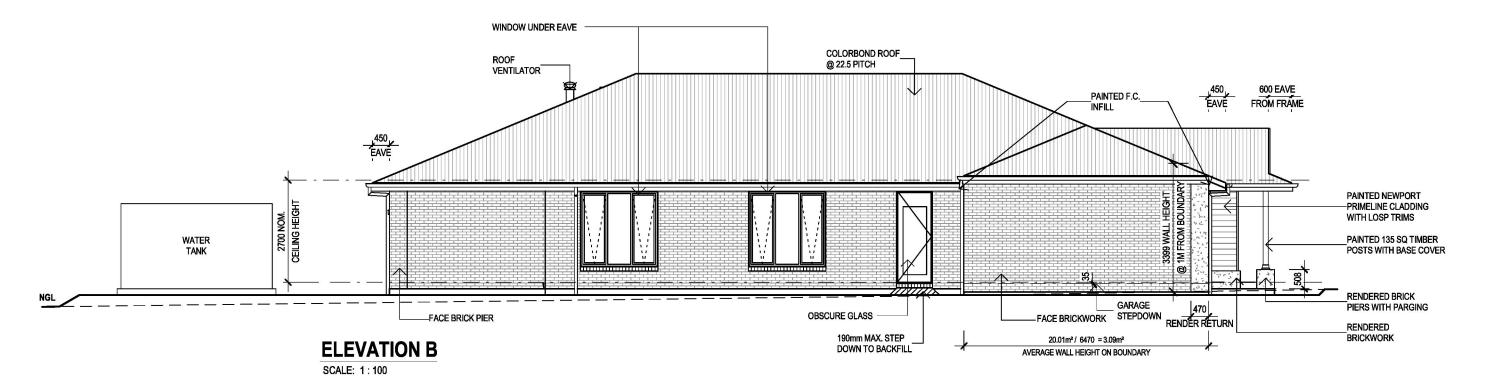


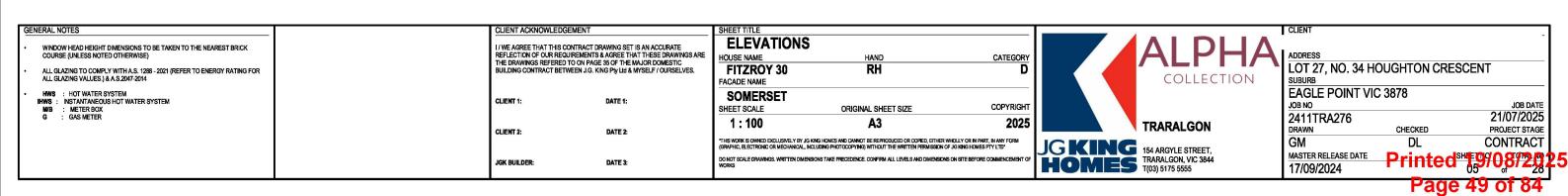
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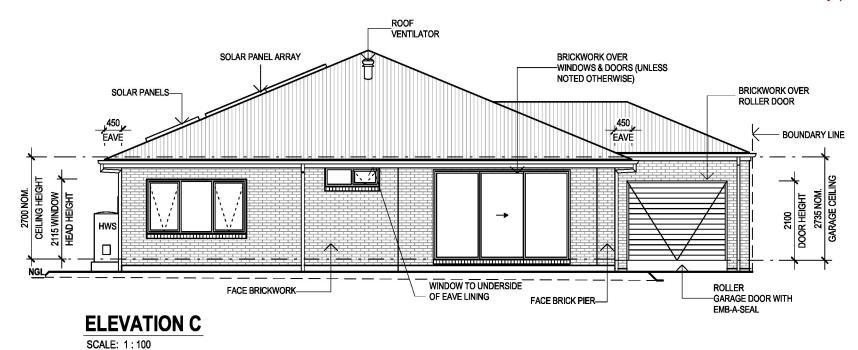
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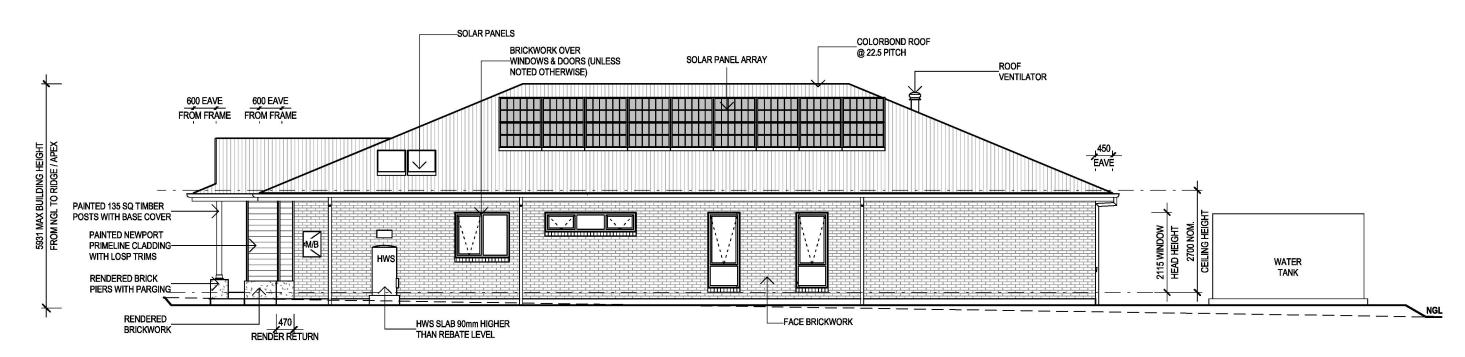






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ELEVATION D

SCALE: 1:100

GENERAL NOTES	CLIENT ACKNOWLEDGEMENT		SHEET TITLE				*	CLIENT		
WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE) ALL GLAZING TO COMPLY WITH A.S. 1288 - 2021 (REFER TO ENERGY RATING FOR ALL GLAZING VALUES.) & A.S. 2047-2014	I/WE AGREE THAT THIS CONTRACT REFLECTION OF OUR REQUIREMENT THE DRAWINGS REFERED TO ON PA- BUILDING CONTRACT BETWEEN J.G.	S & AGREE THAT THESE DRAWINGS ARE SE 35 OF THE MAJOR DOMESTIC	ELEVATIONS HOUSE NAME FITZROY 30 FACADE NAME	HAND RH	CATEGORY D		ALPHA	ADDRESS LOT 27, NO. 34 HO SUBURB	500 N - 1000 N N 1000 N	ENT
HWS: HOT WATER SYSTEM HWS: NISTANTANEOUS HOT WATER SYSTEM WB: METER BOX G: GAS METER	CLIENT 1:	DATE 1:	SOMERSET SHEET SCALE	ORIGINAL SHEET SIZE	COPYRIGHT			EAGLE POINT VIO JOB NO 2411TRA276	C 3878	JOB DATE 21/07/2025
	CLIENT 2:	DATE 2:		A3 OMES AND CANNOT BE REPRODUCED OR COPED, EITHER WHOL KG PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG		JG KING	TRARALGON 154 ARGYLE STREET,	DRAWN GM MASTER RELEASE DATE	CHECKED DL	PROJECT STAGE CONTRACT
	JGK BUILDER:	DATE 3:	DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS WORKS	TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON:	ISITE BEFORE COMMENCEMENT OF	HOMES	TRARALGON, VIC 3844 T(03) 5175 5555	17/09/2024		#970,8 72,0,2 ! 50 of 84
									raye	JU UI 04

LEGEND OF SYMBOLS

DOUBLE GPO-INTERNAL @ 1100 mm

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\$\langle \frac{\partial}{2}

JB

(2-WAY

(3-WAY

•

SINGLE GPO-INTERNAL (HEIGHT VARIES)

DOUBLE GPO-INTERNAL (HEIGHT VARIES)

SINGLE GPO WEATHER PROOF - EXTERNAL

DOUBLE GPO WEATHER PROOF - EXTERNAL

TEMPAIR MINI 1X500W EXH FAN/LED LT WHT

SECURE 2LT FLOOD BLACK SENSOR

WHITEHAVEN 56 3BLD DC BLK FAN

(HEIGHT VARIES)

(HEIGHT VARIES)

LED DOWN LIGHT

JUNCTION BOX

2-WAY LIGHT SWITCH

3-WAY LIGHT SWITCH

HOT WATER SERVICE

RETURN AIR LOCATION

CONTRACTORS DISCRETION

(EXACT LOCATION SUBJECT TO

CONTRACTORS DISCRETION)

SECURE 2LT FLOOD BLACK

ROOF ACCESS

ABOVE)

BLACK

EXHAUST FAN (SELF CLOSING)

EXHAUST FAN (10min RUN ON TIMER)

HEATING VOID IN TRUSS INCLUDING DOUBLE

POWER POINT (INCLUDED IN VALUES ABOVE) **EXACT LOCATION SUBJECT TO

DUCTED HEATING OUTLET(APPX. LOC.)

(PROVIDE SINGLE BATTEN LIGHT WITHIN 1.6

M OF ROOF ACCESS, INCLUDED IN VALUES

BOULDER RND UP/DOWN WALL/LT GU10

SMOKE ALARM

METER BOX

DIRECT WIRE (APPLIANCE)

CEILING LIGHT BATTEN HOLDER

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1

8

N/A

N/A

N/A

N/A

N/A

10W

7W

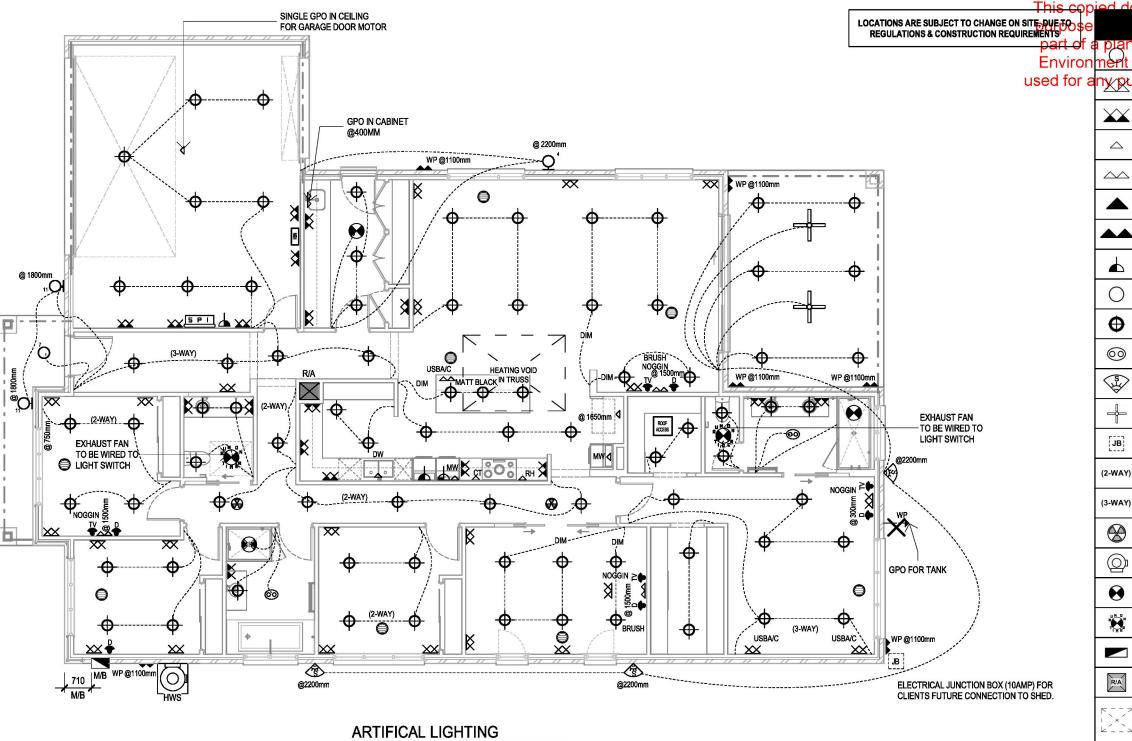
N/A

20W

N/A

20W

8W



IN ACCORDANCE WITH NCC BUILDING CODE OF AUSTRALIA VOLUME 2 PART 2.12.5.5

Lighting Location	Actual
Class 1 Building (5W/m²) Residence	479
Class 10 Building (3W/m²) Garage/Carport	56
External Lighting (4W/m²) Verandah/Porch/Alfresco/Balcony	50
Total	585

- PROVIDE RINNAI HOME WIFI TOUCH CONTROOLER WHICH INCLUDES THE FOLLOWING SIX TEMPERATURE CONTROLLED ZONES. (KITCHEN/MEALS/FAMILY/ENTRY, HALL/LIVING ROOM, MASTER BEDROOM, BED 2, BED 3, BED 4).

- PROVIDE 2NO. HOME THETRE CABLE MANAGEMENT. INCLUDING BULL NOSE PLATE, BRUSH PLATE AND CONDUIT WITH DRAWSTRING IN WALL PLATES MUST BE INSTALLED ABOVE/BELOW EACH OTHER ON SAME WALL.

- BOTTOM OF METER BOX TO BE 1100mm ABOVE GROUND LEVEL HEIGHTS MEASURED FROM FLOOR LEVEL TO CENTER OF FITTING UNLESS NOTED

NBN

- UNLESS NOTED OTHERWISE ALL POWER POINTS ARE TO BE LOCATED TO THE POWER POINTS FOR APPLIANCES ARE TO SUIT MANUFACTURERS REQUIREMENTS
- FOURT PANEL LOCATION NOMINAL ONLY. INSTALLERS TO LOCATE (EXCLUDING FRONT ELEVATION) TO COMPLY WITH MANUFACTURERS REQUIREMENTS & AS/NZS 3500 PLUMBING AND DRAINAGE
- DENOTES HARDWIRED INTERCONNECTED SMOKE ALARM(s) WITH BATTERY BACKUP AS PER NCC 2022 PART 9.5 & TO COMPLY WITH AS3786.

PROVIDE NBNCO FIBRE PACKAGE

NBN LEGEND

CAT6 DATA POINT (INTERNET/PHONE)

NBN BOX

NBN TV POINT

INCLUDES: -TRENCH AND P20 CONDUIT FROM COMMUNICATIONS PIT TO

-INTERNAL P20 CONDUIT TO LOCATION OF NBNCO CONNECTION.

-DOUBLE POWER POINT TO LOCATION OF NBNCO

CONNECTION.

CONNECTION.
-SURFACE MOUNT ENCLOSURE (INCLUDES CAT 6
DATATTELEPHONE MODULE AND TV SPLITTER).
-2 X TV POINTS & 4 X DATA/COMMUNICATION POINTS
-10/100MBPS 8 PORT/POINT SWITCH WITH PATCH CABLES. -FIBRE PROVISIONING (INTERNAL ONLY).
-OUTLETS TESTED AND LABELLED.

CLIENT ACKNOWLEDGEMENT

I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING PY LIJA & MYSELF / OURSELVES.

CLIENT 1: CLIENT 2:

DATE 1: DATE 2: JGK BUILDER DATE 3:

ELECTRICAL PLAN CATEGORY RH FITZROY 30 ACADE NAME **SOMERSET** COPYRIGHT SHEET SCALE ORIGINAL SHEET SIZE 2025 1:100 THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM BRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD'



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	MASTER RELEASE DATE 17/09/2024	Printed ^{sh}	, oi	20
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	SUBURB	2070		
•		OUGHTON CRESCE	NT	
	ADDRESS			
	CLIENT			
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PI	SOLAR POWER INVE POWER SUPPLY)	RTER (INCLUDES	N/A	1



BATH

PWD

ENSUITE - WC

TILES

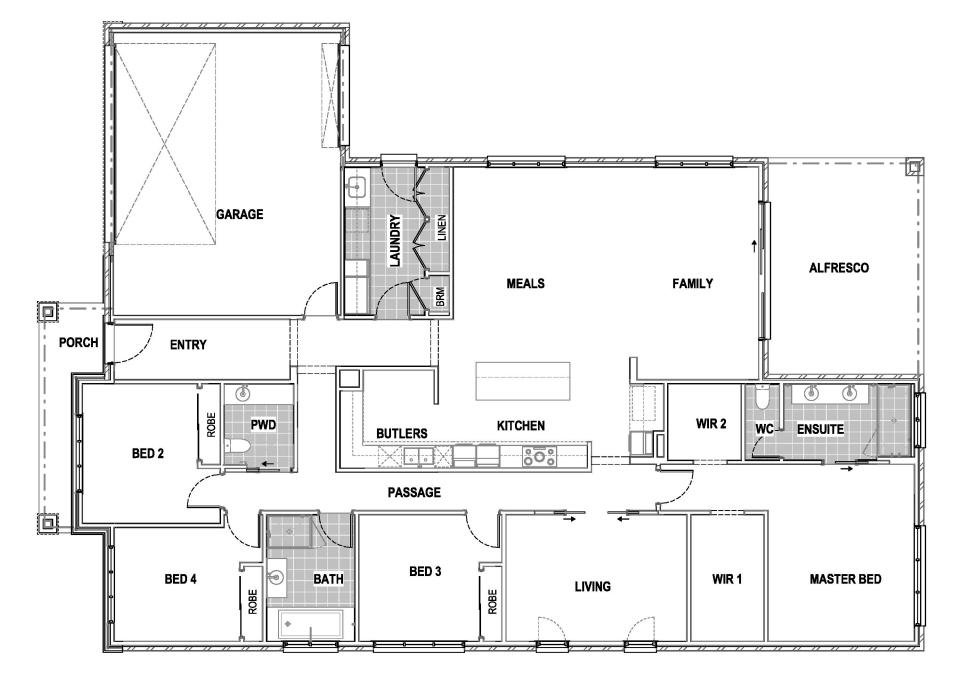
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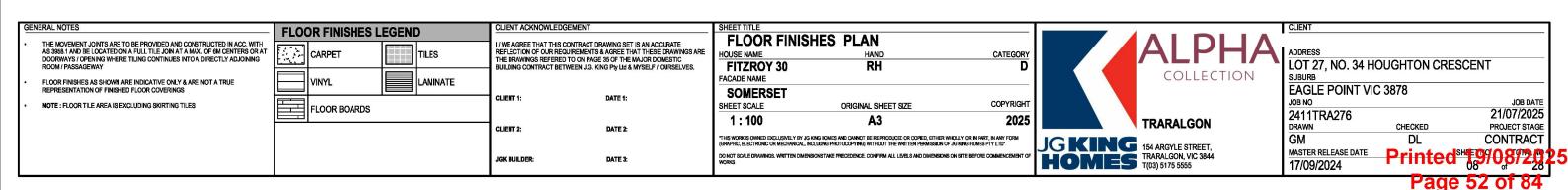
TILES

5.59 m²

4.12 m²

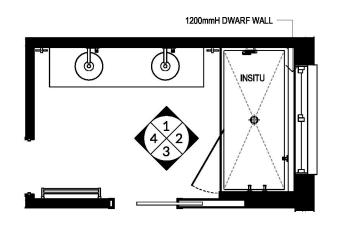
8.57 m²





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PLASTER BULKHEAD _STEEL FRAME PLASTER BULKHEAD 700 860mm INTEGFRATED RANGEHOOD-BULKHEAD BULKHEAD' **BULKHEAD** 600 850 850 STEEL FRAME STEEL FRAME O/H PLASTER BULKHEAD PLASTER BULKHEAD O/H 1 70 O/H 445 원동 SHELF SHELF CEILING HEIGHT
2420 - PLASTER
2430 - FRAME
700
SBACK 2420 - PLASTER 2430 - FRAME □ 0000 **-----**1200 1000 600 2314 2978 700 S'BACK SPLASHBACK SPLASHBACK SPLASHBACK TOP TOP_ 600 2420 - F 2430 -TOP - CUTLERY INSERT TOP POS 722 910 BTOP 240mm BLADE SUPPORTS 580 580 750 600 600 580 REQUIRED WHERE SHELVES 510 530 ARE GREATER THAN 1200mm 510 510 900 **ELEVATION 3** FIXED DRAWER DUE TO **ELEVATION 4 ELEVATION 6 ELEVATION 5** 580 COOKTOP ABOVE SCALE: 1:50 SCALE: 1:50 SCALE: 1:50 SCALE: 1:50 CLIENT ACKNOWLEDGEMENT CLIENT KITCHEN INTERNALS I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Ply Lid & MYSELF / OURSELVES. ALL TILE & CABINETRY DIMENSIONS ARE APPROXIMATE ONLY & MAY ALTER TO CATEGORY ALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME REFER TO COLOUR DOCUMENTATION FOR HANDLE LOCATIONS WHERE APPLICABLE LOT 27, NO. 34 HOUGHTON CRESCENT FITZROY 30 COLLECTION ACADE NAME **EAGLE POINT VIC 3878 SOMERSET** CLIENT 1: DATE 1: COPYRIGHT SHEET SCALE ORIGINAL SHEET SIZE 21/07/2025 2411TRA276 2025 1:50 **A3 TRARALGON** CHECKED PROJECT STAGE CLIENT 2: DATE 2: CONTRACT THIS WORK IS OWNED EXCLUSIVELY BY JIG KING HOMES AND CANNOT BE REPRODUCED OR COPED, EITHER WHOLLY OR IN PART, IN ANY FORM GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JIG KING HOMES PTY LTD! DL JGKING 154 ARGYLE STREET, MASTER RELEASE DATE **Printed**^{SI} HOMES TRARALGON, VIC 3844 JGK BUILDER DATE 3: 17/09/2024

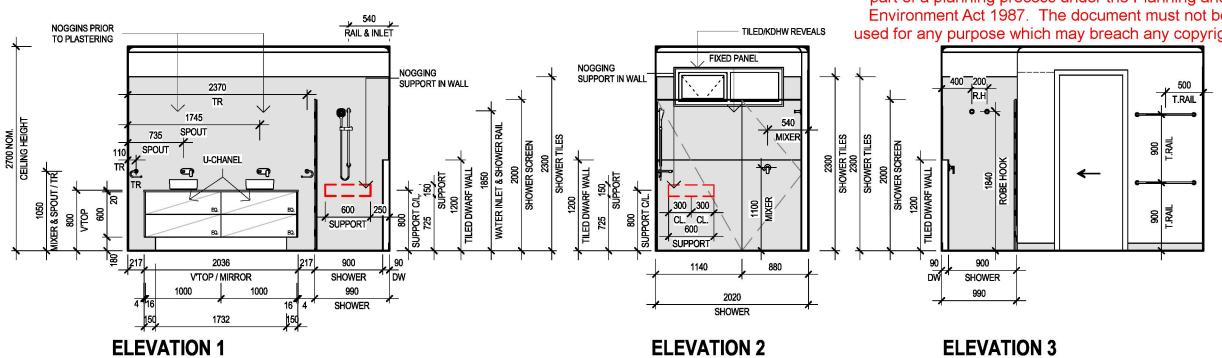
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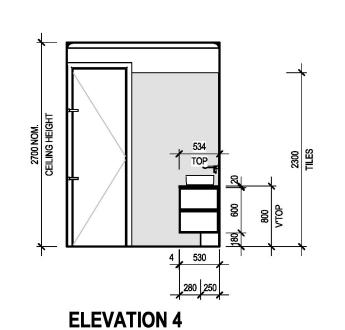
ENSUITE PLAN

SCALE: 1:50

- PROVIDE CAT 6 HANDLES TO BASE CUPBOARDS DOORS/DRAWERS TO ENSUITE. - MIRROR BY OWNER AFTER HANDOVER.

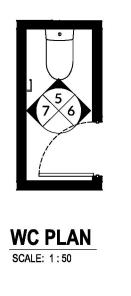


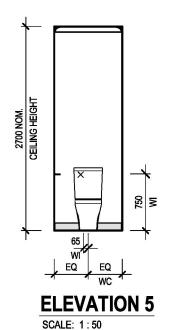
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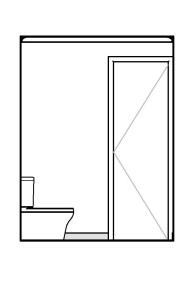


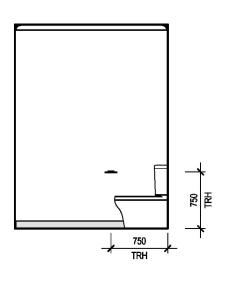
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ELEVATION 6 SCALE: 1:50

ELEVATION 7

SCALE: 1:50

SCALE: 1:50

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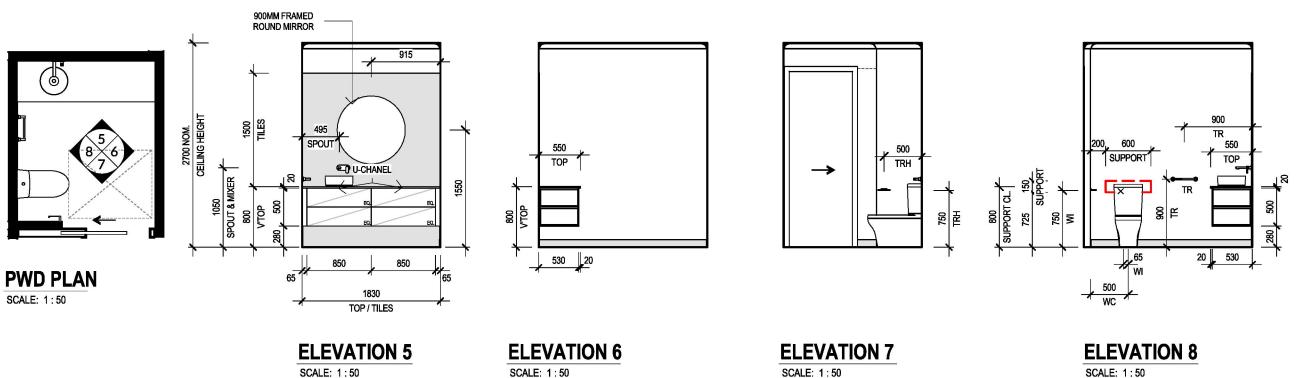
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_	SHEET TITLE		
	ENSUITE & \	NC INTERNALS	
	HOUSE NAME	HAND	CATEGORY
	FITZROY 30	RH	D
	FACADE NAME		
	SOMERSET		
	SHEET SCALE	ORIGINAL SHEET SIZE	COPYRIGHT
	1 : 50	A3	2025
		JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WI- , INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF	
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	EAGLE POINT VI	C 3878	
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SHOWER TILES
2000
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MIXER WATER INLET / SHOWER RAIL 450 MIXER SPOUT U-CHANEL 86 <u>¥</u> BATH BATH BATH 1700x750 900 530 900 800 1040 MIXER В'НОВ V'TOP/MIRROR B'HOB 280 250 1200 1000 900 SHOWER SHOWER 732 **ELEVATION 4 BATH PLAN ELEVATION 1 ELEVATION 2 ELEVATION 3** SCALE: 1:50 SCALE: 1:50 SCALE: 1:50 SCALE: 1:50 SCALE: 1:50 NOTE: - PROVIDE CAT 6 HANDLES TO BASE CUPBOARDS DOORS/DRAWERS TO (BATHROOM & POWDER). - PROVIDE SOFT CLOSE DRAWER TO POWDER. 900MM FRAMED ROUND MIRROR 915

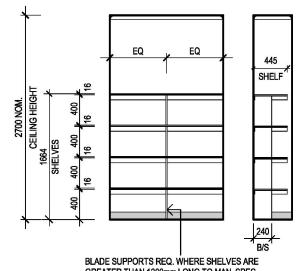




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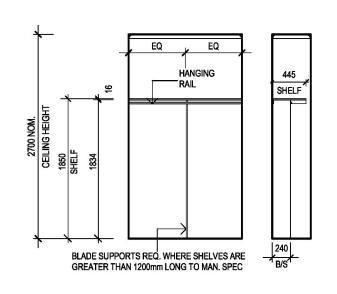
NOTE:

- PROVIDE CAT 6 HANDLES TO BASE CUPBOARDS DOORS/DRAWERS TO LAUNDRY.
- NO HANDLES TO OVERHEAD CUPBOARDS 20mm EXTENSION TO DOOR FACE REFERENCE DETAIL SHEET 28 - FINGER PULLS (NO HANDLES) TO ALL OVERHEAD **CUPBOARDS**
- PROVIDE SOFT CLOSE JOINERY DOOR TO LAUNDRY
- PROVIDE SOFT CLOSE DRAWER TO LAUNDRY.
- PROVIDE PLUMBING PROVISIONS FOR INSTALLATION OF DRYER WITH HEAT PUMP.
- REFER TO SHEET 24 FOR JOINERY BULKHEAD DETAIL



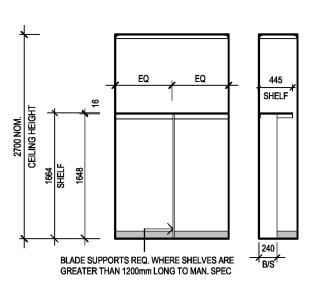
GREATER THAN 1200mm LONG TO MAN. SPEC

LINEN - TYPICAL SCALE: 1:50



ROBE - TYPICAL

SCALE: 1:50



SCALE: 1:50

BROOM - TYPICAL

- ALL TILE & CABINETRY DIMENSIONS ARE APPROXIMATE ONLY & MAY ALTER TO
- ALL INTERNAL ELEVATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME REFER TO COLOUR DOCUMENTATION FOR HANDLE LOCATIONS WHERE APPLICABLE

CLIENT ACKNOWLEDGEMENT

JGK BUILDER:

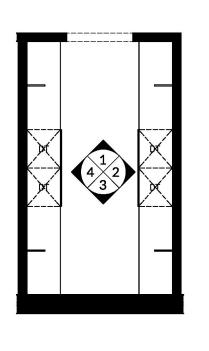
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DATE 3:

LAUNDRY & WIL INTERNALS CATEGORY FITZROY 30 ACADE NAME SOMERSET COPYRIGHT SHEET SCALE ORIGINAL SHEET SIZE 2025 1:50 **A3** THIS WORK IS OWNED EXCLUSIVELY BY JIG KING HOMES AND CANNOT BE REPRODUCED OR COPED, EITHER WHOLLY OR IN PART, IN ANY FORM GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JIG KING HOMES PTY LTD!

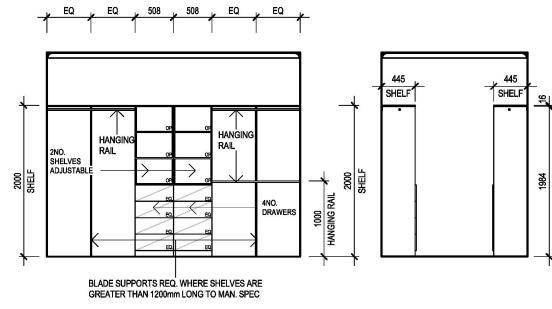


LOT 27, NO. 34 HOUGHTON CRESCENT **EAGLE POINT VIC 3878** JOB DATE 21/07/2025 2411TRA276 CHECKED PROJECT STAGE CONTRACT DL MASTER RELEASE DATE **Printed**^s 17/09/2024



WIR 1 PLAN SCALE: 1:50

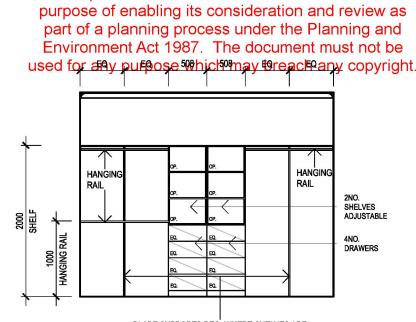
SHELF BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC



ELEVATION 2

SCALE: 1:50

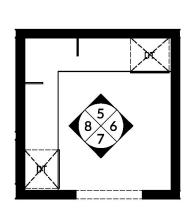
ELEVATION 3 SCALE: 1:50

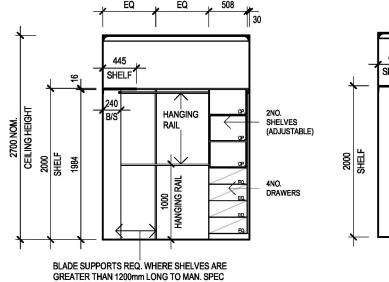


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> BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC

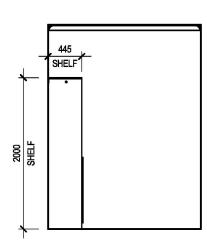
ELEVATION 4 SCALE: 1:50

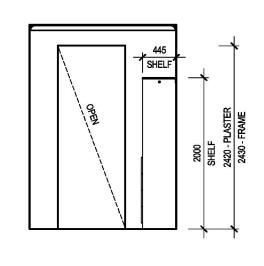


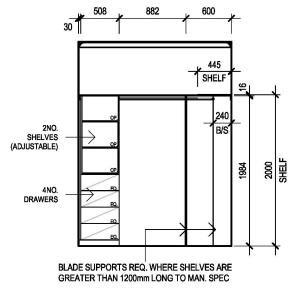


ELEVATION 1

SCALE: 1:50







WIR 2 PLAN SCALE: 1:50

ELEVATION 5 SCALE: 1:50

ELEVATION 6 SCALE: 1:50

ELEVATION 7 SCALE: 1:50

ELEVATION 8 SCALE: 1:50

٠	ALL TILE & CABINETR'
•	ALL INTERNAL ELEVA
	REFER TO COLOUR D
	APPLICABLE

GENERAL NOTES RY DIMENSIONS ARE APPROXIMATE ONLY & MAY ALTER TO

ATIONS ARE DIMENSIONED FROM PLASTER NOT FRAME DOCUMENTATION FOR HANDLE LOCATIONS WHERE

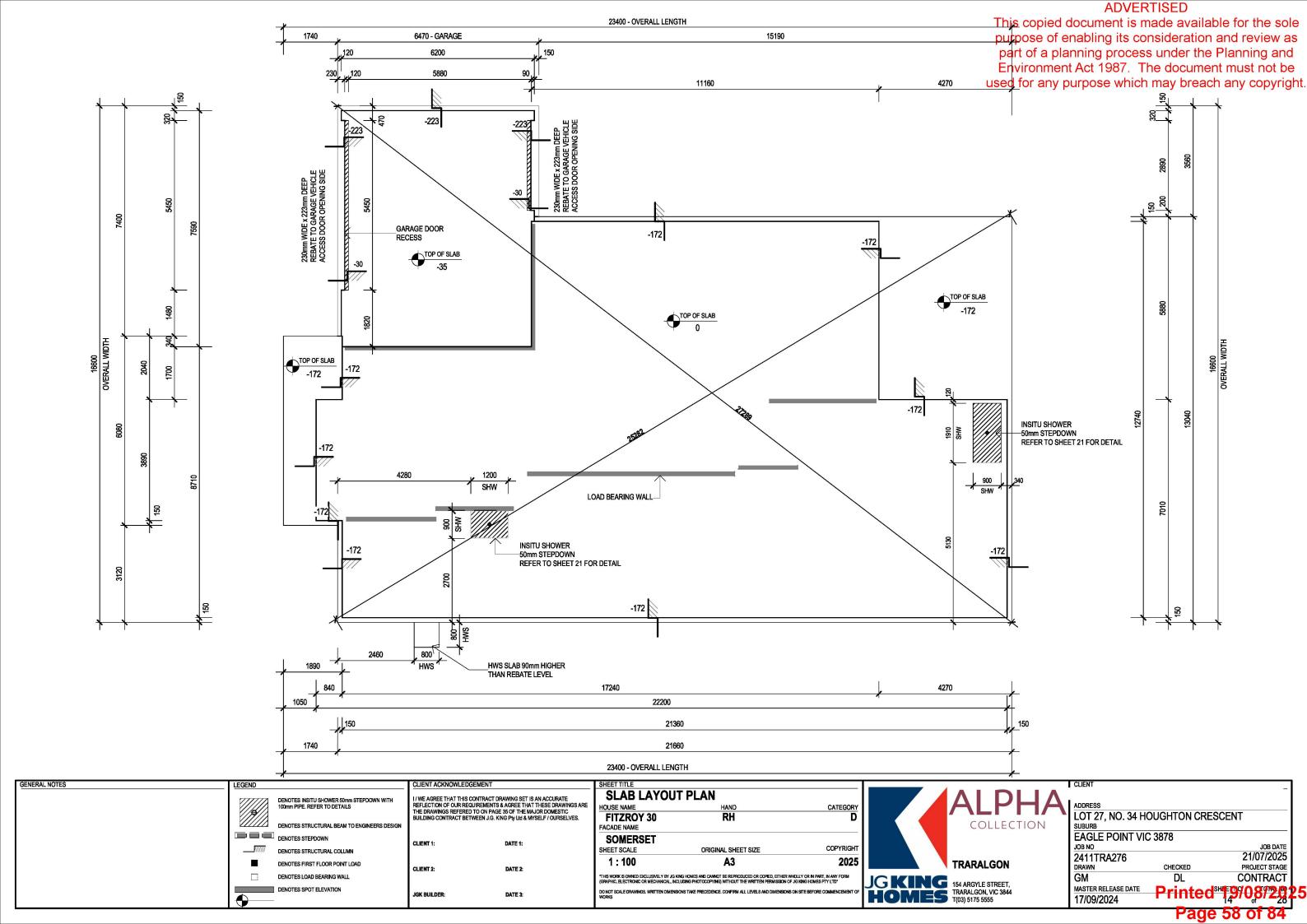
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WIR 1 & WIR 2 INTERNALS HAND RH CATEGORY FITZROY 30 FACADE NAME SOMERSET COPYRIGHT ORIGINAL SHEET SIZE SHEET SCALE 1:50 2025 **A3** THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD!



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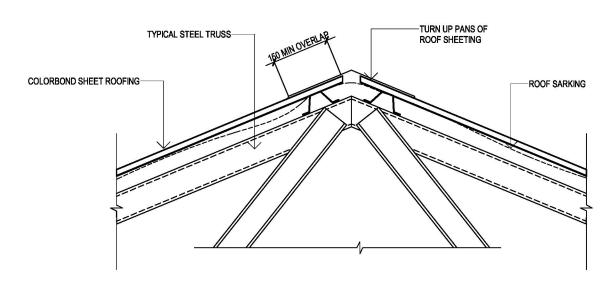


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LYSAGHT PRODUCT ADVISORY BULLETIN

LYSAGHT CUSTOM ORB ROOF SHEETING PROVIDES 7500mm²/m OF VENTILATION REFER PAB 19

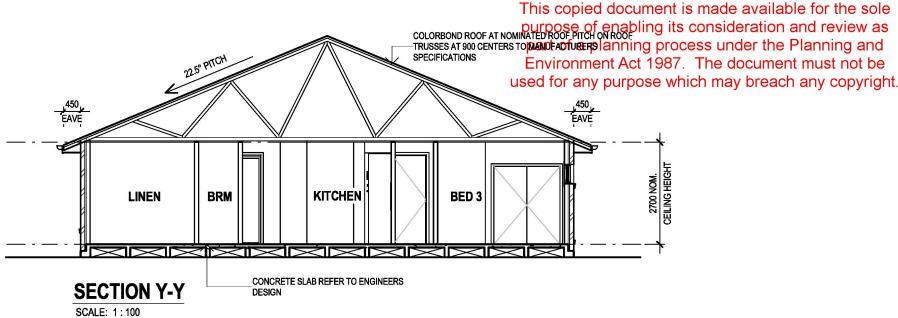
COREX 5K, 8K & 25K CORVENT
PRODUCTS CONFIRM FREE OPEN AREA TO COMPLY
WITH NCC VOLUME 2 - TABLE 10.8.3 NCC 2022
REFER TO CERTIFICATION JAMES M FRICKER

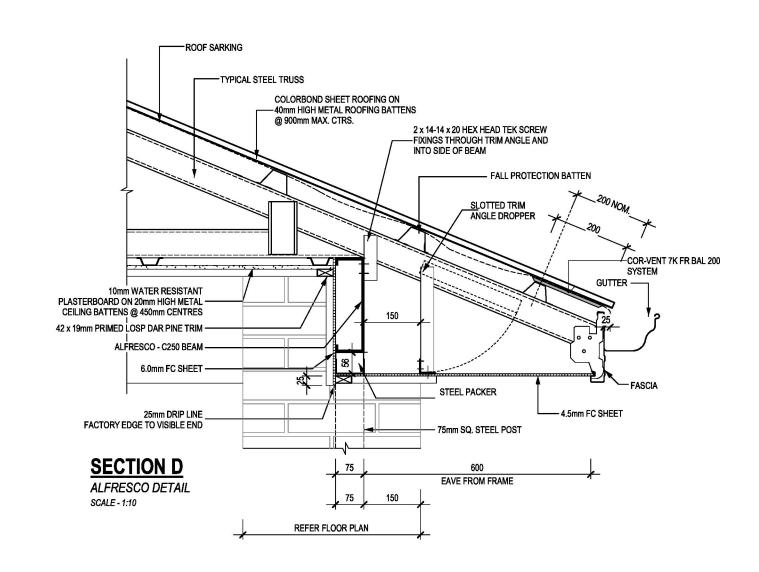


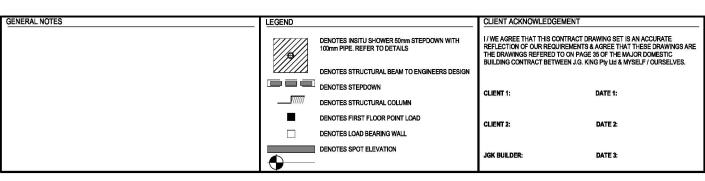
TYPICAL RIDGE DETAIL

SCALE - 1:10

ADVERTISED

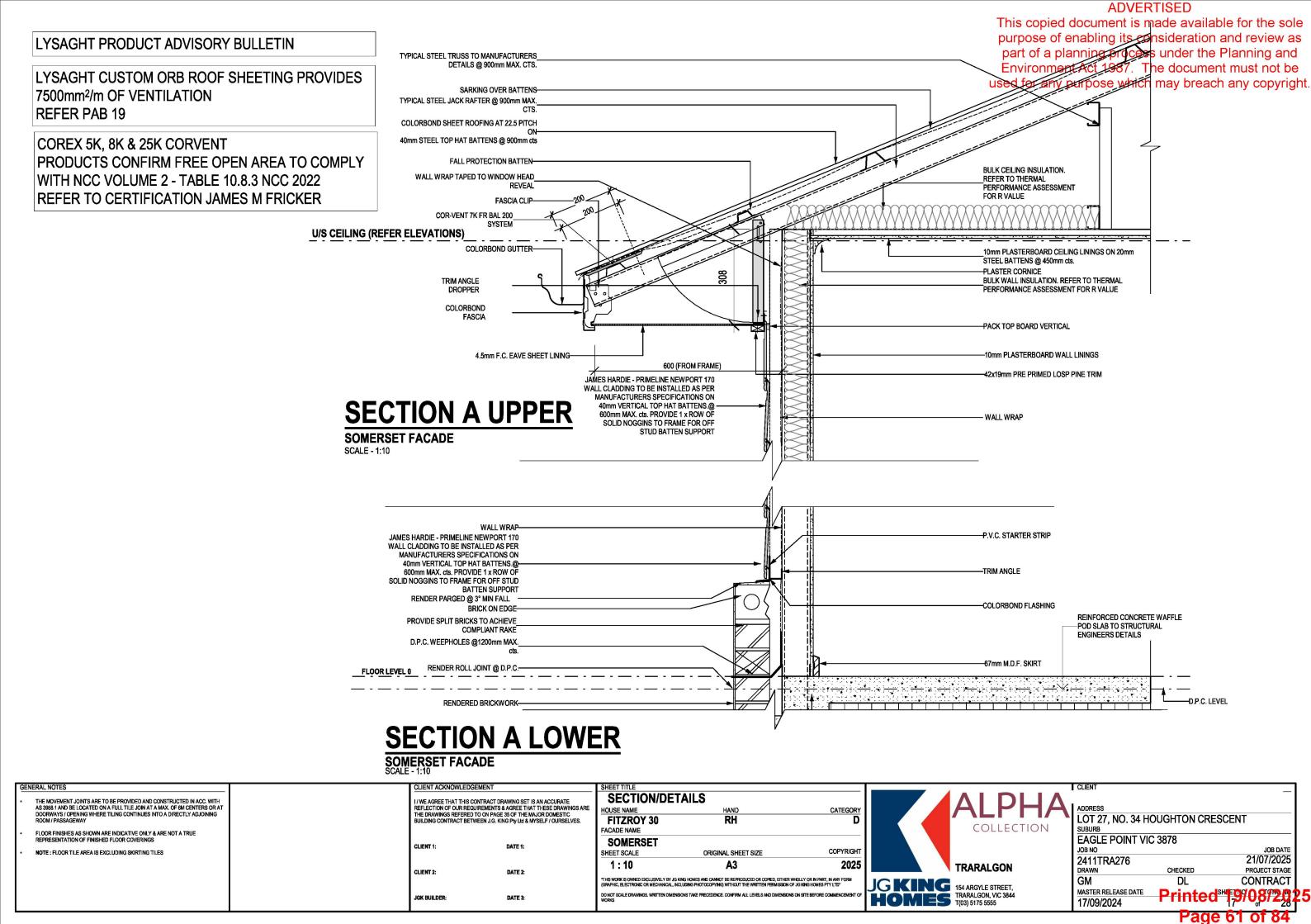












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SILL DETAIL SOMERSET FACADE SCALE - 1:10

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JGK BUILDER:

DATE 3:

TYPICAL STEEL TRUSSES @ 900mm

10mm WR EXTERNAL PLASTERBOARD

LININGS ON 20mm STEEL BATTENS @ 450mm cts.

U/S CEILING (REFER ELEVATIONS)

POWDER COATED ALUMINIUM

RENDER PARGED @ 3° MIN

PROVIDE SPLIT BRICKS TO ACHIEVE

FLOOR LEVEL 0

WINDOW FRAME TO-MANUFACTURERS DETAILS

SILL FLAF

BRICK ON EDGE

COMPLIANT RAKE RENDERED BRICKWORK

SILL FLASHING / 30mm EMBEDMENT INTO MORTAR BED RENDER ROLL JOINT @

MAX. cts.

42x19mm PRE PRIMED LOSP PINE

JAMES HARDIE - PRIMELINE NEWPORT

WALL CLADDING TO BE INSTALLED AS MANUFACTURERS SPECIFICATIONS ON

40mm VERTICAL TOP HAT BATTENS

EXTERNAL GRADE FLEXIBLE SEALANT

COROSION RESISTANT FLASHING 42 X 42mm LOSP PINE TRIM

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FLOOR LEVEL 0



PACK TOP BOARD TO

TRIM ANGLE BATTEN

BULK CEILING INSULATION. REFER TO THERMAL
PERFORMANCE ASSESSMENT
FOR R VALUE

10mm PLASTERBOARD

-CEILING LININGS ON 20mm

STEEL BATTENS @ 450mm cts.

BULK INSULATION TO WALLS AND CEILINGS, REFER **ENERGY REPORT FOR VALUES**

10mm PLASTERBOARD WALL

-67mm M.D.F.ARCHITRAVE

POWDER COATED ALUMINIUM WINDOW FRAME TO MANUFACTURERS DETAILS

-M.D.F. REVEAL

M.D.F. REVEAL

M.D.F.ARCHITRAVE -WALL WRAP TAPED TO REVEAL

67mm M.D.F. SKIRT

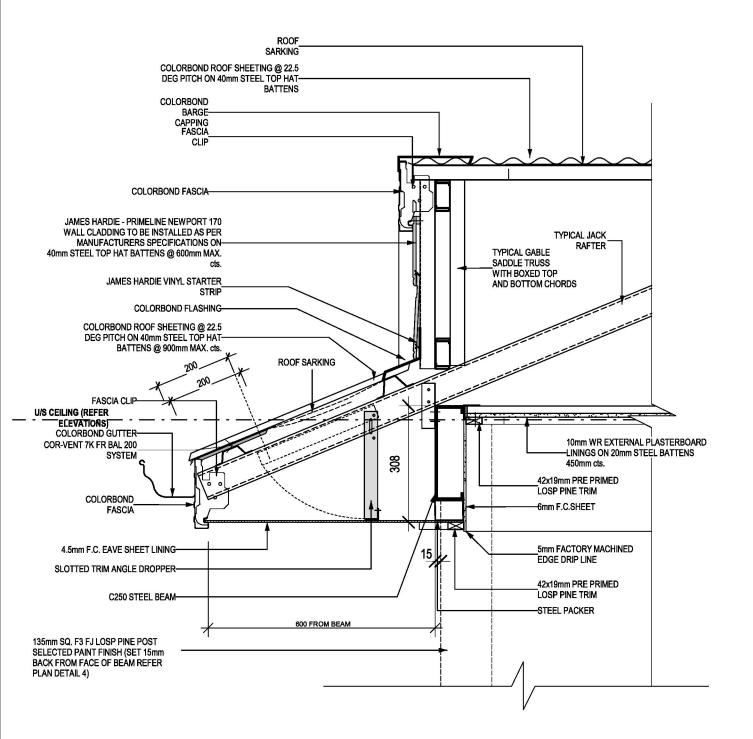
D.P.C. LEVEL

REINFORCED CONCRETE WAFFLE POD SLAB TO STRUCTURAL **ENGINEERS DETAILS**

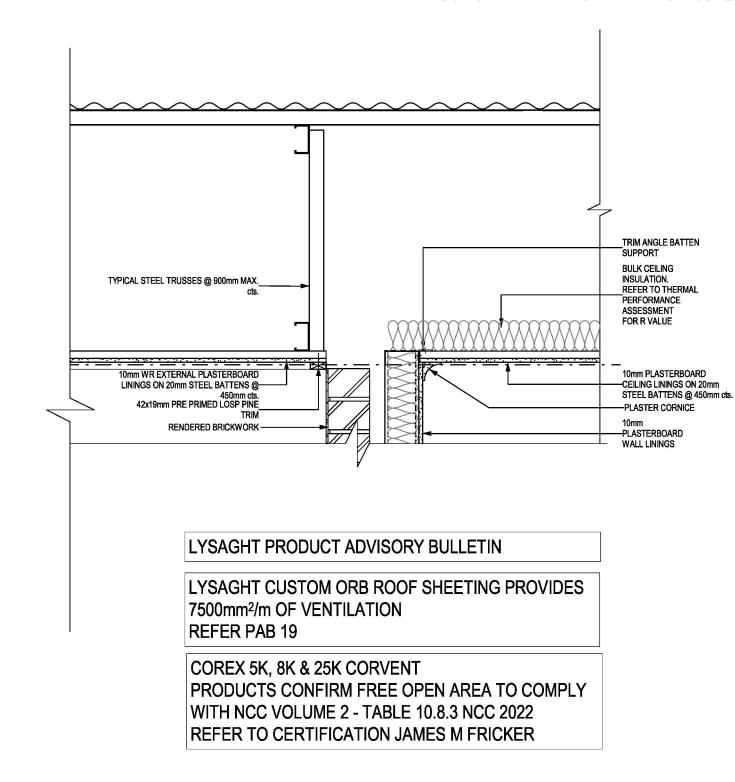
> LOT 27, NO. 34 HOUGHTON CRESCENT **EAGLE POINT VIC 3878** 21/07/2025 2411TRA276 CHECKED PROJECT STAGE CONTRACT DL MASTER RELEASE DATE 17/09/2024

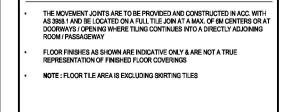
> > Page 62 of 84

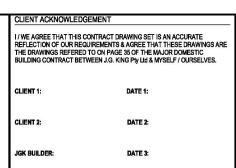
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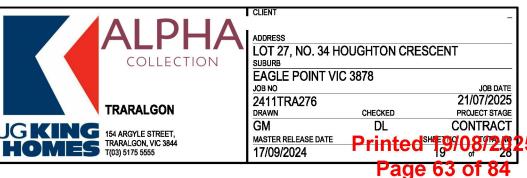
SECTION C
SOMERSET FACADE
SCALE - 1:10



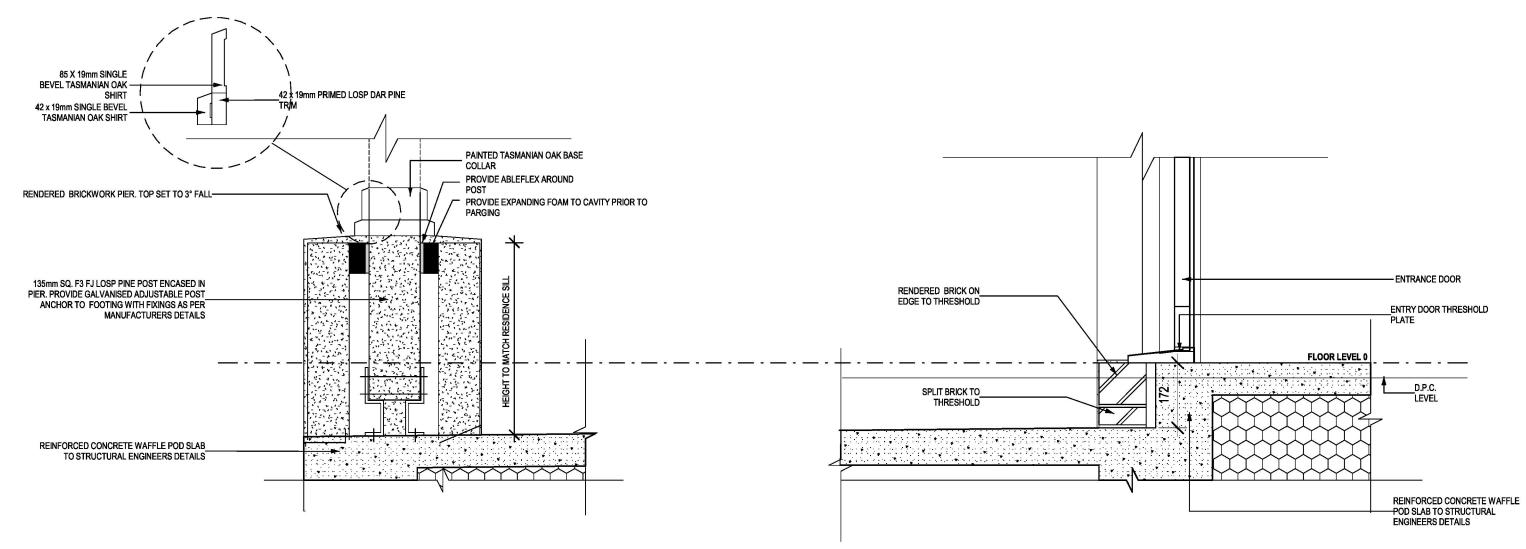








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SECTION C
SOMERSET FACADE (NO PAVING)

•	THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WIT AS 3898.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR DOORWAYS! OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY
•	FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY & ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS
٠	NOTE: FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

GENERAL NOTES

CLIENT ACKNOWLEDGEMENT

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CLIENT 1:

DATE 1:

CLIENT 2:

DATE 2:

JGK BUILDER:

DATE 3:

SHEET TITLE

SECTION/DETAILS

HOUSE NAME HAND CATEGORY

FITZROY 30 RH D

FACADE NAME

SOMERSET

SHEET SCALE ORIGINAL SHEET SIZE COPYRIGHT

1:10 A3 2025

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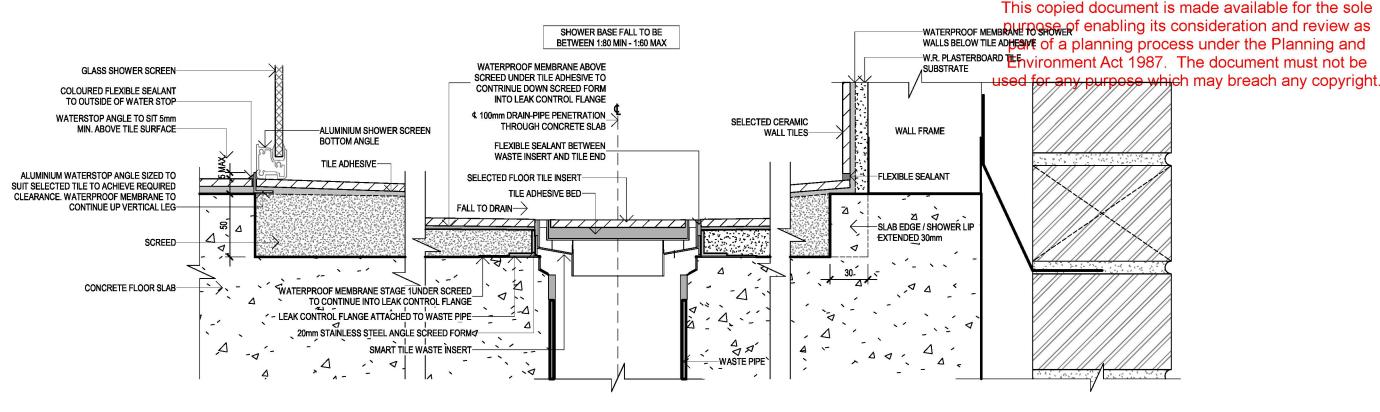
ADDRESS
LOT 27, NO. 34 HOUGHTON CRESCENT
SUBURB
EAGLE POINT VIC 3878
JOB NO
2411TRA276
DRAWN
CHECKED
PROJECT STAGE
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CONTRACT
MASTER RELEASE DATE
17/09/2024
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AMOUNT CONTRACT

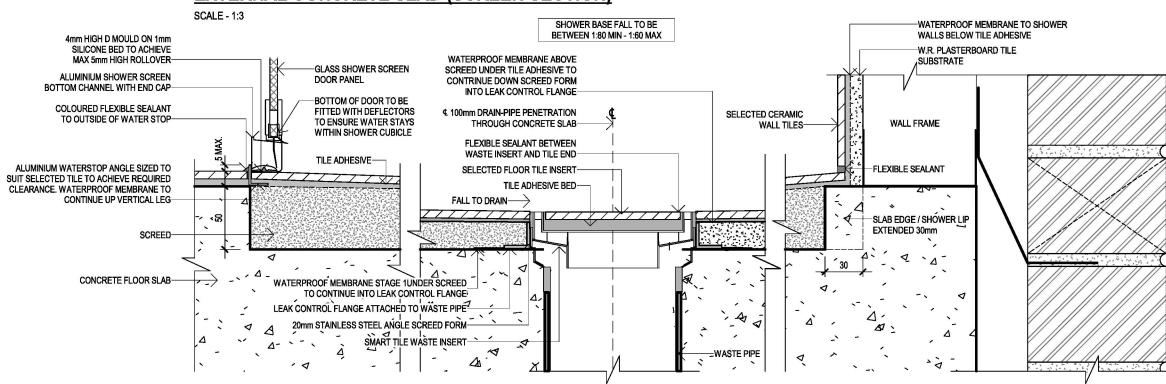
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CONTRACT

ON CONTRACT

C



RECESSED TILED (INSITU) SHOWER BASE ON EXTERNAL CONCRETE SLAB (SCREEN SECTION)



RECESSED TILED (INSITU) SHOWER BASE ON EXTERNAL CONCRETE SLAB (DOOR SECTION)

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NOTE: FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

IN MOTE: FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

IN MOTE: FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

SECTION/DET

HOUSE NAME

FITZROY 30

FACADE NAME

SOMERSET

SHEET SCALE

1: 3

CLIENT 2: DATE 2:

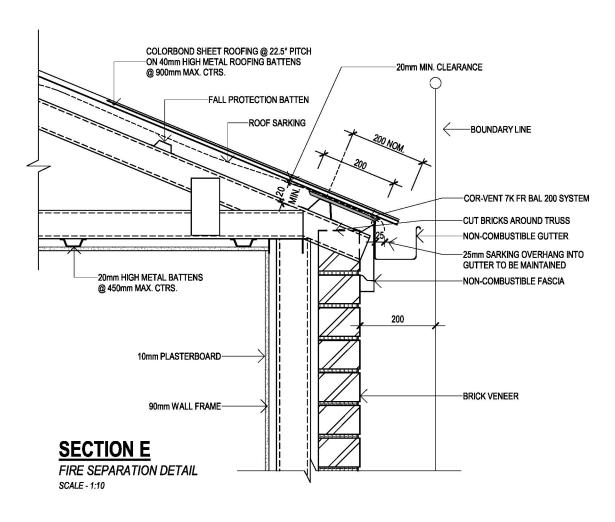
JIGK BUILDER: DATE 3:

SCALE - 1:3





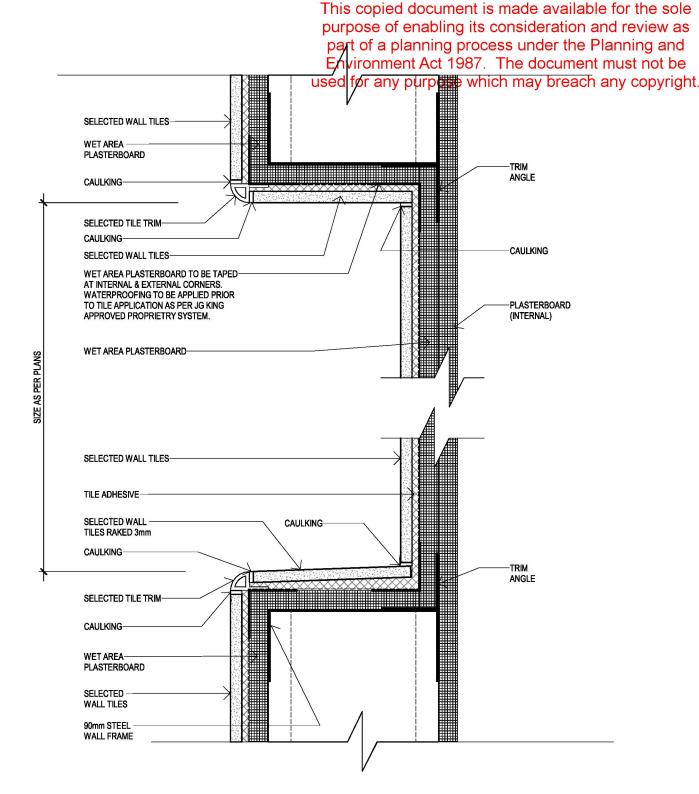
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LYSAGHT PRODUCT ADVISORY BULLETIN

LYSAGHT CUSTOM ORB ROOF SHEETING PROVIDES 7500mm²/m OF VENTILATION REFER PAB 19

COREX 5K, 8K & 25K CORVENT
PRODUCTS CONFIRM FREE OPEN AREA TO COMPLY
WITH NCC VOLUME 2 - TABLE 10.8.3 NCC 2022
REFER TO CERTIFICATION JAMES M FRICKER



TILED SHOWER NICHE DETAIL

SCALE 1:2

ADVERTISED

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CLIENT 1:

DATE 1:

CLIENT 2:

DATE 2:

JGK BUILDER:

DATE 3:

SHEET TITLE

SECTION/DETAILS

HOUSE NAME HAND CATEGORY

FITZROY 30 RH D

FACADE NAME

SOMERSET

SHEET SCALE ORIGINAL SHEET SIZE COPYRIGHT

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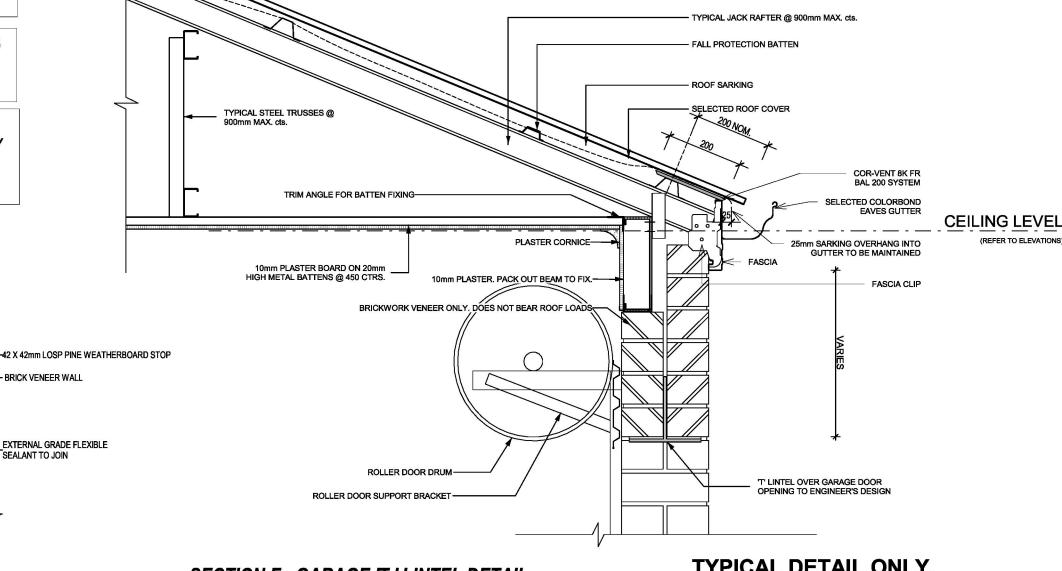
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LYSAGHT PRODUCT ADVISORY BULLETIN

LYSAGHT CUSTOM ORB ROOF SHEETING PROVIDES 7500mm²/m OF VENTILATION **REFER PAB 19**

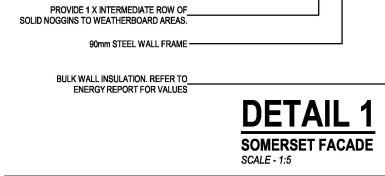
COREX 5K, 8K & 25K CORVENT PRODUCTS CONFIRM FREE OPEN AREA TO COMPLY WITH NCC VOLUME 2 - TABLE 10.8.3 NCC 2022 REFER TO CERTIFICATION JAMES M FRICKER



SECTION F - GARAGE T'LINTEL DETAIL

SCALE - 1:10

TYPICAL DETAIL ONLY, **ROOF COVER, CLADDINGS EAVES, PARAPETS ETC. MAY VARY REFER TO PLANS AND ELEVATIONS**



THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3998.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY & ARE NOT A TRUE

RENDERED SPLAYED BRICK SILL

EXTERNAL GRADE FLEXIBLE SEALANT TO JOIN

WEATHERBOARD CLADDING

BOXED TOP PLATE BATTEN

75 X 40mm COLORBOND CORNER FLASHING BEHIND CLADDING AND

BULK WALL INSULATION

(JAMES HARDIE - PRIMELINE NEWPORT 170)

FIXED TO 40mm HIGH VERTICAL METAL

NOTE: FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

CLIENT ACKNOWLEDGEMENT I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS AR THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING PY LI CLIENT 1: DATE 1: DATE 2: JGK BUILDER DATE 3:

BRICK VENEER WALL

10mm PLASTER BOARD WALL LININGS

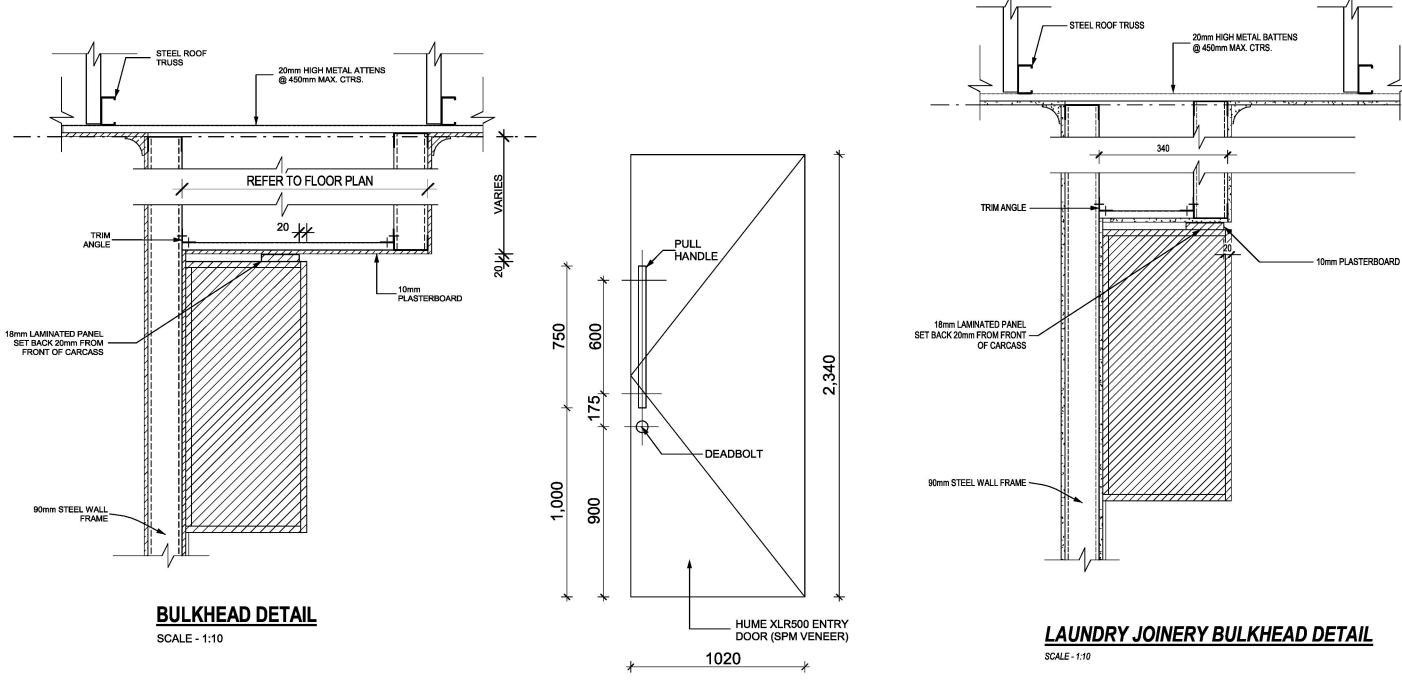
-WALL WRAP

SECTION/DETAILS HAND RH CATEGORY FITZROY 30 ACADE NAME SOMERSET COPYRIGHT SHEET SCALE ORIGINAL SHEET SIZE 2025 As indicated **A3** THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPED, EITHER WHOLLY OR IN PART, IN ANY FORM GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD'



LOT 27, NO. 34 HOUGHTON CRESCENT **EAGLE POINT VIC 3878** 21/07/2025 2411TRA276 CHECKED PROJECT STAGE CONTRACT MASTER RELEASE DATE 17/09/2024

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FRONT DOOR LOCK /HANDLE DETAIL

THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3958.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY

FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY & ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS

NOTE: FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

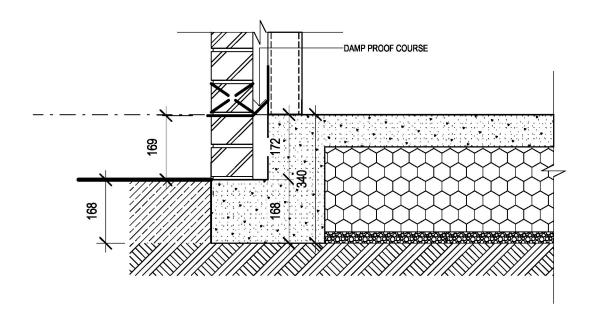
CLIENT ACKNOWLEDGEMENT I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Ply Lid & MYSELF / OURSELVES. CLIENT 1: DATE 1: DATE 2: JGK BUILDER: DATE 3:

SECTION/DETAILS HAND RH CATEGORY FITZROY 30 SOMERSET COPYRIGHT ORIGINAL SHEET SIZE SHEET SCALE 2025 As indicated **A3** THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD!



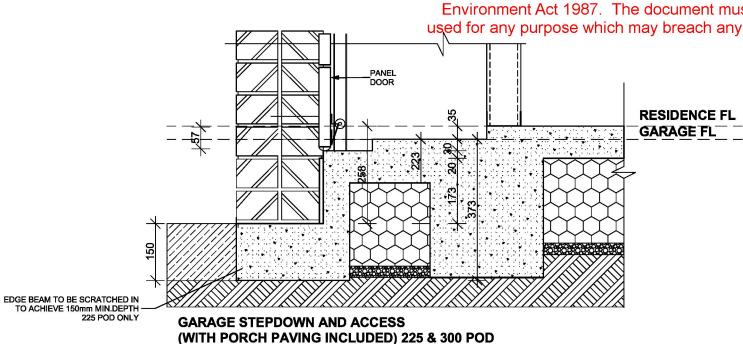
LOT 27, NO. 34 HOUGHTON CRESCENT **EAGLE POINT VIC 3878** JOB DATE 21/07/2025 2411TRA276 CHECKED PROJECT STAGE CONTRACT MASTER RELEASE DATE 17/09/2024

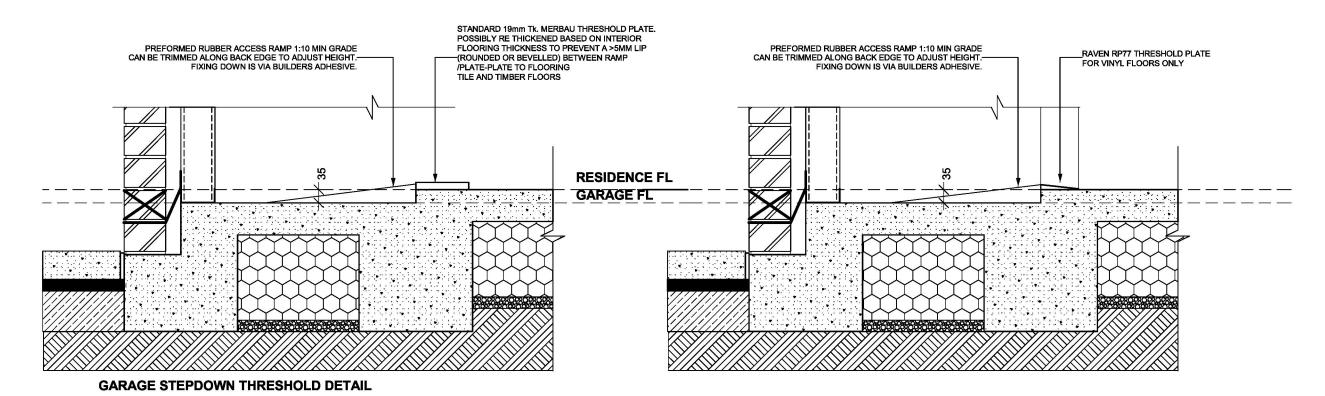
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172mm REBATE TO REMAINDER NO EXTERNAL PAVING (225 pod)

SCALE 1:10





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FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY & ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS

NOTE: FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

CLIENT ACKNOWLEDGEMENT

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CLIENT 1: DATE 1:

CLIENT 2: DATE 2:

JGK BUILDER: DATE 3:

SHEET TITLE

SECTION/DETAILS

HOUSE NAME HAND CATEGORY

FITZROY 30 RH D

FACADE NAME

SOMERSET

SHEET SCALE ORIGINAL SHEET SIZE COPYRIGHT

1:10 A3 2025

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ADVERTISED This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and MOISTURE RESISTANT Environment Act 1987. The document must not be used for any purpose which may breach any copyright. -WATERPROOF MEMBRANE TO CONTINUE UP WALL 150mm MIN. ABOVE TOP OF BATH LIP PRE FORMED BATH LIP PRE FORMED BATH LIP ALUMINIUM WATER STOP-FLEXIBLE ANGLE 20 X 20mm NOM. ALUMINIUM WATER STOP ANGLE 20 X 20mm NOM. SEALANT VERTICAL LEG TO EXTEND VERTICAL LEG TO EXTEND mm MIN. ABOVE TILE SURFACE 5mm MIN. ABOVE TILE SURFACE FLEXIBLE SEALANT-SQUARE EDGE TILE WATERPROOF MEMBRANE TO CONTINUE UP VERTICAL LEG MIN. 5mm ABOVE TILE SURFACE WATERPROOF MEMBRANE TO CONTINUE UP VERTICAL LEG MIN. 5mm ABOVE TILE SURFACE TILE 90mm STEEL WALL .¢.SHEET TILE SUBSTRATE-90mm STEEL WALL TRIM ANGLE-FRAME TILE ADHESIVE TILE ADHESIVE-F.C.SHEET TILE SUBSTRATE-F.C.SHEET TILE MOISTURE RESISTANT SUBSTRATE

900

TYPICAL BATH HOB DETAIL

680

BASE ACRYLIC 1700x750 INSET BATH

SCALE - 1:10

THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3858.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY

FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY & ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS

NOTE: FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

90mm STEEL WALL FRAME

CLIENT ACKNOWLEDGEMENT

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CLIENT 1:

DATE 1:

CLIENT 2:

DATE 2:

JGK BUILDER:

DATE 3:

BATH SUPPORT BED

FLOOR LEVEL 0

SHEET TITLE

SECTION/DETAILS

HOUSE NAME
HAND
CATEGORY
FITZROY 30
RH
D
FACADE NAME

SOMERSET
SHEET SCALE
ORIGINAL SHEET SIZE
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1:10
A33
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-FLEXIBLE SEALANT

-TILE

FC SHEET

-90mm STEEL WALL FRAME

SQUARE EDGE TILE TRIM

ADDRESS
LOT 27, NO. 34 HOUGHTON CRESCENT
SUBURB
EAGLE POINT VIC 3878
JOB NO
2411TRA276
DRAWN
CHECKED
PROJECT STAGE
GM
DL
CONTRACT
MASTER RELEASE DATE
17/09/2024
Printed
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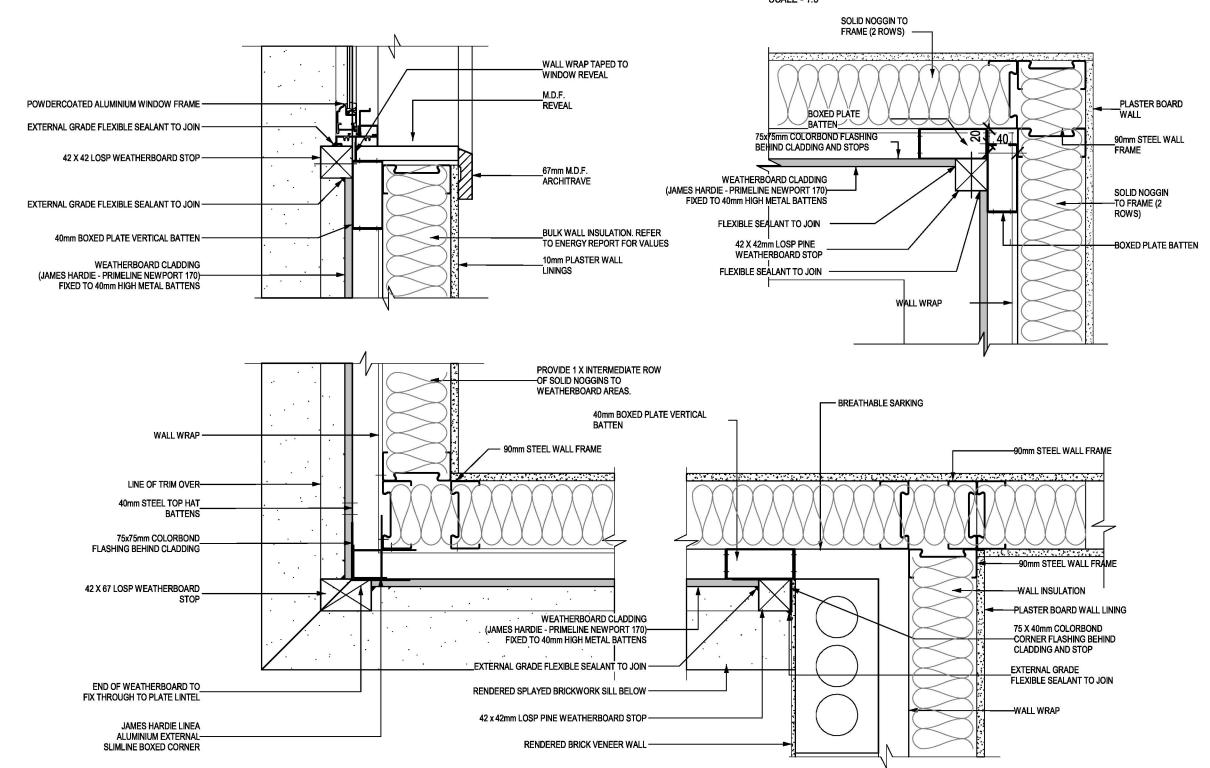
Page 70 of 84

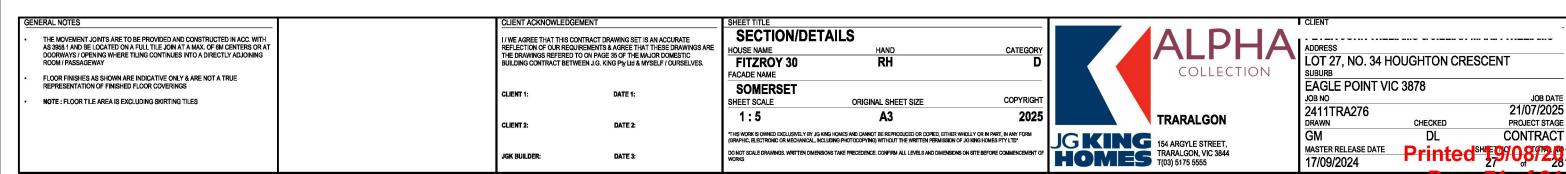
DETAIL 2 SOMERSET FACADE SCALE - 1-5

DETAIL 3 SOMERSET FACADE SCALE - 1:5

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SCREW FIX INTO END OF PANEL PRIOR TO FITTING SUBSEQUENT BOARD 19mm PLYWOOD BOARD FIT SECOND SCREW FIX THROUGH STUD INTO BOARD TO FIT AROUND STUD PLAN DETAIL SCALE 1:25 STEEL TOP PLATE SCREW FIX INTO END OF PANEL PRIOR TO FITING SUBSEQUENT BOARD 19mm PLYWOOD BOARD FIT SECOND SCREW FIX INTO END OF PANEL PRIOR TO FITING SUBSEQUENT BOARD 19mm PLYWOOD BOARD FIT SECOND SCREW FIX THROUGH STUD INTO BOARD 19mm PLYWOOD BOARD FIT SECOND SCREW FIX THROUGH STUD INTO BOARD TO FIT AROUND STUD PLAN DETAIL SCALE 1:25

STEEL STUDS

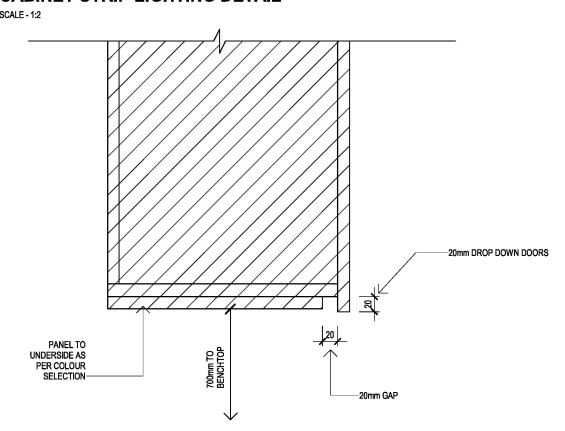
19mm PLYWOOD
BOARD SCREW FIXED TO STUDS

WALL MOUNTED T.V NOGGIN DETAIL

SCALE - 1:50

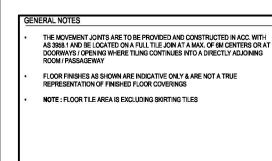
CABINET STRIP LIGHTING DETAIL

50



20mm DOOR EXTENSION DETAIL

SCALE - 1:5



STEEL STUDS

19mm PLYWOOD

BOTTOM PLATE-

SCALE - 1:50

NOGGIN DETAIL

WALL MOUNTED DRYER/MIRROR

BOARD SCREW FIXED TO STUDS

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CLIENT 1: DATE 1:

CLIENT 2: DATE 2:

SHEET TITLE

SECTION/DETAILS

HOUSE NAME

FITZROY 30

RH

D

FACADE NAME

SOMERSET

SHEET SCALE

ORIGINAL SHEET SIZE

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As indicated

A3

2025

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ADDRESS
LOT 27, NO. 34 HOUGHTON CRESCENT
SUBURB
EAGLE POINT VIC 3878
JOB NO
JOB DATE
2411TRA276
21/07/2025
DRAWN CHECKED PROJECT STAGE
GM DL CONTRACT
MASTER RELEASE DATE
17/09/2024
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Environment ASEMBLE BOTH FITTING TO COMPILE IN THE MUST NOT be used for any purpose which may breach any copyright.

18mm WIDE X 8mm DEEP ROUTED RECESS

TO ACCOMODATE STRIP LIGHT OVERHEAD CUPBOARD CARCASS

COLORBOARD BOTTOM PANEL STRIP LIGHT WITH DIFFUSER

SELECTED WALL TILE / SPLASHBACK

PLASTERBOARD WALL LININGS

FLEXIBLE SEALANT

ADHESIVE

Page 72 of 84

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Job Number: 2411TRA276 Contact: **Client Name:** Phone (H): (W): Phone (M): Job Address: Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878 Administrator: **Emily Sangster** House Package: Fitzroy 30 Alpha inclusions Somerset Facade Consultant: Susan Radman 1 21/03/25 **Document:** Prepared: Susan Radman Final Raised By: Status:

Item	Selection Leve	1	Selection Lev	/el 2	Selection Lev	/el 3
External Mate	erials and Fixtures	Selection				
External Materials and Fix	xtures					
Natural Clay Bricks	Note:	Variations in colour, texture and size can occur due to natural characteristics of clay products.		Whilst every effort is made to provide samples consistent with products to site, they should be viewed as a guide only.		Please visit the brick manufacture Disclaimer for more details.
Bricks including window sills	Manufacturer	PGH	Category	Category 6	Colour	Pathway (Additional cleaning required)
Mortar Joints			Style	Rolled	Colour	Natural
Roof - Colorbond					Colour	Monument
Roof Whirlybird Ventilator					Colour	Monument
Colorbond Gutter					Colour	Monument
Colorbond Fascia					Colour	Dover White
Downpipes (on Brick)			Material	Colourbond 100mm x 50mm		Monument
Colorbond Barge Capping					Colour	Monument
Colorbond Barge Fascia					Colour	Dover White
Windows & Window winders				All Windows		Jet Black (Handle Colour - Black)
Glass Sliding Doors				Sliding door - As per plan		Jet Black (Handle Colour - Black)
Flyscreen colour & Flydoor colour (if app)				All Windows		Jet Black
Security Doors/Cast Panels						
Front Door type	Selection	Hume XLR500 (SPM veneer face)				
Laundry Door type	Selection			uPVC Single Lite	Glazing	Obscure Satin
Garage Door - Front	Туре	Steel-Line Textured (standard range)	Profiles	Slimline Textured	Colour	Monument
Garage Door - Rear	Туре	Roll-A-Door			Colour	Monument
Verandah items						
Miscellaneous items						
Concrete Paving		Gippsland range	Туре	Exposed Aggreagte	Colour	Gravity
Water Tank					Colour	Monument (Colorbond® steel)

Client 1 Initial /

Client 2 Initial /

Client Name:

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2411TRA276 Job Number:

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Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878 Job Address: Administrator: **Emily Sangster** House Package: Fitzroy 30 Alpha inclusions Somerset Facade Consultant: Susan Radman

Item	Selection Leve	l 1	Selection Leve	el 2	Selection Lev	el 3
External Paint	Selection	_				
External Paint						
Front Door Colour	Note:	If a dark paint colour is selected		the manufacturer's warranty is voided.		
	voided.	er's warranty is er's warranty is				
	voided.	and the same and t				
Front Door (Outside of Door)			Finish	Painted Ext door - Haymes Elite High Gloss Acrylic	Colour	CB - Dover White
Front Door Entry Frame & Sidelite (if app)			Finish	Painted Ext door - Haymes Elite High Gloss Acrylic	Colour	CB - Dover White
Porch/Eave & Alfresco Lining			Finish	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	Colour	JGK White
Infill - Windows (FC Sheet or Other)			Finish	Brick infill	Colour	Refer Brick section
Meter Box			Finish	Painted	Colour	CB - Monument
Render #1	Applies to	As per Plans	Finish		Colour	Haymes - Ash Grey
Cladding #1	Туре	PrimeLine Newport (horizontal 170mm board)	Finish	Painted	Colour	Haymes - Ash Grey
Gable Infill		PrimeLine Newport (horizontal 170mm board)	Finish	Painted	Colour	Haymes - Ash Grey
Verandah Beams/Rafters/Posts/B rackets		Posts	Finish	Painted	Colour	Haymes - Dover White
Internal Paint	Selection					
Internal Paint						
All rooms - Walls			Finish	Painted Walls - Haymes Elite Interior Low Sheen Acrylic	Colour	Aura
All rooms - Ceilings			Finish	Painted Ceilings - Haymes Elite Ceiling Finish	Colour	JGK White
Woodwork						
Skirting/Architraves			Finish	Haymes Ultratrim Acrylic High Gloss	Colour	Haymes - Gradient #2
Front Entry Frame & Sidelite (if app)			Finish	Haymes Ultratrim Acrylic High Gloss	Colour	Haymes - Gradient #2
Front Door (Inside of Door)			Finish	Haymes Ultratrim Acrylic High Gloss	Colour	Haymes - Gradient #2
Internal Doors			Finish	Haymes Ultratrim Acrylic High Gloss	Colour	Haymes - Gradient #2

Client 1 Initial /

Client 2 Initial / ..

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Document:

Item	Selection Level 1	Selection Level 2	Selection Lev	vel 3
Internal F	itting Selection			
Skirting/Architraves				
Skirting (type & size)			Profile	Single Bevel (92mm x 15mm) (additional cost apply)
Architrave (type & siz	re)		Profile	Single Bevel (67mm x 15mm)
Cornices Window Furnishings			Profile	90mm Cove
Williaow i armsilings				

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Job Address:Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878Administrator:Emily SangsterHouse Package:Fitzroy 30 Alpha inclusions Somerset FacadeConsultant:Susan Radman

louse Package: F	itzroy 30 Alpha inclusion	ns Somerset Facade		Consultant:	Susan Radma	an
item	Selection Leve	11	Selection Level	2	Selection Level	3
Kitchen						
Benchtop - Stone	Category	Category 2	Edge Profile	40mm Aris	Colour	Caesarstone Mineral Quartz - Organic White
Base Cupboards - Hinged doors/Panels	Туре	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Terril
Waterfall ends	Туре	Waterfall stone mitred ends (To match benchtop)	Edge Profile	Waterfall Stone mitred ends (To match benchtop)	Colour	Waterfall stone mitred ends (To match benchtop)
Island Bench Cupboards - Front	Туре	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Terril
Island Bench Cupboards - Barbacl	Type k	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Terril
Overhead Cupboards Hinged doors/Panels	•	Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Terril
Fridge Overhead - Hinged doors/Panels	Туре	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Terril
Fridge Side Panel	Туре	Laminex Natural finish	Edge/Door Profile		Colour	Terril
Overhead shadowpanel infill/bulkhead					Type & Colour	Overhead cupboard colour (joiner built)
Wall tower	Туре	Laminex Natural finish	Edge Profile	Flat face - Square Edge	Colour	Terril
Handles - Base Cupboard (Drawers)	Category		Selection	Livomo D handle 256mm M3163_256_MBL. FG Mtt Black	Direction	Horizontal
	to 2no. door to	sink cupboard	Livorno D handl M3163_160_ME		Horizontal	
Handles - Overhead Cupboards	Category	Other	Selection	No Handles (20mm door extension & panel to Overheads)		
Hardware (Soft Close	e)				Location	Doors & Drawers (All)
Hardware (Push to open)					Location	Doors only
					x3 Towers	
Splashback			Туре	Tiled Splashback	Category & Colour	Tiled - Refer tile selection
Appliances - Oven					Colour	Dark Stainless Steel
Appliances - Cookto Freestanding Cooke					Colour	Glass (induction)
Appliances - Rangehood					Colour	Dark Stainless Steel

Client 1 Initia

Client 2 Initial / ...

Colour Selection

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Job Address: Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878

Administrator: Emily Sangster
Consultant: Susan Radman

louse Package: Fitzro	y 30 Alpha inclusio	ons Somerset Facade		Consultant:	Susan Radr	nan
Item	Selection Lev	el 1	Selection Leve	12	Selection Leve	13
Butlers/Walk In Pantry						
Benchtop - Stone	Category	Category 2	Edge Profile	40mm Aris	Colour	Caesarstone Mineral Quartz - Organic White
Base Cupboard - Hinged doors/Panels	Туре	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Terril
Kickboards					Colour	Kicker - Cabinet colour (standard)
Overheads Cupboard - Hinged doors/Panels	Туре	Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Terril
Pantry Shelving			Edge Profile	Laminated shelving (joinery matched colours) (join	Colour	Terril
Handles - Base Cupboard (Doors)	Category		Selection	Livorno D handle 256mm M3163_256_MBL. FG Matt Black	Direction	Horizontal
	2no. doors to sink cupboard		Livomo D handle 160mm M3163_160_MBL.FG Matt Black		Horizontal	
Handles - Base Cupboard (Drawers)	Category		Selection	Livorno D handle 256mm M163_256_MBL.F G	Direction	Horizontal
			Matt Black	J		
Handles - Overhead Cupboards	Category	Other	Selection	No Handles (20mm door extension & panel to Overheads)		
Hardware (Soft Close)					Location	Doors & Drawers (All)
Splashback			Туре	Tiled Splashback	Category & Colour	Tiled - Refer tile selection
Sink				Memo Freya Undermont (2411007)	Colour	Granite Black
Tapware				Mizu Soothe MK2 Pullout	Colour	Black

Client 1 Initial /

Client 2 Initial / ...

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Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878 **Emily Sangster** Job Address: Administrator:

louse Package: Fitzro	oy 30 Alpha inclusio	ons Somerset Facade		Consultant:	Susan Radma	n
tem	Selection Lev	el 1	Selection Leve	12	Selection Level	3
Bathroom						
Benchtop - Stone	Category	Category 1	Edge Profile	20mm Aris	Colour	Caesarstone Mineral Quartz - Raven
Drawer Bank (nominate profile for Formwrap/Colourtec - Single OR Individual)	Туре	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Aries
Kickboards					Colour	Kicker - Cabinet colour (standard)
Handles	Category		Selection	Livorno D handle 256mm M163_256_MBL.F G	Direction	Horizontal
			Matt Black			
Hardware (Soft Close)					Location	Drawers only
Vanity Basins			Selection	Roca Inspira Oval (1808094)	Colour	White
Vanity Basin Waste					Selection	Black Pop-Up
Bath/Spa			Selection	Bath	Colour	White
Bath/Spa Waste					Selection	Black Pop-Down
Shower Base			Type/Style	Tiled Base (To match floor tiles) with tile insert waste (upgrade)	Drain/Waste Colour	Matte Black
Shower Frame			Frame Type	Semi-frameless screen 2m high including pivot door	Frame Colour	Black
Shower Glass					Selection	Clear Glass (standard)
Mirror			Selection	Frameless 4mm Mirror	Edging/Colour	Polished Arris edge
Towel Rail					Colour	Black
Tapware					Colour	Black
Toilet Roll Holder					Colour	Black
Window Glass					Glazing Type	Decor Satin Obscure

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Job Number: 2411TRA276 Document: Client Name:

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Job Address: Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878 Administrator: Emily Sangster

House Package: Fitzrov 30 Alpha inclusions Somerset Facade Consultant: Susan Radman

louse Package: Fitzroy	30 Alpha inclusion	ons Somerset Facade		Consultant:	Susan Radma	an
tem	Selection Lev	rel 1	Selection Leve	12	Selection Level	3
Ensuite						
Benchtop - Stone	Category	Category 1	Edge Profile	20mm Aris	Colour	Caesarstone Mineral Quartz - Raven
Benchtop - Shadowline						
Drawer Bank (nominate profile for Formwrap/Colourtec - Single OR Individual)	Туре	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Aries
Kickboards					Colour	Kicker - Cabinet colour (standard)
Handles	Category		Selection	Livorno D handle 256mm M163_256_MBL.F G	Direction	Horizontal
			Matt Black			
Hardware (Soft Close)					Location	Drawers only
Vanity Basins			Selection	Roca Inspira Oval (1808094)	Colour	White
Vanity Basin Waste					Selection	Black Pop-Up
Shower Base			Type/Style	Tiled Base (To match floor tiles) with tile insert waste (upgrade)	Drain/Waste Colour	Matte Black
Shower Frame			Frame Type	Frameless + Door	Frame Colour	Black
Shower Glass					Selection	Clear Glass (standard)
Mirror						
Towel Rail					Colour	Black
Tapware					Colour	Black
Toilet Suite					Colour	White
Toilet Roll Holder					Colour	Black
Window Glass					Glazing Type	Decor Satin

Obscure

Colour Selection

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Job Address: Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878

Emily Sangster Administrator:

		escent EAGLE POINT VI	C 3878	Administrator:	Emily Sangsto	
	tzroy 30 Alpha inclusio			Consultant:	Susan Radma	1000
item	Selection Leve	el 1	Selection Level	2	Selection Level	3
Powder Room						
Benchtop - Stone	Category	Category 1	Edge Profile	20mm Aris	Colour	Caesarstone Mineral Quartz - Raven
Base Cupboard - Hinged doors/Panels	Туре	Laminex Natural finish	Edge/Door Profile	Flat face - Square Edge	Colour	Aries
Kickboards					Colour	Floating
Handles	Category		Selection	Livorno D handle 256mm M163_256_MBL.F G Matt Black	Direction	Horizontal
Hardware (Soft Close))				Location	Drawers only
Vanity Basins			Selection	Roca Inspira Oval (1808094)	Colour	White
Vanity Basin Waste					Selection	Black Pop-Up
Mirror			Selection	Premium 900mm Round	Edging/Colour	Black
Towel Rail					Colour	Black
Tapware					Colour	Black
Toilet Suite					Colour	White
Toilet Roll Holder					Colour	Black
Toilet (Ground Floor)						
Laundry						
Benchtop - Laminate	Туре	Laminex Natural finish	Edge Profile	D Mould	Colour	Avenza Bianco
Base Cupboard - Hinged doors/Panels	Туре	Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Green Slate
Drawer Bank (nomina profile for Formwrap/Colourtec - Single OR Individual)		Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Green Slate
Kickboards					Colour	Kicker - Cabinet colour (standard
Overheads Cupboard Hinged doors/Panels	- Туре	Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Green Slate
Overhead infill/bulkhead					Type & Colour	Overhead cupboard colour (joiner built)
Handles - Base Cupboards	Category		Selection	Livorno D handle 256mm M163_256_MBL.F G Mtt Black	Direction	Horizontal
	2no. Doors to	trough cupboard	Livorno D handle M163_160_MBL	160mm	Horizontal	
Handles - Overhead Cupboards	Category	Other	Selection	No Handles (20mm door extension & panel to Overheads)		
Hardware (Soft Close)					Location	Doors & Drawers (All)
Splashback			Туре	Tiled Splashback	Category & Colour	Tiled - Refer tile selection
Trough/Sink			Туре	Insert Trough/Sink	Colour	Stainless Steel Trough/Sink
Joinery (Built in)						

Client 1 Initial

Client 2 Initial / ..

Colour Selection

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part of a planning process under the Planning and 2411TRA276 Job Number: Document: Environment Act 1987. The document must not be **Client Name:** used for any promote which may breach any copyright. Job Address: Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878 Administrator: **Emily Sangster** House Package: Fitzroy 30 Alpha inclusions Somerset Facade Consultant: Susan Radman Selection Level 1 Selection Level 2 Selection Level 3 Item Joinery (Miscellaneous) **Door Funiture - External** Manufacturer Paradigm Element with Colour/Finish Black **Front Entry Door Handle Type** Back-to-Back Pull Backplate handle Manufacturer **Handle Type** Colour/Finish Black Garage to House Door Lockwood lever Symmetry Element (Hinged) level lockset **Door Funiture - Internal Hinged Door Funiture** Manufacturer Lockwood Large Element (#L3) Colour/Finish Black **Handle Type** Round Rose handle (63mm) **Linen Door Funiture** Manufacture Livorno D handle Matt Black Handle Type Colour/Finsh 256mm M163 256 MBL.F G ORIENTATION: Vertical **Privacy locks Door** Manufacturer Lockwood **Handle Type** To match door Location Nominate location funiture and Colour **Furniture** Bed 1,2,3,4, Bath & Powder (cavity) **Cavity Sliding Door** Manufacturer Lockwood Sliding Rectangular Colour Black Type Handles FP2-150 with **Furniture** "rectangular" inner hole Internal Doors **Internal Doors** Selection HAG6 Robe Doors Hinged/Sliding **Hume Smart Robe** Track & Frame Colour/Style HAG6 2400mm 1800mm Colour **Linen Doors** Hinged/Sliding Track & Frame Colour/Style HAG11 Colour **Broom Doors** Hinged/Sliding HAG11 Track & Frame Colour/Style Colour Other/Special Hinged/Sliding Living ONLY Track & Frame Colour/Style HAG12 Colour **Shelving** Melamine 16mm -WIR **Edge Profile** Melamine 16mm -Colour White (standard) White (standard) Bedrooms Melamine 16mm -Melamine 16mm -**Edge Profile** Colour White (standard) White (standard) Linen Melamine 16mm -Melamine 16mm -**Edge Profile** Colour White (standard) White (standard) Melamine 16mm -Melamine 16mm -Broom **Edge Profile** Colour White (standard) White (standard) Floor Coverings Tiles Category Refer to Tile Selection Refer to Tile Colour Refer to Tile Selection Selection Selection **Power points & Light Switches Power Points & Light** Excel Life plate Type

Client 1 Initial Client 2 Initial

Switches

series (standard)

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Job Number:

Client Name:

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Lot 27, 34 Houghton Crescent EAGLE POINT VIC 3878 **Emily Sangster** Job Address: Administrator:

ouse Package:	Fitzroy 30 Alpha Inclusions Somerset Facad	de Consultant	: Susan Radm	nan
ltem	Selection Level 1	Selection Level 2	Selection Leve	13
Please sign a	and date to indicate that the information is corr	rect and that you have read and understood th	is document.	
				27/5/2025
BO 1 Signatu	ure		Date	
				27/5/2025
BO 2 Signatu	ure – <u>————</u>		Date	
				28/5/2025
Builder Signa	ature — — —		Date	
Checked By			Date	
(Amendments	s permitted by authorised J G King Eastern C	orridor decorators only)		

4.5m x 3.75m Workshop Shed



SHED DETAILS

Туре	TALL Workshop
Width	4.50m
Depth	3.75m
Height	2.48m
Peak Height	2.48m
Material	High Tensile Steel
Wind Rating	N1 Rated

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Door Type	1.50m	Hinged	double	doors	on	(w)

Door Wall	Height	2.10m

Door Opening	1.50m
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ACCESSORIES OPTION

Anchors	3 pack(s)
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CHOOSE COLOUR: Armour Grey



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