

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	714 Wairewa Road WAIREWA VIC 3887 Lot: A PS: 316722
The application is for a permit to:	Use and Development of Rural Workers Accommodation
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
35.07-1 (FZ)	Use of the land for a Rural Workers Accommodation.
35.07-4 (FZ)	Construct or carry out a building or works for use of a Rural Workers Accommodation.
42.01-2 (ESO)	Construct a building or construct or carry out works.
44.06-2 (BMO)	Construct a building or construct or carry out works.
The applicant for the permit is:	Crowther & Sadler Pty Ltd
The application reference number is:	5.2025.328.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ♦ **be made to the Responsible Authority in writing,**
- ♦ **include the reasons for the objection, and**
- ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
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If you object, the Responsible Authority will tell you its decision.

April McDonald

From: Snapforms Notifications <no-reply@snapforms.com.au>
Sent: Tuesday, 30 September 2025 4:59 PM
To: Planning Unit Administration
Subject: Planning Permit application
Attachments: 21188-12 BMP V1.pdf; 21188-12 BHSA V1.pdf; 21188-12 Merged title - 2025-09-30T161457.231.pdf; 21188-12 Report.pdf; 714 Wairewa Site Plan.pdf; 714 Wairewa floorplan_elevations.pdf; Planning_Permit_Application_2025-09-30T16-59-19_28072065_0.pdf

Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Applicant name: Crowther &

Business trading name: Crowther & Sadler Pty Ltd

Email address: contact@crowthersadler.com.au

Postal address : Po Box 722 Bairnsdale 3875

Preferred phone number: 0351525011

Owner's name:

Street number: 714

Street name: Wairewa Road

Town: Wairewa

Post code: 3887

Lot number: A

Plan number: PS316722Y

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?: No

Will the proposal result in a breach of a registered covenant restriction or agreement?: No

Existing conditions : Agriculture

Description of proposal : Use of rural worker accommodation and associated buildings and works

Estimated cost of development: 0

Has there been a pre-application meeting: No

ExtraFile: 3

Invoice Payer: .

Address for Invoice:

Invoice Email: (

Primary Phone Invoice:

Declaration: Yes

Authority Check: Yes

Notice Contact Check: Yes

Notice check 2: Yes

Privacy Statement Acknowledge: Yes

2. Supporting information/reports: [21188-12 BMP V1.pdf](#)

1. Supporting information/reports: [21188-12 BHSA V1.pdf](#)

Full copy of Title: [21188-12 Merged title - 2025-09-30T161457.231.pdf](#)

Planning report: [21188-12 Report.pdf](#)

Plans: [714 Wairewa Site Plan.pdf](#)

3. Supporting information/reports: [714 Wairewa floorplan_elevations.pdf](#)

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 10338 FOLIO 979

Security no : 124128536997C
Produced 30/09/2025 04:00 PM

LAND DESCRIPTION

Lot A on Plan of Subdivision 316722Y.
PARENT TITLE Volume 10011 Folio 890
Created by instrument PS316722Y 14/08/1997

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PS316722Y FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 714 WAIREWA ROAD WAIREWA VIC 3887

ADMINISTRATIVE NOTICES

NIL

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Effective from

DOCUMENT END

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Document Identification	PS316722Y
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Document Assembled	17/07/2025 09:54

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Printed 28/10/2025
Page 6 of 50

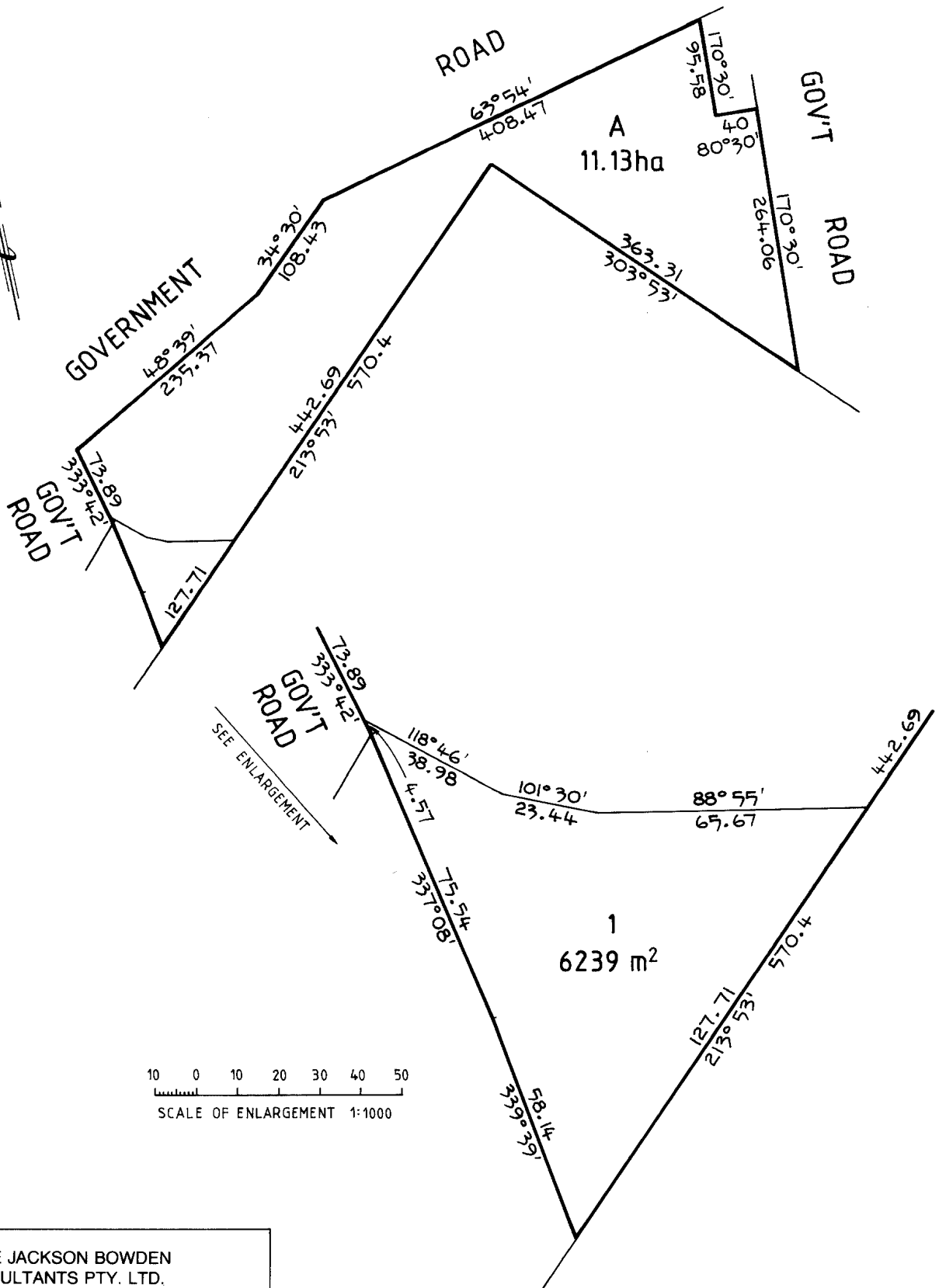
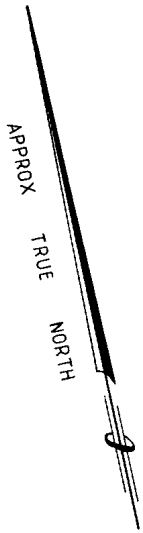
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PLAN OF SUBDIVISION

STAGE No.

PLAN NUMBER

PS 316722Y



KLUGE JACKSON BOWDEN
CONSULTANTS PTY. LTD.
SURVEYORS, ENGINEERS, ESTATE PLANNERS
76 MAIN STREET, BAIRNSDALE, 3875 (051) 52 6599

40 0 40 80 120 160 200
LENGTHS ARE IN METRES

ORIGINAL
SCALE
SHEET SIZE
1:4000 A3

LICENSED SURVEYOR (PRINT) BRUCE BOWDEN
SIGNATURE DATE 17 / 12 / 91
REF B89902^B VERSION 1

SHEET 2 OF 2 SHEETS

DATE / /
COUNCIL DELEGATE SIGNATURE

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150mm

Our ref: 21188-12

29 September 2025

Acting Statutory Planning Coordinator
East Gippsland Shire Council
Via Portal

Attention: Andrew Bates

Dear Andrew,

**Re: Planning Application – Use and Development of
Rural Workers Accommodation
714 Wairewa Road, Wairewa**

On behalf of our client, we are submitting a planning application for the use and development of rural workers accommodation at 714 Wairewa Road, Wairewa.

Subject Land and Surrounds

The subject land is formally described as Lot A on PS316722Y being one of three lots that comprise the property at 714 Wairewa Road, Wairewa. The subject land is an irregular shaped allotment that forms part of a larger established farm comprising an area of approximately 146ha with agricultural activities including crop raising and animal husbandry (*Grazing animal production*) with a number of agricultural buildings. The land is undulating and substantially clear of vegetation. Two temporary dwellings were established in the north east of the property after the owner's dwelling was impacted by the 2019/20 summer bushfires.



*Aerial image of the part of the subject land developed with a temporary dwelling
(Source: Google Earth)*



FS 520900



Surrounding the subject land to the north, east, west and south are farming properties used for the purposes of livestock grazing and cropping.



Aerial image of the subject land and immediate surrounds (Source: Google Earth)

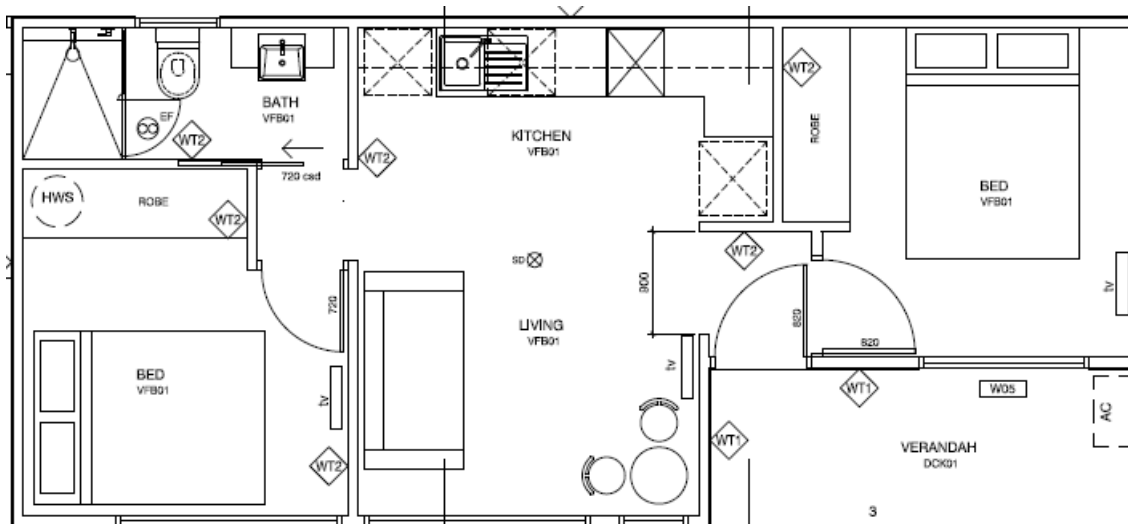
Wairewa is a small farming community situated to the north-east of the Nowa Nowa township and west of Orbost.

The Proposal

Resulting from the 2019/20 bushfire event the temporary dwellings on the land were approved by Council after the owner's accommodation was destroyed by the bushfires. The property owners have relocated to Lakes Entrance and seek to retain temporary dwellings on the subject land for the purpose of rural workers accommodation.

The proposed accommodation buildings will be setback approximately 25 metres from the Government Road to the east, which is developed with a gravel road and will be setback 224 metres from the northern property boundary.

The proposed accommodation will comprise of two buildings connected by a covered walkway. Each dwelling consists of two bedrooms, bathroom, kitchen and living room. Each building will has a length of 9.98 metres, a width of 4.47 metres and a maximum height of 3.5 metres. The proposed dwelling will be constructed from Duracom BGC fibre cement compressed cladding and Colorbond roof sheeting.



Proposed floor plan of each accommodation wing (Source: dig design)

The proposed rural workers accommodation will be accessed from Mottle Range Road to the north of the property. The buildings are serviced with an installed septic tank, and two 22,000 litre rainwater tanks. The buildings include solar panels with battery storage and a backup generator.

A planning permit is required for the proposed use and development of rural workers accommodation in accordance with the following clauses of the East Gippsland Planning Scheme.

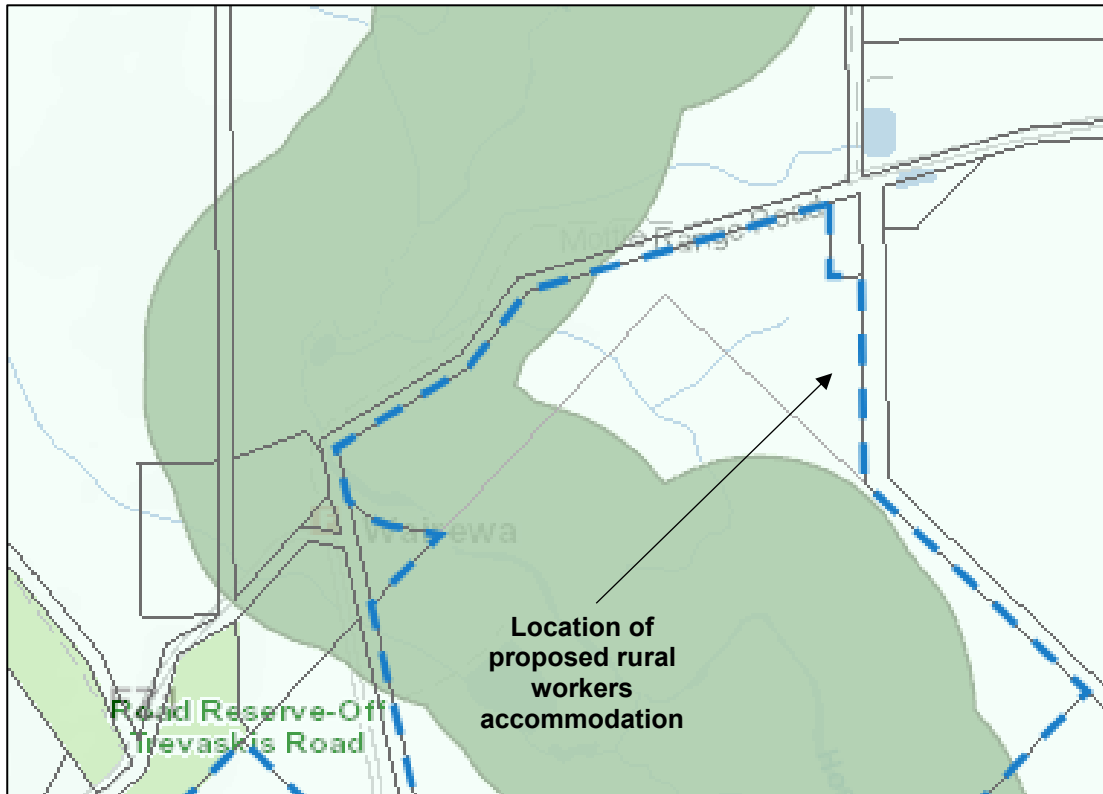
Planning Scheme Clause	Matter for which a Permit is required
35.07-1 Farming Zone 1	Use of the land for the purposes of rural workers accommodation
35.07-4 Farming Zone 1	Buildings and works to a Section 2 use
42.01-2 Environmental Significance Overlay 1-1	Construct a building or carry out works
44.06-2 Bushfire Management Overlay	Construct a building associated with an accommodation use

Referral of the application is required to be undertaken in accordance with Section 55 of the *Planning and Environment Act 1987* to the relevant fire authority.

Cultural Heritage

Pursuant to Regulation 7 of the *Aboriginal Heritage Regulations 2018*, a CHMP is required for an activity if:

- (a) *all or part of the activity area for the activity is in an area of cultural heritage sensitivity; and*
- (b) *all or part of the activity is a high impact activity*



Extract from Cultural Heritage Sensitivity mapping, showing culturally sensitivity areas in dark green (Source: VicPlan)

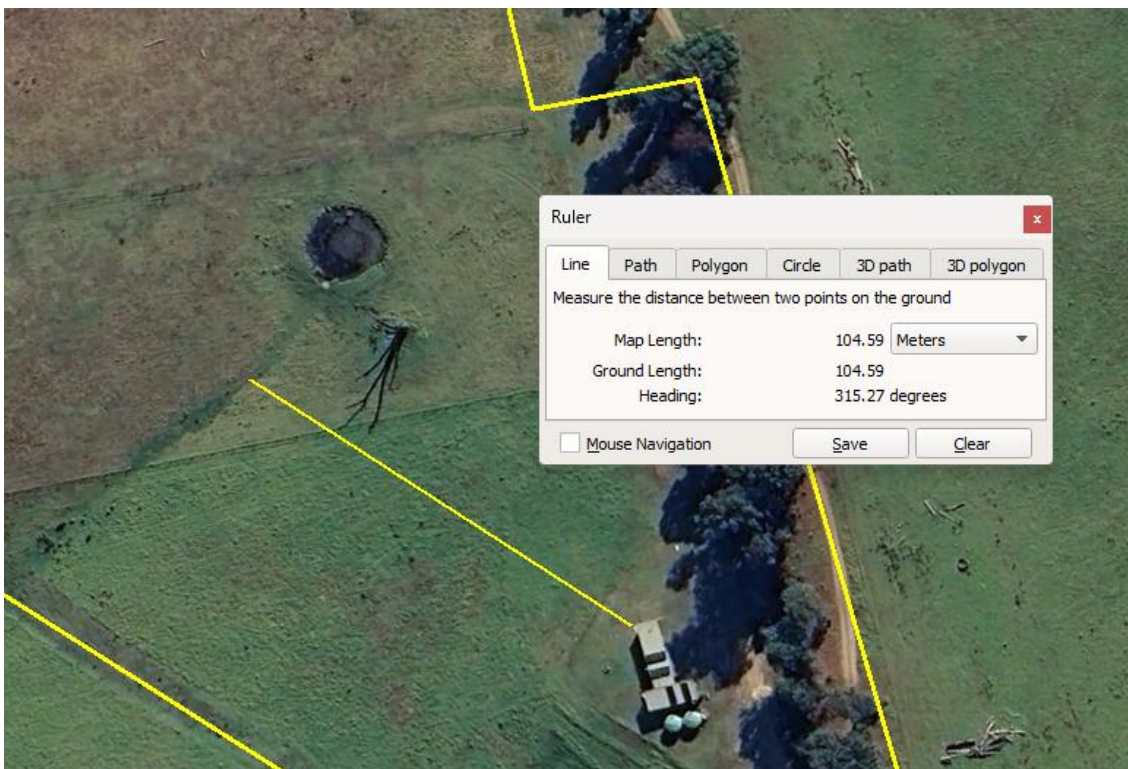
The subject land is partly within an area of cultural heritage sensitivity. Pursuant to Regulation 46 (1) (b) a residential building is a high impact activity and in accordance with Regulation 58 (1) the use of land for a purpose specified in Regulation 46 (1) (b) is a high impact activity if a statutory authorisation is required to change the use of the land for that purpose.

The Regulations definitions states that *activity area means the area or areas to be used or developed for an activity*. The proposed rural workers accommodation is located outside of an area of cultural heritage sensitivity and the area to be used for the accommodation is the building. As the activity area is not within an area of cultural heritage sensitivity there is no requirement to provide a CHMP in support of the application.

Planning Policy Framework

Clause 12.01-2S Native vegetation management is respected by the proposal as the building will be located within a cleared area of the property and access to the building is obtained from an area of the road reserve that is devoid of native vegetation.

The proposed building is setback 105 metres from the nearest waterway on the property and the septic tank system is setback in excess of 60 metres from the waterway ensuring nutrient runoff will not impact local waterways consistent with Clause 12.03-1S River and riparian corridors, waterways, lakes, wetlands and billabongs.



Aerial image demonstrating that the building is setback further than 100 metres of the nearest waterway (Source: Google Earth)

Being located within the Bushfire Management Overlay Clause 13.02-1S Bushfire planning is relevant to the application.

The proposed development of rural workers accommodation is able to mitigate the risk to people and property from the bushfire hazard by establishing appropriate separation from the bushfire hazard and surrounding defendable space as defendable. The buildings are robust satisfying the construction standards for a bushfire attack level 29 (BAL-29).

To protect the state's agricultural base by preserving productive farmland is the objective of Clause 14.01-1S Protection of agricultural land. The use and development of the subject land for the purposes of rural workers accommodation will support agricultural production undertaken on the property.

Additional agricultural investment and provision of agricultural infrastructure on the subject land demonstrates a commitment to the agricultural sector and the farming property as sought within Clause 14.01-2S Sustainable agricultural land use.

The proposed accommodation building has a modest footprint, are low in scale and utilises muted tones respecting the rural character of the area consistent with Clause 15.01-6S Design for rural areas.

Clause 17.01-1S Diversified economy is supportive of the proposal as the rural workers accommodation will add to rural production and provides rural employment opportunities in turn supporting the rural economy.

Municipal Planning Strategy

Council's strategic directions contained within Clause 02.03-2 Environmental and landscape values will not be detrimentally impacted by the proposed use and development as the building and septic tank are well setback from waterways on the property minimising nutrient runoff into local waterways, native vegetation removal has been avoided and a balance between the rural business on the subject land and rural landscape has been struck with the provision of a modest building.

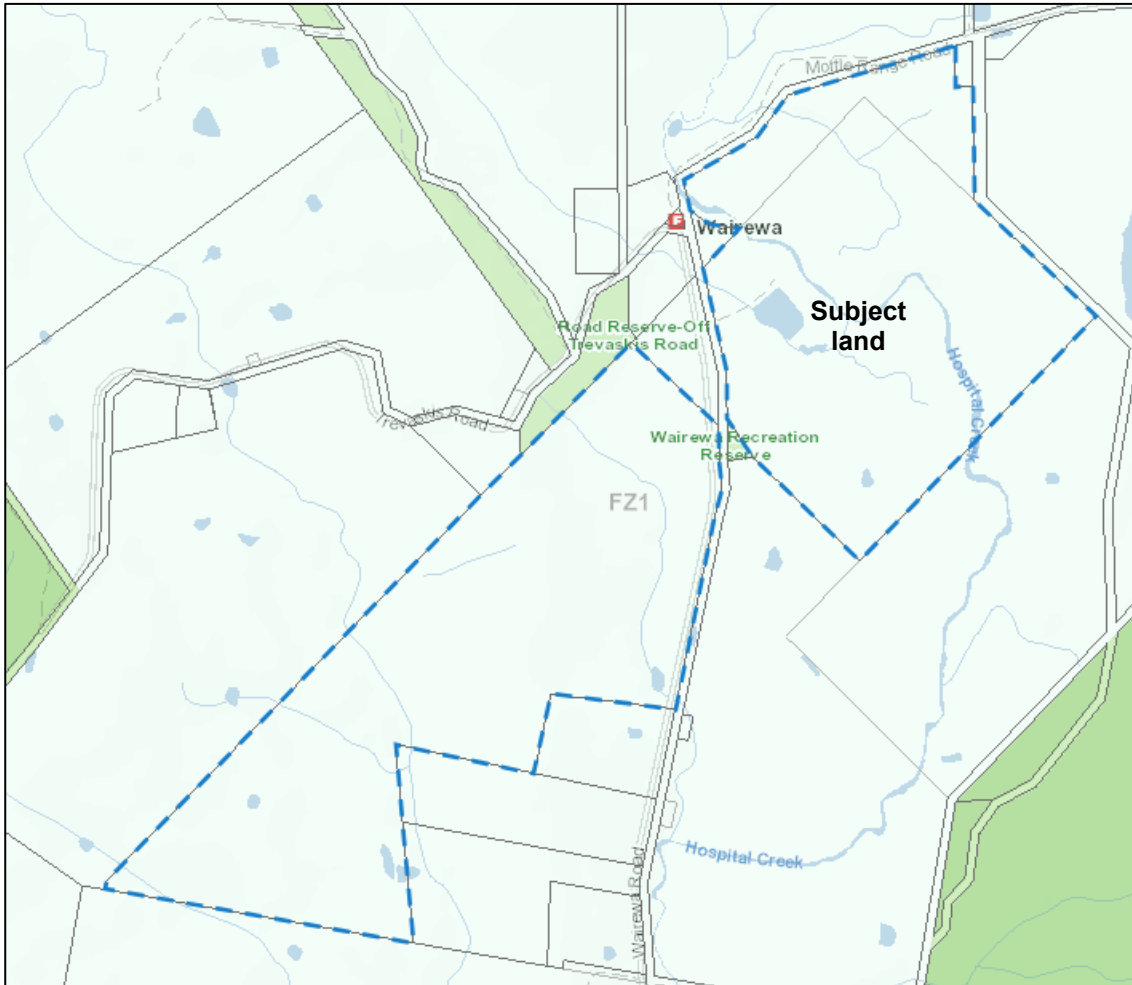
Clause 02.03-3 Environmental risks and amenity advises that East Gippsland is subject to bushfire risk. The proposed permanent rural workers accommodation is well placed to respond to the risk from a bushfire through the provision of defensible space, provision of dedicated water for firefighting purposes and construction to an appropriate standard.

Council's relevant strategic directions within Clause 02.03-4 Natural resource management are positively forwarded by the proposal as water quality within the area will be maintained with the use of a purpose installed wastewater system, it will support agricultural production and strengthens the agricultural viability of the property.

Clause 02.03-6 Economic development advises that one of the traditional major industries within the region includes agriculture. Providing rural workers accommodation on the subject land will assist to maintain and increase agricultural production from the subject land.

Farming Zone 1

The subject land is within the Farming Zone 1 under the the East Gippsland Planning Scheme.



Planning scheme zone mapping (Source: VicPlan)

The purposes of the Farming Zone are positively addressed by the proposed use and development as solid planning policy support is contained within the Planning Policy Framework and Municipal Planning Strategy, it enhances the use of the land for agriculture, productive agricultural land on the property is retained, the use of the land for agriculture is complemented by the proposal and it allows for the retention of employment within a rural community.

Use of the land for rural worker accommodation requires a planning permit as some the conditions associated with rural worker accommodation within Section 1 of the use tables are not met. Approval is required for the due to the accommodation buildings are not on the same land as an exiting dwelling and the lot on which the buildings are located has an area less than 40ha.

In accordance with Clause 35.07-2 Use of land for rural worker accommodation requirements are met:

- Access to the accommodation is provided from all-weather road with dimensions adequate to accommodate emergency vehicles.
- The proposed rural worker accommodation wastewater will be treated and retained within the lot in accordance with the Environmental Protection Regulations for onsite wastewater management systems.
- An alternative potable water supply will be provided by two 22,000 litre rainwater tanks that have adequate storage for domestic use as well as firefighting purposes.
- An alternative energy source will be utilised being a solar energy system.

Decision Guidelines

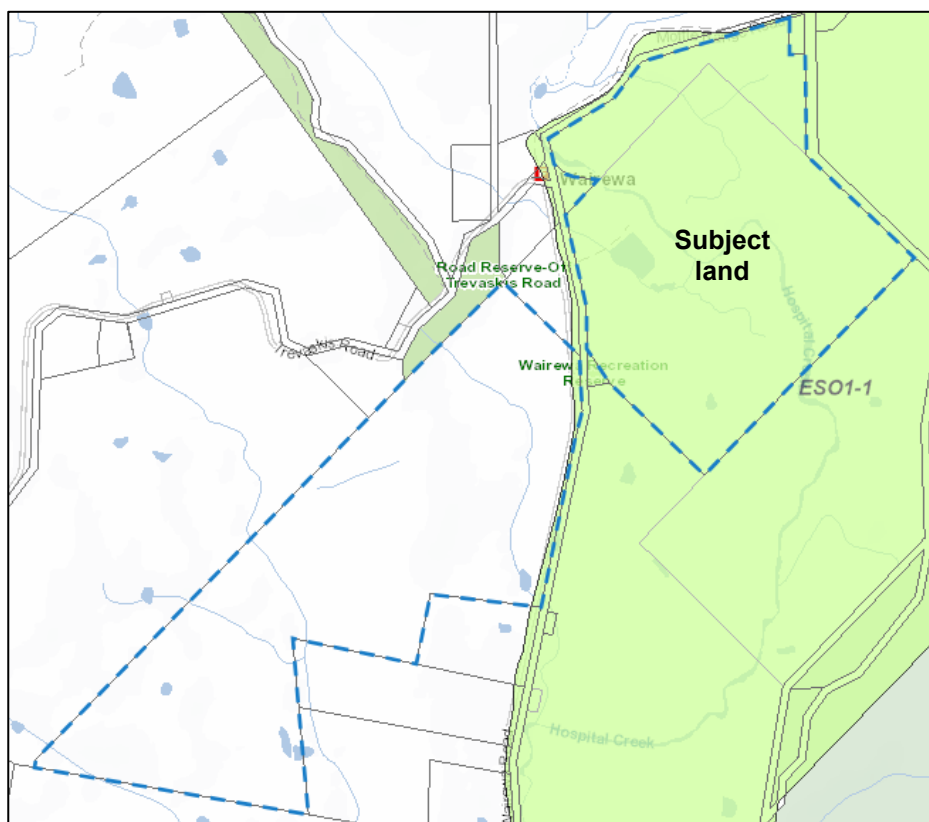
We have undertaken an assessment of the relevant decision guidelines of the zone provisions and provide the following commentary.

- Solid planning policy support for the proposed use and development is contained within the Planning Policy Framework and Municipal Planning Strategy.
- The proposed rural workers accommodation does not adversely affect the East Gippsland Regional Catchment Strategy as water quality will be maintained with a purpose installed wastewater system and large setbacks to waterways, vermin and weed control can be maintained with the assistance of rural workers and erosion management can be more easily undertaken with additional labour.
- The installed wastewater management system is capable of accommodating the rural worker accommodation as the system was based on the number of bedrooms of the temporary dwelling.
- Sustainable land management is achieved with the proposed use as providing worker accommodation onsite will increase agricultural production.
- Rural worker accommodation will be located to the east of the subject land and with the eastern neighbour undertaking livestock grazing (a fairly benign use) it allows the proposal to be compatible with the eastern agricultural use.
- The development will make good use of existing onsite infrastructure and adds to the agricultural enterprise undertaken on the land.
- Provision of rural workers accommodation on the property will support and enhance agricultural production with additional labour being utilised to provide for cropping activities and farm maintenance.
- Locating the accommodation within a lesser productive area of the property distant from the cropping areas will not permanently remove land from agricultural production.
- The capacity of the site to sustain the agricultural use has been proven.

- Wairewa is an isolated and remote area, approximately 35 kilometres to a larger labour pool being Orbost necessitating the need for onsite worker accommodation.
- No detrimental environmental impacts will result from the proposed use and development.
- The siting of the accommodation is well setback from Mottle Range Road, it has a modest footprint and height and will utilise muted tones ensuring the rural landscape is maintained.

Environmental Significance Overlay 1-1

The property is subject to the Environmental Significance Overlay 1-1.



Planning scheme overlay mapping (Source: VicPlan)

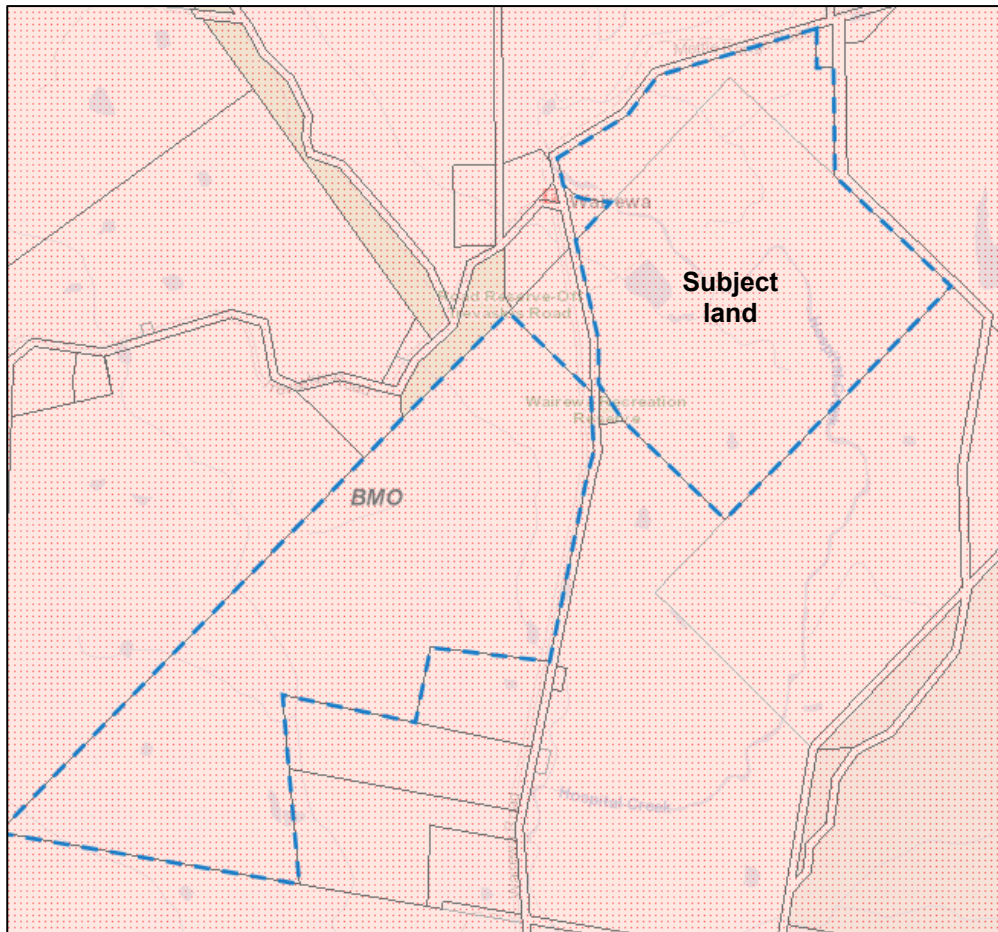
Schedule 1 of the Overlay is East Gippsland Sites of Biological Significance. ESO 1-1 is known as Tostaree with the statement of environmental significance being the Masked Owl and Dwarf Flathead Gudgeon.

The proposed development does not require the removal of native vegetation to facilitate the proposal, remnant vegetation on the subject land will be retained and control of introduced predators can continue.

The proposal is an acceptable response to the Environmental Significance Overlay 1-1.

Bushfire Management Overlay

The subject land is contained within a Bushfire Management Overlay.

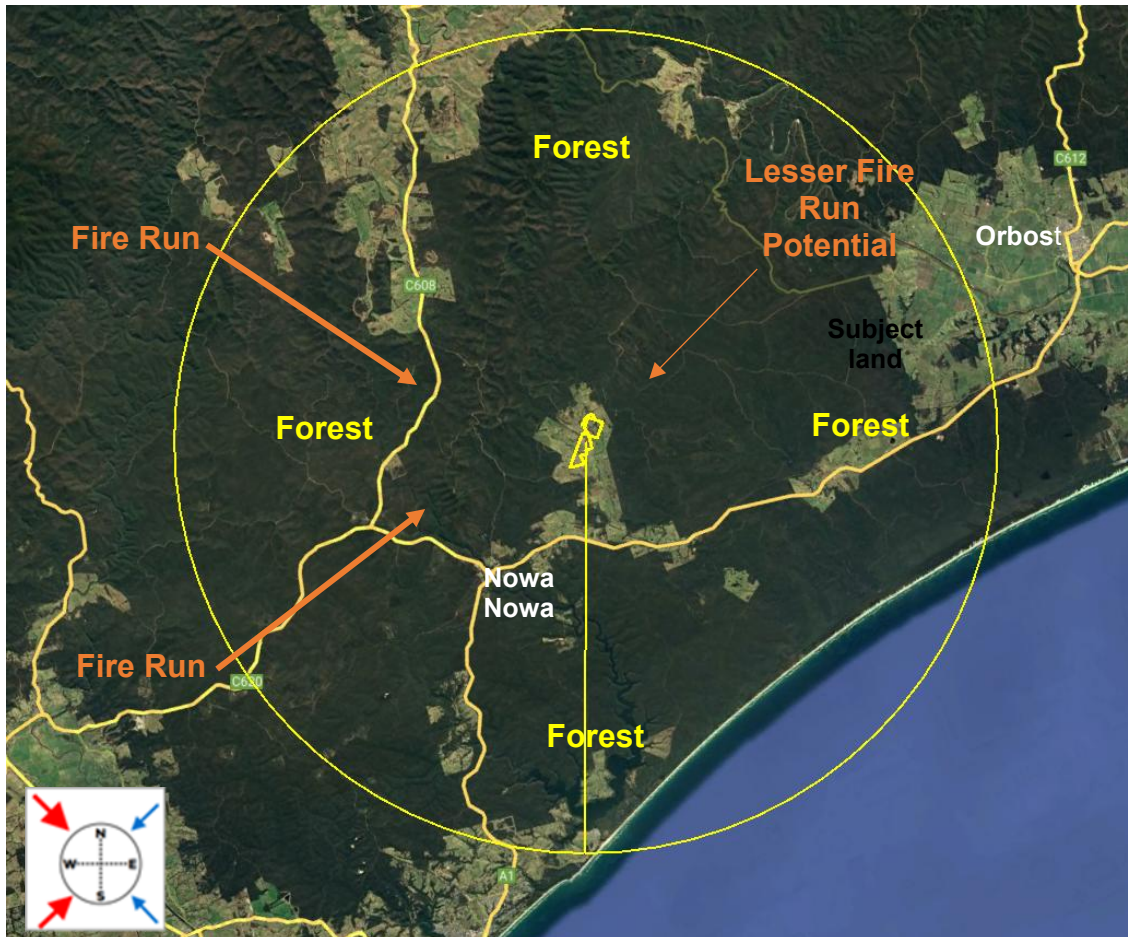


Planning scheme overlay mapping (Source: VicPlan)

In accordance with Clause 44.06-3 Application requirements, the application is supported with a Bushfire Hazard Landscape Assessment, a Bushfire Hazard Site Assessment, a Bushfire Management Statement and Bushfire Management Plan.

Bushfire Hazard Landscape Assessment

The subject land is located at Wairewa which is a small rural location within the eastern area of East Gippsland located between Nowa Nowa and Orbost.



*Bushfire Hazard Landscape Assessment at 20 kilometres
(Source: Google Earth)*

The Bushfire Hazard Landscape Assessment reveals that the subject land is located within undulating terrain, has recent fire history and includes vast areas of forested land in the wider landscape. The subject land is separated from the forested areas by cleared farm land. The subject land is considered to be within a Broader Landscape Type 4 as a bushfire could approach the subject land from a number of directions with limited evacuation options available.

Bushfire Management Statement

Response to Objectives and Standards to Clause 53.02 is provided below.

CLAUSE 53.02-4.1 LANDSCAPE, SITING & DESIGN OBJECTIVES

Objective

Development is appropriate having regard to the nature of the bushfire risk arising from the surrounding landscape.

Development is sited to minimise the risk from bushfire.

Development is sited to provide safe access for vehicles, including emergency vehicles.

Building design minimises vulnerability to bushfire attack.

Approved Measures

AM 2.1

The bushfire risk to the development from the landscape beyond the site can be mitigated to an acceptable level.

Response:

There is risk of fire exists from the north-west, south-west and north-east. There is the ability for fire runs through the Crown Land and grass fires in the intervening landscape to the north-west, south-west and north-east.

The site is located within a Broader Landscape Type 4 with the possibility for fire to approach from more than one direction. Within the immediate surrounds to the north, east, west and south is managed grazing land.

The egress route during high fire danger days is to the south, approximately 6 km to the Princes Highway then east to the Orbost township (approximately 27km) or Lakes Entrance to the west (approximately 26km) which both offer a safer place to shelter.

The property is of sufficient size capable of achieving maximum separation distances consistent with Column A under Table 2 at Clause 53.02-5 to all aspects of the building. There is a patch of trees to the south however being less than 1 hectare (approximately 0.6 hectares), the vegetation is not classifiable and the dominant vegetation is Grassland.



A response to the bushfire risk as demonstrated on the Bushfire Management Plan is to provide the maximum defensible space to all aspects of the building using the maximum downslope of >5 to 10 distance with defensible space being 25 metres.

With the building constructed to BAL-29 combined with increased defensible space it is considered the bushfire risk can be mitigated to an acceptable level.

AM 2.2

A building is sited to ensure the site best achieves the following:

- The maximum separation distance between the building and the bushfire hazard.
- The building is in close proximity to a public road.
- Access can be provided to the building for emergency service vehicles.

Response:

The proposed rural workers accommodation building has been positioned in an existing cleared area of the property which provides bushfire protection and is surrounded by grassland in the immediate vicinity.

It has been considered important in response to the bushfire threat to maximise the separation distance between the bushfire hazard and the building through the provision of defensible space consistent with Table 2 Column A of Clause 53.02-5 to all aspects of the building (being 25 metres).

Given the potential for radiant heat and ember attack the building will be constructed to a BAL 29 standard.

A proposed driveway access from Mottle Range Road which is a gravel rural road will service the proposed accommodation. The driveway will have a length greater than 200 metres requiring a passing bay and a turning circle.

The driveway access will meet the requirements of Table 5 to Clause 53.02-5 which will ensure emergency vehicles can gain access to the proposed building.

AM 2.3

A building is designed to be responsive to the landscape risk and reduce the impact of bushfire on the building.

Response:

The proposed building is constructed on metal stumps, walls are Duracom BGC fibre cement cladding and steel roof cladding. The selection of external materials are all resilient to high levels of radiant heat and embers. The simple design prevents re-entrant areas and reduces the potential for leaf litter build up on the roof and verandah.

CLAUSE 53.02-4.2 DEFENDABLE SPACE & CONSTRUCTION OBJECTIVES

Objective

Defendable space and building construction mitigate the effect of flame contact, radiant heat and embers on buildings.

Approved Measures

AM 3.1

A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office or retail premises is provided with defendable space in accordance with:

- Table 2 Columns A, B or C and Table 6 to Clause 53.02-5 wholly within the title boundaries of the land; or
- If there are significant siting constraints, Table 2 Column D and Table 6 to Clause 53.02-5.

The building is constructed to the bushfire attack level that corresponds to the defendable space provided in accordance with Table 2 to Clause 53.02-5.

Response:

N/A The proposal is considered against the requirements of Alt measure 3.6.

AM 3.2

A building used for accommodation (other than a dwelling or dependent person's unit), a childcare centre, an education centre, a hospital, leisure and recreation or a place of assembly is:

- Provided with defendable space in accordance with Table 3 and Table 6 to Clause 53.02-5 wholly within the title boundaries of the land.

- Constructed to a bushfire attack level of BAL12.5.

Response:

As the subject land is well separated from forest and surrounded by cleared farming land it is proposed appropriate to utilise alternative measure 3.6 providing for defendable space and higher construction standard rather than establishing separation distances (defendable space) prescribed in Table 3 and lower construction standard of BAL-12.5.

Alt 3.6

A building used for accommodation (other than a dwelling or small second dwelling), child care centre, education centre, hospital, leisure and recreation or place of assembly may provide defendable space in accordance with Table 2 Columns A, B or C and Table 6 to Clause 53.02-5 where it can be demonstrated that:

- Less defendable space and a higher construction standard is appropriate having regard to the bushfire hazard assessment.

Vegetation surrounding the dwelling is Grassland to all building aspects. Slope to the south of the proposed rural workers accommodation is downslope >0-5 degrees containing Grassland vegetation, the western aspect is on a downslope >5-10 degrees containing Grassland vegetation and to the north and east is upslope containing Grassland vegetation.

Separation from the accommodation and the bushfire hazard can be maximised to the distance prescribed by Column A in Table 2 to Clause 53.02-5 to all building aspects given the presence of Grassland vegetation.

The construction standard for the dwelling has been nominated at BAL 29, given the potential for ember attack in a bushfire event. The nominated external building materials will meet the requirements for BAL 29 construction.

CLAUSE 53.02-4.3 WATER SUPPLY & ACCESS OBJECTIVES

Clause 53.02-4.3 Objective

A static water supply is provided to assist in protecting property.

Vehicle access is designed and constructed to enhance safety in the event of a bushfire.

Approved Measures**AM 4.1**

A building used for a dwelling (including an extension or alteration to a dwelling), a dependant person's unit, industry, office or retail premises is provided with:

- A static water supply for fire fighting and property protection purposes specified in Table 4 to Clause 53.02-5.
- Vehicle access that is designed and constructed as specified in Table 5 to Clause 53.02-5.

The water supply may be in the same tank as other water supplies provided that a separate outlet is reserved for fire fighting water supplies.

Response:

Table 4 to Clause 53.02-5 prescribes a static water supply of 10,000 litres to be provided on site for firefighting purposes together with the appropriate fittings and access for CFA vehicles.

The Bushfire Management Plan also prescribes the necessary access requirements for the driveway consistent with Table 5 to Clause 53.02-5 given it is greater than 200 metres in length.

Conclusion

The proposed development of rural workers accommodation at 714 Wairewa Road, Wairwa is considered to accord with all relevant provisions of the Farming Zone 1, Environmental Significance Overlay 1-1 and Bushfire Management Overlay of the East Gippsland Planning Scheme. The proposal is consistent with the Planning Policy Framework and Municipal Planning Strategy and provides accommodation that mitigates the bushfire risk.

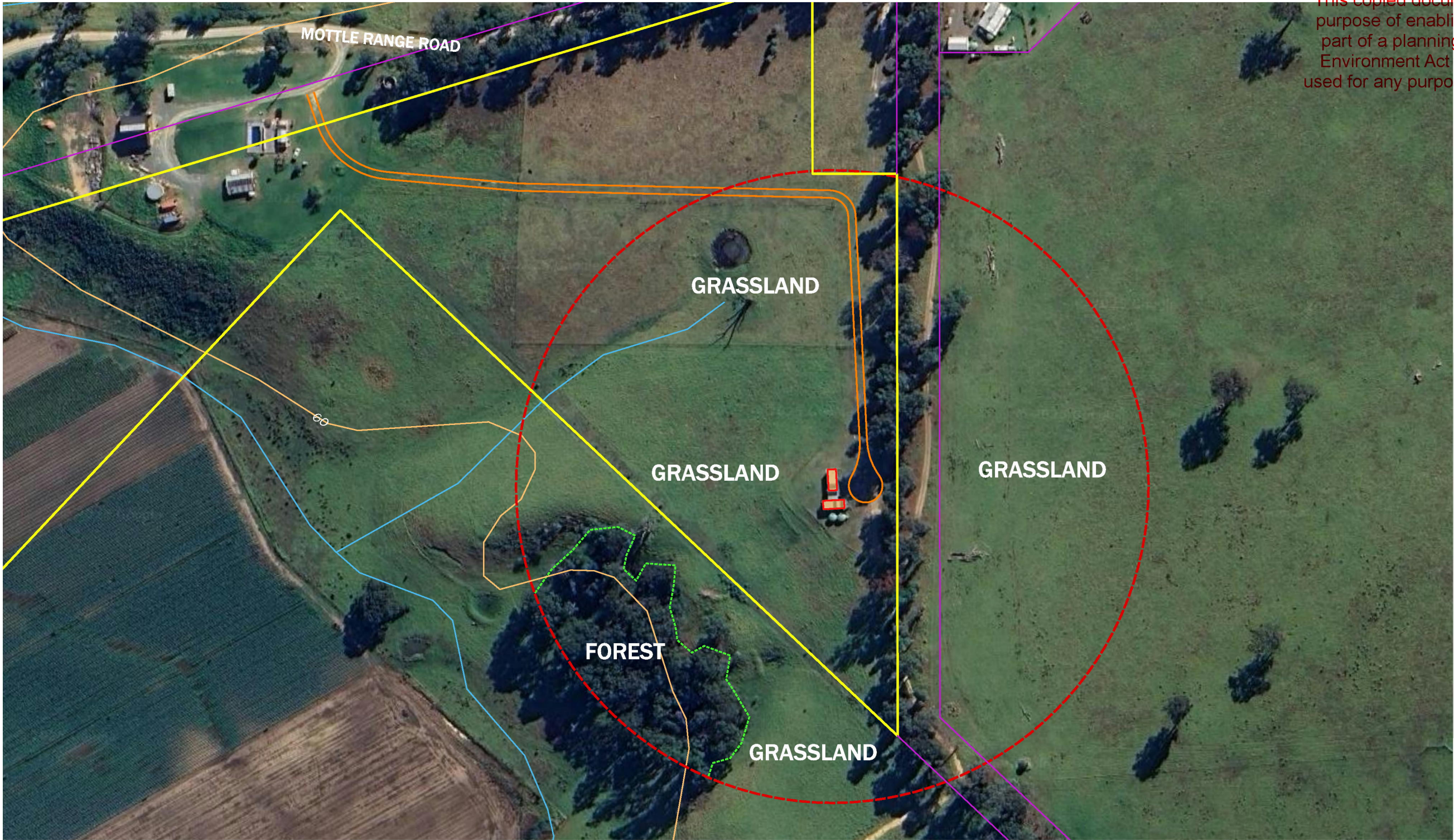
For these reasons we respectfully request that Council consider the merits of the application favourably and resolve to issue a Planning Permit.

Regards,

RICHARD HOXLE
Director, Principal Planner

*Encl. Application Form
Copy of Titles
Site Plan
Bushfire Hazard Site Assessment
Bushfire Management Plan
Floor & Elevations Plan Set*

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- ABUTTALS
- TITLE BOUNDARY
- 150m ASSESSMENT AREA
- BUILDING
- EL_CONTOUR
- DRIVEWAY
- Veg Outline
- HY_WATERCOURSE
- Google Satellite

714 WAIREWA ROAD, WAIREWA

Crowther & Sadler Pty, Ltd.
LICENSED SURVEYORS & TOWN PLANNERS

152 MACLEOD STREET, BAIRNSDALE, VIC., 3875
P. (03) 5152 5011 E. contact@crowthersadler.com.au

	North	East	South	West
Slope	Upslope	Upslope	Downslope >0°-5°	Downslope >5°- 10°
Veg Type	Grassland	Grassland	Grassland	Grassland
Separation Distances	19m	19m	22m	25m

SEPARATION DISTANCES DERIVED FROM TABLE 2, COLUMN A

SCALE (SHEET SIZE A3)	SURVEYORS REF.
1:2000	21188-12 VERSION 1 - DRAWN 04/09/2025

BUSHFIRE HAZARD SITE ASSESSMENT

PARISH OF NOWA NOWA SOUTH
SECTION A
CROWN ALLOTMENT 3 (PART)

LOT A ON PS316722

Bushfire Management Plan – 714 Wairewa Road, Wairewa

Bushfire Protection Measures

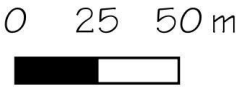
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PLAN REF: 21188-12 BMP V1

Crowther & Sadler Pty. Ltd.
LICENSED SURVEYORS & TOWN PLANNERS

- ABUTTALS
- TITLE BOUNDARY
- DIMENSIONS
- DRIVEWAY
- PASSING BAY
- BUILDING
- DEFENDABLE SPACE
- Google Satellite



Mandatory Condition

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

a) Defendable Space

Defendable space is provided for a distance of 25 metres around the building or to the property boundary whichever is the lesser and managed in accordance with the following:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 5 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

b) Construction Standard

The building must comply to a minimum Bushfire Attack Level of BAL – 29

c) Water Supply

The following requirements apply:

- An effective capacity of 10,000 litres.
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.

Where a 10,000 litre water supply is required, the following fire authority fittings and access must be provided:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

d) Access

Access Required: No ☐
Yes ☒

The following design and construction requirements apply:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.1°) entry and exit angle.

Length of access is greater 100 metres: Yes ☒ No ☐

Where length of access is greater than 100 metres the following design and construction requirements apply:

- A turning circle with a minimum radius of eight metres, or
- A driveway encircling the building, or
- The provision of other vehicle turning heads – such as a T or Y Head – which meet the specification of Austroad Design for an 8.8 metre Service Vehicle.

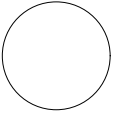
Length of driveway is greater than 200 metres: Yes ☒ No ☐

Where length of access is greater than 200 metres the following design and construction requirement applies:

- Passing bays are required at least every 200 metres that are a minimum 20 metres long and a minimum trafficable width of 6 metres.



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GENERAL NOTES (NCC 2019 BCA VOL 2)					
All materials and work practices shall comply with, but not limited to the Building Regulations 2006, National Construction Code Series 2019 Building Code of Australia Vol 2 and all relevant current Australian Standards (as amended) referred to therein.					
Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2019 Building Code of Australia Volume 2.					
All materials and construction practice shall meet the Performance Requirements of the BCA. Where an alternative solution is proposed then, prior to implementation or installation, it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the BCA.					
Glazing, including safety glazing, shall be installed to a size, type and thickness so as to comply with: - BCA Part 3.6 for Class 1 and 10 Buildings within a design wind speed of not more than N3; and - NCC 2019 BCA Vol 1 Part B1.4 for Class 2 and 9 Buildings.					
Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with AS 3740-2010: Waterproofing of Domestic Wet Areas.					
These Drawings shall be read in conjunction with any House Energy Rating (HERS) report and shall be constructed in accordance with the stamped plans endorsed by the accredited Thermal Performance Assessor without alteration.					
Step sizes (other than for spiral stairs) to be: - Risers (R) 190mm maximum and 115mm minimum - Going (G) 355mm maximum and 240mm minimum - 2R + 1G = 700mm maximum and 550mm minimum - with less than 125mm gap between open treads.					
For Class 1 and 10 buildings all treads, landings and the like to have non-slip finish or suitable non-skid strip near edge of nosing, and for Class 2, 3 and 4 all treads, landings and the like to have a slip-resistance classification of P3 or R10 for dry surface conditions and P4 or R11 for wet surface conditions, or a nosing strip with a slip-resistance classification of P3 for dry surface conditions and P4 for wet surface conditions.					
Provide balustrades where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Balustrades (other than tensioned wire balustrades) to be: - 1000mm min. above finished surface level of balconies, landings or the like, and - 865mm min. above finished surface level of stair nosing or ramp, and - vertical with less than 125mm gap between, and - any horizontal element within the balustrade between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or treads.					
Wire balustrade construction to comply with NCC 2019 BCA Part 3.9.2.3 for Class 1 and 10 Buildings and NCC 2019 BCA Volume 1 Part D2.16 for other Classes of Buildings.					
Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps.					
Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.					
Where the building (excludes a detached Class 10) is located in a termite prone area, the area to underside of building and perimeter is to be treated against termite attack.					
Concrete stumps: - up to 1400mm long to be 100mm x 100mm (1 No. H.D. Wire) - 1401mm to 1800mm long to be 100mm x 100mm (2 No. H.D. Wires) - 1801mm to 3000mm long to be 125mm x 125mm (2 No. H.D. Wires) - 100mm x 100mm stumps exceeding 1200mm above ground level to be braced where no perimeter base brickwork provided.					
For buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of Table 4.1 of AS 4773.1-2010 'Masonry in small buildings' Part 1: Design.					
All stormwater to be taken to the legal point of discharge to the Relevant Authorities approval.					
These drawings shall be read in conjunction with all relevant structural and all other consultants' drawings/details and with any other written instructions issued in the course of the contract.					
Site plan measurements in metres - all other measurements in millimetres u.n.o.					
Figured dimensions take precedence over scaled dimensions.					
The Builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures during all works.					
The Builder and Subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.					
Installation of all services shall comply with the respective supply authority requirements.					
The Builder and Subcontractor shall ensure that all stormwater drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/ or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.					
These plans have been prepared for the exclusive use by the Client of Dig Design ('The Designer') for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.					
The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. Any said variations must be accepted by all parties to the agreement and where applicable the Relevant Building Surveyor prior to implementing the said variation.					
STORMWATER					
90 mm DIA. Class 6 UPVC stormwater line laid to a minimum grade of 1:100 and connected to the legal point of stormwater discharge. Provide inspection openings at 9000mm C/C and at each change of direction. The cover to underground stormwater drains shall be not less than - 100mm under soil - 50mm under paved or concrete areas - 100mm under unreinforced concrete or paved driveways - 75mm under reinforced concrete driveways					
SITE ENVIRONMENT DESIGN INFORMATION					
Site Bushfire Attack Assessment (simplified method) Reference document 'AS 3959-2009 construction of buildings in bush fire prone areas' Relevant Fire Danger Index (FDI)- (insert FDI) Predominate vegetation:- Classification- (Insert vegetation classification) Type- (Insert Vegetation type) Distance of site from predominate vegetation- (Insert distance of the site from the classified vegetation) Effective slope of land- (Insert effective slope of land) Determination of Bushfire Attack Level (BAL)- BAL 29					
SITE CLASSIFICATION					
Site classification as Class: (Insert soil classification) Refer to soil report No: (Insert soil report number) By: (Insert Soil Engineer)					
DESIGN GUST WIND SPEED / WIND CLASSIFICATION					
Building tie-downs to be provided in accordance with AS1684-2010 for an assumed design gust wind speed / wind classification of (Insert wind speed or wind classification) (subject to confirmation on site by Relevant Building Surveyor at first inspection) refer to AS1684 for construction requirements.					
CLIMATE ZONE					
Climate zone for thermal design / thermal performance assessment : Zone (Insert Climate Zone).					
CORROSION PROTECTION OF BUILT-IN STRUCTURAL MEMBERS					
Provide corrosion protection of built-in structural steel members such as steel lintels, shelf angles, connectors, accessories (other than wall ties) in accordance with Table 4.1 of AS4773.1-2010 Masonry in Small Buildings, Part 1: Design suitable for an Environment Classification of (Insert environment classification)					
CORROSION PROTECTION FOR SHEET ROOFING					
Provide corrosion protection for sheet roofing in accordance with BCA Table 3.5.1.1a suitable for an Environment Classification of (Insert environment classification).					
DESIGN EVENTS FOR SAFETY - EARTHQUAKE ACTIONS					
For determination of domestic structures of a height less than or equal to 8.50m Building type importance level - (insert importance level from BCA Table 3.11.3a) Annual probability of exceedance - (insert probability from BCA Table 3.11.3b) Probability factor (kp) - (insert probability factor from AS1170.4 Table 3.1) Hazard factor (Z) for project location - (insert hazard factor for project location from AS1170.4 Table 3.2) Hazard at the (kpZ) - (insert kpZ value from AS1170.4 Table A1) Design required - (insert design required from AS1170.4 Table A1)					
TERMITES					
A termite barrier to be installed to minimise the risk of termite attack to primary building elements in accordance with AS3660.1. A durable notice must be permanently fixed to the building in a permanent location, indicating the following: - The method of termite risk management. - The date of installation of the system. - Where chemical barrier is used, its life expectancy as listed on the National registration Authority label. - The installer's or manufacturer's recommendations for the scope and frequency of future inspections for termite activity.					
WINDOWS					
Where the fall height from floor to the ground below is 4m or greater, there shall be no window openings greater than 125mm within 865mm of the floor. Also, there shall be no horizontal elements between 150mm to 760mm above the floor which can facilitate climbing. A window sill is deemed to be capable of facilitating climbing.					
Where the fall height from floor to ground below is 2m or greater, all openings within 1700mm of the floor shall be fitted with either a device to restrict the size of the opening, or a screen with secure fittings. The device or screen must not allow a 125mm ball to pass through the window opening; and resist an outward force of 250N (~25 kg). The device or screen may be removeable, but if so, must have a child resistant release mechanism.					
if the device or screen is removeable, there shall be no window openings greater than 125mm within 865mm of the floor. Also, there shall be no horizontal elements between 150mm to 760mm above the floor which can facilitate climbing.					
If the opening is less than 865mm above the floor or there are climable elements, then permanent screens or restrictors are required.					
GUTTER					
Gutter installation to be in accordance to Australian Standard AS/NZS 2179.1					
VENTILATION					
Mechanical ventilation to be installed in accordance with Part 3.8.5 of the BCA.					
Provide clearance from underside of bearer to finished ground level of 150mm for floor with strip flooring or 200mm for floors with particleboard flooring OR 300MM WHERE IN TERMITE PRONE AREA					
Sub floor vents to provide a rate of 6000mm sq. clear ventilation per 1000mm run of external masonry wall					
INSULATION					
Thermal insulation to be provided as follows for slab construction. (refer to energy rating report) R.F.L. to have flammability index not exceeding 5					
LIGHTING					
Artificial lighting to comply with AS/NZS1680.0-2010					
Artificial lighting to be installed in accordance with Part 3.12.5.5 of the BCA 2019					
THRESHOLDS					
If the threshold sill of the doorway is greater than 190mm above the finished surface of the ground to which the doorway opens, a landing shall be provided no less than the width of the door leaf, or 900mm wide x 900mm long, whichever is greater.					
SMOKE ALARMS					
Location of smoke alarms to be provided and installed in accordance with AS 3786-2014 And Part 3.7.2 of the BCA 2019 and shall be hard wired with battery backup.					
MASONRY					
Masonry to comply with AS3700-2011 or AS4773.1-2010 & AS4773.2-2010					
Provide wall ties to brickwork as per 3.3.3.2. BCA. Generally wall ties to be 600mm ctrs in each direction for cavity masonry, for masonry veneer: 600x450 for 450 stud walls and 600x600 for 600 stud walls and within 300mm of articulation joints.					
Provide wall ties to brickwork at maximum 5000mm ctrs in each directions and within 300mm of articulation joints 2200mm sq. clear ventilation per 1000mm run of internal dwarf walls					
Spacing of wall ties to top and sides of opening to be halved.					
SITE SETOUT					
Builder to use licensed surveyor for setouts. Ensure the building does not encroach on Title Boundaries or existing fence lines.					
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AMENDMENTS.			PROJECT TITLE. MODULAR SPACES BRV - 2 BEDROOM -		
			DRAWING TITLE. GENERAL NOTES		
			PROJECT NORTH. 		
			JULIE-ANNE SMITH LINDSAY DOUGLAS ARCHITECT REG 5933		
			10.25 401 DOCKLANDS DRIVE DOCKLANDS VICTORIA 3008 T. 03 9600 1133 F. 03 9600 1155		
			W. digdesign.net.au E. info@digdesign.net.au DESIGN		
			PROJECT NO. 20 010 SCALE N/A @A3 DATE JUNE 2020 DRAWING NO. 00		
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BAL SPECIFICATION
BUSHFIRE ATTACK LEVEL (BAL) 29

Unenclosed Sub-floor Supports
The support posts are steel, a non-combustible material

Unenclosed Floor Space - Bearers, Joists + Flooring
Bearers and joists are steel, a non-combustible material
Flooring, James Hardie Secura Exterior Flooring, Compressed Fibre Cement, a non-combustible material
Sarking to underside of flooring, Insulation Bradford Optimo R1.5 (or approved equivalent)
Verandah decking, James Hardie Hardideck, Compressed Fibre Cement Decking, a non-combustible material

External Walls
90mm metal stud wall frame
Sarking, Hardie Wrap weather barrier (or approved equivalent), to the outside of the wall frame prior to fixing external cladding. To comply with AS/NZs 4200.1 and a flammability index not more than 5
Insulation, Bradford Multitel blanket to AS3959, R1.5 batts
Cladding, min 6mm thich fibre cement sheet external cladding, to manufacturers specification. jointing and instalation to prevent gaps greater than 3mm

Exteranal Glazed Elements Windows + Doors
Screens for Windows + Doors
Screen, maximum screen perforation 2mm, screen material aluminium, screen frame aluminium.
Maximum gap between screen frame and building element 3mm, screen fixing metal
Screening required to openable portion of windows.
Screening required to windows within 400mm of horizontal deck

Windows
Window frames aluminium, a non-combustible material
External hardware to be metal
Glazing to be toughened glass min 5mm thick
Where glazing is within 400mm of the deck, that section must be screened
Openable portion of windows to be screened

Sliding glass door
Frames to be aluminium
To be protected by screen
Glazing to be toughened glass min 6mm thick
Weatherstrips to prevent draught to be installed to openable doors
Sliding door to be tight fitted in frame

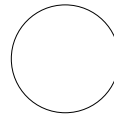
Side Hung External Glass Door
Door and frame to be aluminium
Fully framed glass door, toughened glass a min 6mm thick
External hardware to be metal
Protected externally with an approved screen
Doors to be tight fitted to frame
Weatherstrips to prevent draught to be installed to openable doors

Roofs
Steel sheet roof to be fully sarked
Sheet roof shall have gaps no greater than 3mm under corrugations or ribs of sheet roofing and betweenroof components sealed at the wall line
Mineral wool insulation R3.0 batts
Gutters and downpipes to be colorbond metal, non-combustible
Roof exhast ventilation to be fitted with ember guards made from non-combustible materials with a max aperture of 2mm
Roof penetrations to be adequately sealed to prevent gaps greater than 3mm. The material used to be non-combustible.

Verandah
Verandah eaves lining to be fibre cement, min 4.5mm thick, joints to be sealed.
Verandah post metal

Handrail / Stair
Made of non-combustible material

Water Supply
Above ground water supply pipes to be metal

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										PROJECT NO. 20 010 SCALE. NA @A3 DATE. JUNE 2020 DRAWING NO. 000			



AREA SCHEDULE	
TOTAL SITE APPROX.	-m ²
TOTAL BUILDING FOOTPRINT APPROX.	-m ²
SITE COVERAGE	-%
TOTAL HARD SURFACE AREA APPROX.	-m ²
PERMEABILITY	-%
FLOOR AREA	39.6m ²
VERANDAH	5.3m ²

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B	30.06.20	CLIENT ISSUE
A	23.06.20	CONSULTANT ISSUE
NO.	DATE.	DETAILS.

CONSULTANTS

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PROJECT TITLE.

MODULAR SPACES

BRV - 2 BEDROOM

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DRAWING TITLE.	
PROPOSED PLAN	
PROJECT NO.	20 010
SCALE.	1:50 @A3 szlce
DATE.	JUNE 2020
DRAWING NO.	02

PROJECT
NORTH.



JULIE-ANNE SMITH
LINDSAY DOUGLAS
ARCHITECT REG 5933

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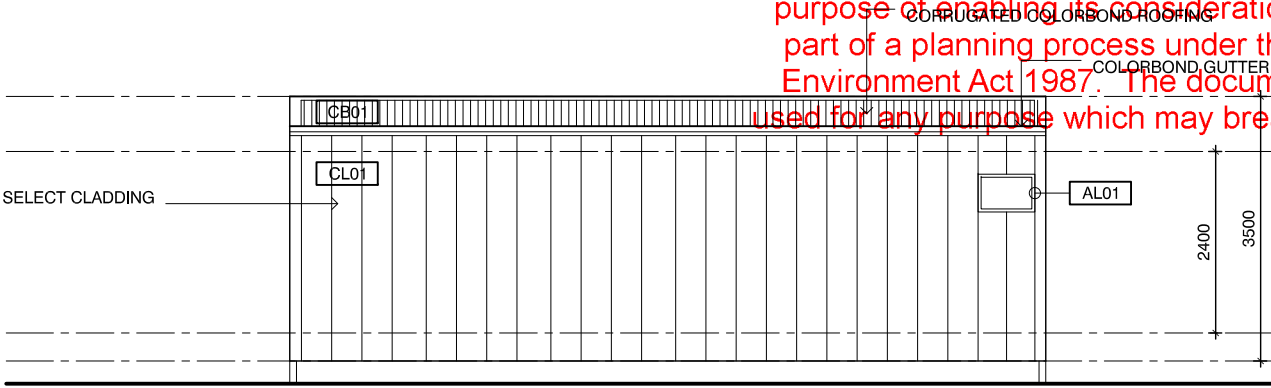
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DESIGN

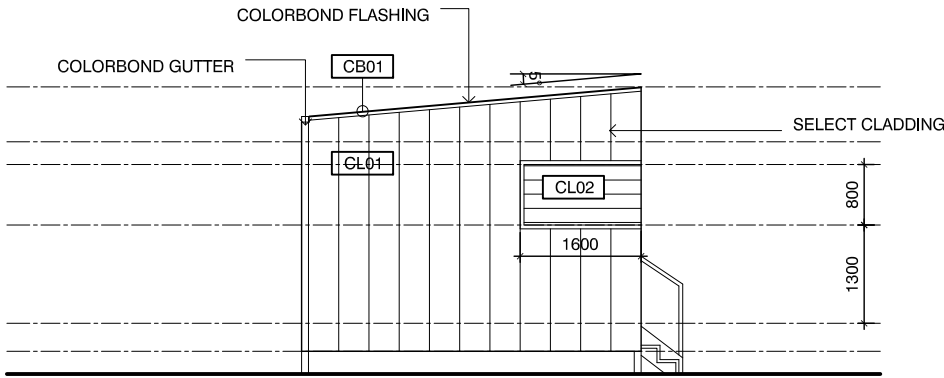
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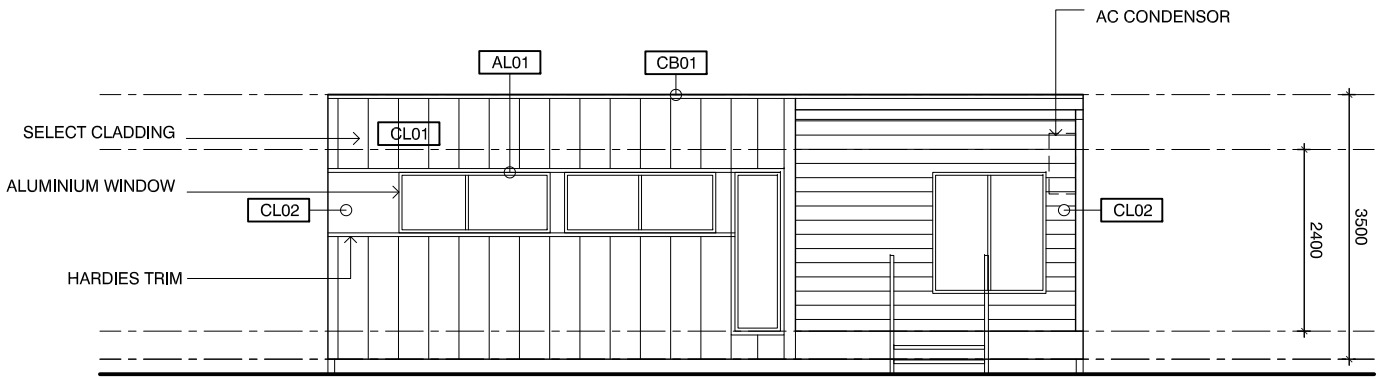
MATERIALS & COLOURS SCHEDULE		
CODE	MATERIAL	COLOUR/ FINISH
CL01	DURACOM *BGC FIBRE CEMENT COMPRESSED CLADDING* RECESSED JOINT - VERTICAL	DULUX 'TEAHOUSE' SN4G6
CL02	DURACOM *BGC FIBRE CEMENT COMPRESSED CLADDING* RECESSED JOINT - HORIZONTAL	DULUX SPANISH OLIVE' SG5E1
CL03	DURACOM *BGC FIBRE CEMENT COMPRESSED CLADDING* RECESSED JOINT - HORIZONTAL	DULUX NIGHT SKY' C25
CB01	COLORBOND ROOF SHEETING, GUTTERS + DOWNPIPES	PALE EUCALYPT
AL01	ALUMINIUM FRAMED WINDOWS + DOORS	BLACK POWDERCOATED 'NIGHT SKY' 90E9190Z
AL02	ALUMINIUM BATTEN SCREEN	BLACK POWDERCOATED 'NIGHT SKY' 90E9190Z



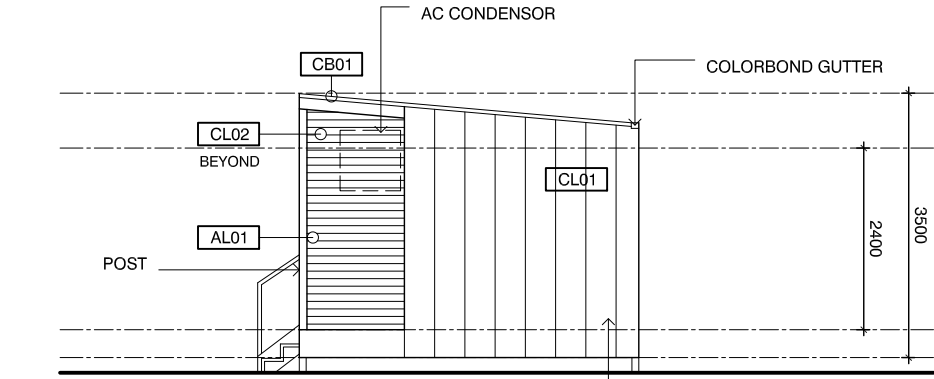
01 ELEVATION
- SCALE 1:100



02 ELEVATION
- SCALE 1:100



03 ELEVATION
- SCALE 1:100



04 ELEVATION
- SCALE 1:100

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B	30.06.20	CLIENT ISSUE
A	23.06.20	CONSULTANT ISSUE
N.O.	DATE.	DETAILS.
AMENDMENTS.		

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PROJECT TITLE.
MODULAR SPACES
BRV - 2 BEDROOM

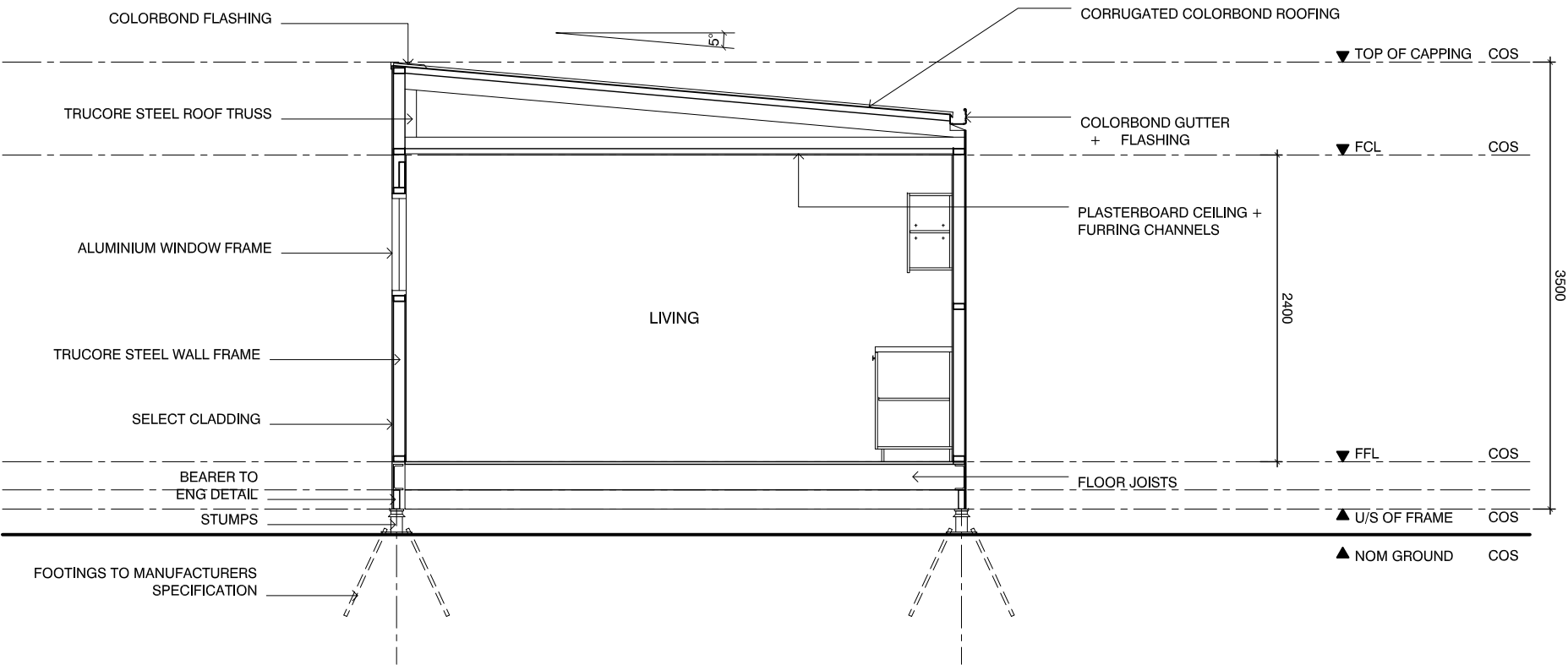
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ELEVATION

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SCALE. 1:100 @A3 size
DATE. JUNE 2020
DRAWING NO. 03

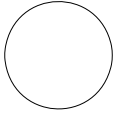
PROJECT NORTH.

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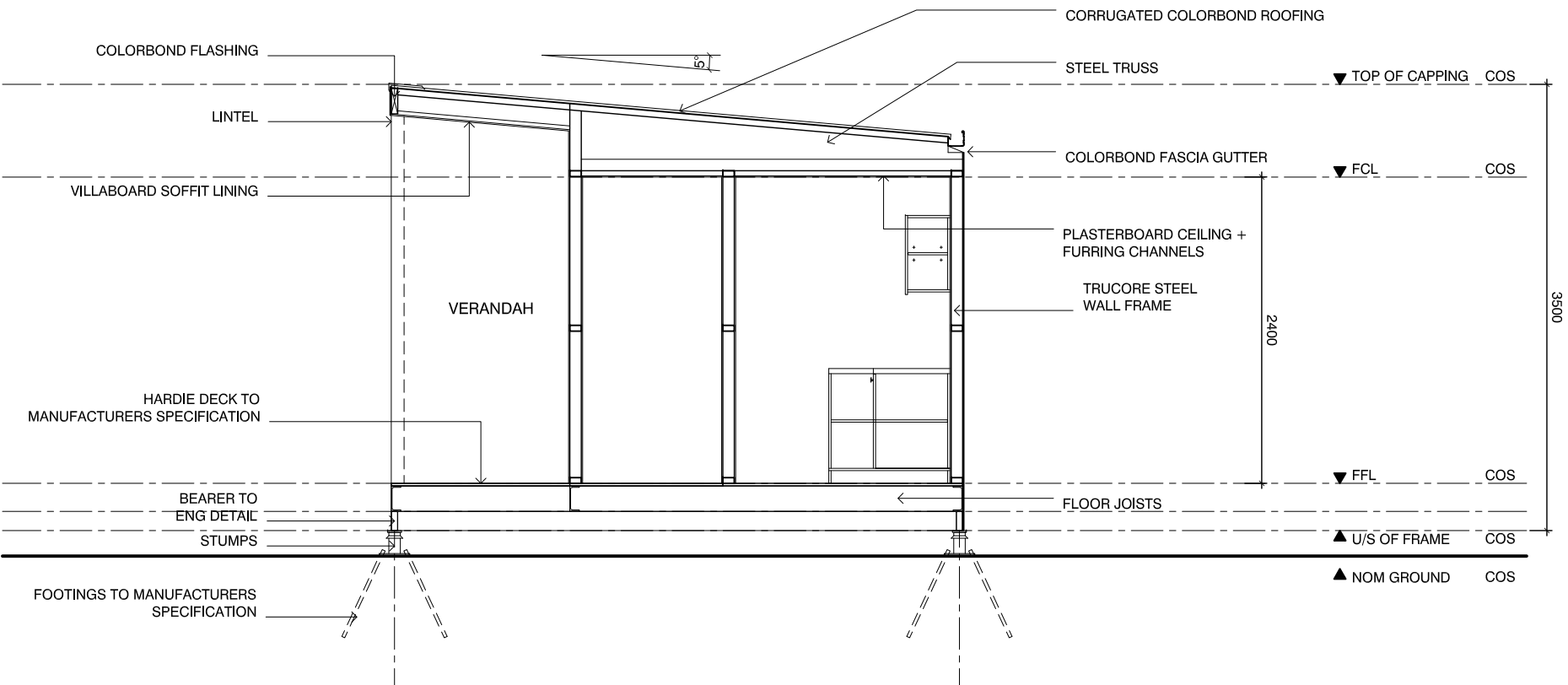
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A SECTION A-A
- SCALE 1:50

1. ALL LEVELS AND DIMENSIONS MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK. 2. ALL WORKS MUST BE EXECUTED IN A WORKMAN LIKE MANNER AND ALL MATERIALS MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARD CODES. 3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. DO NOT SCALE FROM DRAWING. 4. WINDOW SIZES ARE NOMINAL ONLY. 5. THIS DRAWING(S) IS TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS, RELEVANT REPORTS, ENGINEERS COMPUTATIONS AND / OR PLANS AND SOIL TEST REPORT WHERE INDICATED. 6. ALL MANUFACTURED / ORDERED ITEMS TO HAVE SIZES CHECKED ON SITE BEFORE ORDERING				CONSULTANTS - - - - - - - -	PROJECT TITLE. MODULAR SPACES BRV - 2 BEDROOM -	DRAWING TITLE. SECTION	PROJECT NORTH. 	JULIE-ANNE SMITH LINDSAY DOUGLAS ARCHITECT REG 5933 10.27 401 DOCKLANDS DRIVE DOCKLANDS VICTORIA 3008 T. 03 9077 2662 W. digdesign.net.au E. info@digdesign.net.au © Copyright Reserved Douglas Smith Pty. Ltd. T/A/S Dig Design	 DESIGN
						PROJECT NO. 20 010 SCALE 1:50 @A3 size DATE JUNE 2020 DRAWING NO. 04			
	B	30.06.20	CLIENT ISSUE						
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	N.O.	DATE.	DETAILS.						
AMENDMENTS.									

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B SECTION B-B
- SCALE 1:50

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A	23.06.20	CONSULTANT ISSUE
N.O.	DATE.	DETAILS.

AMENDMENTS.

CONSULTANTS

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PROJECT TITLE.

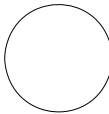
MODULAR SPACES
BRV - 2 BEDROOM

DRAWING TITLE.

SECTION

PROJECT NO. 20 010
SCALE 1:50 @A3 size
DATE JUNE 2020
DRAWING NO. 05

PROJECT NORTH.



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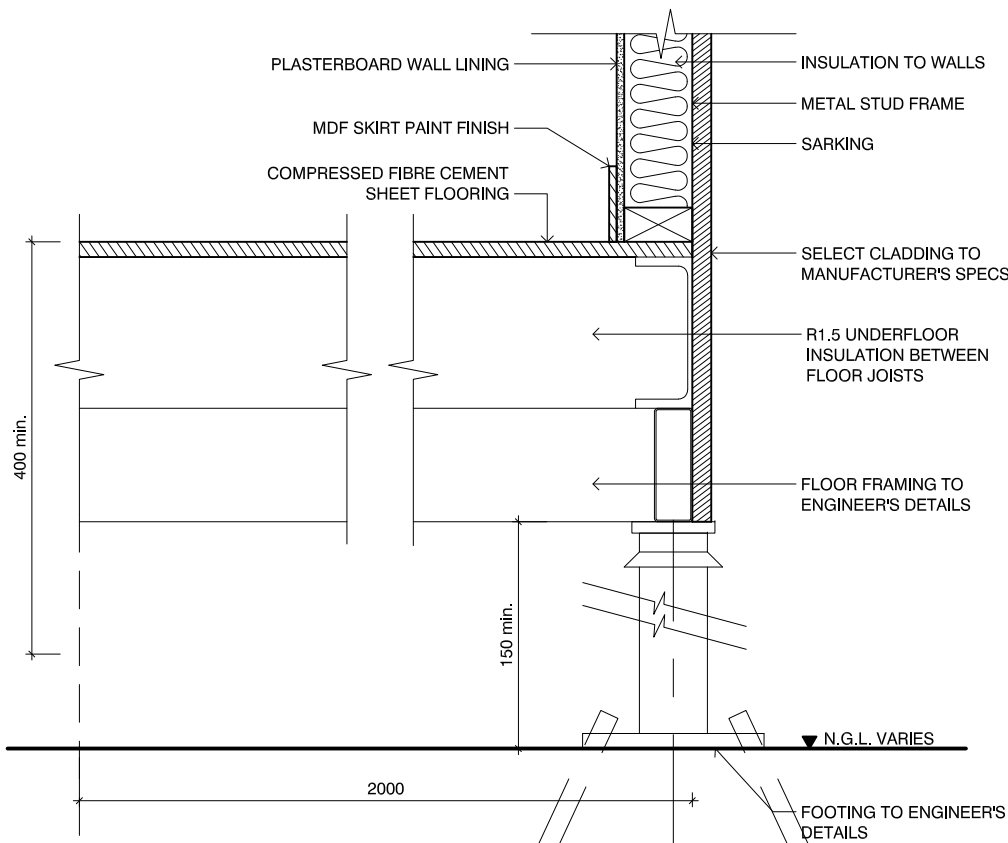
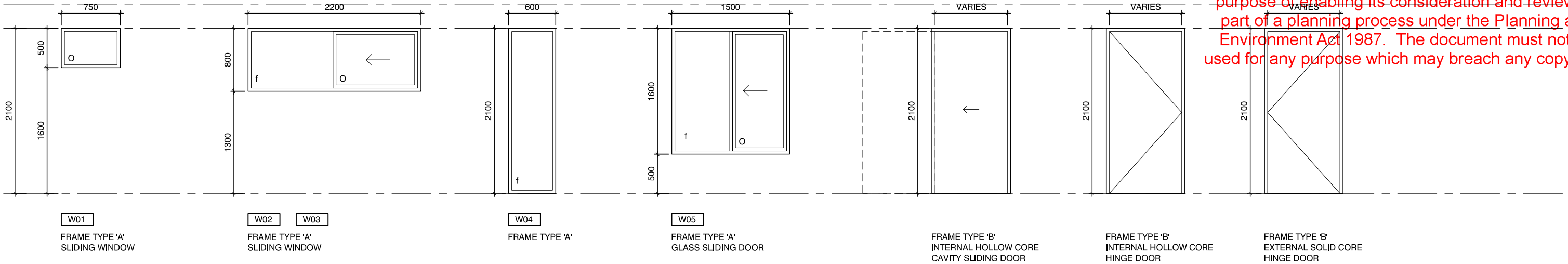
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D01 TYPICAL FOOTING DETAIL

SCALE 1:10

NOTE:
EXCAVATE WHERE REQUIRED TO MEET THE SUB FLOOR CLEARANCE SHOWN AS PER NCC 3.4.1.2 AND THE FINISHED FLOOR LEVELS SHOWN ON PLANS.

TURF AND TOP SOIL TO BE REMOVED TO A DEPTH SUFFICIENT TO PREVENT LATER GROWTH. TREE AND BUSH ROOTS THAT MIGHT ENCOURAGE LATER GROWTH TO BE GRUBBED UP AND ANY POCKETS OF SOFT COMPRESSIBLE MATERIAL THAT MIGHT AFFECT THE STABILITY OF THE BUILDING TO BE REMOVED.

FRAME TYPE:

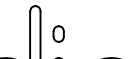
TYPE A: AWS 'VANTAGE' RESIDENTIAL SERIES (102mm FRAME), COLOUR: BLACK POWDERCOATED FINISH

TYPE B: TIMBER FRAME

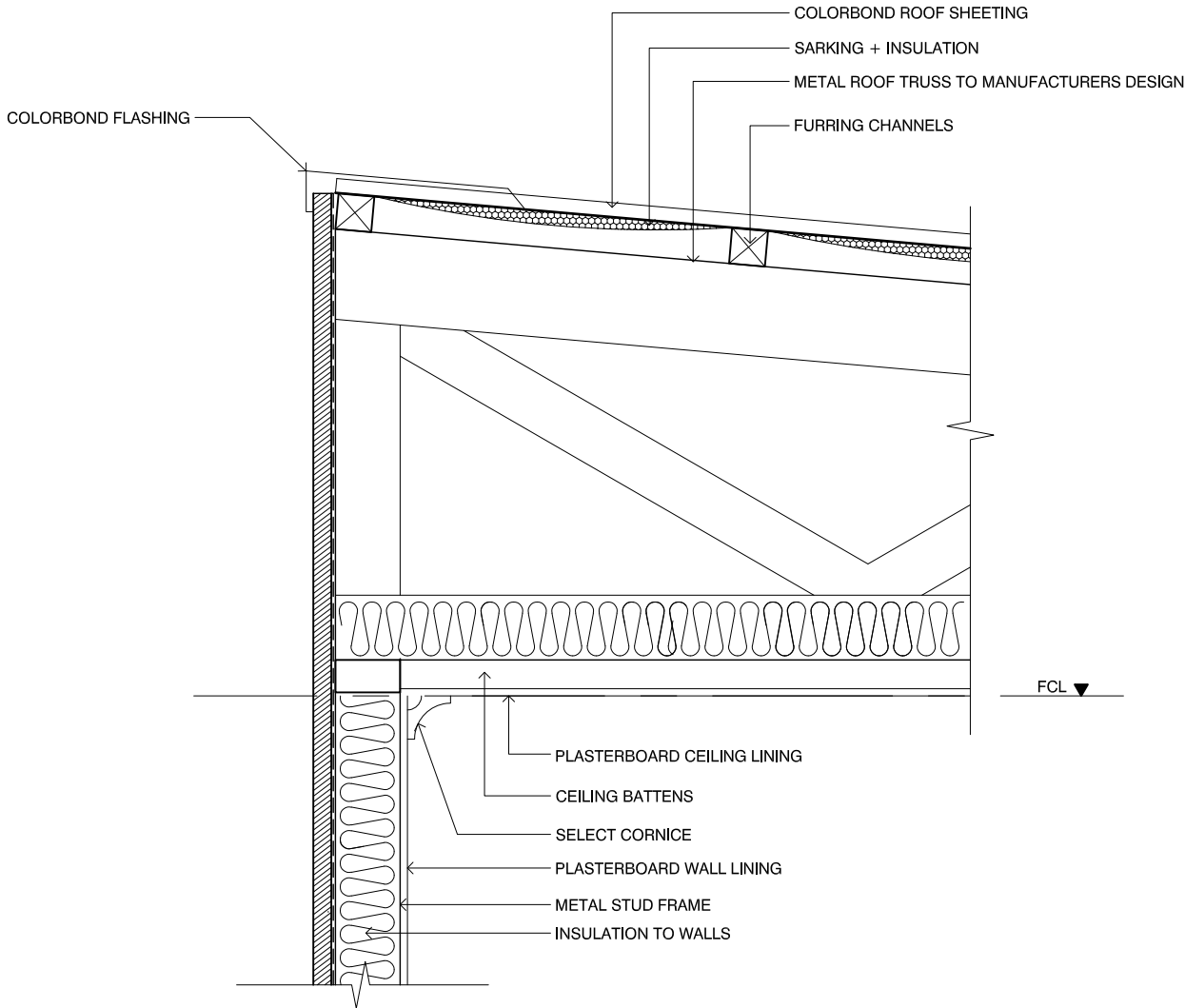
NOTES:

f FIXED GLAZING
O OPENABLE WINDOW

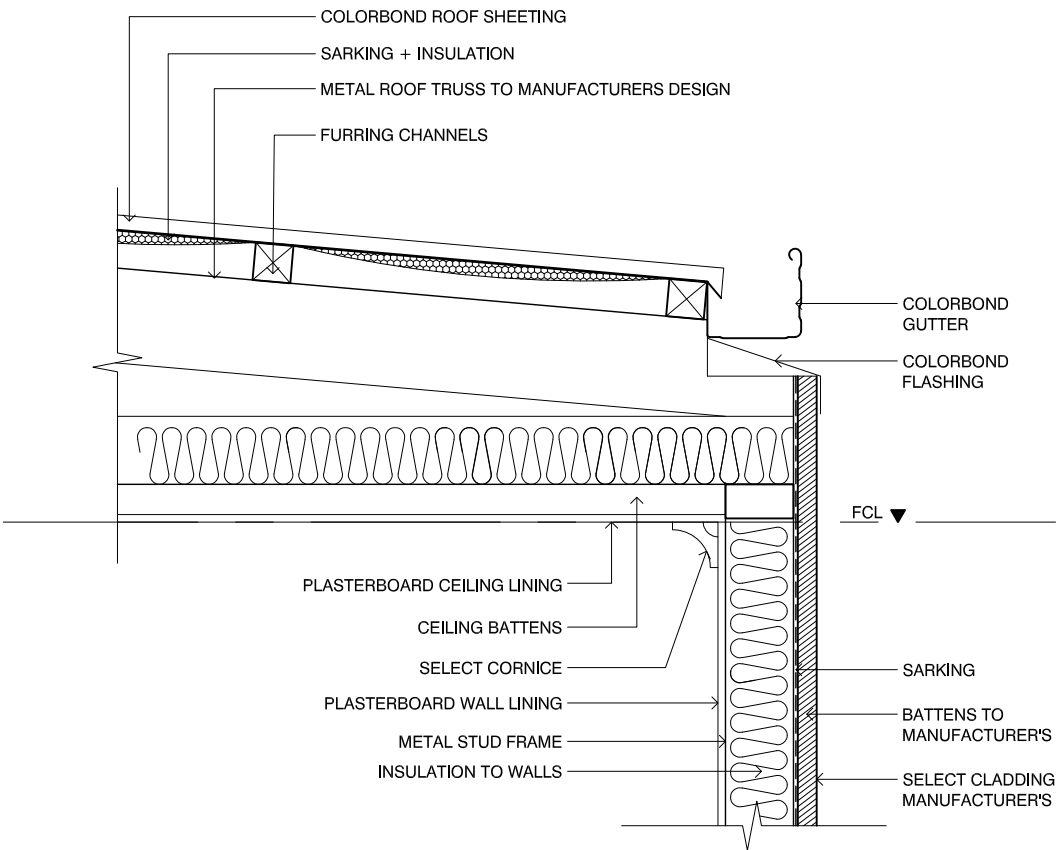
- TO SUIT BAL 29 RATING
- GLAZING IN ACCORDANCE WITH AS1288-2006 & WINDOW ASSEMBLIES IN ACCORDANCE WITH AS2047-2014
- FLYSCREENS TO ALL OPENABLE WINDOWS AND DOORS
- WINDOWS OPENING WITHIN 1m HEIGHT OF FIRST FLOOR LIMITED TO 100mm OPENING
- ALL WINDOWS & DOORS VIEWED FROM OUTSIDE
- DOOR SWINGS AND DIRECTIONS NOMINALLY INDICATED
- WINDOW SIZES ARE NOMINAL ONLY AND TO HAVE SIZES CHECKED ON SITE BEFORE FABRICATED

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		A	08.06.20			CONSULTANT ISSUE				SCALE.	1:10 @A3 slze
										DATE.	JUNE 2020
		N.O.	DATE.			DETAILS.				DRAWING NO.	06
						AMENDMENTS.					

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D02 TYPICAL ROOF DETAIL
- SCALE 1:10



D03 TYPICAL ROOF DETAIL
- SCALE 1:10

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A	23.06.20	CONSULTANT ISSUE
N.O.	DATE.	DETAILS.

AMENDMENTS.

CONSULTANTS

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PROJECT TITLE.

MODULAR SPACES
BRV - 2 BEDROOM

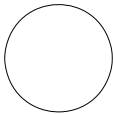
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DRAWING TITLE.

DETAILS

PROJECT NO. 20 010
SCALE. 1:10 @A3 size
DATE. JUNE 2020
DRAWING NO. 07

PROJECT NORTH.



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ELECTRICAL LEGEND:

- ⌘

DOUBLE GPO
- ⌘J

DOUBLE GPO - UNDER / INSIDE JOINERY
- ⌘

EXTERNAL DOUBLE GPO
- ×

LIGHT SWITCH
- ⌘TV

TV POINT
- ⌘D

TELEPHONE POINT
- AC

AIR CONDITIONING UNIT, MITSUBISHI
MULTI HEAD REVERSE CYCLE SPLIT
SYSTEMS
LOCATION TO BE CONFIRM WITH
SELECTED CONTRACTOR
- EF ⌘

EXHAUST FAN TO BE DUCTED
EXTERNALLY
- SD ⌘

HARDWIRED, BATTERY OPERATED &
INTERCONNECTED SMOKE DETECTOR
TO AS3786-2014 & BCA PART 3.7.2

LIGHTING LEGEND:

- D1

DOWNLIGHT
- D2

EXTERNAL DOWNLIGHT
- ◁

FLOOD LIGHT

NOTE:

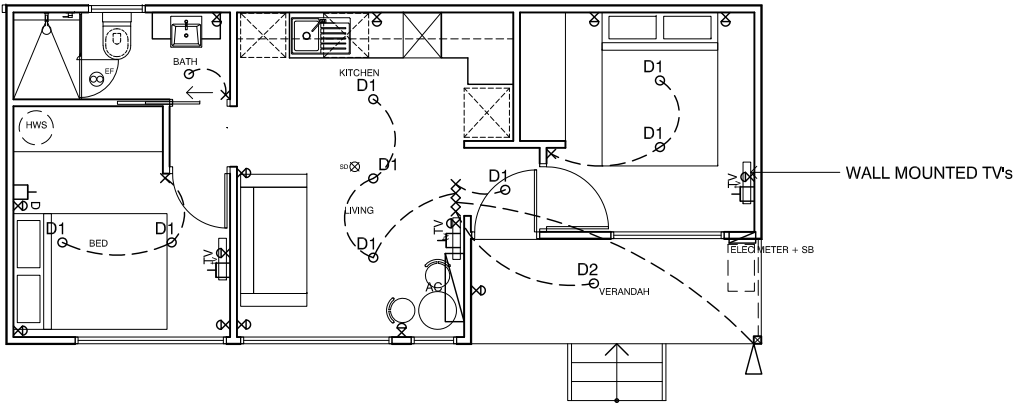
- PROVIDE POWER TO ALL KITCHEN APPLIANCES
- TV POINT / FOXTEL CABLE POINT WITH POWER
POINT TO BE MOUNTED AT 1200mm AFFL
- POWER POINT TO BE MOUNTED GENERALLY AT
300mm AFFL AND 150mm ABOVE BENCHTOP
- LIGHT SWITCH TO BE MOUNTED AT 1200mm AFFL
- ALL WIRING INSTALLATION IN ACCORDANCE WITH
AS/NZS 3000:2007

ROOF SCHEDULE:

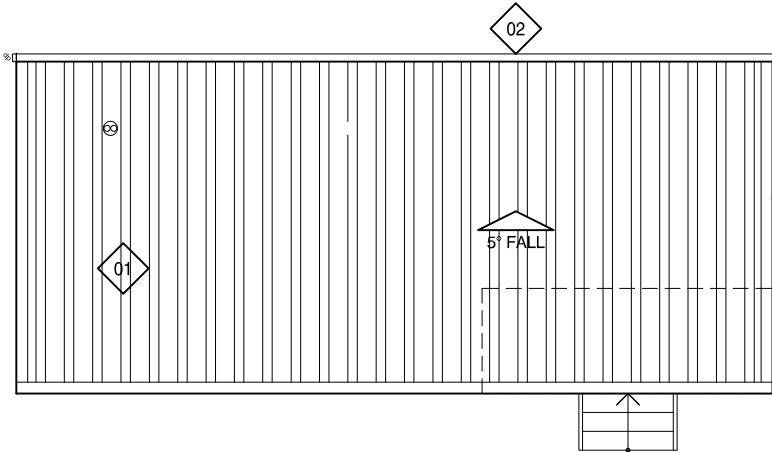
- 01

'CUSTOM ORB' COLORBOND STEEL SHEET ROOF AT
ROOF PITCH INDICATED TO MANUFACTURERS
SPECIFICATION
- 02

COLORBOND FASCIA GUTTER, CONCEALED FIXING
TO MANUFACTURERS SPECIFICATION
WITH 100 x 50 COLORBOND DOWNPIPE



01 REFLECTED CEILING PLAN
SCALE 1:100



01 ROOF PLAN
SCALE 1:100

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A	23.06.20	CONSULTANT ISSUE
N.O.	DATE.	DETAILS.
AMENDMENTS.		

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PROJECT TITLE.

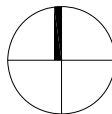
MODULAR SPACES
BRV - 2 BEDROOM

DRAWING TITLE.

REFLECTED CEILING PLAN
ROOF PLAN

PROJECT NO. 20 010
SCALE 1:100 @A3 size
DATE JUNE 2020
DRAWING NO. 08

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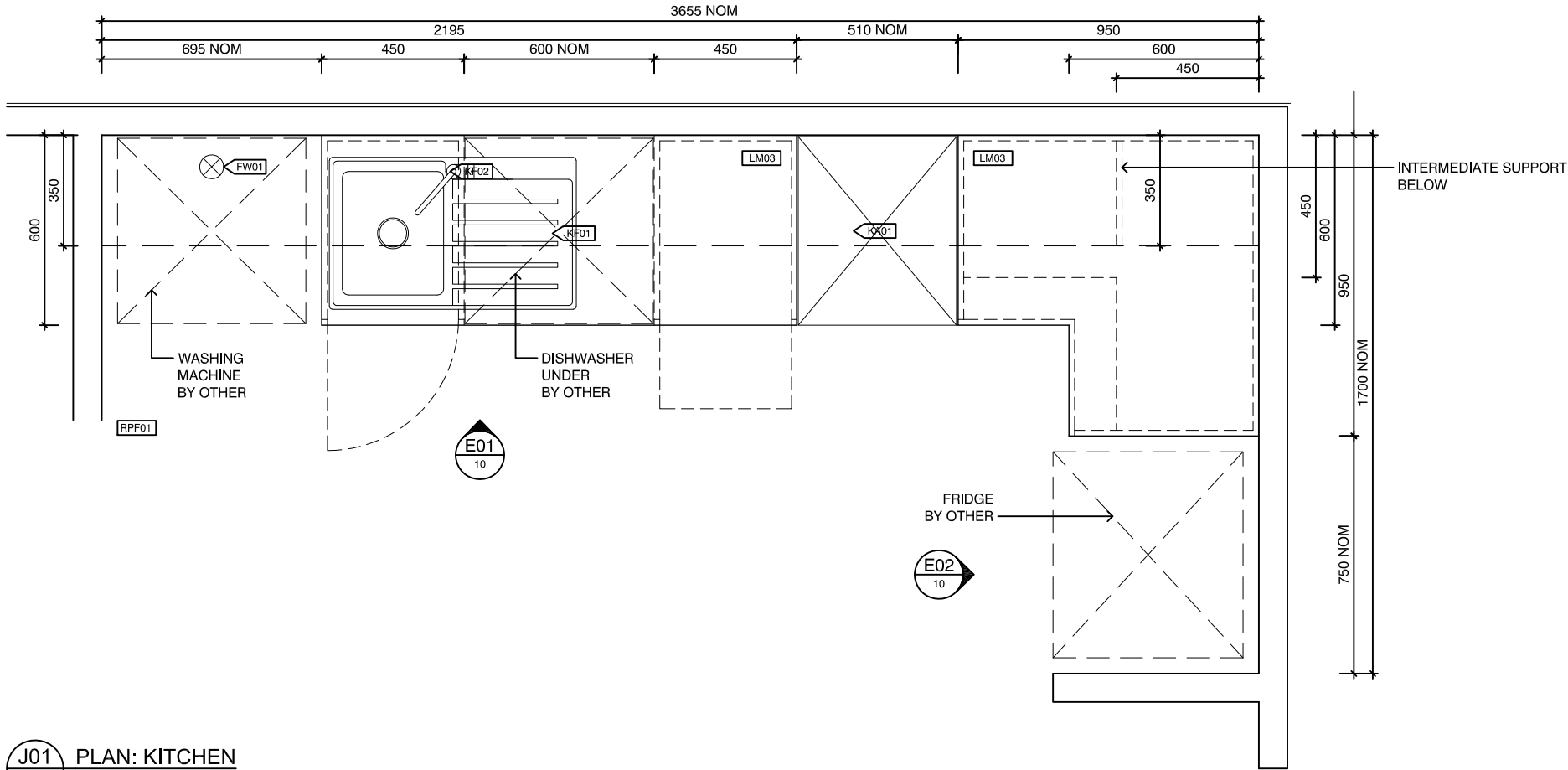
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AMENDMENTS.		

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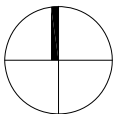
MODULAR SPACES
BRV - 2 BEDROOM

DRAWING TITLE.

KITCHEN

PROJECT NO. 20 010
SCALE 1:20 @A3 size
DATE JUNE 2020
DRAWING NO. 09

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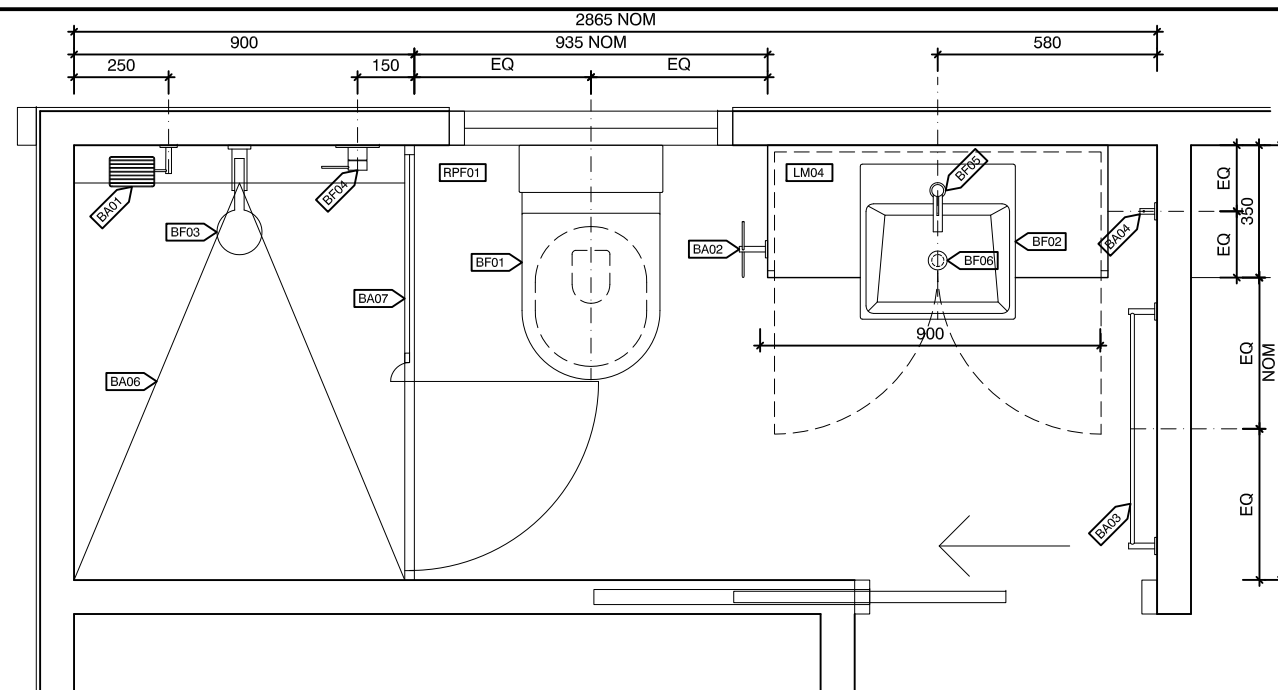
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J02 PLAN: BATHROOM
SCALE 1:20

▼ FCL 02.40 NOM

▼ AFFL 02.00 NOM

▼ AFFL 01.90 NOM

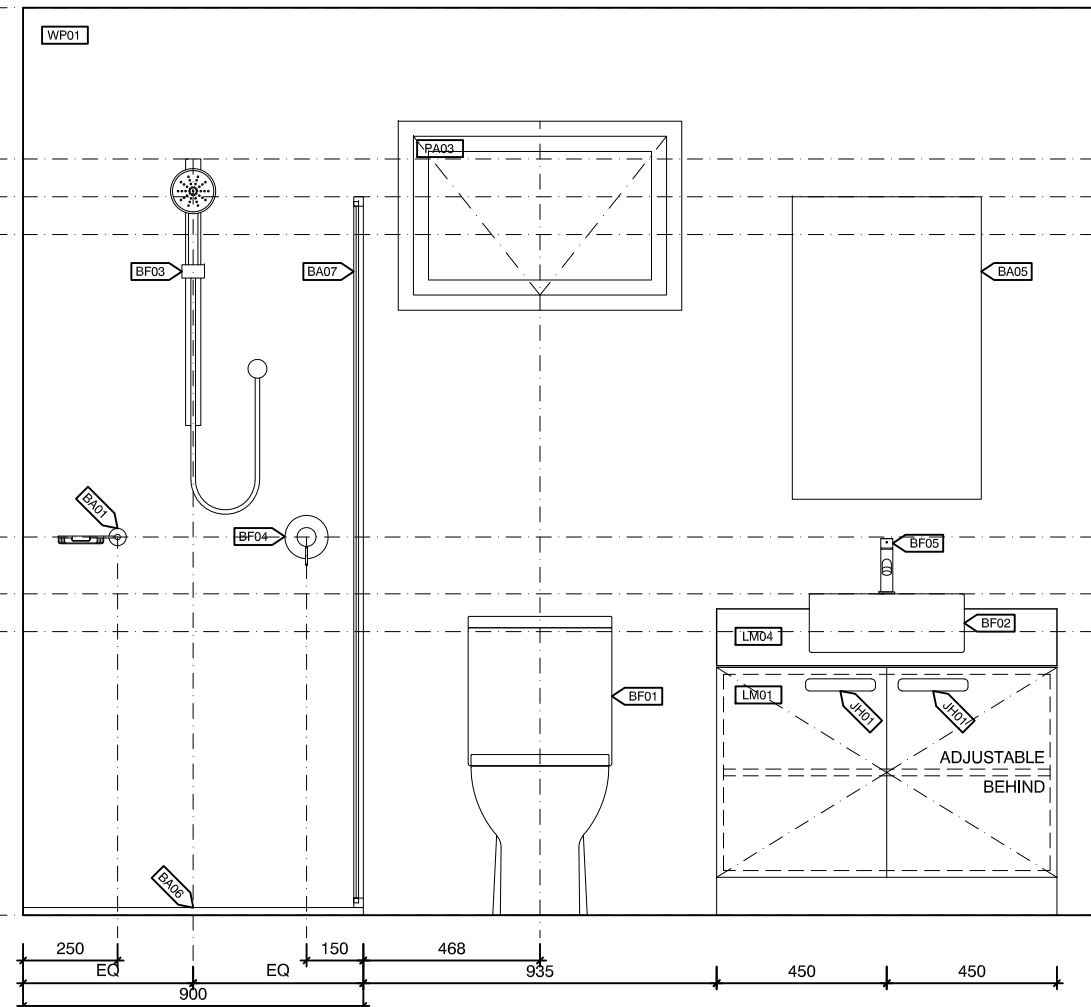
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▼ AFFL 01.00 NOM

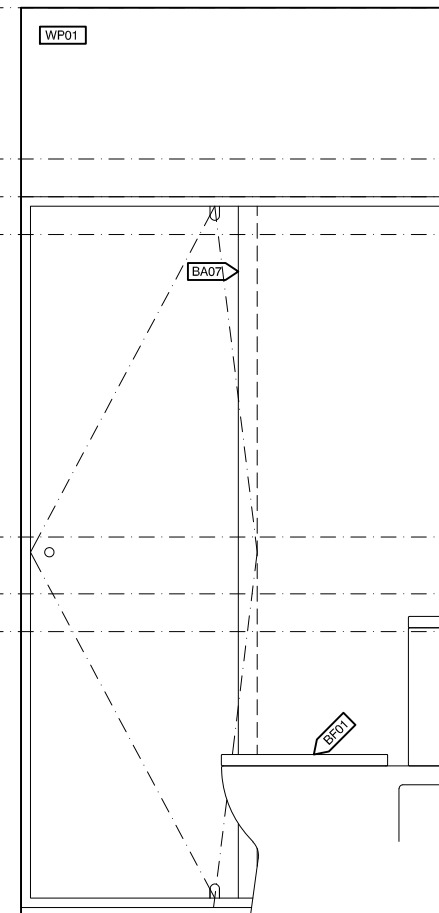
▼ AFFL 00.85 NOM

▼ AFFL 00.75 NOM

▼ FFL 00.00 NOM



E01 ELEVATION: BATHROOM
SCALE 1:20



E02 ELEVATION: BATHROOM
SCALE 1:20

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N.O.	DATE.	DETAILS.
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PROJECT TITLE.

MODULAR SPACES
BRV - 2 BEDROOM

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DRAWING TITLE.

BATHROOM

PROJECT NO.

20 010

SCALE.

1:20 @A3 size

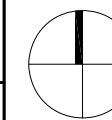
DATE.

JUNE 2020

DRAWING NO.

11

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NORTH.



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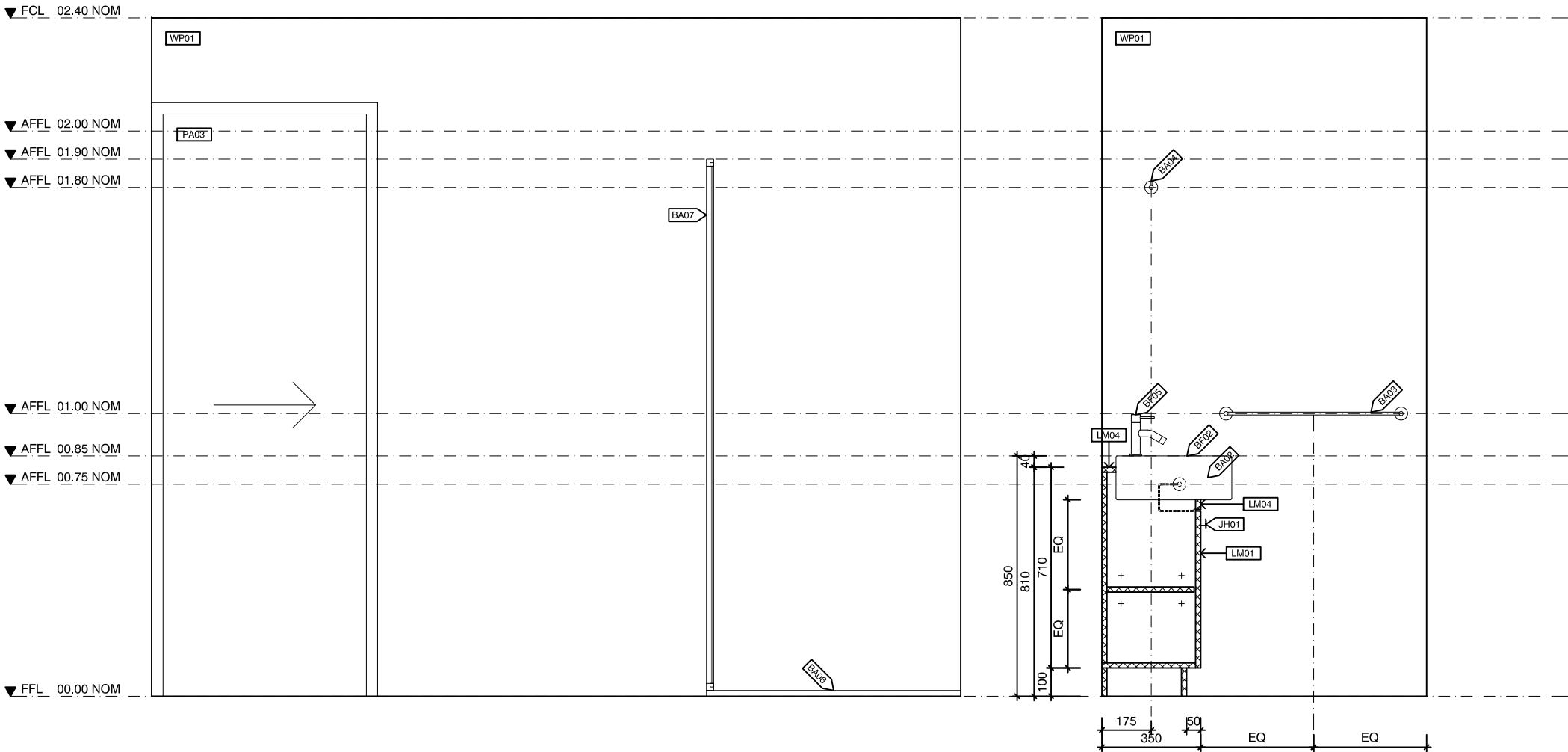
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E03 ELEVATION: BATHROOM
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SCALE 1:20

E04 ELEVATION: BATHROOM
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SCALE 1:20

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N.O.	DATE.	DETAILS.

AMENDMENTS.

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PROJECT TITLE.

MODULAR SPACES
BRV - 2 BEDROOM

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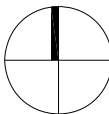
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BATHROOM

PROJECT NO.
SCALE.
DATE.
DRAWING NO.

20 010
1:20 @A3 size
JUNE 2020
12

PROJECT NORTH.



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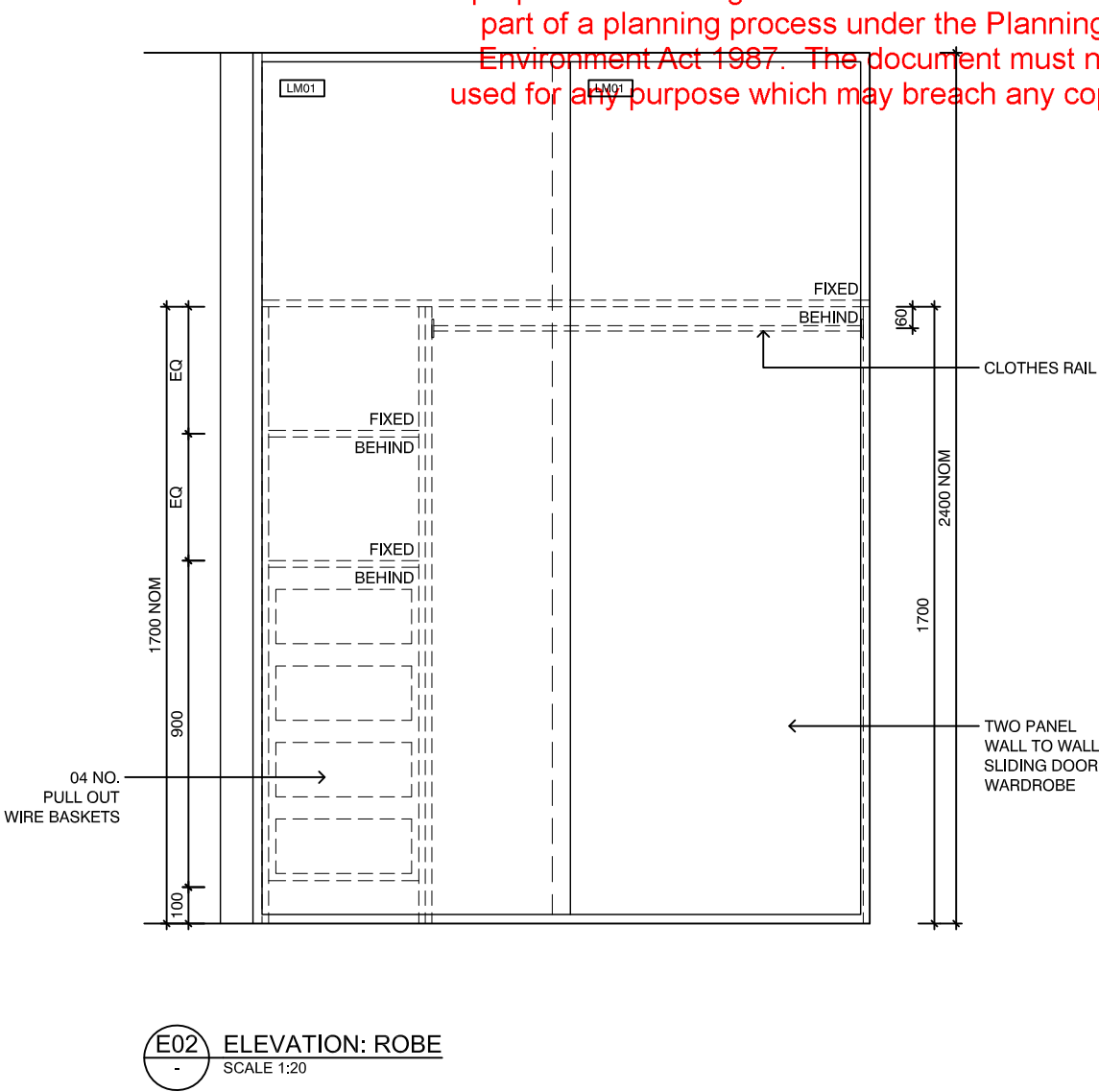
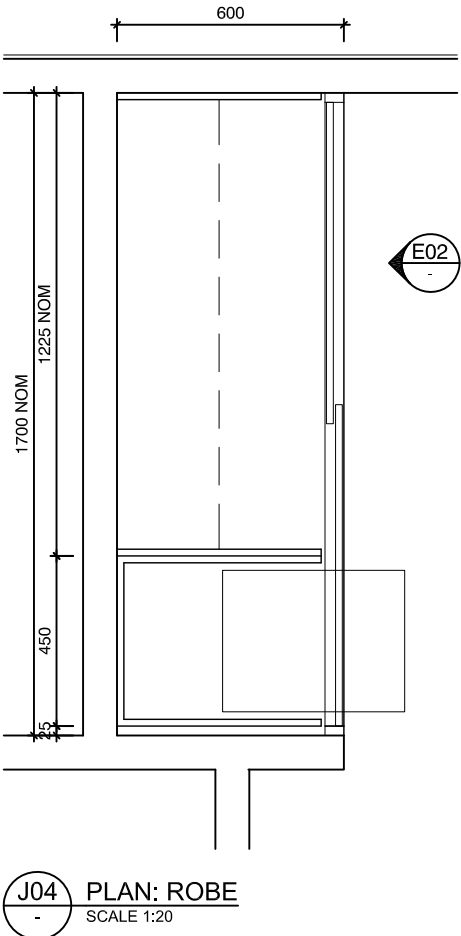
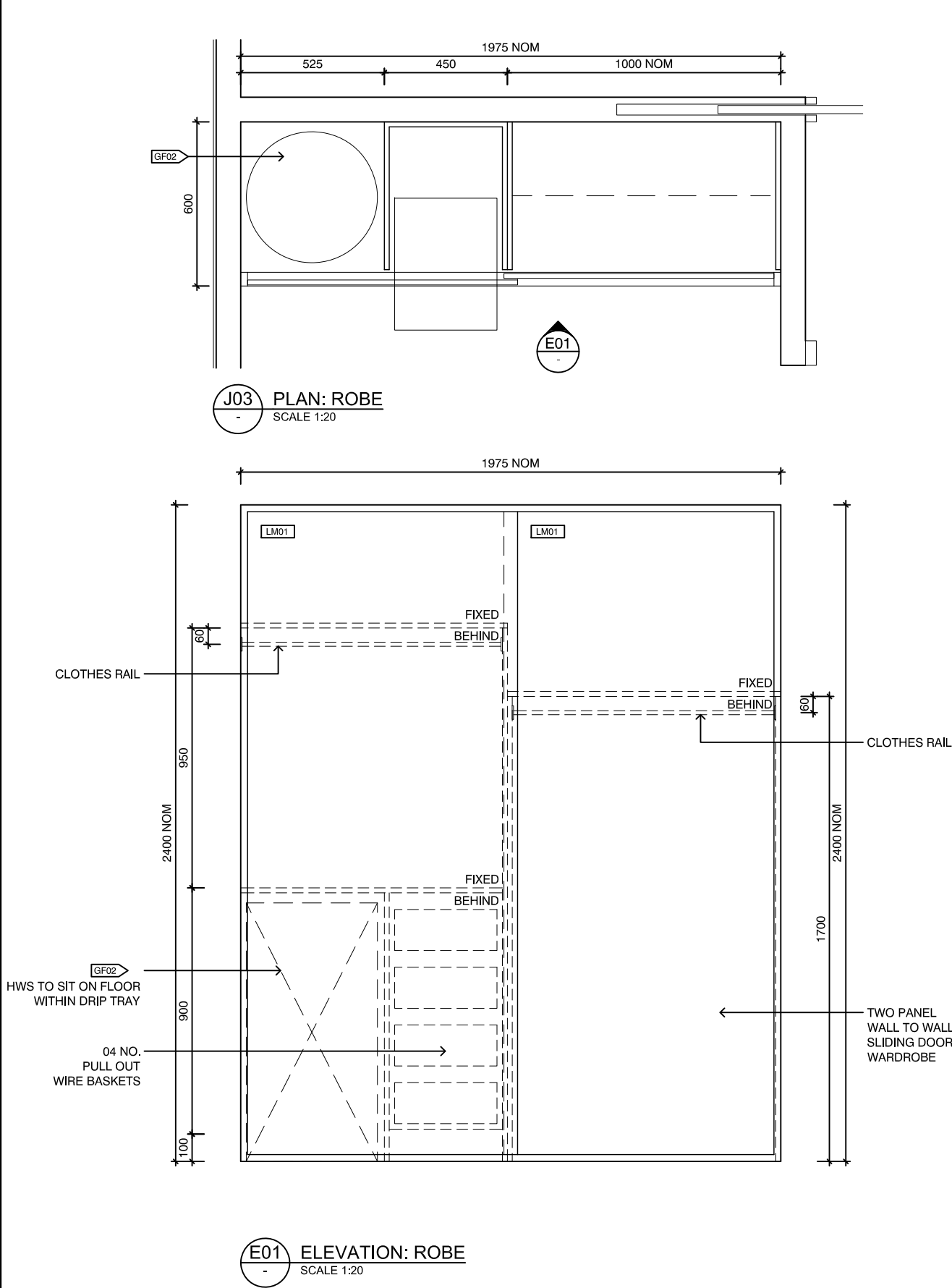
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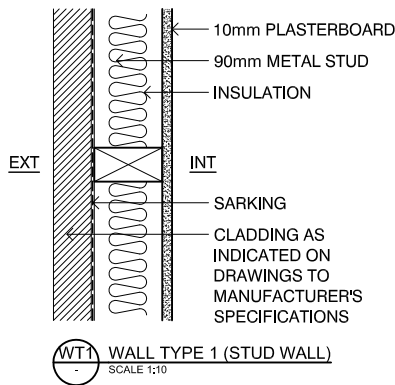
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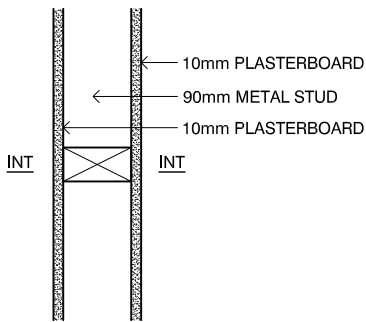
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				-	MODULAR SPACES	ROBES		10.27 401 DOCKLANDS DRIVE DOCKLANDS VICTORIA 3008 T. 03 9077 2662	
				-	BRV - 2 BEDROOM			W. digdesign.net.au E. info@digdesign.net.au	
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WALL TYPE 1 (STUD WALL)

SCALE 1:10



WALL TYPE 2 (INTERNAL WALL)

SCALE 1:10

NOTE:

ALL CSR SYSTEM WALLS TO BE BUILD IN ACCORDANCE WITH THE CURRENT CSR REDBOOK

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BP02	30.06.20	BUILDING PERMIT ISSUE
BP01	23.06.20	BUILDING PERMIT ISSUE
N.O.	DATE.	DETAILS.

AMENDMENTS.

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PROJECT TITLE.

MODULAR SPACES
BRV - 2 BEDROOM

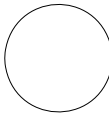
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DRAWING TITLE.

STANDARD
WALL TYPE SCHEDULE
(To be read with floor plan drawings)

PROJECT NO.	20 010
SCALE.	1:10 @A3
DATE.	JUNE 2020
DRAWING NO.	S1

PROJECT NORTH.



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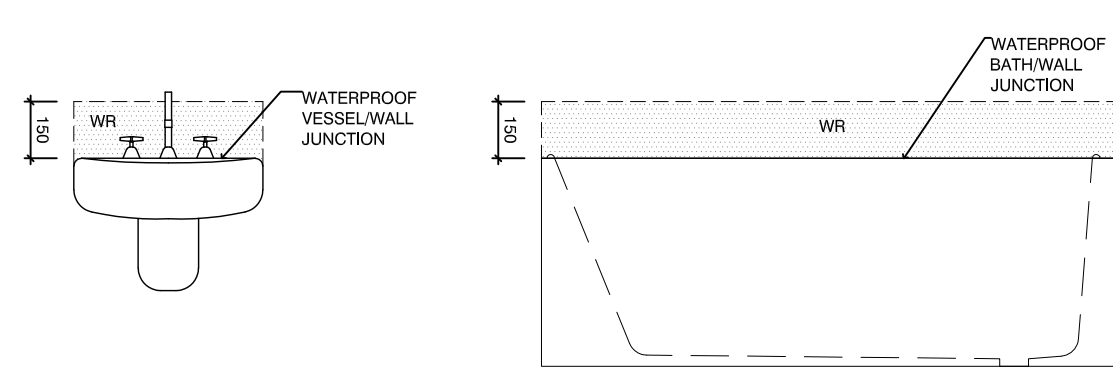
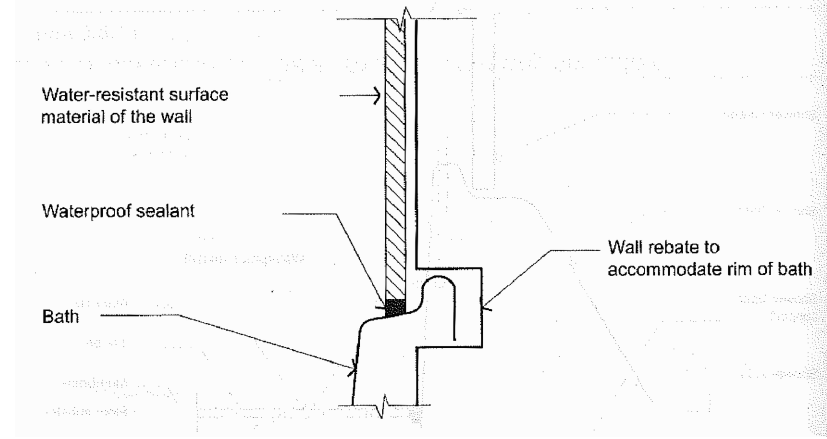
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Figure 3.8.1.8

TYPICAL BATH JUNCTIONS

Diagram a Bath/wall junction - recessed



D1 GENERAL WATERPROOFING DETAILS
SCALE 1:20

BCA Figure 3.8.1.5
BATH + VESSEL ABUTTING WALL - AREAS TO BE PROTECTED

Figure 3.8.1.2

UNENCLOSED SHOWERS ABOVE BATHS – AREA PROTECTED FOR CONCRETE AND COMPRESSED FIBRE-CEMENT SHEET FLOORING

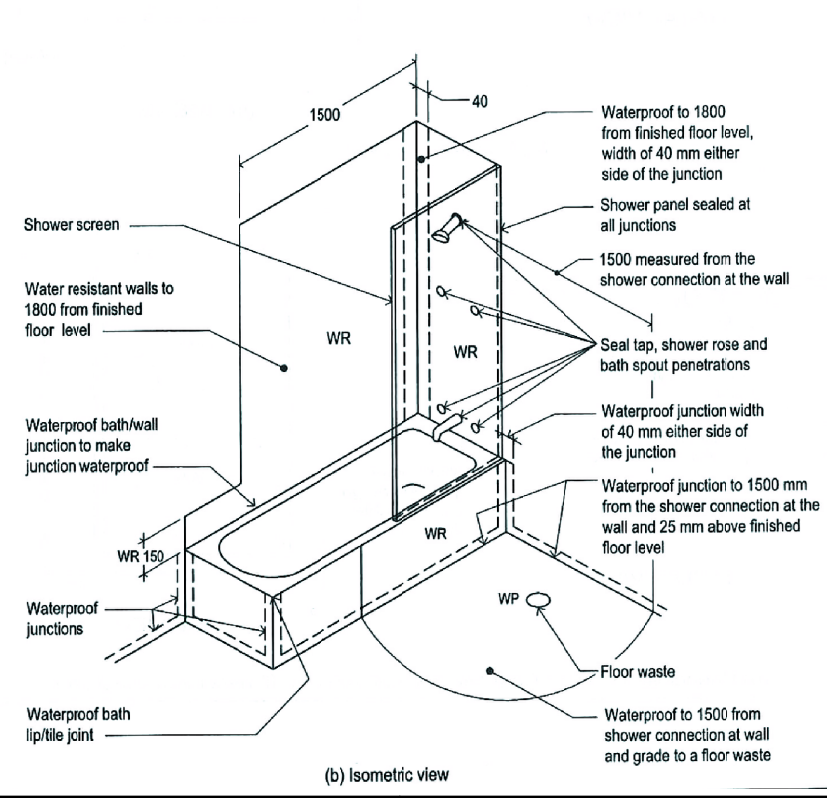
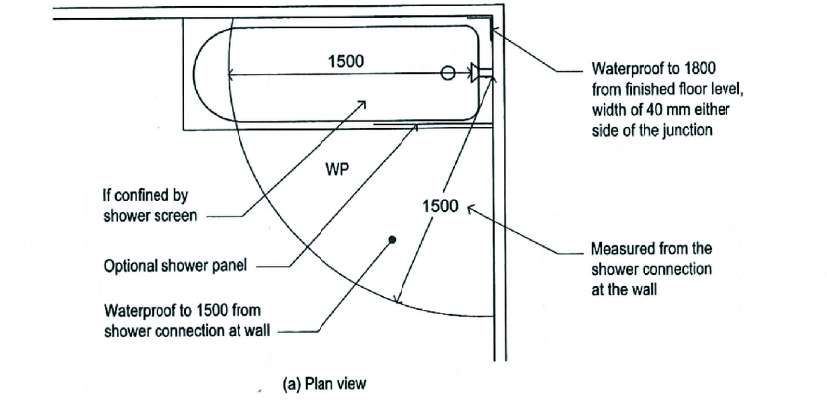
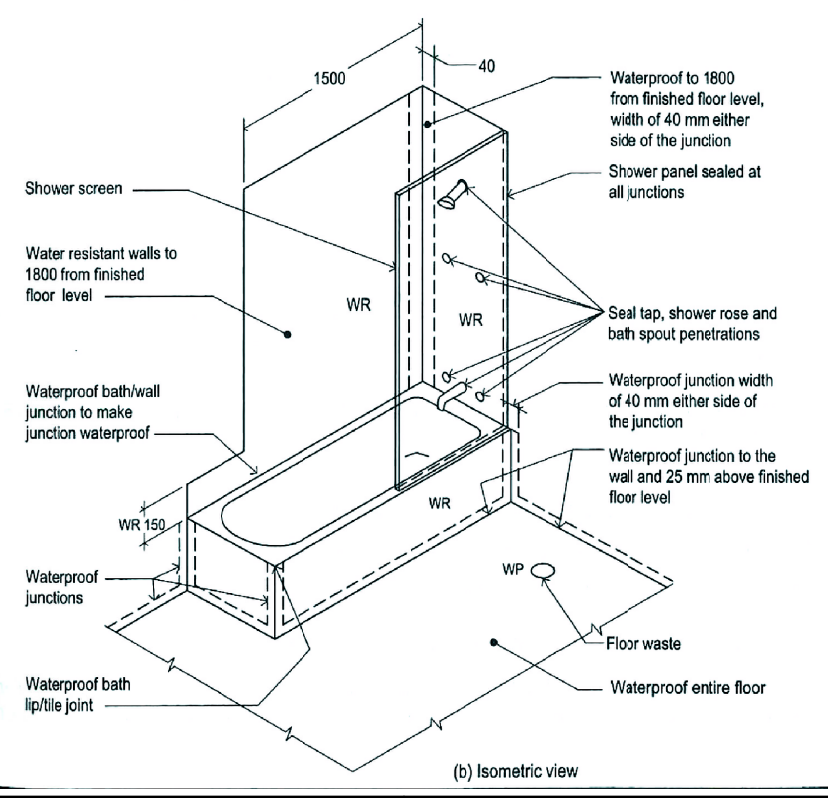
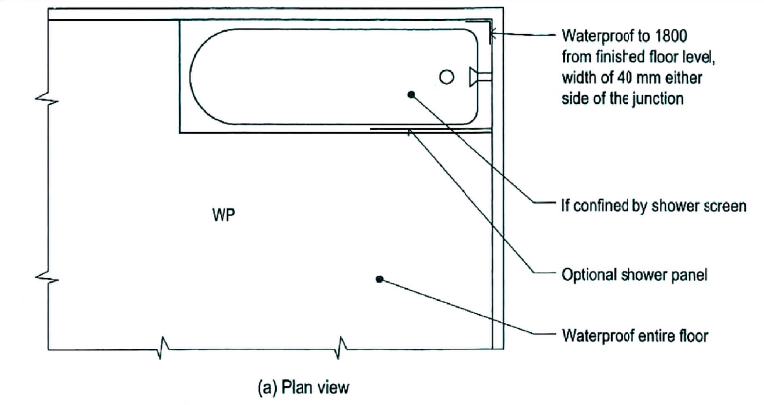
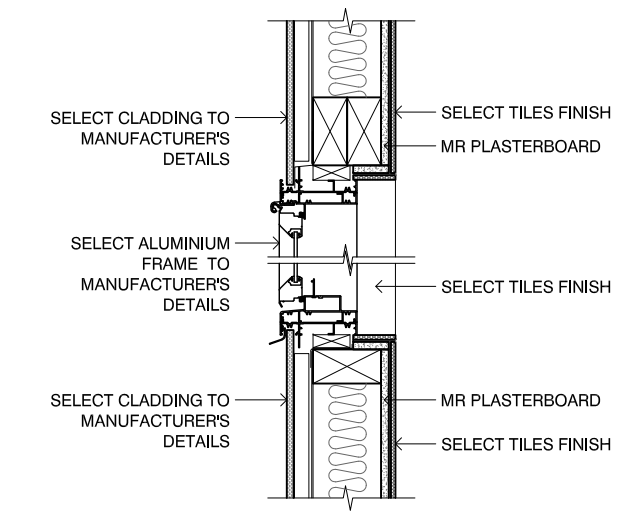


Figure 3.8.1.3

UNENCLOSED SHOWERS ABOVE BATHS – AREA PROTECTED FOR TIMBER FLOORS INCLUDING PARTICLEBOARD, PLYWOOD AND OTHER FLOOR MATERIALS



D2 WET AREA DETAIL
SCALE 1:2 TYPICAL



D3 TYPICAL WINDOW DETAIL AT WET AREA
SCALE 1:10 TYPICAL

WATERPROOFING
Waterproofing of wet areas, being bathrooms, showers, shower rooms, laundries, sanitary compartments and the like shall be provided in accordance with current versions of standards including AS/NZS 1680.0-2009, AS3740-2010 + Part 3.8.1 of the BCA 2015 for wet areas.

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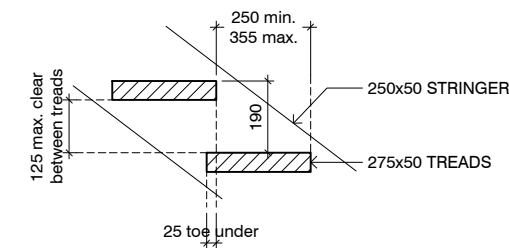
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A	30.06.20	CLIENT ISSUE

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PROJECT TITLE.	
MODULAR SPACES	BRV

DRAWING TITLE.	
STANDARD WET AREA	
PROJECT NO.	20 010
SCALE.	AS- @A3
DATE.	AUGUST 2016
DRAWING NO.	S2

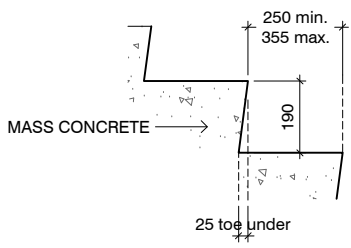
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TIMBER STAIR DETAIL
SCALE 1:50

TIMBER STAIR:

- SHALL HAVE MINIMUM THICKNESS OF 44mm
- TO BE NOT LESS THAN 'F5' STRESS GRADE
- CHECKING OF TREADS & STRINGERS SHALL BE ACCURATE AND NOT ALLOW MOVEMENT BETWEEN RECIPROCAL MEMBERS.



CONCRETE STEP DETAIL
SCALE 1:50

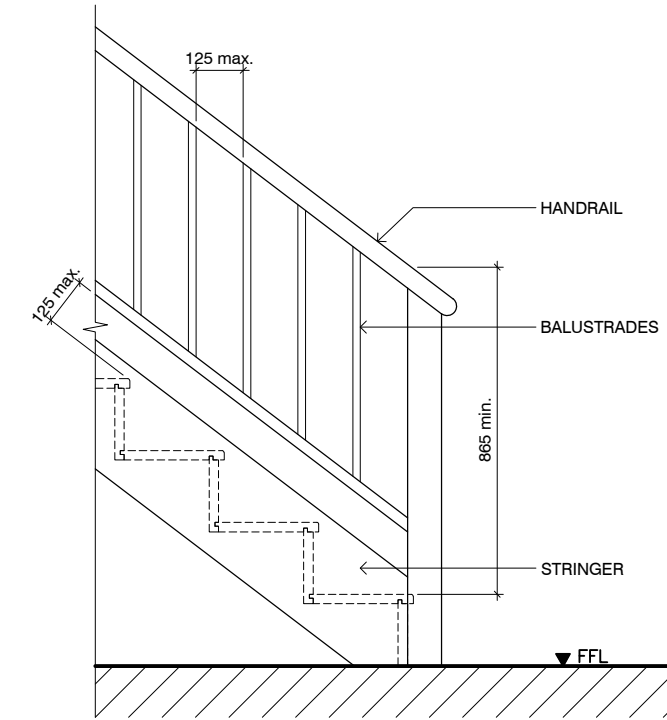
CONCRETE STAIR:

- SHALL BE 150 MINIMUM THICK, EXCLUSIVE OF TOPPINGS
- SHALL BE OF MINIMUM 20 GRADE MASS CONCRETE
- SHALL BE STEEL TROWELLED GRANOLITHIC FINISH

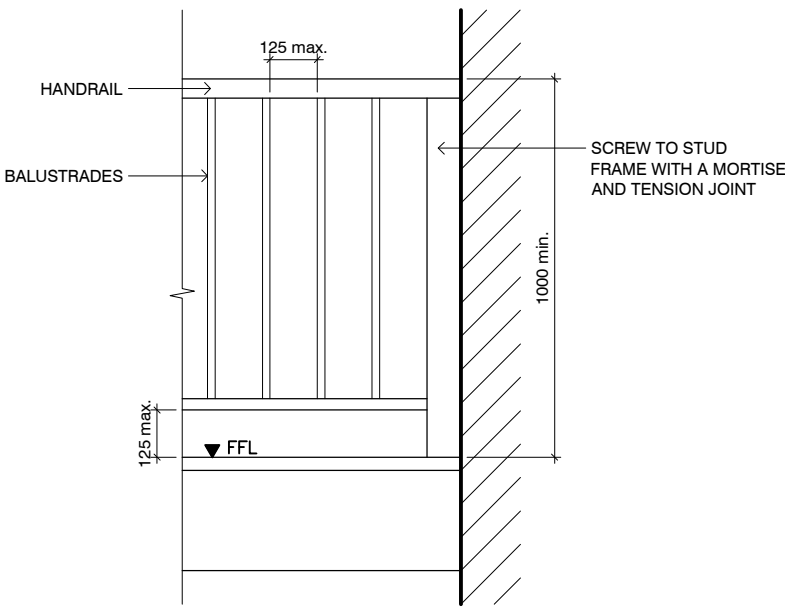
STAIRS AND BALUSTRADES GENERAL NOTE:

- Stairs, stairways and balustrades to comply with BCA 3.9.1 and 3.9.2.
Stair requirements: (other than spiral stairs)
risers 190mm maximum, 115mm minimum;
going 355mm maximum; 240mm minimum;
private stairs (and 250mm for public stairs), risers and treads to be constant in size throughout flight.
- Provide nonslip finish or suitable non skid strip near edge of nosing. Ensure maximum gap between risers not to exceed 125mm or use closed risers. Provide continuous handrail 1000mm minimum.
- Height to balconies and decks which are 1000mm or more above ground level. 865mm minimum height handrail above stair nosing and landings.
- Maximum opening between balusters not to exceed 125mm.
- Continuous handrail to be installed to one side of stair compliant with Part 3.9.2.4 of the BCA 2015.
- Construction of wire balustrade to comply with BCA 3.9.2.3

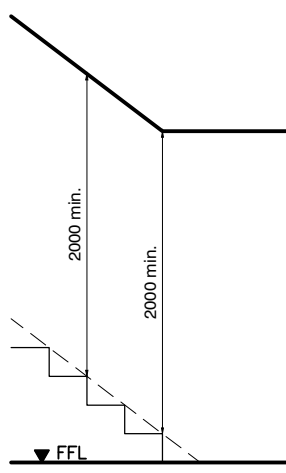
NOTE:
THESE ARE TYPICAL STAIR DETAILS.
DESIGN OF BALUSTRADES OR HANDRAILS
MAY DIFFER BUT THE MINIMUM AND
MAXIMUM HAVE TO REMAIN



BALUSTRADE DETAIL
SCALE 1:20



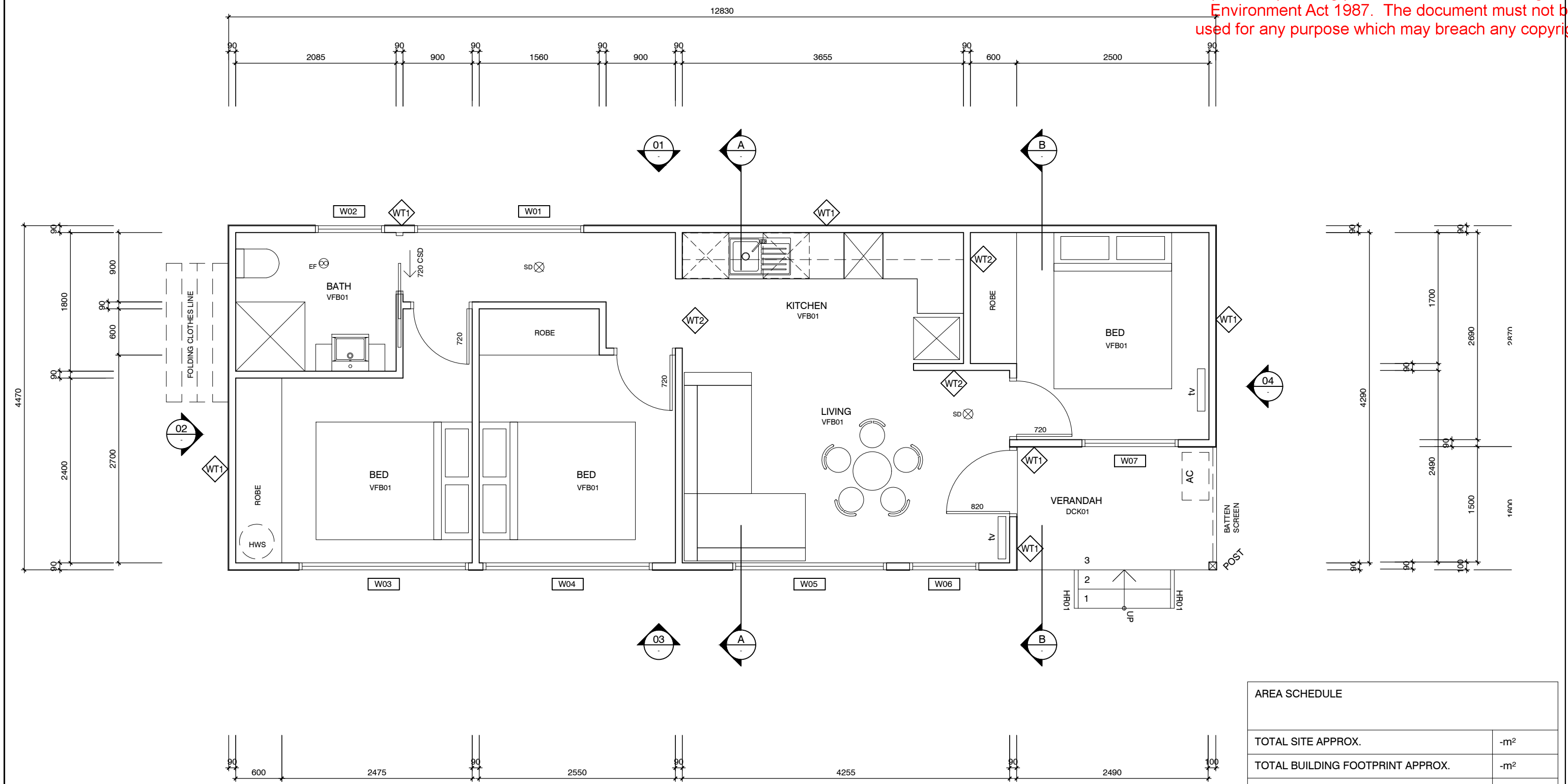
BALUSTRADE DETAIL
SCALE 1:20



STAIR HEAD HEIGHT DETAIL
SCALE 1:50

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	BP02	30.06.20	CLIENT ISSUE	MODULAR SPACES BRV - 1 BEDROOM	STANDARD STAIR DETAIL	PROJECT NO. 20 010 SCALE - @A3 DATE JUNE 2020 DRAWING NO. S3	DESIGN
	BP01	23.06.20	BUILDING PERMIT ISSUE				
	NO.	DATE.	DETAILS.				
AMENDMENTS.							

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01 PROPOSED PLAN
SCALE 1:50

AREA SCHEDULE	
TOTAL SITE APPROX.	-m ²
TOTAL BUILDING FOOTPRINT APPROX.	-m ²
SITE COVERAGE	-%
TOTAL HARD SURFACE AREA APPROX.	-m ²
PERMEABILITY	-%
FLOOR AREA	53.5m ²
VERANDAH	4.1m ²

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Architectural elevation drawing of a building facade. The drawing shows a long, low structure with a corrugated metal roof. The facade is composed of vertical cladding panels. A window unit is located on the right side. Labels and dimensions are as follows:

- Labels:**
 - CB01:** Located at the top left, within a corrugated metal section.
 - CL01:** Located on the left side, pointing to a vertical cladding panel.
 - CL02:** Located within the window unit, pointing to a specific panel.
 - AL01:** Located on the right side, pointing to the window unit.
- Dimensions:**
 - 2400:** Vertical dimension for the window unit.
 - 3500:** Vertical dimension for the entire facade height.
- Other Text:**
 - SELECT CLADDING:** Text on the left with an arrow pointing to the cladding panel.
 - CORRUGATED COLORBOND ROOFING:** Text at the top right, pointing to the roof.
 - COLORBOND GUTTER:** Text at the top right, pointing to the gutter.

Technical drawing of a roof section showing the installation of Colorbond flashing and gutter. The drawing includes labels for 'COLORBOND FLASHING', 'COLORBOND GUTTER', 'CB01', 'CL01', 'CL02', and 'SELECT CLADDING'. Dimensions of 1600, 800, and 1300 are indicated.

AC CONDENSOR

CB01

CL02

BEYOND

AL01

POST

TIMBER STEPS

CL01

COLORBOND GUTTER

3500

2400

SELECT CLADDING

SELECT CLADDING

ALUMINIUM WINDOW

TIMBER TRIM

CL01

AL01

CB01

CL02

CL02

AC CONDENSOR

3300

2400

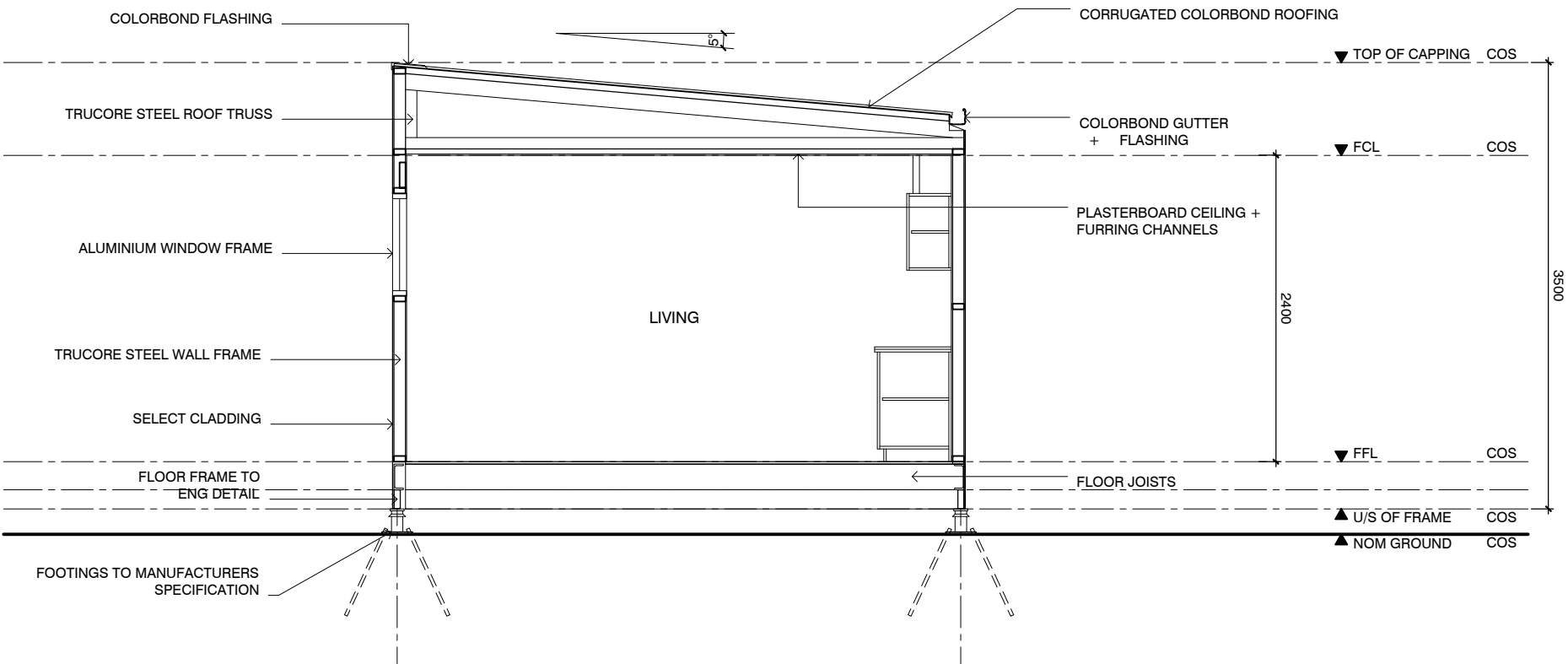
PROJECT TITLE.	MODULAR SPACES BRV - 3 BEDROOM
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PROJECT NO.	20 011
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A SECTION A-A
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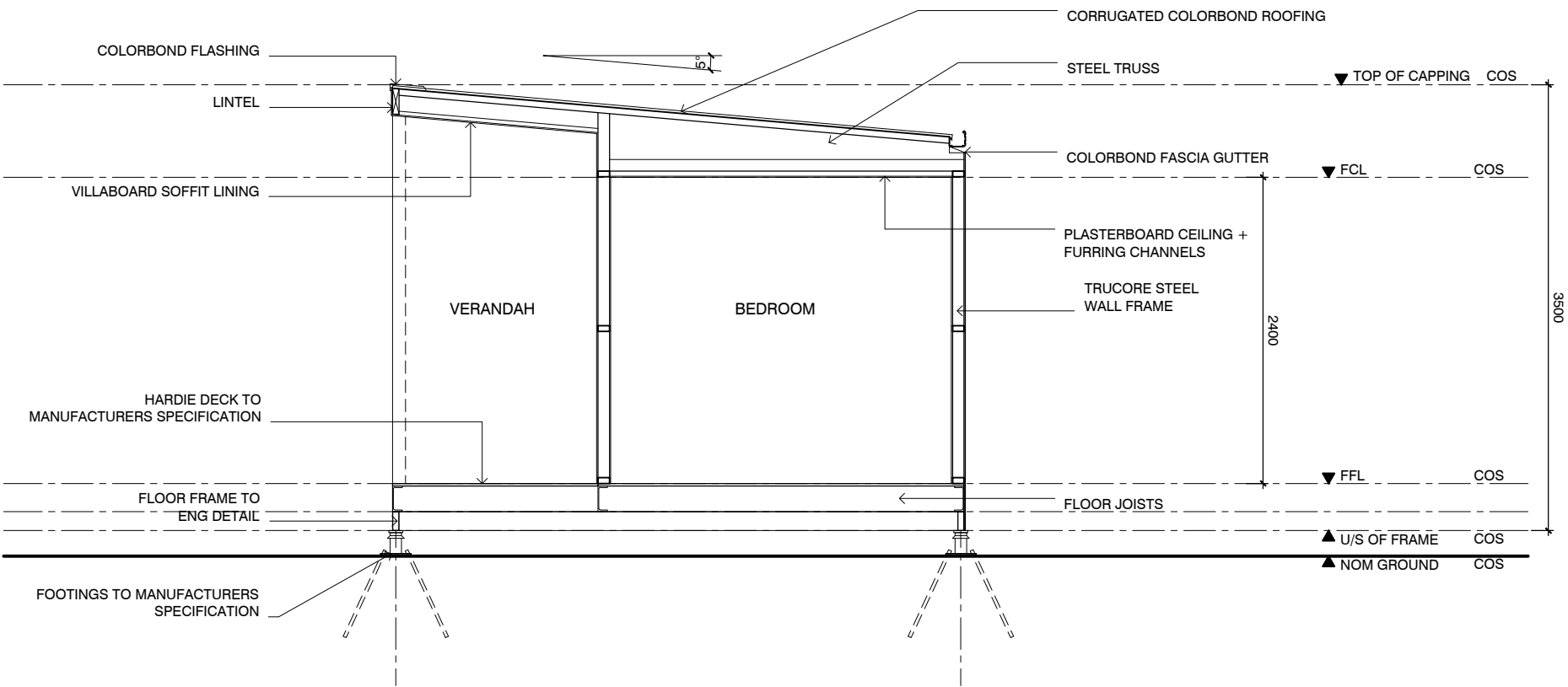
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MODULAR SPACES
BRV - 3 BEDROOM
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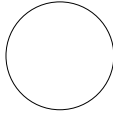
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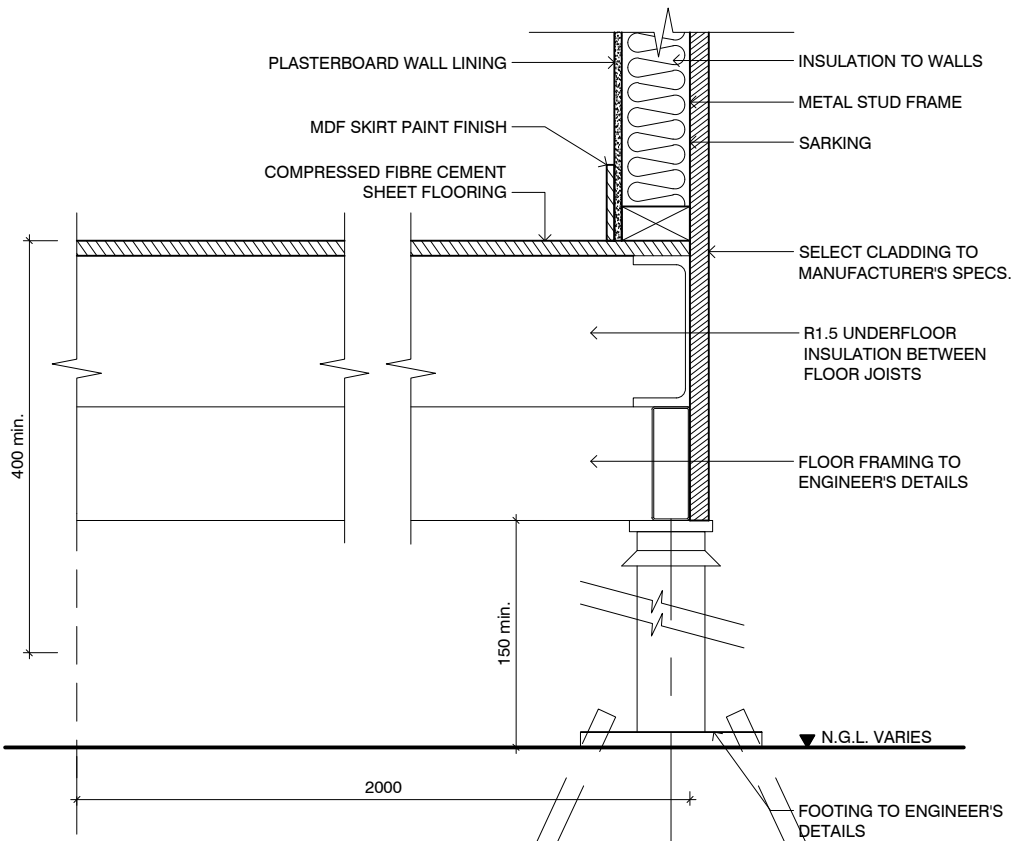
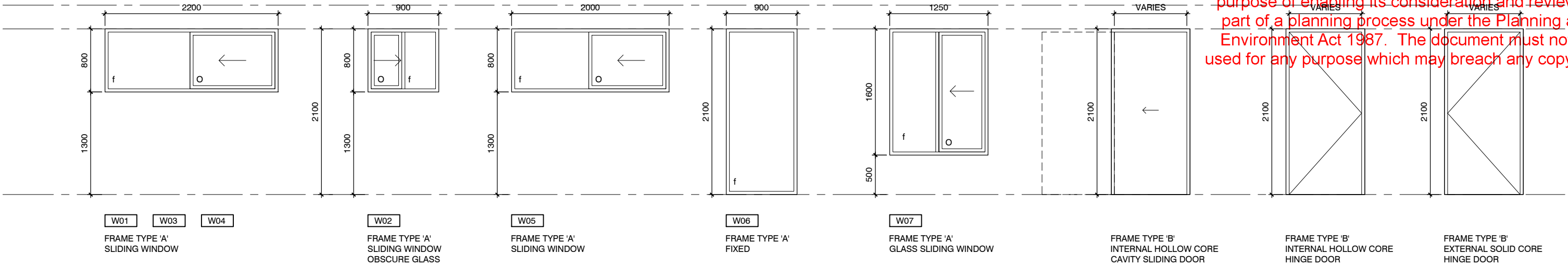




B SECTION B-B
- SCALE 1:50

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D01 TYPICAL FOOTING DETAIL
SCALE 1:10

NOTE:
EXCAVATE WHERE REQUIRED TO MEET THE SUB FLOOR CLEARANCE SHOWN AS PER NCC 3.4.1.2 AND THE FINISHED FLOOR LEVELS SHOWN ON PLANS.

TURF AND TOP SOIL TO BE REMOVED TO A DEPTH SUFFICIENT TO PREVENT LATER GROWTH. TREE AND BUSH ROOTS THAT MIGHT ENCOURAGE LATER GROWTH TO BE GRUBBED UP AND ANY POCKETS OF SOFT COMPRESSIBLE MATERIAL THAT MIGHT AFFECT THE STABILITY OF THE BUILDING TO BE REMOVED.

FRAME TYPE:

TYPE A: AWS 'VANTAGE' RESIDENTIAL SERIES (102mm FRAME), COLOUR: BLACK POWDERCOATED FINISH

TYPE B: TIMBER FRAME

NOTES:

f FIXED GLAZING
O OPENABLE WINDOW

- ALL GLAZING AS PER ENERGY REPORT
- GLAZING IN ACCORDANCE WITH AS1288-2006 & WIND ASSEMBLIES IN ACCORDANCE WITH AS2047-2014
- FLYSCREENS TO ALL OPENABLE WINDOWS AND DOOF
- WINDOWS OPENING WITHIN 1m HEIGHT OF FIRST FLO LIMITED TO 100mm OPENING
- ALL WINDOWS & DOORS VIEWED FROM OUTSIDE
- DOOR SWINGS AND DIRECTIONS NOMINALLY INDICATED
- WINDOW SIZES ARE NOMINAL ONLY AND TO HAVE SIZES CHECKED ON SITE BEFORE FABRICATED

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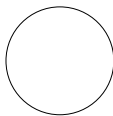
MODULAR SPACES
BRV - 3 BEDROOM

DRAWING TITLE.

DETAILS
WINDOW SCHEDULE

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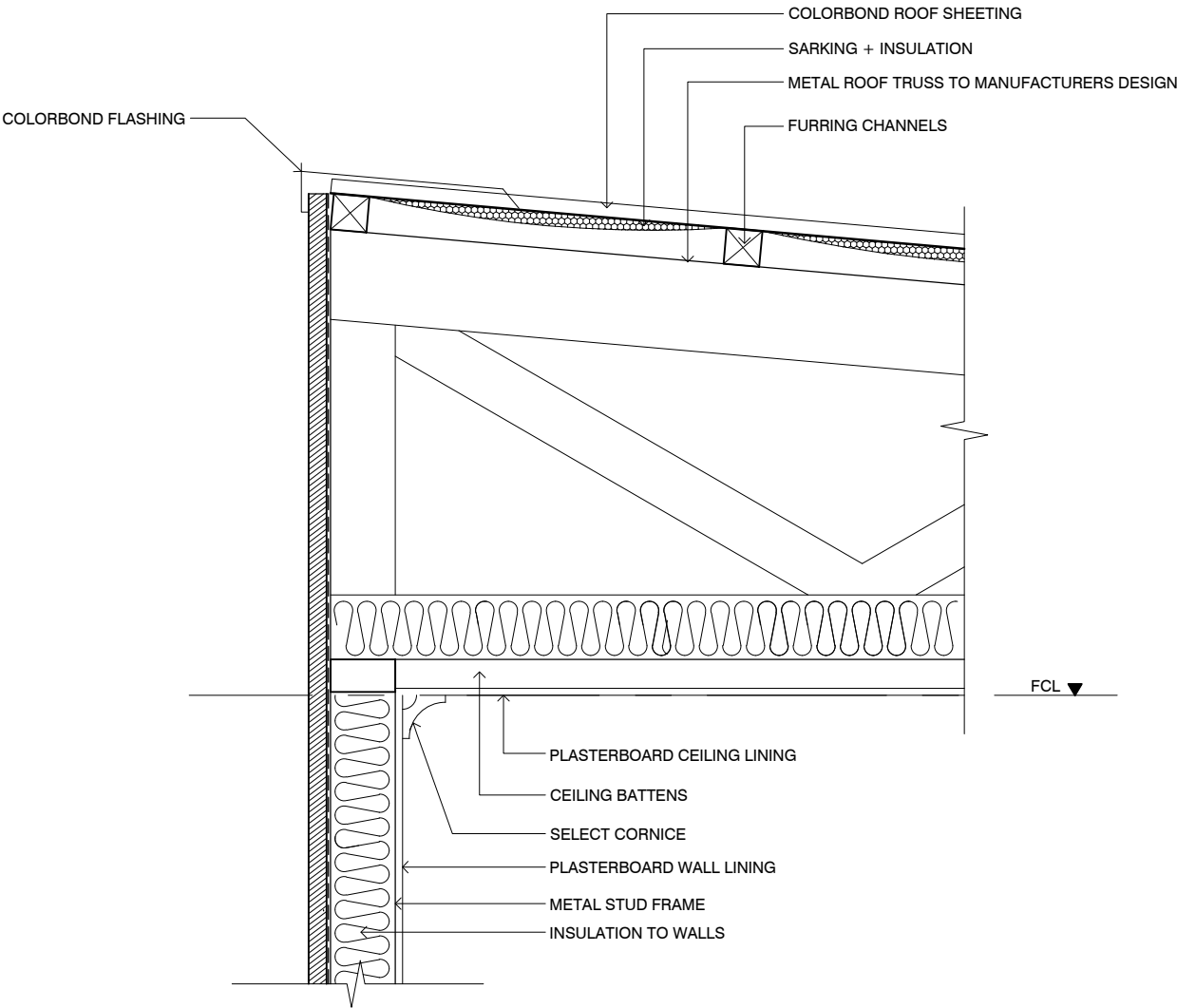
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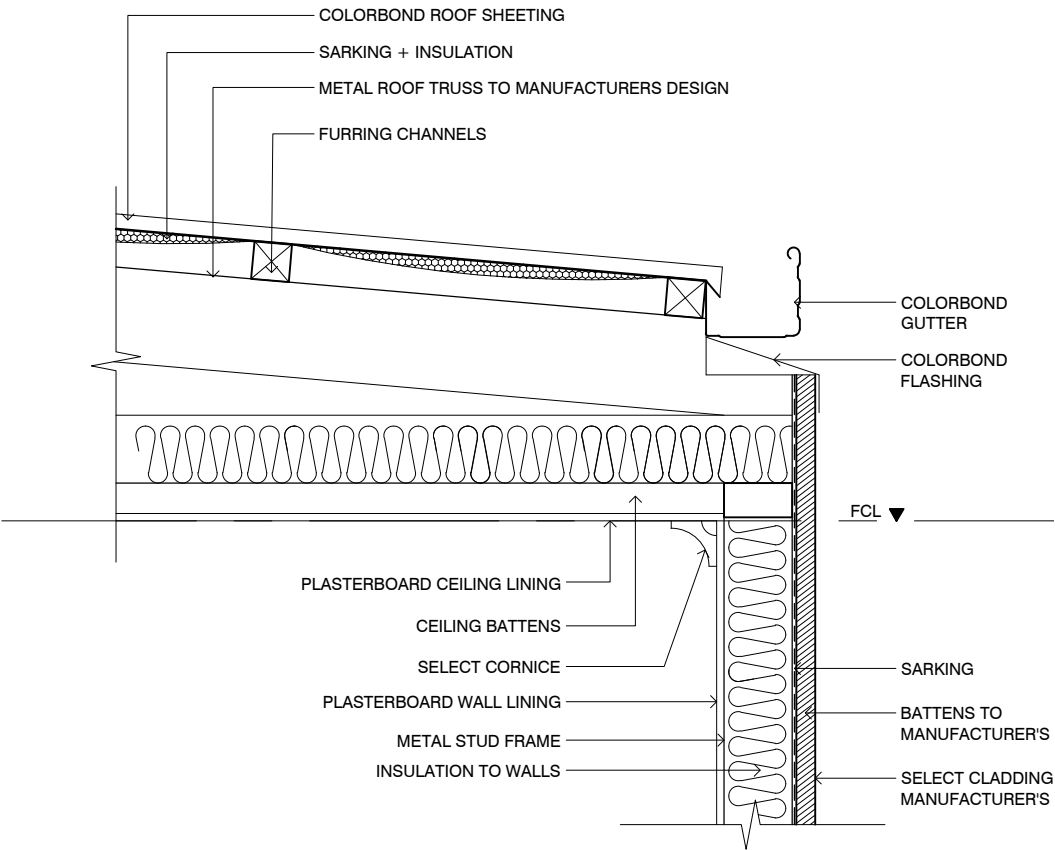
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D02 TYPICAL ROOF DETAIL
- SCALE 1:10



D03 TYPICAL ROOF DETAIL
- SCALE 1:10

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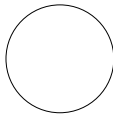
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BRV - 3 BEDROOM

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SCALE 1:10 @A3 size
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ELECTRICAL LEGEND:

- ⌘

DOUBLE GPO
- ⌘J

DOUBLE GPO - UNDER / INSIDE JOINERY
- ⌘

EXTERNAL DOUBLE GPO
- ×

LIGHT SWITCH
- ⌘TV

TV POINT
- ⌘D

TELEPHONE POINT
- AC

AIR CONDITIONING UNIT, MITSUBISHI
MULTI HEAD REVERSE CYCLE SPLIT
SYSTEMS
LOCATION TO BE CONFIRM WITH
SELECTED CONTRACTOR
- EF ⌘

EXHAUST FAN TO BE DUCTED
EXTERNALLY
- SD ⌘

HARDWIRED, BATTERY OPERATED &
INTERCONNECTED SMOKE DETECTOR
TO AS3786-2014 & BCA PART 3.7.2

LIGHTING LEGEND:

- D1

DOWNLIGHT
- D2

EXTERNAL DOWNLIGHT
- ◁

FLOOD LIGHT

NOTE:

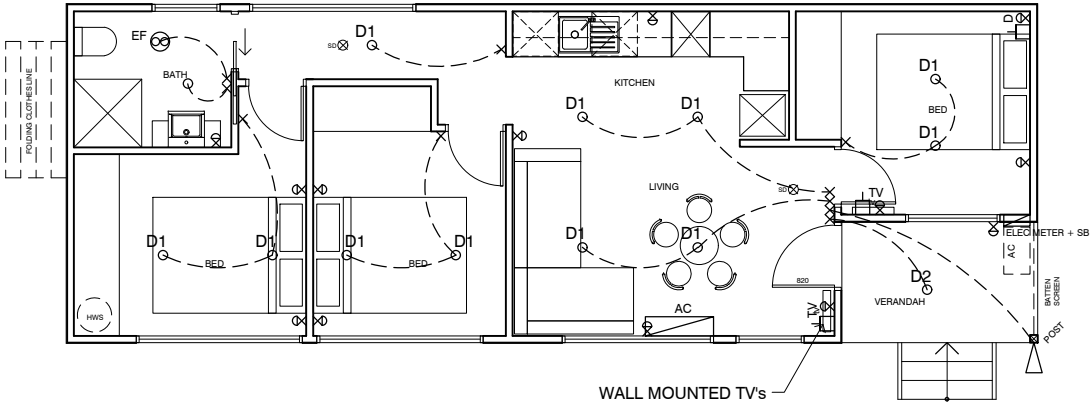
- PROVIDE POWER TO ALL KITCHEN APPLIANCES
- TV POINT / FOXTEL CABLE POINT WITH POWER
POINT TO BE MOUNTED AT 1200mm AFFL
- POWER POINT TO BE MOUNTED GENERALLY AT
300mm AFFL AND 150mm ABOVE BENCHTOP
- LIGHT SWITCH TO BE MOUNTED AT 1200mm AFFL
- ALL WIRING INSTALLATION IN ACCORDANCE WITH
AS/NZS 3000:2007

ROOF SCHEDULE:

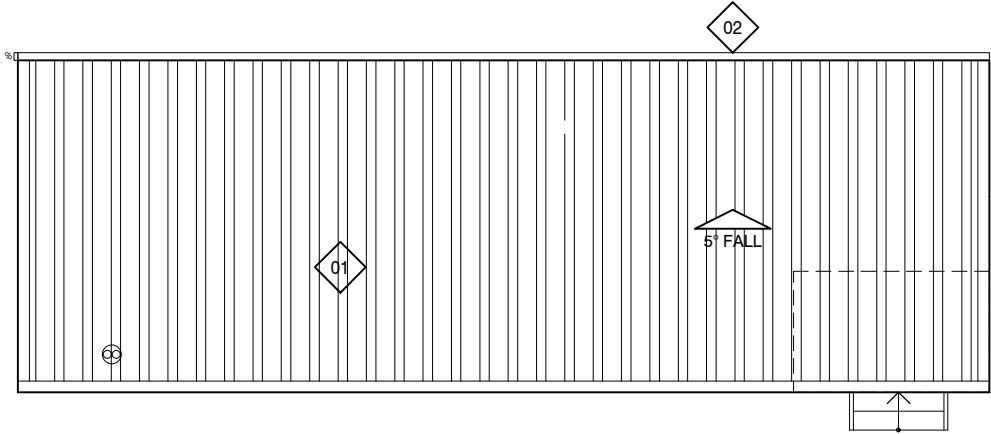
- 01

'CUSTOM ORB' COLORBOND STEEL SHEET ROOF AT
ROOF PITCH INDICATED TO MANUFACTURERS
SPECIFICATION
- 02

COLORBOND FASCIA GUTTER, CONCEALED FIXING
TO MANUFACTURERS SPECIFICATION
WITH 100 x 50 COLORBOND DOWNPIPE



01 REFLECTED CEILING PLAN
SCALE 1:100



01 ROOF PLAN
SCALE 1:100

1. ALL LEVELS AND DIMENSIONS MUST BE CHECKED AND VERIFIED BEFORE COMMENCEMENT OF WORK.
2. ALL WORKS MUST BE EXECUTED IN A WORKMAN LIKE MANNER AND ALL MATERIALS MUST CONFORM TO THE LATEST APPLICABLE AUSTRALIAN STANDARD CODES.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. DO NOT SCALE FROM DRAWING.
4. WINDOW SIZES ARE NOMINAL ONLY.
5. THIS DRAWING(S) IS TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS, RELEVANT REPORTS, ENGINEERS COMPUTATIONS AND / OR PLANS AND SOIL TEST REPORT WHERE INDICATED.
6. ALL MANUFACTURED / ORDERED ITEMS TO HAVE SIZES CHECKED ON SITE BEFORE ORDERING

C	17.07.20	REVISED DESIGN
B	30.06.20	CLIENT ISSUE
A	23.06.20	CONSULTANT ISSUE
NO.	DATE.	DETAILS.
AMENDMENTS.		

CONSULTANTS

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PROJECT TITLE.

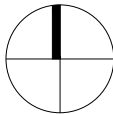
MODULAR SPACES
BRV - 3 BEDROOM

DRAWING TITLE.

REFLECTED CEILING PLAN
ROOF PLAN

PROJECT NO. 20 011
SCALE 1:100 @A3 size
DATE JUNE 2020
DRAWING NO. 08

PROJECT NORTH.



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DESIGN

