

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	8 Tambo Boulevard METUNG 3904 Lot: 40 LP: 94037
The application is for a permit to:	Use and Development of a Dwelling and an Outbuilding
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
35.07-1 (Farming Zone)	Use of land for a dwelling for a lot less than 40ha
35.07-4 (Farming Zone)	Buildings and works for a Section 2 Use
42.03-2 (Significant Landscape Overlay)	Buildings and works
The applicant for the permit is:	CPS Building Design Consultants
The application reference number is:	5.2024.326.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
---	---

If you object, the Responsible Authority will tell you its decision.

From: Snapforms Notifications [no-reply@snapforms.com.au]
Sent: Wednesday, 9 October 2024 1:51:17 PM
To: Planning Unit Administration
Subject: Amend a Planning Permit Application

Amend a Planning Permit

An 'Amend a Planning Permit Application' has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Name: Carl Shanahan

Business trading name: CPS Building Design Consultants

Email address: carl@cpsdesign.com.au

Postal address: PO Box 9016 Traralgon VIC 3844

Owners name: Rodney Levy

Street number:

Street name: _____

Town:

Planning permit number to be amended: 5.2024.326.1

Description of amendment - Describe the amendment being applied for (i.e. change to condition, change to development): Proposal - Use and Development of a Dwelling and an Outbuilding

Estimated difference in cost of development as a result of the amendment. Note: You may be required to verify this estimate: 0.00

Declaration: Yes

Privacy Statement: Yes

Copyright State of Victoria. No part of this publication may be reproduced except as permitted by the Copyright Act 1968 (Cth) to comply with a statutory requirement or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA REGD TM System. None of the State of Victoria, its agents or contractors, accepts responsibility for any subsequent publication or reproduction of the information.

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 08920 FOLIO 421

Security no : 124118268062M
Produced 15/09/2024 01:25 PM

LAND DESCRIPTION

Lot 40 on Plan of Subdivision 094037.
PARENT TITLE Volume 08708 Folio 815
Created by instrument LP094037 30/03/1972

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
RODNEY JEFF LEVY
AX898598Y 12/04/2024

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP094037 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 8 TAMBO BOULEVARD METUNG VIC 3904

ADMINISTRATIVE NOTICES

NIL

eCT Control 25091C LITTLETON HACKFORD PTY LTD
Effective from 12/04/2024

DOCUMENT END

Delivered from the LANDATA® System by InfoTrack Pty Ltd.

The information supplied by InfoTrack (LEAP) has been obtained from InfoTrack Pty Limited by agreement between them. The information supplied has been obtained by InfoTrack Pty Limited who is licensed by the State of Victoria to provide this information via LANDATA® System.

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. This document must not be used for any purpose which may breach any copyright.

Delivered by LANDATA®, timestamp 15/09/2024 13:25 Page 1 of 2
© State of Victoria. This publication is copyright. No part may be reproduced by any process except in accordance with the provisions of the Copyright Act 1968 (Cth) and for the purposes of Section 32 of the Sale of Land Act 1962 or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA® System. None of the State of Victoria, LANDATA®, Secure Electronic Registries Victoria Pty Ltd (ABN 66 627 988 906) or Trustees of the Secure Electronic Registries Victoria Trust (ABN 83 206 746 897) accept responsibility for any subsequent release, publication or reproduction of the information.

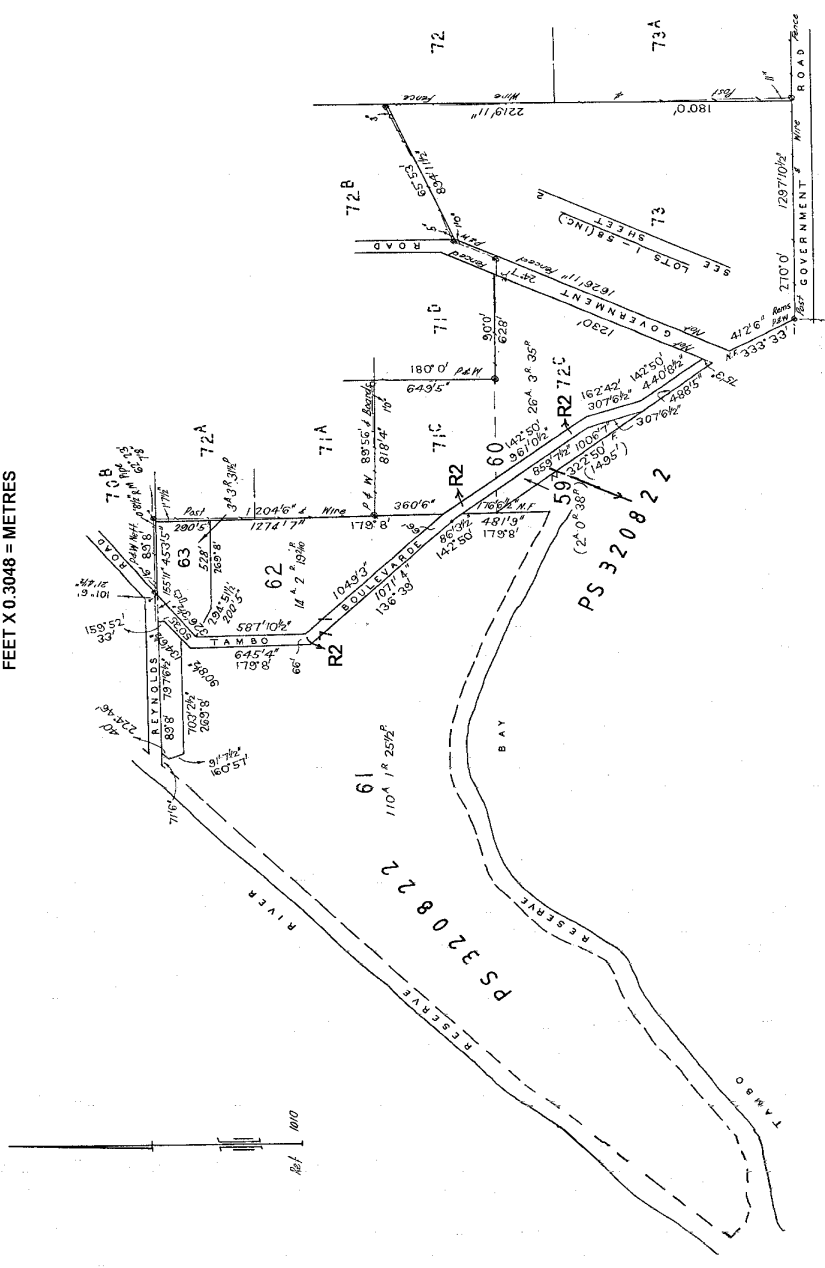
PLAN OF SUBDIVISION
OF CROWN ALLOTMENTS 71, 71C, 72C & 73
PARISH OF BUMBERRAH
COUNTY OF TAMBO

LP 94037
EDITION 1
PARISH OF BUMBERRAH

APPROVED 14/1/72
COLOUR CONVERSION
BLUE = B-1
BROWN = R1 & R2
GREEN = E-3

APPROPRIATIONS
Green = Way
Blue = Drainage
Brown = Way & Drainage
Lot et not surveyed, area deduced from title.

Measurements are in Feet & Inches
Conversion Factor
FEET X 0.3048 = METRES



SHEET 1 OF 2 SHEETS

WARNING: THE IMAGE OF THIS DOCUMENT OF THE REGISTER HAS BEEN DIGITALLY AMENDED. NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL DOCUMENT OF THE REGISTER.

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

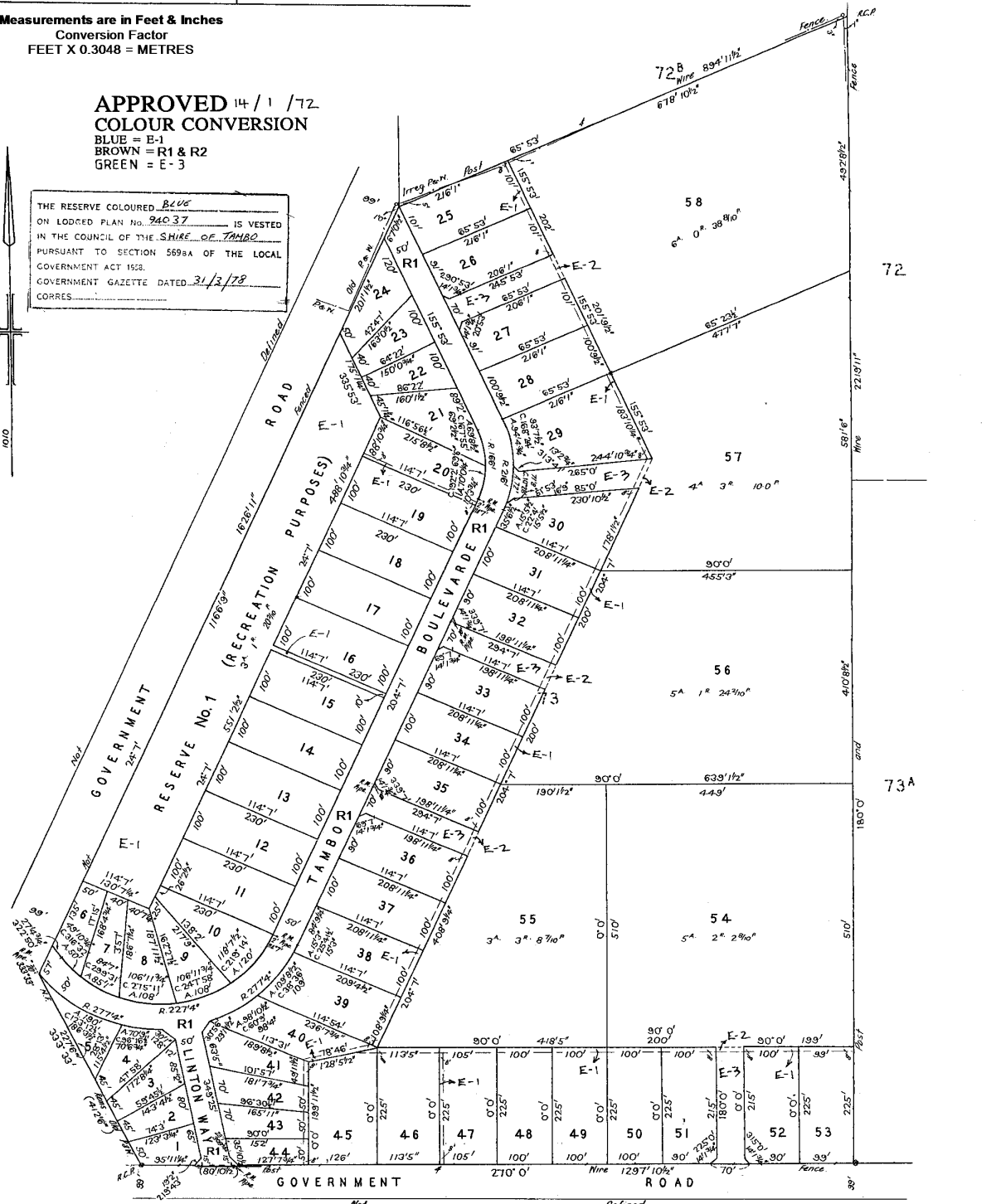
LP 94037

PLAN OF SUBDIVISION OF CROWN ALLOTMENTS 71, 71 ^C , 72 ^C & 73 PARISH OF BUMBERRAH COUNTY OF TAMBO	CONSENT OF COUNCIL	APPROPRIATIONS Blue : Drainage Brown : Way-drainage Green : Way
--	--------------------	--

Measurements are in Feet & Inches
Conversion Factor
FEET X 0.3048 = METRES

APPROVED 14/1/72
COLOUR CONVERSION
BLUE = E-1
BROWN = R1 & R2
GREEN = E-3

THE RESERVE COLOURED BLUE
ON LODGED PLAN No. 24037
IS VESTED
IN THE COUNCIL OF THE SHIRE OF TAMBO
PURSUANT TO SECTION 569A OF THE LOCAL
GOVERNMENT ACT 1952.
GOVERNMENT GAZETTE DATED 31/3/72
CORRES.



WARNING: THE IMAGE OF THIS DOCUMENT OF THE REGISTER HAS BEEN DIGITALLY AMENDED.
NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL DOCUMENT OF THE REGISTER.



"As Individual As You Want To Be"
building design consultants

CPS DESIGN PTY. LTD. ABN 61 091 623 184

BAIRNSDALE:

Telephone: (03) 5152 3762
 Mobile: 0418 317 369
 Facsimile: (03) 5152 3762

LATROBE VALLEY:

P.O. Box 9016
 Traralgon 3844
 Telephone: (03) 5166 1575
 Mobile: 0418 317 369
 Facsimile: (03) 5166 1911

BERWICK/PAKENHAM:

PO Box 62
 Pakenham 3810
 Telephone: (03) 5941 4841
 Facsimile: (03) 5940 4045

EMAIL: carl@cpsdesign.com.au

Principal:
 Carl P. Shanahan

22nd August 2024

Att. Planning Officer,
 Planning Department,
 East Gippsland Shire Council
 PO. Box 1618,
 BAIRNSDALE, VIC. 3875.

**RE: PROPOSED CONSTRUCTION OF TWO-STOREY DWELLING AND SHED
 RESIDENTIAL DWELLING AT: LOT 40, 8 TAMBO BOULEVARD METUNG VIC
 FOR: MR. R LEVY (EAST GIPPSLAND SHIRE COUNCIL)**

Dear Planner,

Further to the attached project drawings and other associated supporting documents/reports outlining nominated Residential Development Proposal, in addressing Farming Zone/Schedule and various assigned Overlays – Please find hereunder Project/Site Analysis and Design Response material in support of subject Development to meet listed performance guidelines/constraints, in accordance with the East Gippsland Shire Planning Scheme Requirements. Should any additional information and/or clarification be found necessary, please do not hesitate in contacting our nominated Representative – Carl Shanahan – at your convenience.

Yours Faithfully,

Carl Shanahan.

- commercial
- industrial
- residential
- structural

All Correspondence to: P.O Box 9016 Traralgon Vic 3844

BAIRNSDALE:
 Tel: (03) 5152 3762

BERWICK/PAKENHAM:
 Telephone: (03) 5941 4841

LATROBE VALLEY:
 Tel: (03) 5166 1575

Printed 19/12/2024

Page 6 of 24

SITE ANALYSIS AND DESIGN RESPONSE: used for any purpose which may breach any copyright.



PLANNING SCHEME SCHEDULED ZONE:

Farming Zone (FZ)

Farming Zone – SCHEDULE 1

ASSIGNED PLANNING OVERLAYS:

Significant Landscape Overlay (SLO)

Significant Landscape Overlay – Schedule 2 (SLO2)

EXISTING SITE CONDITIONS

The subject Land known as Lot 40/8 Tambo Boulevard, Metung – LP94037, is designated Farming Zone (FZ). However, the proposed residential dwelling and shed is to be set amongst the current residential surrounding landscape of Tambo Bay Estate.

Allotment area 1496m², currently vacant and generally managed thinly established grassland.

The proposal is as follows;

PROJECT DESCRIPTION:

To facilitate and integrate proposed two (2) storey dwelling and shed.

Development area Schedule:

Total Subject Site Area:	1496m ²
General Dwelling Floor Area (Extent of Ground and Upper floor):	427.53m ²
New Verandah/Carport Area:	70.68m ²
New Verandah 2/Carport Area:	32.34m ²
New Garage/Shed:	144m ²
Entry Porch Floor Area:	3.6m ²

Proposed Total Footprint: 320.34m² **21.40%**

Permissible Total Floor Area: 897.60m² **60%**

NB. Please refer to Architectural Drawings: Sheets 1-11 inclusive, performed by: CPS Building Design.

CLAUSE 65.01 APPROVAL OF AN APPLICATION OR PLAN

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

The matters set out in section 60 of the Act.

N/A

Any significant effects the environment, including the contamination of land, may have on the use or development.

N/A – Set amongst existing residential development.

The Municipal Planning Strategy and the Planning Policy Framework.

The Municipal Planning Strategy and Planning Policy Framework for this farming area is to provide for and retain land for agriculture use. Although the subject allotment is located within the Farming Zone of the East Gippsland Shire Council's Planning Scheme, the allotments surrounding are of a residential nature, in both size and function.

The purpose of the zone, overlay or other provision.

The purpose of the zone is to provide and retain land for agricultural purposes, however as previously mentioned not applicable to the Tambo Bay Estate.

Any matter required to be considered in the zone, overlay or other provision.

N/A

The orderly planning of the area.

The proposed residential dwelling and shed is set amongst a residential surrounding landscape, and therefore remains consistent with the current planning of the area.

The effect on the environment, human health and amenity of the area.

Minimal effect on the environment, human health and amenity of the area.

The proximity of the land to any public land.

The subject allotment is approx. 72m from zoned Public Land – Vegetation verge (Foreshore) adjacent to Lake King.

Factors likely to cause or contribute to land degradation, salinity or reduce water quality.

All storm-water runoff will be directed to both tank catchment, any excess/overflow will be discharged to Council's Legal Point of Discharge to minimise any land degradation.

The extent and character of native vegetation and the likelihood of its destruction.

No native vegetation is to be removed as a result of this proposal.

Whether native vegetation is to be or can be protected, planted or allowed to regenerate.

N/A - As previously mentioned, there is no native vegetation contained within the subject boundaries of this development.

The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.

The subject allotment is not within a noted inundation overlay, it is however inflicted with a Bushfire Prone Area, resulting in a Bushfire Attack Level Rating of 12.5 (Please see enclosed BAL Assessment), and construction will be built in accordance with these requirements to minimise fire hazard associated with this proposal.

The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.

N/A

The impact the use or development will have on the current and future development and operation of the transport system.

N/A

35.07-6 Decision Guidelines

General issues

The Municipal Planning Strategy and the Planning Policy Framework.

The Municipal Planning Strategy and Planning Policy Framework for this farming area is to provide and retain land for agriculture use, however although the subject allotment is located within the Farming Zone of the East Gippsland Shire Council's Planning Scheme, allotments surrounding are developed similar to that of this proposal and many would be considered smaller allotments than those usually found within a Farming Zone.

Any Regional Catchment Strategy and associated plan applying to the land.

N/A

The capability of the land to accommodate the proposed use or development, including the disposal of effluent.

The subject allotment is approx. 1500m² and therefore considered capable to accommodate the proposed dwelling and shed, evidence by the development footprint of dwelling and shed collectively falls within the 60% permissible – Please see attached Site Development Plan. The allotment contains sewer connection.

How the use or development relates to sustainable land management.

N/A

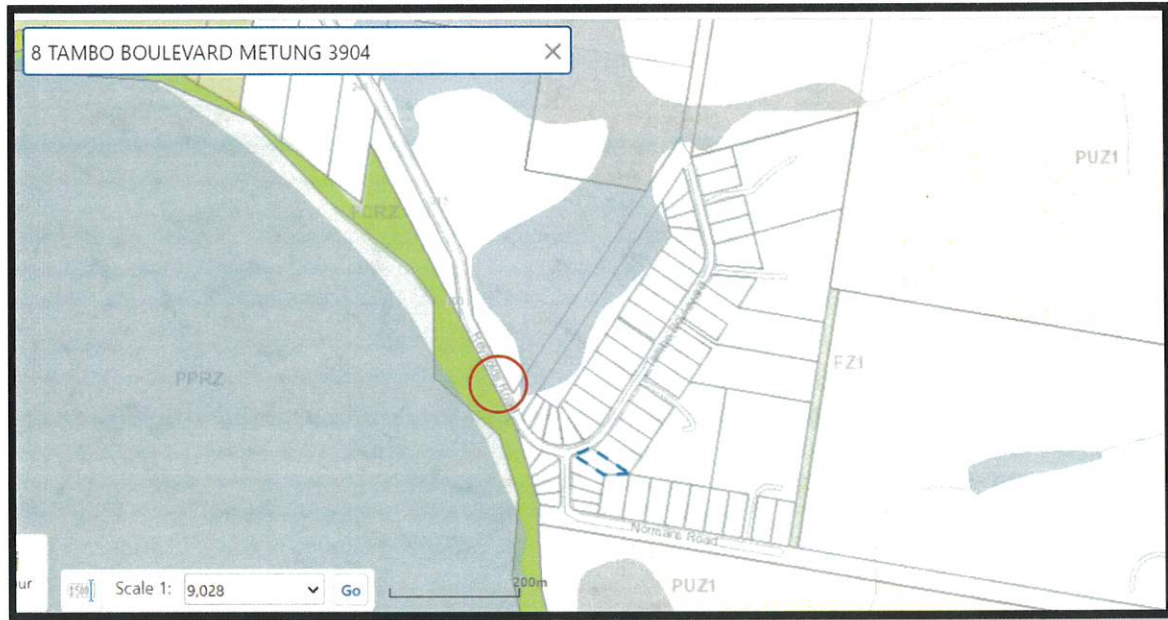
Whether the site is suitable for the use or development and whether the proposal is compatible with adjoining and nearby land uses.

The proposed residential dwelling and shed is set amongst a residential surrounding landscape.

How the use and development makes use of existing infrastructure and services.

The proposed residential dwelling and shed is set amongst a residential surrounding landscape, which will utilise pre-existing infrastructure consisting of existing roads for access, East Gippsland Water's sewer and water connections.

Agricultural issues and the impacts from non-agricultural uses:



Whether the use or development will support and enhance agricultural production.

N/A – As detailed above the subject allotment is located within the Farming Zone of East Gippsland Shire Council’s Planning Scheme. However, the proposed residential dwelling and shed is set amongst a residential surrounding landscape.

Whether the use or development will adversely affect soil quality or permanently remove land from agricultural production.

N/A – North, south and west of the subject allotment are similar subdivided land sizes and developments to that of this proposal, previously removed from agricultural land.

The potential for the use or development to limit the operation and expansion of adjoining and nearby agricultural uses.

N/A – Please see above.

The capacity of the site to sustain the agricultural use.

N/A – The subject allotment is significantly lesser in size than those found within any Farming Zone, and therefore considered not suitable to sustain agricultural use.

The agricultural qualities of the land, such as soil quality, access to water and access to rural infrastructure.

N/A

Any integrated land management plan prepared for the site.

N/A

Whether Rural worker accommodation is necessary having regard to

The nature and scale of the agricultural use.

N/A - The proposed residential dwelling and shed is set amongst a residential surrounding landscape.

The accessibility to residential areas and existing accommodation, and the remoteness of the location.

Located within the pre-established Tambo Bay Estate.

The duration of the use of the land for Rural worker accommodation.

N/A

Accommodation issues:

Whether the dwelling will result in the loss or fragmentation of productive agricultural land.

N/A – The proposed residential dwelling and shed is set amongst existing residential surrounding landscape and therefore not considered a loss or fragmentation of productive agricultural land.

Whether the dwelling will be adversely affected by agricultural activities on adjacent and nearby land due to dust, noise, odour, use of chemicals and farm machinery, traffic and hours of operation.

N/A

Whether the dwelling will adversely affect the operation and expansion of adjoining and nearby agricultural uses.

N/A

The potential for the proposal to lead to a concentration or proliferation of dwellings in the area and the impact of this on the use of the land for agriculture.

The established subdivision of Tambo Bay Estate controls the development density – One dwelling per allotment.

The potential for accommodation to be adversely affected by noise and shadow flicker impacts if it is located within one kilometre from the nearest title boundary of land subject to:

A permit for a wind energy facility; or

An application for a permit for a wind energy facility; or

An incorporated document approving a wind energy facility; or

A proposed wind energy facility for which an action has been taken under section 8(1), 8(2), 8(3) or 8(4) of the Environment Effects Act 1978.

N/A

The potential for accommodation to be adversely affected by vehicular traffic, noise, blasting, dust and vibration from an existing or proposed extractive industry operation if it is located within 500 metres from the nearest title boundary of land on which a work authority has been applied for or granted under the Mineral Resources (Sustainable Development) Act 1990.

N/A

Environmental issues:

The impact of the proposal on the natural physical features and resources of the area, in particular on soil and water quality.

N/A

The impact of the use or development on the flora and fauna on the site and its surrounds.

Nil – Pre-existing residential environment.

The need to protect and enhance the biodiversity of the area, including the retention of vegetation and faunal habitat and the need to revegetate land including riparian buffers along waterways, gullies, ridgelines, property boundaries and saline discharge and recharge area.

Pre-existing residential developments encompassing established imported grass (lawn).

The location of on-site effluent disposal areas to minimise the impact of nutrient loads on waterways and native vegetation.

N/A – Subject allotments is sewer.

Design and siting issues:

The need to locate buildings in one area to avoid any adverse impacts on surrounding agricultural uses and to minimise the loss of productive agricultural land.

Tambo Bay Estate is an established residential subdivision.

The impact of the siting, design, height, bulk, colours and materials to be used, on the natural environment, major roads, vistas and water features and the measures to be undertaken to minimise any adverse impacts.

The proposed development is proportionally consistent with the variable existing single and two storey-built form nature of Tambo Bay Estate.

Onsite building density and height limitations meet planning controls.

The impact on the character and appearance of the area or features of architectural, historic or scientific significance or of natural scenic beauty or importance.

Aesthetically consistent with the surrounding environment.

The location and design of existing and proposed infrastructure including roads, gas, water, drainage, telecommunications and sewerage facilities.

Existing roads, water, drainage, telecommunications and sewerage facilities available within Tambo Bay Estate.

Whether the use and development will require traffic management measures.

N/A

The need to locate and design buildings used for accommodation to avoid or reduce noise and shadow flicker impacts from the operation of a wind energy facility if it is located within one kilometre from the nearest title boundary of land subject to:

A permit for a wind energy facility; or

An application for a permit for a wind energy facility; or

An incorporated document approving a wind energy facility; or

A proposed wind energy facility for which an action has been taken under section 8(1), 8(2), 8(3) or 8(4) of the Environment Effects Act 1978.

N/A

The need to locate and design buildings used for accommodation to avoid or reduce the impact from vehicular traffic, noise, blasting, dust and vibration from an existing or proposed extractive industry operation if it is located within 500 metres from the nearest title boundary of land on which a work authority has been applied for or granted under the Mineral Resources (Sustainable Development) Act 1990.

N/A

DEVELOPMENT CONCLUSION:

The proposed conclusion of this particular Development in both 'Form and Function' (Two-Storey Dwelling and construction of Garage/Shed) remains consistent with the pre-established residential Tambo Bay Estate Metung and therefore remains compatible with the current planning of the area.

Based on the performance criteria of the East Gippsland Shire Planning Scheme or more precisely Farming Zone (FZ), Significant Landscape Overlay (SLO) policy guidelines, please find attached 'Residential Site Development Proposal' to establish/enhance in characteristic terms designed to provide/facilitate a Positive Impact on and substantially compliment both Liveability and the existing Neighbourhood Character of the established Tambo Bay Estate. All contained/maintained within a Single Dwelling/Single Lot Policy compliance without causing any undue/unnecessary detrimental influences to either the Nature and Present Status of the surrounding and immediate Built Environments.

It is respectfully requested that Council consider this Development Proposal favourably and resolve in an expedient manner to issue an Approval to facilitate a timely commencement of this Proposed 'Building and Works' Project Development.

Again, please do not hesitate to contact our Mr. Carl Shanahan, if any further queries and/or clarification is deemed necessary in relation to this matter.

Yours Faithfully,

Carl Shanahan.

NOTE
 1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
 3. ANY DISCREPANCIES AND/OR UNCERTAINTIES ARISE BUILDER TO CONFIRM DESIGN INTENT BY THIS OFFICE PRIOR TO COMMENCING WORKS.

NEW WATER STORE TANK:
 direct downpipe discharge into proposed water tank bldr. to ensure integration of overflow provision outlet discharge into existing stormwater system to meet authorities strict req ments

BUILDER TO ENSURE FORM PURPOSE 4.0° FALL/GRADE IMMEDIATELY ADJACENT TO EXTERNAL WALLS OF SUBJECT RESIDENCE. SEE SOIL TEST REPORT FOR MORE DETAIL.
 70mm. FALL IN 1.00m = 4.0°

LATTICE SCREEN REQ'D:
 locate select obscure screen timber/metal lattice type req'd. ensure 1700min. height to full extent of screen for RESCODE compliance requirements 25% max. open area

NEIGHBOUR DWELLING DETAILS:
 existing neighbouring dwelling is set: 7.00m from Street: Tambo Boulevard is setback from Northside Boundary: 18.00m as shown on site plan below

ADVERTISED
 This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

BUILDER TO ENSURE FORM PURPOSE 4.0° FALL/GRADE IMMEDIATELY ADJACENT TO EXTERNAL WALLS OF SUBJECT RESIDENCE. SEE SOIL TEST REPORT FOR MORE DETAIL.
 70mm. FALL IN 1.00m = 4.0°

BUILDER TO ENSURE SUFFICIENT GRADE/FALL APPLIES TO ENCOMPASSED SUBFLOOR AREA THAT CONTAINED WITHIN EXTERNAL WALLS TO PREVENT PONDING EXPERIENCED THEREIN. SEE SOIL TEST REPORT FOR MORE DETAIL.

BUILDER TO NOTE:
 STORMWATER LEGAL POINT OF DISCHARGE TO BE SOURCED FROM EAST GIPPSLAND SHIRE COUNCIL BY: NOMINATED BUILDING SURVEYOR AT THE REQUEST OF NOTED PROPERTY OWNER BUILDER/OWNER TO ENSURE ALL STORMWATER DRAINAGE TO BE INTEGRATED WITH AND DULY AUTHORISED BY: EAST GIPPSLAND SHIRE COUNCIL

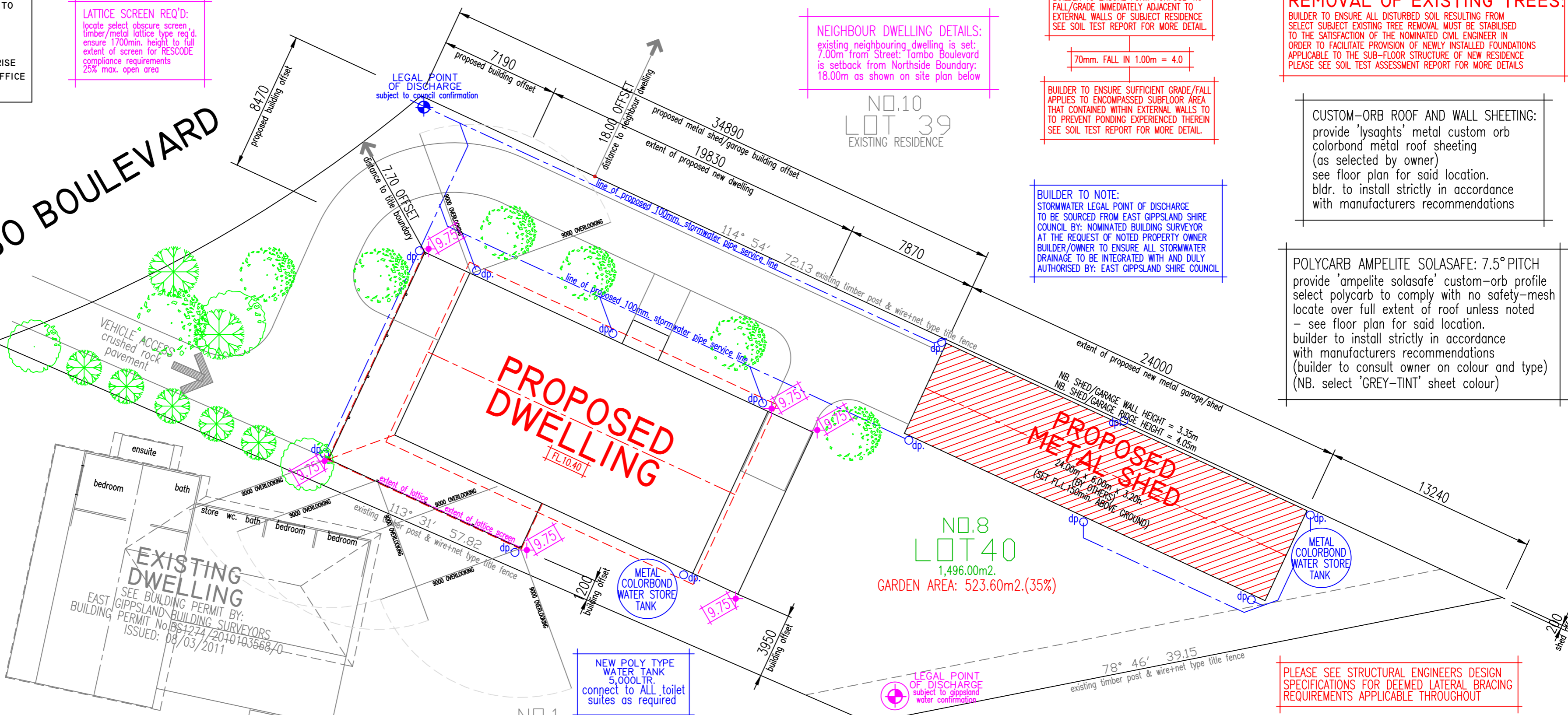
REMOVAL OF EXISTING TREES:
 BUILDER TO ENSURE ALL DISTURBED SOIL RESULTING FROM SELECT EXISTING TREE REMOVAL MUST BE STABILISED TO THE SATISFACTION OF THE NOMINATED CIVIL ENGINEER IN ORDER TO FACILITATE PROVISION OF NEWLY INSTALLED FOUNDATIONS APPLICABLE TO THE SUB-FLOOR STRUCTURE OF NEW RESIDENCE PLEASE SEE SOIL TEST ASSESSMENT REPORT FOR MORE DETAILS

CUSTOM-ORB ROOF AND WALL SHEETING:
 provide 'lysights' metal custom orb colorbond metal roof sheeting (as selected by owner) see floor plan for said location. bldr. to install strictly in accordance with manufacturers recommendations

POLYCARB AMPELITE SOLASAFE: 7.5° PITCH
 provide 'ampelite solasafe' custom-ORB profile select polycarb to comply with no safety-mesh locate over full extent of roof unless noted - see floor plan for said location. bldr. to install strictly in accordance with manufacturers recommendations (builder to consult owner on colour and type) (NB. select 'GREY-TINT' sheet colour)

TAMBO BOULEVARD

LINTON WAY



NOTE:
 STORMWATER TO LEGAL POINT OF DISCHARGE IN STRICT ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND IN STRICT ACCORDANCE WITH: AS/NZS3500.3-2018 SPECIFIC REQUIREMENTS
 SOIL CLASSIFICATION IN ACCORDANCE WITH SOIL REPORT BY STRUCTURAL ENGINEER.
 TERMITE TREATMENT REQUIRED IN STRICT ACCORDANCE WITH AS.3660 AND LOCAL AUTHORITIES REQUIREMENTS.

PROJECT NOMINATED BAL. ASSESSMENT OF: 12.5
 bldr. to ensure ALL directly associated BAL requirements as contained within BAL assessment report performed by: SIMON ANDERSON is strictly adhered to and must duly complete same as documented

LEGEND: PAVEMENT ELEMENT:
 [Symbol] provide 75mm. conc. pavement slab x 900w. on 50mm. compacted sand bed (172 mesh top t/o.) typical to shaded areas
 [Symbol] provide 1st. grade topdressing to shaded area - grade to new conc. sump pit as required make good and uniform transition & re-seed required.
 [Symbol] NOMINATED EXISTING GROUND PAVEMENT SURFACE LEVELS

PROJECT DISCLAIMER:
 NOTED CONDITIONS AND SUBSEQUENT REQUIREMENTS MAY VARY SUBJECT TO APPLIED PROPERTY ENCUMBRANCES IF APPLICABLE: SECTION 173 AGREEMENTS AND/OR PROTECTIVE COVENANTS OR PRESCRIBED ASSIGNED DEVELOPMENT APPROVAL PROCESSES

ALL CONCRETE FOUNDATIONS/SLABS:
 see AS2870.1-1996 for all foundation and slab requirements see also soil report and structural engs. details and specs.

TERMITE TREATMENT REQUIRED IN STRICT ACCORDANCE WITH AS.3660 AND LOCAL AUTHORITIES REQUIREMENTS.

PROPOSED CONDITIONS

DEVELOPMENT AREA SCHEDULE:

TOTAL SUBJECT SITE AREA:	1,496.00m ² .
GENERAL DWELLING FLOOR AREA:	427.53m ² . (EXTENT OF GROUND AND UPPER FLOOR)
NEW VERANDAH/CARPORT AREA:	70.68m ² .
NEW VERANDAH 2/CARPORT AREA:	32.34m ² .
NEW GARAGE/SHED FLOOR AREA:	144.00m ² .
ENTRY PORCH FLOOR AREA:	3.60m ² .
PROPOSED TOTAL FOOTPRINT:	320.34m². 21.40%
PERMISSIBLE TOTAL FLOOR AREA:	897.60m². 60.00%

PROPOSED 2 STOREY METAL/TIMBER RESIDENCE AND 24.00M X 6.00M X 3.20H. METAL SHED AT: LOT40/8 TAMBO BOULEVARD, METUNG.

FOR: MR. R. LEVY.
 prepared by: cps building design consultants
 bairnsdale - ph. 5152 3762.
 latrobe valley. ph. 5166 1575.
 pakenham. ph. 5941 4841.

NOTE: WIND RATING = N1.
 bldr. to obtain confirmation from authorised building surveyor prior to project commencement

PROPOSED RESIDENCE = SHADED
SITE DEVELOPMENT PLAN
 SCALE: 1 : 200.

REF.	DATE:	REVISION	APP'D.
C.	Sept., 2024	street offset to new dwelling	
B	June 2024	remediate building siting issues	
A	June 2024	lower floor now timber at client request	

DATE:	PLEASE NOTE: ORIGINAL SHEET SIZE: A2	DATE	DRAWN	SCALE	PROJECT NO.	DRAWING SHEET NO.
		Dec., 2023.	cps.11330	as shown.	11330	sheet 1 of 11.

ALL RIGHTS RESERVED, COPYRIGHT LAWS AND CONDITIONS APPLY TO THIS SET OF DRAWINGS, APART FROM USE BY THE ADDRESSED PARTY FOR THE PURPOSE FOR WHICH IT WAS REQUESTED AND ANY FAIR DEALING AS PERMITTED UNDER THE COPYRIGHT ACT. NO PART MAY BE USED, REPRODUCED OR COPIED BY ANY MEANS OR IN ANY FORM WITHOUT THE PRIOR WRITTEN PERMISSION BY: CPS DESIGN PTY. LTD.

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

NOTE: 1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. 3. ANY DISCREPANCIES AND/OR UNCERTAINTIES ARISE BUILDER TO CONFIRM DESIGN INTENT BY THIS OFFICE PRIOR TO COMMENCING WORKS.

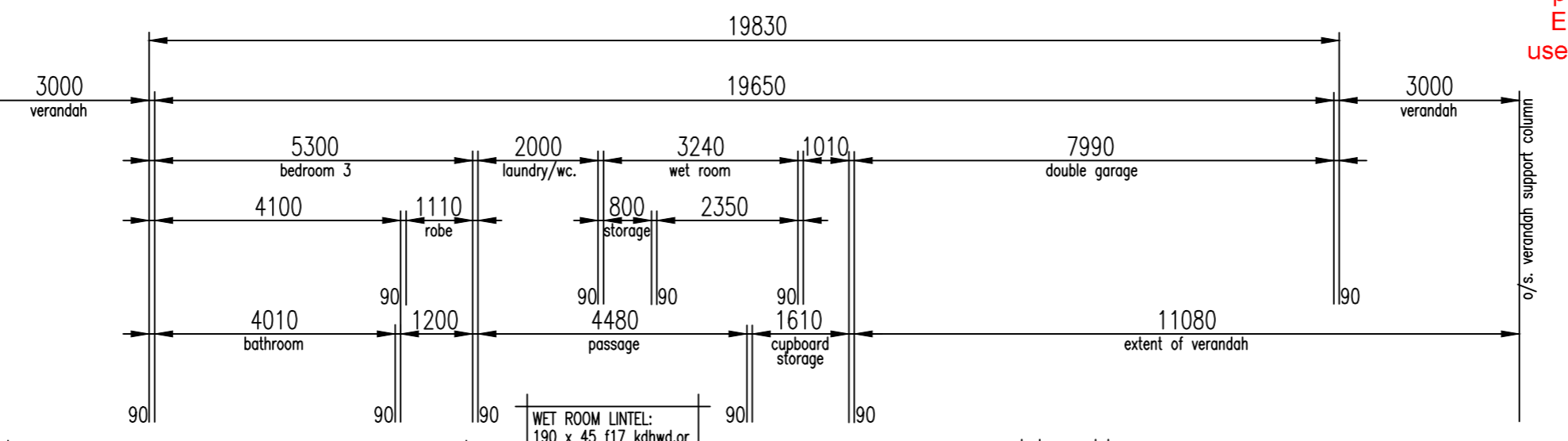
NOTE: builder to provide double studs where applicable in strict accordance with AS1684 table 4s. BRACING bldr. to ensure that all bracing requirements adhere strictly in accordance with AS1684 'Timber Framing Code'

LOADBEARING WALLS: bldr. to ensure provision of conc. stumps at 1000mm. max. cts. underside all new and/or exist. timber stud walls as may be req'd. in accordance with AS 1684 and BCA requirements.

TRANSFER OF POINT LOADS: bldr. to ensure provision of conc. stumps underside all point loads transferring isolated roof loads to ground.

METAL RIDGE CAPPING: bldr. to ensure metal ridge capping to be sealed by use of preformed profiled ridge capping in strict accordance with AS3959:1999, clause 3.9.1.3 and figure 3.5, and manufacturers recommendations.

NOTE: NOMINATED DOWNPIPES & RHDP. 'Ned Kelly' type rain head (or alternative as selected by owner) with overflow and down-pipe dp 90mm. PVC type down-pipe secured with select proprietary galv. metal support brackets dp/s. down-pipe drop with spreader NB. or approved metal equivalent to owner specific requirements



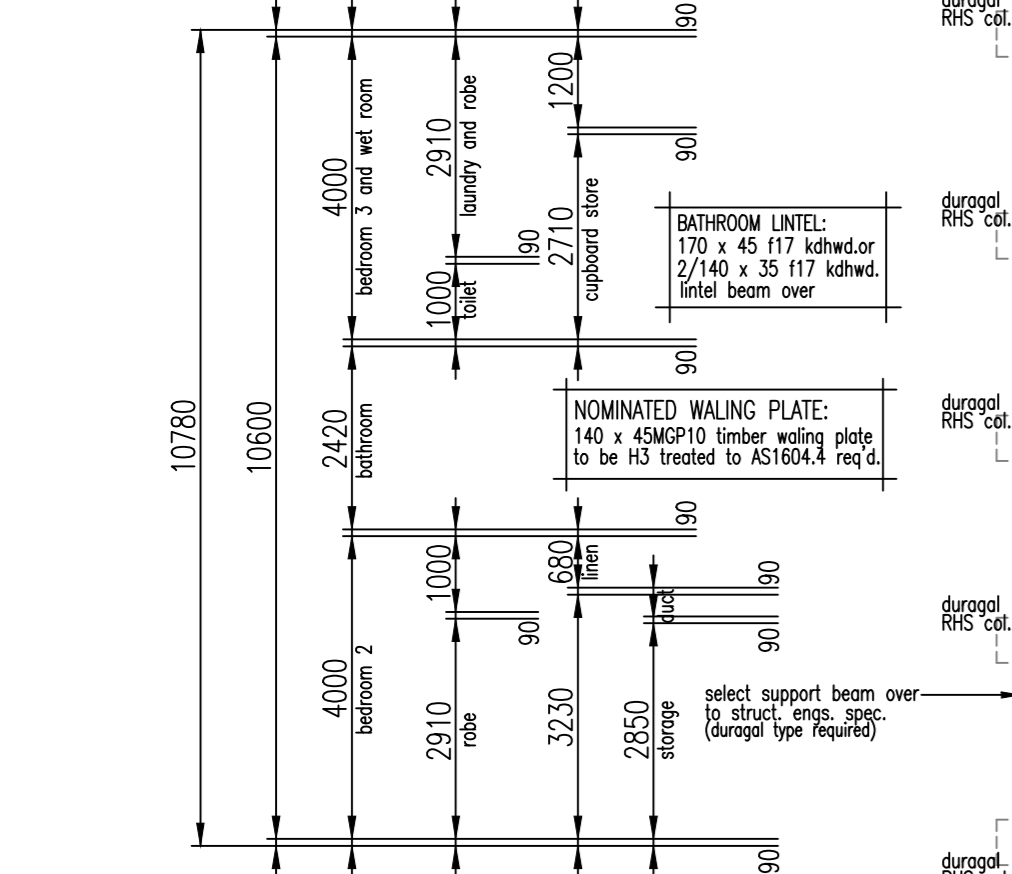
BUILDING CONDENSATION MANAGEMENT: nominated wall wrap (pliable building membrane) with R1.5min. to be: Vapour Permeable Type ALL exhaust Fans installed must be Vented Externally (Roof and/or Walls via suitable DUCT in strict compliance to NCC.3.8.7 BCA.Vol.2 'BRADFORD THERMOSEAL' see Wall Construction BATHROOM/POWDER RM: Flow Rate of 25L/s KITCHEN: Flow Rate of: 40L/s

TIMBER STEPS: 250mm. min. treads 190mm. max. riser treads & stringers to be treated pine select paint finish - pf. builder to ensure appropriate Non-Slip Finish is Applied to ALL Steps, Ramps and Landings to: AS4586-2013

BALLUSTRADE: (TYP.) timber ballustrade with stainless steel horizontal cables set at 100mm. max. set top of handrail 1000mm high aff. bldr. to provide select timber post ballustrates at 1000mm required centres throughout ensure 3mm dia. wire cable with lay of (7x7) bldr. to consult owner to ensure compliance and ss. steel cables to complete installation

APPLIES TO GABLE INFILL AREAS ONLY: select 7.5mm. 'Harditex' base sheet flush joint system (typ.) selected by owner with approved texture coat finish to be installed strictly in accordance with manufacturers recommendations. select applied paint finish to external cladding to owners specific requirements.

CEILING CONSTRUCTION: FLAT TYPE THROUGHOUT provide 10mm. plasterboard ceiling lining on 35 x 42 f5 seasoned pine ceiling battens (can utilise MGP10 seasoned pine equivalent) (or approved metal equivalent) @ 450 max. cts. select paint finish on completion



NOTE: STORMWATER TO LEGAL POINT OF DISCHARGE IN STRICT ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND IN STRICT ACCORDANCE WITH: AS/NZS3500.3-2018 SPECIFIC REQUIREMENTS SOIL CLASSIFICATION IN ACCORDANCE WITH SOIL REPORT BY STRUCTURAL ENGINEER.

TERMITE TREATMENT REQUIRED IN STRICT ACCORDANCE WITH AS.3660 AND LOCAL AUTHORITIES REQUIREMENTS.

ALL EXISTING SITE LEVELS AND WIND CLASSIFICATION TO BE CONFIRMED ON SITE BY BUILDER.

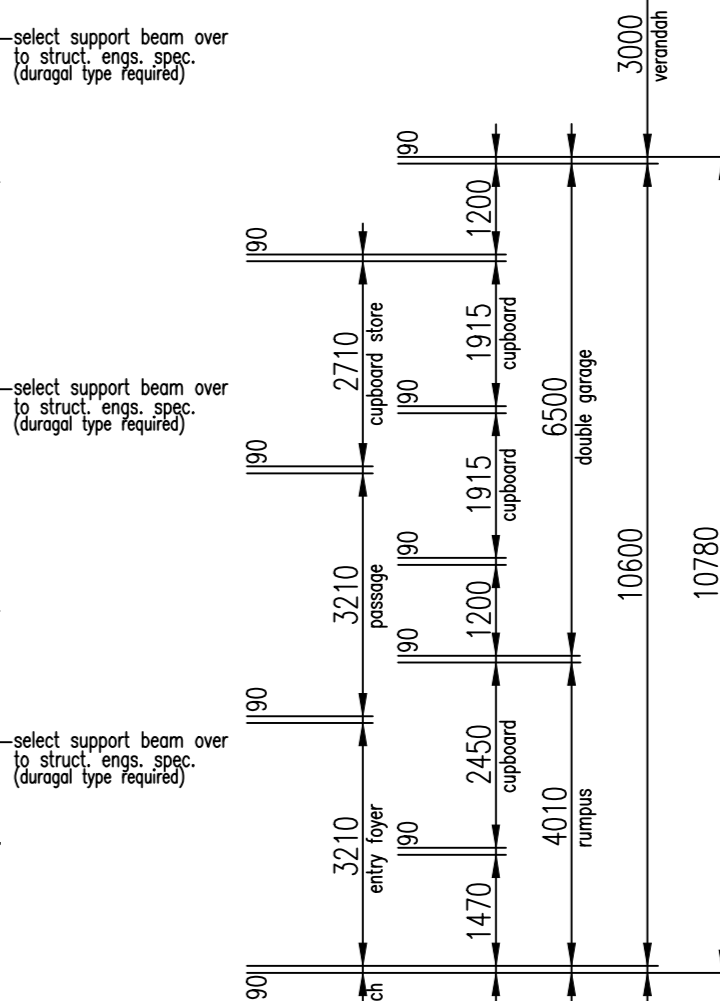
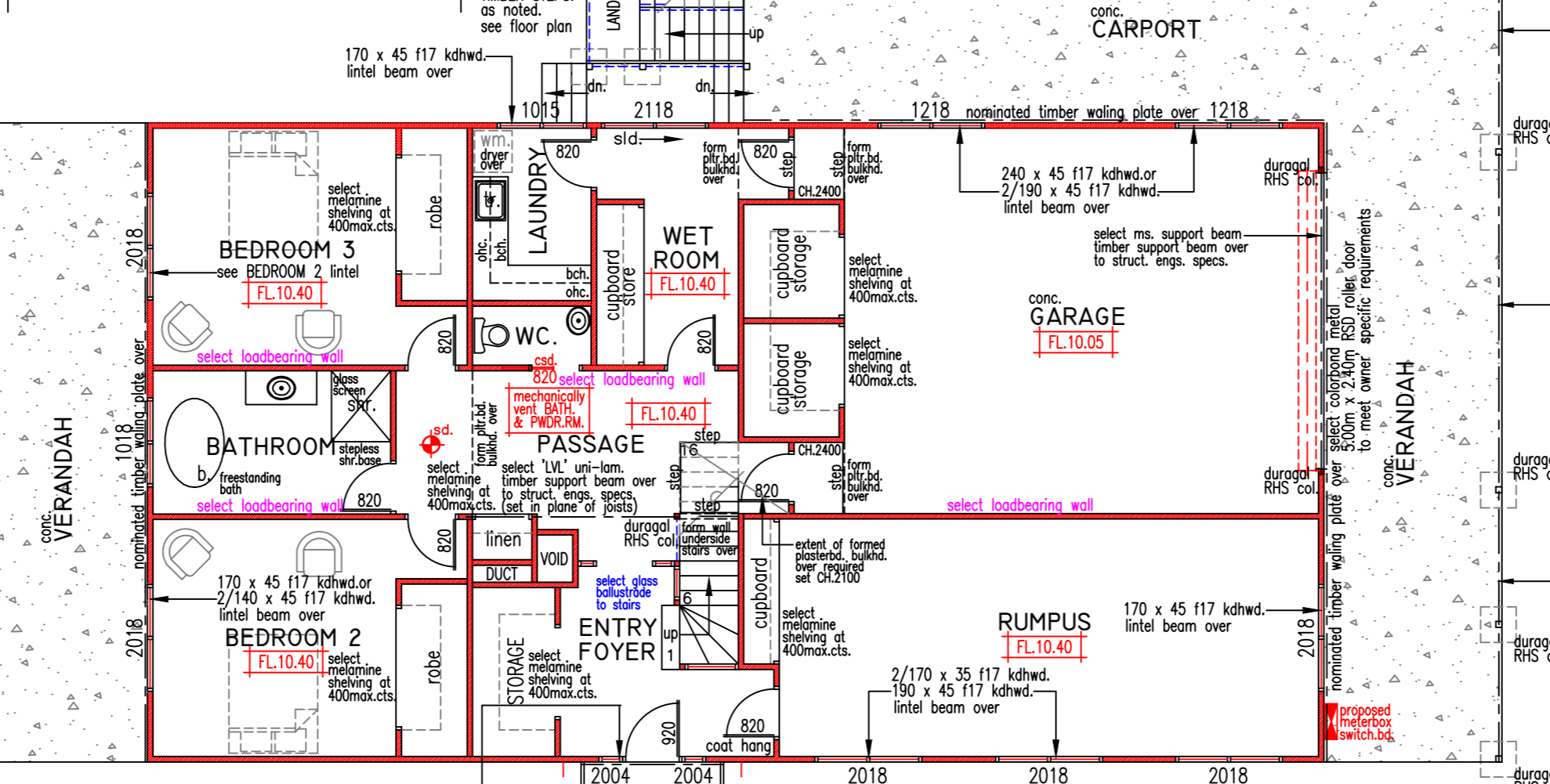
ALL EXISTING SITE LEVELS STATED ARE TO AN ARBITRARY DATUM SOURCE.

BUILDER TO REFER TO ACTUAL SUBJECT PROPERTY SITE LEVELS PREPARED BY 'SURVEYOR'.

THERMAL INSULATION REQUIREMENTS: floor insulation = R1.0 foil board u/s. slab external walls = R2.5 bulk insulation min. (ie. insulwool - natural wool panel type) OR approved similar R2.5 type ceilings throughout = R3.5 bulk insulation (ie. insulwool - natural wool panel type) roof = insulwool blanket type (sarking) Air-Cell Insulbreak 65 (sarking) NB. sialitation flammability index not exceeding 5 throughout - SEE ENERGY RATING REPORT

ALL CONCRETE FOUNDATIONS/SLABS: see AS2870.1-1996 for all foundation and slab requirements see also soil report and structural engs. details and specs.

ROOF SUPPORT BEAM/RAFTER CONNECTION: bldr. to utilise proprietary 'PRYDA' galv. joist hangers for rafter connections to timber support members nominated. in strict accordance with manuf. specs.



BUILDER TO NOTE: STORMWATER LEGAL POINT OF DISCHARGE TO BE SOURCED FROM EAST GIPPSLAND SHIRE COUNCIL BY: NOMINATED BUILDING SURVEYOR AT THE REQUEST OF NOTED PROPERTY OWNER BUILDER/OWNER TO ENSURE ALL STORMWATER DRAINAGE TO BE INTEGRATED WITH AND DULY AUTHORISED BY: EAST GIPPSLAND SHIRE COUNCIL

DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND SCHEDULE OF WORKS CONTENT

BUILDER TO MAKE GOOD ALL EXISTING ELEMENTS AFFECTED BY NEW WORKS AT COMPLETION

LINTELS OVER OPENINGS: ms. galv. lintels over openings to structural engs. specs.

TIMBER LINTELS: see ground floor plan-sheet 2 of 11

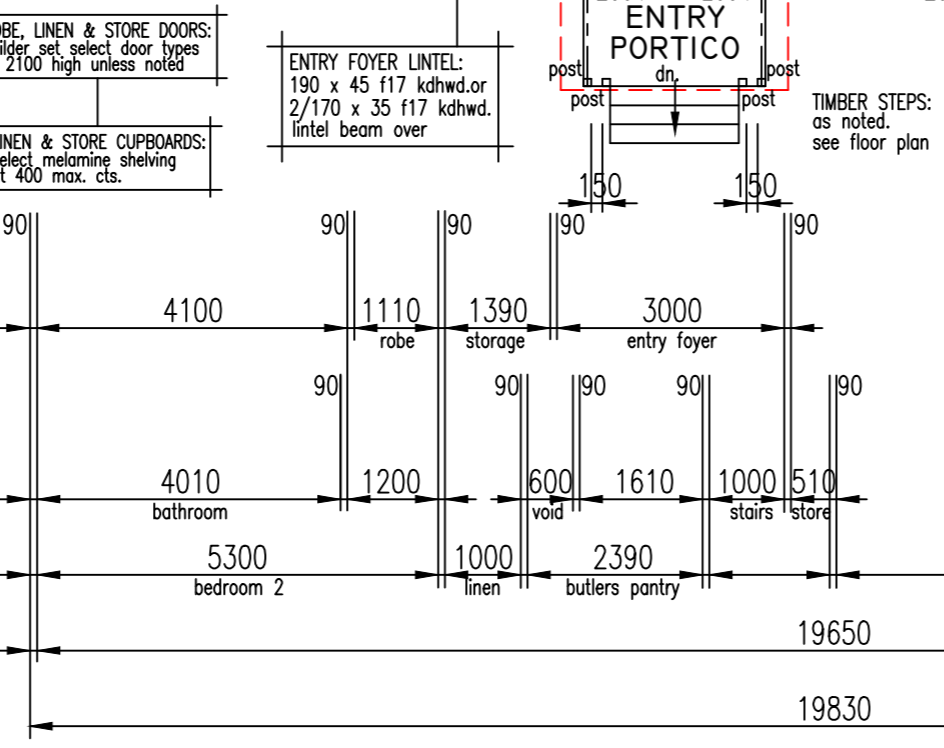
PROJECT DISCLAIMER: NOTED CONDITIONS AND SUBSEQUENT REQUIREMENTS MAY VARY SUBJECT TO APPLIED PROPERTY ENCUMBRANCES IF APPLICABLE: SECTION 173 AGREEMENTS AND/OR PROTECTIVE COVENANTS OR PRESCRIBED ASSIGNED DEVELOPMENT APPROVAL PROCESSES

CUSTOM-ORB ROOF AND WALL SHEETING: provide 'lysaghts' metal custom orb colorbond metal roof sheeting (as selected by owner) see floor plan for said location. bldr. to install strictly in accordance with manufacturers recommendations

BUILDER TO NOTE: all prescribed pressed metal cappings and flashings to be select colorbond type. builder to ensure colour match to selected metal roof sheeting throughout, as applicable.

VERANDAH ROOF: 7.5° PITCH 'lysaghts' colorbond custom orb roof sheeting as selected by owner.

CUT & FILL EXCAVATION NOT REQUIRED FOR THIS PROJECT



PROPOSED BUILDING CONDITIONS GROUND FLOOR PLAN LAYOUT SCALE: 1 : 100

PLEASE SEE STRUCTURAL ENGINEERS DESIGN SPECIFICATIONS FOR DEEMED LATERAL BRACING REQUIREMENTS APPLICABLE THROUGHOUT

PROPOSED 2 STOREY METAL/TIMBER RESIDENCE AND 24.00M x 6.00M x 3.20H. METAL SHED AT: LOT40/8 TAMBO BOULEVARD, METUNG.

FOR: MR. R. LEVY. prepared by: cps building design consultants bairnsdale - ph. 5152 3762. latrobe valley. ph. 5166 1575. pakenham. ph. 5941 4841.

NOTE: WIND RATING = N1. bldr. to obtain confirmation from authorised building surveyor prior to project commencement

Table with columns: REF., DATE, REVISION, APP'D.

Table with columns: DATE, DRAWN, SCALE, PROJECT NO., DRAWING SHEET NO.

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

NOTE
 1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
 3. ANY DISCREPANCIES AND/OR UNCERTAINTIES ARISE BUILDER TO CONFIRM DESIGN INTENT BY THIS OFFICE PRIOR TO COMMENCING WORKS.

NOTE:
 builder to provide double studs where applicable in strict accordance with AS1684 table 4s.

BRACING
 bldr. to ensure that all bracing requirements adhere strictly in accordance with AS1684 Timber Framing Code

LOADBEARING WALLS:
 bldr. to ensure provision of conc. stumps at 1000mm max. cts. underside all new and/or exist. timber stud walls as may be req'd. in accordance with AS 1684 and BCA requirements.

TRANSFER OF POINT LOADS:
 bldr. to ensure provision of conc. stumps underside all point loads transferring isolated roof loads to ground.

POLYCARB AMPELITE SOLASAFE: 7.5° PITCH
 provide 'ampelite solasafe' custom-orb profile select polycarb to comply with no safety-mesh locate over full extent of roof unless noted - see floor plan for said location. builder to install strictly in accordance with manufacturers recommendations (builder to consult owner on colour and type) (NB. select 'GREY-TINT' sheet colour)

BUILDING CONDENSATION MANAGEMENT:
 nominated wall wrap (pliable building membrane) with R1.5min. to be: Vapour Permeable Type ALL exhaust Fans installed must be Vented Externally (Roof and/or Walls via suitable DUCT in strict compliance to NCC.3.8.7 BCA.Vol.2 'BRADFORD THERMOSEAL' see Wall Construction BATHROOM/POWDER RM: Flow Rate of 25L/s KITCHEN: Flow Rate of: 40L/s

ALL CONCRETE FOUNDATIONS/SLABS:
 see AS2870.1-1996 for all foundation and slab requirements see also soil report and structural engs. details and specs.

APPLIES TO GABLE INFILL AREAS ONLY:
 select 7.5mm. 'Harditex' base sheet flush joint system (typ.) selected by owner with approved texture coat finish to be installed strictly in accordance with manufacturers recommendations. select applied point finish to external cladding to owners specific requirements.

LATTICE SCREEN REQ'D:
 locate select obscure screen, timber/metal lattice type req'd. ensure 1700min. height to full extent of screen for RESCODE compliance requirements 25% max. open area

EXTERNAL DOORS: (BAL 12.5)
 provide weather strips or draught excluders to prevent penetration of burning debris beneath door required. to owners specific requirements

SCREEN DOORS FITTED:
 provide tight fitting door screens with corrosion-resistant steel, bronze or aluminium mesh with 1.8mm max. permissible aperture size required.

FLYWIRE SCREENS FITTED: (BAL 12.5)
 provide tight fitting flywire screens with corrosion-resistant steel, bronze or aluminium mesh with 1.8mm max. permissible aperture size required.

EAVES GUTTER LEAF GUARDS:
 bldr. to ensure selected material for said purpose, must have a permissible flammability index not exceeding 5 required throughout.

ALL ROOF PENETRATIONS:
 bldr. to ensure all roof penetrations (skylights and associated shafts) to be sealed by use of preformed profiled ridge capping in strict accordance with AS3959.1999, clause 3.9.1.3 and figure 3.5, and manufacturers recommendations.

VENTED ROOF-LIGHTS:
 mesh with 1.8mm max. permissible aperture size required.

TIMBER STEPS:
 250mm. min. treads 190mm. max. riser treads & stringers to be treated pine select point finish - pf.

builder to ensure appropriate Non-Slip Finish is Applied to ALL Steps, Ramps and Landings to: AS4586-2013

PROPOSED 2 STOREY METAL/TIMBER RESIDENCE AND 24.00M x 6.00M x 3.20H. METAL SHED AT: LOT40/8 TAMBO BOULEVARD, METUNG.

FOR: MR. R. LEVY.
 prepared by: cps building design consultants
 bairnsdale - ph. 5152 3762.
 latrobe valley. ph. 5166 1575.
 pakenham. ph. 5941 4841.

NOTE: WIND RATING = N1.
 bldr. to obtain confirmation from authorised building surveyor prior to project commencement

NOTE:
 STORMWATER TO LEGAL POINT OF DISCHARGE IN STRICT ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND IN STRICT ACCORDANCE WITH: AS/NZS3500.3-2018 SPECIFIC REQUIREMENTS
 SOIL CLASSIFICATION IN ACCORDANCE WITH SOIL REPORT BY STRUCTURAL ENGINEER.
 TERMITE TREATMENT REQUIRED IN STRICT ACCORDANCE WITH AS.3660 AND LOCAL AUTHORITIES REQUIREMENTS.

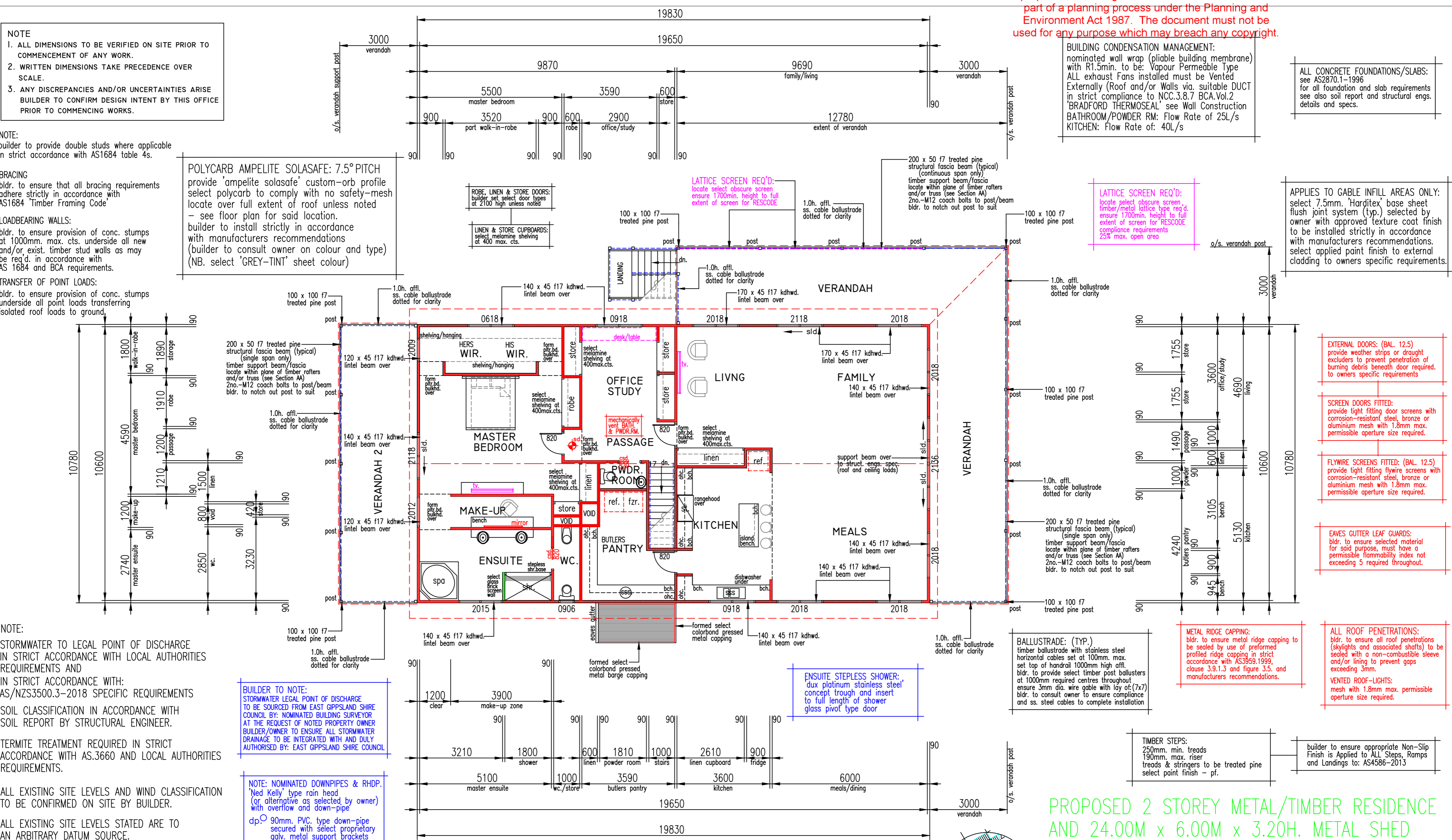
BUILDER TO NOTE:
 STORMWATER LEGAL POINT OF DISCHARGE TO BE SOURCED FROM EAST GIPPSLAND SHIRE COUNCIL BY: NOMINATED BUILDING SURVEYOR AT THE REQUEST OF NOTED PROPERTY OWNER BUILDER/OWNER TO ENSURE ALL STORMWATER DRAINAGE TO BE INTEGRATED WITH AND DULY AUTHORISED BY: EAST GIPPSLAND SHIRE COUNCIL

NOTE: NOMINATED DOWNPIPES & RHDP.
 'Ned Kelly' type rain head (or alternative as selected by owner) with overflow and down-pipe
 dp 90mm. PVC. type down-pipe secured with select proprietary galv. metal support brackets
 dp/s. down-pipe drop with spreader
 NB. or approved metal equivalent to owner specific requirements

ALL EXISTING SITE LEVELS AND WIND CLASSIFICATION TO BE CONFIRMED ON SITE BY BUILDER.
 ALL EXISTING SITE LEVELS STATED ARE TO AN ARBITRARY DATUM SOURCE.
 BUILDER TO REFER TO ACTUAL SUBJECT PROPERTY SITE LEVELS PREPARED BY 'SURVEYOR'.

A	June 2024	remediate building compliance issues	
REF.	DATE:	REVISION	APP'D.

DATE:			
-------	--	--	--

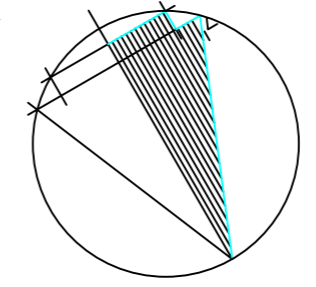


PROPOSED BUILDING CONDITIONS
UPPER FLOOR PLAN LAYOUT
 SCALE: 1 : 100

BUILDER TO ENSURE FORM PURPOSE 4.0° FALL/GRADE IMMEDIATELY ADJACENT TO EXTERNAL WALLS OF SUBJECT RESIDENCE SEE SOIL TEST REPORT FOR MORE DETAIL.

70mm. FALL IN 1.00m = 4.0°

PLEASE NOTE: ORIGINAL SHEET SIZE: A2



DATE	DRAWN	SCALE	PROJECT NO.	DRAWING SHEET NO.
Dec., 2023.	cps.11330	as shown.	11330	sheet 3 of 11.

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any other purpose which may breach any copyright.

NOTE
1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
3. ANY DISCREPANCIES AND/OR UNCERTAINTIES ARISE BUILDER TO CONFIRM DESIGN INTENT BY THIS OFFICE PRIOR TO COMMENCING WORKS.

VERANDAH ROOF: 7.5° PITCH
'lysaghts' colorbond custom orb roof sheeting as selected by owner.

METAL RIDGE CAPPING:
bldr. to ensure metal ridge capping to be sealed by use of preformed profiled ridge capping in strict accordance with AS3959.1999, clause 3.9.1.3 and figure 3.5. and manufacturers recommendations.

PORTICO ROOF: 7.5° PITCH
'lysaghts' colorbond custom orb roof sheeting as selected by owner.

ROOF PENETRATIONS:
ensure roof penetrations (skylights and associated shafts) to be sealed with a non-combustible sleeve and/or lining to prevent gaps exceeding 3mm.
VENTED ROOF-LIGHTS:
mesh with 1.8mm max. permissible aperture size required.

BUILDER TO NOTE:
STORMWATER LEGAL POINT OF DISCHARGE TO BE SOURCED FROM EAST GIPPSLAND SHIRE COUNCIL BY: NOMINATED BUILDING SURVEYOR AT THE REQUEST OF NOTED PROPERTY OWNER BUILDER/OWNER TO ENSURE ALL STORMWATER DRAINAGE TO BE INTEGRATED WITH AND DULY AUTHORISED BY: EAST GIPPSLAND SHIRE COUNCIL

CUSTOM-ORB ROOF AND WALL SHEETING:
provide 'lysaghts' metal custom orb colorbond metal roof sheeting (as selected by owner)
see floor plan for said location.
bldr. to install strictly in accordance with manufacturers recommendations

APPLIES TO GABLE INFILL AREAS ONLY:
select 7.5mm. 'Harditex' base sheet flush joint system (typ.) selected by owner with approved texture coat finish to be installed strictly in accordance with manufacturers recommendations. select applied point finish to external cladding to owners specific requirements.

POLYCARB AMPELITE SOLASAFE: 7.5° PITCH
provide 'ampelite solasafe' custom-ORB profile select polycarb to comply with no safety-mesh locate over full extent of roof unless noted - see floor plan for said location.
builder to install strictly in accordance with manufacturers recommendations (builder to consult owner on colour and type) (NB. select 'GREY-TINT' sheet colour)

BUILDING CONDENSATION MANAGEMENT:
nominated wall wrap (pliable building membrane) with R1.5min. to be: Vapour Permeable Type ALL exhaust Fans installed must be Vented Externally (Roof and/or Walls via. suitable DUCT in strict compliance to NCC.3.8.7 BCA.Vol.2 'BRADFORD THERMOSEAL' see Wall Construction BATHROOM/POWDER RM: Flow Rate of 25L/s KITCHEN: Flow Rate of: 40L/s

NORTH ELEVATION

SCALE: 1 : 100

ROOF SUPPORT BEAM/RAFTER CONNECTION:
bldr. to utilise proprietary 'PRYDA' galv. joist hangers for rafter connections in strict accordance with manuf. specs.

TIMBER STEPS:
250mm. min. treads
190mm. max. riser
treads & stringers to be treated pine select point finish - pf.

builder to ensure appropriate Non-Slip Finish is Applied to ALL Steps, Ramps and Landings to: AS4586-2013

BALLUSTRADE: (TYP.)
timber ballustrade with stainless steel horizontal cables set at 100mm. max. set top of handrail 1000mm high affl. bldr. to provide select timber post ballusters at 1000mm required centres throughout ensure 3mm dia. wire cable with lay of (7x7) bldr. to consult owner to ensure compliance and ss. steel cables to complete installation

EXTERNAL DOORS: (BAL. 12.5)
provide weather strips or draught excluders to prevent penetration of burning debris beneath door required. to owners specific requirements

SCREEN DOORS FITTED:
provide tight fitting door screens with corrosion-resistant steel, bronze or aluminium mesh with 1.8mm max. permissible aperture size required.

FLYWIRE SCREENS FITTED: (BAL. 12.5)
provide tight fitting flywire screens with corrosion-resistant steel, bronze or aluminium mesh with 1.8mm max. permissible aperture size required.

EAVES GUTTER LEAF GUARDS:
bldr. to ensure selected material for said purpose, must have a permissible flammability index not exceeding 5 required throughout.

THERMAL INSULATION REQUIREMENTS:
floor insulation = R1.0 foil board u/s. slab
external walls = R2.5 bulk insulation min. (ie. insulwool - natural wool panel type)
OR approved similar R2.5 type
ceilings throughout = R3.5 bulk insulation (ie. insulwool - natural wool panel type)
roof = insulwool blanket type (sarking)
Air-Cell Insulbreak 65 (sarking)
NB. silitation flammability index not exceeding 5 throughout - SEE ENERGY RATING REPORT

APPLIES TO LOWER FLOOR INFILLS:
provide 90mm. f5 seasoned pine stud framing and lateral bracing to structural engs. specs. select colorbond custom orb wall sheeting builder to ensure select sheet installed/set in 'horizontal' plane as required by project owner to be installed strictly in accordance with specific manufacturers recommendations. overlying nominated 'Bradford ThermoSeal' wall wrap on select f5 seasoned timber wall frames material preparation and application in strict adherence to manufacturers recommendations selected to owners specific requirements. bldr. to note, uniform exterior material colour to maintain consistent finish on completion. provide approved building paper (sisilation) to outer face of nominated external studwalls.

builder to utilise nominated select custom pressed metal flashings/cappings internal/external treatment at ALL project corner situations and throughout external wall sheet applications

DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND SCHEDULE OF WORKS CONTENT

BUILDER TO MAKE GOOD ALL EXISTING ELEMENTS AFFECTED BY NEW WORKS AT COMPLETION

BUILDER TO NOTE:
all prescribed pressed metal cappings and flashings to be select colorbond type. builder to ensure colour match to selected metal roof sheeting throughout, as applicable.

CUT & FILL EXCAVATION NOT REQUIRED FOR THIS PROJECT

PROJECT DISCLAIMER:
NOTED CONDITIONS AND SUBSEQUENT REQUIREMENTS MAY VARY SUBJECT TO APPLIED PROPERTY ENCUMBRANCES IF APPLICABLE:
SECTION 173 AGREEMENTS AND/OR PROTECTIVE COVENANTS OR PRESCRIBED ASSIGNED DEVELOPMENT APPROVAL PROCESSES

PLEASE SEE STRUCTURAL ENGINEERS DESIGN SPECIFICATIONS FOR DEEMED LATERAL BRACING REQUIREMENTS APPLICABLE THROUGHOUT

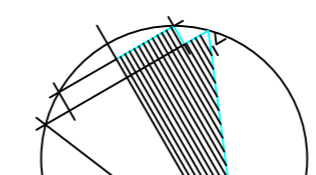
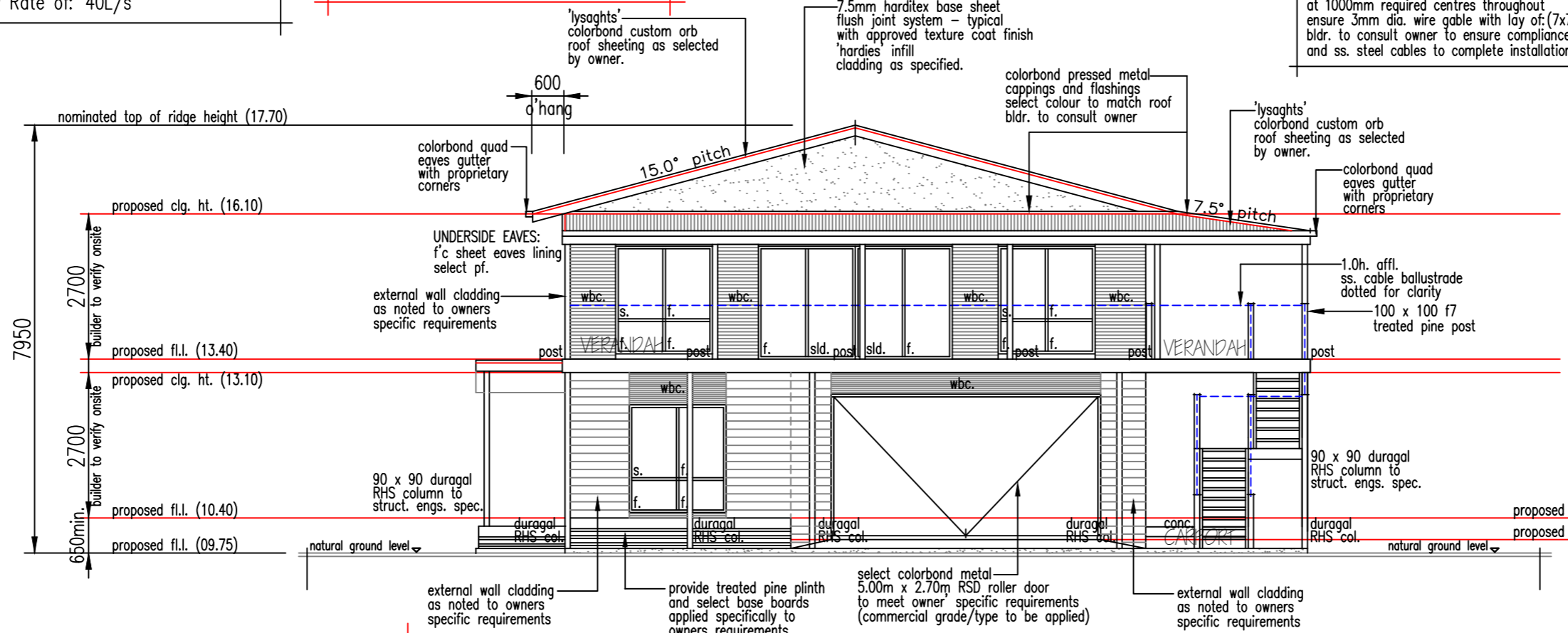
ALL CONCRETE FOUNDATIONS/SLABS:
see AS2870.1-1996 for all foundation and slab requirements see also soil report and structural engs. details and specs.

TERMITE TREATMENT REQUIRED IN STRICT ACCORDANCE WITH AS.3660 AND LOCAL AUTHORITIES REQUIREMENTS.

APPLIES TO BATHROOM & ENSUITE:
BUILDER TO ENSURE ALL WATER-PROOFING TO WET AREAS TO BE PERFORMED BY AUTHORISED/LICENSED PERSONS AND TO COMPLY WITH AND IN ACCORDANCE WITH AS3470

WEST ELEVATION

SCALE: 1 : 100



PROPOSED 2 STOREY METAL/TIMBER RESIDENCE AND 24.00M x 6.00M x 3.20H. METAL SHED AT: LOT40/8 TAMBO BOULEVARD, METUNG.

FOR: MR. R. LEVY.
prepared by: cps building design consultants
bairnsdale - ph. 5152 3762.
latrobe valley. ph. 5166 1575.
pakenham. ph. 5941 4841.

NOTE: WIND RATING = N1.
bldr. to obtain confirmation from authorised building surveyor prior to project commencement

REF.	DATE:	REVISION	APP'D.
B	June 2024	remediate building compliance issues	
A	June 2024	lower floor now timber at client request	

DATE:	PLEASE NOTE: ORIGINAL SHEET SIZE: A2	DATE	DRAWN	SCALE	PROJECT NO.	DRAWING SHEET NO.
		Dec., 2023.	cps.11330	as shown.	11330	sheet 4 of 11.

ALL RIGHTS RESERVED, COPYRIGHT LAWS AND CONDITIONS APPLY TO THIS SET OF DRAWINGS, APART FROM USE BY THE ADDRESSED PARTY FOR THE PURPOSE FOR WHICH IT WAS REQUESTED AND ANY FAIR DEALING AS PERMITTED UNDER THE COPYRIGHT ACT. NO PART MAY BE USED, REPRODUCED OR COPIED BY ANY MEANS OR IN ANY FORM WITHOUT THE PRIOR WRITTEN PERMISSION BY: CPS DESIGN PTY. LTD.

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright law, or any other law.

BUILDER TO NOTE:
STORMWATER LEGAL POINT OF DISCHARGE TO BE SOURCED FROM EAST GIPPSLAND SHIRE COUNCIL BY: NOMINATED BUILDING SURVEYOR AT THE REQUEST OF NOTED PROPERTY OWNER
BUILDER/OWNER TO ENSURE ALL STORMWATER DRAINAGE TO BE INTEGRATED WITH AND DULY AUTHORISED BY: EAST GIPPSLAND SHIRE COUNCIL

NOTE: NOMINATED DOWNPIPES & RHDP:
Ned Kelly type rain head (or alternative as selected by owner) with overflow and down-pipe
dp 90mm. PVC. select down-pipe secured with select proprietary galv. metal support brackets
dp/s. down-pipe drop with spreader NB. or approved metal equivalent to owner specific requirements

EXTERNAL DOORS: (BAL. 12.5)
provide weather strips or draught excluders to prevent penetration of burning debris beneath door required. to owners specific requirements

SCREEN DOORS FITTED:
provide tight fitting door screens with corrosion-resistant steel, bronze or aluminium mesh with 1.8mm max. permissible aperture size required.

FLYWIRE SCREENS FITTED: (BAL. 12.5)
provide tight fitting flywire screens with corrosion-resistant steel, bronze or aluminium mesh with 1.8mm max. permissible aperture size required.

EAVES GUTTER LEAF GUARDS:
bldr. to ensure selected material for said purpose, must have a permissible flammability index not exceeding 5 required throughout.

THERMAL INSULATION REQUIREMENTS:
floor insulation = R1.0 foil board u/s. slab
external walls = R2.5 bulk insulation min. (ie. insulwool - natural wool panel type)
OR approved similar R2.5 type
ceilings throughout = R3.5 bulk insulation (ie. insulwool - natural wool panel type)
roof = insulwool blanket type (sarking)
Air-Cell Insulbreak 65 (sarking)
NB. sislitation flammability index not exceeding 5 throughout - SEE ENERGY RATING REPORT

BUILDER TO NOTE:
all prescribed pressed metal cappings and flashings to be select colorbond type.
builder to ensure colour match to selected metal roof sheeting throughout, as applicable.

CUT & FILL EXCAVATION NOT REQUIRED FOR THIS PROJECT

PROPOSED 2 STOREY METAL/TIMBER RESIDENCE AND 24.00M x 6.00M x 3.20H. METAL SHED AT: LOT40/8 TAMBO BOULEVARD, METUNG.

FOR: MR. R. LEVY.
prepared by: cps building design consultants
bairnsdale - ph. 5152 3762.
latrobe valley. ph. 5166 1575.
pakenham. ph. 5941 4841.

NOTE: WIND RATING = N1.
bldr. to obtain confirmation from authorised building surveyor prior to project commencement

NOTE:
1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
3. ANY DISCREPANCIES AND/OR UNCERTAINTIES ARISE BUILDER TO CONFIRM DESIGN INTENT BY THIS OFFICE PRIOR TO COMMENCING WORKS.

APPLIES TO GABLE INFILL AREAS ONLY:
select 7.5mm. Harditex base sheet flush joint system (typ.) selected by owner with approved texture coat finish to be installed strictly in accordance with manufacturers recommendations. select applied paint finish to external cladding to owners specific requirements.

DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND SCHEDULE OF WORKS CONTENT

BUILDER TO MAKE GOOD ALL EXISTING ELEMENTS AFFECTED BY NEW WORKS AT COMPLETION

APPLIES TO LOWER FLOOR INFILLS:
APPLIES TO UPPER FLOOR CLADDING:
EXTERNAL WALL CLADDING: 'wbc.'
provide 90mm. f5 seasoned pine stud framing and lateral bracing to structural engs. specs. select colorbond custom orb wall sheeting builder to ensure select sheet installed/set in 'horizontal' plane as required by project owner to be installed strictly in accordance with specific manufacturers recommendations. overlying nominated 'Bradford Thermosteel' wall wrap on select f5 seasoned timber wall frames material preparation and application in strict adherence to manufacturers recommendations selected to owners specific requirements. bldr. to note, uniform exterior material colour to maintain consistent finish on completion. provide approved building paper (sisilation) to outer face of nominated external studwalls.

builder to utilise nominated select custom pressed metal flashings/cappings internal/external treatment at ALL project corner situations and throughout external wall sheet applications

CUSTOM-ORB ROOF AND WALL SHEETING:
provide 'lysaghts' metal custom orb colorbond metal roof sheeting (as selected by owner) see floor plan for said location. bldr. to install strictly in accordance with manufacturers recommendations

SUB-FLOOR VENTILATION:
provide subfloor ventilation at a rate: 7300mm²/m run of external wall locate subfloor access door to owners specific requirements (see East Elevation)

PORTICO ROOF: 7.5° PITCH
'lysaghts' colorbond custom orb roof sheeting as selected by owner.

BUILDING CONDENSATION MANAGEMENT:
nominated wall wrap (pliable building membrane) with R1.5min. to be: Vapour Permeable Type ALL exhaust Fans installed must be Vented Externally (Roof and/or Walls via. suitable DUCT in strict compliance to NCC.3.8.7 BCA.Vol.2 'BRADFORD THERMOSEAL' see Wall Construction BATHROOM/POWDER RM: Flow Rate of 25L/s KITCHEN: Flow Rate of: 40L/s

NOTE:
STORMWATER TO LEGAL POINT OF DISCHARGE IN STRICT ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND IN STRICT ACCORDANCE WITH: AS/NZS3500.3-2018 SPECIFIC REQUIREMENTS
SOIL CLASSIFICATION IN ACCORDANCE WITH SOIL REPORT BY STRUCTURAL ENGINEER.
TERMITE TREATMENT REQUIRED IN STRICT ACCORDANCE WITH AS.3660 AND LOCAL AUTHORITIES REQUIREMENTS.

ALL EXISTING SITE LEVELS AND WIND CLASSIFICATION TO BE CONFIRMED ON SITE BY BUILDER.

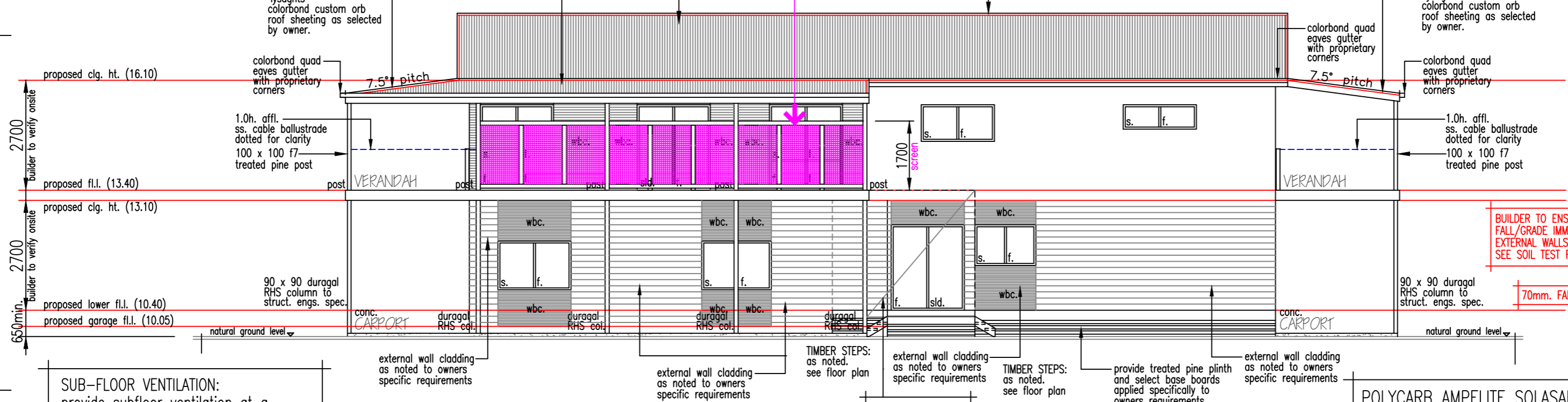
ALL EXISTING SITE LEVELS STATED ARE TO AN ARBITRARY DATUM SOURCE.

BUILDER TO REFER TO ACTUAL SUBJECT PROPERTY SITE LEVELS PREPARED BY 'SURVEYOR'.

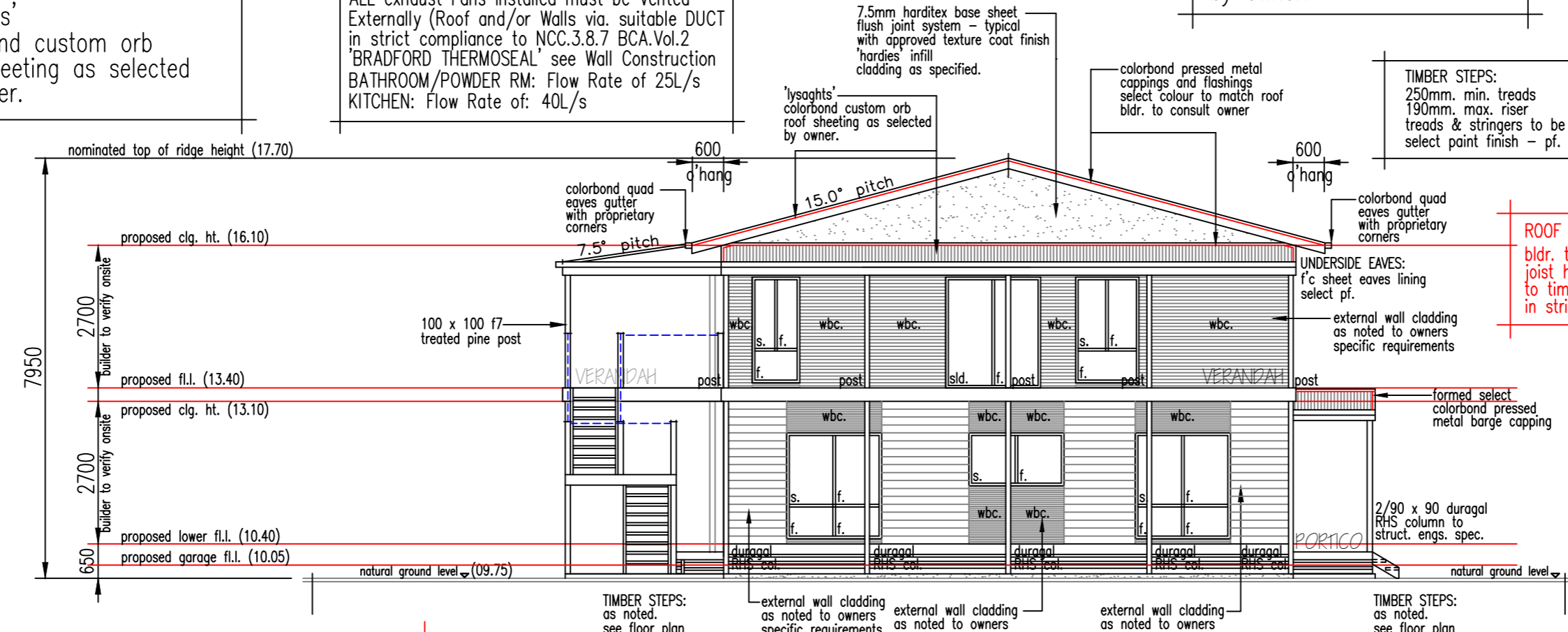
PROJECT DISCLAIMER:
NOTED CONDITIONS AND SUBSEQUENT REQUIREMENTS MAY VARY SUBJECT TO APPLIED PROPERTY ENCUMBRANCES IF APPLICABLE:
SECTION 173 AGREEMENTS AND/OR PROTECTIVE COVENANTS OR PRESCRIBED ASSIGNED DEVELOPMENT APPROVAL PROCESSES

APPLIES TO BATHROOM & ENSUITE:
BUILDER TO ENSURE ALL WATER-PROOFING TO WET AREAS TO BE PERFORMED BY AUTHORISED/LICENSED PERSONS AND TO COMPLY WITH AND IN ACCORDANCE WITH AS3470

TERMITE TREATMENT REQUIRED IN STRICT ACCORDANCE WITH AS.3660 AND LOCAL AUTHORITIES REQUIREMENTS.



SOUTH ELEVATION
SCALE: 1 : 100



EAST ELEVATION
SCALE: 1 : 100

REF.	DATE:	REVISION	APP'D.
B	June 2024	remediate building compliance issues	
A	June 2024	lower floor now timber at client request	

DATE:	PLEASE NOTE: ORIGINAL SHEET SIZE: A2	DATE:	DRAWN	SCALE	PROJECT NO.	DRAWING SHEET NO.
		Dec., 2023.	cps.11330	as shown.	11330	sheet 5 of 11.

NOTE
 1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
 3. ANY DISCREPANCIES AND/OR UNCERTAINTIES ARISE BUILDER TO CONFIRM DESIGN INTENT BY THIS OFFICE PRIOR TO COMMENCING WORKS.

DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND SCHEDULE OF WORKS CONTENT
 BUILDER TO MAKE GOOD ALL EXISTING ELEMENTS AFFECTED BY NEW WORKS AT COMPLETION

TIMBER STEPS:
 250mm. min. treads
 190mm. max. riser
 treads & stringers to be treated pine
 select paint finish - pf.

builder to ensure appropriate Non-Slip Finish is Applied to ALL Steps, Ramps and Landings to: AS4586-2013

VERANDAH ROOF: 7.5° PITCH
 'lysaghts' colorbond custom orb roof sheeting as selected by owner.

PORTICO ROOF: 7.5° PITCH
 'lysaghts' colorbond custom orb roof sheeting as selected by owner.

BUILDER TO NOTE:
 STORMWATER LEGAL POINT OF DISCHARGE TO BE SOURCED FROM EAST GIPPSLAND SHIRE COUNCIL BY: NOMINATED BUILDING SURVEYOR AT THE REQUEST OF NOTED PROPERTY OWNER
 BUILDER/OWNER TO ENSURE ALL STORMWATER DRAINAGE TO BE INTEGRATED WITH AND DULY AUTHORISED BY: EAST GIPPSLAND SHIRE COUNCIL

NOTE: NOMINATED DOWNPIPES & RHDP.
 'Ned Kelly' type rain head (or alternative as selected by owner) with overflow and down-pipe
 dp 90mm. PVC. type down-pipe secured with select proprietary galv. metal support brackets
 dp/s. down-pipe drop with spreader
 NB. or approved metal equivalent to owner specific requirements

FLOOR AREA ANALYSIS:

GROUND FLOOR LAYOUT

ROOM	AREA	ALLOWED
ENTRY FOYER:	9.78m2.	39.12W.
PASSAGE:	17.30m2.	69.20W.
RUMPUS:	37.81m2.	151.24W.
GARAGE:	53.97m2.	216.00W.
WET ROOM:	10.58m2.	42.32W.
LAUNDRY:	5.82m2.	23.28W.
TOILET (WC):	2.00m2.	8.00W.
BEDROOM 2:	17.60m2.	70.40W.
BEDROOM 3:	17.60m2.	70.40W.
BATHROOM:	9.70m2.	48.50W.
CUPBOARD(2):	3.08m2.	12.32W.
STORAGE:	3.96m2.	15.84W.
ROBE 1:	3.23m2.	12.92W.
ROBE 2:	3.23m2.	12.92W.

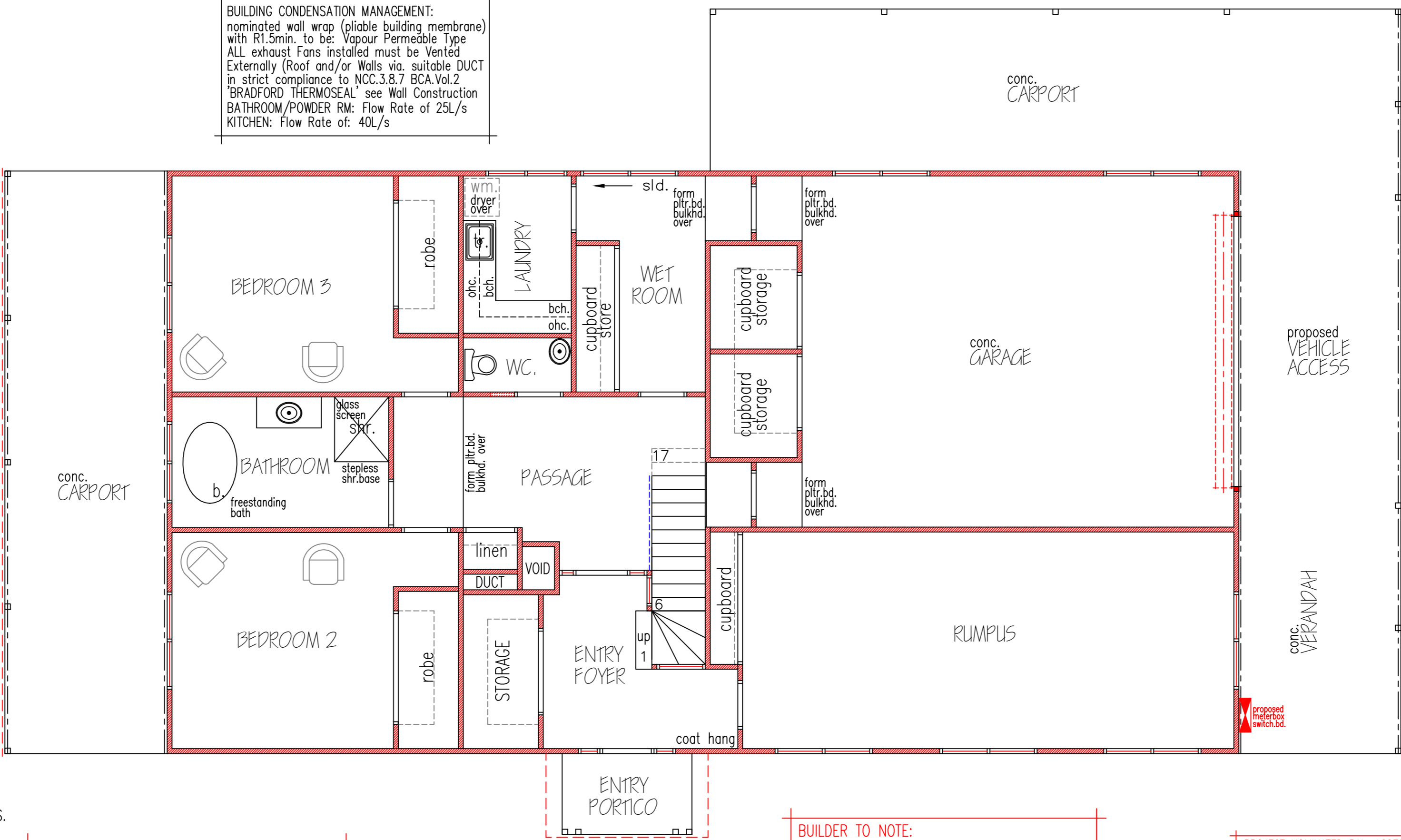
EXTERNAL

VERANDAH:	32.34m2.	129.36W.
CARPORT:	38.34m2.	153.36W.
ENTRY PORTICO:	3.60m2.	14.40W.
VERANDAH 2:	32.34m2.	129.36W.

PERMISSIBLE ROOM LIGHTING:
 GENERAL LIVING = 4W./m2.
 KITCHEN = 5W./m2.
 MEALS/DINING = 5W./m2.
 BATHROOM/ENSUITE = 5W./m2.
 BEDROOM = 4W./m2.
 PASSAGE = 4W./m2.
 ALL OTHER ROOMS = 4W./m2.

GENERAL WALL LIGHTING:
 EXTERNAL WALL LIGHTING:
 ADDITIONAL TO ABOVE
 796.00W. PERMISSIBLE

BUILDING CONDENSATION MANAGEMENT:
 nominated wall wrap (pliable building membrane) with R1.5min. to be: Vapour Permeable Type
 ALL exhaust Fans installed must be Vented Externally (Roof and/or Walls via. suitable DUCT in strict compliance to NCC.3.8.7 BCA.Vol.2 'BRADFORD THERMOSEAL' see Wall Construction
 BATHROOM/POWDER RM: Flow Rate of 25L/s
 KITCHEN: Flow Rate of: 40L/s



EXTERNAL DOORS: (BAL 12.5)
 provide weather strips or draught excluders to prevent penetration of burning debris beneath door required. to owners specific requirements

SCREEN DOORS FITTED:
 provide tight fitting door screens with corrosion-resistant steel, bronze or aluminium mesh with 1.8mm max. permissible aperture size required.

FLYWIRE SCREENS FITTED: (BAL 12.5)
 provide tight fitting flywire screens with corrosion-resistant steel, bronze or aluminium mesh with 1.8mm max. permissible aperture size required.

EAVES GUTTER LEAF GUARDS:
 bldr. to ensure selected material for said purpose, must have a permissible flammability index not exceeding 5 required throughout.

METAL RIDGE CAPPING:
 bldr. to ensure metal ridge capping to be sealed by use of preformed profiled ridge capping in strict accordance with AS3959.1999, clause 3.9.1.3 and figure 3.5, and manufacturers recommendations.

ALL ROOF PENETRATIONS:
 bldr. to ensure all roof penetrations (skylights and associated shafts) to be sealed with a non-combustible sleeve and/or lining to prevent gaps exceeding 3mm.
VENTED ROOF-LIGHTS:
 mesh with 1.8mm max. permissible aperture size required.

NOTE:
 ALL LIGHT FITTINGS TO BE SUPPLIED BY OWNER AND TO BE FITTED/INSTALLED BY BUILDER/ELECTRICIAN IN STRICT ACCORDANCE WITH AUTHORITIES REQUIREMENTS.

BUILDER/ELECTRICIAN TO PRECISE CUT ALL HOLES ALL TRANSFORMERS TO BE FITTED WITH SOCKET CONNECTION POINTS (NOT HARDWIRED)

ALL POWER POINTS AND SWITCH PLATES TO BE: 'CLIPSAL - SLIMLINE' TYPE THROUGHOUT. UNLESS OTHERWISE APPROVED BY OWNER.

HEIGHTS OF NOMINATED POWER POINTS WILL VARY AND TO BE CONFIRMED ON SITE BY OWNER PRIOR TO ACTUAL INSTALLATION.

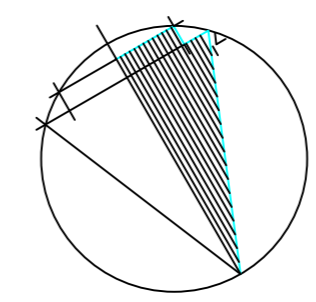
PROJECT DISCLAIMER:
 NOTED CONDITIONS AND SUBSEQUENT REQUIREMENTS MAY VARY SUBJECT TO APPLIED PROPERTY ENCUMBRANCES IF APPLICABLE:
 SECTION 173 AGREEMENTS AND/OR PROTECTIVE COVENANTS OR PRESCRIBED ASSIGNED DEVELOPMENT APPROVAL PROCESSES

ROOF SUPPORT BEAM/RAFTER CONNECTION:
 bldr. to utilise proprietary 'PRYDA' galv. joist hangers for rafter connections to timber support members nominated. in strict accordance with manuf. specs.

BUILDER TO NOTE:
 all prescribed pressed metal cappings and flashings to be select colorbond type. builder to ensure colour match to selected metal roof sheeting throughout, as applicable.

PROJECT NOMINATED BAL. ASSESSMENT OF: 12.5
 bldr. to ensure ALL directly associated BAL requirements as contained within BAL assessment report performed by: SIMON ANDERSON is strictly adhered to and must duly complete some as documented

GROUND FLOOR LEVEL CONDITIONS REFLECTED CEILING PLAN LAYOUT
 SCALE: 1 : 75



PROPOSED 2 STOREY METAL/TIMBER RESIDENCE AND 24.00M x 6.00M x 3.20H. METAL SHED AT: LOT40/8 TAMBO BOULEVARD, METUNG.

FOR: MR. R. LEVY.
 prepared by: cps building design consultants
 bairnsdale - ph. 5152 3762.
 latrobe valley. ph. 5166 1575.
 pakenham. ph. 5941 4841.

NOTE: WIND RATING = N1.
 bldr. to obtain confirmation from authorised building surveyor prior to project commencement

REF.	DATE:	REVISION	APP'D.
A	June 2024	remediate building compliance issues	

DATE:	PLEASE NOTE: ORIGINAL SHEET SIZE: A2	DATE	DRAWN	SCALE	PROJECT NO.	DRAWING SHEET NO.
		Dec., 2023.	cps.11330	as shown.	11330	sheet 6 of 11.

ALL RIGHTS RESERVED, COPYRIGHT LAWS AND CONDITIONS APPLY TO THIS SET OF DRAWINGS, APART FROM USE BY THE ADDRESSED PARTY FOR THE PURPOSE FOR WHICH IT WAS REQUESTED AND ANY FAIR DEALING AS PERMITTED UNDER THE COPYRIGHT ACT. NO PART MAY BE USED, REPRODUCED OR COPIED BY ANY MEANS OR IN ANY FORM WITHOUT THE PRIOR WRITTEN PERMISSION BY: CPS DESIGN PTY. LTD.

ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

NOTE
1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
3. ANY DISCREPANCIES AND/OR UNCERTAINTIES ARISE BUILDER TO CONFIRM DESIGN INTENT BY THIS OFFICE PRIOR TO COMMENCING WORKS.

POLYCARB AMPELITE SOLASAFE: 7.5° PITCH provide 'ampelite solasafe' custom-orb profile select polycarb to comply with no safety-mesh locate over full extent of roof unless noted - see floor plan for said location. builder to install strictly in accordance with manufacturers recommendations (builder to consult owner on colour and type) (NB. select 'GREY-TINT' sheet colour)

BUILDING CONDENSATION MANAGEMENT: nominated wall wrap (pliable building membrane) with R1.5min. to be: Vapour Permeable Type ALL exhaust Fans installed must be Vented Externally (Roof and/or Walls via. suitable DUCT in strict compliance to NCC.3.8.7 BCA.Vol.2 'BRADFORD THERMOSEAL' see Wall Construction BATHROOM/POWDER RM: Flow Rate of 25L/s KITCHEN: Flow Rate of: 40L/s

TIMBER STEPS: 250mm. min. treads 190mm. max. riser treads & stringers to be treated pine select paint finish - pf.

builder to ensure appropriate Non-Slip Finish is Applied to ALL Steps, Ramps and Landings to: AS4586-2013

PORTICO ROOF: 7.5° PITCH 'lysaghts' colorbond custom orb roof sheeting as selected by owner.

BUILDER TO NOTE: STORMWATER LEGAL POINT OF DISCHARGE TO BE SOURCED FROM EAST GIPPSLAND SHIRE COUNCIL BY: NOMINATED BUILDING SURVEYOR AT THE REQUEST OF NOTED PROPERTY OWNER BUILDER/OWNER TO ENSURE ALL STORMWATER DRAINAGE TO BE INTEGRATED WITH AND DULY AUTHORISED BY: EAST GIPPSLAND SHIRE COUNCIL

NOTE: NOMINATED DOWNPIPES & RHDP. 'Ned Kelly' type rain head (or alternative as selected by owner) with overflow and down-pipe dp 90mm. PVC. type down-pipe secured with select proprietary galv. metal support brackets dp/s. down-pipe drop with spreader NB. or approved metal equivalent to owner specific requirements

FLOOR AREA ANALYSIS:

UPPER FLOOR LAYOUT ROOM AREA ALLOWED PASSAGE: 6.40m2. 25.60W. LIVING: 17.30m2. 69.20W. FAMILY: 32.86m2. 131.44W. MEALS: 30.87m2. 154.35W. KITCHEN: 19.50m2. 97.50W. BUTLERS PANTRY: 11.75m2. 47.00W. OFFICE/STUDY: 10.71m2. 53.55W. MASTER BEDROOM: 26.36m2. 105.44W. WALK-IN-ROBE: 10.40m2. 41.60W. POWDER ROOM: 1.81m2. 7.24W. MAKE-UP: 6.32m2. 32.00W. ENSUITE: 13.95m2. 69.75W. TOILET (WC): 2.85m2. 11.40W. STAIRS: 3.40m2. 13.60W.

EXTERNAL VERANDAH: 70.63m2. 282.50W. VERANDAH 2: 32.34m2. 129.36W.

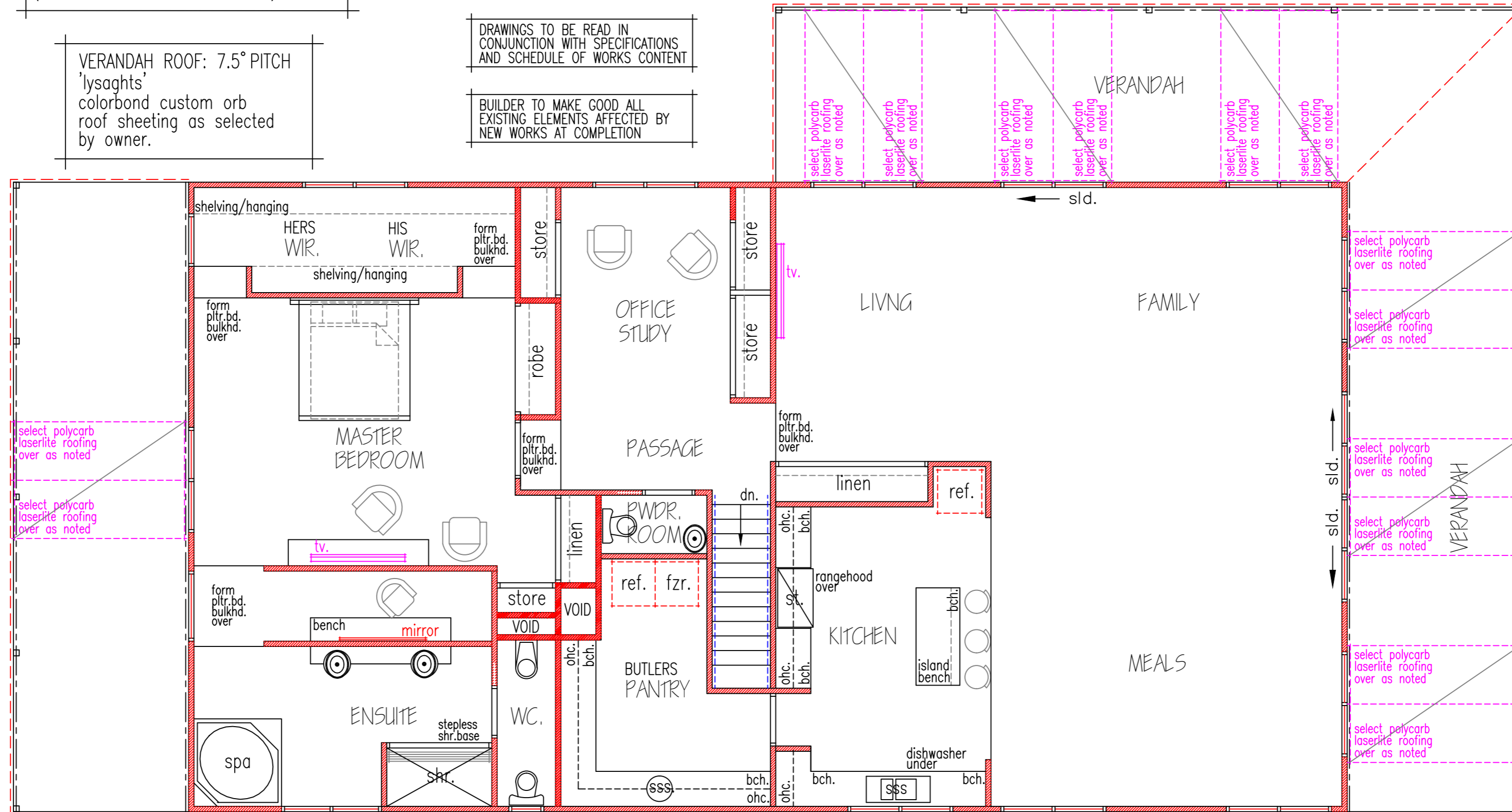
PERMISSIBLE ROOM LIGHTING: GENERAL LIVING = 4W./m2. KITCHEN = 5W./m2. MEALS/DINING = 5W./m2. BATHROOM/ENSUITE = 5W./m2. BEDROOM = 4W./m2. PASSAGE = 4W./m2. ALL OTHER ROOMS = 4W./m2.

GENERAL WALL LIGHTING: EXTERNAL WALL LIGHTING: ADDITIONAL TO ABOVE 700.00W. PERMISSIBLE

VERANDAH ROOF: 7.5° PITCH 'lysaghts' colorbond custom orb roof sheeting as selected by owner.

DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND SCHEDULE OF WORKS CONTENT

BUILDER TO MAKE GOOD ALL EXISTING ELEMENTS AFFECTED BY NEW WORKS AT COMPLETION



SHOWING ALL STEPS/ BULKHEADS IN CEILING AREAS

EXTERNAL DOORS: (BAL 12.5) provide weather strips or draught excluders to prevent penetration of burning debris beneath door required. to owners specific requirements

SCREEN DOORS FITTED: provide light fitting door screens with corrosion-resistant steel, bronze or aluminium mesh with 1.8mm max. permissible aperture size required.

FLYWIRE SCREENS FITTED: (BAL 12.5) provide light fitting flywire screens with corrosion-resistant steel, bronze or aluminium mesh with 1.8mm max. permissible aperture size required.

EAVES GUTTER LEAF GUARDS: bldr. to ensure selected material for said purpose, must have a permissible flammability index not exceeding 5 required throughout.

METAL RIDGE CAPPING: bldr. to ensure metal ridge capping to be sealed by use of preformed profiled ridge capping in strict accordance with AS3959.1999, clause 3.9.1.3 and figure 3.5., and manufacturers recommendations.

ALL ROOF PENETRATIONS: bldr. to ensure all roof penetrations (skylights and associated shafts) to be sealed with a non-combustible sleeve and/or lining to prevent gaps exceeding 3mm. VENTED ROOF-LIGHTS: mesh with 1.8mm max. permissible aperture size required.

NOTE: ALL LIGHT FITTINGS TO BE SUPPLIED BY OWNER AND TO BE FITTED/INSTALLED BY BUILDER/ELECTRICIAN IN STRICT ACCORDANCE WITH AUTHORITIES REQUIREMENTS.

BUILDER/ELECTRICIAN TO PRECISE CUT ALL HOLES ALL TRANSFORMERS TO BE FITTED WITH SOCKET CONNECTION POINTS (NOT HARDWIRED)

ALL POWER POINTS AND SWITCH PLATES TO BE: 'CLIPSAL - SLIMLINE' TYPE THROUGHOUT. UNLESS OTHERWISE APPROVED BY OWNER.

HEIGHTS OF NOMINATED POWER POINTS WILL VARY AND TO BE CONFIRMED ON SITE BY OWNER PRIOR TO ACTUAL INSTALLATION.

PROJECT DISCLAIMER: NOTED CONDITIONS AND SUBSEQUENT REQUIREMENTS MAY VARY SUBJECT TO APPLIED PROPERTY ENCUMBRANCES IF APPLICABLE: SECTION 173 AGREEMENTS AND/OR PROTECTIVE COVENANTS OR PRESCRIBED ASSIGNED DEVELOPMENT APPROVAL PROCESSES

ROOF SUPPORT BEAM/RAFTER CONNECTION: bldr. to utilise proprietary 'PRYDA' galv. joint hangers for rafter connections to timber support members nominated. in strict accordance with manuf. specs.

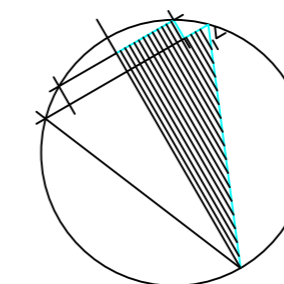
BUILDER TO NOTE: all prescribed pressed metal cappings and flashings to be select colorbond type. builder to ensure colour match to selected metal roof sheeting throughout, as applicable.

LASERLITE TO VERANDAH ROOF: select polycarb laserlite 2000 set immediately adjacent to existing East, West & South Wall windows maintain ingress of light as noted

PROJECT NOMINATED BAL. ASSESSMENT OF: 12.5 bldr. to ensure ALL directly associated BAL requirements as contained within BAL. assessment report performed by: SIMON ANDERSON is strictly adhered to and must duly complete same as documented

UPPER FLOOR LEVEL CONDITIONS REFLECTED CEILING PLAN LAYOUT SCALE: 1 : 75

BUILDER TO PROVIDE ALL NECESSARY TIMBER NOGGINS, BATTENS, FIXING PLATES TO ACCOMMODATE NOMINATED FIXTURES/FITTINGS THROUGHOUT ALL WALLS AND CEILINGS



PROPOSED 2 STOREY METAL/TIMBER RESIDENCE AND 24.00M x 6.00M x 3.20H. METAL SHED AT: LOT40/8 TAMBO BOULEVARD, METUNG.

FOR: MR. R. LEVY. prepared by: cps building design consultants bairnsdale - ph. 5152 3762. latrobe valley. ph. 5166 1575. pakenham. ph. 5941 4841.

NOTE: WIND RATING = N1. bldr. to obtain confirmation from authorised building surveyor prior to project commencement

Table with columns: REF., DATE, REVISION, APP'D.

PLEASE NOTE: ORIGINAL SHEET SIZE: A2

Table with columns: DATE, DRAWN, SCALE, PROJECT NO., DRAWING SHEET NO.

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

NOTE: 1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. 3. ANY DISCREPANCIES AND/OR UNCERTAINTIES ARISE BUILDER TO CONFIRM DESIGN INTENT BY THIS OFFICE PRIOR TO COMMENCING WORKS.

NOTE: builder to provide double studs where applicable in strict accordance with AS1684 table 4s.

BRACING bldr. to ensure that all bracing requirements adhere strictly in accordance with AS1684 Timber Framing Code

LOADBEARING WALLS: bldr. to ensure provision of conc. stumps at 1000mm max. cts. underside all new and/or exist. timber stud walls as may be req'd. in accordance with AS 1684 and BCA requirements.

TRANSFER OF POINT LOADS: bldr. to ensure provision of conc. stumps underside all point loads transferring isolated roof loads to ground.

VERANDAH ROOF CONSTRUCTION: 7.5° PITCH. provide colorbond custom orb roof sheeting with approved select sarking membrane under on 45 x 70 MGP10 pine roof battens @ 900 max. cts. (seasoned H3 treated pine tube battens) (OR approved select HWD, timber equivalent) on 120 x 45 MGP10-H3 seasoned pine rafters @ 900 cts. on 120 x 45 f7 seasoned treated pine rafters @ 900 cts. (NB. nominated select rafters for uniformity)

BUILDER TO NOTE: secure nominated roof battens to rafters using 'teco' galv. batten ties to manufacturers spec. OR: NOTE: proprietary 'bugle screws' (batten screws) secure nominated roof battens to rafters using 'teco' galv. 'TRIP-L-GRIP' connectors to manufacturers spec.

GROUND FLOOR WALLS: bldr. to note 3000 mm. to be maximum wall height permissible. 90 x 45 MGP10 seasoned pine studs @ 450 max. cts. (not notched) 90 x 45 MGP10 seasoned pine studs @ 450 max. cts. (notched) 90 x 45 MGP10 seasoned pine for top and bottom plates. 2/90 x 45 MGP10 seasoned pine adjacent to openings. 90 x 45 MGP10 seasoned pine noggin @ 1/3 pts. nominated noggin are not to exceed 1/3 pts. max. cts. SEE STRUCTURAL ENGINEERS DRAWINGS & SPECIFICATIONS 10mm. plasterboard linings t/ o. unless noted - see floor plans. 6mm. hardies villaboard linings to tiled areas only. provide flush joint system to noted villaboard linings with expansion joints in accordance with manufacturers recommendations - select paint finish hardies compressed sheet to be installed in strict accordance with manufacturers recommendations

FIRST FLOOR WALLS: bldr. to note 3000 mm. to be maximum wall height permissible. 90 x 35 MGP10 seasoned pine studs @ 450 max. cts. (not notched) 90 x 45 MGP10 seasoned pine studs @ 450 max. cts. (notched) 90 x 45 MGP10 seasoned pine for top and bottom plates. 2/90 x 45 MGP10 seasoned pine adjacent to openings. 90 x 45 MGP10 seasoned pine noggin @ 1/3 pts. nominated noggin are not to exceed 1/3 pts. max. cts. SEE STRUCTURAL ENGINEERS DRAWINGS & SPECIFICATIONS 10mm. plasterboard linings t/ o. unless noted - see floor plans. 6mm. villaboard linings to tiled areas only. provide flush joint system to villab. linings with expansion joints in accordance with manufacturers recommendations - select paint finish hardies compressed sheet to be installed in strict accordance with manufacturers recommendations

LINTELS OVER OPENINGS: ms. galv. lintels over openings to structural engs. specs. TIMBER LINTELS: see ground floor plan-sheet 2 of 11

TIMBER STEPS: 250mm. min. treads 190mm. max. riser treads & stringers to be treated pine select point finish - pf. builder to ensure appropriate Non-Slip Finish is Applied to ALL Steps, Ramps and Landings to: AS4586-2013

NOTE: STORMWATER TO LEGAL POINT OF DISCHARGE IN STRICT ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND IN STRICT ACCORDANCE WITH: AS/NZS3500.3-2018 SPECIFIC REQUIREMENTS SOIL CLASSIFICATION IN ACCORDANCE WITH SOIL REPORT BY STRUCTURAL ENGINEER.

TERMITE TREATMENT REQUIRED IN STRICT ACCORDANCE WITH AS.3660 AND LOCAL AUTHORITIES REQUIREMENTS.

ALL EXISTING SITE LEVELS AND WIND CLASSIFICATION TO BE CONFIRMED ON SITE BY BUILDER.

ALL EXISTING SITE LEVELS STATED ARE TO AN ARBITRARY DATUM SOURCE.

BUILDER TO REFER TO ACTUAL SUBJECT PROPERTY SITE LEVELS PREPARED BY 'SURVEYOR'.

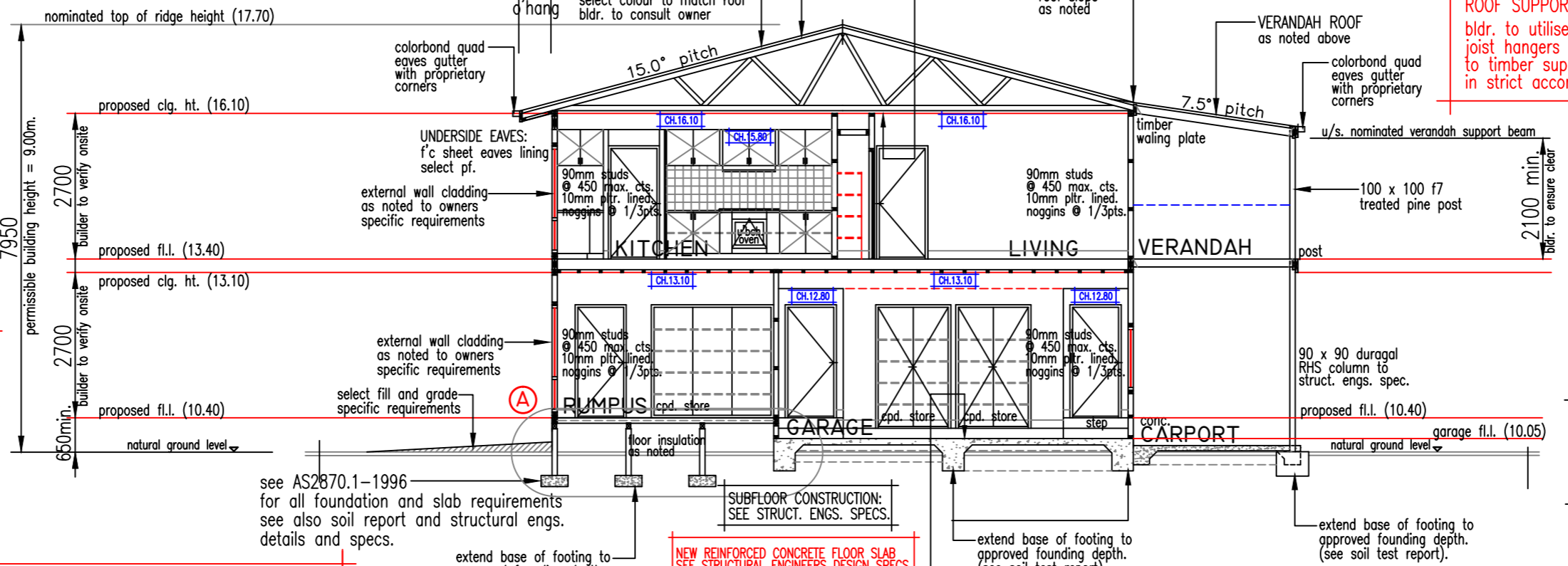
Table with 4 columns: REF., DATE, REVISION, APP'D. Row 1: B, June 2024, remediate building compliance issues, [blank]. Row 2: A, June 2024, lower floor now timber at client request, [blank].

Table with 4 columns: DATE, DRAWN, SCALE, PROJECT NO., DRAWING SHEET NO. Row 1: [blank], cps.11330, as shown., 11330, sheet 8 of 11.

PORTICO ROOF CONSTRUCTION: 7.5° PITCH. provide colorbond custom orb roof sheeting with approved select sarking membrane under on 45 x 70 MGP10 pine roof battens @ 900 max. cts. (seasoned H3 treated pine tube battens) (OR approved select HWD, timber equivalent) on 120 x 45 MGP10-H3 seasoned pine rafters @ 900 cts. on 120 x 45 f7 seasoned treated pine rafters @ 900 cts. (NB. nominated select rafters for uniformity)

BUILDER TO NOTE: STORMWATER LEGAL POINT OF DISCHARGE TO BE SOURCED FROM EAST GIPPSLAND SHIRE COUNCIL BY: NOMINATED BUILDING SURVEYOR AT THE REQUEST OF NOTED PROPERTY OWNER BUILDER/OWNER TO ENSURE ALL STORMWATER DRAINAGE TO BE INTEGRATED WITH AND DULY AUTHORISED BY: EAST GIPPSLAND SHIRE COUNCIL

NOTE: NOMINATED DOWNPIPES & RHDP. 'Ned Kelly' type rain head (or alternative as selected by owner) with overflow and down-pipe dp 90mm. PVC type down-pipe secured with select proprietary galv. metal support brackets dp/s. down-pipe drop with spreader NB. or approved metal equivalent to owner specific requirements

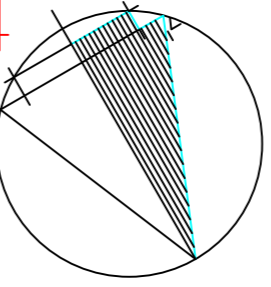


SECTION BB. SCALE: 1 : 100

SECTION AA. SCALE: 1 : 100

SOIL CLASSIFICATION - CLASS 'M'. (see soil report compiled by: SIMON ANDERSON CONSULTANTS builder to provide double studs where applicable in accordance with AS1684 table 4s.

BRACING bldr. to ensure that all bracing requirements adhere strictly in accordance with AS 1684 'Timber Framing Code' (current issue applies)



BUILDER TO NOTE: all prescribed pressed metal cappings and flashings to be select colorbond type. builder to ensure colour match to selected metal roof sheeting throughout, as applicable. SEE CLIENT/OWNERS FOR SPECIFIC DETAILS

ROOF SUPPORT BEAM/RAFTER CONNECTION: bldr. to utilise proprietary 'PRYDA' galv. joist hangers for rafter connections to timber support members nominated. in strict accordance with manuf. specs.

ROBE, LINEN & STORE DOORS: builder set select door types at 2100 high unless noted LINEN & STORE CUPBOARDS: select melamine shelving at 400 max. cts.

BALLUSTRADE: (TYP.) timber ballustrade with stainless steel horizontal cables set at 100mm. max. set top of handrail 1000mm high aff. bldr. to provide select timber post ballusters at 1000mm required centres throughout ensure 3mm dia. wire gable with lay of (7x7) bldr. to consult owner to ensure compliance and ss. steel cables to complete installation

ALL CONCRETE FOUNDATIONS/SLABS: see AS2870.1-1996 for all foundation and slab requirements see also soil report and structural engs. details and specs.

DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND SCHEDULE OF WORKS CONTENT

BUILDER TO MAKE GOOD ALL EXISTING ELEMENTS AFFECTED BY NEW WORKS AT COMPLETION

BUILDER TO NOTE: TIMBER FLOOR CONSTRUCTION all ground floor timber construction requirements to be installed in strict accordance with structural engineers design specifications throughout SEE TIMBER FLOOR DESIGN PERFORMED BY: SIMON ANDERSON CONSULTANTS PTY. LTD.

NEW REINFORCED CONCRETE FLOOR SLAB SEE STRUCTURAL ENGINEERS DESIGN SPECS. provide nominated r.c. slab with reinforcement throughout. on 0.2mm approved moisture barrier on 50min. compacted sand bed. (for slab design/layout - see engs. spec.) select specific floor finish to owners requirements

CARPORT CONCRETE FLOOR CONSTRUCTION: ALL NEW REINFORCED CONCRETE FLOOR SLAB AND ASSOCIATED PROJECT SUPPORT FOUNDATIONS SEE STRUCTURAL ENGINEERS DESIGN SPECS.

PROJECT NOMINATED BAL. DETERMINATION OF: 12.5 builder to ensure ALL directly associated BAL requirements as contained within BAL. assessment authorised by: SIMON ANDERSON CONSULTANTS is strictly adhered to and must duly complete same as documented

PLEASE SEE STRUCTURAL ENGINEERS DESIGN SPECIFICATIONS FOR DEEMED LATERAL BRACING REQUIREMENTS APPLICABLE THROUGHOUT

FIRST FLOOR TIMBER FLOOR JOISTS: CLIENT/BUILDER TO MAINTAIN STRICT ADHERENCE TO STRUCTURAL ENGINEER DESIGN AND DOCUMENTATION SPECS.

PROPOSED 2 STOREY METAL/TIMBER RESIDENCE AND 24.00M x 6.00M x 3.20H. METAL SHED AT: LOT40/8 TAMBO BOULEVARD, METUNG.

FOR: MR. R. LEVY. prepared by: cps building design consultants bairnsdale - ph. 5152 3762. latrobe valley. ph. 5166 1575. pakenham. ph. 5941 4841.

NOTE: WIND RATING = N1. bldr. to obtain confirmation from authorised building surveyor prior to project commencement

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any other purpose without the consent of any copyright holder.

NOTE
1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
3. ANY DISCREPANCIES AND/OR UNCERTAINTIES ARISE BUILDER TO CONFIRM DESIGN INTENT BY THIS OFFICE PRIOR TO COMMENCING WORKS.

BUILDING CONDENSATION MANAGEMENT:
nominated wall wrap (pliable building membrane) with R1.5min. to be: Vapour Permeable Type ALL exhaust Fans installed must be Vented Externally (Roof and/or Walls via suitable DUCT in strict compliance to NCC.3.8.7 BCA.Vol.2 'BRADFORD THERMOSEAL' see Wall Construction BATHROOM/POWDER RM: Flow Rate of 25L/s KITCHEN: Flow Rate of: 40L/s

POLYCARB AMPELITE SOLASAFE: 7.5° PITCH
provide 'ampelite solasafe' custom-orb profile select polycarb to comply with no safety-mesh locate over full extent of roof unless noted - see floor plan for said location.
builder to install strictly in accordance with manufacturers recommendations (builder to consult owner on colour and type) (NB. select 'GREY-TINT' sheet colour)

ROOF/VERANDAH SHEET TRANSITION:
builder to ensure effective installation of select proprietary colorbond pressed metal transition flashing at noted roof junction underlying flashing to main roof plane to extend 300mm. underside said sheeting strictly to manufacturers recommendations turn up/over sheet ends to storm-proof (builder to consult owner on colour type)

provide 'lysaghts' metal custom orb colorbond metal roof sheeting (as selected by owner) see floor plan for said location.
bl dr. to install strictly in accordance with manufacturers recommendations

NOMINATED TANK STORAGE:
bl dr. to provide above-ground installation foundation requirements suitable for nominated tank support structure to accommodate selected 'POLYTANK' as selected by owner and installed to manufacturers recommendations.
builder to incorporate direct plumbing connection to ALL internal WC'S. Washing Machine & External Taps
TANK CAPACITY: 10,000 Litres. actual location to be determined on site, as directed by owner.
builder to ensure connection of ALL subject building roof water run-off via nominated down-pipes so designated see roof plan layout for further details

VERANDAH ROOF: 7.5° PITCH
'lysaghts' colorbond custom orb roof sheeting as selected by owner.

PORTICO ROOF: 7.5° PITCH
'lysaghts' colorbond custom orb roof sheeting as selected by owner.

APPLIES TO GABLE INFILL AREAS ONLY:
select 7.5mm. 'Harditex' base sheet flush joint system (typ.) selected by owner with approved texture coat finish to be installed strictly in accordance with manufacturers recommendations. select applied paint finish to external cladding to owners specific requirements.

BUILDER TO NOTE:
STORMWATER LEGAL POINT OF DISCHARGE TO BE SOURCED FROM EAST GIPPSLAND SHIRE COUNCIL BY: NOMINATED BUILDING SURVEYOR AT THE REQUEST OF NOTED PROPERTY OWNER BUILDER/OWNER TO ENSURE ALL STORMWATER DRAINAGE TO BE INTEGRATED WITH AND DULY AUTHORISED BY: EAST GIPPSLAND SHIRE COUNCIL

APPLIES TO GABLE INFILL AREAS ONLY:
select 7.5mm. 'Harditex' base sheet flush joint system (typ.) selected by owner with approved texture coat finish to be installed strictly in accordance with manufacturers recommendations. select applied paint finish to external cladding to owners specific requirements.

EXTERNAL DOORS: (BAL. 12.5)
provide weather strips or draught excluders to prevent penetration of burning debris beneath door required. to owners specific requirements

SCREEN DOORS FITTED:
provide tight fitting door screens with corrosion-resistant steel, bronze or aluminium mesh with 1.8mm max. permissible aperture size required.

FLYWIRE SCREENS FITTED: (BAL. 12.5)
provide tight fitting flywire screens with corrosion-resistant steel, bronze or aluminium mesh with 1.8mm max. permissible aperture size required.

METAL RIDGE CAPPING:
bl dr. to ensure metal ridge capping to be sealed by use of preformed profiled ridge capping in strict accordance with AS3959.1999, clause 3.9.1.3 and figure 3.5, and manufacturers recommendations.

ALL ROOF PENETRATIONS:
(skylights and associated shafts) to be sealed with a non-combustible sleeve and/or lining to prevent gaps exceeding 3mm.
VENTED ROOF-LIGHTS:
mesh with 1.8mm max. permissible aperture size required.

LINTELS OVER OPENINGS:
ms. galv. lintels over openings to structural engs. specs.

TIMBER LINTELS:
see ground floor plan-sheet 2 of 11

NOTE: NOMINATED DOWNPIPES & RHDP.
'Ned Kelly' type rain head (or alternative as selected by owner) with overflow and down-pipe
dp. 90mm. PVC. type down-pipe secured with select proprietary galv. metal support brackets
dp/s. down-pipe drop with spreader
NB. or approved metal equivalent to owner specific requirements

CEILING CONSTRUCTION: FLAT TYPE THROUGHOUT
provide 10mm. plasterboard ceiling lining on 35 x 42 f5 seasoned pine ceiling battens (can utilise MGP10 seasoned pine equivalent) (or approved metal equivalent) @ 450 max. cts. select paint finish on completion

NOMINATED TANK SYSTEM:
bl dr. to ensure tank system installation to effect mains water auto over-ride when subject tank becomes empty.

GENERAL ROOF PITCH: U/N.
BLDR. TO NOTE THAT ALL ROOF PITCHES ARE 15.0° PITCH THROUGHOUT, UNLESS SPECIFICALLY SPECIFIED OTHERWISE.
BUILDER TO VERIFY ONSITE PRIOR TO MANUFACTURE AND/OR INSTALLATION

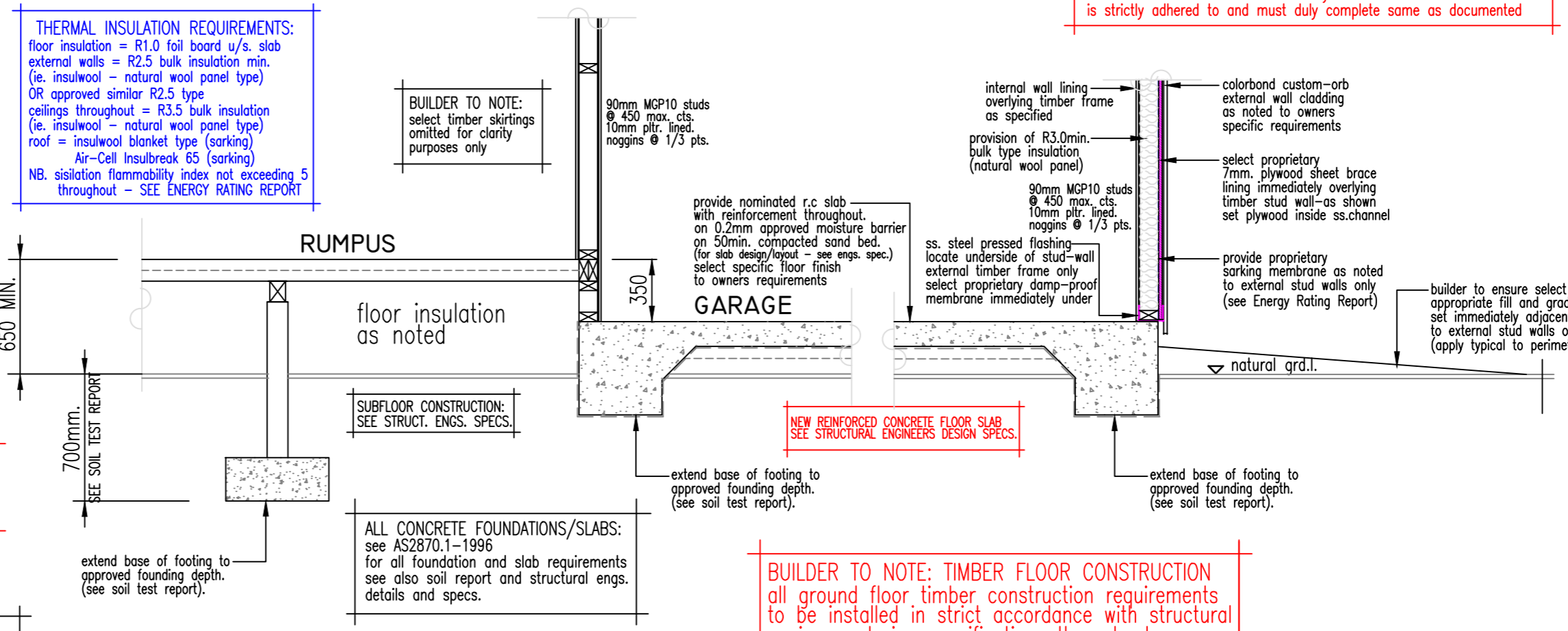
BALLUSTRADE: (TYP.)
timber ballustrade with stainless steel horizontal cables set at 100mm. max. set top of handrail 1000mm high affl.
bl dr. to provide select timber post ballusters at 1000mm required centres throughout ensure 3mm dia. wire gable with lay of (7x7) bl dr. to consult owner to ensure compliance and ss. steel cables to complete installation

EAVES GUTTER LEAF GUARDS:
bl dr. to ensure selected material for said purpose, must have a permissible flammability index not exceeding 5 required throughout.

TIMBER STEPS:
250mm. min. treads
190mm. max. riser
treads & stringers to be treated pine select paint finish - pf.

builder to ensure appropriate Non-Slip Finish is Applied to ALL Steps, Ramps and Landings to: AS4586-2013 ie. Aluminium Stair Nosing: Carborundum Super Anti-Slip Insert: Yellow: 75mm x 10mm OR equivalent

APPLIES TO BATHROOM & ENSUITE:
BUILDER TO ENSURE ALL WATER-PROOFING TO WET AREAS TO BE PERFORMED BY AUTHORISED/LICENSED PERSONS AND TO COMPLY WITH AND IN ACCORDANCE WITH AS3470



THERMAL INSULATION REQUIREMENTS:
floor insulation = R1.0 foil board u/s. slab external walls = R2.5 bulk insulation min. (ie. insulwool - natural wool panel type) OR approved similar R2.5 type ceilings throughout = R3.5 bulk insulation (ie. insulwool - natural wool panel type) roof = insulwool blanket type (sarking) Air-Cell Insulbreak 65 (sarking) NB. sialation flammability index not exceeding 5 throughout - SEE ENERGY RATING REPORT

BUILDER TO NOTE:
select timber skirtings omitted for clarity purposes only

provide nominated r.c. slab with reinforcement throughout. on 50mm. compacted sand bed. (for slab design/layout - see engs. spec.) select specific floor finish (sarking) to owners requirements

internal wall lining overlying timber frame as specified
colorbond custom-orb external wall cladding as noted to owners specific requirements
select proprietary 7mm. plywood sheet brace lining immediately overlying timber stud wall-as shown set plywood inside ss.channel
provide proprietary sarking membrane as noted to external stud walls only (see Energy Rating Report)

builder to ensure select appropriate fill and grade set immediately adjacent to external stud walls only (apply typical to perimeter)

DETAIL A.
SCALE: 1 : 25

SOIL CLASSIFICATION - CLASS 'M'.
(see soil report compiled by: SIMON ANDERSON CONSULTANTS
builder to provide double studs where applicable in accordance with AS1684 table 4s.

PLEASE SEE STRUCTURAL ENGINEERS DESIGN SPECIFICATIONS FOR DEEMED LATERAL BRACING REQUIREMENTS APPLICABLE THROUGHOUT

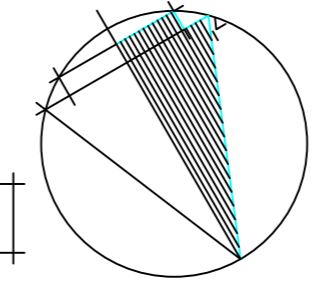
PROJECT DISCLAIMER:
NOTED CONDITIONS AND SUBSEQUENT REQUIREMENTS MAY VARY SUBJECT TO APPLIED PROPERTY ENCUMBRANCES IF APPLICABLE:
SECTION 173 AGREEMENTS AND/OR PROTECTIVE COVENANTS OR PRESCRIBED ASSIGNED DEVELOPMENT APPROVAL PROCESSES

BUILDER TO NOTE: TIMBER FLOOR CONSTRUCTION
all ground floor timber construction requirements to be installed in strict accordance with structural engineers design specifications throughout
SEE TIMBER FLOOR DESIGN PERFORMED BY: SIMON ANDERSON CONSULTANTS PTY. LTD.

BUILDER TO PROVIDE ALL NECESSARY TIMBER NOGGINS, BATTENS, FIXING PLATES TO ACCOMMODATE NOMINATED FIXTURES/FITTINGS THROUGHOUT ALL WALLS AND CEILINGS

LINTELS OVER OPENINGS:
ms. galv. lintels over openings to structural engs. specs.

TIMBER LINTELS:
see ground floor plan-sheet 2 of 11



BUILDER TO NOTE:
all prescribed pressed metal cappings and flashings to be select colorbond type.
builder to ensure colour match to selected metal roof sheeting throughout, as applicable.
SEE CLIENT/OWNERS FOR SPECIFIC DETAILS

PROPOSED 2 STOREY METAL/TIMBER RESIDENCE AND 24.00M x 6.00M x 3.20H. METAL SHED AT: LOT40/8 TAMBO BOULEVARD, METUNG.

FOR: MR. R. LEVY.
prepared by: cps building design consultants
bairnsdale - ph. 5152 3762.
latrobe valley. ph. 5166 1575.
pakenham. ph. 5941 4841.

NOTE: WIND RATING = N1.
bl dr. to obtain confirmation from authorised building surveyor prior to project commencement

REF.	DATE:	REVISION	APP'D.
B	June 2024	remediate building compliance issues	
A	June 2024	lower floor now timber at client request	

DATE:	PLEASE NOTE: ORIGINAL SHEET SIZE: A2	DATE	DRAWN	SCALE	PROJECT NO.	DRAWING SHEET NO.
		March, 2024.	cps.11330	as shown.	11330	sheet 9 of 11.

ALL RIGHTS RESERVED, COPYRIGHT LAWS AND CONDITIONS APPLY TO THIS SET OF DRAWINGS, APART FROM USE BY THE ADDRESSED PARTY FOR THE PURPOSE FOR WHICH IT WAS REQUESTED AND ANY FAIR DEALING AS PERMITTED UNDER THE COPYRIGHT ACT. NO PART MAY BE USED, REPRODUCED OR COPIED BY ANY MEANS OR IN ANY FORM WITHOUT THE PRIOR WRITTEN PERMISSION BY: CPS DESIGN PTY. LTD.

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

NOTE
 1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
 3. ANY DISCREPANCIES AND/OR UNCERTAINTIES ARISE BUILDER TO CONFIRM DESIGN INTENT BY THIS OFFICE PRIOR TO COMMENCING WORKS.

POLYCARB AMPELITE SOLASAFE: 7.5° PITCH provide 'ampelite solasafe' custom-orb profile select polycarb to comply with no safety-mesh locate over full extent of roof unless noted - see floor plan for said location. builder to install strictly in accordance with manufacturers recommendations (builder to consult owner on colour and type) (NB. select 'GREY-TINT' sheet colour)

BUILDING CONDENSATION MANAGEMENT:
 nominated wall wrap (pliable building membrane) with R1.5min. to be: Vapour Permeable Type ALL exhaust Fans installed must be Vented Externally (Roof and/or Walls via suitable DUCT in strict compliance to NCC.3.8.7 BCA.Vol.2 'BRADFORD THERMOSEAL' see Wall Construction BATHROOM/POWDER RM: Flow Rate of 25L/s KITCHEN: Flow Rate of: 40L/s

VERANDAH ROOF: 7.5° PITCH 'lysaghts' colorbond custom orb roof sheeting as selected by owner.

PORTICO ROOF: 7.5° PITCH 'lysaghts' colorbond custom orb roof sheeting as selected by owner.

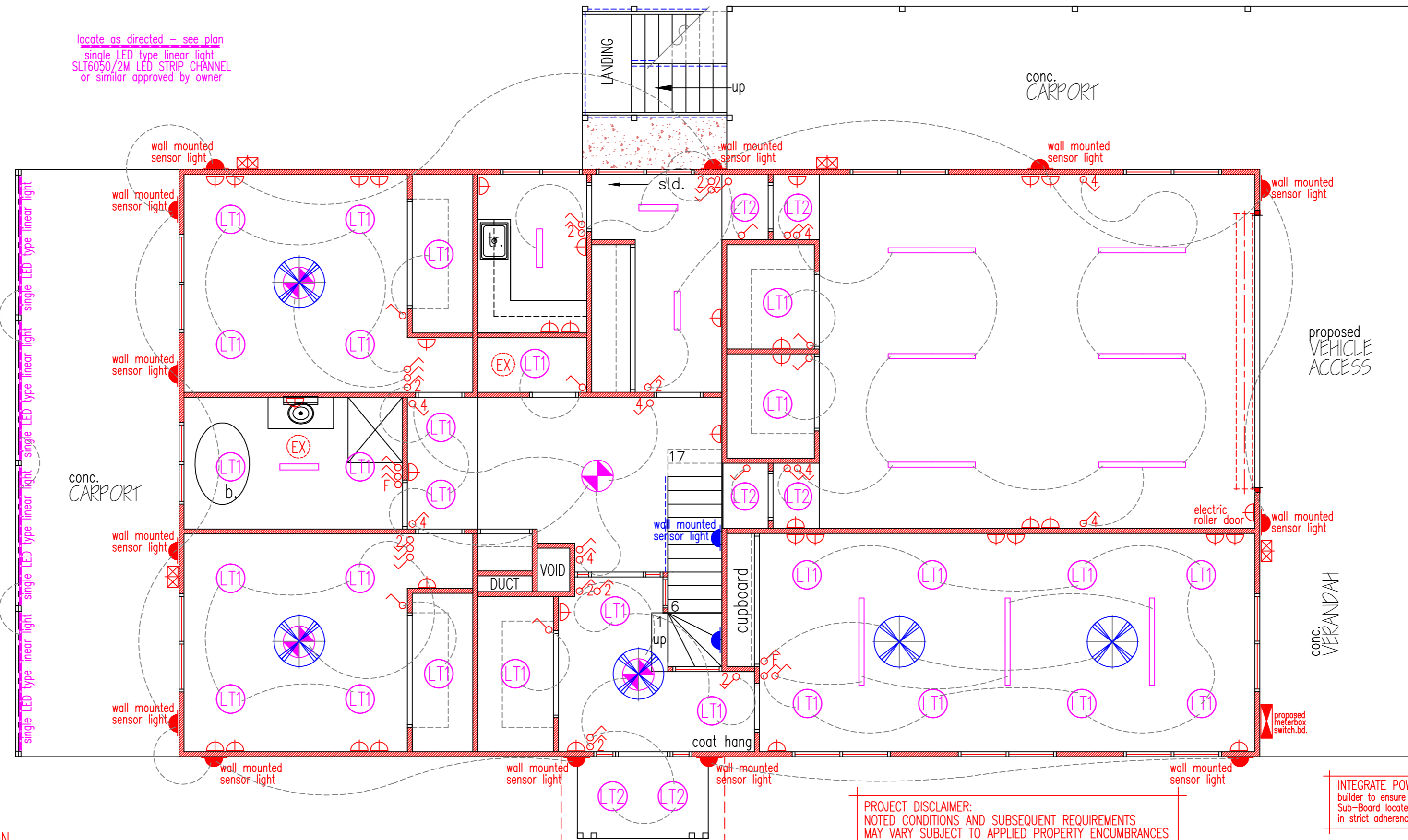
DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND SCHEDULE OF WORKS CONTENT

BUILDER TO MAKE GOOD ALL EXISTING ELEMENTS AFFECTED BY NEW WORKS AT COMPLETION

ELECTRICAL LEGEND

- EXHAUST FAN
- SINGLE GPO
- DOUBLE GPO
- DOUBLE GPO (EXTERNAL)
- PHONE POINT INTEGRATE WITH OFFICE
- COMPUTER POINT INTEGRATE WITH OFFICE
- NBN INTERNET CABLE SOCKET WIRELESS OUTLET POINT
- FAN SWITCH
- 1 WAY SWITCH
- 2 WAY SWITCH
- YARRA APPLIANCES CEILING FAN TRI-COLOURLED LAMP 1500mm AND WALL REMOTE CONTROL OPTION HAND-PAINTED WOOD BLADES
- YARRA APPLIANCES CEILING FAN HAND-PAINTED WOOD BLADES 1500mm TYPE & REMOTE OPTION
- ECOLINE TWIN TUBE BATTEN CEILING SL9738/40TC/DP2 LINEAR LED WITH POLYCARB DIFFUSER-WHITE
- ECOLINE TWIN TUBE BATTEN TYPE SL9738/20TC/DP2 LINEAR LED WITH POLYCARB DIFFUSER-WHITE OR SELECT OYSTER OPAL LED TYPE
- OPAL DIMMABLE S03700/TC/DPD OYSTER TYPE LED 8/30W WITH OPAL PMMA DIFFUSER
- COOLUM PLUS S9068/TC - 9W. S9068TC/WH. FULLY RECESSED
- COOLUM PLUS S9069/TC - 12W. S9069TC/WH. FULLY RECESSED
- EXTERNAL GRADE LIGHT POINT PIERLITE: TR31-IP43 = TR31 + LED LAMP. LOCATE WALL MOUNTED WHERE SHOWN
- PIERLITE SIDE QUADRAT Q2 LED 14W - LED WALL RECESSED WALL MOUNTED & MOTION SENSOR
- COOPER II SE7182/182TC/BK. (12W - LED EYE-LID LIGHT) WALL MOUNTED & MOTION SENSOR

locate as directed - see plan
 single LED type linear light
 SLT6050/2M LED STRIP CHANNEL
 or similar approved by owner



FLOOR AREA ANALYSIS:

GROUND FLOOR LAYOUT

ROOM	AREA	ALLOWED
ENTRY FOYER:	9.78m2.	39.12W.
PASSAGE:	17.30m2.	69.20W.
RUMPUS:	37.81m2.	151.24W.
GARAGE:	53.97m2.	216.00W.
WET ROOM:	10.58m2.	42.32W.
LAUNDRY:	5.82m2.	23.28W.
TOILET (WC):	2.00m2.	8.00W.
BEDROOM 2:	17.60m2.	70.40W.
BEDROOM 3:	17.60m2.	70.40W.
BATHROOM:	9.70m2.	48.50W.
CUPBOARD(2):	3.08m2.	12.32W.
STORAGE:	3.96m2.	15.84W.
ROBE 1:	3.23m2.	12.92W.
ROBE 2:	3.23m2.	12.92W.

EXTERNAL

VERANDAH:	32.34m2.	129.36W.
CARPORIT:	38.34m2.	153.36W.
ENTRY PORTICO:	3.60m2.	14.40W.
VERANDAH 2:	32.34m2.	129.36W.

PERMISSIBLE ROOM LIGHTING:
 GENERAL LIVING = 4W./m2.
 KITCHEN = 5W./m2.
 MEALS/DINING = 5W./m2.
 BATHROOM/ENSUITE = 5W./m2.
 BEDROOM = 4W./m2.
 PASSAGE = 4W./m2.
 ALL OTHER ROOMS = 4W./m2.

GENERAL WALL LIGHTING:
 EXTERNAL WALL LIGHTING:
 ADDITIONAL TO ABOVE
 796.00W. PERMISSIBLE

NOMINATED LIGHTING BY: SAL LIGHTING AUSTRALIA
 BUILDER/ELECTRICIAN TO CONSULT CLIENT/OWNER
 FOR SELECTION CONFIRMATION PRIOR TO INSTALLATION

NOTE:
 ALL LIGHT FITTINGS TO BE SUPPLIED BY OWNER
 AND TO BE FITTED/INSTALLED BY BUILDER/ELECTRICIAN
 IN STRICT ACCORDANCE WITH AUTHORITIES REQUIREMENTS.
 BUILDER/ELECTRICIAN TO PRECISE CUT ALL HOLES
 ALL TRANSFORMERS TO BE FITTED WITH SOCKET
 CONNECTION POINTS (NOT HARDWIRED)

ALL POWER POINTS AND SWITCH PLATES TO BE:
 'CLIPSAL - SLIMLINE' TYPE THROUGHOUT.
 UNLESS OTHERWISE APPROVED BY OWNER.

HEIGHTS OF NOMINATED POWER POINTS WILL
 VARY AND TO BE CONFIRMED ON SITE BY OWNER
 PRIOR TO ACTUAL INSTALLATION.

BUILDER TO PROVIDE ALL NECESSARY TIMBER
 NOGGINS, BATTENS, FIXING PLATES TO
 ACCOMMODATE NOMINATED FIXTURES/FITTINGS
 THROUGHOUT ALL WALLS AND CEILINGS

PROJECT DISCLAIMER:
 NOTED CONDITIONS AND SUBSEQUENT REQUIREMENTS
 MAY VARY SUBJECT TO APPLIED PROPERTY ENCUMBRANCES
 IF APPLICABLE:
 SECTION 173 AGREEMENTS AND/OR
 PROTECTIVE COVENANTS OR
 PRESCRIBED ASSIGNED DEVELOPMENT APPROVAL PROCESSES

INTEGRATE POWER FROM MAIN BOARD TO SUB-BOARD:
 builder to ensure power integration directly to First Floor Sub-Board
 Sub-Board located strategically within Butler Pantry - see Upper Floor
 in strict adherence to and duly comply with ALL Electrical AS Codes

PROJECT NOMINATED BAL ASSESSMENT OF: 12.5
 bldr. to ensure ALL directly associated BAL requirements as contained
 within BAL assessment report performed by: SIMON ANDERSON
 is strictly adhered to and must duly complete same as documented

PROPOSED 2 STOREY METAL/TIMBER RESIDENCE
 AND 24.00M x 6.00M x 3.20H. METAL SHED
 AT: LOT40/8 TAMBO BOULEVARD, METUNG.

FOR: MR. R. LEVY.
 prepared by: cps building design consultants
 bairnsdale - ph. 5152 3762.
 latrobe valley. ph. 5166 1575.
 pakenham. ph. 5941 4841.

NOTE: WIND RATING = N1.
 bldr. to obtain confirmation
 from authorised building surveyor
 prior to project commencement

PROPOSED NEW WORKS-GROUND FLOOR LEVEL

ELECTRICAL PLAN LAYOUT

SCALE: 1 : 75

REF.	DATE:	REVISION	APP'D.
A	June 2024	remediate building compliance issues	

DATE:	PLEASE NOTE: ORIGINAL SHEET SIZE: A2	DATE	DRAWN	SCALE	PROJECT NO.	DRAWING SHEET NO.
		Dec., 2023.	cps.11330	as shown.	11330	sheet 10 of 11.

ADVERTISED
 This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

NOTE
 1. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
 2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
 3. ANY DISCREPANCIES AND/OR UNCERTAINTIES ARISE BUILDER TO CONFIRM DESIGN INTENT BY THIS OFFICE PRIOR TO COMMENCING WORKS.

BUILDING CONDENSATION MANAGEMENT:
 nominated wall wrap (pliable building membrane) with R1.5min. to be: Vapour Permeable Type
 ALL exhaust Fans installed must be Vented Externally (Roof and/or Walls via. suitable DUCT in strict compliance to NCC.3.8.7 BCA.Vol.2 "BRADFORD THERMOSEAL" see Wall Construction
 BATHROOM/POWDER RM: Flow Rate of 25L/s
 KITCHEN: Flow Rate of: 40L/s

VERANDAH ROOF: 7.5° PITCH
 'lysaghts' colorbond custom orb roof sheeting as selected by owner.

PORTICO ROOF: 7.5° PITCH
 'lysaghts' colorbond custom orb roof sheeting as selected by owner.

FLOOR AREA ANALYSIS:

ROOM	AREA	ALLOWED
PASSAGE:	6.40m ² .	25.60W.
LIVING:	17.30m ² .	69.20W.
FAMILY:	32.86m ² .	131.44W.
MEALS:	30.87m ² .	154.35W.
KITCHEN:	19.50m ² .	97.50W.
BUTLERS PANTRY:	11.75m ² .	47.00W.
OFFICE/STUDY:	10.71m ² .	53.55W.
MASTER BEDROOM:	26.36m ² .	105.44W.
WALK-IN-ROBE:	10.40m ² .	41.60W.
POWDER ROOM:	1.81m ² .	7.24W.
MAKE-UP:	6.32m ² .	32.00W.
ENSUITE:	13.95m ² .	69.75W.
TOILET (WC):	2.85m ² .	11.40W.
STAIRS:	3.40m ² .	13.60W.

EXTERNAL

VERANDAH:	70.63m ² .	282.50W.
VERANDAH 2:	32.34m ² .	129.36W.

PERMISSIBLE ROOM LIGHTING:
 GENERAL LIVING = 4W./m².
 KITCHEN = 5W./m².
 MEALS/DINING = 5W./m².
 BATHROOM/ENSUITE = 5W./m².
 BEDROOM = 4W./m².
 PASSAGE = 4W./m².
 ALL OTHER ROOMS = 4W./m².

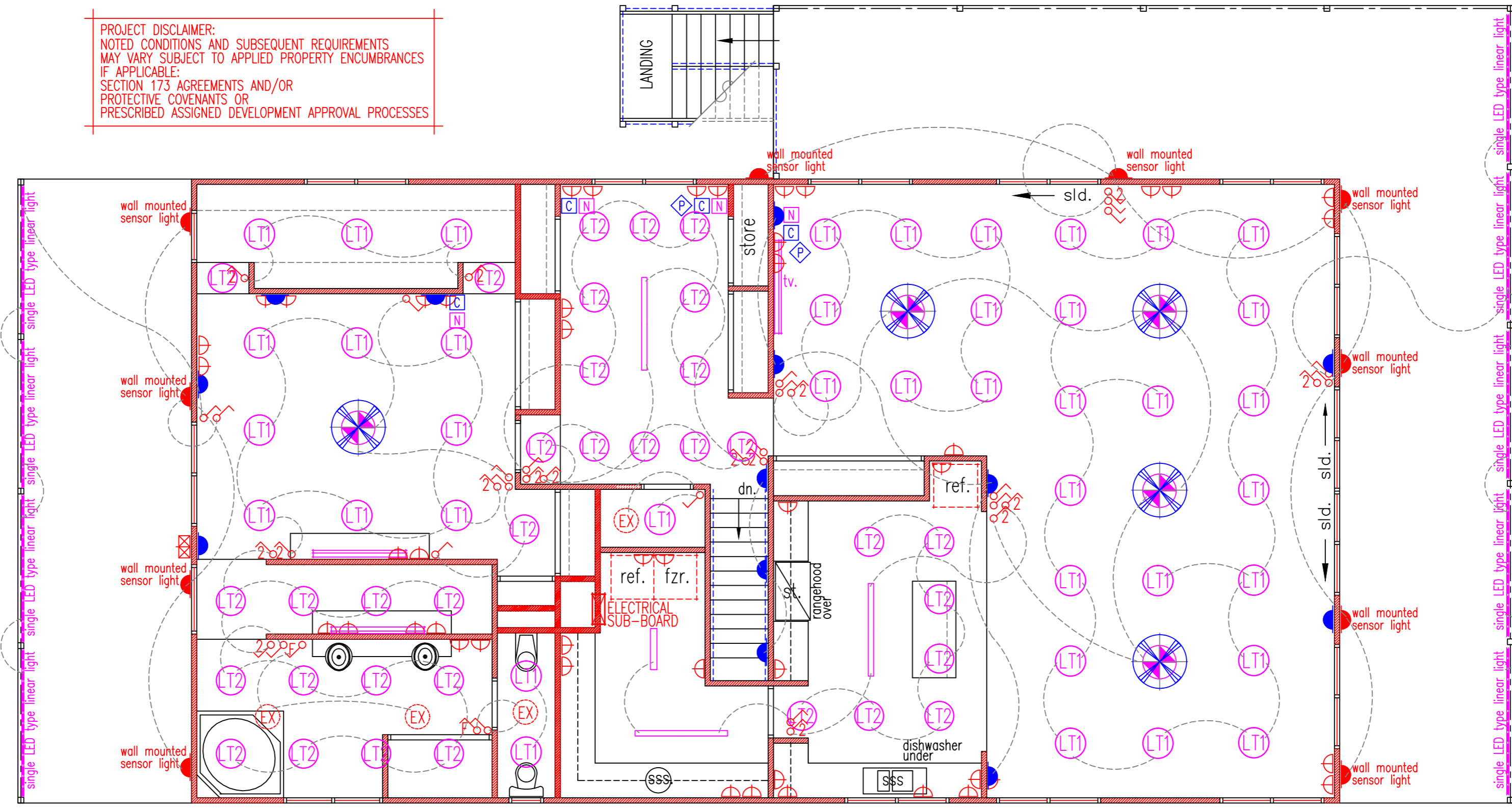
GENERAL WALL LIGHTING:
 EXTERNAL WALL LIGHTING:
 ADDITIONAL TO ABOVE
 700.00W. PERMISSIBLE

BUILDER TO PROVIDE ALL NECESSARY TIMBER NOGGINS, BATTENS, FIXING PLATES TO ACCOMMODATE NOMINATED FIXTURES/FITTINGS THROUGHOUT ALL WALLS AND CEILINGS

ELECTRICAL LEGEND

- (EX) EXHAUST FAN
- (GPO) SINGLE GPO
- (GPO) DOUBLE GPO
- (GPO) DOUBLE GPO (EXTERNAL)
- (P) PHONE POINT INTEGRATE WITH OFFICE
- (C) COMPUTER POINT INTEGRATE WITH OFFICE
- (N) NBN INTERNET CABLE SOCKET WIRELESS OUTLET POINT
- (F) FAN SWITCH
- (1) 1 WAY SWITCH
- (2) 2 WAY SWITCH
- (Y) YARRA APPLIANCES CEILING FAN TRI-COLOURLED LAMP 1500mm AND WALL REMOTE CONTROL OPTION HAND-PAINTED WOOD BLADES
- (Y) YARRA APPLIANCES CEILING FAN HAND-PAINTED WOOD BLADES 1500mm TYPE & REMOTE OPTION
- (E) ECOLINE TWIN TUBE BATTEN CEILING SL9738/40TC/DP2 LINEAR LED WITH POLYCARB DIFFUSER-WHITE
- (E) ECOLINE TWIN TUBE BATTEN TYPE SL9738/20TC/DP2 LINEAR LED WITH POLYCARB DIFFUSER-WHITE OR SELECT OYSTER OPAL LED TYPE
- (O) OPAL DIMMABLE S03700/TC/DPD OYSTER TYPE LED 8/30W WITH OPAL PMMA DIFFUSER
- (LT1) COOLUM PLUS S9068/TC - 9W. S9068TC/WH. FULLY RECESSED
- (LT2) COOLUM PLUS S9069/TC - 12W. S9069TC/WH. FULLY RECESSED
- (G) EXTERNAL GRADE LIGHT POINT PIERLITE: TR31-IP43 = TR31 + LED LAMP. LOCATE WALL MOUNTED WHERE SHOWN
- (W) PIERLITE SIDE QUADRAT Q2 LED 14W - LED WALL RECESSED WALL MOUNTED & MOTION SENSOR
- (W) COOPER II SE7182/182TC/BK. (12W - LED EYE-LID LIGHT) WALL MOUNTED & MOTION SENSOR

PROJECT DISCLAIMER:
 NOTED CONDITIONS AND SUBSEQUENT REQUIREMENTS MAY VARY SUBJECT TO APPLIED PROPERTY ENCUMBRANCES IF APPLICABLE:
 SECTION 173 AGREEMENTS AND/OR PROTECTIVE COVENANTS OR PRESCRIBED ASSIGNED DEVELOPMENT APPROVAL PROCESSES



locate as directed - see plan
 single LED type linear light
 SLT6050/2M LED STRIP CHANNEL
 or similar approved by owner

ROOF SUPPORT BEAM/RAFTER CONNECTION:
 bldr. to utilise proprietary 'PRYDA' galv. joint hangers for rafter connections to timber support members nominated. in strict accordance with manuf. specs.

BUILDER TO NOTE:
 all prescribed pressed metal cappings and flashings to be select colorbond type. builder to ensure colour match to selected metal roof sheeting throughout, as applicable.

INTEGRATE POWER FROM MAIN BOARD TO SUB-BOARD:
 builder to ensure power integration directly to First Floor Sub-Board Sub-Board located strategically within Butler Pantry - see Upper Floor in strict adherence to and duly comply with ALL Electrical AS Codes

PROJECT NOMINATED BAL. ASSESSMENT OF: 12.5
 bldr. to ensure ALL directly associated BAL requirements as contained within BAL. assessment report performed by: SIMON ANDERSON is strictly adhered to and must duly complete same as documented

NOMINATED LIGHTING BY: SAL LIGHTING AUSTRALIA
 BUILDER/ELECTRICIAN TO CONSULT CLIENT/OWNER FOR SELECTION CONFIRMATION PRIOR TO INSTALLATION

NOTE:
 ALL LIGHT FITTINGS TO BE SUPPLIED BY OWNER AND TO BE FITTED/INSTALLED BY BUILDER/ELECTRICIAN IN STRICT ACCORDANCE WITH AUTHORITIES REQUIREMENTS.

BUILDER/ELECTRICIAN TO PRECISE CUT ALL HOLES ALL TRANSFORMERS TO BE FITTED WITH SOCKET CONNECTION POINTS (NOT HARDWIRED)

ALL POWER POINTS AND SWITCH PLATES TO BE: 'CLIPSAL - SLIMLINE' TYPE THROUGHOUT. UNLESS OTHERWISE APPROVED BY OWNER.

HEIGHTS OF NOMINATED POWER POINTS WILL VARY AND TO BE CONFIRMED ON SITE BY OWNER PRIOR TO ACTUAL INSTALLATION.

PROPOSED NEW WORKS-UPPER FLOOR LEVEL
ELECTRICAL PLAN LAYOUT
 SCALE: 1 : 75

PROPOSED 2 STOREY METAL/TIMBER RESIDENCE AND 24.00M x 6.00M x 3.20H. METAL SHED AT: LOT40/8 TAMBO BOULEVARD, METUNG.

FOR: MR. R. LEVY.
 prepared by: cps building design consultants
 bairnsdale - ph. 5152 3762.
 latrobe valley. ph. 5166 1575.
 pakenham. ph. 5941 4841.

NOTE: WIND RATING = N1.
 bldr. to obtain confirmation from authorised building surveyor prior to project commencement

REF.	DATE:	REVISION	APP'D.
A	June 2024	remediate building compliance issues	

DATE:	PLEASE NOTE: ORIGINAL SHEET SIZE: A2	DATE	DRAWN	SCALE	PROJECT NO.	DRAWING SHEET NO.
		May, 2024.	cps.11330	as shown.	11330	sheet 11 of 11.

ALL RIGHTS RESERVED, COPYRIGHT LAWS AND CONDITIONS APPLY TO THIS SET OF DRAWINGS, APART FROM USE BY THE ADDRESSED PARTY FOR THE PURPOSE FOR WHICH IT WAS REQUESTED AND ANY FAIR DEALING AS PERMITTED UNDER THE COPYRIGHT ACT. NO PART MAY BE USED, REPRODUCED OR COPIED BY ANY MEANS OR IN ANY FORM WITHOUT THE PRIOR WRITTEN PERMISSION BY: CPS DESIGN PTY. LTD.