

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	109 Western Boulevard RAYMOND ISLAND VIC 3880 Lot: 2 PS: 831198
The application is for a permit to:	Buildings and Works (extension) to existing dwelling
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
43.02-2 (DDO)	Construct a building or construct or carry out works.
The applicant for the permit is:	Adie Courtney Architect
The application reference number is:	5.2025.279.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ♦ **be made to the Responsible Authority in writing,**
- ♦ **include the reasons for the objection, and**
- ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
---	---

If you object, the Responsible Authority will tell you its decision.

April McDonald

From: Snapforms Notifications <no-reply@snapforms.com.au>
Sent: Monday, 18 August 2025 4:43 PM
To: Planning Unit Administration
Subject: Planning Permit application
Attachments: Title 109 Western Boulevard Raymond Island.pdf; Title plan 109 Western Boulevard Raymond Island.pdf; Proposed alterations and additions at 109 Western Boulevard Raymond Island - Town Planning Application Drawings 18.08.pdf; Planning_Permit_Application_2025-08-18T16-42-42_27244658_0.pdf

Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Applicant name: Adie Courtney

Business trading name: Adie Courtney Architect

Email address: adie@adiecourtney.com

Postal address : PO Box 9095 Cowes VIC 3922

Preferred phone number:

Owner's name:

Owner's postal address: 109 WESTERN BOULEVARD RAYMOND ISLAND VIC 3880

Street number: 109

Street name: Western Boulevard

Town: Raymond Island

Post code: 3880

Lot number: 2

Plan number: 831198Q plan of subdivision

Other Legal Description: VOLUME 12175 FOLIO 309

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?: No

Will the proposal result in a breach of a registered covenant restriction or agreement?: No

Existing conditions : Existing Single Storey weather board clad Single Dwelling, attached Carport, detached outbuildings (3 of)

Description of proposal : Proposed renovation of house, including internal refurbishment, recladding of walls and installation of new windows and doors. Small Addition to house set under existing verandah roof line. Small addition to current deck and new pergola structure to be built over deck, Demolition of one of the outbuildings - small shed at rear of house.

Estimated cost of development: \$450,000

Has there been a pre-application meeting: Yes

Officer's name: Emine Mestin - via telephone 12.06.25

Your reference number: was not provided one - phone enquiry only

Full copy of Title: [Title 109 Western Boulevard Raymond Island.pdf](#), [Title plan 109 Western Boulevard Raymond Island.pdf](#)

Plans: [Proposed alterations and additions at 109 Western Boulevard Raymond Island - Town Planning Application Drawings 18.08.pdf](#)

Invoice Payer:

Address for Invoice:

Invoice Email:

Primary Phone Invoice:

Invoice Secondary Phone:

Declaration: Yes

Authority Check: Yes

Notice Contact Check: Yes

Notice check 2: Yes

Privacy Statement Acknowledge: Yes

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 3

VOLUME 12175 FOLIO 309

Security no : 124127241836K
Produced 18/08/2025 04:11 PM

LAND DESCRIPTION

Lot 2 on Plan of Subdivision 831198Q.
PARENT TITLE Volume 10113 Folio 408
Created by instrument PS831198Q 20/12/2019

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS831198Q FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 109 WESTERN BOULEVARD RAYMOND ISLAND VIC 3880

ADMINISTRATIVE NOTICES

NIL

eCT Control 22165Q MAKE IT YOURS CONVEYANCING
Effective from 09/02/2024

DOCUMENT END



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Document Type	Plan
Document Identification	PS831198Q
Number of Pages (excluding this cover sheet)	2
Document Assembled	18/08/2025 16:11

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PLAN OF SUBDIVISION

EDITION 1 PS 831198Q

LOCATION OF LAND

PARISH: BAIRNSDALE
(RAYMOND ISLAND)

TOWNSHIP: ———

SECTION: C

CROWN ALLOTMENT: 6 & 7 (PARTS)

CROWN PORTION: ———

TITLE REFERENCE: VOL 8492 FOL 417
VOL 10113 FOL 408

LAST PLAN REFERENCE: LOT 1 - LP51444
LOT 1 - PS321725N

POSTAL ADDRESS: 103 & 109 WESTERN BOULEVARD,
(at time of subdivision) RAYMOND ISLAND, 3880

MGA94 CO-ORDINATES: E: 564 400 ZONE: 55
(of approx centre of land in plan) N: 5803 590

Council Name: East Gippsland Shire Council
Council Reference Number: PS831198Q
Planning Permit Reference: 239/2018/P
SPEAR Reference Number: S136151B

Certification

This plan is certified under section 6 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made

Digitally signed by: Martin T Ireland for East Gippsland Shire Council on 07/03/2019

Statement of Compliance issued: 06/11/2019

VESTING OF ROADS AND/OR RESERVES

NOTATIONS

IDENTIFIER	COUNCIL/BODY/PERSON
NIL	NIL

DIMENSIONS SHOWN UNDERLINED ARE NOT THE RESULT OF THIS SURVEY.
THE AREA OF LOT 2 IS BY DEDUCTION FROM TITLE.

NOTATIONS

DEPTH LIMITATION 15.24 METRES BELOW THE SURFACE

SURVEY:

This plan is based on survey.

STAGING:

This is not a staged subdivision.
Planning Permit No. 239/2018/P

This survey has been connected to permanent marks No(s). 361, 362 & 446

In Proclaimed Survey Area No. ———

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
A-1	CARRIAGEWAY	SEE DIAG.	PS321725N	LOT 1 ON PS321725N

Crowther & Sadler Pty. Ltd.

LICENSED SURVEYORS & TOWN PLANNERS
162 MACLEOD STREET, BAIRNSDALE, VIC., 3875
P. (03) 6162 6011 E. contact@crowthersadler.com.au

SURVEYORS FILE REF: 17434

Digitally signed by: Gerard Michael Ward, Licensed Surveyor,
Surveyor's Plan Version (1),
07/02/2019, SPEAR Ref: S136151B

ORIGINAL SHEET
SIZE: A3

SHEET 1 OF 2 SHEETS

PLAN REGISTERED

TIME: 09:44 AM DATE: 20/12/2019

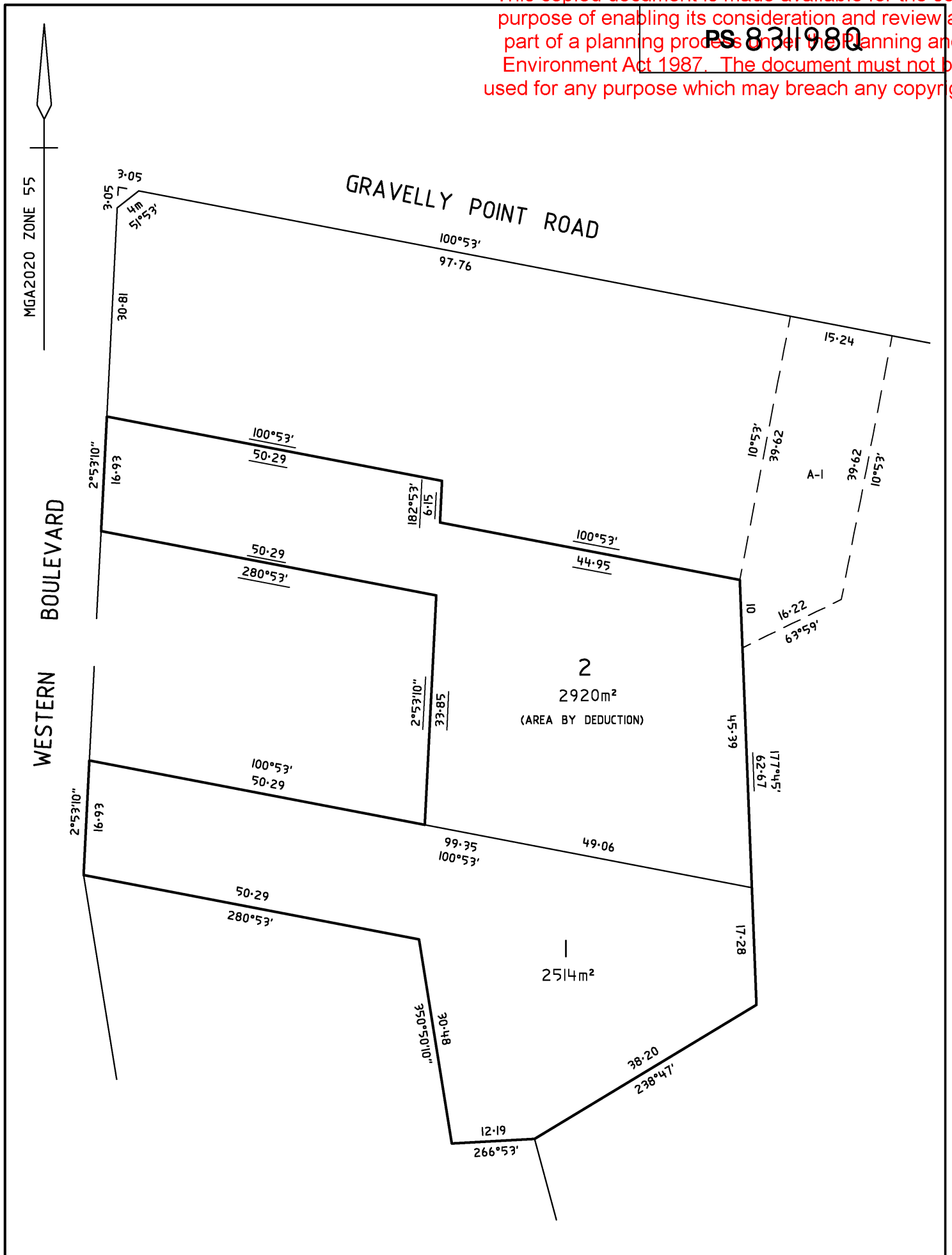
L.D.Rozario
Assistant Registrar of Titles

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PS 831198Q



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SURVEYORS REF
17434

SCALE
1:500

5 0 5 10 15 20
LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

SHEET 2

Digitally signed by: Gerard Michael Ward, Licensed Surveyor,
Surveyor's Plan Version (1),
07/02/2019, SPEAR Ref: S136151B

Digitally signed by:
East Gippsland Shire Council,
07/03/2019,
SPEAR Ref: S136151B

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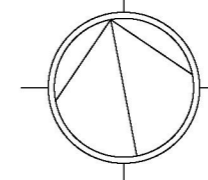
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Proposed Alterations + Additions
109 Western Boulevard
Raymond Island



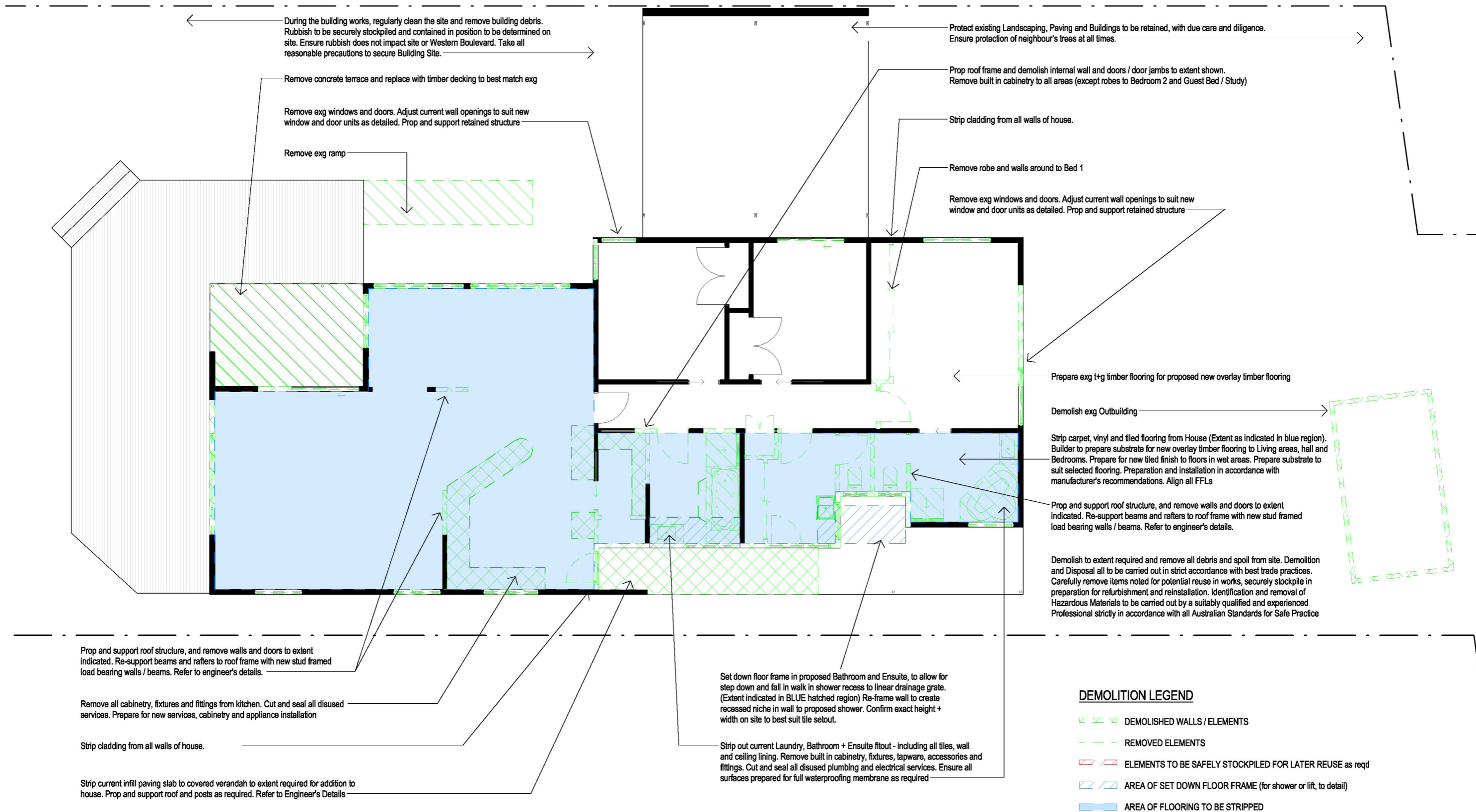
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Site Data

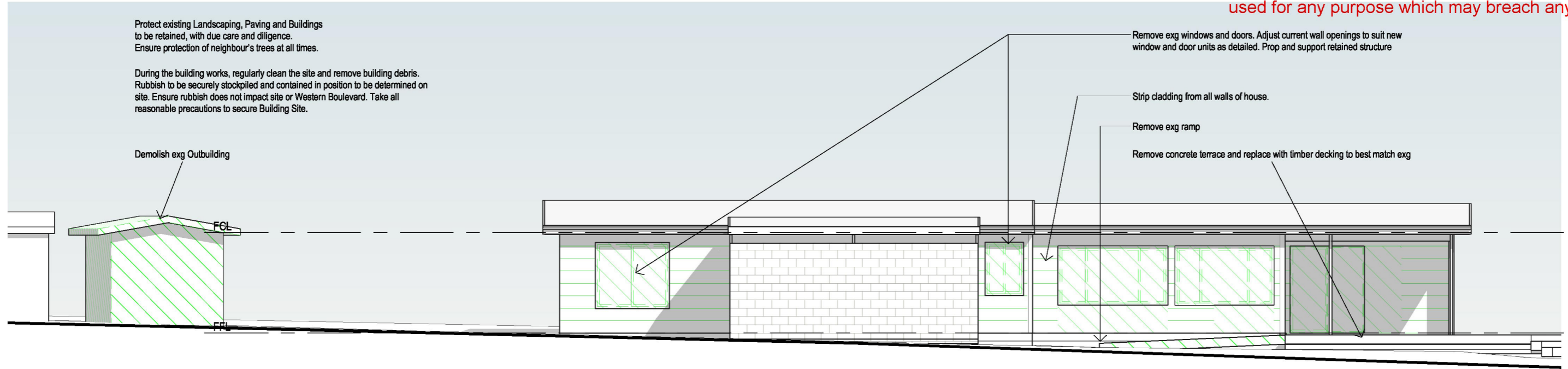
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Drawing / Revision / Date

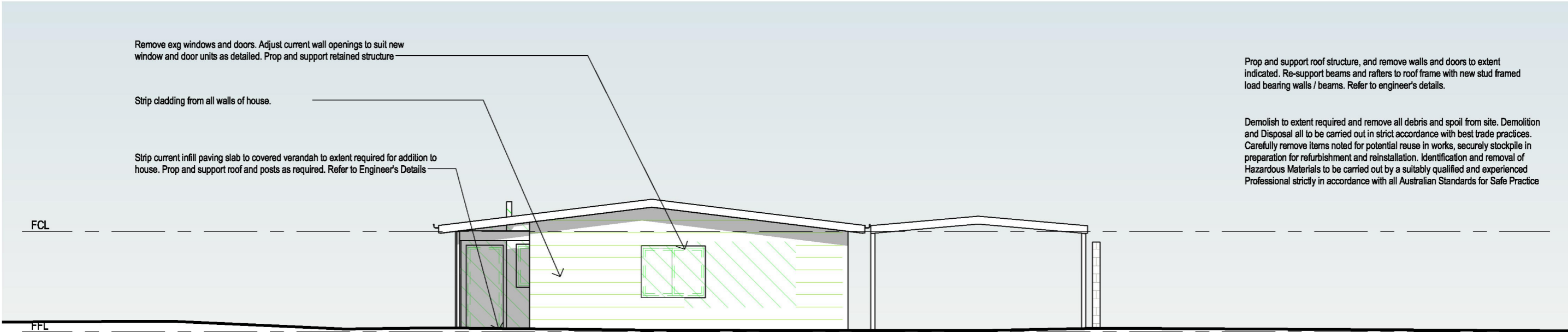
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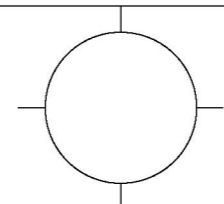
NORTH ELEVATION



EAST ELEVATION

DEMOLITION LEGEND

- DEMOLISHED WALLS / ELEMENTS
- REMOVED ELEMENTS
- ELEMENTS TO BE SAFELY STOCKPILED FOR LATER REUSE as reqd
- AREA OF SET DOWN FLOOR FRAME (for shower or lift, to detail)
- AREA OF FLOORING TO BE REMOVED



Protect existing Landscaping, Paving and Buildings to be retained, with due care and diligence. Ensure protection of neighbour's trees at all times.

During the building works, regularly clean the site and remove building debris. Rubbish to be securely stockpiled and contained in position to be determined on site. Ensure rubbish does not impact site or Western Boulevard. Take all reasonable precautions to secure Building Site.

Create roof opening and frame out to suit proposed skylights. Install metal framed double glazed fixed skylights with necessary flashing kit to suit exg roof. Frame out as necessary and install new Skylights in strict accordance with supplier's recommendations. Ensure full compliance with BAL Rating and Energy Rating requirements

No other changes to roof externally. No extension to roof area of dwelling

Remove exg windows and doors. Adjust current wall openings to suit new window and door units as detailed. Prop and support retained structure

Strip cladding from all walls of house.

Demolish exg Outbuilding

Strip current infill paving slab to covered verandah to extent required for addition to house. Prop and support roof and posts as required. Refer to Engineer's Details

SOUTH ELEVATION

Strip cladding from all walls of house.

Remove concrete terrace and replace with timber decking to best match exg






Remove exg ramp (beyond)

Prop and support roof structure, and remove walls and doors to extent indicated. Re-support beams and rafters to roof frame with new stud framed load bearing walls / beams. Refer to engineer's details.

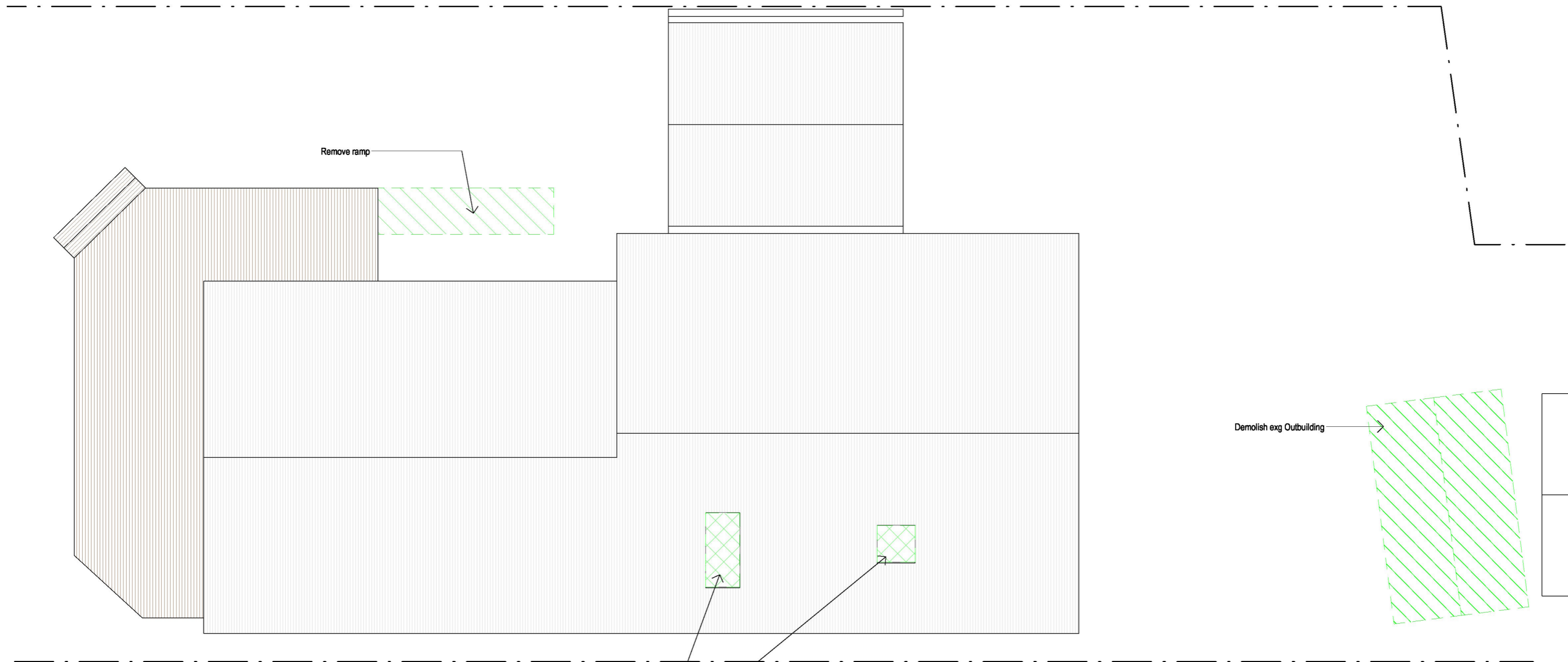
Demolish to extent required and remove all debris and spoil from site. Demolition and Disposal all to be carried out in strict accordance with best trade practices. Carefully remove items noted for potential reuse in works, securely stockpile in preparation for refurbishment and reinstallation. Identification and removal of Hazardous Materials to be carried out by a suitably qualified and experienced Professional strictly in accordance with all Australian Standards for Safe Practice

Remove exg windows and doors. Adjust current wall openings to suit new window and door units as detailed. Prop and support retained structure

DEMOLITION LEGEND

-  DEMOLISHED WALLS / ELEMENTS
-  REMOVED ELEMENTS
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WEST ELEVATION









Remove ramp

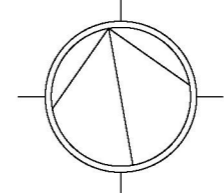
Demolish exg Outbuilding

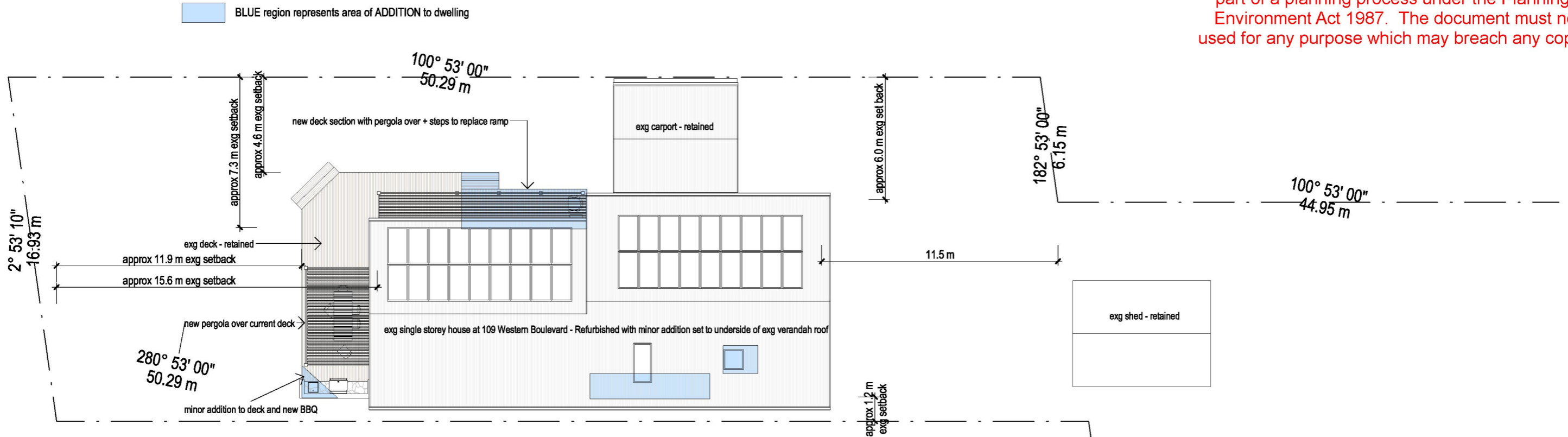
Create roof opening and frame out to suit proposed skylights. Install metal framed double glazed fixed skylights with necessary flashing kit to suit exg roof. Frame out as necessary and install new Skylights in strict accordance with supplier's recommendations. Ensure full compliance with BAL Rating and Energy Rating requirements

No other changes to roof externally. No extension to roof area of dwelling

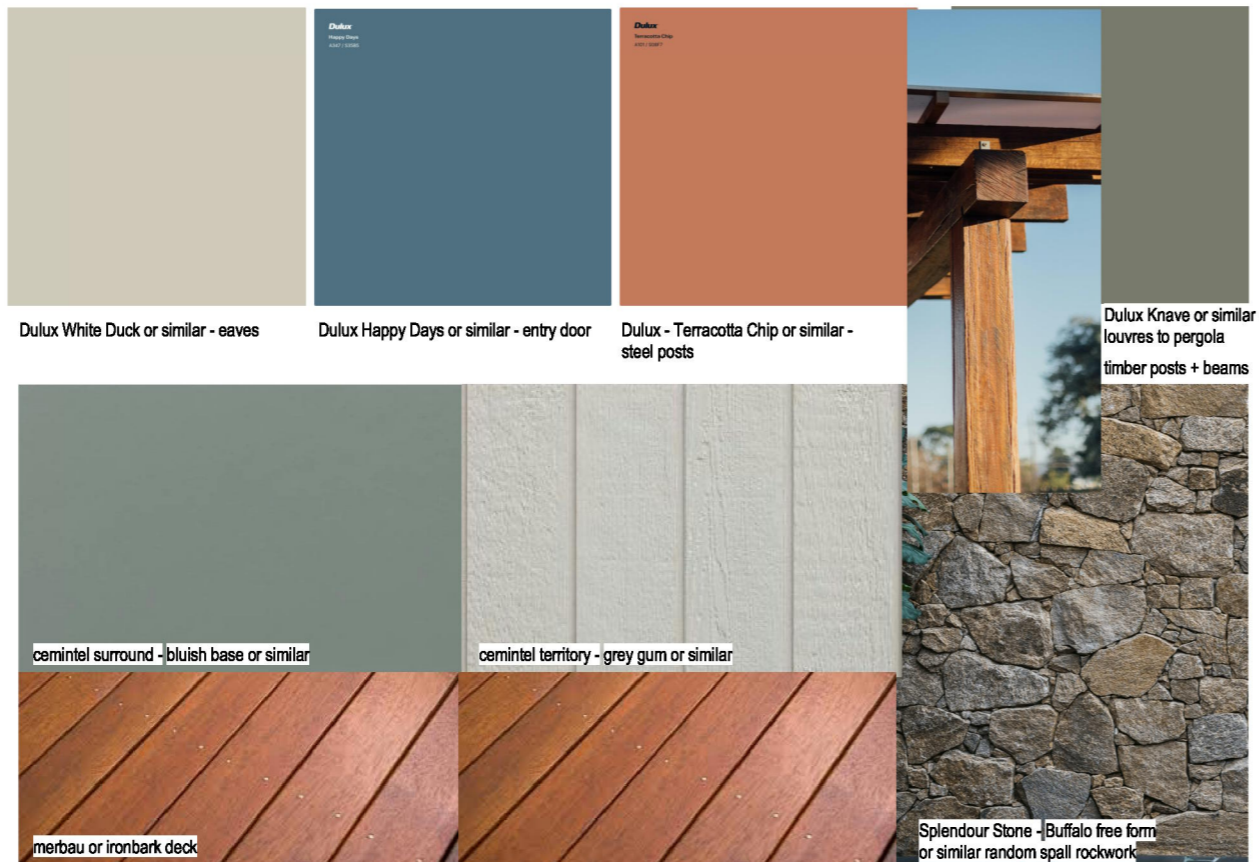
DEMOLITION LEGEND

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external materials and colour schedule



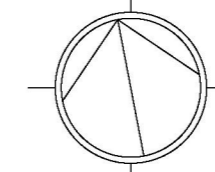
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Proposed Alterations + Additions
109 Western Boulevard
Raymond Island



Drawing Title: Proposed Part Site Plan
Materials and Colour Schedule

Scale: 1 : 200 @ A3
Date: 18.08.25

Drawing / Revision / Date

Printed 20/09/2025

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BLUE region represents area of ADDITION to dwelling



YELLOW region represents new infill walls where alignment of exg walls adjusted or exg windows removed

nom 6.1 m c.o.s.
new deck and steps to replace demolished ramp

Retain covered terrace, and extend scope of roof coverage to north over existing and extended deck. Install over sized timber pergola structure with adjustable louvres to roof, providing shade / sun control and weather protection to outdoor seating area, and entry door and porch.

Retain circular steel posts to verandahs to north and south of house, and paint in a bright pop of colour. Maybe paint rectangular posts and rafters to portal frame of carport in bright pop too!

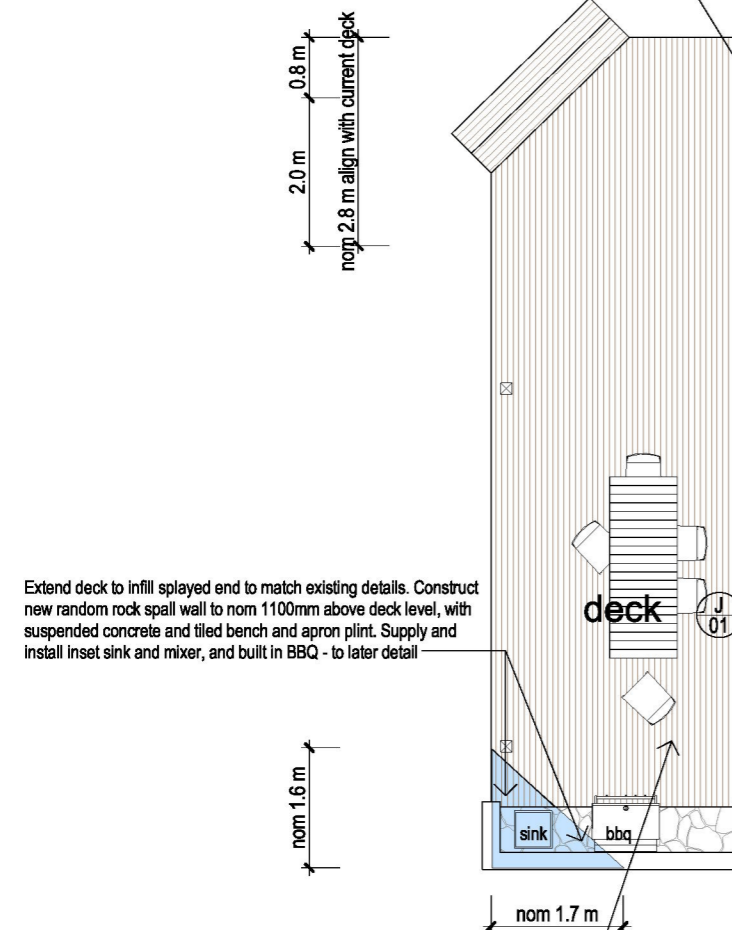
Remove concrete terrace and replace with timber decking to best match exg

Remove exg single glazed windows, and adjust current wall openings to suit new Aluminium Framed, double glazed window and door units as detailed. Make good to all disturbed wall framing, and allow to reclad external walls as detailed

Remove exg ramp, extend deck and construct new steps. New entry door and sidelight accessed via porch

carport
remains as exg

Strip cladding from all walls of house. Supply and install Cemintel Surround Cladding 1200 x 3000 x 8mm prefinished square edge panels to all walls indicated with larger panel format. - (Blueish Base - colour to be confirmed). Allow to adjust framing to suit new window and doors, and straighten walls as required. Ensure the condition of the framing is in accordance with current requirements and is as true and plumb as possible (within accepted industry tolerance of 5mm misalignment over 3000mm). Install additional framing as required. Confirm panel layout to determine the location of joints and install additional studs as required. Install Cemintel Surround panel with concealed fixing to timber stud strictly in accordance with Manufacturer's installation recommendations. Install new bulk insulation to R2.7 (min R2.5) and sarking to all external walls.



Extend deck to infill played end to match existing details. Construct new random rock spill wall to nom 1100mm above deck level, with suspended concrete and tiled bench and apron plint. Supply and install inset sink and mixer, and built in BBQ - to later detail

Install over sized timber pergola structure with adjustable louvres to roof, providing shade / sun control and weather protection to outdoor dining area, particularly given western aspect.

Works to upgrade and revise Electrical services to house to be undertaken by Owner
Works to upgrade and revise Plumbing Services to house, to be separately contracted by Owner

Cabinetry to Bathroom, Ensuite and Kitchen Island Bench, to be separately contracted by Owner

Strip cladding from all walls of house. Supply and install Cemintel Territory Cladding - Woodland Grey Gum to all walls indicated with vertical grooves. 16mm thick x 3030mm L, with effective cover of 455mm. Allow to adjust framing to suit new window and doors, and straighten walls as required. Ensure the condition of the framing is in accordance with current requirements and is as true and plumb as possible (within accepted industry tolerance of 5mm misalignment over 3000mm). Install additional framing as required. Confirm panel layout to determine the location of joints and install additional studs as required. Install Cemintel Territory cladding panels with the proprietary concealed fixing system strictly in accordance with manufacturer's recommendations. Supply and install with Territory panel clips, spacer strips, base starter strips and head vents/eaves trims, to create a 15mm cavity behind the Territory panels which allow air flow, ventilation and drainage. Install new bulk insulation to R2.7 (min R2.5) and sarking to all external walls.

Refurbish and upgrade Bathroom - install a walk in oversized 'shower room' set behind a glass wall, incorporating the bath also. Install a slot window set behind the bath. Install a Velux skylight to the bathroom for daylight - see roof plan for size and details.

nom 5.8 m
addition to dwelling set under current verandah roofline
nom 1.8 m
addition under current roof

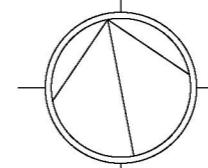
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Proposed Alterations + Additions
109 Western Boulevard
Raymond Island



Drawing Title: Proposed Ground Floor Plan

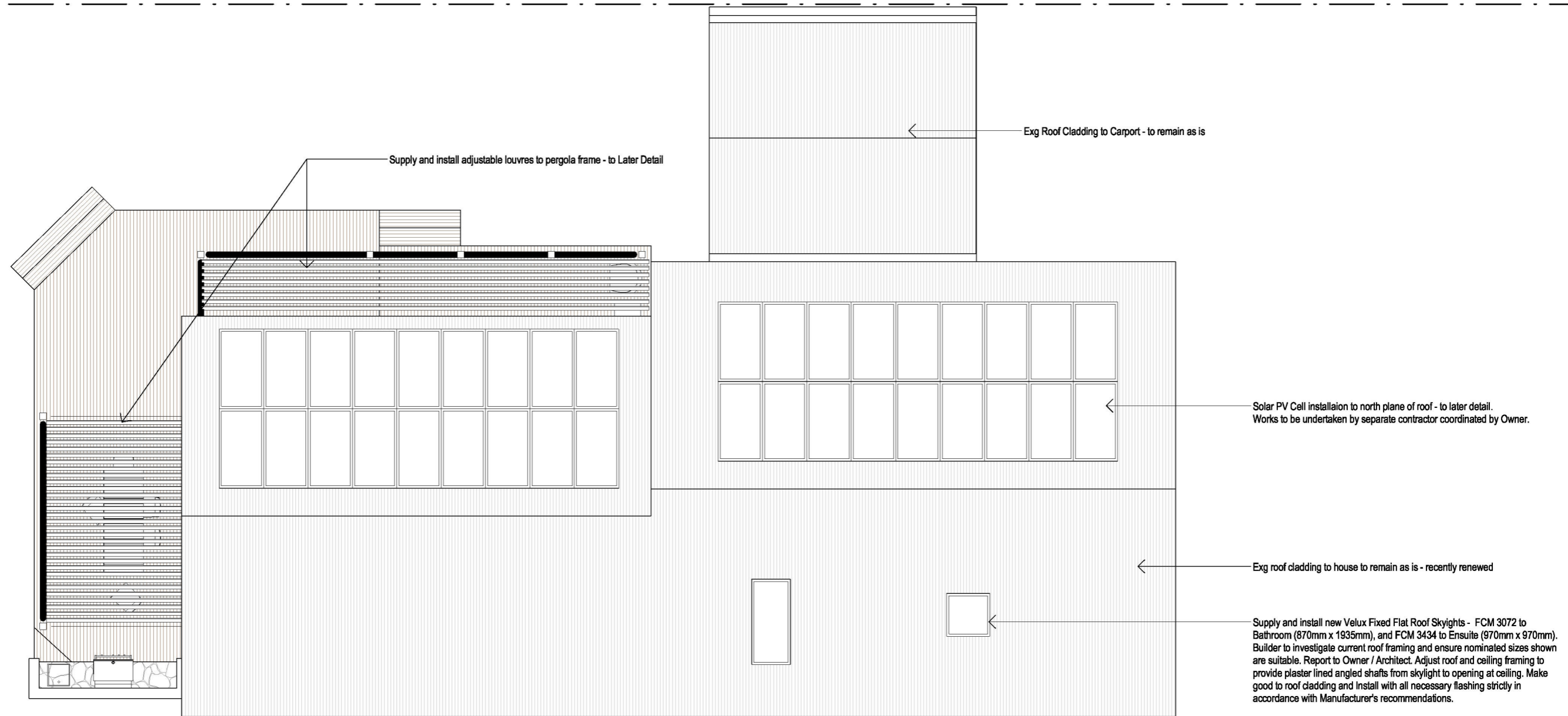
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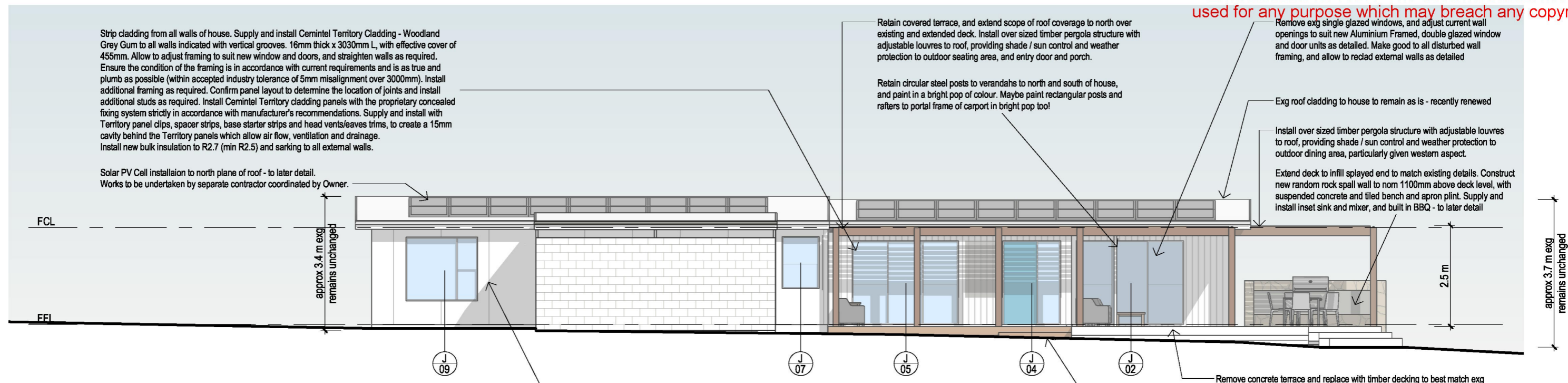
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Drawing / Revision 1 of 1

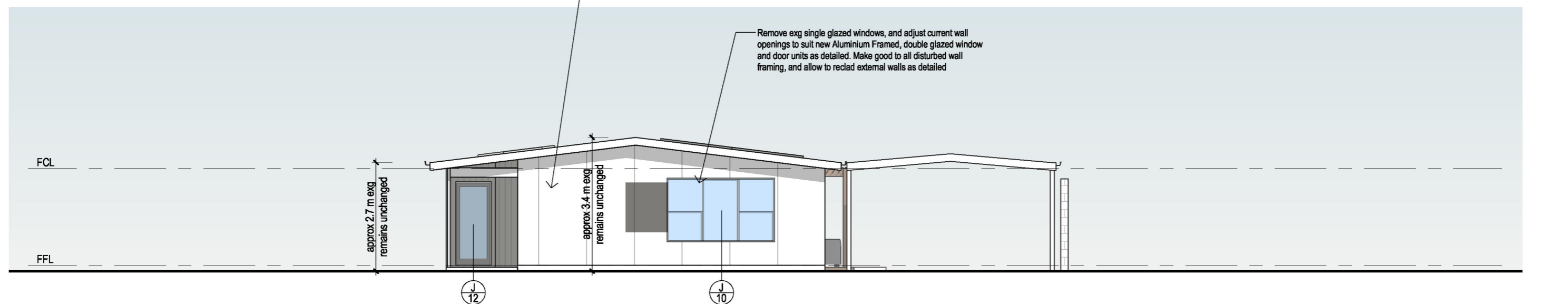
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NORTH ELEVATION



EAST ELEVATION

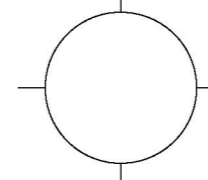
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Proposed Alterations + Additions
109 Western Boulevard
Raymond Island



Drawing Title: Proposed Elevations North and East

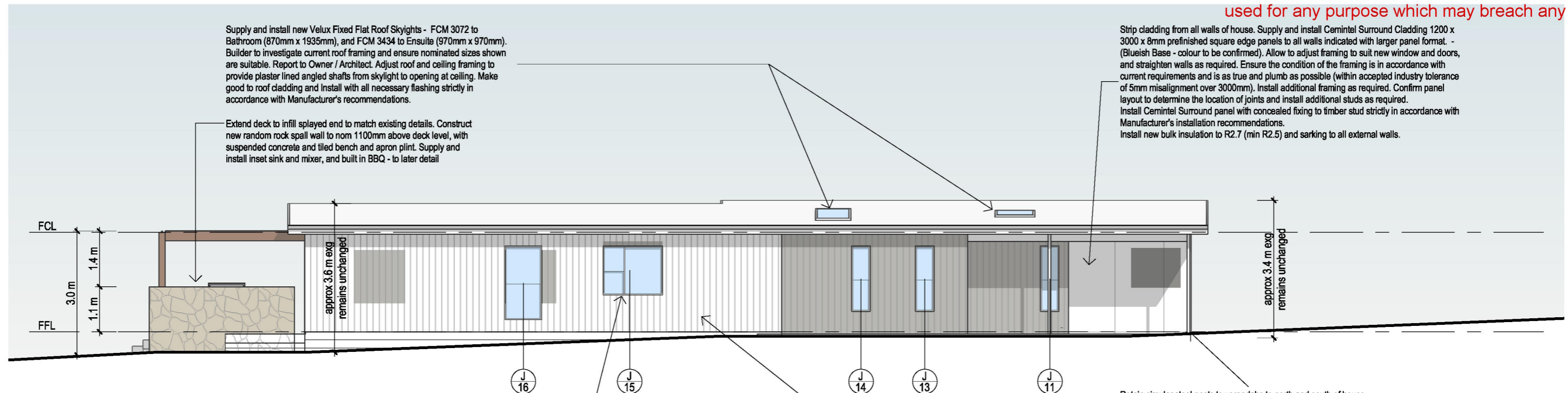
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Drawing / Revised / P209

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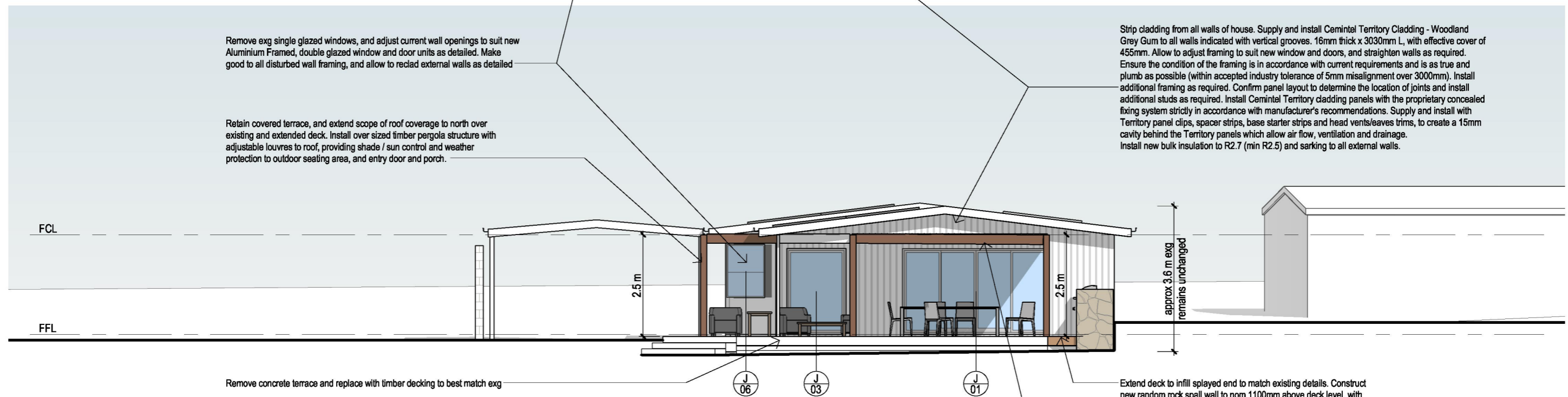


SOUTH ELEVATION

Retain circular steel posts to verandahs to north and south of house, and paint in a bright pop of colour. Maybe paint rectangular posts and rafters to portal frame of carport in bright pop too!

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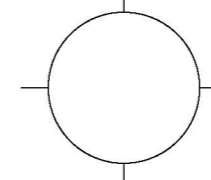
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Proposed Alterations + Additions
109 Western Boulevard
Raymond Island



Drawing Title: **Proposed Elevations South and West**

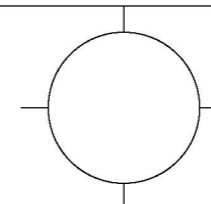
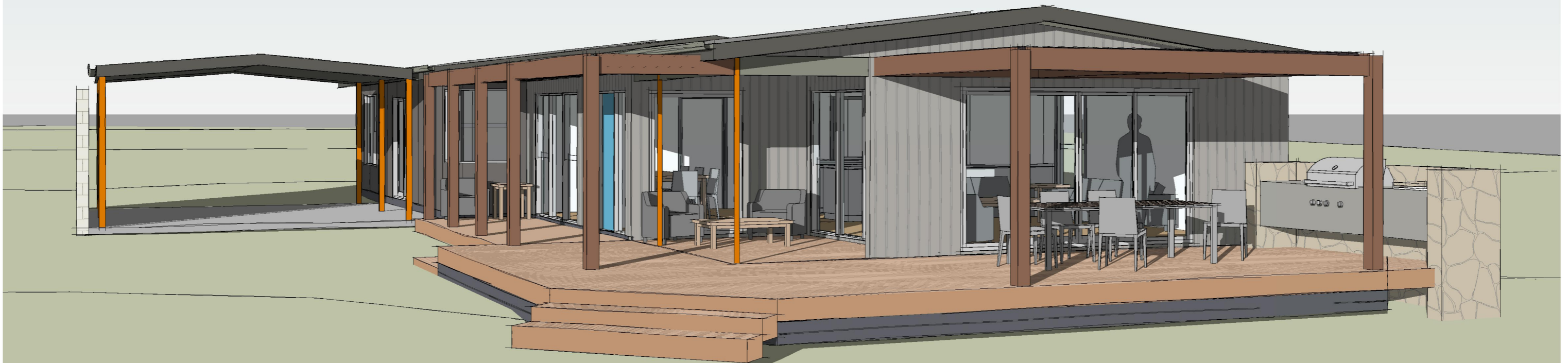
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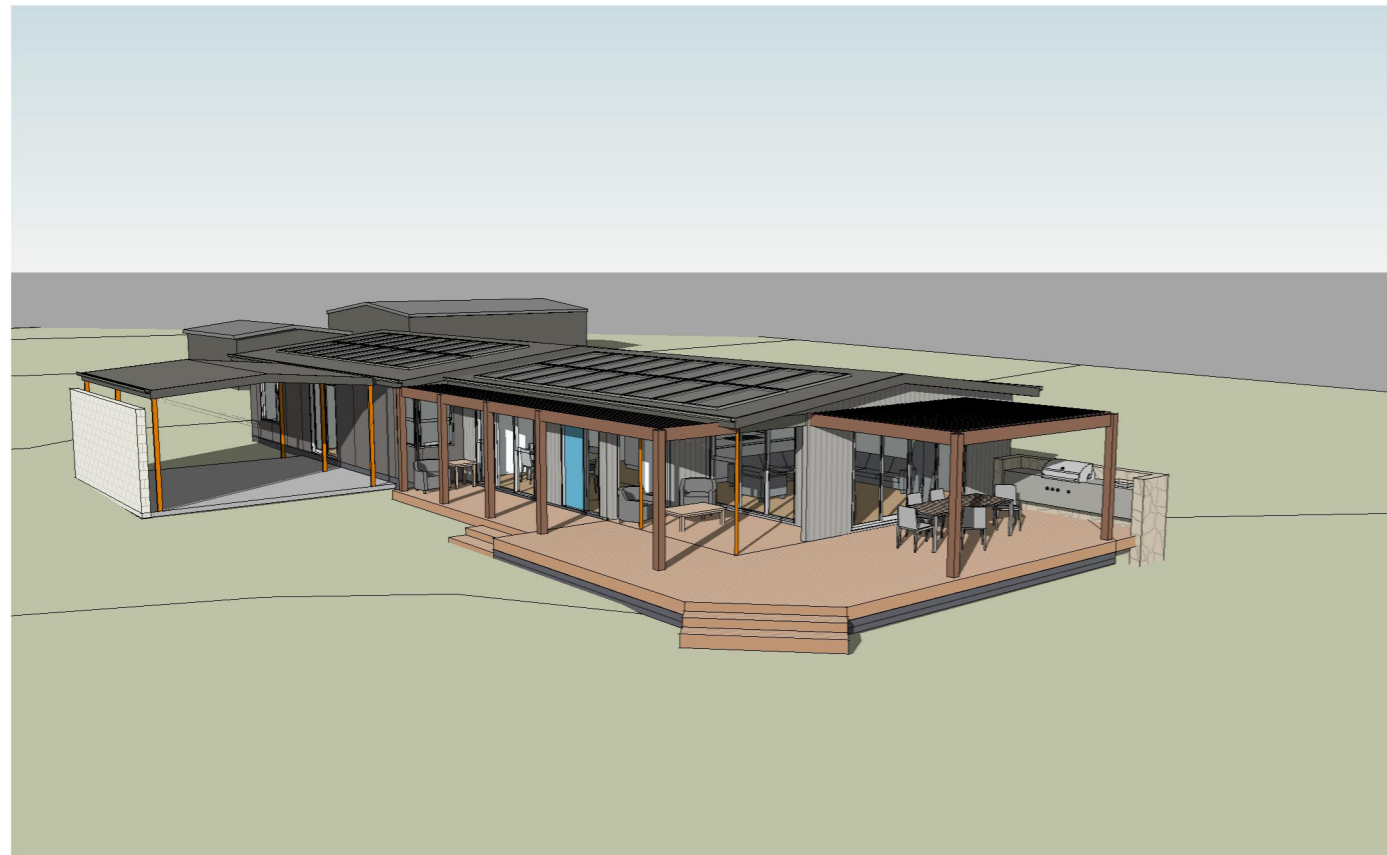
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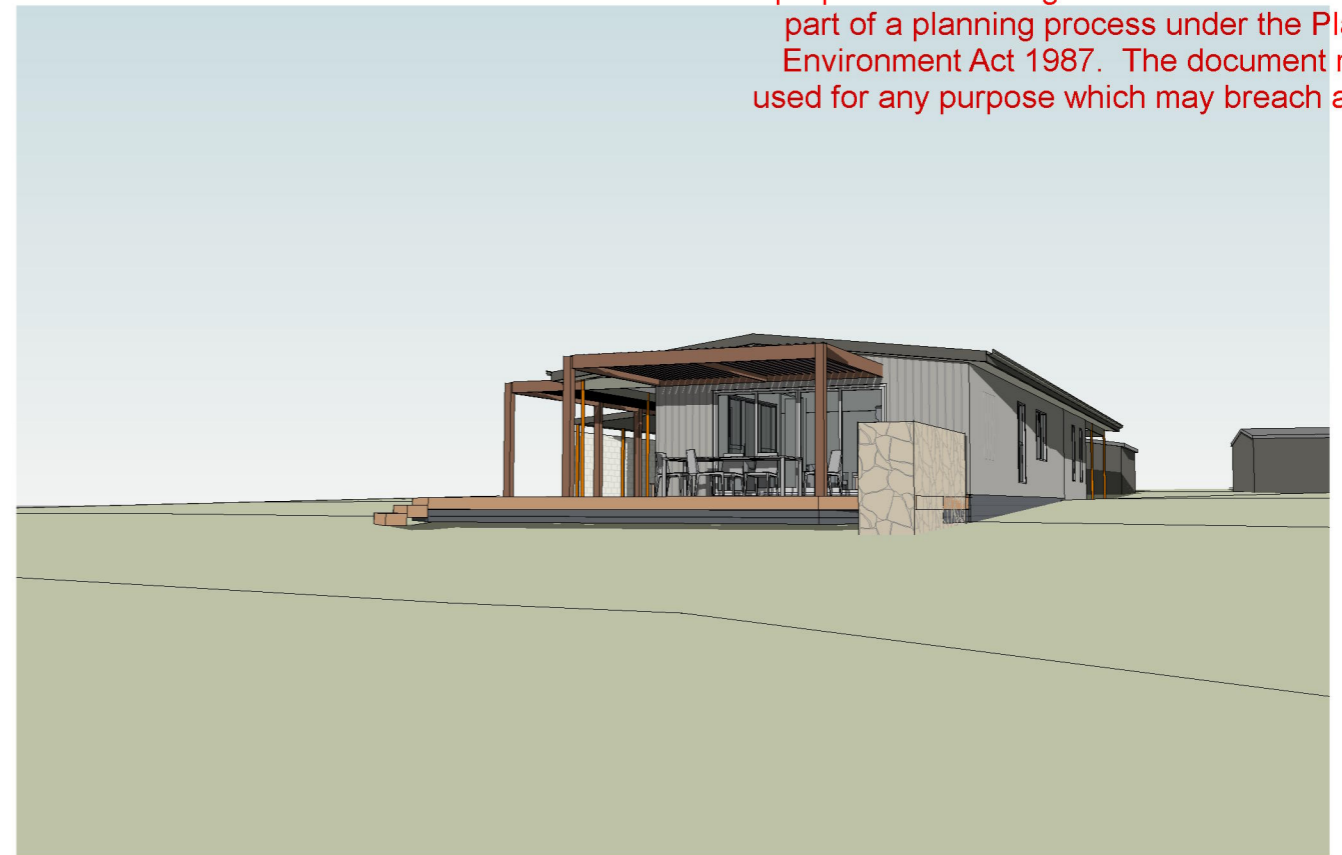
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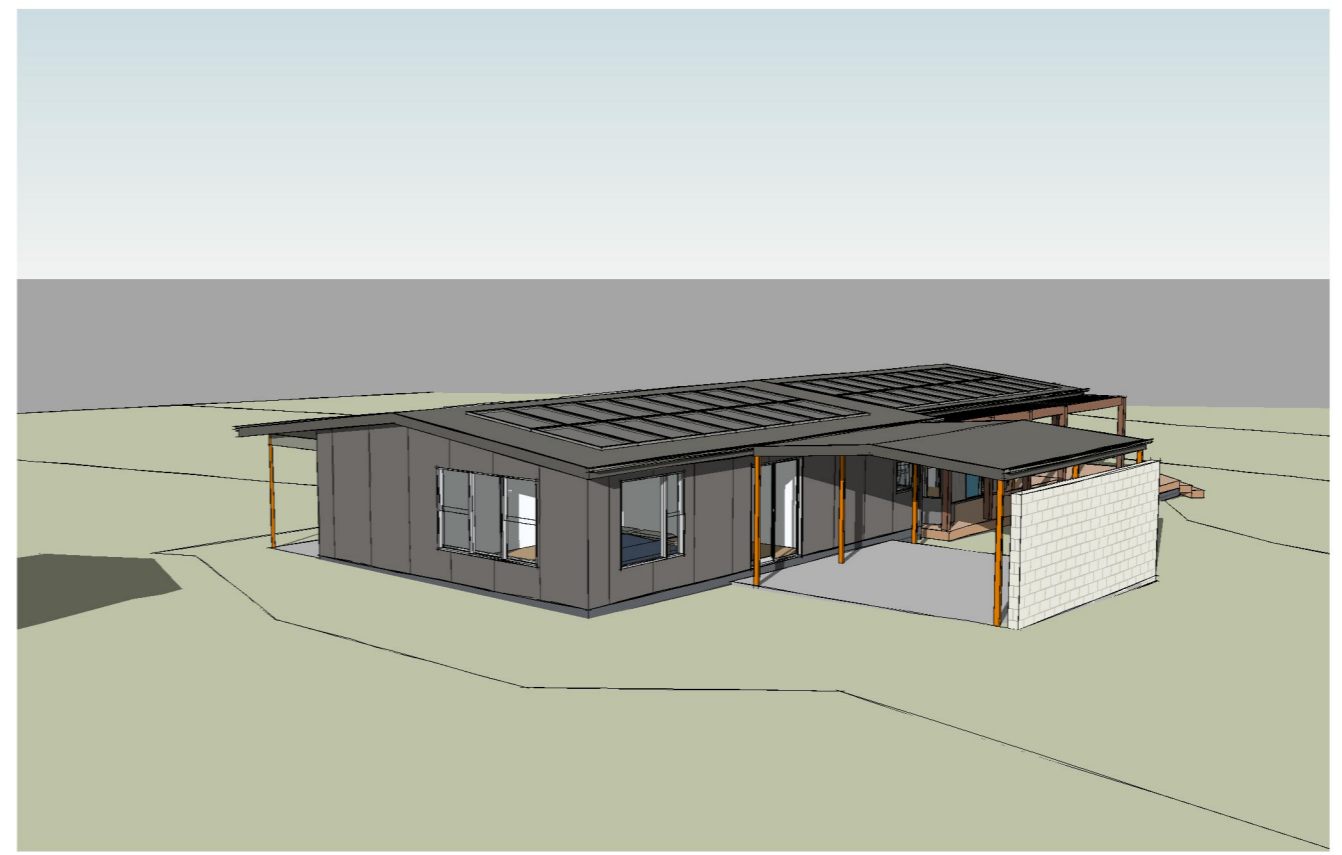
3D View 1



3D View 2



3D View 3



3D View 4

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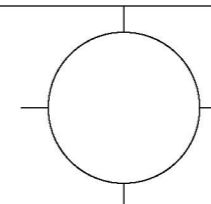
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Proposed Alterations + Additions
109 Western Boulevard
Raymond Island



Drawing Title: **3D Renderings**

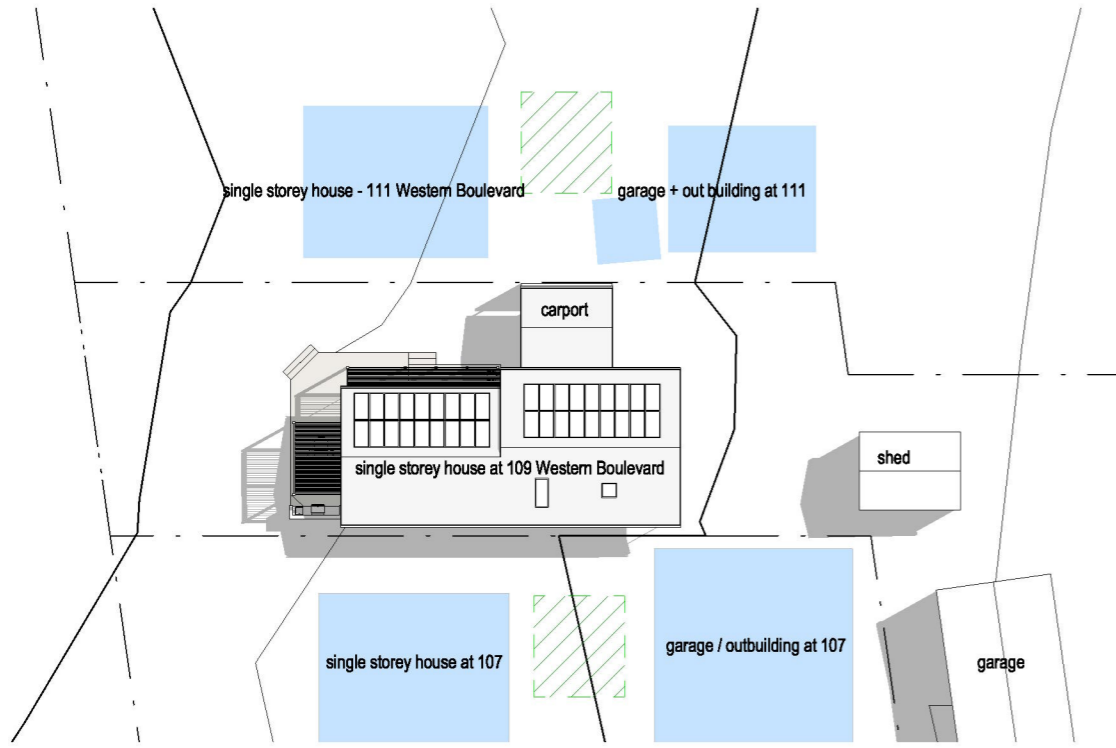
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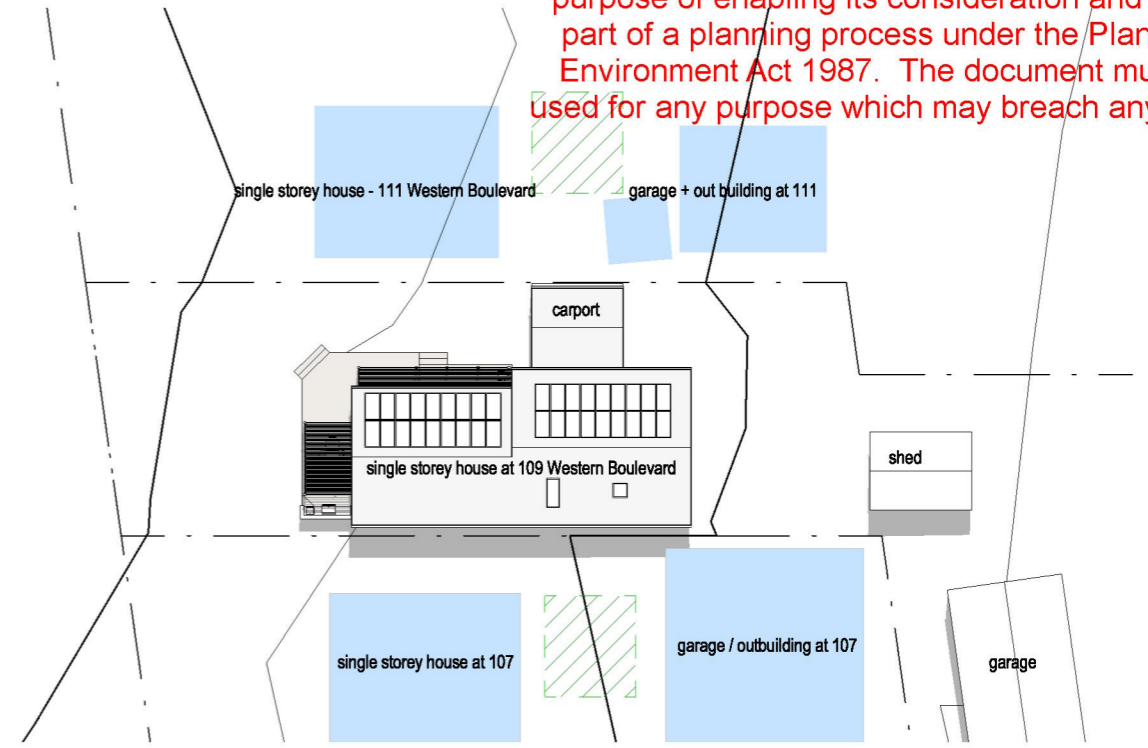
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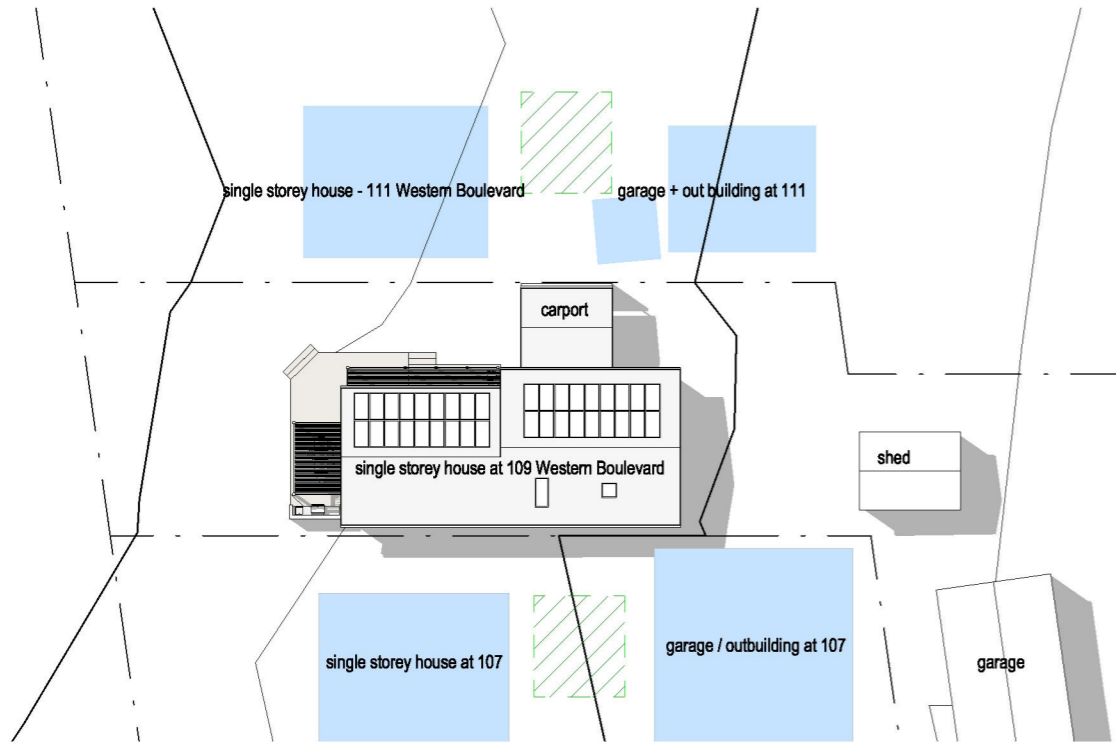
Page 19 of 22



Equinox 9am



Equinox 12pm



Equinox 3pm

Legend



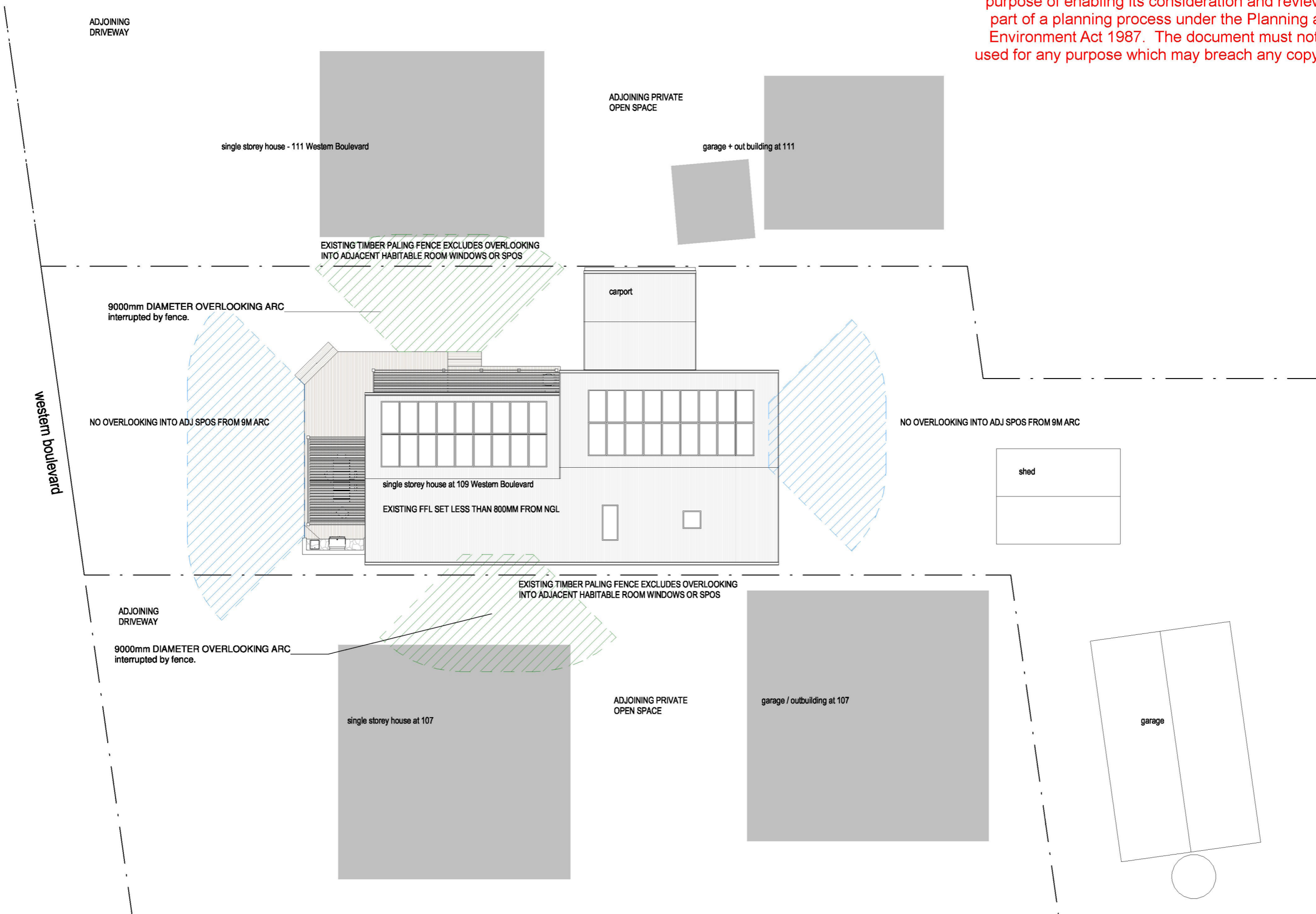
Area represents 40 sq mtrs of adjoining SPOS unaffected by shading



Area represents approx location of adjacent dwelling and outbuildings



Area of shading cast by dwelling at 109 Western Boulevard Raymond Island



Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements below (see Clause 3.8 of the Standard).

SARKING
Sarking, where used for bushfire protection shall be:
a. Non-combustible; or
b. Breather-type sarking complying with AS/NZS4200.1 and with a flammability index of not more than 5 and sarked on the outside of the frame; or
c. An insulation material conforming to the appropriate Australian Standard for that material.

SUBFLOOR SUPPORTS
This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with—
(a) a wall that conforms with Clause 7.4, except that sarking is not required where specified in Clause 7.4.1(c); or
(b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
(c) a combination of Items (a) and (b).
Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be—
(i) of non-combustible material; or
(ii) of bushfire-resisting timber (see Appendix F); or
(iii) a combination of Items (i) and (ii).
NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 7.7).
Combustible material should not be stored in the subfloor space as these may be ignited by embers and cause an additional impact to the building.

FLOORS
1. GENERAL
This Standard does not provide construction requirements for concrete slabs on the ground.
2. ELEVATED FLOORS
2.1) ENCLOSED SUBFLOOR SPACE
This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with—
(a) a wall that conforms with Clause 7.4; except that sarking is not required where specified in Clause 7.4.1(c); or
(b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
(c) a combination of Items (a) and (b).
2.2) UNENCLOSED FLOORS
Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following:
(a) Material that conform with the following:
(i) Bearers and joints shall be—
(A) non-combustible; or
(B) bushfire-resisting timber (see Appendix F); or
(C) a combination of Items (A) and (B).
(ii) Flooring shall be—
(A) non-combustible; or
(B) bushfire-resisting timber (see Appendix F); or
(C) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; or
(D) a combination of any of Items (A), (B) or (C). or
(b) A system that conforms with AS 1530.8.1.
This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

EXTERNAL WALLS
1. GENERAL
The exposed components of external walls shall be as follows:
(a) Non-combustible material including the following provided the minimum thickness is 90 mm:
(i) Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.
(ii) Precast or in situ walls of concrete or aerated concrete.
(iii) Earth wall including mud brick. or
(b) Timber logs of a species with a density of 680 kg/m3 or greater at a 12% moisture content; or a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.11); and gauge planed. or
(c) Cladding that is fixed externally to a timber-framed or a steel-framed wall that is sarked on the outside of the frame, and is—
(i) fibre-cement a minimum of 6 mm in thickness; or
(ii) steel sheeting; or
(iii) bushfire-resisting timber (see Appendix F); or
(iv) a combination of any of Items (i), (ii) or (iii). or
(d) A combination of any of Items (a), (b) or (c).
2. JOINTS
All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or built-jointed
3. VENTS AND WEEPHOLES
Except for exclusions provided in Clause 3.6, vents and weepholes in external walls shall be screened with a mesh made of corrosion-resistant steel, bronze or aluminium.

EXTERNAL GLAZED ELEMENTS, ASSEMBLIES AND DOORS
1. BUSHFIRE SHUTTERS
Where fitted, bushfire shutters shall conform with Clause 3.7 and be made from—
(a) non-combustible material; or
(b) bushfire-resisting timber (see Appendix F); or
(c) a combination of Items (a) and (b).
2. SCREENS FOR WINDOWS AND DOORS
Where fitted, screens for windows and doors shall have a mesh or perforated sheet made of corrosion-resistant steel, bronze or aluminium.
The frame supporting the mesh or perforated sheet shall be made from—
(a) metal; or
(b) bushfire-resisting timber (see Appendix F).
Screen assemblies shall be attached using metal fixings.
3. WINDOWS AND SIDELIGHTS
Windows assemblies shall—
(a) be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 7.5.1; or
(b) conform with the following:
(i) *Frame material* Window frames and window joinery shall be made from—
(A) bushfire-resisting timber (see Appendix F); or
(B) metal; or
(C) metal-reinforced uPVC and the reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
(ii) *Hardware* Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal.
C7.5.3 Components other than metal may be used provided they are shielded by the metal components of the window/door frame.
Trims or other components may use material other than metal.
(iii) *Glazing* Glazing shall be toughened glass a minimum of 5 mm thickness or glass blocks with no restriction on glazing methods.
NOTE: Where double-glazed assemblies are used, the requirements apply to the external pane of the glazed assembly only.
(iv) *Seals and weather strips* There are no specific requirements for seals and weather strips at this BAL.
(v) *Screens* Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), the glazing shall be screened externally with a screen that conforms with Clause 3.8 and Clause 7.5.2.
(vi) *In all other cases except for Clause 7.5.3(b)(v)* The openable portions of windows shall be screened internally or externally with screens that conform with Clause 3.6 and Clause 7.5.2.
4. DOORS - SIDE-HUNG EXTERNAL DOORS (INCLUDING FRENCH DOORS, PANEL FOLD AND BIFOLD DOORS)
Side-hung external doors, including French doors, panel fold and bi-fold doors, shall—
Side-hung external doors, including French doors, panel fold and bi-fold doors, shall—
(a) be completely protected by bushfire shutters that conform with Clause 3.7 and Clause 7.5.1; or
(b) be completely protected externally by screens that conform with Clause 3.6 and Clause 7.5.2; or
(c) conform with the following:
(i) *Door panel material* Material shall be—
(A) non-combustible; or
(B) solid timber, laminated timber or reconstituted timber, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or
(C) for fully framed glazed door panels, the framing shall be made from metal or from bushfire-resisting timber (see Appendix F) or uPVC.
(ii) *Door frame material* Door frame material shall be—
(A) bushfire resisting timber (see Appendix F); or
(B) metal; or
(C) metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion resistant steel.
(iii) *Hardware* Externally fitted hardware that supports the panel in its functions of opening and closing shall be metal.
Trims or other components may be use material other than metal.
(iv) *Glazing* Where doors incorporate glazing, the glazing shall be toughened glass a minimum of 6 mm in thickness.
(v) *Seals and weather strips* Weather strips, draught excluders or draught seals shall be installed.
(vi) *Screens* There is no requirement to screen the openable part of the door at this BAL.
(vii) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.
5. DOORS - SLIDING DOORS
Sliding doors shall—
(a) be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 7.5.1; or
(b) be completely protected externally by screens that conform with Clause 3.6 and Clause 7.5.2; or
(c) conform with the following:
(i) *Frame material* The material for door frames, including fully framed glazed doors, shall be—
(A) bushfire-resisting timber (see Appendix F); or
(B) metal; or
(C) metal-reinforced uPVC and the reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
(ii) *Hardware* Externally fitted hardware that supports the panel in its functions of opening and closing shall be metal.
Trims or other components may use material other than metal.
(iii) *Glazing* Where doors incorporate glazing, the glazing shall be toughened glass a minimum of 6 mm in thickness.
(iv) *Seals and weather strips* There are no specific requirements for seals and weather strips at this BAL.
(v) *Screens* There is no requirement to screen the openable part of the sliding door at this BAL.
(vi) *Sliding panels* Sliding panels shall be tight-fitting in the frames.
6. DOORS - VEHICLE ACCESS DOORS (GARAGE DOORS)
The following applies to vehicle access doors:
(a) Vehicle access doors shall be made from—
(i) non-combustible material; or
(ii) bushfire-resisting timber (see Appendix F); or
(iii) fibre-cement sheet, a minimum of 6 mm thickness; or
(iv) a combination of any of Items (i), (ii) or (iii).
(b) All vehicle access doors shall be protected with suitable weather strips, draught excluders, draught seals or brushers. Door assemblies fitted with guide tracks do not need outer edge gap protection.

6. DOORS - VEHICLE ACCESS DOORS (GARAGE DOORS) - CONTINUED
NOTES:
1 Refer to AS/NZS 4505 for door types.
2 Gaps of door edges or building elements should be protected as per Section 3.
C7.5.6(b) These guide tracks do not provide a direct passage for embers into the building.
(c) Weather strips, draught excluders, draught seals or brushers to protect edge gaps or thresholds shall be manufactured from material having a flammability index not greater than 5.
(d) If minor components within the edge mechanisms of the door are made from combustible material, they shall be shielded by non-combustible components of the door assembly.
(e) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

ROOFS (INCLUDING PENETRATIONS, EAVES, FASCIAS AND GABLES, AND GUTTERS AND DOWNPIPES)
1. GENERAL
The following applies to all types of roofs and roofing systems:
(a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.
(b) The roof/wall and roof/roof junction shall be sealed or otherwise protected in accordance with Clause 3.6.
(c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet that conforms with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.
(d) A pipe or conduit that penetrates the roof covering shall be non-combustible.
(e) Only evaporative coolers manufactured in accordance with AS/NZS 60335.2.98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need not be screened externally.
2. TILED ROOFS
Tiled roofs shall be fully sarked. The sarking shall—
(a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking; and
(b) cover the entire roof area including ridges and hips; and
(c) extend into gutters and valleys.
3. SHEET ROOFS Shall -
(a) be fully sarked in accordance with Clause 7.6.2, except that foil-backed insulation blankets may be installed over the battens; or
(b) have any gaps sealed at the fascia or wall line, hips and ridges by—
(i) a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or
(ii) mineral wool; or
(iii) other non-combustible material; or
(iv) a combination of any of Items (i), (ii) or (iii).
C7.6.3 Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.
4. VERANDA, CARPORT AND AWNING ROOF
The following applies to veranda, carport and awning roofs:
(a) A veranda, carport or awning roof forming part of the main roof space [see Figure D1(a), Appendix D] shall meet all the requirements for the main roof, as specified in Clauses 7.6.1 to 7.6.6.
(b) A veranda, carport or awning roof separated from the main roof space by an external wall [see Figures D1(b) and D1(c), Appendix D] that conforms with Clause 7.4 shall have a non-combustible roof covering and the complete support structure shall be—
(i) of non-combustible material; or
(ii) bushfire-resisting timber (see Appendix F); or
(iii) timber rafters lined on the underside with fibre-cement sheeting a minimum of 6 mm in thickness, or with material that conforms with AS 1530.8.1; or
(iv) a combination of any of Items (i), (ii) or (iii).
5. ROOF PENETRATIONS
The following applies to roof penetrations:
(a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors or the like, shall be sealed. The material used to seal the penetration shall be non-combustible.
(b) Openings in vented roof lights, roof ventilators or vent pipes shall conform with Clause 3.6 and the frame shall be made of corrosion-resistant steel, bronze or aluminium.
This requirement does not apply to a room sealed gas appliance.
NOTE: A gas appliance designed such that air for combustion does not enter from, or combustion products enter into, the room in which the appliance is located.
In the case of gas appliance flues, ember guards shall not be fitted.
NOTE: AS/NZS 5601 contains requirements for gas appliance flue systems and cowls.
Advice can be obtained from manufacturers and State and Territory gas technical regulators.
(c) All overhead glazing shall be Grade A safety glass that conforms with AS 1288.
(d) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, that conforms with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass of minimum 4 mm thickness shall be used in the outer pane of the IGU.
(e) Flashing elements of tubular skylights shall be non-combustible. However, they may be of an altemate material, provided the integrity of the roof covering is maintained by an under-flashing made of non-combustible material.
(f) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level, or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
(g) External single plane glazed elements of roof lights and skylights, where the pitch of the glazed element is 18 degrees or less to the horizontal, shall be protected with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
(h) Eaves lighting shall be adequately sealed and not compromise the performance of the element.
6. EAVES LININGS, FASCIAS AND GABLES
The following applies to eaves linings, fascias and gables:
(a) Gables shall conform with Clause 7.4.
(b) Fascias and bargeboards shall—
(i) where timber is used, be made from bushfire-resisting timber (see Appendix F); or
(ii) where made from metal, be fixed at 450 mm centres; or
(iii) be a combination of Items (i) and (ii).
(c) Eave linings shall be—
(i) fibre-cement sheet, a minimum 4.5 mm in thickness; or
(ii) bushfire-resisting timber (see Appendix F); or
(iii) a combination of Items (i) and (ii).
(d) Eave penetrations shall be protected as for roof penetrations as specified in Clause 7.6.5.
(e) Eave ventilation openings shall be fitted with ember guards in accordance with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.
(f) Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.

7. GUTTERS AND DOWNPIPES
This Standard does not provide requirements for downpipes.
If installed, gutter and valley leaf guards shall be non-combustible.
With the exception of box gutters, gutters shall be made of uPVC.
Box gutters shall be non-combustible and flashed at the junction with the roof with non-combustible material.
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VERANDAS, DECKS, STEPS AND LANDINGS
1. GENERAL
Decking may be spaced.
There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.
C7.7.1 Spaced decking is nominally spaced at 3 mm (in accordance with standard industry practice); however, due to the nature of timber decking with seasonal changes in moisture content, that spacing may range from 0 – 5 mm during service. It should be noted that research studies have shown that gaps at 5 mm spacing afford opportunity for embers to become lodged in between timbers, which may contribute to a fire. Larger gap spacing of 10 mm may preclude this from happening but such a spacing regime may not be practical for a timber deck.
2. ENCLOSED SUBFLOOR SPACES OF VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS
2.1) *Material to Enclose a Subfloor Space*
The subfloor spaces of verandas, decks, steps, ramps and landings are deemed to be 'enclosed' when—
(a) the material used to enclose the subfloor space conforms with Clause 7.4, except that sarking is not required where specified in Clause 7.4.1(c); and
(b) all openings are protected in accordance with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium.
2.2) Supports
This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.
2.3) Framing
This Standard does not provide construction requirements for the framing of verandas, pergolas, decks, ramps or landings (i.e. bearers and joists).
2.4) Decking, Stair Treads and the Trafficable Surfaces of Ramps and Landings shall be—
(a) of non-combustible material; or
(b) of bushfire-resisting timber (see Appendix F); or
(c) a combination of Items (a) and (b).
3.UNENCLOSED SUBFLOOR SPACES OF VERANDAS, DECKS, STEPS, RAMPS AND LANDINGS
3.1) Supports
Support posts, columns, stumps, stringers, piers and poles shall be—
(a) of non-combustible material; or
(b) of bushfire-resisting timber (see Appendix F); or
(c) a combination of Items (a) and (b).
3.2) Framing
Framing of verandas, decks, ramps or landings (i.e. bearers and joists) shall be—
(a) of non-combustible material; or
(b) of bushfire-resisting timber (see Appendix F); or
(c) a combination of Items (a) and (b).
3.3) Decking, Stair Treads and the Trafficable Surfaces of Ramps and Landings shall be—
(a) of non-combustible material; or
(b) of bushfire-resisting timber (see Appendix F); or
(c) a combination of Items (a) and (b).
4. BALUSTRADES, HANDRAILS OR OTHER BARRIERS
Those parts of the handrails and balustrades less than 125 mm from any glazing or any combustible wall shall be—
(a) of non-combustible material; or
(b) bushfire-resisting timber (see Appendix F); or
(c) a combination of Items (a) and (b).
Those parts of the handrails and balustrades that are 125 mm or more from the building have no requirements.
5. VERANDA POSTS
Veranda posts shall be made from—
(a) non-combustible material; or
(b) bushfire-resisting timber (see Appendix F); or
(c) a combination of any of Items (a) or (b).

WATER AND GAS SUPPLY PIPES
Above-ground, exposed water supply pipes shall be metal.
External gas pipes and fittings above ground shall be of steel or copper construction having a minimum wall thickness in accordance with gas regulations or 0.9 mm whichever is the greater. The metal pipe shall extend a minimum of 400 mm within the building and 100 mm below ground.
NOTE: Refer to State and Territory gas regulations, AS/NZS 5601.1 and AS/NZS 4645.1.
C6.8 Concern is raised for the protection of bottled gas installations. Location, shielding and venting of the gas bottles needs to be considered.

Appendix F. BUSH FIRE RESISTING SPECIES		
The following species have been tested and meet the requirements for a bush fire resisting timber species:		
Standard trade name	Botanical name	
Ash silvertop	Eucalyptus sieberi	
Blackbutt	Eucalyptus pilularis	
Gum, red, river	Eucalyptus camaldulensis	
Gum, spotted	Corymbia maculata	
Ironbark, red	Eucalyptus sideroxylon	
Kwila (Merbau)	Intsia bijuga	
Turpentine	Syncarpia glomulifera	

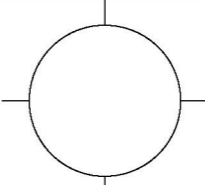
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109 Western Boulevard
Raymond Island



Drawing Title: Bushfire Attack Level 29
General Notes

Scale: @ A3
Date: 18.08.25

Drawing / Revision / Date

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