

Form 2

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	24 Rowellan Drive EAGLE POINT VIC 3878 Lot: 6 PS: 847910
The application is for a permit to:	Development of a Dwelling and Outbuilding
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
43.02-2 (DDO)	Construct a building or construct or carry out works.
The applicant for the permit is:	R G Batt & B D Tyree
The application reference number is:	5.2025.301.1

You may look at the application and any documents that support the application free of charge at:
<https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must ♦ **be made to the Responsible Authority in writing,**
 ♦ **include the reasons for the objection, and**
 ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
---	---

If you object, the Responsible Authority will tell you its decision.

April McDonald

From: Snapforms Notifications <no-reply@snapforms.com.au>
Sent: Thursday, 4 September 2025 9:26 AM
To: Planning Unit Administration
Subject: Planning Permit application
Attachments: Lot 6 Copy of Title.pdf; Section173Agreement.pdf; shed-floorplan.pdf; Lot 6 Copy of Plan.pdf; Planning_Permit_Application_2025-09-04T09-26-06_27538309_0.pdf; attachment_errors.txt

Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Applicant name: Brendon & Rachel Tyree

Email address:

Postal address :

Preferred phone number:

Street number: 24

Street name: Rowellan Drive

Town: Eagle Point

Post code: 3880

Lot number: 6

Plan number: 847910K

Other Legal Description: VOLUME 12400 FOLIO 483

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?: Yes

Will the proposal result in a breach of a registered covenant restriction or agreement?: No

Existing conditions : Vacant block of land

Description of proposal : DEVELOPMENT OF A DWELLING AND OUTBUILDING

Estimated cost of development: 676,000

Has there been a pre-application meeting: No

Primary Phone Invoice:

Invoice Secondary Phone:

Declaration: Yes

Authority Check: Yes

Notice Contact Check: Yes

Notice check 2: Yes

Privacy Statement Acknowledge: Yes

Full copy of Title: [Lot 6 Copy of Title.pdf](#), [Lot 6 Copy of Plan.pdf](#)

Covenants agreements: [Section173Agreement.pdf](#)

Plans: [shed-floorplan.pdf](#), [Lot 6 Proposed.pdf](#)



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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 3

VOLUME 12400 FOLIO 483

Security no : 124127665827A
Produced 01/09/2025 02:58 PM

LAND DESCRIPTION

Lot 6 on Plan of Subdivision 847910K.
PARENT TITLE Volume 12358 Folio 104
Created by instrument PS847910K 07/09/2022

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT AW086230L 21/09/2022
Expiry Date 31/12/2050

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AU996004N 08/11/2021

DIAGRAM LOCATION

SEE PS847910K FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 24 ROWELLAN DRIVE EAGLE POINT VIC 3878

ADMINISTRATIVE NOTICES

NIL

eCT Control
Effective from

DOCUMENT END

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Document Type	Plan
Document Identification	PS847910K
Number of Pages (excluding this cover sheet)	4
Document Assembled	01/09/2025 14:58

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PLAN OF SUBDIVISION

EDITION 1 PS 847910K

LOCATION OF LAND

PARISH: BAIRNSDALE
TOWNSHIP: _____
SECTION: A
CROWN ALLOTMENT: 51, 52 & 53 (PARTS)
CROWN PORTION: _____
TITLE REFERENCE: VOL 12358 FOL 104

LAST PLAN REFERENCE: LOT B - PS847909T

POSTAL ADDRESS: BOYD COURT,
(at time of subdivision) EAGLE POINT, 3878

MGA2020 CO-ORDINATES: E: 559 070 **ZONE:** 55
(of approx centre of land in plan) N: 5805 140

Council Name: East Gippsland Shire Council
 Council Reference Number: PS847910K
 Planning Permit Reference: 319/2019/P
 SPEAR Reference Number: S173019E

Certification

This plan is certified under section 6 of the Subdivision Act 1988

Public Open Space

A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made

Digitally signed by: Robert Pringle for East Gippsland Shire Council on 01/03/2022

Statement of Compliance issued: 31/08/2022

VESTING OF ROADS AND/OR RESERVES

NOTATIONS

IDENTIFIER	COUNCIL/BODY/PERSON
RI ROAD	EAST GIPPSLAND SHIRE COUNCIL

NOTATIONS

DEPTH LIMITATION DOES NOT APPLY

SURVEY:

This plan is based on survey.

STAGING:

This is not a staged subdivision.
 Planning Permit No. 319/2019/P

This survey has been connected to permanent marks No(s). 374 & 485

In Proclaimed Survey Area No. NIL

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	DRAINAGE	3	PS319780S	LAND IN PS319780S
E-2	DRAINAGE	2	THIS PLAN	EAST GIPPSLAND SHIRE COUNCIL

Crowthorne & Sadler Pty. Ltd.

LICENSED SURVEYORS & TOWN PLANNERS
 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875
 P. (03) 6162 6011 E. contact@rowthorneandSadler.com.au

SURVEYORS FILE REF: 19398

Digitally signed by: Michael J Sadler, Licensed Surveyor,
 Surveyor's Plan Version (3),
 17/12/2021, SPEAR Ref: S173019E

**ORIGINAL SHEET
 SIZE: A3**

SHEET 1 OF 4 SHEETS

PLAN REGISTERED

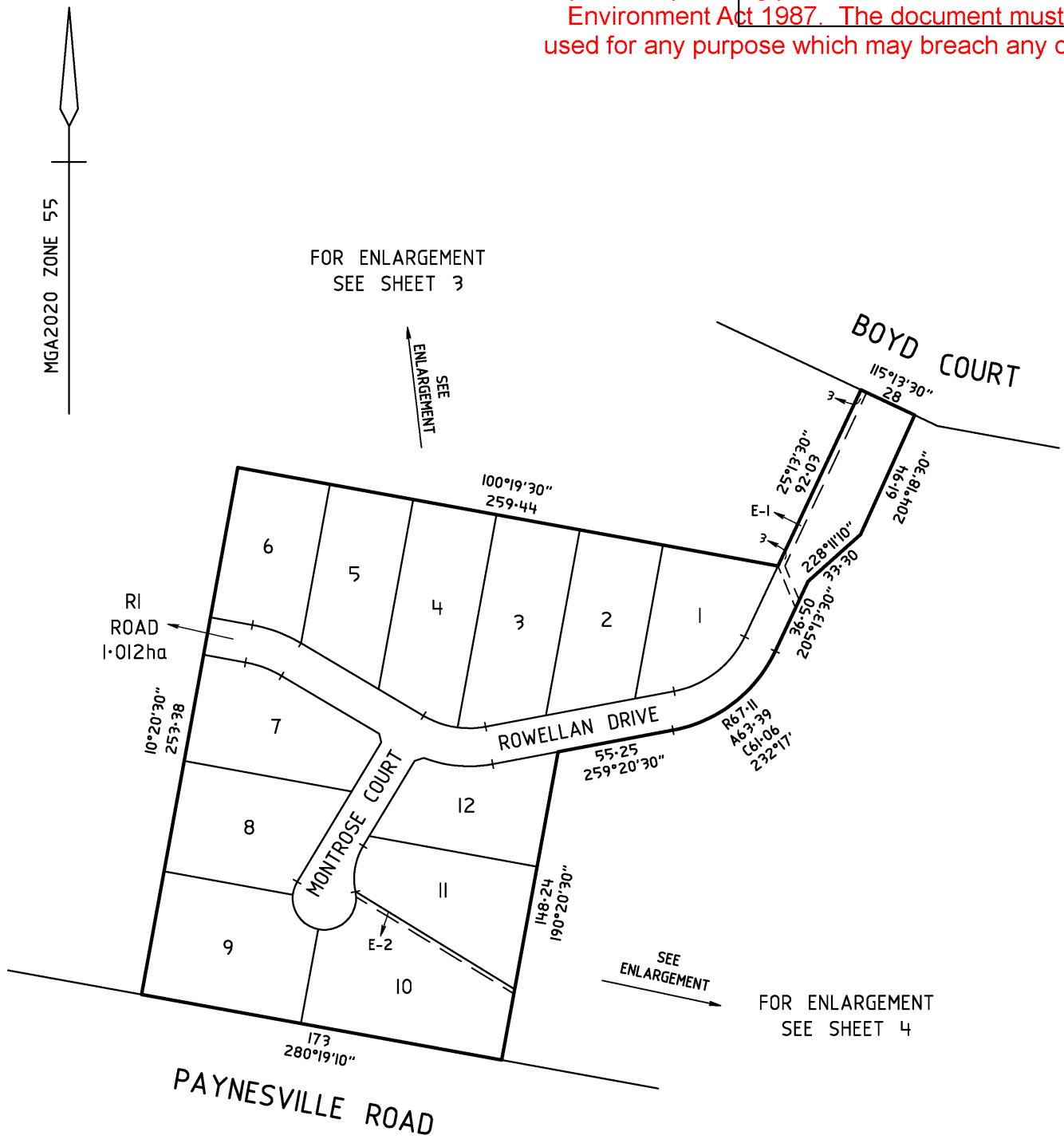
TIME: 4:52PM DATE: 7/09/2022

B. HENLEY
 Assistant Registrar

Printed 16/09/2025

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PS 847910K



FOR ENLARGEMENT SEE SHEET 4

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SURVEYORS REF
19398

SCALE
1:2000

20 0 20 40 60 80
LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

SHEET 2

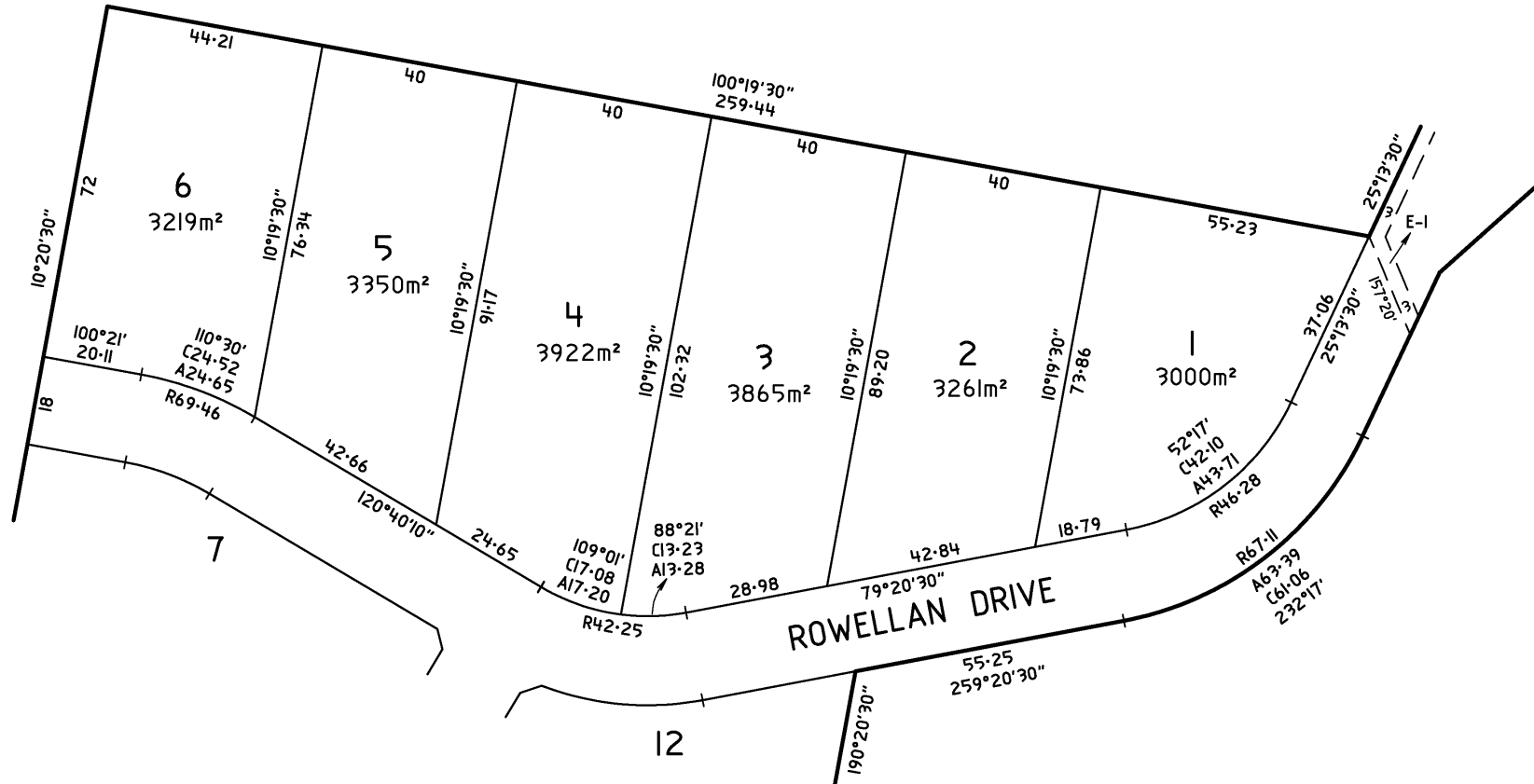
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Surveyor's Plan Version (3),
17/12/2021, SPEAR Ref: S173019E

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01/03/2022,
SPEAR Ref: S173019E

Printed 16/09/2025

PS 847910K

MGA2020 ZONE 55



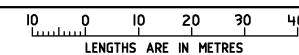
SEE SHEET 4
FOR CONTINUATION

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SURVEYORS REF
19398

SCALE
1:1000



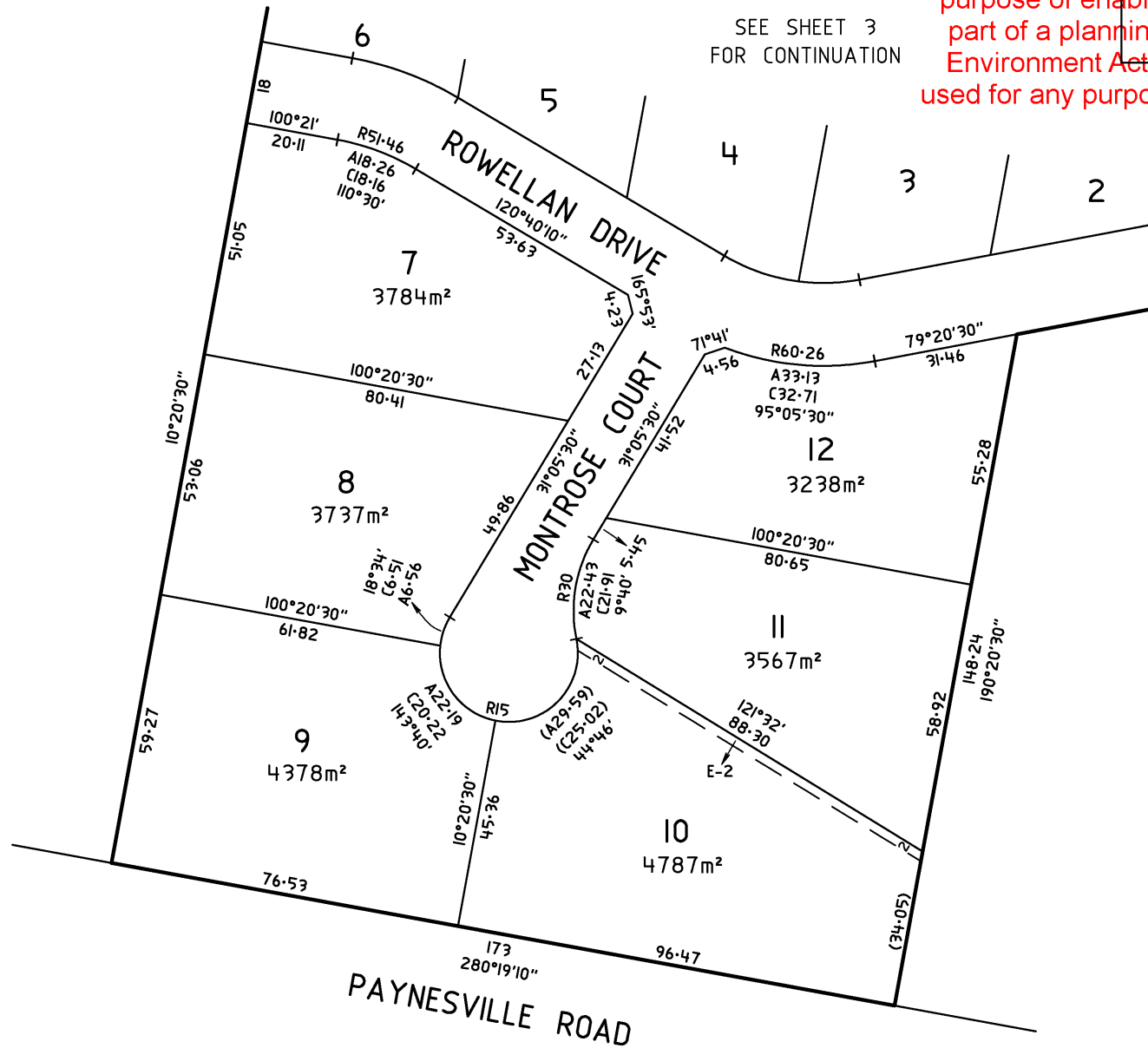
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SIZE: A3

SHEET 3

Digitally signed by: Michael J Sadler, Licensed Surveyor,
Surveyor's Plan Version (3),
17/12/2021, SPEAR Ref: S173019E

Digitally signed by:
East Gippsland Shire Council,
01/03/2022,
SPEAR Ref: S173019E

Delivered by LANDATA®, timestamp 01/09/2025 14:58 Page 4 of 4



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Produced 27/02/2024 11:13:27 AM

Status	Registered	Dealing Number	AW086230L
Date and Time Lodged	21/09/2022 11:22:04 AM		

Lodger Details

Lodger Code	21210T
Name	WARREN GRAHAM AND MURPHY PTY LTD
Address	
Lodger Box	
Phone	
Email	
Reference	

TRANSFER

Jurisdiction	VICTORIA
--------------	----------

Privacy Collection Statement

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Land Title Reference

12400/483

Transferor(s)

Name	ROWELLAN PARK PTY LTD
ACN	649171479

Estate and/or Interest being transferred

Fee Simple

Consideration

\$AUD 250000.00

Transferee(s)

Tenancy (inc. share)	Joint Tenants
Given Name(s)	LYNETTE PATRICIA
Family Name	LOWE
Address	
Street Number	6
Street Name	LYREBIRD
Street Type	AVENUE



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Electronic Instrument Statement

Locality	PAKENHAM
State	VIC
Postcode	3810
Given Name(s)	HAROLD WALTER
Family Name	LOWE
Address	
Street Number	6
Street Name	LYREBIRD
Street Type	AVENUE
Locality	PAKENHAM
State	VIC
Postcode	3810

Covenants

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restrictive covenant with the intent that the burden of the restrictive covenant runs with and binds the burdened land and the benefit of the restrictive covenant is annexed to and runs with the benefited land.

Burdened land	the Land
Benefited land	MCP: AA8553
Restrictive covenant	MCP: AA8553
Expiry Date	

Duty Transaction ID

5536927

The transferor transfers to the transferee their estate and/or interest in the land specified for the consideration, subject to any restrictive covenant set out or referred to in this transfer.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferor or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	ROWELLAN PARK PTY LTD
Signer Name	ROHAN MICHAEL HUBBARD
Signer Organisation	WARREN GRAHAM AND MURPHY PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	21 SEPTEMBER 2022



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Execution

1. The Certifier has taken reasonable steps to verify the identity of the transferee or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	LYNETTE PATRICIA LOWE HAROLD WALTER LOWE
Signer Name	ROHAN MICHAEL HUBBARD
Signer Organisation	WARREN GRAHAM AND MURPHY PTY LTD
Signer Role	AUSTRALIAN LEGAL PRACTITIONER
Execution Date	21 SEPTEMBER 2022

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.

Memorandum of common provisions Restrictive covenants in a transfer Section 91A Transfer of Land Act 1958

AA8553

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Lodged by	
Name:	Warren Graham & Murphy
Phone:	03 5152 2661
Address:	119 Main Street, Bairnsdale 3875
Reference:	RMH 1069721
Customer code:	21210T

This memorandum contains provisions which are intended for inclusion in transfers of land under the Transfer of Land Act 1958 to be subsequently lodged for registration.

Operative words including words to bind the burdened land and words of annexation must not be included.

Provisions to apply to the transfer:

Burdened land: The land hereby transferred

Benefited land: Lots 1 – 12 on Plan of Subdivision 847910K

The benefited land does not include the land being transferred.

Covenants: Definitions (if any):
Nil

Covenants:

The Transferees will not:

1. Erect, place, permit, licence or authorise or allow to remain on the said Lot more than one dwelling together with the usual outbuildings and such dwelling shall contain a floor area of not less than 150 square metres within the outer walls thereof (calculated by including the area of any carport or garage) and shall be built only of new materials (save for second hand bricks, mud bricks or rammed earth) and the roof of any dwelling or outbuildings thereon shall not be constructed of cement sheet nor of unpainted or exposed metal and the walls of any dwelling or outbuildings shall be painted so as not to permit any unpainted metal to be visible;
2. Erect, place, permit, licence or authorise on the said lot any outbuildings built with other than new materials of the same type as the main dwelling house or colour bonded material or zincalume;
3. No allotment on the development shall be occupied for residential purposes either temporarily or permanently until a Certificate of Occupancy is issued for the dwelling erected on the site unless temporary accommodation is required for the duration of the construction period of the dwelling no longer than twelve (12) months;
4. Use or permit to be used the said land or any part thereof for the purpose of the parking or storage of any

35392012A

V3

1. The provisions are to be numbered consecutively from number 1.
2. Further pages may be added but each page should be consecutively numbered.
3. To be used for the inclusion of provisions in instruments.

91ATLA

Page 1 of 2

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Land Use Victoria contact details: see www.delwp.vic.gov.au/property > Contact us

Memorandum of common provisions
Section 91A Transfer of Land Act 1958

AA8553

motor vehicles, other than vehicles for regular domestic or business use.

5. Use or permit the use of the said land or any building thereon for the purpose of commercial breeding, boarding or training kennels for cats, dogs or to keep poultry in excess of twenty birds or for pig farming.
6. Use on the land or permit to be used on the land any unregistered motor bikes, unregistered motor vehicle or other unregistered motorised recreational vehicle.

Expiry:31/12/2050

91ATLA

V3

Page 2 of 2

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Agreement under section 173 of the Planning and Environment Act 1987

31 Boyd Court, Eagle Point

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Information Table

Date of Agreement: 26 October 2021

Parties

Name	East Gippsland Shire Council
Short form name	Council
Notice details	273 Main Street, Bairnsdale, Victoria
Name	Trevor Andrew Bird
Short form name	Owner
Notice details	31 Boyd Court, Eagle Point, Victoria
Name	Karen Anne Bird
Short form name	Owner
Notice details	31 Boyd Court, Eagle Point, Victoria

Background

- A. Council is the responsible authority pursuant to the Act for the Planning Scheme.
- B. The Subject Land is subject to the Planning Scheme.
- C. The Owner is the registered proprietor of the Subject Land.
- D. Council has granted the Planning Permit authorising the 13 lot subdivision adjoining a road with the Road Zone – Category 1 under the Scheme. This Agreement is to give effect to condition 4 of the Planning Permit.
- E. The parties enter into this Agreement to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

Agreed Terms

1. Defined Terms

In this Agreement:

Act means the *Planning and Environment Act 1987*.

Agreement means this agreement and any agreement executed by the parties expressed to be supplemental to this Agreement.

Current Address for Service

for Council means the address shown on page 2 of this Agreement, or any other address listed on Council's website; and

for the Owner means the address shown on page 2 of this Agreement or any other address provided by the Owner to Council for any purpose relating to the Subject Land.

Current Email Address for Service

for Council means feedback@egipps.vic.gov.au, or any other principal office email address listed on Council's website; and

for the Owner means any email address provided by the Owner to Council for the express purpose of electronic communication regarding this Agreement or any other email address provided by the Owner to Council for any purpose relating to the Subject Land.

Dependent Persons Unit has the same meaning as in the Planning Scheme.

Dwelling has the same meaning as in the Planning Scheme but not include an outbuilding associated with a Dwelling or a Dependent Persons Unit.

Endorsed Plan means the plan endorsed with the stamp of Council from time to time as the plan which forms part of the Planning Permit. A copy of the Endorsed Plan is available for inspection at Council offices during normal business hours upon giving the Council reasonable notice.

Existing Vegetation means any vegetation within 8 metres of the southern boundary of the Subject Land.

Lot means the land contained in a proposed lot shown on the Endorsed Plan.

Lots 1-12 means the land contained in lots 1 to 12 inclusive as shown on the Endorsed Plan and any reference to the Lots 1-12 in this Agreement includes a reference to any lot created by the subdivision of the Lots 1-12 or any part of it.

Lot 13 means the land contained in lot 13 as shown on the Endorsed Plan and any reference to the Lot 13 in this Agreement includes a reference to any lot created by the subdivision of the Lot 13 or any part of it.

Notice means any notice, demand, consent, approval or communication under this agreement.

Owner means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple of the Subject Land or any part of the Subject Land and includes any Mortgagee-in-possession.

Party or parties means the Owner and Council but does not include a person who has transferred or otherwise disposed of all of their interests in the Subject Land.

Planning Permit means planning permit no. 319/2019/P/A, as amended from time to time, issued by Council on 4 January 2021. A copy of the Planning Permit is available for inspection at Council offices during normal business hours upon giving Council reasonable notice.

Planning Scheme means the East Gippsland Planning Scheme.

Statement of Compliance means a statement of compliance issued by Council under the *Subdivision Act 1988*.

Subject Land means the land situated at 31 Boyd Court, Eagle Point being the land contained in certificate of title volume 10096 folio 142 and any reference to the Subject Land in this Agreement includes a reference to any lot created by the subdivision of the Subject Land or any part of it.

2. Interpretation

In this Agreement unless the context admits otherwise:

- 2.1 The singular includes the plural and vice versa.
- 2.2 A reference to a gender includes a reference to each other gender.
- 2.3 A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.
- 2.4 If a Party consists of more than one person this Agreement binds them jointly and each of them severally.
- 2.5 A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
- 2.6 A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.7 The introductory clauses to this Agreement form part of this Agreement.
- 2.8 The Owner's obligations take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land.
- 2.9 Any reference to a clause, page, condition, attachment or term is a reference to a clause, page, conditions, attachment or term of this Agreement.

3. Section 173 Agreement

3.1 Purposes

The Parties acknowledge and agree that the purposes of this Agreement are to:

- 3.1.1 to prevent the further subdivision of Lots 1-12;
- 3.1.2 to ensure that the minimum lot size of any lot that might be created by the further subdivision of Lot 13 is not less than 4000 square metres;
- 3.1.3 give effect to the terms of the Planning Permit; and
- 3.1.4 achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

3.2 Reasons for agreement

The Parties acknowledge and agree that this Agreement has been entered into for the following reasons:

- 3.2.1 Council would not have approved the Planning Permit without the condition requiring this Agreement; and
- 3.2.2 the Owner has elected to enter into this Agreement in order to take the benefit of the Planning Permit.

4. Agreement required

The Parties agree that this Agreement will continue to be required unless Council confirms in writing that it is no longer required.

5. Owner's Specific Obligations

The Owner covenants and agrees that:

5.1 Access

- 5.1.1 a Lot must not have a direct vehicle access to or from Paynesville Road;

5.2 Vegetation

- 5.2.1 it must retain and maintain the Existing Vegetation to the satisfaction of Council;

5.3 Subdivision

- 5.3.1 regardless of any rights conferred by the Planning Scheme, Lots 1-12 must not be subdivided so as to create an additional Lot;

5.3.2 any lot created by any further subdivision of Lot 13 must not have an area that is less than 4,000 square metres; and

5.4 No more than one dwelling

5.4.1 no more than one Dwelling may be constructed on each Lot.

6. Further Obligations of the Owner

6.1 Notice and Registration

The Owner further covenants and agrees that the Owner will bring this Agreement to the attention of all prospective purchasers, lessees, mortgagees, chargees, transferees and assigns.

6.2 Further actions

The Owner:

6.2.1 must do all things necessary to give effect to this Agreement;

6.2.2 consents to Council applying to the Registrar of Titles to record the Agreement on the Certificate of Title to the Subject Land in accordance with section 181 of the Act; and

6.2.3 agrees to do all things necessary to enable Council to do so, including:

- (a) signing any further agreement, acknowledgement or document; and
- (b) obtaining all necessary consents to enable the recording to be made.

6.3 Council's Costs to be Paid

The Owner must pay to Council, within 14 days after a written request for payment, Council's costs and expenses (including legal expenses) relating to this Agreement, including:

6.3.1 preparing, drafting, finalising, signing, recording and enforcing this Agreement;

6.3.2 preparing, drafting, finalising and recording any amendment to this Agreement; and

6.3.3 preparing, drafting, finalising and recording any document to give effect to the ending of this Agreement.

6.4 Interest for overdue money

6.4.1 The Owner must pay to Council interest in accordance with section 120 of the *Local Government Act 2020* on any amount due under this Agreement that is not paid by the due date.

6.4.2 If interest is owing, Council will apply any payment made to interest and any balance of the payment to the principal amount.

7. Agreement under section 173 of the Act

Without limiting or restricting the respective powers to enter into this Agreement, and insofar as it can be so treated, this Agreement is made as a deed in accordance with section 173 of the Act.

8. Owner's Warranties

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

9. Successors in Title

Without limiting the operation or effect that this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

9.1 give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and

9.2 execute a deed agreeing to be bound by the terms of this Agreement.

10. General

10.1 Notices

A notice or other communication required or permitted to be served by a Party on another Party must be in writing and may be served:

10.1.1 personally on the other Party;

10.1.2 by leaving it at the Party's Current Address for Service;

10.1.3 by posting it by prepaid post addressed to that Party at the Party's Current Address for Service;

10.1.4 by facsimile to the Party's Current Number for Service; or

10.1.5 by email to the Party's Current Email Address for Service.

10.2 Service of Notice

A notice or other communication is deemed served:

- 10.2.1 if delivered, on the next following business day;
- 10.2.2 if posted, on the expiration of 7 business days after the date of posting;
- 10.2.3 if sent by email, the day on which it is sent.

10.3 No Waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

10.4 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

10.5 No fettering of Council's powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

10.6 Inspection of documents

A copy of any planning permit, document or plan referred to in this Agreement is available for inspection at Council's offices during normal business hours upon giving Council reasonable notice.

10.7 Governing law

This Agreement is governed by and will be construed in accordance with the laws of the State of Victoria.

11. Commencement of Agreement

This Agreement commences on the date specified on page one or if no date is specified on page one, the date the Planning Permit was issued.

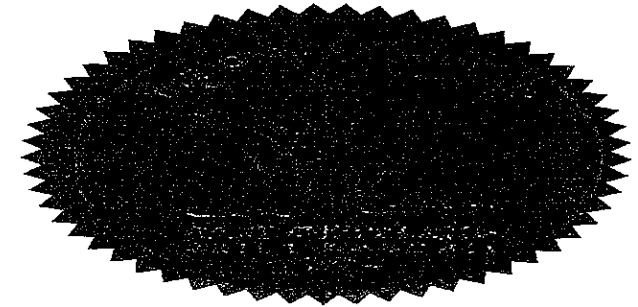
SIGNED, SEALED AND DELIVERED as an agreement under Division 2 of Part 9 of the Act and as a Deed between the Parties.

The Common Seal of the East Gippsland Shire Council was hereunto affixed on the 26 day of October 2021 in the presence of:

.....

Chief Executive

Witness



Signed Sealed and Delivered by Trevor Andrew Bird in the presence of:

.....

 Witness

)
)

Signed Sealed and Delivered by Karen Anne Bird in the presence of:

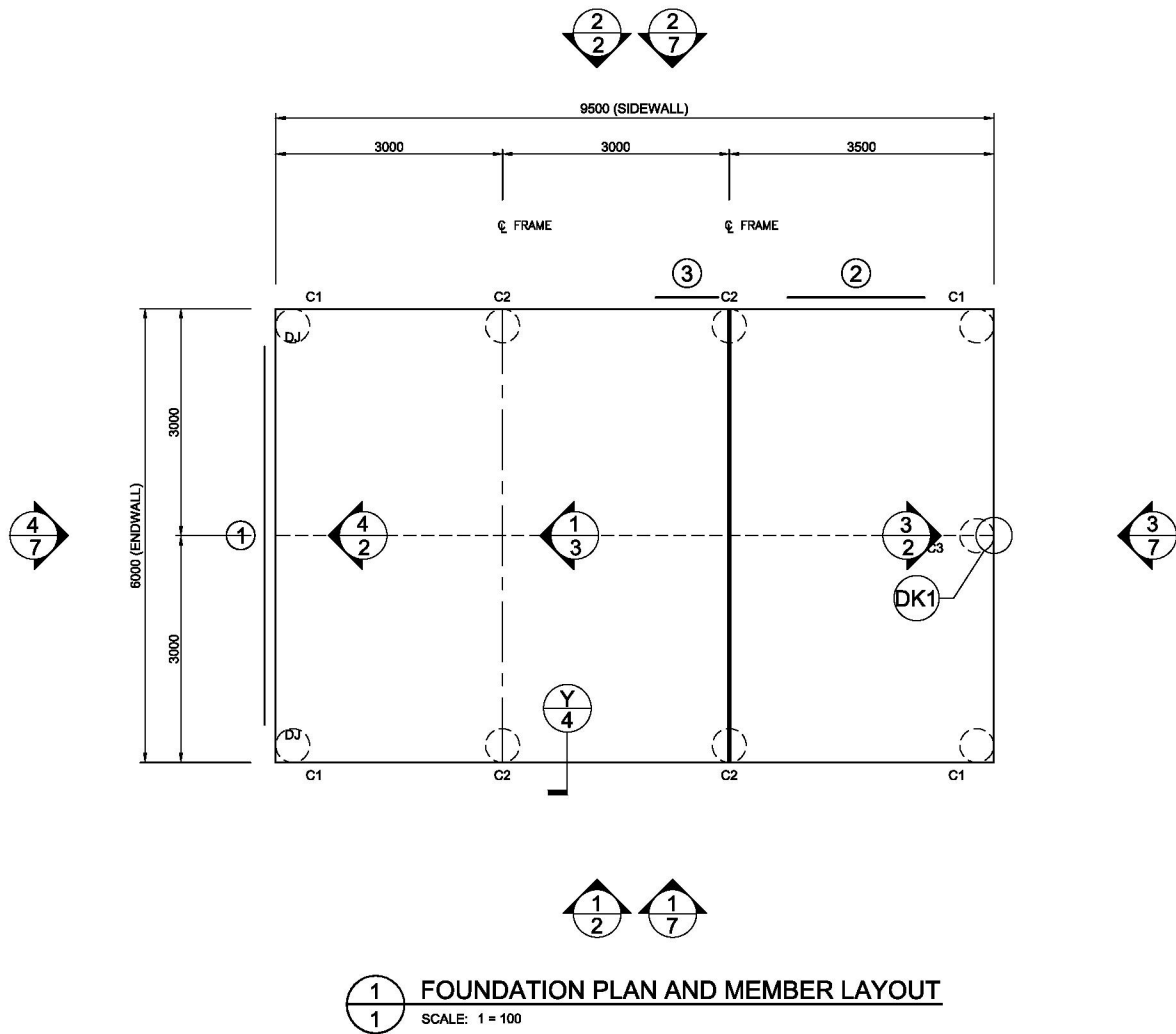
.....

 Witness

)
)

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IF IN DOUBT, ASK.



1 FOUNDATION PLAN AND MEMBER LAYOUT
SCALE: 1 = 100

FOR INTERNAL WALLS USE MULLION SPECIFICATIONS
DJ - INDICATES DOOR JAMBS AT THESE LOCATIONS. REFER TO SHEET #4 ON THE DOOR SCHEDULE FOR SIZES

MEMBER LEGEND

C1	C15019
C2	C15024
C3	C15015

1 OF 7

STEEL BUILDING BY
FAIR DINKUM BUILDS RIVIERA BARNS AND GARAGES
(CONTACT)
03 5153 1755
FOR
AT
24 ROWELLAN DRIVE
EAGLE POINT

FAIR DINKUM BUILDS

NORTHERN CONSULTING engineers
Civil & Structural Engineers
50 Punari Street
Currajong, Qld 4812
Fax: 07 4725 5850
Email: design@nceng.com.au
ABN 341 008 173 56
Registered Chartered Professional Engineer
Registered Professional Engineer (Civil & Structural) QLD
Registered Certifying Engineer (Structural) N.T.
Registered Engineer - (Civil) VIC
Registered Engineer - (Civil) TAS

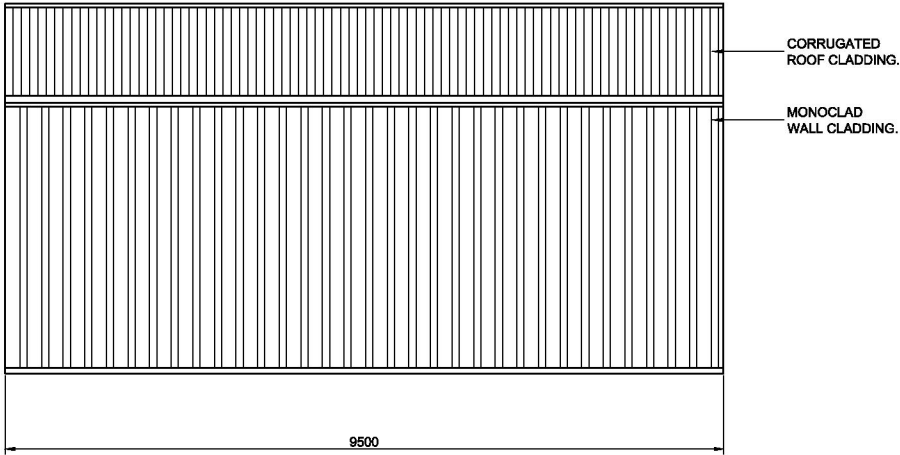
Mr Timothy Roy Messer BE MIEAust RPEQ
Signature
Date 27/8/2025
Registered on the NPER in the areas of practice
of Civil & Structural National Professional
Engineers Register

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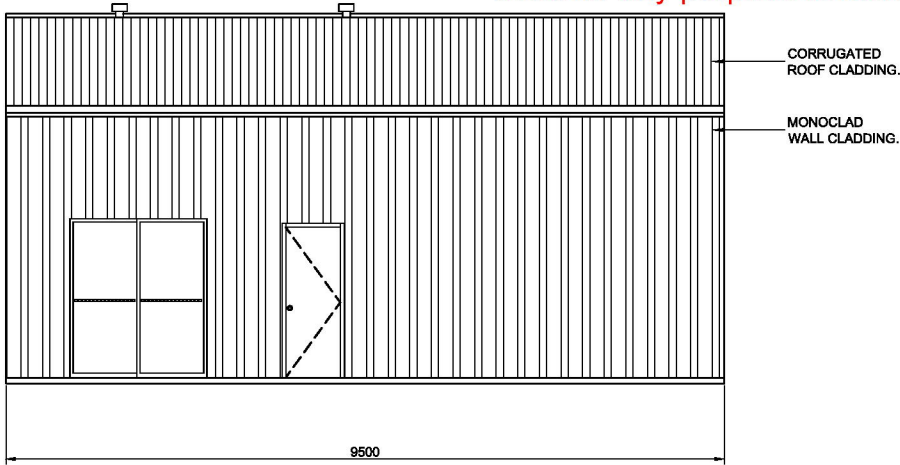
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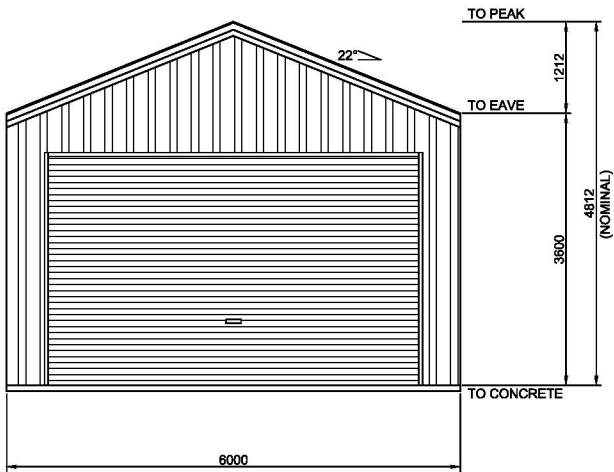
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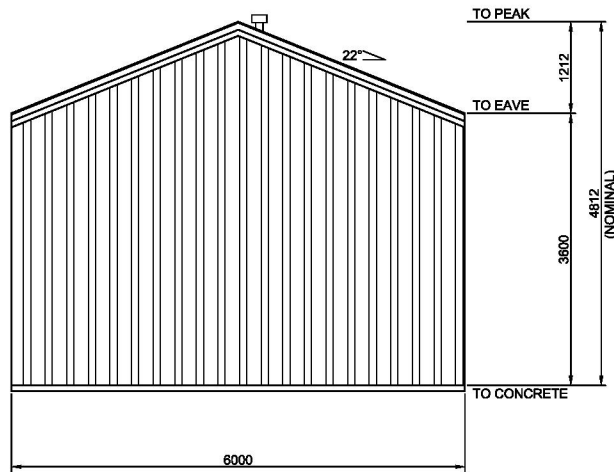
1
7 SIDEWALL EXTERIOR ELEVATION
SCALE: 1 = 100



2
7 SIDEWALL EXTERIOR ELEVATION
SCALE: 1 = 100



4
7 ENDWALL EXTERIOR ELEVATION
SCALE: 1 = 100



3
7 ENDWALL EXTERIOR ELEVATION
SCALE: 1 = 100

BUILDING COLOURS	
WALL	WINDSPRAY
ROOF	MONUMENT
ROLLER DOOR	MONUMENT
P.A. DOOR	WINDSPRAY
GLASS SLIDING DOOR	MONUMENT
ROOF VENT	MONUMENT
DOWNPIPE	WINDSPRAY
GUTTER	MONUMENT
CORNER FLASHING	WINDSPRAY
BARGE FLASHING	MONUMENT
OPENING FLASHING	WINDSPRAY

7 OF 7

SHEET

JOB NO.
FD8D101439

DATE
27/8/2025

CHECKED
TM

DRAWN
FDB

STEEL BUILDING BY
FAIR DINKUM BUILDS RIVIERA BARNS AND GARAGES
(CONTACT)
FOR
AT
24 ROWELLAN DRIVE
EAGLE POINT

FAIR DINKUM BUILDS

SHED SAFE

NORTHERN CONSULTING

engineers

Civil & Structural Engineers
50 Punari Street
Currajong, Qld 4812
Fax: 07 4725 5850
Email: design@nceng.com.au
ABN 341 008 173 56

Registered Chartered Professional Engineer
Registered Professional Engineer (Civil & Structural) QLD
Registered Certifying Engineer (Structural) N.T.
Registered Engineer - (Civil) VIC
Registered Engineer - (Civil) TAS

Regn. No. 2558980
Regn. No. 9985
Regn. No. 116373ES
Regn. No. PE0002216
Regn. No. CC5648M

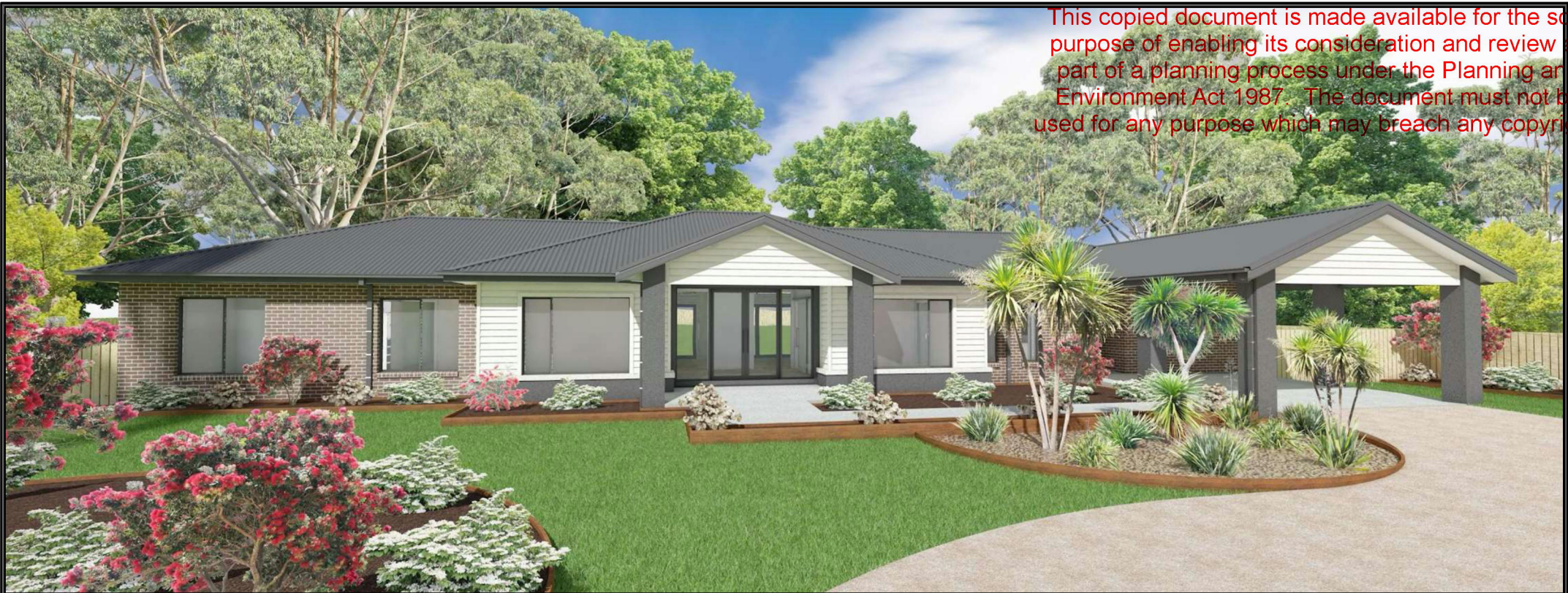
Mr Timothy Roy Messer BE MIEAust RPEQ

Signature

Date 27/8/2025

Registered on the NPER in the areas of practice
of Civil & Structural National Professional
Engineers Register

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PROPOSED RESIDENCE FOR

No.24 (LOT 6) ROWELLAN DRIVE EAGLE POINT

RAWSON 240 (mod.)

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**-Photo rendering is for
Illustrative purposes only, Refer to
sales consultant for inclusions list**

COLMAC HOMES

"Our Family Business, Building your Family Home"

CLIENT INITIALS:

BUILDER INITIALS:

DATE:

PHONE: (03) 5143 0399 FAX: (03) 5143 0933
No.3-5 (LOT 13) NORTHLAND DRIVE, SALE 3850
www.colmachomes.com.au

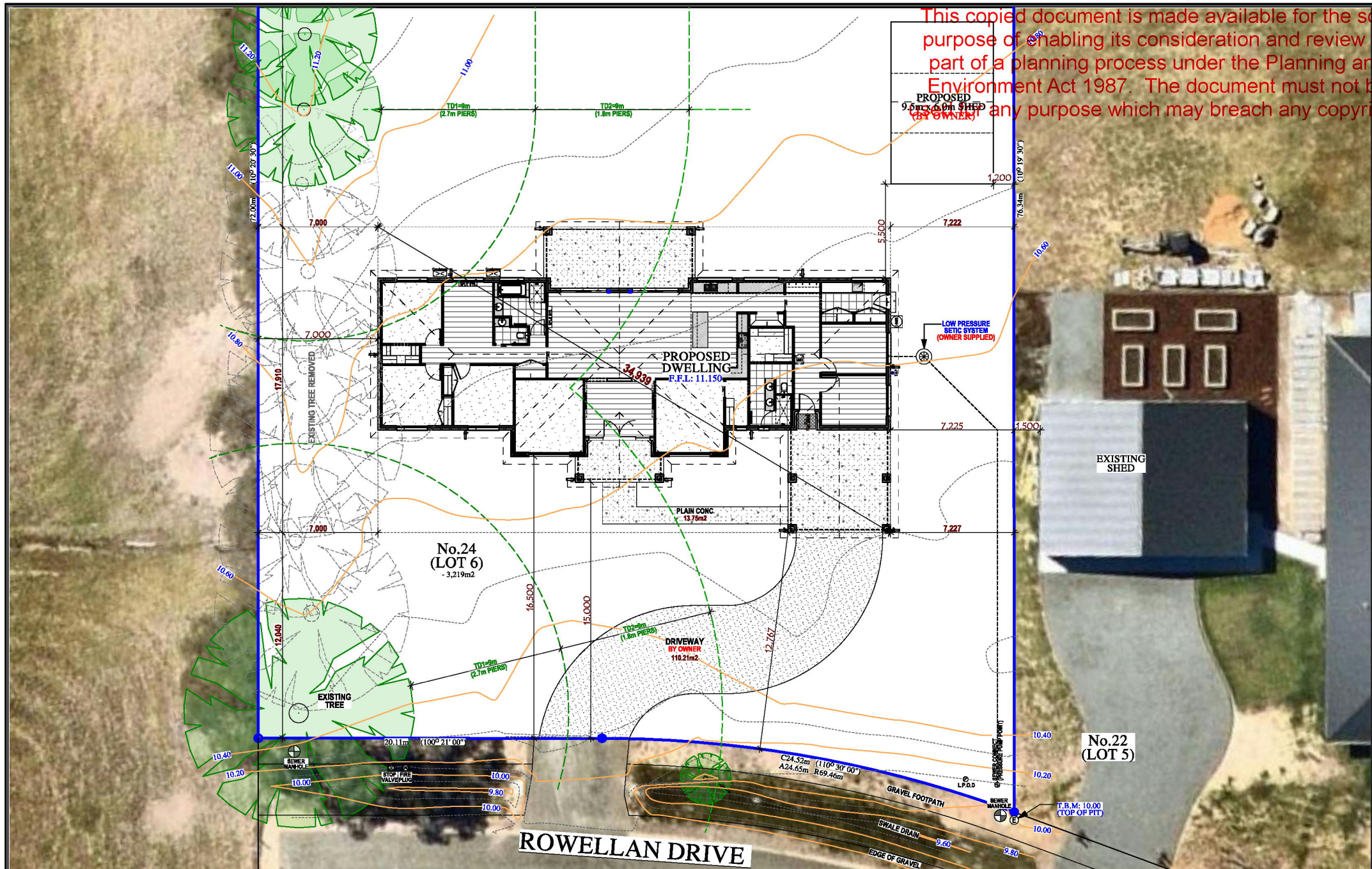
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JOB NO.:	DRAWN:	DATE:	SHEET:
TYRE-FS01	D.M.P.	19/08/25	0

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Page 28 of 38

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PROPOSED RESIDENCE FOR
No. 24 (LOT 6) ROWELLAN DRIVE
EAGLE POINT

COLMAC HOMES
"Our Family Business, Building your Family Home"

DB-U 24245

RAWSON 240 (mod.)			
1. DWELLING:	277.32 m²	29.85 sq	
2. CARPORT:	37.14 m²	4.00 sq	
3. ALFRESCO:	31.43 m²	3.38 sq	
4. PORCH:	11.29 m²	1.22 sq	
5. TOTAL:	357.18 m²	38.45 sq	
# LOT SIZE:	- 3,219m²		

LEGEND	
DP	DENOTES COLORBOND DOWNPIPE LOCATION
DP	DENOTES 1000 PVC DOWNPIPE LOCATION
DP	DENOTES DOUBLE GLAZED WINDOWS & DOORS
DP	DENOTES HIGH PERFORMANCE LOWE DOUBLE GLAZED WINDOWS & DOORS
DP	DENOTES REINFORCEMENT TO SELECTED VIC. BATH & SHOWER WALLS TO COMPLY WITH NCC 4.2. REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS
DP	DENOTES VIC CIRCULATION SPACE (200L x 800W) CIRCULATION SPACE TO COMPLY WITH NCC 4.2

CLIENT INITIALS: _____

BUILDER INITIALS: _____

DATE: _____

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SITE PLAN

PHONE: (03) 5143 0399 FAX: (03) 5143 0933

No. 3-5 (LOT 13) NORTHLAND DRIVE, SALE, VICTORIA 3880

DATE: 19/08/25

1:200 AT A3

DRAWN: D.M.P.

JOB No.: _____

SHEET: _____

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PROPOSED RESIDENCE FOR

No.24 (LOT 6) ROWELLAN DRIVE
EAGLE POINT

COLMAC HOMES

"Our Family Business, Building your Family Home"

DB-U 22425

RAWSON 240 (mod.)

1. DWELLING:	277.32 m ²	29.85 sq
2. CARPORT:	37.14 m ²	4.00 sq
3. ALFRESCO:	31.43 m ²	3.38 sq
4. PORCH:	11.29 m ²	1.22 sq
5. TOTAL:	357.18 m ²	38.45 sq
#. LOT SIZE:	- 3,219m ²	

LEGEND

DP	DEMOTES COLORBOND DOWNPIPE LOCATION
DP	DEMOTES 1000 PVC DOWNPIPE LOCATION
(*)	DEMOTES DOUBLE GLAZED WINDOWS & DOORS
(*)	DEMOTES HIGH PERFORMANCE LOW E DOUBLE GLAZED WINDOWS & DOORS
REINFORCEMENT	DEMOTES REINFORCEMENT TO SELECTED VIC. BATH & SHOWER WALLS TO COMPLY WITH NCC 4.2. REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS
REINFORCEMENT	DEMOTES VIC CIRCULATION SPACE (200L x 800W) CIRCULATION SPACE TO COMPLY WITH NCC 4.2

CLIENT INITIALS:

BUILDER INITIALS:

DATE:



LOCATION PLAN

PHONE: (03) 5143 0388 FAX: (03) 5143 0933

No.3-5 (LOT 13) NORTHLAND DRIVE,
SALE, VICTORIA 3880

DATE: 19/08/25

1:500 AT A3

DRAWN:

D.M.P.

JOB No.:

2

Printed 16/09/2025

Page 30 of 38

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NOTES :

ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY THEY ARE DISCOVERED.

FIGURED DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.

FOUNDATION SOIL CLASSIFICATION HAS BEEN ADOPTED AS CLASS 'P'. HOWEVER THIS COMPANY TAKES NO RESPONSIBILITY FOR THIS ASSUMPTION. PLEASE REFER TO THE ENGINEERS SOIL INVESTIGATION REPORT AND ANY ASSOCIATED SYSTEMS.

ALL WATER PLUMBING & SEWER CONNECTIONS TO WATER BOARD REQUIREMENTS. WATER SAVING MEASURES TO ARCHIVE A 5 STAR PLUMBING RATING, INCLUDING A FLOW RATE RANGE OF 7.5 TO 9.0 LITRES/MIN TO SHOWERHEADS, BASIN TAPS, KITCHEN SINK AND LAUNDRY TROUGH.

STORMWATER TO BE DISCHARGED CLEAR OF BUILDING VIA 100mm PVC PIPE AS PER LOCAL COUNCIL REQUIREMENTS. SOLAR WATER HEATING SYSTEM MUST HAVE AN ENERGY PERFORMANCE OF 60% SOLAR GAIN. IF RAINWATER TANK FOR SANITARY FLUSHING IS INSTALLED THEN IT MUST HAVE A MIN. CAPACITY OF 2000 LITRES, HAVE A CATCHMENT AREA FROM ROOF OF 50m² AND MUST BE CONNECTED TO ALL FLASHING SYSTEMS.

WINDOWS ARE 'DYNAMIC' ALUMINIUM SLIDING U.N.O. SLIDING DOORS ARE ALUMINIUM, FLY SCREENS TO ALL OPENABLE WINDOWS & SASH LOCKS ALL GLAZING TO AS1288 - CAT.2. ALL GLAZING BELOW 750mm ABOVE FLOOR LEVEL MUST BE GRADE 1 SAFETY GLASS. GLAZING TO BATHROOM TO BE OBSCURE SAFETY GLASS.

ALL NEW DOOR HARDWARE SHALL COMPLY WITH AS1428.1 & LOCATED AT A HEIGHT BETWEEN 900-1100mm ABOVE FLOOR LEVEL TOILET DOORS TO BE FITTED WITH LIFT OFF HINGES WHERE PAN IS 1200 WITHIN DOOR.

SMOKE DETECTORS TO BE HARD WIRED WITH BATTERY BACK UP AND TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND AS3786. BATTERY POWERED IN THE CASE OF EXTENSIONS ETC.

SELF CLOSING EXHAUST FANS THROUGHOUT, ALL MECHANICAL VENTILATION DUCTED TO NEAREST EAVE OR RIDGE LINE

ALL ROOFING VENTILATION TO MEET CURRENT NCC REQUIREMENTS AS PER SECTION 10.8.3.

ALL NEW CONSTRUCTION SHALL COMPLY WITH CURRENT INSULATION REQUIREMENTS. TIMBER FRAMING SHALL COMPLY WITH THE CURRENT TIMBER FRAMING MANUAL & AS1684 ALL TIMBER FRAMING & TRUSSES TO BE 'FRAMESURE H2LSOP TERMITE TREATED BLUE 'MGP10 PINE' TO SATISFY THE REQUIREMENTS OF AS3660.1 TERMITE MANAGEMENT.

ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH CURRENT S.A.A. CODES.

BUSHFIRE ATTACK LEVEL (B.A.L.): 12.5

CONSTRUCTION REQUIREMENTS TO A MIN BAL 12.5 UNDER AS3959 -VIC (CURRENT)
CONSTRUCTION IN ACCORDANCE WITH SECTION 3 AND 5 OF AS3959 -VIC (CURRENT)
DESIGN & CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

MATERIAL QUANTITIES

FLOORS

CARPET	84.96 m2
TILES	26.75 m2
VINYL PLANK	134.55 m2

TOTAL EXTERNAL CONCRETE

PLAIN CONC.	91.85 m2
-------------	----------

WALLS / CEILING:

10mm PLASTERBOARD:	- 1,160m2
--------------------	-----------

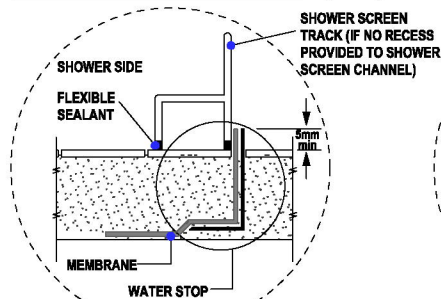
ROOF QUANTITY

ROOF PITCH:	22.50°
ROOF SHEETING: (m2)	433.44
RIDGE:	- 41Lm
HIP:	- 45Lm
VALLEY:	- 45Lm
FASCIA / GUTTER:	- 79Lm
DOWNPIPES: (COLORBOND)	- 12

AREA ANALYSIS :

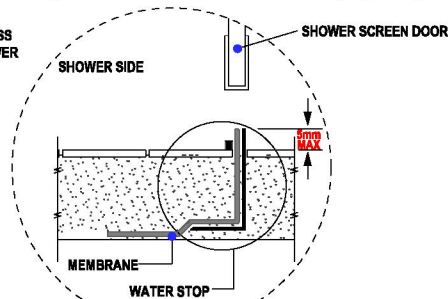
1. DWELLING:	277.32 m2	29.85 sq
2. CARPORT:	37.14 m2	4.00 sq
3. ALFRESCO:	31.43 m2	3.38 sq
4. PORCH:	11.29 m2	1.22 sq
5. TOTAL:	357.18 m2	38.45 sq
#. SHED (BY OWNER):	57.00 m2	6.14 sq
#. LOT PAVEMENT: (OPEN)	13.75 m2	APPROX
#. LOT SIZE:	- 3,219m2	
COMPLIANCE STANDARDS		
#. SITE COVERAGE:	- N/A	
#. PERMEABLE SURFACE:	- N/A	
#. STREET SETBACK:	- 16.50m	
#. BUILDING HEIGHT:	- 5.52m	
#. CAR PARKING:	- 4	

WATER-STOP FOR ENCLOSED SHOWER - (NTS)



(MUST COMPLY WITH MINIMUM REQUIREMENTS FOR THE TREATMENT OF A SHOWER AREA AS SPECIFIED IN AS 3740)

WATER-STOP FOR STEP FREE SHOWER - (NTS)



(MUST COMPLY WITH MINIMUM REQUIREMENTS FOR THE TREATMENT OF A SHOWER AREA AS SPECIFIED IN AS 3740)

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- CONCRETE SLAB ON GROUND WITH BORED PIERS
- R2.0 BATTS (CSR BRADFORD) BETWEEN STUDS (DWELLING ONLY) WITH SISALATION TO ALL EXTERNAL WALLS ONLY, R2.0 BATTS TO GARAGE INTERNAL WALL.
- R4.1 BATTS (CSR BRADFORD) TO CEILING (DWELLING ONLY) WITH 420W - R2.0 BATTS TO PERIMETER OF DWELLING (ABOVE EXTERNAL WALLS ONLY) INCLUDE SARKING UNDER ROOF LINE, 300mm WIDE WOOL TO HIPS VALLEYS & RIDGES
- R1.1 'FOAMEX' STYROBOARD EPS (50mm THICK) UNDER SLAB INSULATION TO DWELLING
- SEAL ALL GAPS AND CRACKS

WINDOWS:

- ALL GLAZING TO BE DYNAMIC ALUMINIUM FRAMED DOUBLE GLAZED WITH FLYSCREENS

APPLIANCES:

- FISHER & PAYKEL 900mm INDUCTION COOKTOP ON BENCH
- FISHER & PAYKEL 900mm BUILT-IN ELECTRIC OVEN
- FISHER & PAYKEL 900mm CONCEALED RANGEHOOD
- FISHER & PAYKEL 600mm DISHWASHER

HEATING / COOLING:

- 1x 8.0kw 'RINNAI T-SERIES' INVERTER SPLIT SYSTEM AIR CONDITIONER TO FAMILY ROOM
- 1x 5.0kw 'RINNAI T-SERIES' INVERTER SPLIT SYSTEM AIR CONDITIONER TO ACTIVITY ROOM

HOT WATER SERVICE:

- 'RINNAI' EVACUATED TUBE SOLAR ELECTRIC (SYSTEM 59-SL)
- HOT WATER SERVICE (30 EVAC. TUBES) WITH 315L TANK

SOLAR POWER SYSTEM:

- SOLAR 'SUNGROW' 3kw INVERTOR WITH 9 x 430watt TW SOLAR PANELS (3.87kw TOTAL)

SEPTIC SYSTEM:

- SEPTIC GRAVITY FED TO PRESSURE SEWER TANK PUMPING UNIT (OWNER SUPPLIED - COLMAC INSTALL)
- SEWAGE DISCHARGE TO BOUNDARY KIT (CONNECT TO SEWER MAIN - BY OWNER)

WIND TERRAIN: - N1 IN ACCORDANCE WITH AS4055

WINDOW SPECS: (DYNAMIC WINDOWS)

WINDOW TYPE:	FRAME TYPE:	GLAZING TYPE:	U-VALUE	SHGC
SLIDING WINDOW	ALUMINIUM	<u>DOUBLE GLAZED</u>	4.09	0.56
AWNING WINDOW	ALUMINIUM	<u>DOUBLE GLAZED</u>	4.18	0.58
FIXED WINDOW	ALUMINIUM	<u>DOUBLE GLAZED</u>	3.31	0.69
SLIDING DOOR	ALUMINIUM	<u>DOUBLE GLAZED</u>	3.83	0.62
HINGED DOOR	ALUMINIUM	<u>DOUBLE GLAZED</u>	3.82	0.50

PROPOSED RESIDENCE FOR

No.24 (LOT 6) ROWELLAN DRIVE
EAGLE POINT

COLMAC HOMES

"Our Family Business, Building your Family Home"

DB-U 22425

RAWSON 240 (mod.)		
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(HPR)	DENOTES HIGH PERFORMANCE LOW E DOUBLE GLAZED WINDOWS & DOORS
REINFORCEMENT	DENOTES REINFORCEMENT TO SELECTED WALLS TO COMPLY WITH NCC 4.2, REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS
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CLIENT INITIALS:	
BUILDER INITIALS:	
DATE:	
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NOTES & AREAS	
PHONE: (03) 5143 0399 FAX: (03) 5143 0933	DRAWN: D.M.P.
No.3-5 (LOT 13) NORTHLAND DRIVE, SALE, VICTORIA 3850	JOB No.: 1000000000
www.colmahomes.com.au	DATE: 19/08/25
AT A3	3

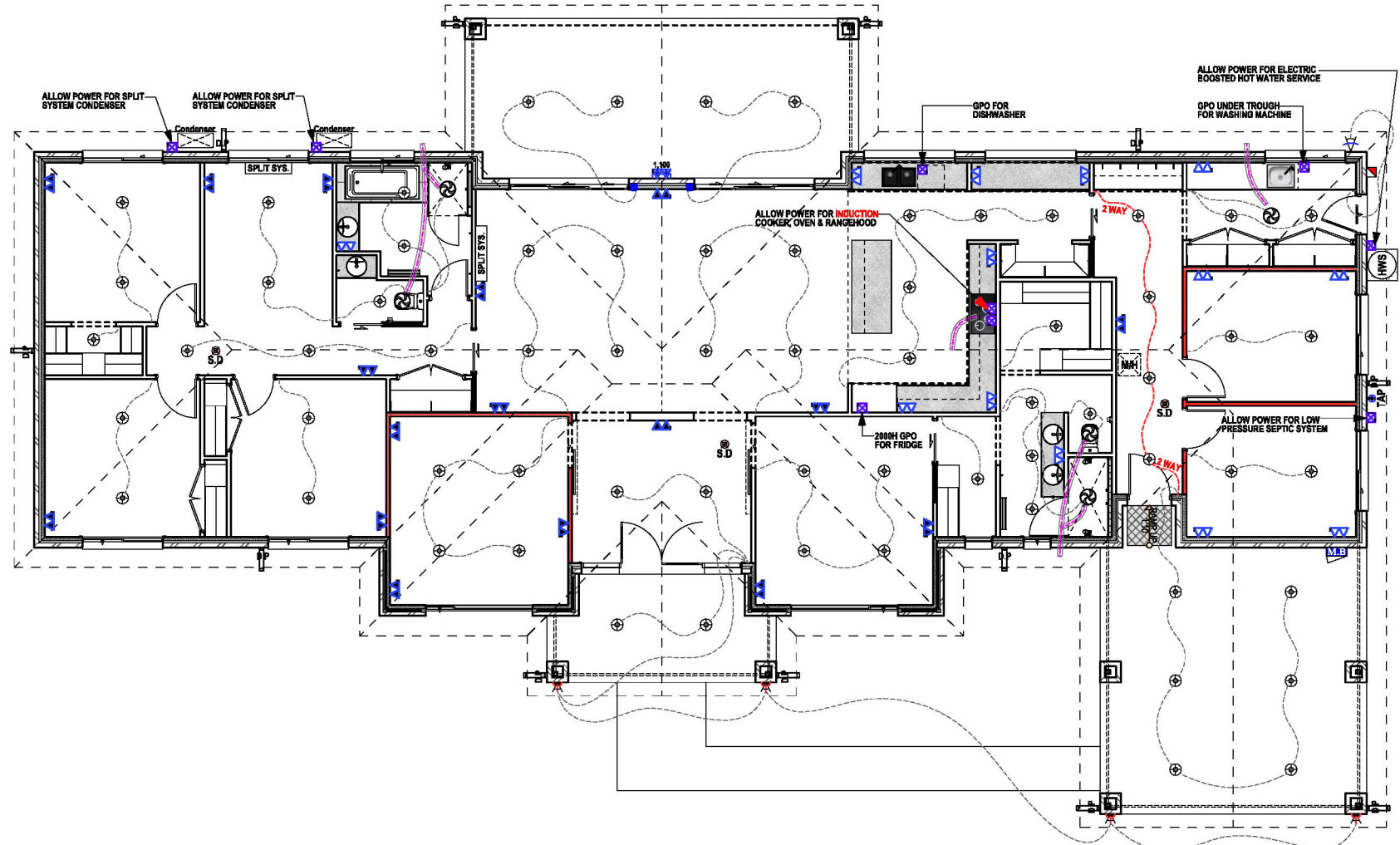
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SINGLE PHASE POWER

ELECTRICAL LEGEND

DESCRIPTION	SYM.	QTY
1: GPO DBL - 300 HIGH	▼▼	17
1: GPO DBL - 1100 HIGH	▼▼	13
1a: GPO DBL - OTHER	▼	9
1a: GPO DBL (EXTERNAL) - 1100 HIGH	▼▼	1
2: 9W LED DOWNLIGHT (92mm CUT OUT)	⊕	66
2a: EXTERNAL WALL LIGHT (1900H APPROX ABOVE F.L.)	⋈	4
2a: SINGLE PARA FLOOD LIGHT	★	1
3: SMOKE DETECTOR (300mm min CLEARANCE)	⊙ S.D.	3
4: EXHAUST FAN (SEALED)	⊗	5
5: EXHAUST DUCT	—	6
9: JUNCTION BOX	⬢	1
9: METER BOX	M.B.	1
11: HOT WATER SERVICE (ELECTRIC)	HWS	1



PLEASE REFER TO COLOUR SELECTION DOCUMENTS FOR ELECTRICAL SPECS. (THIS PLAN MAY DIFFER DUE TO LEGISLATION & STRUCTURAL OBSTRUCTIONS ETC.)

PROPOSED RESIDENCE FOR

No.24 (LOT 6) ROWELLAN DRIVE
EAGLE POINT

COLMAC HOMES

"Our Family Business, Building your Family Home"

DB-U 22425

RAWSON 240 (mod.)		
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LEGEND	
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DP	DENOTES 1000 PVC DOWNPIPE LOCATION
(D)	DENOTES DOUBLE GLAZED WINDOWS & DOORS
(A)	DENOTES HIGH PERFORMANCE LOW E DOUBLE GLAZED WINDOWS & DOORS
	DENOTES REINFORCEMENT TO SELECTED VIC. BATH & SHOWER WALLS TO COMPLY WITH NCC 4.2. REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS
	DENOTES NO CIRCULATION SPACE (1200 x 800) CIRCULATION SPACE TO COMPLY WITH NCC 4.2

CLIENT INITIALS:	
BUILDER INITIALS:	
DATE:	

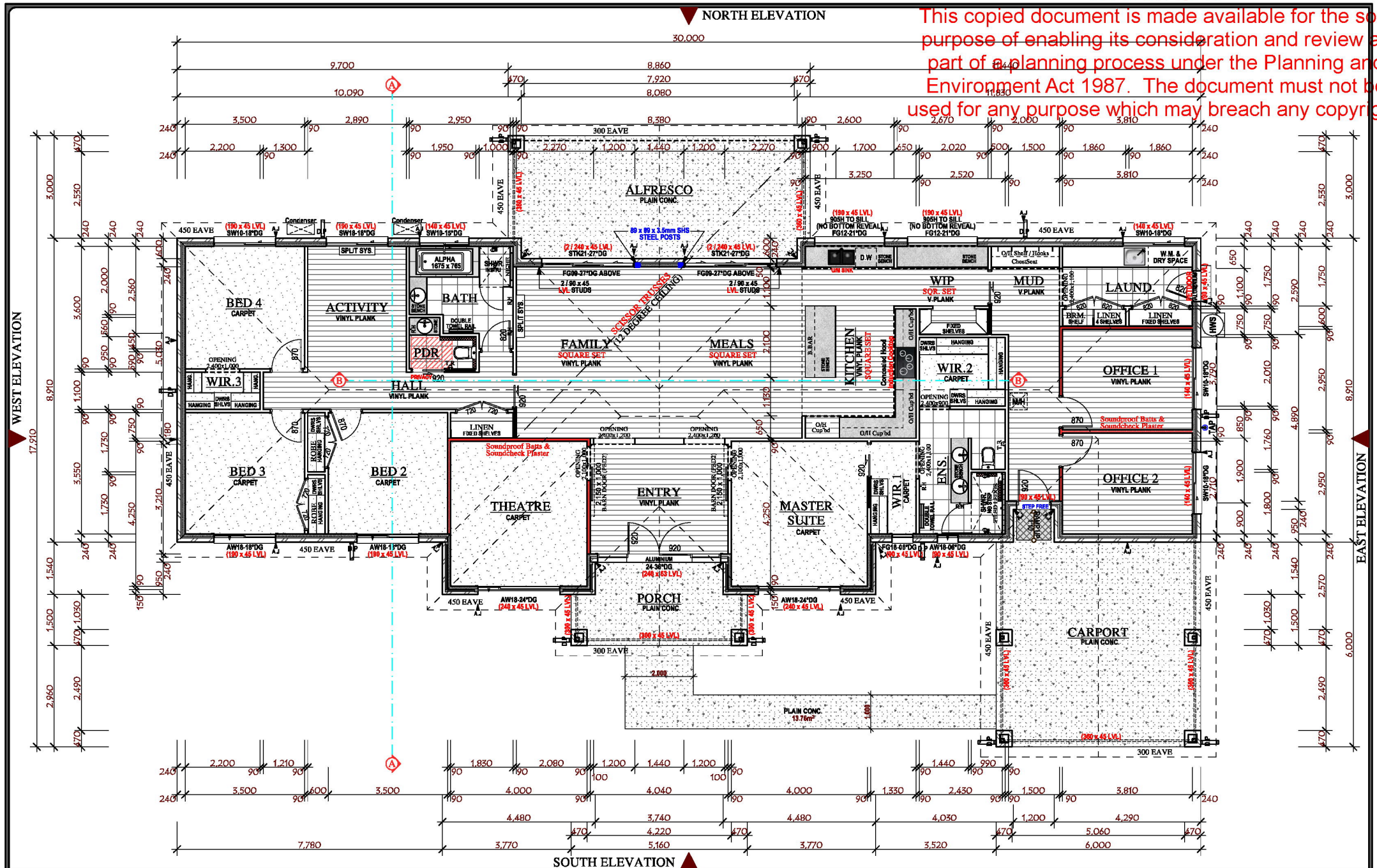


ELECTRICAL LAYOUT	
PHONE: (03) 5143 0399	FAX: (03) 5143 0933
No.3-5 (LOT 13) NORTHLAND DRIVE, SALE, VICTORIA 3880	
www.colmac-homes.com.au	
1:100 AT A3	19/08/25

DRAWN:	D.M.P.
JOB No.:	
DATE:	
SCALE:	

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PROPOSED RESIDENCE FOR

No.24 (LOT 6) ROWELLAN DRIVE

EAGLE POINT

COLMAC HOMES

"Our Family Business, Building your Family Home"

RAWSON 240 (mod.)

1. DWELLING:	277.32 m ²	29.85 sq
2. CARPORT:	37.14 m ²	4.00 sq
3. ALFRESCO:	31.43 m ²	3.38 sq
4. PORCH:	11.29 m ²	1.22 sq
5. TOTAL:	357.18 m ²	38.45 sq

LOT SIZE: - 3,219m²

LEGEND

DP DENOTES COLORBOND DOWNPIPE LOCATION

DP DENOTES 1000 PVC DOWNPIPE LOCATION

DB DENOTES DOUBLE GLAZED WINDOWS & DOORS

DB DENOTES HIGH PERFORMANCE LOWE DOUBLE GLAZED WINDOWS & DOORS

DB DENOTES REINFORCEMENT TO SELECTED VIC. BATH & SHOWER WALLS TO COMPLY WITH NCC 4.2, REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS

DB DENOTES VIC CIRCULATION SPACE (1200 x 800) CIRCULATION SPACE TO COMPLY WITH NCC 4.2

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FLOOR PLAN

PHONE: (03) 5143 0399 FAX: (03) 5143 0933

No.3-5 (LOT 13) NORTHLAND DRIVE, SALE, VICTORIA 3880

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JOB No.: 5

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SOUTH ELEVATION



EAST ELEVATION

PROPOSED RESIDENCE FOR

No.24 (LOT 6) ROWELLAN DRIVE
EAGLE POINT

COLMAC HOMES

"Our Family Business, Building your Family Home"

DB-U 22425

RAWSON 240 (mod.)

1. DWELLING:	277.32 m2	29.85 sq
2. CARPORT:	37.14 m2	4.00 sq
3. ALFRESCO:	31.43 m2	3.38 sq
4. PORCH:	11.29 m2	1.22 sq
5. TOTAL:	357.18 m2	38.45 sq

LOT SIZE: - 3,219m2

LEGEND

— DP	DENOTES COLORBOND DOWNPIPE LOCATION
○ DP	DENOTES 1000 PVC DOWNPIPE LOCATION
(*) DP	DENOTES DOUBLE GLAZED WINDOWS & DOORS
(*) DP	DENOTES HIGH PERFORMANCE LOW E DOUBLE GLAZED WINDOWS & DOORS
REINFORCEMENT	DENOTES REINFORCEMENT TO SELECTED WC, BATH & SHOWER WALLS TO COMPLY WITH NCC 4.2. REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS
REINFORCEMENT	DENOTES WC CIRCULATION SPACE (1200 x 800) CIRCULATION SPACE TO COMPLY WITH NCC 4.2

CLIENT INITIALS:

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ELEVATIONS

PHONE: (03) 5143 0399 FAX: (03) 5143 0933

No.3-5 (LOT 13) NORTHLAND DRIVE,
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NORTH ELEVATION



WEST ELEVATION

PROPOSED RESIDENCE FOR

No.24 (LOT 6) ROWELLAN DRIVE
EAGLE POINT

COLMAC HOMES

"Our Family Business, Building your Family Home"

DB-U 22425

RAWSON 240 (mod.)

1. DWELLING:	277.32 m2	29.85 sq
2. CARPORT:	37.14 m2	4.00 sq
3. ALFRESCO:	31.43 m2	3.38 sq
4. PORCH:	11.29 m2	1.22 sq
5. TOTAL:	357.18 m2	38.45 sq

#. LOT SIZE: - 3,219m2

LEGEND

— DP	DENOTES COLORBOND DOWNPIPE LOCATION
— DP	DENOTES 1000 PVC DOWNPIPE LOCATION
(DGL)	DENOTES DOUBLE GLAZED WINDOWS & DOORS
(A*)	DENOTES HIGH PERFORMANCE LOW E DOUBLE GLAZED WINDOWS & DOORS
REINFORCEMENT	DENOTES REINFORCEMENT TO SELECTED WC, BATH & SHOWER WALLS TO COMPLY WITH NCC 4.2. REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS
REINFORCEMENT	DENOTES REINFORCEMENT TO SELECTED WC, BATH & SHOWER WALLS TO COMPLY WITH NCC 4.2. REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS

CLIENT INITIALS:

BUILDER INITIALS:

DATE:



ELEVATIONS

PHONE: (03) 5143 0399 FAX: (03) 5143 0933

No.3-5 (LOT 13) NORTHLAND DRIVE,
SALE, VICTORIA 3880

www.colmahomes.com.au

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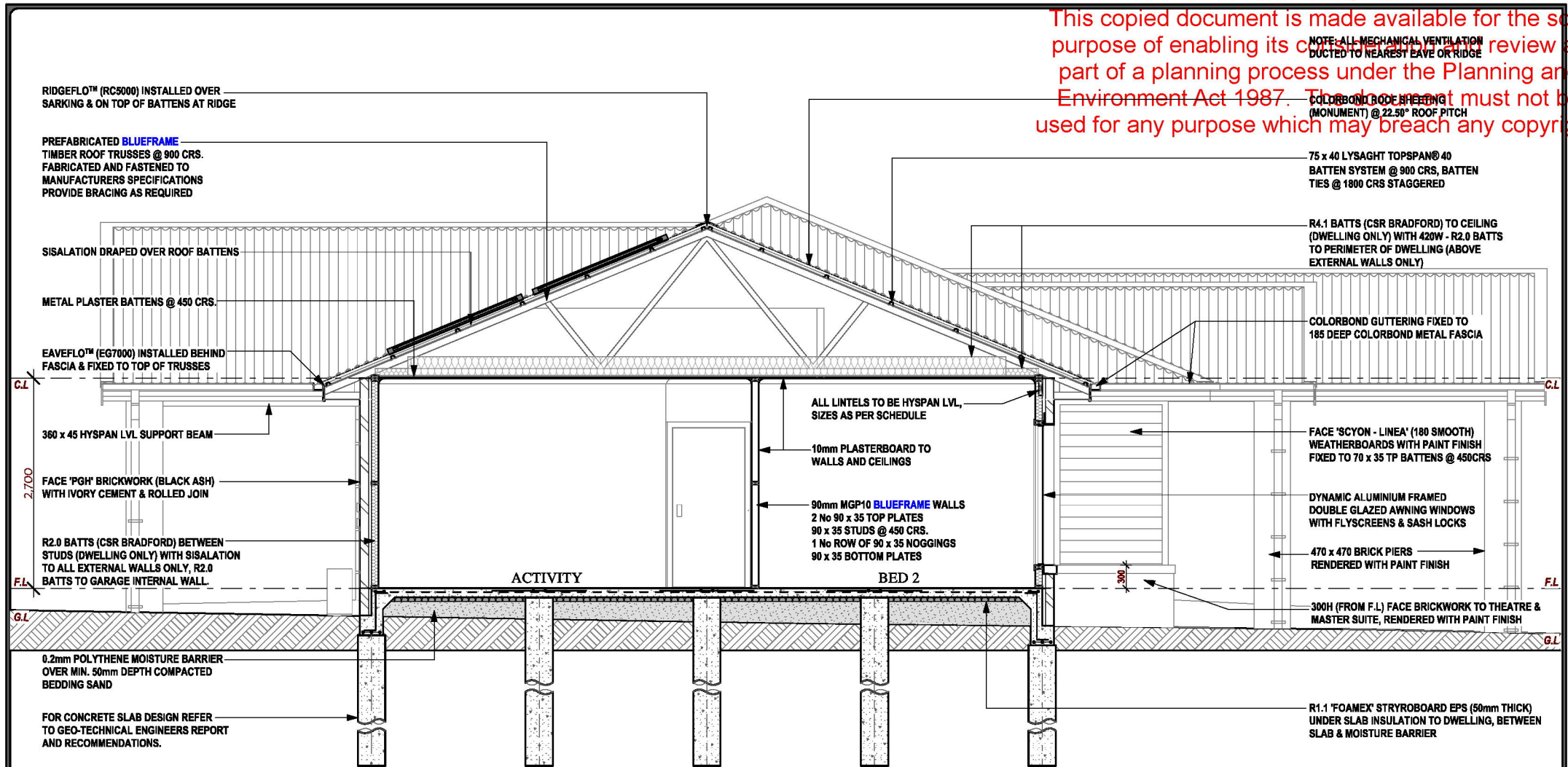
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LINTELS - UP TO 7.0m ROOF LOAD WIDTH

SHEET ROOFING	
SPAN	MATERIAL
UP TO 1200	90 x 45 LVL HYSpan
OVER 1200 TO 1800	140 x 45 LVL HYSpan
OVER 1800 TO 2400	190 x 45 LVL HYSpan
OVER 2400 TO 3000	240 x 45 LVL HYSpan
OVER 3000 TO 3600	300 x 63 LVL HYSpan

BRICKWORK LINTELS

BRICKWORK	CLEAR SPAN OF OPENING (mm)									
	1000	1200	1500	1800	2100	2400	2700	3000		
500	75 x 75 x 8									
1000										
1500										
2000		75 x 100 x 6								
2500			100 x 100 x 6				150 x 90 x 8			
3000							150 x 100 x 10	150 x 100 x 10		
	1000	1200	1500	1800	2100	2400	2700	3000		

NOTE: FIRST DIMENSION CORRESPONDS TO THE VERTICAL LINTEL LEG
 FOR ANY SPANS OUTSIDE THIS TABLE AN ENGINEER MUST BE CONSULTED

OR REFER TO MANUFACTURERS DETAILS

PROPOSED RESIDENCE FOR

No.24 (LOT 6) ROWELLAN DRIVE
 EAGLE POINT

COLMAC HOMES

"Our Family Business, Building your Family Home"

DB-U 22425

RAWSON 240 (mod.)

1. DWELLING:	277.32 m2	29.85 sq
2. CARPORT:	37.14 m2	4.00 sq
3. ALFRESCO:	31.43 m2	3.38 sq
4. PORCH:	11.29 m2	1.22 sq
5. TOTAL:	357.18 m2	38.45 sq

LOT SIZE: - 3,219m2

LEGEND	
DP	DENOTES COLORBOND DOWNPIPE LOCATION
DP	DENOTES 1000 PVC DOWNPIPE LOCATION
DP	DENOTES DOUBLE GLAZED WINDOWS & DOORS
DP	DENOTES HIGH PERFORMANCE LOW E DOUBLE GLAZED WINDOWS & DOORS
DP	DENOTES REINFORCEMENT TO SELECTED VIC. BATH & SHOWER WALLS TO COMPLY WITH NCC 4.2, REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS
DP	DENOTES REINFORCEMENT TO SELECTED VIC. BATH & SHOWER WALLS TO COMPLY WITH NCC 4.2, REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS

CLIENT INITIALS:

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DATE:



SECTION A - A

PHONE: (03) 5143 0399 FAX: (03) 5143 0933
 No.3-5 (LOT 13) NORTHLAND DRIVE,
 SALE, VICTORIA 3850

www.colmac-homes.com.au
 1:50 AT A3 19/08/25

DRAWN:

D.M.P.

JOB No.:

1000-0000

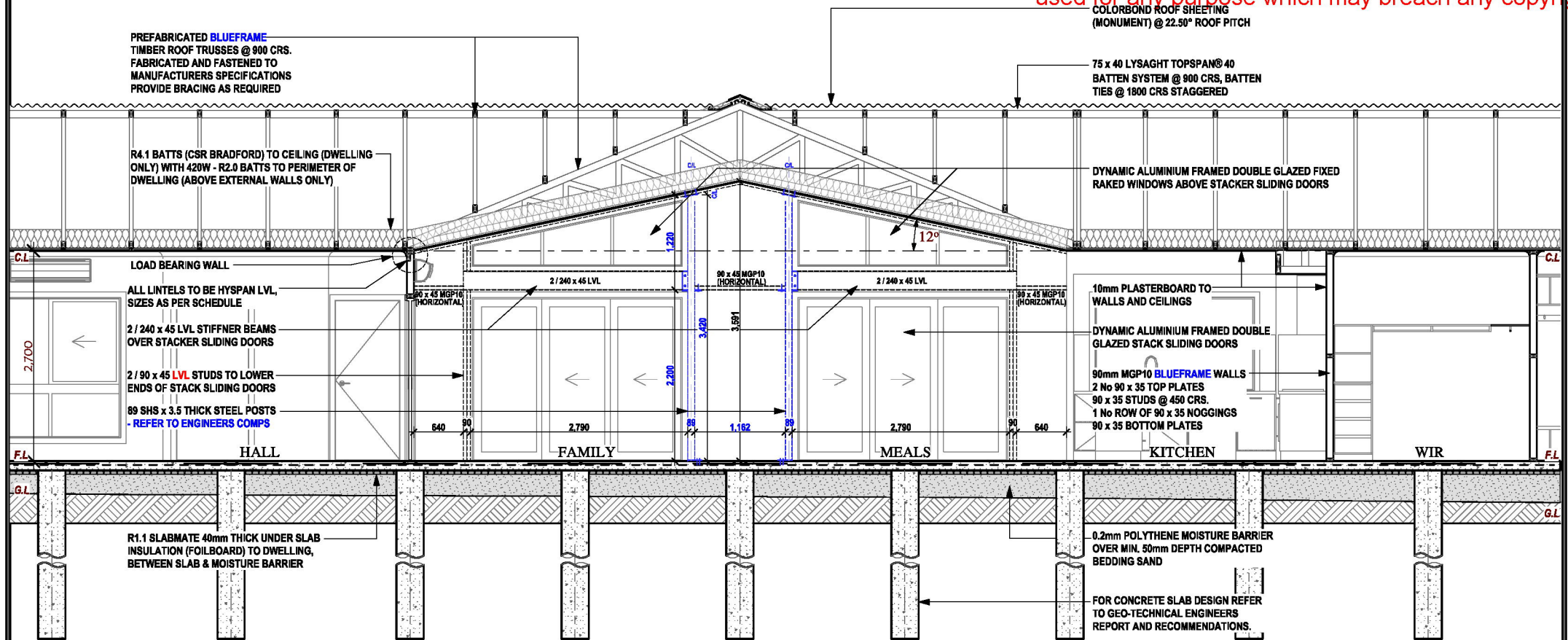
SHEET:

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PROPOSED RESIDENCE FOR

No.24 (LOT 6) ROWELLAN DRIVE
EAGLE POINT

COLMAC HOMES

"Our Family Business, Building your Family Home"

DB-U 22425

RAWSON 240 (mod.)

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4. PORCH:	11.29 m2	1.22 sq
5. TOTAL:	357.18 m2	38.45 sq

LOT SIZE: - 3,219m2

LEGEND

DP	DENOTES COLORBOND DOWNPIPE LOCATION
DP	DENOTES 1000 PVC DOWNPIPE LOCATION
(D)	DENOTES DOUBLE GLAZED WINDOWS & DOORS
(A)	DENOTES HIGH PERFORMANCE LOW E DOUBLE GLAZED WINDOWS & DOORS
REINFORCEMENT	DENOTES REINFORCEMENT TO SELECTED W.C. BATH & SHOWER WALLS TO COMPLY WITH NCC 4.2. REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS
REINFORCEMENT	DENOTES NO CIRCULATION SPACE (1200 x 800) CIRCULATION SPACE TO COMPLY WITH NCC 4.2

CLIENT INITIALS:

BUILDER INITIALS:

DATE:



SECTION B - B

PHONE: (03) 5143 0399 FAX: (03) 5143 0933

No.3-5 (LOT 13) NORTHLAND DRIVE,
SALE, VICTORIA 3880

DATE: 19/08/25

1:50 AT A3

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DATE:

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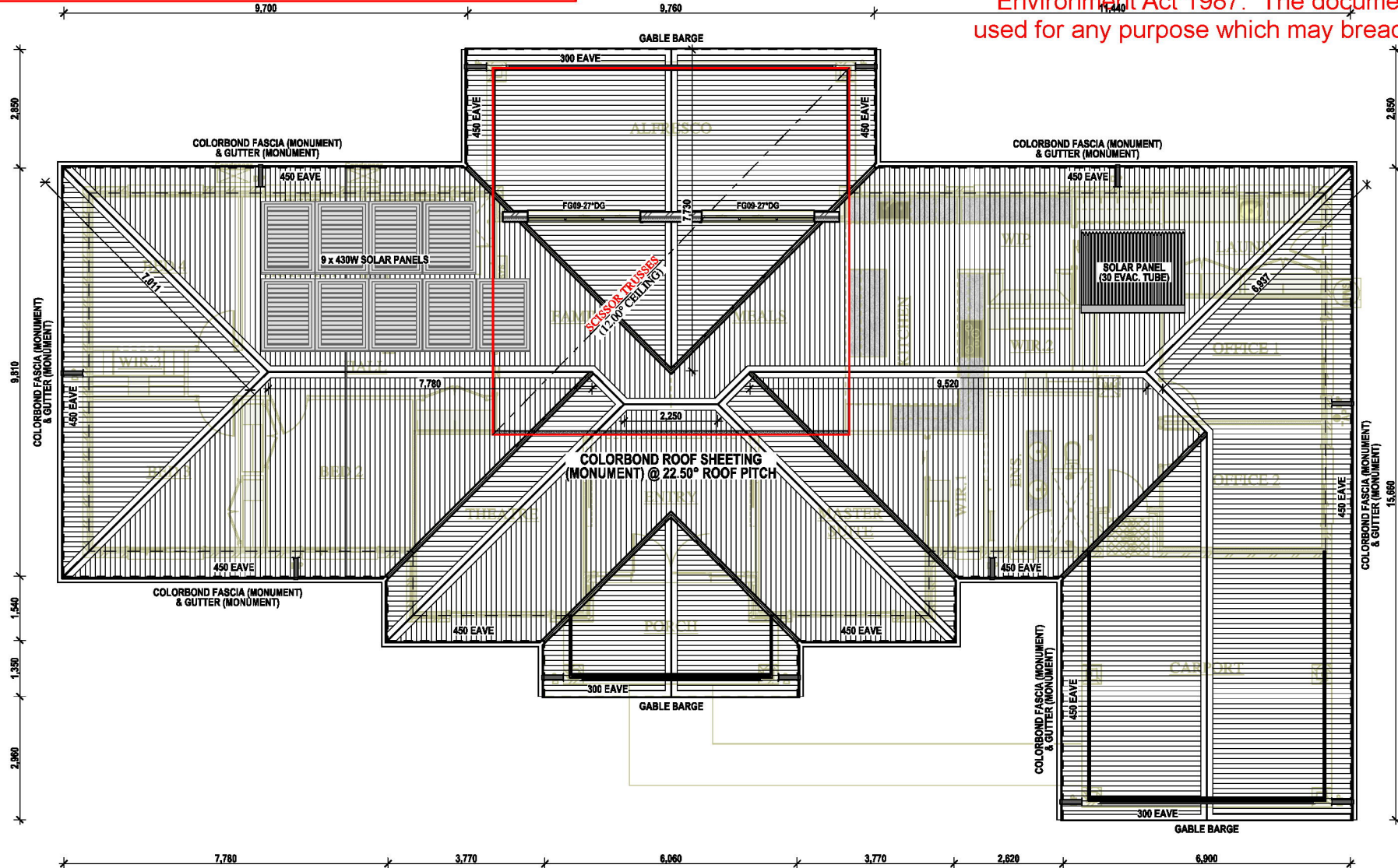
NOTE: ROOFING VENTILATION TO MEET CURRENT NCC REQUIREMENTS AS PER SECTION 10.8.3.
(EAVEFLO™ & RIDGEFLO™ VENTILATION SYSTEM TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS)
 -EAVEFLO™ (EG7000) INSTALLED BEHIND FASCIA & FIXED TO TOP OF TRUSSES
 -RIDGEFLO™ (RC5000) INSTALLED OVER SARKING & ON TOP OF BATTENS AT RIDGE

NORTH ELEVATION

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WEST ELEVATION

EAST ELEVATION



SOUTH ELEVATION

PROPOSED RESIDENCE FOR

No.24 (LOT 6) ROWELLAN DRIVE
 EAGLE POINT

COLMAC HOMES

"Our Family Business, Building your Family Home"

DB-U 22425

RAWSON 240 (mod.)

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4. PORCH:	11.29 m2	1.22 sq
5. TOTAL:	357.18 m2	38.45 sq

LOT SIZE: - 3,219m2

LEGEND

- DP DENOTES COLORBOND DOWNPIPE LOCATION
- DP DENOTES 1000 PVC DOWNPIPE LOCATION
- (DB) DENOTES DOUBLE GLAZED WINDOWS & DOORS
- (HA) DENOTES HIGH PERFORMANCE LOW E DOUBLE GLAZED WINDOWS & DOORS
- REINFORCED DENOTES REINFORCEMENT TO SELECTED WC, BATH & SHOWER WALLS TO COMPLY WITH NCC 4.2. REFER TO INTERNAL ELEVATIONS FOR REINFORCEMENT DETAILS
- REINFORCED DENOTES REINFORCEMENT TO SELECTED WC, BATH & SHOWER WALLS TO COMPLY WITH NCC 4.2

CLIENT INITIALS:

BUILDER INITIALS:

DATE:



ROOF PLAN

PHONE: (03) 5143 0399 FAX: (03) 5143 0933

No.3-5 (LOT 13) NORTHLAND DRIVE,
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