

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	69 Lakeview Drive LAKES ENTRANCE 3909 Lot: 8 PS: 907202
The application is for a permit to:	Development of a Dwelling and Associated Earthworks
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
44.01-2 (EMO)	Construct a building or construct or carry out works
43.02-2 (DDO13)	Construct a building or construct or carry out works
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2024.402.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

- An objection must**
- ◆ **be made to the Responsible Authority in writing,**
 - ◆ **include the reasons for the objection, and**
 - ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
---	---

If you object, the Responsible Authority will tell you its decision.



Planning Permit Application

Applicant Details:

Applicant name:			
Business trading name: (if applicable) DEVELOPMENT SOLUTIONS VICTORIA PTY LTD			
Email address: ADMIN@DEVSOLVIC.COM.AU			
Postal address: 48 BAILEY STREET, BAIRNSDALE VIC			
			Postcode 3 8 7 5
Phone number: Home:	Work: 03 5152 4858	Mobile:	

Owners Details: (if not the applicant)

Name: MONCY JOSHUA AND JOSHUA MATHEW			
Business trading name: (if applicable) C/- DEVELOPMENT SOLUTIONS VICTORIA PTY LTD			
Email address: ADMIN@DEVSOLVIC.COM.AU			
Postal address: 48 BAILEY STREET, BAIRNSDALE VIC			
			Postcode 3 8 7 5
Phone number: Home:	Work: 03 5152 4858	Mobile:	

Description of the Land:

Street number: 69	Street name: LAKEVIEW DRIVE		
Town: LAKES ENTRANCE	Postcode		
Legal Description:			
Lot Number: 8	<input type="checkbox"/> Lodged plan	<input type="checkbox"/> Title plan	<input checked="" type="checkbox"/> Plan of Subdivision
Crown Allotment Number:		Number: 907202H	
Section Number:			
Parish/Township Name:			
Has there been a pre-application meeting: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Officers name:	
Your reference number: 24150			

Privacy Statement

The East Gippsland Shire Council asks for details about you to collect rates, approve permits and licences, and run a range of community services. The information you give to us on this form is used only for the reasons set out in the form and is not given to anybody else. Sometimes we may supply details about you to someone else, but only if we are allowed by law, or to protect someone or property.

When submitting documents to Council you are confirming that you have authority to use those documents. In the event that the giving of notice is required pursuant to Section 52 of the Planning and Environment Act 1987, you permit documents submitted as part of this application, including your full contact information to be made available for public viewing on Council's website

When information is given out, Council will always try to make sure your privacy is protected in line with the *Privacy and Data Protection Act 2014*. You may ask for more information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au



Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Will the proposal result in a breach of a registered covenant restriction or agreement?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Description of proposal: Describe the use, development or other matter which needs a permit: DEVELOPMENT OF A DWELLING AND ASSOCIATED EARTHWORKS	
<hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>	
Existing conditions: Describe how the land is used and developed currently: VACANT LAND	
<hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/> <hr/>	
Estimated cost of development: Note: You may be required to verify this estimate	\$ 510,000.00

If you need more space or have more information, please attach with this form.

Please make sure that:

- Form is filled in fully and signed
- The correct fee is paid or payment enclosed
- Attached any supporting information or documents
 - **Required** - Title (must have been generated within the past 30 days)
 - Covenants or Section 173 agreements
 - Site plan/floor - plan/elevations
 - Planning report
 - Supporting information/reports (e.g. – Land Capability Assessment, Bushfire Management Statement, Geotechnical report/waiver)

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273 Main Street (PO Box 1618)
 Bairnsdale VIC 3875
 Website www.eastgippsland.vic.gov.au
 Email feedback@egipps.vic.gov.au
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Telephone: (03) 5153 9500
 Fax: (03) 5153 9576
 National Relay Service: 1800 797 377
 ABN: 81 957 967 765

This application has an associated cost to be determined by a town planner

Who is the invoice to be made out to? DEVELOPMENT SOLUTIONS VICTORIA PTY LTD

Declaration:

I declare that I am the applicant and that all the information in this application is true and correct and the owner (if not myself) has been notified of the permit application.

I confirm that I have authority to use the relevant documents.

In the event that the giving of notice is required pursuant to Section 52 of the Planning and Environment Act 1987, I permit documents submitted as part of this application, including my full contact information, to be made available for public viewing on Council's website.

Applicant signature: _____

Name: COURTNEY CAMPBELL Date: 28 / 11 / 2024

Submitting your application:

Electronic	Fax to 03 5153 9576 Email to planning@egipps.vic.gov.au	
Mail	Post the signed, completed form together with any applicable fees or copies of any documentation to; PO Box 1618 BAIRNSDALE VIC 3875.	
In Person	Bring the completed form and supporting documents to any of the following locations;	
	Service Centre Opening Hours: 9.00am to 5:00pm. Monday to Friday.	Bairnsdale Corporate Centre: 273 Main Street. Bairnsdale Service Centre: 24 Service Street. Bairnsdale Business Centre: 34 Pyke Street. Lakes Entrance Service Centre: 18 Mechanics Street. Omeo Service Centre: 179 Day Avenue. Orbost Service Centre: 1 Ruskin Street. Paynesville Service Centre: 55 The Esplanade.
	Mallacoota Service Centre Opening Hours: Monday and Tuesday 10.00am to 2.00pm Wednesday, Thursday, Friday 2.00pm to 5.00pm	Mallacoota Service Centre: 70 Maurice Avenue

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958 Page 1 of 1

VOLUME 12488 FOLIO 402

Security no : 124119490052M
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LAND DESCRIPTION

Lot 8 on Plan of Subdivision 907202H.
PARENT TITLE Volume 12328 Folio 273
Created by instrument PS907202H 07/07/2023

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors
MONCY JOSHUA
JOSHUA MATHEW
AX071320K 21/07/2023

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987
AV789562X 28/06/2022

DIAGRAM LOCATION

SEE PS907202H FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 69 LAKEVIEW DRIVE LAKES ENTRANCE VIC 3909

ADMINISTRATIVE NOTICES

NIL

eCT Control 23390C DDSS LEGAL PTY LTD
Effective from 21/07/2023

DOCUMENT END



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Document Type	Plan
Document Identification	PS907202H
Number of Pages (excluding this cover sheet)	6
Document Assembled	31/10/2024 13:30

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PLAN OF SUBDIVISION

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EDITION 2 PS 907202H

Council Name: East Gippsland Shire Council
 Council Reference Number: PS907202H
 Planning Permit Reference: 415/2021/P
 SPEAR Reference Number: S189531B

Certification

This plan is certified under section 6 of the Subdivision Act 1988
 Public Open Space

A requirement for public open space under section 18 or 18A of the Subdivision Act 1988 has been made and the requirement has been satisfied

Digitally signed by: Robert Pringle for East Gippsland Shire Council on 26/06/2023

Statement of Compliance issued: 04/07/2023

LOCATION OF LAND

PARISH: COLQUHOUN
TOWNSHIP: LAKES ENTRANCE
SECTION: A
CROWN ALLOTMENT: 30^C, & 30^G (PARTS)
CROWN PORTION: ———
TITLE REFERENCE: VOL 12328 FOL 273

LAST PLAN REFERENCE: LOT 1 - PS847919Q

POSTAL ADDRESS: 55 LAKEVIEW DRIVE,
 (at time of subdivision) LAKES ENTRANCE, 3909

MGA2020 CO-ORDINATES: E: 586 970 **ZONE:** 55
 (of approx centre of land) N: 5808 200
 in plan)

VESTING OF ROADS AND/OR RESERVES

NOTATIONS

IDENTIFIER	COUNCIL/BODY/PERSON
RI ROAD RESERVE No. 1	EAST GIPPSLAND SHIRE COUNCIL EAST GIPPSLAND SHIRE COUNCIL

NOTATIONS

DEPTH LIMITATION DOES NOT APPLY

SURVEY:
 This plan is based on survey.
STAGING:
 This is not a staged subdivision.
 Planning Permit No. 415/2021/P
 This survey has been connected to permanent marks No(s). ———
 In Proclaimed Survey Area No. NIL

EASEMENT INFORMATION

LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1, E-7	DRAINAGE	5	LPI39318	LAND IN LPI39318
E-4, E-7, E-9	SEWERAGE	SEE DIAG.	PS847919Q	EAST GIPPSLAND REGION WATER CORPORATION
E-8, E-9	WATER SUPPLY	2	PS847919Q	EAST GIPPSLAND REGION WATER CORPORATION
E-2	DRAINAGE & SEWERAGE	3	THIS PLAN	EAST GIPPSLAND REGION WATER CORPORATION & EAST GIPPSLAND SHIRE COUNCIL
E-3	DRAINAGE	SEE DIAG.	THIS PLAN	EAST GIPPSLAND SHIRE COUNCIL
E-10	WATER SUPPLY	SEE DIAG.	THIS PLAN	EAST GIPPSLAND REGION WATER CORPORATION

Crowther & Sadler Pty. Ltd.
 LICENSED SURVEYORS & TOWN PLANNERS
 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875
 P. (03) 6162 6011 E. contact@crowthersadler.com.au

SURVEYORS FILE REF: 19900

ORIGINAL SHEET SIZE: A3

SHEET 1 OF 5 SHEETS

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PLAN REGISTERED
 TIME: 4.08 PM DATE: 9/12/2023
 J. Beckingham
 Assistant Registrar

Printed 18/12/2024
 Page 7 of 84

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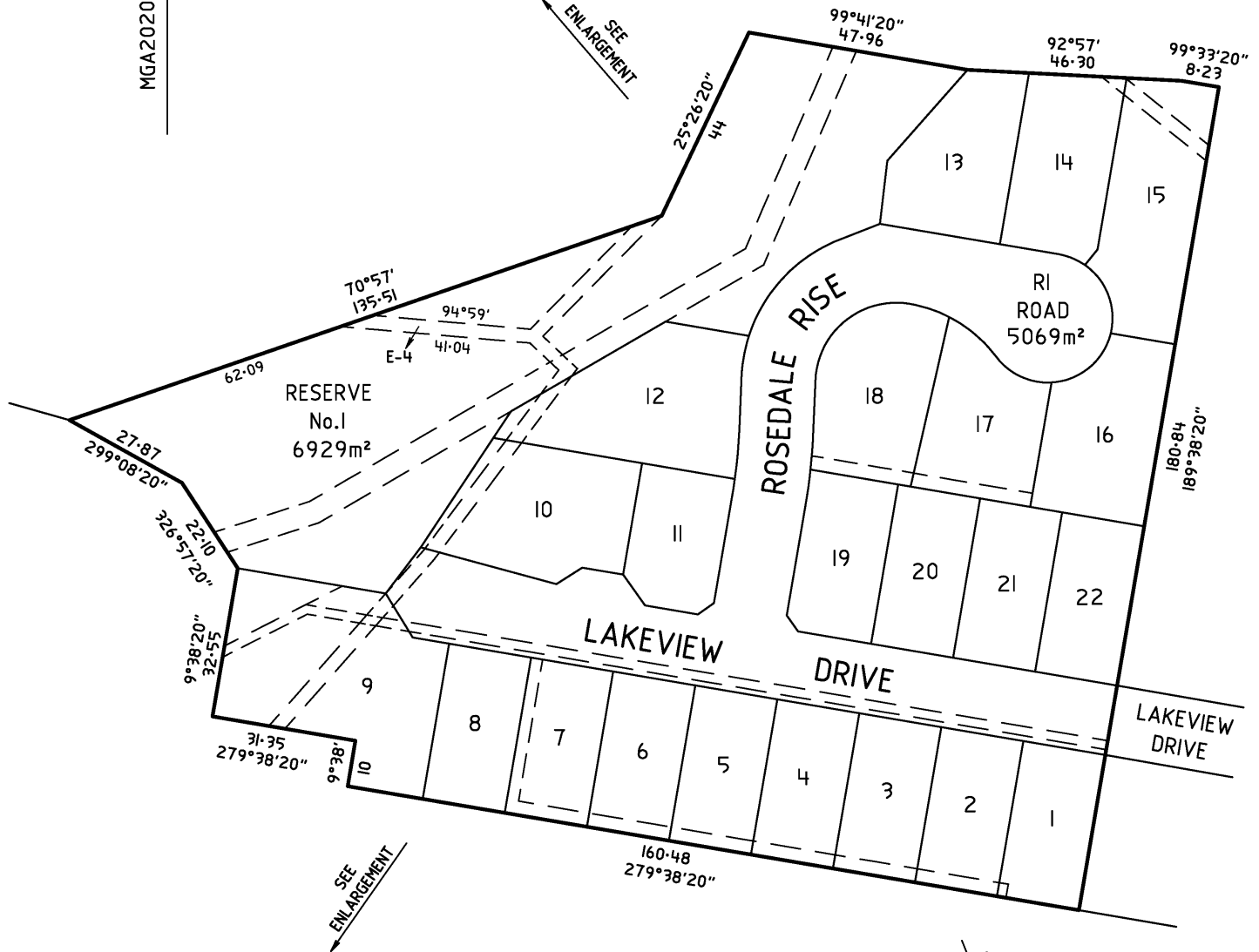
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PS 907202H

MGA2020 ZONE 55

FOR ENLARGEMENT
SEE SHEET 3

SEE
ENLARGEMENT



SEE
ENLARGEMENT

FOR ENLARGEMENT
SEE SHEET 4

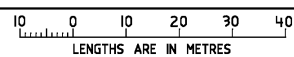
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19900

SCALE
1:1000



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SIZE: A3

SHEET 2

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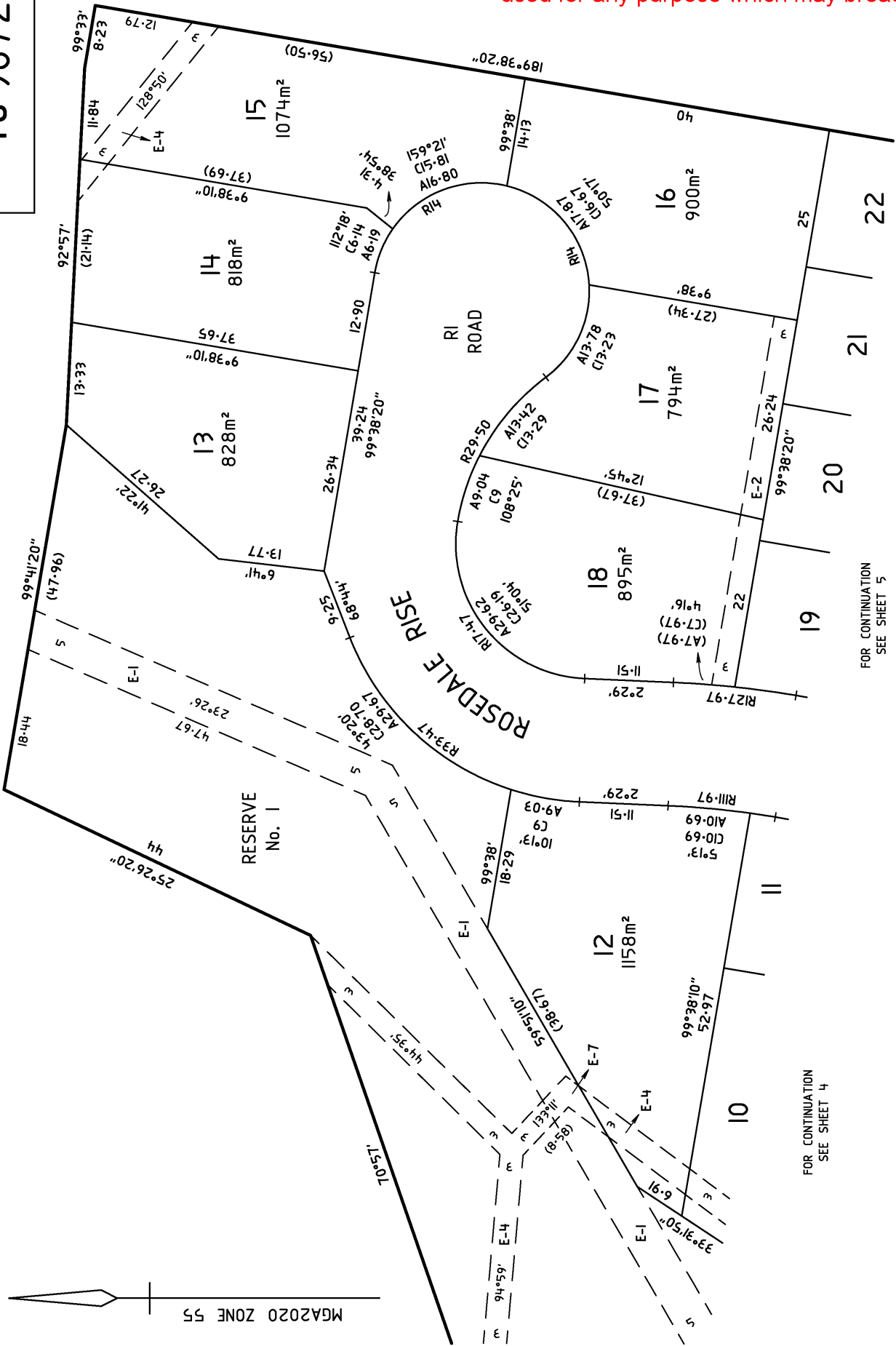
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FOR CONTINUATION SEE SHEET 5

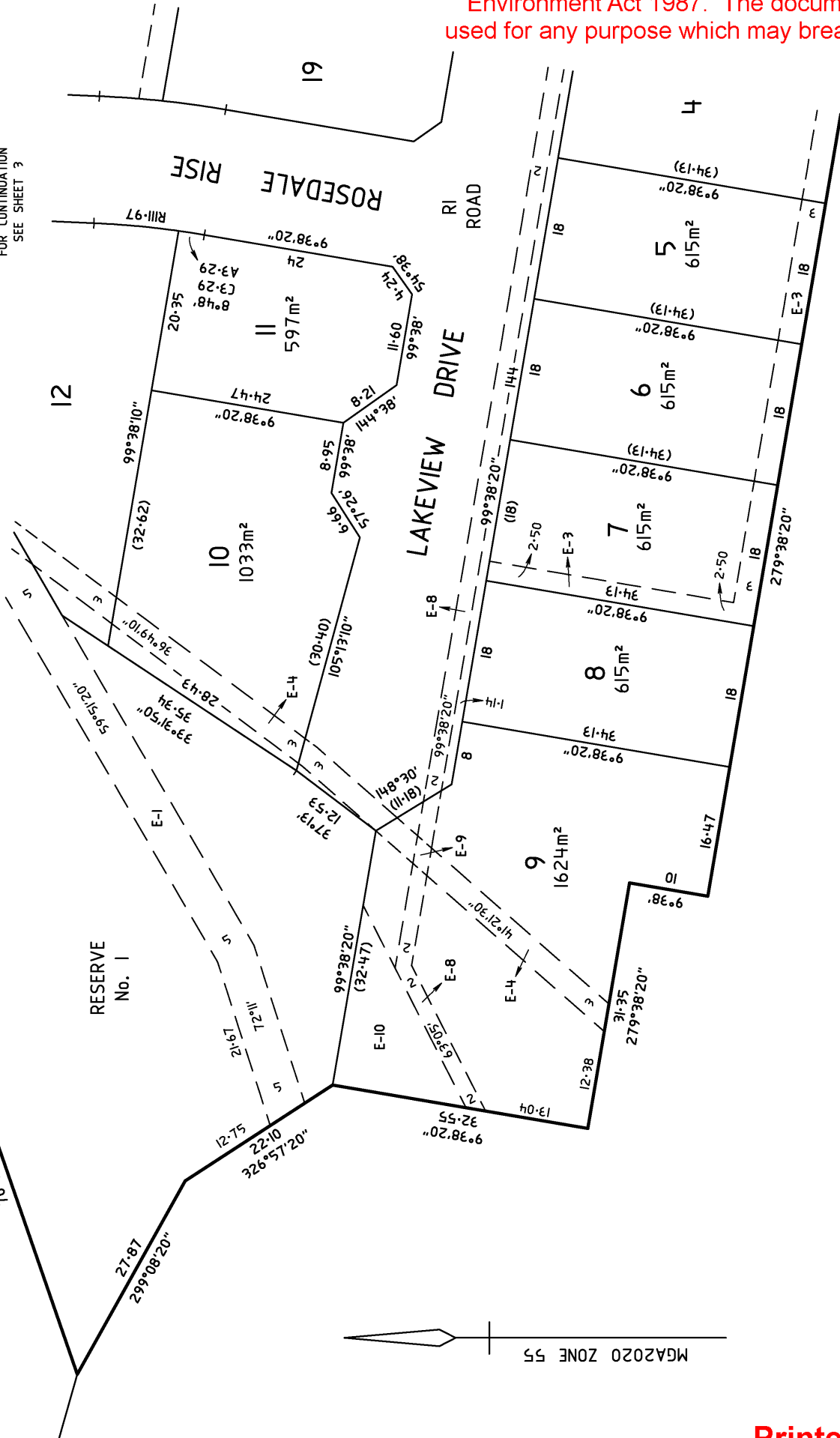
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SURVEYORS REF 19900	SCALE 1:500	LENGTHS ARE IN METRES 0 5 10 15 20	ORIGINAL SHEET
			SHEET A3
Digitally signed by: Michael J Sadler, Licensed Surveyor, Surveyor's Plan Version (8), 24/05/2023, SPEAR Ref: S189531B			Digitally signed by: East Gippsland Shire Council, 26/06/2023, SPEAR Ref: S189531B

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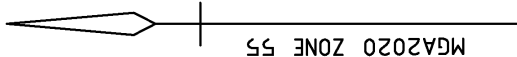
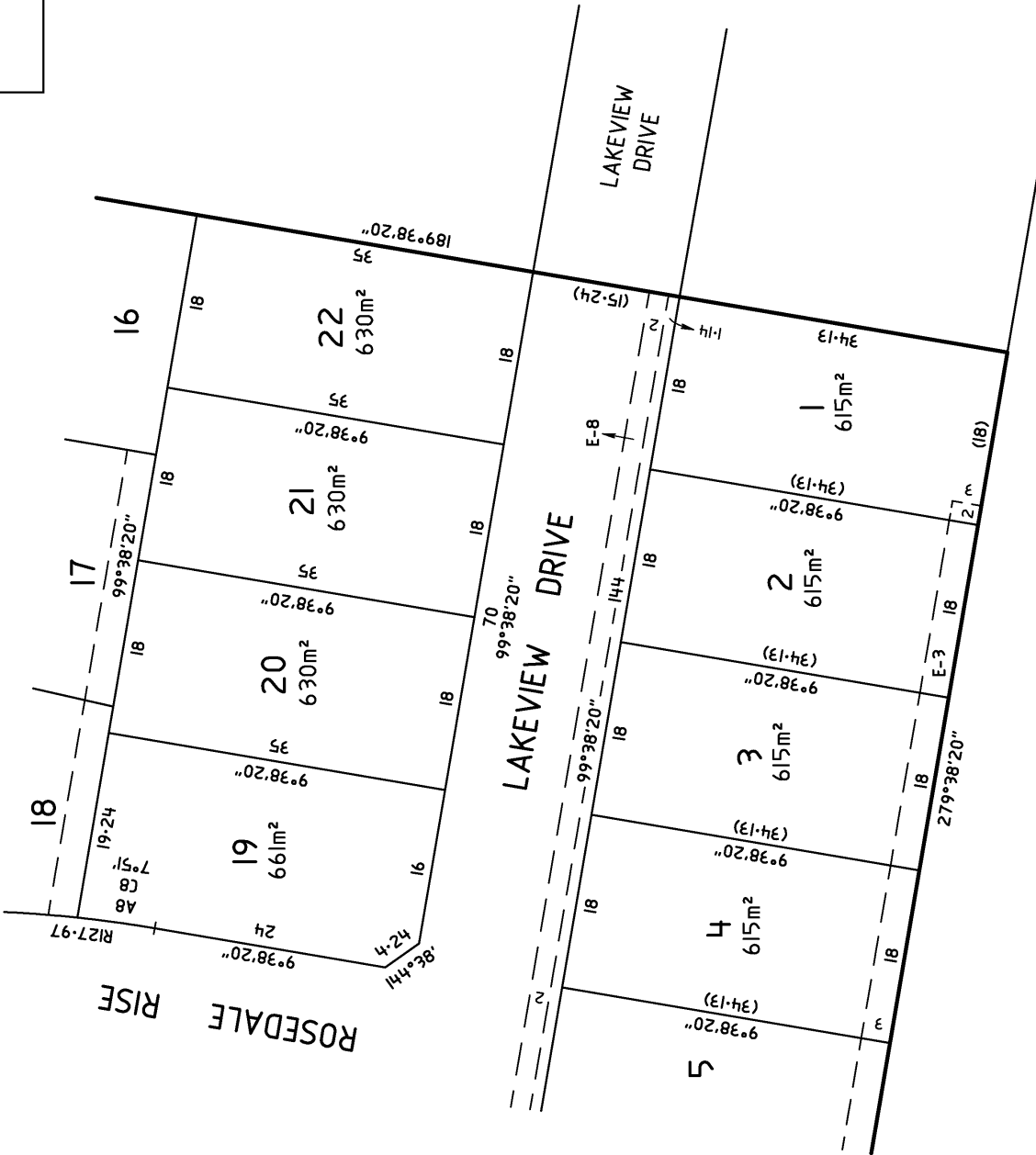
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East Gippsland Shire Council,
24/05/2023, SPEAR Ref: S189531B

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Department of Environment, Land, Water & Planning

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

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Status	Registered	Dealing Number	AV789562X
Date and Time Lodged	28/06/2022 09:32:25 AM		

Lodger Details

Lodger Code	17888B
Name	WAKEFIELD VOGRIG & BOOTE LAWYERS
Address	
Lodger Box	
Phone	
Email	
Reference	BB:37621:55Lakes173.

APPLICATION TO RECORD AN INSTRUMENT

Jurisdiction	VICTORIA
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Estate and/or Interest

FEE SIMPLE

Land Title Reference

12328/273

Instrument and/or legislation

RECORD - AGREEMENT - SECTION 173
Planning & Environment Act - section 173

Applicant(s)

Name	EAST GIPPSLAND SHIRE COUNCIL
Address	
Street Number	273
Street Name	MAIN
Street Type	STREET
Locality	BAIRNSDALE
State	VIC
Postcode	3875

Additional Details



Department of Environment, Land, Water & Planning

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Electronic Instrument Statement

Refer Image Instrument

The applicant requests the recording of this Instrument in the Register.

Execution

1. The Certifier has taken reasonable steps to verify the identity of the applicant or his, her or its administrator or attorney.
2. The Certifier holds a properly completed Client Authorisation for the Conveyancing Transaction including this Registry Instrument or Document.
3. The Certifier has retained the evidence supporting this Registry Instrument or Document.
4. The Certifier has taken reasonable steps to ensure that this Registry Instrument or Document is correct and compliant with relevant law and any Prescribed Requirement.

Executed on behalf of	EAST GIPPSLAND SHIRE COUNCIL
Signer Name	BRITTANY RIANNE BECA
Signer Organisation	PARTNERS OF WAKEFIELD VOGRIG & BOOTE LAWYERS
Signer Role	LAW PRACTICE
Execution Date	28 JUNE 2022

File Notes:

NIL

This is a representation of the digitally signed Electronic Instrument or Document certified by Land Use Victoria.

Statement End.



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EAST GIPPSLAND SHIRE COUNCIL

AND

55 LAKEVIEW PTY LTD ACN 644 580 781

**PLANNING AND ENVIRONMENT ACT 1987
SECTION 173 AGREEMENT**

Wakefield Vogrig & Boote Lawyers

54 Albert Street, Warragul VIC 3820
PO Box 329, Warragul VIC 3820
DX 82010 Warragul
Phone: 03 5623 5166
Fax: 03 5623 4842
Email: wgl@wvblawyers.com.au
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AV789562X

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THIS AGREEMENT dated 6 day of June 2022

BETWEEN **East Gippsland Shire Council** of 273 Main Street, Bairnsdale, Victoria
(Responsible authority)

AND **55 Lakeview Pty Ltd ACN 644 580 781** of 100 Spring Street N, Port
Melbourne, Victoria (**Owner**)

RECITALS

- A. The owner is the owner and registered by the Registrar of Titles as the proprietor of an estate in fee simple in the land at 55 Lakeview Drive, Lakes Entrance being lot 1 on plan of subdivision PS847919Q and more particularly described in certificate of title volume 12328 folio 273 (subject land).
- B. The responsible authority is responsible for the administration and enforcement of the East Gippsland planning scheme (planning scheme) pursuant to the provisions of the Planning and Environment Act 1987 (the Act).
- C. On 11 March 2022 the responsible authority issued planning permit number 415/2021/P allowing the Multi Lot Subdivision, roadworks associated with the subdivision and removal of Native Vegetation in accordance with the endorsed plans (planning permit).
- D. Condition 10 of the planning permit requires the owner to enter into this agreement to provide for the matters set out in that condition.
- E. The responsible authority and the owner have agreed that, without restricting or limiting their respective powers to enter into this agreement, and insofar as it can be so treated, this agreement is an agreement entered into pursuant to section 173 of the Act.
- F. The responsible authority and the owner have entered into this agreement in order to achieve or advance the objectives of planning in Victoria or the objectives of the planning scheme.

OPERATIVE PART

1. Interpretation

This agreement is governed by the laws of Victoria and the parties submit to the non-exclusive jurisdiction of the courts of that State.

In the interpretation of this agreement:

- (a) References to legislation or provisions of legislation include changes or re-enactments of the legislation and statutory instruments and regulations issued under the legislation;

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- (b) Words denoting the singular include the plural and vice versa. Words denoting individuals or persons include bodies corporate and vice versa. Words denoting one gender include all genders and references to documents or agreements also mean those documents or agreements as changed, novated or replaced;
- (c) Grammatical forms of defined words or phrases have corresponding meanings;
- (d) Parties must perform their obligations on the dates and times fixed by reference to the capital city of Victoria;
- (e) Reference to an amount of money is a reference to the amount in the lawful currency of the Commonwealth of Australia;
- (f) If the day on or by which anything is to be done is a Saturday, a Sunday or a public holiday in the place in which it is to be done, then it must be done on the next business day;
- (g) References to a party are intended to bind their heirs, executors, administrators, successors and assigns; and
- (h) Obligations under this agreement affecting more than one party bind them jointly and each of them severally.

2. Definitions

In this agreement unless inconsistent with the context or subject matter:

- (a) Act means the Planning and Environment Act 1987;
- (b) Agreement means this agreement and any agreement executed by the parties varying or expressed to be supplemental to this agreement;
- (c) Subject land means the land described in recital A;
- (d) Owner means the owner for the time being of the land and the person or persons entitled from time to time to be registered by the Registrar of Titles as the proprietor of an estate in fee simple in the land or any part thereof, and includes a mortgagee in possession;
- (e) Planning permit mean the planning permit referred to in recital C, including any plans endorsed under the planning permit;
- (f) Planning scheme means the East Gippsland planning scheme and any successor instrument or other planning scheme which applies to the subject land;
- (g) Responsible authority means East Gippsland Shire Council or its successor as the authority responsible for administering and enforcing the planning scheme and includes its agents, officers, employees, servants, workers and contractors; and
- (h) Tribunal means the Victorian Civil and Administrative Tribunal or any successor tribunal, court, institution or body.

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3. Specific obligations of the owner

The owner covenants with the responsible authority that:

- (a) Any dwelling on each lot must include a rainwater tank having a minimum storage capacity of 5,000 litres; and
- (b) The rainwater tank must collect rainwater runoff from the roof of the dwelling; and
- (c) The rainwater tank must be used as the primary water source for flushing of toilets, laundry services and also include an external tap for garden irrigation.

4. Further obligations of the owner

The owner further covenants that:

- (a) The owner will not sell, transfer, dispose of, assign, mortgage or otherwise part with possession of the subject land or any part of it without first disclosing to its successors the existence and nature of this agreement;
- (b) The owner will do all that is necessary to enable the responsible authority to make an application to the Registrar of Titles to make a recording of this agreement on the certificate of title to the subject land in accordance with section 181 of the Act, including the signing of any further agreement, acknowledgment or other document;
- (c) The owner shall immediately on demand pay the reasonable legal costs and fees incurred and incidental to the preparation and execution of this agreement and the registration hereof pursuant to section 181 of the Act, together with all costs of enforcing this agreement if deemed necessary by the responsible authority. The owner hereby agrees that any such costs are and remain a charge on the subject land until paid, and consents to the responsible authority registering a caveat on the certificate of title to the subject land in respect of any such costs and acknowledges that any such costs shall be capable of being recovered by the responsible authority in any court of competent jurisdiction as a civil debt recoverable;
- (d) That until such time as this agreement is registered on the title to the subject land, the owner shall ensure that successors in title will give effect to this agreement, and do all acts and sign all documents which will require those successors to give effect to this agreement, including executing a deed agreeing to be bound by the terms of this agreement;
- (e) The owner agrees to indemnify and keep indemnified the responsible authority from and against all costs, expenses, losses or damages that it may sustain, incur, suffer or be or become liable for or in respect of any suit, action, proceeding, judgment or claim brought by any person arising from or referable to this agreement and/or any non-compliance with this agreement; and
- (f) The owner agrees to allow the responsible authority to enter the subject land at any reasonable time to assess compliance with this agreement.

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5. Owner's warranties and acknowledgements

- (a) The owner warrants that:
- (i) It is the registered proprietor, or entitled to be so, of the subject land;
 - (ii) There are no mortgages, liens, charges or other encumbrances affecting the subject land which are not disclosed by the usual searches; and
 - (iii) If the subject land is affected by a mortgage, the mortgagee of the subject land consents to the owner entering into this agreement and the agreement being registered on the title to the subject land.
- (b) The owner acknowledges that any obligations imposed on the owner under this agreement take effect as separate and several covenants which are annexed to the subject land and run at law and in equity with the land and every part thereof and bind the owner, its successors, assigns and transferees, and the registered proprietor for the time being of the whole or any part of the subject land.

6. Further assurance

The parties to this agreement must do or cause to be done all things that are reasonably necessary to give effect to this agreement.

7. Default

If the owner defaults or fails to perform any of its obligations under this agreement the responsible authority may, without prejudice to any other remedies, rectify and remedy such default and the cost of doing so shall be borne by the owner. The owner hereby consents to the responsible authority registering a caveat on the certificate of title to the subject land in respect of any such costs, and acknowledges that any such costs shall be capable of being recovered by the responsible authority in any court of competent jurisdiction as a civil debt recoverable.

8. No waiver

Any time or other indulgence granted by the responsible authority to the owner or any variation of the terms and conditions of this agreement or any judgment or order obtained by the responsible authority against the owner will not in any way amount to a waiver of any of the rights or remedies of the responsible authority in relation to the terms of this agreement.

9. No fettering of powers of responsible authority

The owner expressly acknowledges and agrees that nothing in this agreement nor the performance by the owner of any of its obligations under this agreement does or will restrain, limit or otherwise fetter the exercise by the responsible authority of the powers,

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duties and discretions that the responsible authority has or may have, as planning authority, responsible authority or otherwise, under the Act or under the planning scheme to consider, approve, amend or to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification relating to any use or development, or in relation to the commencement or initiation of any enforcement action or proceeding whatsoever.

10. Entire agreement

This agreement constitutes the entire agreement between the parties in connection with its subject matter and supersedes all previous agreements or understandings between the parties in connection with its subject matter.

11. Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this agreement is unenforceable, illegal or void then it shall be severed and the other provisions of this agreement shall remain operative and be of full force and effect.

12. Disputes

- (a) If there is a dispute between the parties concerning the interpretation or implementation of this agreement, that dispute must be referred to the tribunal for resolution to the extent permitted by the Act.
- (b) If there is a dispute concerning any matter which is not referable to the tribunal under the Act, that dispute must be referred for arbitration by an arbitrator agreed upon in writing by the parties, or, in the absence of such agreement the chair of the Victorian Chapter of the Institute of Arbitrators Australia or his or her nominee, for arbitration.
- (c) The parties shall each be entitled to legal representation for the purposes of any proceedings or arbitration referred to clause 12(a) or (b) of this agreement unless the tribunal or arbitrator otherwise directs, and each party must bear its own costs.

13. Commencement of agreement

Unless otherwise provided in this agreement, this agreement shall commence on the date of this agreement.

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Execution page

SIGNED AS AN AGREEMENT

SIGNED BY THE COMMON SEAL of the East Gippsland Shire Council was hereunto affixed on the 6 day of June 22 in the presence of:

Signature of witness

Michelle Van Aarde

Print name of witness

Chief Executive

EXECUTED BY 55 Lakeview Pty Ltd
ACN 644 580 781

Director

Name: Andrew Edwin Hubbard



55 LAKEVIEW

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Execution page

SIGNED AS AN AGREEMENT

Mortgagee's Consent

Alternative Marketing Solutions Pty Ltd being registered as the proprietors of mortgage No AV532714M consents to the owner entering into this Agreement and in the event that the Mortgagee becomes mortgagee-in-possession, agrees to be bound by the covenants and conditions to this Agreement.

Dated this 17 day of MAY 2022

Anthony Charles Bates
Director

AV532714M

8 November 2024

24269

Development Solutions Victoria
Bairnsdale, VIC, 3875

GEOTECHNICAL WAIVER – EROSION MANAGEMENT OVERLAY 69 LAKEVIEW DRIVE, LAKES ENTRANCE

Dear Kelly,

Introduction

Development Solutions Victoria has engaged DBM Geotech to undertake a geotechnical assessment for the proposed development at 69 Lakeview Drive, Lakes Entrance.

The site is within the East Gippsland Shire Council Erosion Management Overlay. This geotechnical assessment has been conducted to identify any areas prone to erosion or land instability.

Site conditions and proposed redevelopment

The site is a 615m² residential allotment located on south side of Lakeview Drive. The site has a moderate slope down towards the west.

We understand that the proposed development comprises the construction of a two-storey residential dwelling. The design drawings indicate that up to 1.5m of cut and fill will be undertaken to create a level building platform.

Site Geology

The 1:250,000 Geological survey map on GeoVic indicates that the site is underlain by the Hunted Hills Formation.

Geotechnical Waiver

An engineer from DBM Geotech visited the site on 29 October 2024 and observed the following:

- The site is moderately sloping with a slope angle of between 7 to 10 degrees down towards the west and northwest.
- No evidence of erosion or landslip was observed at the site.

Based on our site assessment we consider that the landslide risk at the site is low. Therefore, in accordance with Section 4 of the East Gippsland Shire Council Erosion management overlay we consider that a full geotechnical assessment is not necessary for the proposed development. Site Photo of the site are provided in Figure 1.

Although a full geotechnical assessment is not necessary, we recommend that good design and construction practices are adopted at the site to prevent erosion or landslip. The following erosion protection measures and earthworks recommendations are recommended for this site.

Erosion Protection Measures

We recommend that vegetation is left in place as long as possible. The removal of vegetation at the site should be kept to a minimum and any vegetation removal shall only be undertaken where it is necessary to construct driveways and building platforms. Furthermore, where stripping is undertaken across earthworks areas, re-vegetation and/or batter protection should be implemented as soon as possible to reduce the effects of erosion.

We recommend that adequate erosion control measures (i.e. silt fences, diversion banks) be implement during construction and be maintained until vegetation has been established across cleared areas. In addition, we recommend good drainage protection be implemented on batter slopes, roadways and behind retaining walls.



Figure 1: Site photo – looking northwest across the site from the southeastern corner boundary

Earthworks Recommendations

Design drawings indicate cut and fill up to about 1.5m will be undertaken to construct a level building platform for the development. We recommend that all earthworks are undertaken in accordance with the following:

- Unretained cut faces in natural soils are battered back at a maximum gradient of 1Vertical:2Horizontal.
- Unretained fill batters are battered at a maximum gradient of 1Vertical:2Horizontal.
- Adequate drainage measures are provided at all batter slopes to prevent water ponding or flowing down the batter slope which can lead to erosion and affect batter stability.

Limitations

Your attention is drawn to the document – ‘Limitations’ which is attached to this letter report. The statements presented in this document are intended to advise you of what your realistic expectations of this report should be. The document is not intended to reduce the level of responsibility accepted by DBM Geotech, but rather to ensure that all parties who may rely on this report are aware of the responsibilities each assumes is so doing.

Yours sincerely,

DBM Geotech Consulting Pty Ltd

Bill Wang
BEng (Hons) MEngSc (Res) MIEAust CPEng NER
EA Membership number: 2099569
ABN 69 666 900 643

Attachments: Limitations



NOV
20
24

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DEVELOPMENT SOLUTIONS VICTORIA

APPLICATION FOR PLANNING PERMIT

DEVELOPMENT OF A DWELLING AND ASSOCIATED EARTHWORKS

69 LAKEVIEW DRIVE, LAKES ENTRANCE, 3909
JOSHUA MATHEW AND MONCY JOSHUA
REF: 24150

CONTENTS

1	Introduction	4
2	Site Context	5
3	The Proposal	11
4	Zones and Overlays	12
5	Planning Assessment	17
6	Conclusion	19

APPENDIX

A	Copy of Title
B	Proposed Development Plans
C	Geotechnical Risk Assessment waiver
D	Colour Schedule

DOCUMENT REVISION

1	Draft Report	DAC	14/11/2024
2	Final Report	CMC	26/11/2024

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1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of Joshua Mathew and Moncy Joshua, the owners of land and the applicants for this planning permit application for the development of a dwelling and associated earthworks at 69 Lakeview Drive, Lakes Entrance.

Our client's intention is to develop the existing vacant allotment with a double storey dwelling that will contribute to housing supply and provide for a modern, comfortable and functional dwelling within an existing residential area of Lakes Entrance.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

Address	69 Lakeview Drive, Lakes Entrance, 3909
Site Description	Lot 8 on Plan of Subdivision 907202H
Title Particulars	Volume 12488 Folio 402
Site Area	615m ²
Proposal	Development of a Dwelling and Associated Earthworks
Planning Scheme	East Gippsland Planning Scheme
Zone	General Residential Zone – Schedule 1
Overlays	Design and Development Overlay – Schedule 13 Erosion Management Overlay
Aboriginal Cultural Heritage	Identified as an area of Cultural Heritage Sensitivity
Permit Triggers	Clause 44.01-2 Erosion Management Overlay – Buildings and Works Clause 43.02.2 Design and Development Overlay – Buildings and Works
Notice	Exempt from notice at Clause 44.01-7
Referrals	No referrals required
Work Authority Licence	Not Applicable
Planning Scheme requirements	Municipal Planning Strategy – Clause 02 Settlement – Growth area town– Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Planning Policy Framework – Clause 10 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Erosion and landslip – Clause 13.04-2S Built environment and heritage – Clause 15 Housing – Clause 16 Design and Development Overlay - Clause 43.02 Erosion Management Overlay - Clause 44.01 Decision guidelines – Clause 65

2. SITE CONTEXT

Site

The subject site is located at 69 Lakeview Drive, Lakes Entrance. A copy of the Title and Plan of Subdivision is contained in **Appendix A**. The title is affected by a Section 173 Agreement registered as AV789562X.

AV789562X

This agreement requires any dwelling to have a 5,000 litre rainwater tank that collects roof runoff and serves as the primary water source for toilet flushing, laundry, and garden irrigation.

The subject site is rectangular in shape with a total area of approximately 615m² and is currently vacant land.

The site is undulating in nature with a downslope towards the western boundary. Details of the site are depicted in the photographs provided below.

Access to the subject site is via an existing concrete crossover along the northern boundary, directly from Lakeview Drive. Lakeview Drive is a bitumen sealed road with a concrete extension at the western end. Lakeview Drive traverses in an east to west direction.



Surrounds

The land in this locality is predominantly residential and public land.

Adjoining the northern boundary of the subject site is Lakeview Drive and further vacant residential land. Adjoining the eastern and western boundaries is vacant residential land and land adjoining the southern boundary comprises existing residential development and associated facilities.

Lakes Entrance is a coastal township and popular holiday location on the Princes Highway approximately 40 kilometres southeast of Bairnsdale. Lakes Entrance contains a full range of community and commercial facilities.

The subject site in relation to Lakes Entrance as well as the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2** and in the aerial photograph below.

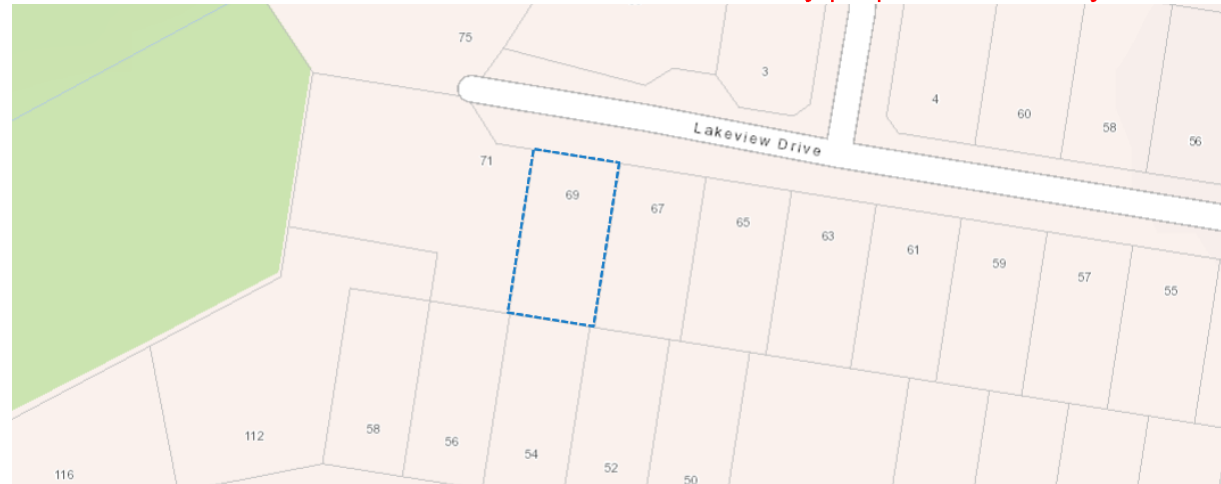


Figure 1 – Locality Plan – 69 Lakeview Drive, Lakes Entrance (source: mapshare.vic.gov.au)

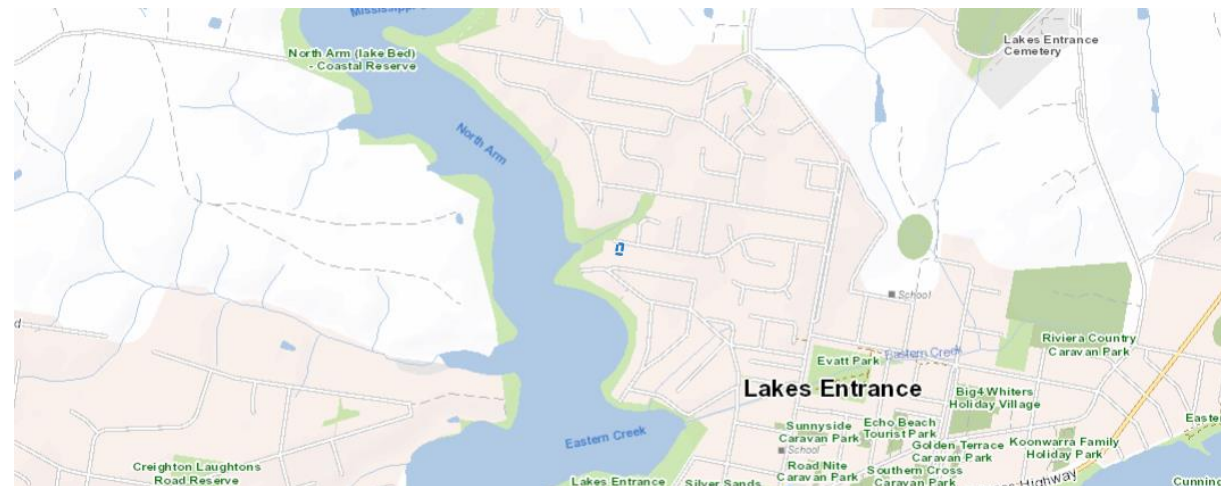


Figure 2 – Locality Plan – 69 Lakeview Drive, Lakes Entrance (source: mapshare.vic.gov.au)

Photograph 1 - Aerial Photograph of the subject site and surrounding land
- 69 Lakeview Drive, Lakes Entrance (source: dpi.vic.gov.au)
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Photograph 2 – Subject site at 69 Lakeview Drive, Lakes Entrance.



Photograph 4 – Southern portion of subject site facing southeast.



Photograph 6 – Subject site facing east.



Photograph 3 – Existing driveway access to subject site.



Photograph 5 – Subject site facing southwest.



Photograph 7 – Southern portion of subject site facing north.



Photograph 8 – Subject site facing southeast.



Photograph 10 – Southern portion of subject site facing northwest.



Photograph 12 – Subject site facing north.



Photograph 9 – Subject site facing east.



Photograph 11 – Neighbouring property adjoining the southern boundary at 54 and 56 Bogong Street, Lakes Entrance.



Photograph 13 – Neighbouring property east of subject site at 67 Lakeview Drive, Lakes Entrance.



Photograph 14 – Neighbouring property at 71 Lakeview Drive, Lakes Entrance.



Photograph 16 – Lakeview Drive facing west.



Photograph 15 – Neighbouring property opposite subject site at 68 Lakeview Drive, Lakes Entrance



Photograph 17 – Lakeview Drive facing east.

3. THE PROPOSAL

This application seeks approval for development of a dwelling and associated earthworks. The proposed development plans are contained in **Appendix B**.

The proposed dwelling will be located in the northwestern portion of the subject site with a setback of approximately 4 metres to the northern boundary being Lakeview Drive, 5.5 metres to the eastern boundary, 9.5 metres to the southern boundary and 1.7 metres to the western boundary.

The proposed dwelling will have a total building footprint of approximately 176.64 and will be a double storey dwelling. The overall proposed height of the dwelling is 8.16 metres.

The finished materials and colours of the proposed dwelling will include a combination of face brickwork in the colour 'Ironstone' and Natural Clay Bricks. Render will be in the colours 'Surfmist' and 'Pale Mushroom 5.' The roof, fascia, gutters and downpipes will be finished in the Colorbond colour, 'Wallaby.' A full colour and material schedule is contained in **Appendix D**.

An extract of the proposed ground floor, first floor plan and elevations are provided to the right and in **Appendix B**.

Vehicle access to the site is via an existing concrete crossover along the northern boundary directly from Lakeview Drive. The driveway will be extended to the proposed dwelling.

The proposed dwelling will connect to all available services including reticulated water, sewerage, electricity, telecommunications and the existing road network. The title is affected by a Section 173 Agreement that provides any dwelling must include a 5,000 litre water tank, the proposed water tank will be located along the western wall.

Drainage from the proposed development will be directed to the water tank in the first instance with overflow directed to the legal point of discharge to the satisfaction of the responsible authority.

The proposal requires earthworks that will exceed 1 metre in depth. A Geotechnical Risk Assessment waiver is contained in **Appendix C**. No vegetation is required to be removed to facilitate the development of a dwelling.



Figure 4 – Illustrative Image of Proposal – JG King Homes Design

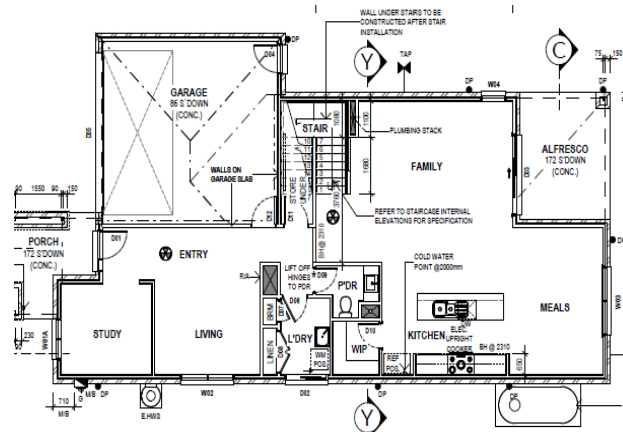


Figure 3 – Ground Floor Plan – JG King Homes Design

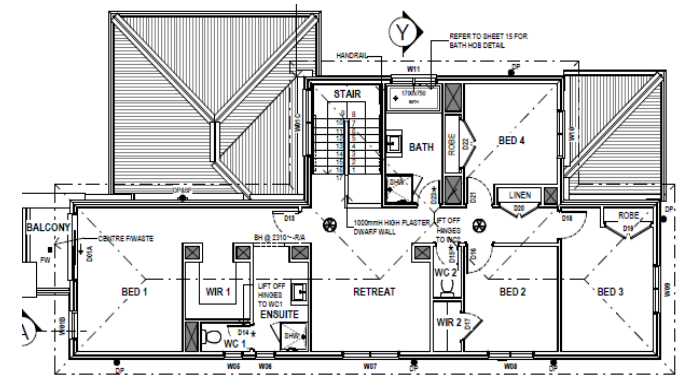


Figure 5 – First Floor Plan – JG King Homes Design

4. ZONES AND OVERLAYS

General Residential Zone - Schedule 1

The purpose of the General Residential Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

An extract of the General Residential Zone Map is provided in **Figure 6**.

A permit is not required for the use and development of one dwelling on a lot under the provisions of the General Residential Zone.

Clause 32.08-4 provides the minimum garden area for an allotment between 500 and 650m² is 30%. The proposal exceeds the minimum requirement.

As such a permit is not required under the provisions of the General Residential Zone, this is not addressed further.

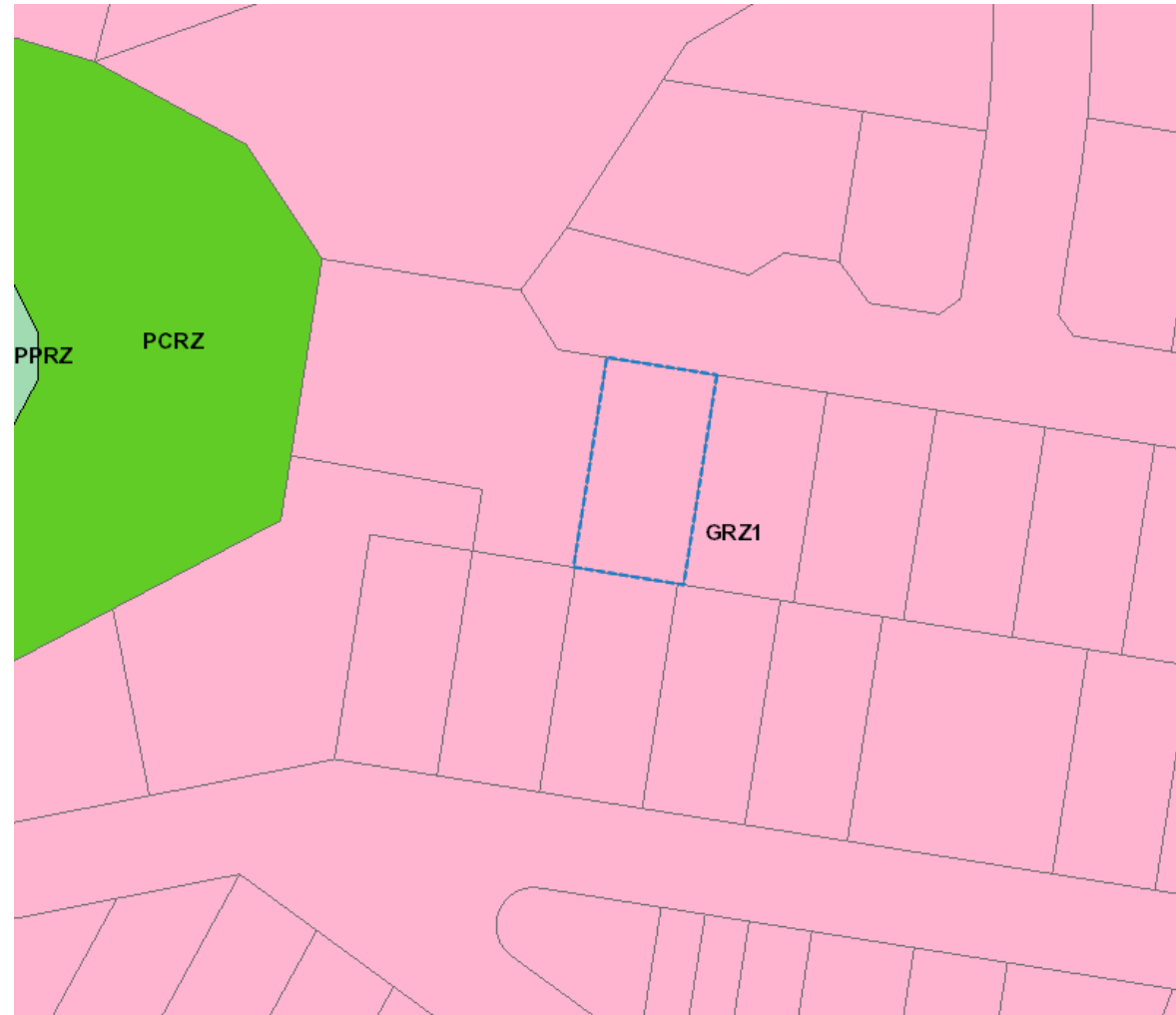


Figure 6 – General Residential Zone – (source - mapshare.vic.gov.au)

Design and Development Overlay – Schedule 13

The purpose of the Design and Development Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

An extract of the Design and Development Overlay Map is provided in **Figure 7**.

Clause 43.02-2 provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is not required other than for a building with a height greater than 7.5 metres, total building area exceeding 300 square metres and building sites where land is greater than 15 percent.

The proposed dwelling will exceed 7.5 metres high from natural ground surface, the slope of land does not exceed 15 percent, and the total building footprint will not exceed 300m² as such a permit is required due to the height of the proposed dwelling. The relevant decision guidelines are addressed in Section 5 of this submission.

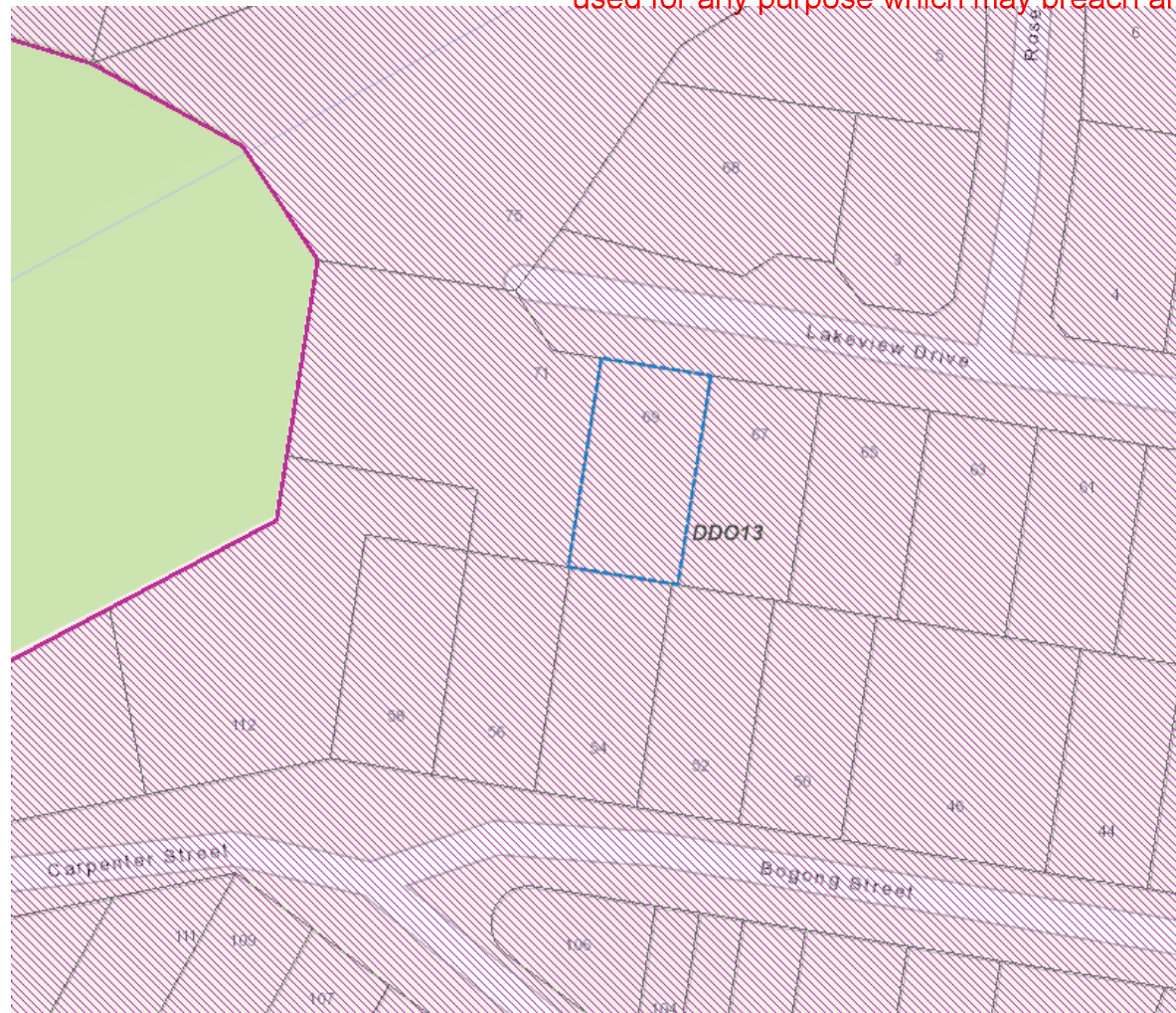


Figure 7 – Design and Development Overlay – (source - mapshare.vic.gov.au)

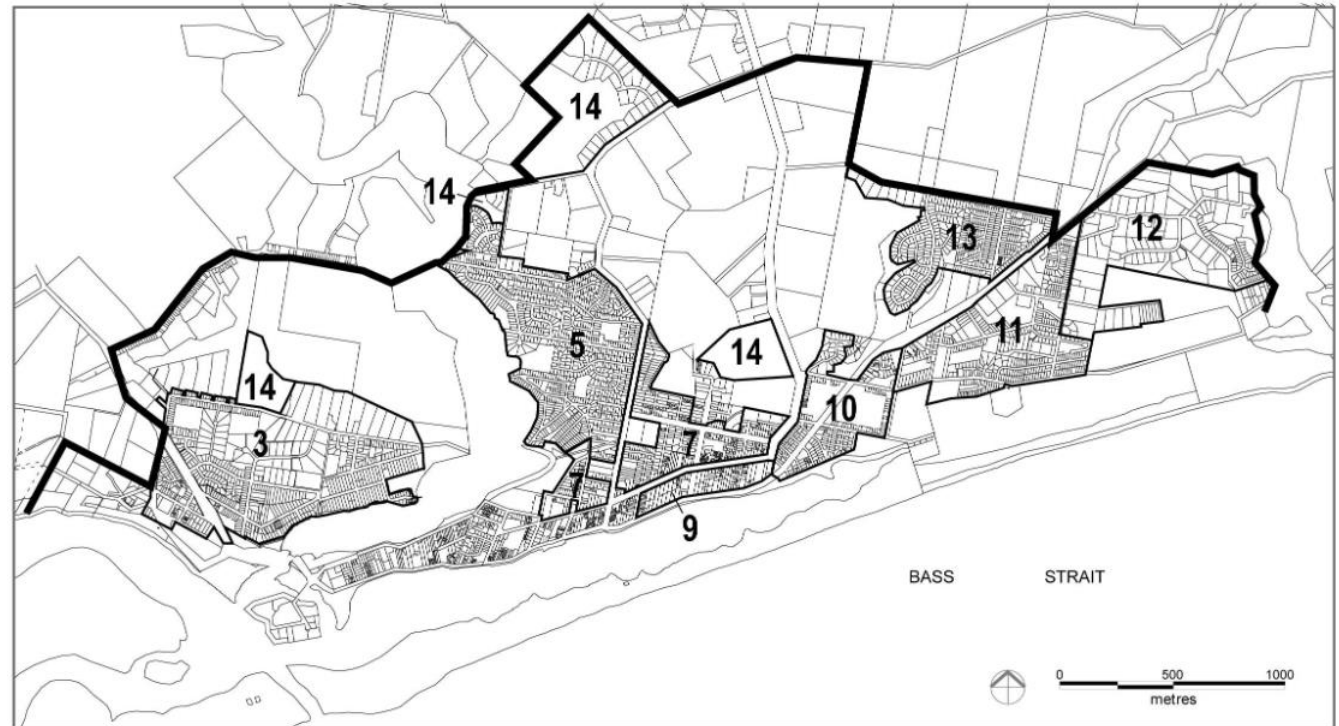
Design and Development Overlay – Schedule 13 continued:

The design objectives of the Schedule include:

- To protect and manage the township character of coastal settlements.
- To ensure that the height and visual bulk of new development is compatible with the coastal neighbourhood setting.
- To ensure that new development is designed to minimise visual impacts on the natural landscape.
- To ensure that new development is visually and physically integrated with the site and surrounding landscape.
- To ensure that new development is sited and designed to be visually unobtrusive through and above the surrounding tree canopy when viewed from the public realm, lakes, coastal areas, or other distant viewpoints.
- To protect the vegetated character of the landscape, particularly where it is a dominant visual and environmental feature.
- To maintain the generally small mass of buildings in the landscape.

Northern residential (area 5)

- To encourage the visual enhancement of private land facing the North Arm with natural landscaping.



1 Character Areas
 Settlement Boundary

Figure 8– Map 1 to Schedule to Clause 42.03 – (source – East Gippsland Planning Scheme)

Erosion Management Overlay

The purpose of the Erosion Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.

An extract of the Erosion Management Overlay Map is provided in **Figure 9**.

Clause 44.01-2 provides a permit is required to construct a building or construct or carry out works. The schedule provides a permit is not required for the development of a dwelling however is required for earthworks that exceed 1 metre in depth. The proposed earthworks will exceed 1 metre in depth and as such the relevant decision guidelines are addressed in Section 5.

A Geotechnical Risk Assessment Waiver is provided in **Appendix C**.



Figure 9 – Erosion Management Overlay – (source - mapshare.vic.gov.au)

Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is recognised as being partially within an area of Aboriginal Cultural Heritage Sensitivity.

The development of a dwelling is an exempt activity, and as such a Cultural Heritage Management Plan is not required.

An extract of the Aboriginal Cultural Heritage Map is provided to the right in **Figure 10**.

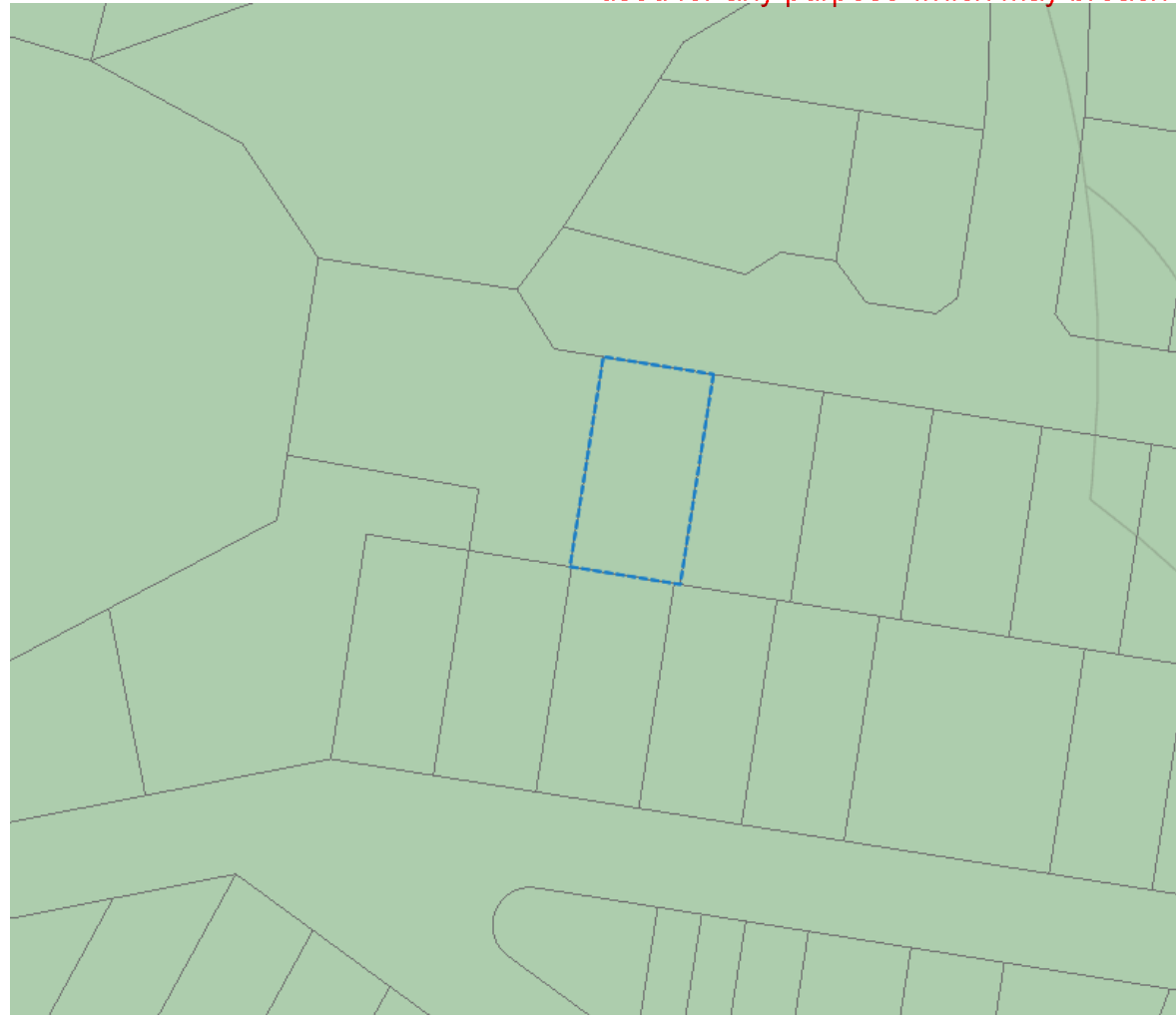


Figure 10 – Aboriginal Cultural Heritage Map – (source - mapshare.vic.gov.au)

5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed development is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate residential dwelling that can be respectful of the existing surrounding development and the environment.
- The proposal will contribute to a high standard of environmental sustainability, urban design and amenity by designing a dwelling to meet the constraints of the land reducing any potential negative environmental implications as sought to achieve by the relevant clauses including **Clause 02.03** and **Clause 11**.
- **Clause 02.03-1** identifies Lakes Entrance as a growth area town. The proposed dwelling will connect to all available services and infrastructure including reticulated water, sewerage, electricity, telecommunications and a good quality road network. A 5,000 litre rainwater tank will installed along the western wall of the proposed dwelling and will be used as the primary water source for flushing toilets, laundry services and be

connected to an external tap for garden irrigation as required by the Section 173 Agreement registered on title as AV789562X. Drainage from the proposed development will be directed to the water tank in the first instance with overflow directed to the legal point of discharge to the satisfaction of the responsible authority.

- **Clause 13.04-25** requires consideration of erosion and landslip. The subject site and proposed development are within an area identified as being susceptible to erosion. The proposed earthworks associated with the development will exceed 1 metre in depth. All preventative measures will be undertaken during the construction phase of the proposed development to ensure no erosion hazards occur.
- The proposal meets the objectives of **Clause 16** by providing an additional dwelling within a newly subdivided area that will in turn support housing for the community.
- The proposal is consistent with the decision guidelines of the Design and Development Overlay at **Clause 43.02-6** which seeks to identify areas which are affected by specific requirements relating to the design and built form of new development.
- The proposed dwelling will result in an appropriate development that will be used for residential purposes. The proposed

development will be located in the northwestern portion of the site and will have appropriate setbacks from all boundaries.

- The subject site and proposed development are well setback from the nearby waterway to the west of the site being North Arm. The proposed development will be visible from the water however will not be visually displeasing, excessive in height or bulk.
- The proposed colours of the dwelling have been selected to ensure the development is not visually obtrusive and will be well integrated with the surrounding development and environment. A full colour and finished material schedule are contained in **Appendix D**. The proposed colours are low reflective and muted in toning.
- Given the area is part of a recent subdivision there are no dwellings immediately adjoining the eastern and western boundaries. The broader landscape contains dwellings and associated buildings of various styles and heights.
- **Schedule 13** refers to residential development in coastal settlements – Lakes Entrance. The subject site is located in area 5 which seeks to encourage the visual enhancement of private land facing the North Arm with natural landscaping.

- The proposed development will be visually pleasing and integrate with the broader landscape, a full colour and material schedule is provided in **Appendix D** and within the proposed development plans. The height of the proposed dwelling will be below the prevailing tree canopy of trees surrounding the site, predominantly to the west being within the foreshore reserve. The proposed dwelling is unlikely to be visually obtrusive when viewed from the public realm particularly given the sloping nature of the site, existing surrounding development and topography of the area. The proposed new dwelling will be suitably screened by the existing vegetation within the public area surrounding the North Arm waterway.
- The proposal is consistent with the decision guidelines of the Erosion Management Overlay at **Clause 44.01** which seeks to protect areas prone to erosion, landslip, other land degradation.
- The proposal requires earthworks that will exceed 1 metre in depth as indicated on the proposed development plans. Disturbed ground will be appropriately battered and retained with structures to prevent erosion hazards.
- Access is existing along the northern boundary, directly from Lakeview Drive and will be extended to the location of the proposed dwelling.
- The site is identified as being susceptible to erosion hazards. A Geotechnical Risk Assessment waiver is contained in **Appendix C** that concludes the risks associated with erosion can be reduced to an acceptable level.
- No vegetation removal is required to facilitate the proposed development.
- This submission has addressed the decision guidelines of **Clause 65**, and the proposed development supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
- Access to the site is existing and will be extended as indicated on the proposed development plans, there will be no negative impact on the existing road network. The increased traffic as a result of the proposal is unlikely to generate any negative impact on the existing road network.
- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.

6. CONCLUSION

This submission is in support of a planning permit application for the development of a dwelling and associated earthworks at 69 Lakeview Drive, Lakes Entrance.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposed development is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Design and Development Overlay and the Erosion Management Overlay.
- The erosion risks can be reduced to an acceptable level.
- The design of the proposed dwelling complements the surrounding development and integrates with the character of the area.

It is requested that a planning permit be granted for this development.

Development Solutions Victoria

Disclaimer:

This document has been prepared for planning permit application purposes only. The report has been made with careful consideration and with the best information available to Development Solutions Victoria Pty Ltd at the time.

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Colour Selection

Complete colour, fittings and tile selection document

ADVERTISED

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Job Number:	2404TRA160	Contact:	Mr Joshua Mathew
Client Name:	Mr Joshua Mathew & Mrs Moncy Joshua	Phone (H):	(W):
Job Address:	Lot 8, 69 Lakeview Drive LAKES ENTRANCE VIC 3909	Phone (M):	
House Package:	Commander 285 UP Collection 2019 Inclusions Granada	Administrator:	Emily Sangster
Document:	1	Consultant:	Sales Estimator
Raised By:	Sales Estimator	Prepared:	2/07/24
		Status:	Final

Item	Selection Level 1	Selection Level 2	Selection Level 3
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External Materials and Fixtures Selection

External Materials and Fixtures

Natural Clay Bricks	Note:	Variations in colour, texture and size can occur due to natural characteristics of clay products.	Whilst every effort is made to provide samples consistent with products to site, they should be viewed as a guide only.	Please visit the brick manufacture Disclaimer for more details.		
Bricks including window sills	Manufacturer	Selkirk	Category	Category 1	Colour	Ironstone
Mortar Joints			Style	Rolled	Colour	Natural
Roof - Colorbond					Colour	Wallaby
Colorbond Fascia					Colour	Wallaby
Colorbond Gutter					Colour	Wallaby
Downpipes (on Brick)			Material	Colourbond 100mm x 50mm		Wallaby
Whirlybird Roof Ventilator					Colour	Wallaby
uPVC Windows/Doors/Flycreens				All Windows		Traffic White (Handle Colour - White)
Front Door (standard)	Selection	Vaucluse XV10			Glazing	No Glazing
Front Door Sidelite	Selection	JGK Standard			Glazing	Clear Glazing (standard)
Laundry Door	Selection	Sliding door			Glazing	Clear Glazing (standard)
Garage PA Door	Selection	Flush Panel Door		No Glazing		
Garage Door - Front	Type	Steel-Line Textured (standard range)	Profiles	Slimline Textured	Colour	Wallaby
Water Tank (optional upgrade)					Colour	Wallaby (Colorbond® steel)

Colour Selection

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House Package: Commander 285 UP Collection 2019 Inclusions Granada
Contact: Mr Joshua Mathew
Phone (H): **(W):**
Phone (M):
Administrator: Emily Sangster
Consultant: Sales Estimator

Item	Selection Level 1	Selection Level 2	Selection Level 3
------	-------------------	-------------------	-------------------

External Paint Selection

External Paint

Front Door Colour	Note:	If a dark paint colour is selected		the manufacturer's warranty is voided.	
Front Door (Outside of Door)			Finish	Painted Ext door - Haymes Elite High Gloss Acrylic	Colour Pale Mushroom 5
Front Door Entry Frame & Sidelite			Finish	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	Colour Pale Mushroom 5
Laundry Door & Frame			Finish	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	Colour Pale Mushroom 5
Garage Access Door & Frame			Finish	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	Colour Pale Mushroom 5
Porch lining/Eaves & Alfresco (if applicable)			Finish	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	Colour JGK White
Infill - Garage (FC Sheet or Other)			Finish	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	Colour Wallaby
Render 1 (if applicable)	Applies to	As per plans	Finish	Painted	Colour Pale Mushroom 5
Render 2 (if applicable)	Applies to	As per plans	Finish	Painted	Colour Surfsmist
Meter Box			Finish	Painted Infill/ Eaves & Doors - Haymes Ultra Premium Low Sheen Solashield	Colour Wallaby

Colour Selection

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House Package: Commander 285 UP Collection 2019 Inclusions Granada

Contact: Mr Joshua Mathew
Phone (H): **(W):**
Phone (M):
Administrator: Emily Sangster
Consultant: Sales Estimator

Item	Selection Level 1	Selection Level 2	Selection Level 3
------	-------------------	-------------------	-------------------

Internal Paint Selection

Internal Paint

All rooms - Walls	Finish	Painted Walls - Haymes Elite Interior Low Sheen Acrylic	Colour	Aura
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All rooms - Ceilings	Finish	Painted Ceilings - Haymes Elite Ceiling Finish	Colour	JGK White
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Woodwork

Skirting/Architraves	Finish	Painted Woodwork - Haymes Ultratrim Acrylic High Gloss	Colour	Aura
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Front Entry Frame & Sidelite	Finish	Painted Woodwork - Haymes Ultratrim Acrylic High Gloss	Colour	Aura
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Front Door (Inside of Door)	Finish	Painted Woodwork - Haymes Ultratrim Acrylic High Gloss	Colour	Aura
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Internal Doors	Finish	Painted Woodwork - Haymes Ultratrim Acrylic High Gloss	Colour	Aura
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Colour Selection

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House Package: Commander 285 UP Collection 2019 Inclusions Granada

Contact: Mr Joshua Mathew
Phone (H): (M)
Phone (M): (M)
Administrator: Emily Sangster
Consultant: Sales Estimator

Item	Selection Level 1	Selection Level 2	Selection Level 3
------	-------------------	-------------------	-------------------

Internal Fitting Selection

Skirting/Architraves

Skirting/Architraves	Profile	Single Bevel (67mm x 15mm)
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Cornices

Cornices	Profile	55mm Cove
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Kitchen

Benchtop - Laminate	Type	Laminex Natural finish	Edge Profile	Square Edge (33mm thick)	Colour	Carrara Bianco
Base/Kicker & Island Cupboards	Type	Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Oyster Grey
Overhead Cupboards	Type	Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Planked Urban Oak
Cabinet Handles	Category	Category 1	Selection	Hettich - Urban Basic - UB21 - 96mm - (109.86.201)	Direction	Horizontal
Splashback - Glass (optional upgrade)	Type			Glass Splashback	Category & Colour	Category 1 - Juliette
Appliances					Colour	Stainless Steel
Sink					Colour	Stainless Steel
Tapware					Colour	Chrome

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Colour Selection

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Job Address: Lot 8, 69 Lakeview Drive LAKES ENTRANCE VIC 3909
House Package: Commander 285 UP Collection 2019 Inclusions Granada

Contact: Mr Joshua Mathew
Phone (H): (M)
Phone (M): (M)
Administrator: Emily Sangster
Consultant: Sales Estimator

Item	Selection Level 1		Selection Level 2		Selection Level 3	
Bathroom & Ensuite						
Benchtop - Laminate	Type	Laminex Natural finish	Edge Profile	Square Edge (33mm thick)	Colour	Carrara Bianco
Cabinet Panels & Kicker	Type	Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Planked Urban Oak
Cabinet Handles	Category	Category 1	Selection	Hettich - Urban Basic - UB21 - 96mm - (109.86.201)	Direction	Horizontal
Vanity Basins			Selection	Square	Colour	White
Basin Waste					Selection	Basin - Chrome Pop Up (Push Plug)
Bath			Selection	Bath	Colour	White
Bath Waste					Selection	Bath - Chrome Waste & Black rubber plug
Shower Base - Polymarble/Composite (standard)			Type/Style		Drain/Waste Colour	Polymarble/Composite Base (white only)
Shower Frame			Frame Type	Semi-Framed screen 2m high including pivot door	Frame Colour	Polished Silver
Shower Glass					Selection	Clear Glass (standard)
Mirror			Selection	Frameless 4mm Mirror	Edging/Colour	Polished Arris edge
Towel Rail					Colour	Chrome
Tapware					Colour	Chrome
Toilet Suite					Colour	White
Toilet Roll Holder					Colour	Chrome
Window Glass					Glazing Type	As per plans
Powder room						
Benchtop - Laminate	Type	Laminex Laminate	Edge Profile	Square Edge (33mm thick)	Colour	Carrara Bianco
Cabinet Panels & Kicker	Type	Laminex Natural finish	Edge/Door Profile	Flat Face - Square Edge	Colour	Planked Urban Oak
Cabinet Handles	Category	Category 1	Selection	Hettich - Urban Basic - UB21 - 96mm - (109.86.201)	Direction	Horizontal
Vanity Basins			Selection	Square	Colour	White
Basin Waste					Selection	Basin - Chrome Pop Up (Push Plug)
Mirror			Selection	Frameless 4mm Mirror	Edging/Colour	Polished Arris edge
Towel Rail					Colour	Chrome
Tapware					Colour	Chrome
Window Glass					Glazing Type	As per plans

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Colour Selection

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Job Address: Lot 8, 69 Lakeview Drive LAKES ENTRANCE VIC 3909
House Package: Commander 285 UP Collection 2019 Inclusions Granada

Contact: Mr Joshua Mathew
Phone (H): (M)
Phone (M): (M)
Administrator: Emily Sangster
Consultant: Sales Estimator

Item	Selection Level 1	Selection Level 2	Selection Level 3
Separate Toilet option (where applicable)			
Toilet Suite			Colour White
Toilet Roll Holder			Colour Chrome
Window Glass			Glazing Type As per plans
Laundry			
Trough & Cabinet (standard)	Type	Trough & Cabinet	Colour White cabinet & stainless steel trough
Splashback - Tiled	Type	Tiled Splashback	Category & Colour Tiled - Refer tile selection
Tapware			Colour Chrome
Door Furniture - External			
Front Entry Door	Manufacturer	Lockwood Symmetry Manor knob lockset	Handle Type Round Knob Colour/Finish Polished Stainless Steel
Laundry Door - Hinged	Manufacturer	Lockwood Symmetry Manor knob lockset	Handle Type Round Knob Colour/Finish Polished Stainless Steel
Garage Door - Hinged	Manufacturer	Lockwood Symmetry Manor knob lockset	Handle Type Round Knob Colour/Finish Polished Stainless Steel
Door Furniture - Internal			
Internal Door Furniture	Manufacturer	Lockwood Large Round Rose (63mm)	Handle Type Element (#L3) handle Colour/Finish Chrome Plate
Robe/Linen Door Furniture (where applicable)	Manufacture	Lockwood Large Round Rose (63mm)	Handle Type Element (#L3) handle Colour/Finish Chrome Plate
Internal Doors			
Internal Doors			Selection Flush Panel (standard)
Linen Doors	Hinged/Sliding	Hinged - Flush Panel Doors	Colour/Style Hinged Doors - Painted
Robe Doors	Hinged/Sliding	Hinged - Flush Panel Doors	Colour/Style Hinged Doors - Painted
Window Covering			
Staircase			
Staircase - Internal	Style/Type	Carpet Treads - All	Finish Stairs - Carpet only Colour Refer flooring section
Staircase Handrail - Internal			Handrail Type Pine No. 8 (standard) Colour/Finish Painted finish

Colour Selection

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House Package: Commander 285 UP Collection 2019 Inclusions Granada **Administrator:** Emily Sangster
Consultant: Sales Estimator

Item	Selection Level 1	Selection Level 2	Selection Level 3
------	-------------------	-------------------	-------------------

Floor and Wall Covering

Kitchen

Wall Tiles	Orientation	Horizontal Brickbond	Colour & Size	United White Satin (100x300mm) #1001983	Grout Colour	Misty Grey #241
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Bathroom

Wall Tiles	Orientation	Horizontal Stackbond	Colour & Size	Connect Pumice Textured (400x400mm) #1253287	Grout Colour	Misty Grey #241
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Floor Tiles & Skirting Tiles	Colour & Size	Connect Pumice Textured (400x400mm) #1253287	Grout Colour	Misty Grey #241
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Bath Hob Tiles	Colour & Size	Connect Pumice Textured (400x400mm) #1253287	Grout Colour	Misty Grey #241
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Ensuite

Wall Tiles	Orientation	Horizontal Stackbond	Colour & Size	Connect Pumice Textured (400x400mm) #1253287	Grout Colour	Misty Grey #241
------------	-------------	-------------------------	---------------	---	--------------	-----------------

Floor Tiles & Skirting Tiles	Colour & Size	Connect Pumice Textured (400x400mm) #1253287	Grout Colour	Misty Grey #241
------------------------------	---------------	---	--------------	-----------------

Powder room

Wall Tiles	Orientation	Horizontal Stackbond	Colour & Size	Connect Pumice Textured (400x400mm) #1253287	Grout Colour	Misty Grey #241
------------	-------------	-------------------------	---------------	---	--------------	-----------------

Floor Tiles	Colour & Size	Connect Pumice Textured (400x400mm) #1253287	Grout Colour	Misty Grey #241
-------------	---------------	---	--------------	-----------------

Laundry

Wall Tiles	Orientation	Horizontal Brickbond	Colour & Size	United White Satin (100x300mm) #1001983	Grout Colour	Misty Grey #241
------------	-------------	-------------------------	---------------	--	--------------	-----------------

Floor Tiles & Skirting Tiles	Colour & Size	Connect Pumice Textured (400x400mm) #1253287	Grout Colour	Misty Grey #241
------------------------------	---------------	---	--------------	-----------------

Flooring - Tiles (optional upgrade)

Flooring - Carpet (optional upgrade)

Carpet (upgrade 2)	Category	Category 3	Selection	NOTUS (Classic City / Noranda Avenue)	Colour	Slate Grey 19/-
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Carpet Underlay (when carpet selected)	Category	Category 1 (standard with carpet)
--	----------	-----------------------------------

Client 1 Initial /

Client 2 Initial /

Colour Selection

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Contact: Mr Joshua Mathew
Phone (H): _____
Phone (M): _____
Administrator: Emily Sangster
Consultant: Sales Estimator

Item	Selection Level 1	Selection Level 2	Selection Level 3
------	-------------------	-------------------	-------------------

Flooring - Laminate (optional upgrade)

Vinyl Plank Flooring	Category	Category 1	Selection	Vinyl - Regent 1200	Colour	Georgetown 545/-
Floating floor	Note:	Client is aware that expansion joints are required,		Quad trim & expansion joints color matched to floor as close as practicable by flooring supplier/installer.		Floating floor information/customer awareness.

Landscaping

Concrete Paving

Driveway	Type	Plain	Colour	Natural
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Letterbox

Freestanding Letterbox (metal post)	Type	Freestanding "Hilltop"	Post	Heavy Duty Standard Post	Colour	Powder coated Black
-------------------------------------	------	------------------------	------	--------------------------	--------	---------------------

Clothesline

Clothesline	Installation	As per plans	Type	As per contract	Colour	Woodland Grey
-------------	--------------	--------------	------	-----------------	--------	---------------

Please sign and date to indicate that the information is correct and that you have read and understood this document.

BO 1 Signature _____ Date _____
 BO 2 Signature _____ Date _____
 Builder Signature _____ Date _____
 Checked By _____ Date _____

(Amendments permitted by authorised J G King Eastern Corridor decorators only)

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SITING INFORMATION		
SITE AREA 615 M ²	BUILDING AREA 176.64 M ²	SITE COVERAGE 28.72 %
PLANTING AREA 42.25 M ²	BDD GRASS AREA 218.89 M ²	PERMEABILITY 64.41 %
GARDEN AREA 595.92 M ²	GARDEN PER 64.38 %	POS 324.20 M ²

HOUSE INFORMATION	
SITE CUT & FILL RL :	101.460M
HOUSE FFL	GARAGE FFL
101.875M	101.789M
SLAB TYPE	SLAB HEIGHT
WAFFLE	415mm

SITE CUT & FILL INFORMATION

PROVIDE SITE CUT OF 1640 mm AND FILL OF 1260 mm OVER BUILDING PLATFORM

PROVIDE AN ADDITIONAL SITE SCAPE OF 86 mm TO GARAGE AREA TO SUIT A 86 mm STEPDOWN

BATTERS ARE TO BE PROVIDED AT A 45 ° ANGLE CUT AND 30 ° ANGLE FILL

IF SITE CUT IS GREATER THAN 300mm RISER PIPES ARE TO BE PROVIDED AND CONNECTED TO STORMWATER

WHERE RETAINING WALLS ARE REQUIRED, AG DRAINS TO BE CONNECTED TO STORMWATER VIA SILT PITS

GENERAL NOTES

TERMITE TREATMENT REQUIRED
PROVIDE TERMITE TREATMENT IN ACCORDANCE WITH AS 3660

BOUNDARY FENCE(S) REQUIRED
OWNER TO PROVIDE PERIMETER FENCING TO A MINIMUM HEIGHT OF 1800MM TO ANY UNFENCED BOUNDARIES PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY PERMIT

BUSHFIRE ATTACK LEVEL (BAL)

BAL NIL

ALL HOMES TO COMPLY WITH AS 3959-2018 (BAL)

WIND SPEED INFORMATION

THE MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: **N2-40 m/s**

THE WIND SPEED CALCULATION IS HAS BEEN TAKEN FROM THE JOBSITE SPECIFIC SOIL REPORT

OUR STANDARD HOMES ARE DESIGNED TO SUIT A WIND GUST SPEED OF 33 m/s

SITE DRAINAGE INFORMATION

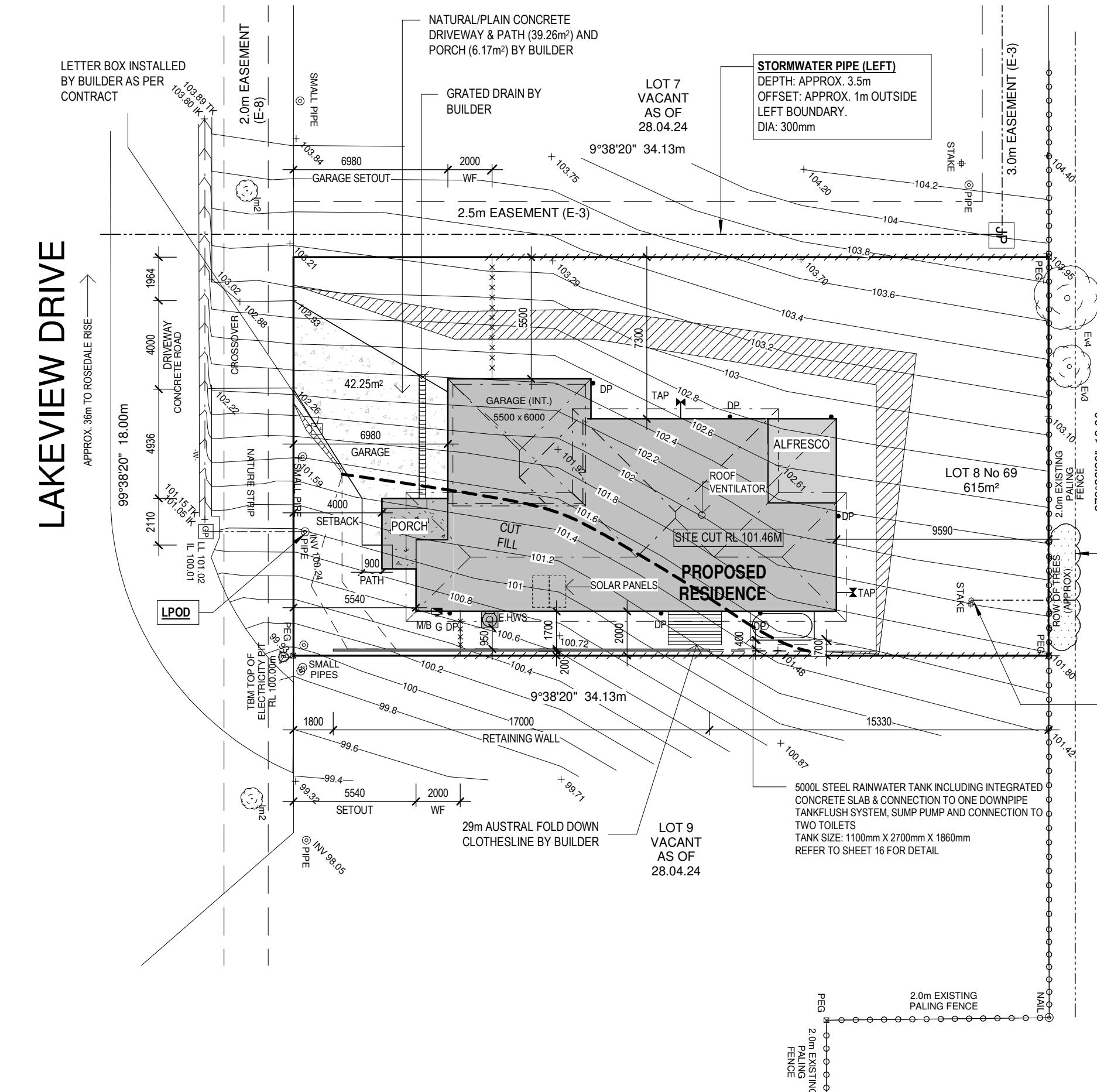
SITE DRAINAGE MUST COMPLY WITH NCC 3.1.2 DRAINAGE AND AS 3500 - 3-2021 PLUMBING AND DRAINAGE

GRADE ALL SURFACES AWAY FROM FOOTINGS WITH A MIN 1:20 FALL

PROVIDE TEMPORARY DOWNPIPES CONNECTED TO STORMWATER AS SOON AS THE ROOF CLADDING IS COMPLETE. DURING CONSTRUCTION DOWNPIPES MAY BE REMOVED FOR OPERATION PROCEDURES

ALL STORMWATER DRAINS ARE TO BE CONNECTED TO THE NOMINATED LEGAL POINT OF DISCHARGE

REFER TO ENGINEERS DESIGN FOR STORMWATER DRAINAGE DESIGN AND LAYOUT



SEWER PIPE
DEPTH: APPROX. 1.6m
OFFSET: APPROX. 1.2m OUTSIDE REAR BOUNDARY. TBC ON SITE
DIA: 150mm

SEWER TIE
LOCATION: APPROX. 2.5m FROM RIGHT OF REAR BOUNDARY
LENGTH: APPROX. 4.7m
DEPTH: APPROX. 1.2m

5000L STEEL RAINWATER TANK INCLUDING INTEGRATED CONCRETE SLAB & CONNECTION TO ONE DOWNPIPE TANKFLUSH SYSTEM, SUMP PUMP AND CONNECTION TO TWO TOILETS
TANK SIZE: 1100mm X 2700mm X 1860mm
REFER TO SHEET 16 FOR DETAIL

EXISTING HOUSE DOUBLE STOREY MORE THAN 9m AWAY

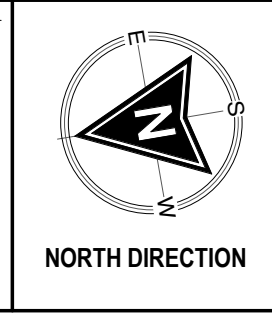
SURVEY LEGEND

⊙	SEWER MANHOLE	⊕	WATER TAP
⊚	ELECTRICITY PIT	⊖	WATER METER
⊚	ELECTRICITY CABINET	⚡	POWER POLE
⊚	TBM	⚡	P.S.M.
⊚	WATER VALVE	⊕	FIRE HYDRANT
⊚	LIGHTPOLE	⊕	FIRE PLUG
⊚	GRATED PIT	⊕	SEWER VENT
⊚	SIDE ENTRY PIT	⊕	SEWER INSPECTION SHAFT
⊚	JUNCTION PIT	⊕	SIGN
⊚	UNKNOWN PIT	⊕	GAS VALVE
⊚	TELSTRA PIT	⊕	EVERGREEN TREE
⊚	GAS METER	⊕	HEIGHT 5m
		⊕	SPREAD 3m

LEGEND

---	PROPOSED FENCE
---X---	PROPOSED WING FENCE
---	PROPOSED FRONT FENCE
○	EXISTING FENCE
---	REFER TO FENCES NOTE FOR HEIGHT & MATERIAL SPECIFICATIONS
---	100mm DIA. UPVC SEWER PIPE
⊕	METER BOX POSITION
⊕	EXTERNAL TAP

NOTE: 1 x EXTERNAL TAP TO BE WALL MOUNTED BY BUILDER. 1 x EXTERNAL TAP LOCATED NEXT TO WATER METER (LOCATION TBC)



CLIENT ACKNOWLEDGEMENT

I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.

CLIENT 1: _____ DATE 1: _____

CLIENT 2: _____ DATE 2: _____

JGK BUILDER: _____ DATE 3: _____

SHEET TITLE

SITE PLAN

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 200** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS

JG KING HOMES

UP COLLECTION

154 ARGYLE STREET, TRARALGON, VIC 3844
T(03) 5175 5555

CLIENT: **JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

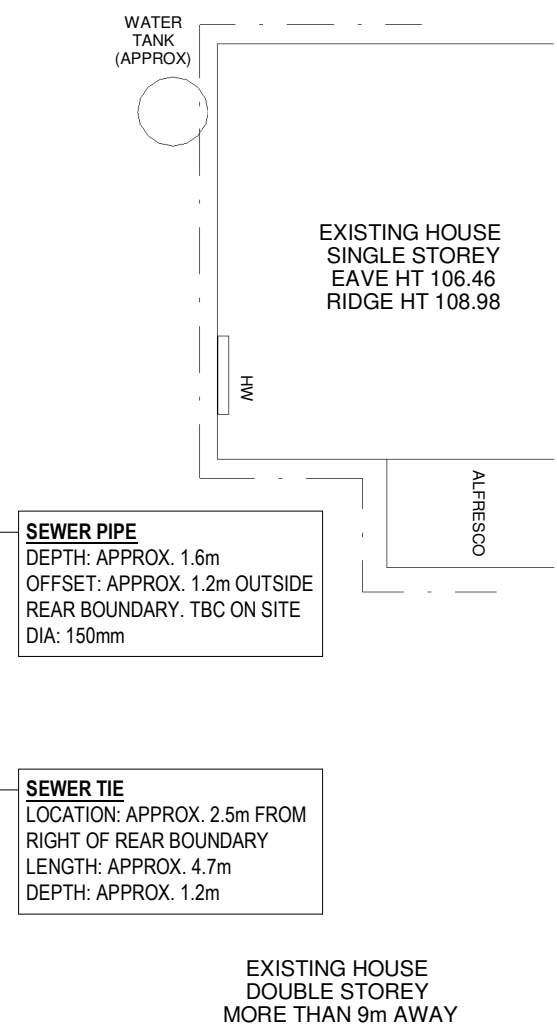
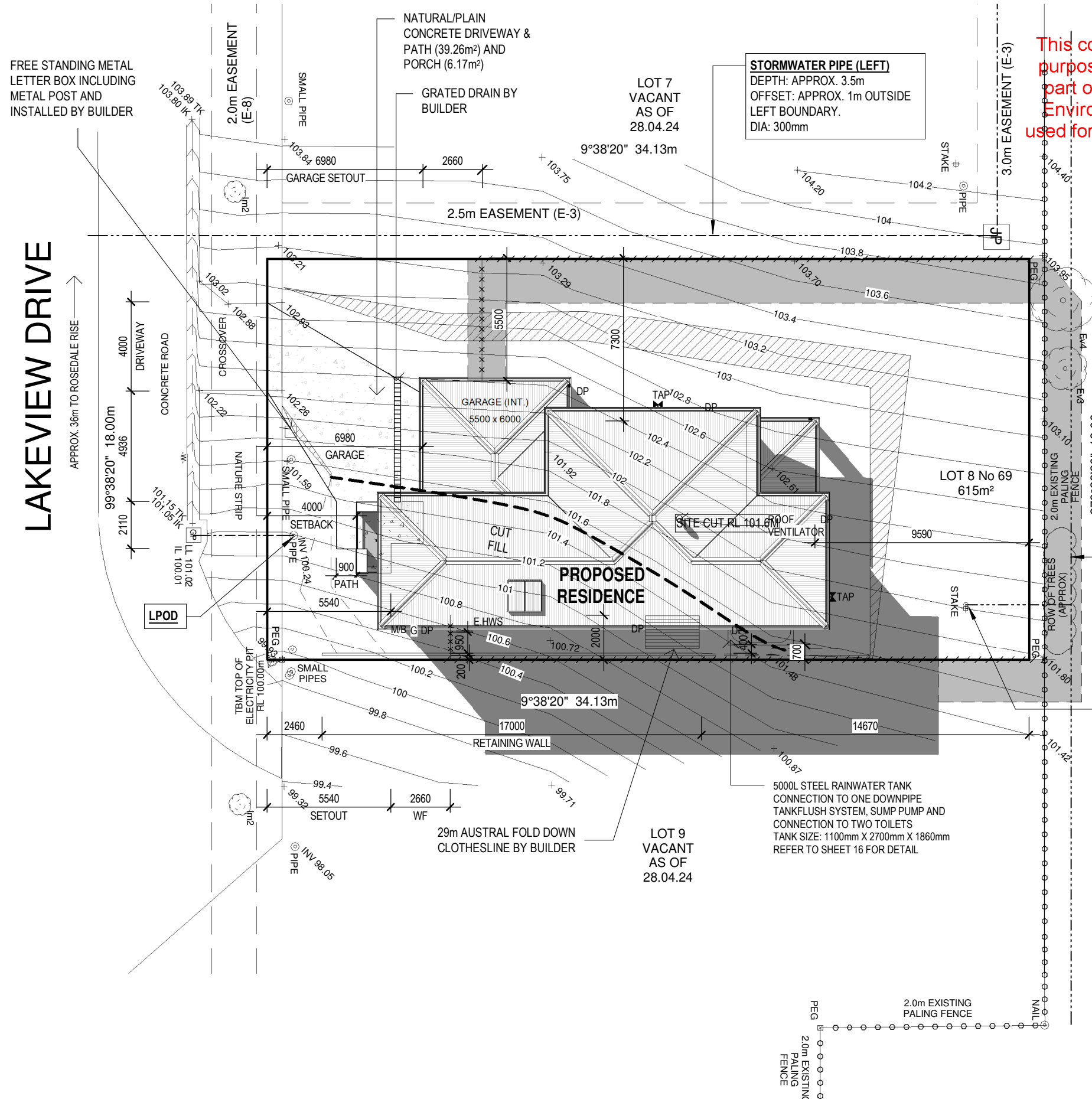
JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

DRAWN: **M-01** PROJECT STAGE: **CONTRACT**

CHECKED: **AM** PROJECT STAGE: **CONTRACT**

MASTER RELEASE DATE: **29/05/2024** SHEET NO: **42** TOTAL NO: **30**

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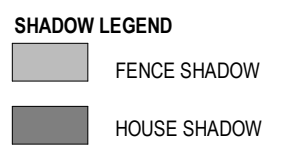


SEWER PIPE
DEPTH: APPROX. 1.6m
OFFSET: APPROX. 1.2m OUTSIDE REAR BOUNDARY. TBC ON SITE
DIA: 150mm

SEWER TIE
LOCATION: APPROX. 2.5m FROM RIGHT OF REAR BOUNDARY
LENGTH: APPROX. 4.7m
DEPTH: APPROX. 1.2m

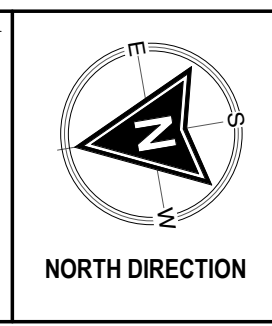
STORMWATER PIPE (LEFT)
DEPTH: APPROX. 3.5m
OFFSET: APPROX. 1m OUTSIDE LEFT BOUNDARY.
DIA: 300mm

5000L STEEL RAINWATER TANK CONNECTION TO ONE DOWNPIPE TANKFLUSH SYSTEM, SUMP PUMP AND CONNECTION TO TWO TOILETS TANK SIZE: 1100mm X 2700mm X 1860mm REFER TO SHEET 16 FOR DETAIL



SURVEY LEGEND	
⊙	SEWER MANHOLE
⊕	ELECTRICITY PIT
⊞	ELECTRICITY CABINET
TBM	TBM
WV	WATER VALVE
LP	LIGHTPOLE
GP	GRADED PIT
SEP	SIDE ENTRY PIT
JP	JUNCTION PIT
UNK	UNKNOWN PIT
TEL	TELSTRA PIT
GM	GAS METER
WT	WATER TAP
WM	WATER METER
PP	POWER POLE
P.S.M.	P.S.M.
FH	FIRE HYDRANT
FP	FIRE PLUG
SV	SEWER VENT
IS	SEWER INSPECTION SHAFT
SIGN	SIGN
GV	GAS VALVE
ET	EVERGREEN TREE HEIGHT 5m SPREAD 3m

LEGEND	
---	PROPOSED FENCE
-X-X-X-	PROPOSED WING FENCE
---	PROPOSED FRONT FENCE
---	EXISTING FENCE
REFER TO FENCES NOTE FOR HEIGHT & MATERIAL SPECIFICATIONS	
---	100mm DIA. UPVC SEWER PIPE
MB	METER BOX POSITION
ET	EXTERNAL TAP



CLIENT ACKNOWLEDGEMENT

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CLIENT 1: _____ DATE 1: _____

CLIENT 2: _____ DATE 2: _____

JGK BUILDER: _____ DATE 3: _____

SHEET TITLE
9AM SHADOW PLAN

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **As indicated** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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JG KING HOMES 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555

UP COLLECTION

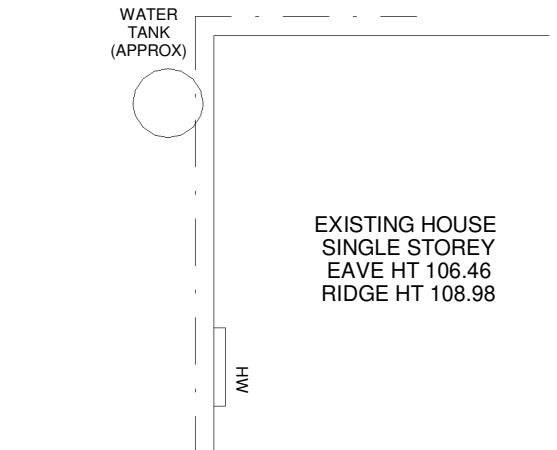
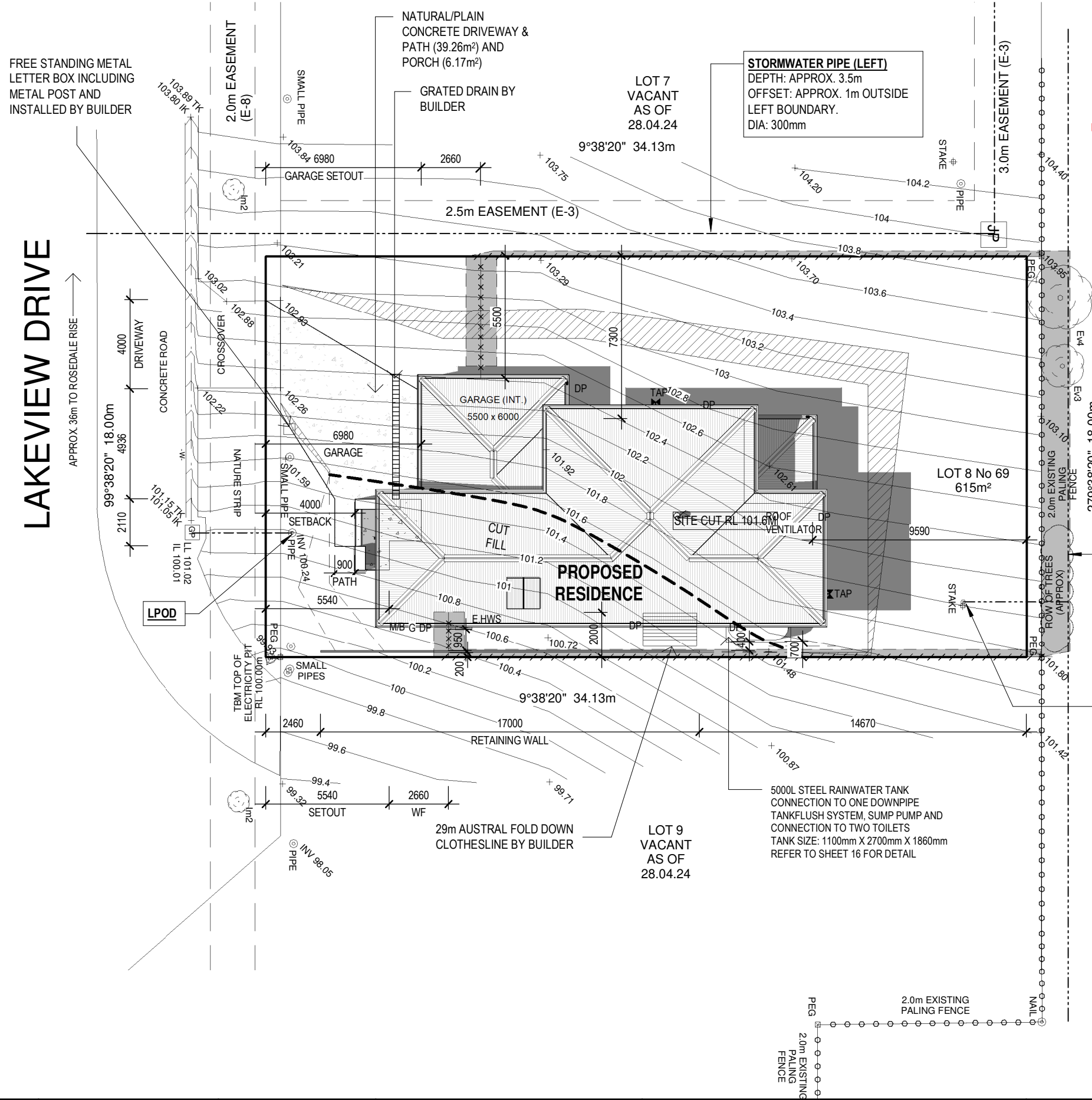
CLIENT JOSHUA MATHEW & MONCY JOSHUA	
ADDRESS LOT 8, NO.69 LAKEVIEW DRIVE	
SUBURB LAKES ENTRANCE VIC 3909	
JOB NO 2404TRA160	JOB DATE 06/06/2024
DRAWN M-01	CHECKED M-01
PROJECT STAGE CONTRACT	
MASTER RELEASE DATE 29/05/2024	TOTAL NO 30

Printed 18/12/2024
Page 57 of 84

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LAKEVIEW DRIVE



SEWER PIPE
DEPTH: APPROX. 1.6m
OFFSET: APPROX. 1.2m OUTSIDE REAR BOUNDARY. TBC ON SITE
DIA: 150mm

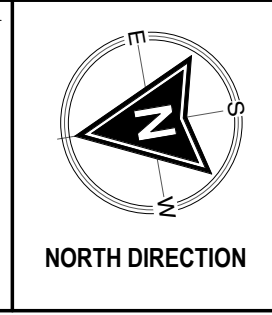
SEWER TIE
LOCATION: APPROX. 2.5m FROM RIGHT OF REAR BOUNDARY
LENGTH: APPROX. 4.7m
DEPTH: APPROX. 1.2m

EXISTING HOUSE DOUBLE STOREY MORE THAN 9m AWAY

SHADOW LEGEND
[Grey Box] FENCE SHADOW
[Dark Grey Box] HOUSE SHADOW

SURVEY LEGEND	
⊙	SEWER MANHOLE
⊕	ELECTRICITY PIT
⊞	ELECTRICITY CABINET
⊠	TBM
⊡	WATER VALVE
⊢	LIGHTPOLE
⊣	GRATED PIT
⊤	SIDE ENTRY PIT
⊥	JUNCTION PIT
⊦	UNKNOWN PIT
⊧	TELSTRA PIT
⊨	GAS METER
⊩	WATER TAP
⊪	WATER METER
⊫	POWER POLE
⊬	P.S.M.
⊭	FIRE HYDRANT
⊮	FIRE PLUG
⊯	SEWER VENT
⊰	SEWER INSPECTION SHAFT
⊱	SIGN
⊲	GAS VALVE
⊳	EVERGREEN TREE HEIGHT 5m SPREAD 3m

LEGEND	
---	PROPOSED FENCE
-x-x-x-	PROPOSED WING FENCE
---	PROPOSED FRONT FENCE
○	EXISTING FENCE
REFER TO FENCES NOTE FOR HEIGHT & MATERIAL SPECIFICATIONS	
---	100mm DIA. UPVC SEWER PIPE
⊞	METER BOX POSITION
⊞	EXTERNAL TAP



CLIENT ACKNOWLEDGEMENT
I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.

CLIENT 1: _____ DATE 1: _____
CLIENT 2: _____ DATE 2: _____
JGK BUILDER: _____ DATE 3: _____

SHEET TITLE
12PM SHADOW PLAN

HOUSE NAME: **COMMANDER 285** HAND: **LH**
FACADE NAME: **GRANADA**
SHEET SCALE: **As indicated** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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JG KING HOMES 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555

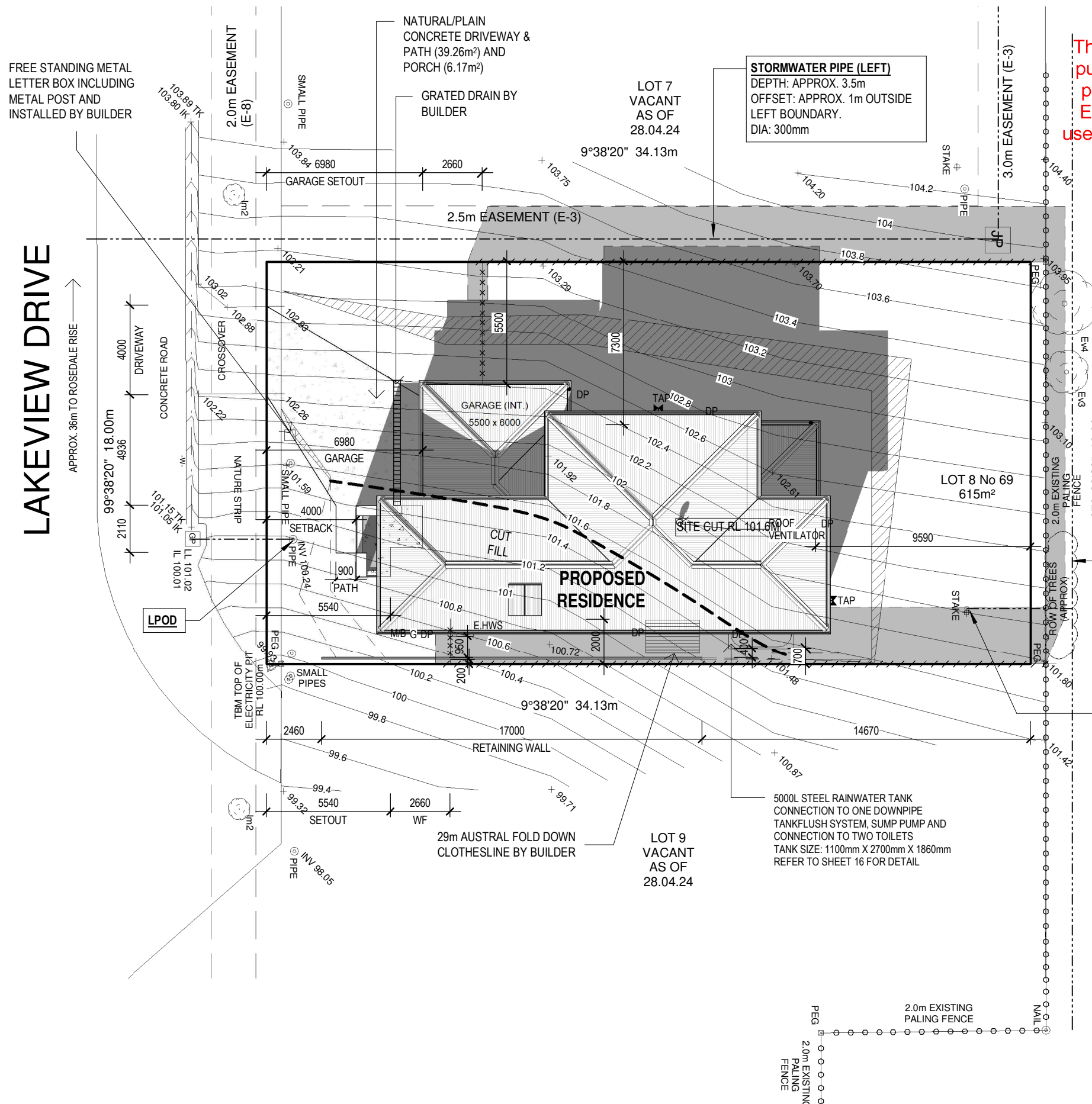
UP COLLECTION TRARALGON

CLIENT JOSHUA MATHEW & MONCY JOSHUA	
ADDRESS LOT 8, NO.69 LAKEVIEW DRIVE	
SUBURB LAKES ENTRANCE VIC 3909	
JOB NO 2404TRA160	JOB DATE 06/06/2024
DRAWN M-01	CHECKED M
MASTER RELEASE DATE 29/05/2024	PROJECT STAGE CONTRACT
SHEET NO 14	TOTAL NO 30

Printed 18/12/2024
Page 58 of 84

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SEWER PIPE
DEPTH: APPROX. 1.6m
OFFSET: APPROX. 1.2m OUTSIDE REAR BOUNDARY. TBC ON SITE
DIA: 150mm

SEWER TIE
LOCATION: APPROX. 2.5m FROM RIGHT OF REAR BOUNDARY
LENGTH: APPROX. 4.7m
DEPTH: APPROX. 1.2m

STORMWATER PIPE (LEFT)
DEPTH: APPROX. 3.5m
OFFSET: APPROX. 1m OUTSIDE LEFT BOUNDARY.
DIA: 300mm

5000L STEEL RAINWATER TANK CONNECTION TO ONE DOWNPIPE TANKFLUSH SYSTEM, SUMP PUMP AND CONNECTION TO TWO TOILETS
TANK SIZE: 1100mm X 2700mm X 1860mm
REFER TO SHEET 16 FOR DETAIL

SHADOW LEGEND
[Grey Box] FENCE SHADOW
[Dark Grey Box] HOUSE SHADOW

SURVEY LEGEND	
⊙	SEWER MANHOLE
⊕	ELECTRICITY PIT
⊞	ELECTRICITY CABINET
TBM	TBM
WV	WATER VALVE
GP	GRADED PIT
SEP	SIDE ENTRY PIT
JP	JUNCTION PIT
UNK	UNKNOWN PIT
⊗	TELSTRA PIT
⊖	GAS METER
⊕	WATER TAP
⊖	WATER METER
⊞	POWER POLE
P.S.M.	P.S.M.
⊕	FIRE HYDRANT
⊕	FIRE PLUG
⊕	SEWER VENT
⊕	SEWER INSPECTION SHAFT
⊕	SIGN
⊕	GAS VALVE
⊕	EVERGREEN TREE HEIGHT 5m SPREAD 3m

LEGEND	
---	PROPOSED FENCE
---X---	PROPOSED WING FENCE
---	PROPOSED FRONT FENCE
---	EXISTING FENCE
REFER TO FENCES NOTE FOR HEIGHT & MATERIAL SPECIFICATIONS	
---	100mm DIA. UPVC SEWER PIPE
⊕	METER BOX POSITION
⊕	EXTERNAL TAP



CLIENT ACKNOWLEDGEMENT
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CLIENT 1: _____ DATE 1: _____
CLIENT 2: _____ DATE 2: _____
JGK BUILDER: _____ DATE 3: _____

SHEET TITLE
3PM SHADOW PLAN

HOUSE NAME: **COMMANDER 285** HAND: **LH**
FACADE NAME: **GRANADA**
SHEET SCALE: **As indicated** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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CLIENT
JOSHUA MATHEW & MONCY JOSHUA
ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**
SUBURB: **LAKES ENTRANCE VIC 3909**

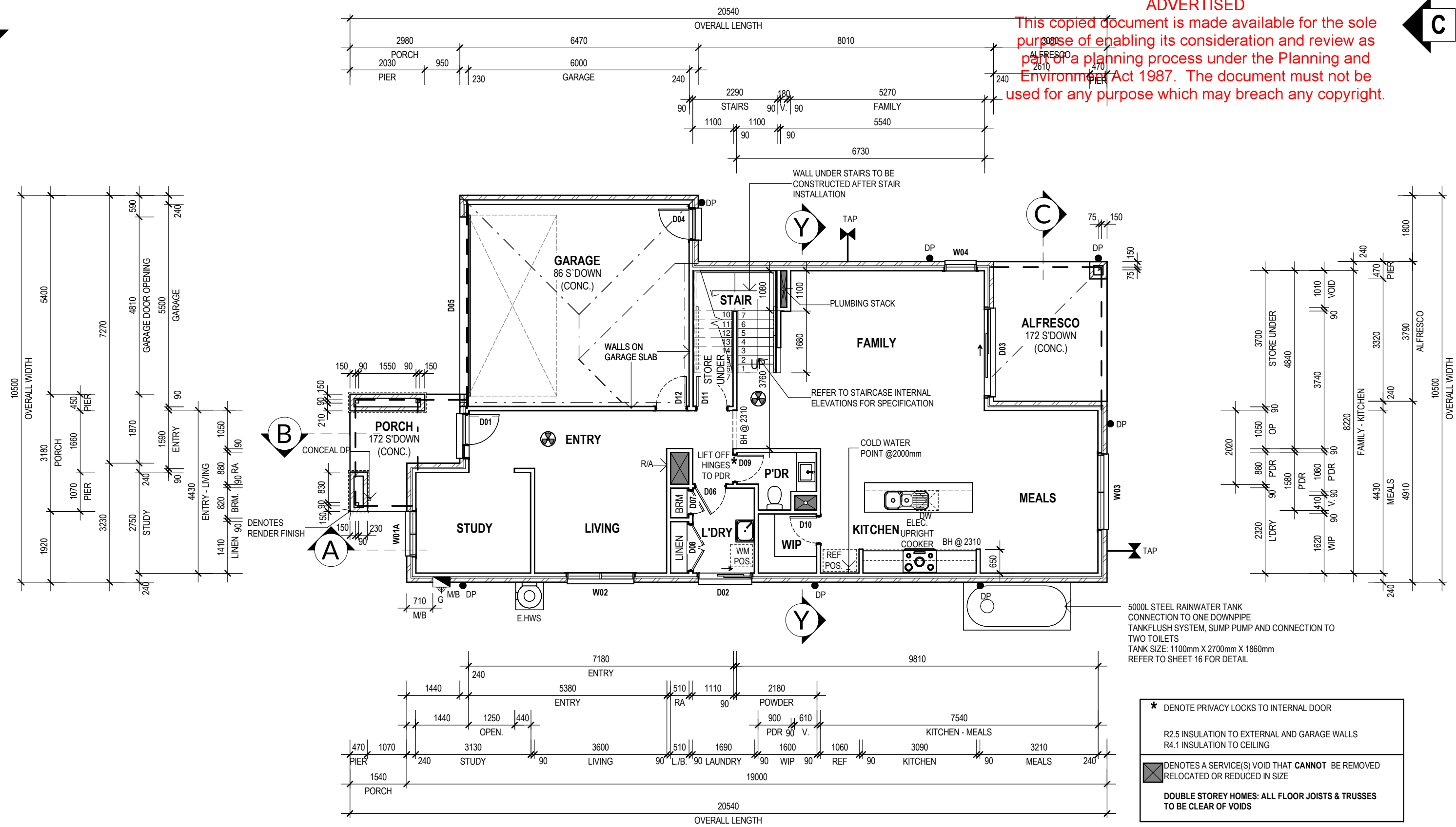
JOB NO: **2404TRA160** JOB DATE: **06/06/2024**
DRAWN: **M-01** CHECKED: **AM** PROJECT STAGE: **CONTRACT**
MASTER RELEASE DATE: **29/05/2024** SHEET NO: **15** TOTAL NO: **30**

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Page 59 of 84

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B

C



* DENOTE PRIVACY LOCKS TO INTERNAL DOOR

R2.5 INSULATION TO EXTERNAL AND GARAGE WALLS
R4.1 INSULATION TO CEILING

DENOTES A SERVICE(S) VOID THAT **CANNOT** BE REMOVED
RELOCATED OR REDUCED IN SIZE

**DOUBLE STOREY HOMES: ALL FLOOR JOISTS & TRUSSES
TO BE CLEAR OF VOIDS**

A

D

GENERAL NOTES

- DP DENOTES HARDWIRED INTERCONNECTED SMOKE ALARM(S) WITH BATTERY BACKUP AS PER NCC 2022 - PART 9.5 & TO COMPLY WITH AS3786
- DP DENOTES DOWNPIPE LOCATIONS
- ALL GLAZING TO COMPLY WITH AS 1288-2021 & A.S. 2047-2014
- D DENOTES DOUBLE GLAZED WINDOWS
- DENOTES BEAM AS PER ENGINEERING SPECIFICATIONS
- # DENOTES 2340H DOORS
- MB : METER BOX HWS : HOT WATER SYSTEM
- G : GAS METER IHWS : INSTANTANEOUS HOT WATER SYSTEM

AREAS TABLE

GROUND FLOOR	120.16	M ²	12.94	sq ²
FIRST FLOOR	123.19	M ²	13.26	sq ²
SUB TOTAL(FLOOR)	243.35	M²	26.20	sq²
GARAGE	37.22	M ²	4.01	sq ²
PORCH	7.59	M ²	0.82	sq ²
ALFRESCO	11.67	M ²	1.26	sq ²
BALCONY	4.00	M ²	0.43	sq ²
SUB TOTAL(OTHER)	60.48	M²	6.51	sq²
TOTAL	303.83	M²	32.71	sq²

CLIENT ACKNOWLEDGEMENT

I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.

CLIENT 1: _____ DATE 1: _____

CLIENT 2: _____ DATE 2: _____

JGK BUILDER: _____ DATE 3: _____

SHEET TITLE

GROUND FLOOR PLAN

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 100** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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JG KING HOMES 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555

UP COLLECTION

CLIENT: **JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

DRAWN: **M-01** PROJECT STAGE: **CONTRACT**

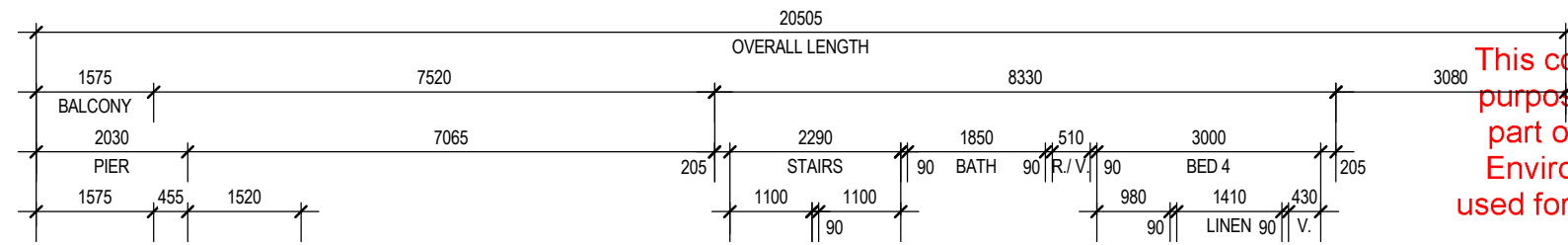
CHECKED: **AM** DATE: **18/12/2024**

MASTER RELEASE DATE: **29/05/2024** SHEET NO: **06** TOTAL NO: **30**

Printed 18/12/2024
Page 60 of 84

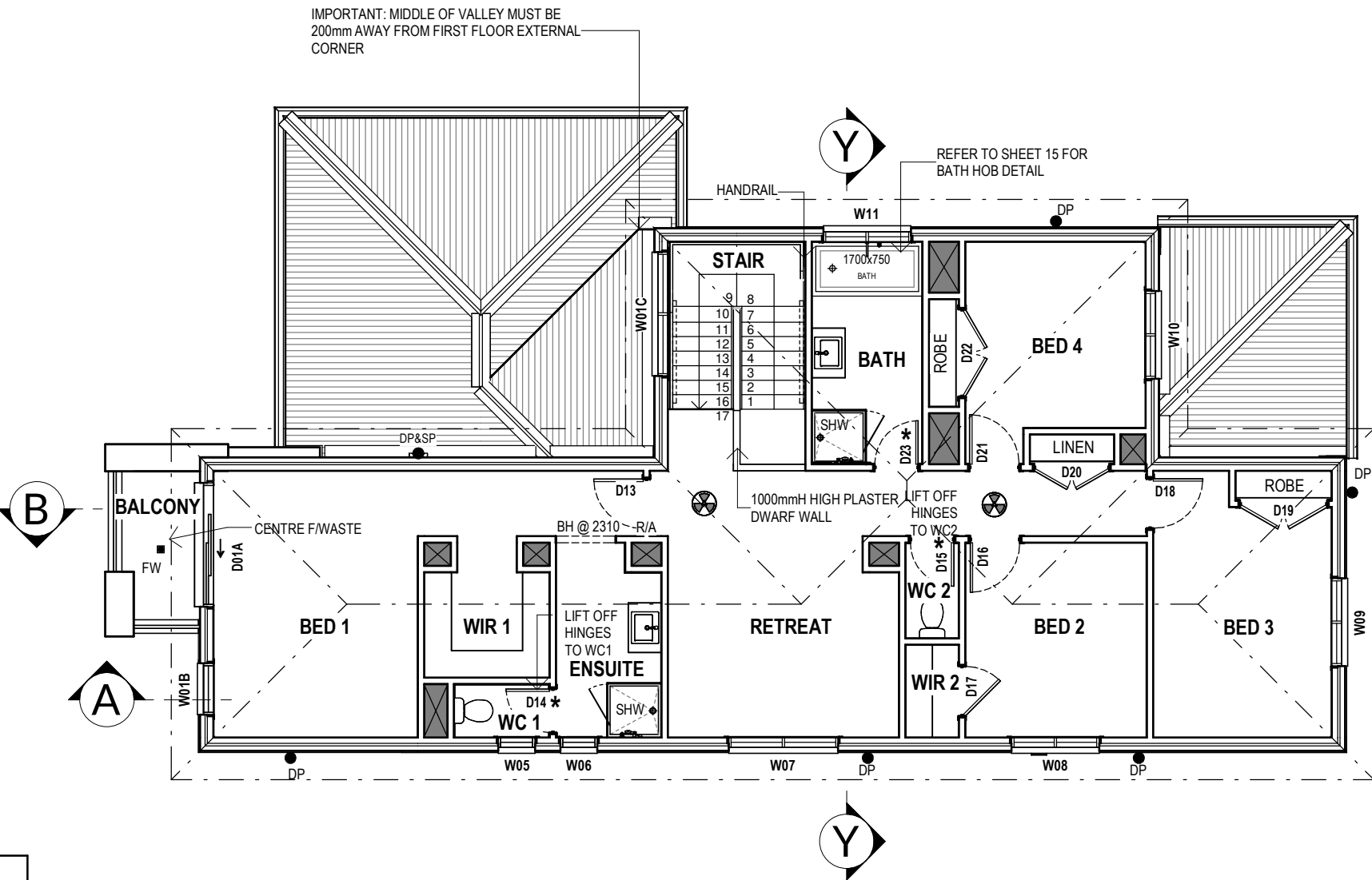
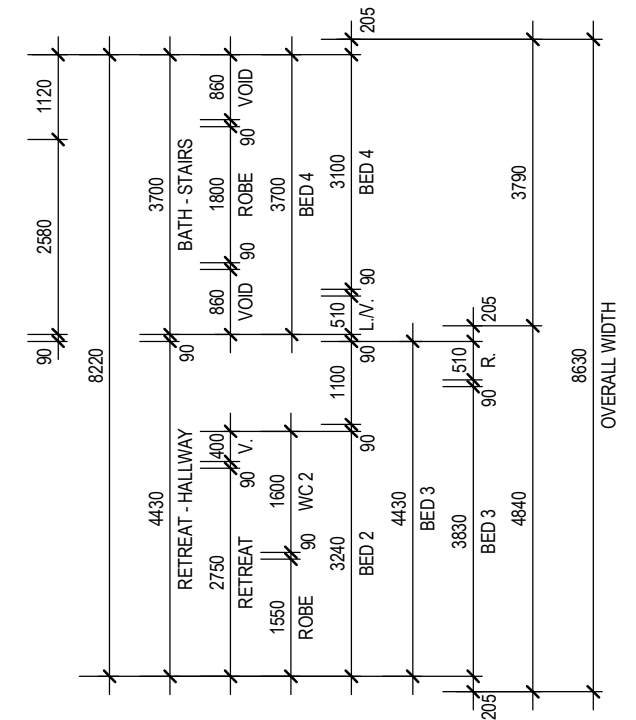
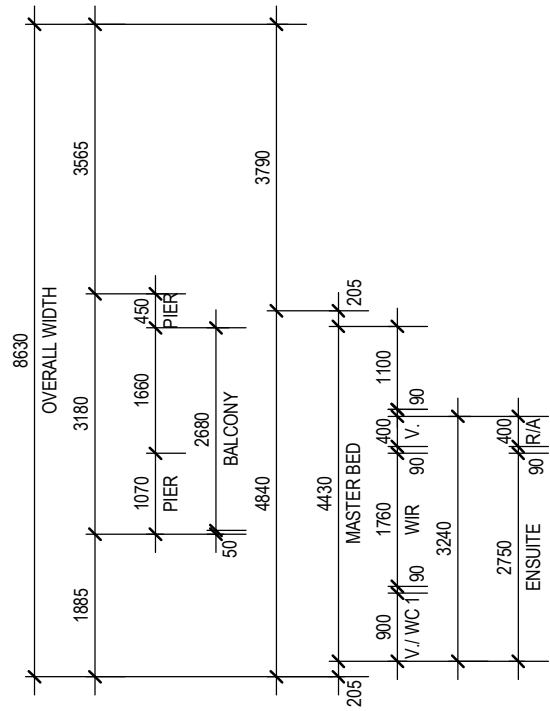
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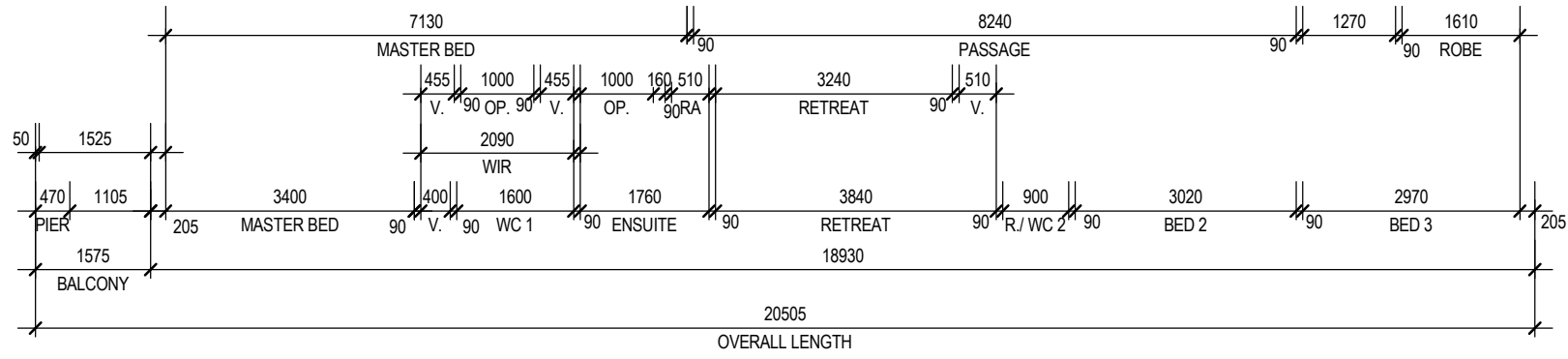
C



IMPORTANT: MIDDLE OF VALLEY MUST BE 200mm AWAY FROM FIRST FLOOR EXTERNAL CORNER

REFER TO SHEET 15 FOR BATH HOB DETAIL

* DENOTE PRIVACY LOCKS TO INTERNAL DOOR
 R2.5 INSULATION TO EXTERNAL AND GARAGE WALLS
 R4.1 INSULATION TO CEILING
 DENOTES A SERVICE(S) VOID THAT **CANNOT** BE REMOVED RELOCATED OR REDUCED IN SIZE
 DOUBLE STOREY HOMES: ALL FLOOR JOISTS & TRUSSES TO BE CLEAR OF VOIDS



A

D

GENERAL NOTES

- DENOTES HARDWIRED INTERCONNECTED SMOKE ALARM(S) WITH BATTERY BACKUP AS PER NCC 2022 - PART 9.5 & TO COMPLY WITH AS3786
- DP DENOTES DOWNPIPE LOCATIONS
- ALL GLAZING TO COMPLY WITH AS 1288-2021 & A.S. 2047-2014
- D DENOTES DOUBLE GLAZED WINDOWS
- DENOTES BEAM AS PER ENGINEERING SPECIFICATIONS
- # DENOTES 2340H DOORS
- MB : METER BOX HWS : HOT WATER SYSTEM
- G : GAS METER IHWS : INSTANTANEOUS HOT WATER SYSTEM

AREAS TABLE			
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FIRST FLOOR	123.19	M ²	13.26
SUB TOTAL(FLOOR)	243.35	M²	26.20
GARAGE	37.22	M ²	4.01
PORCH	7.59	M ²	0.82
ALFRESCO	11.67	M ²	1.26
BALCONY	4.00	M ²	0.43
SUB TOTAL(OTHER)	60.48	M²	6.51
TOTAL	303.83	M²	32.71

CLIENT ACKNOWLEDGEMENT

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CLIENT 1: _____ DATE 1: _____

CLIENT 2: _____ DATE 2: _____

JGK BUILDER: _____ DATE 3: _____

SHEET TITLE

FIRST FLOOR PLAN

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 100** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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CLIENT: **JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

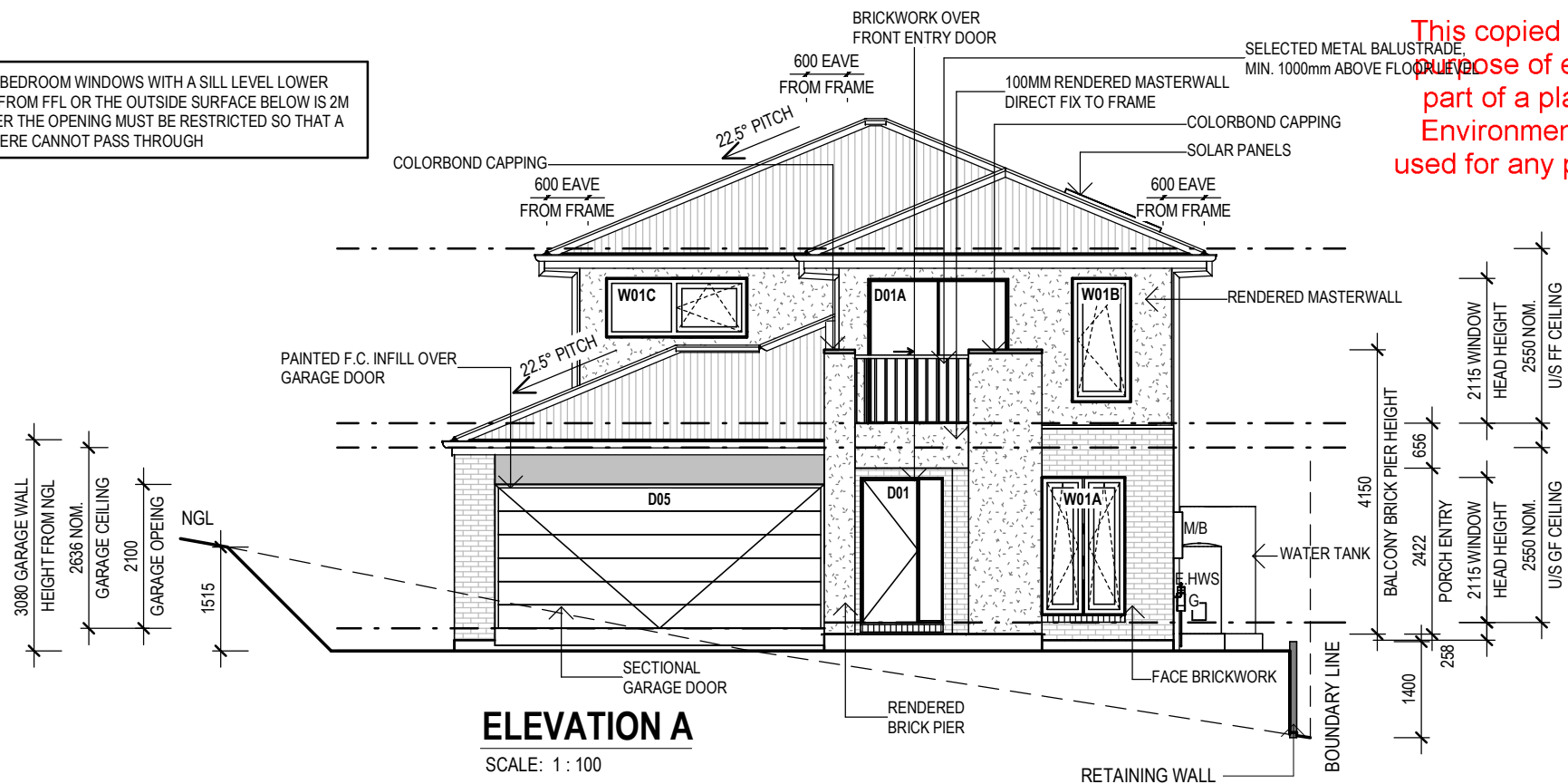
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MASTER RELEASE DATE: **29/05/2024** SHEET NO: **17** TOTAL NO: **30**

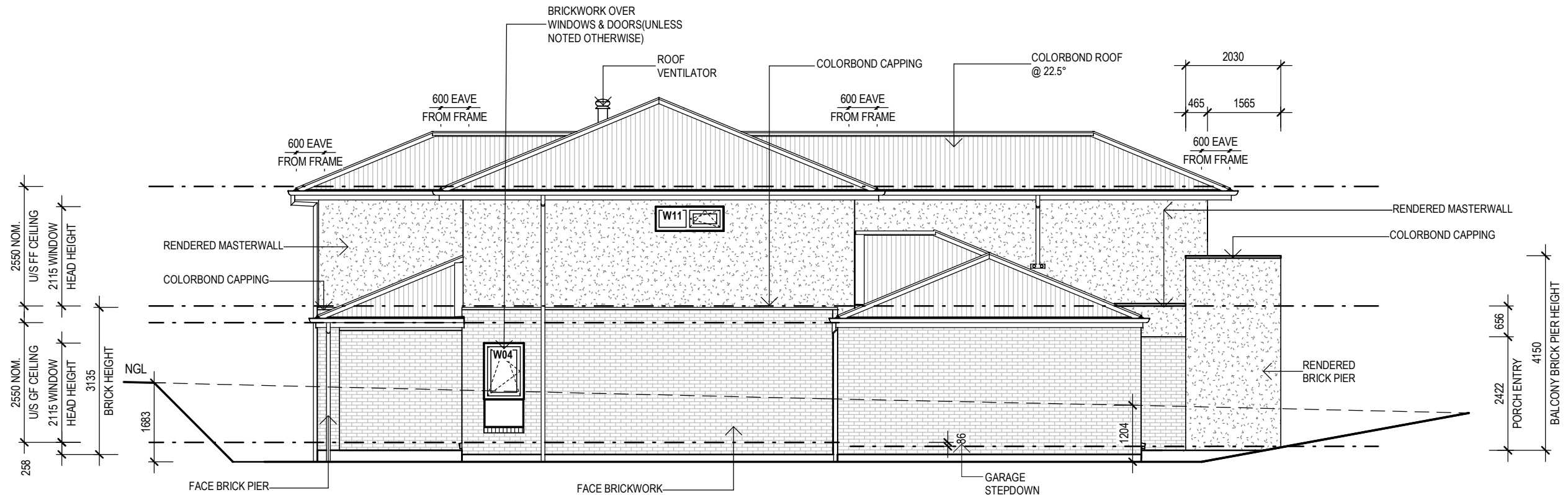
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OPENABLE BEDROOM WINDOWS WITH A SILL LEVEL LOWER THAN 1.7M FROM FFL OR THE OUTSIDE SURFACE BELOW IS 2M OR GREATER THE OPENING MUST BE RESTRICTED SO THAT A 125MM SPHERE CANNOT PASS THROUGH



ELEVATION A
SCALE: 1 : 100

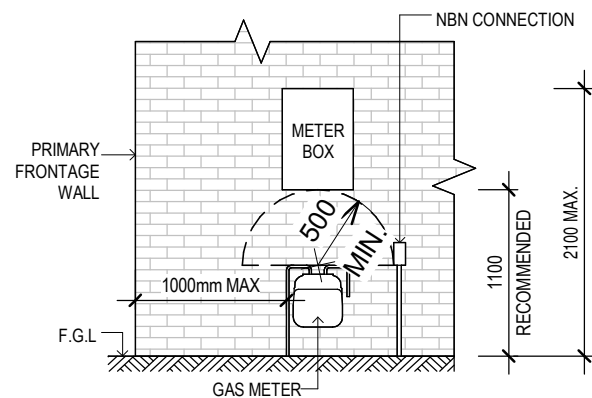


ELEVATION B
SCALE: 1 : 100

<p>GENERAL NOTES</p> <ul style="list-style-type: none"> WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE) ALL GLAZING TO COMPLY WITH A.S. 1288 - 2021 (REFER TO ENERGY RATING FOR ALL GLAZING VALUES.) & A.S.2047-2014 HWS : HOT WATER SYSTEM IHWS : INSTANTANEOUS HOT WATER SYSTEM M/B : METER BOX G : GAS METER 	<p>FINISHES/MATERIALS LEGEND</p> <ul style="list-style-type: none"> FACE BRICKWORK RENDER BRICKWORK PAINTED F.C. INFILL RENDERED FOAM CLADDING RENDER BLUEBOARD 	<p>CLIENT ACKNOWLEDGEMENT</p> <p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1: CLIENT 2: DATE 2: JGK BUILDER: DATE 3:</p>	<p>SHEET TITLE ELEVATIONS</p> <p>HOUSE NAME: COMMANDER 285 FACADE NAME: GRANADA SHEET SCALE: 1 : 100 ORIGINAL SHEET SIZE: A3 COPYRIGHT: 2024</p> <p>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</p>	<p>JG KING HOMES 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>CLIENT: JOSHUA MATHEW & MONCY JOSHUA ADDRESS: LOT 8, NO.69 LAKEVIEW DRIVE SUBURB: LAKES ENTRANCE VIC 3909 JOB NO: 2404TRA160 JOB DATE: 06/06/2024 DRAWN: M-01 CHECKED: AM PROJECT STAGE: CONTRACT MASTER RELEASE DATE: 29/05/2024 SHEET NO: 08 TOTAL NO: 30</p> <p>Printed 18/12/2024 Page 62 of 84</p>
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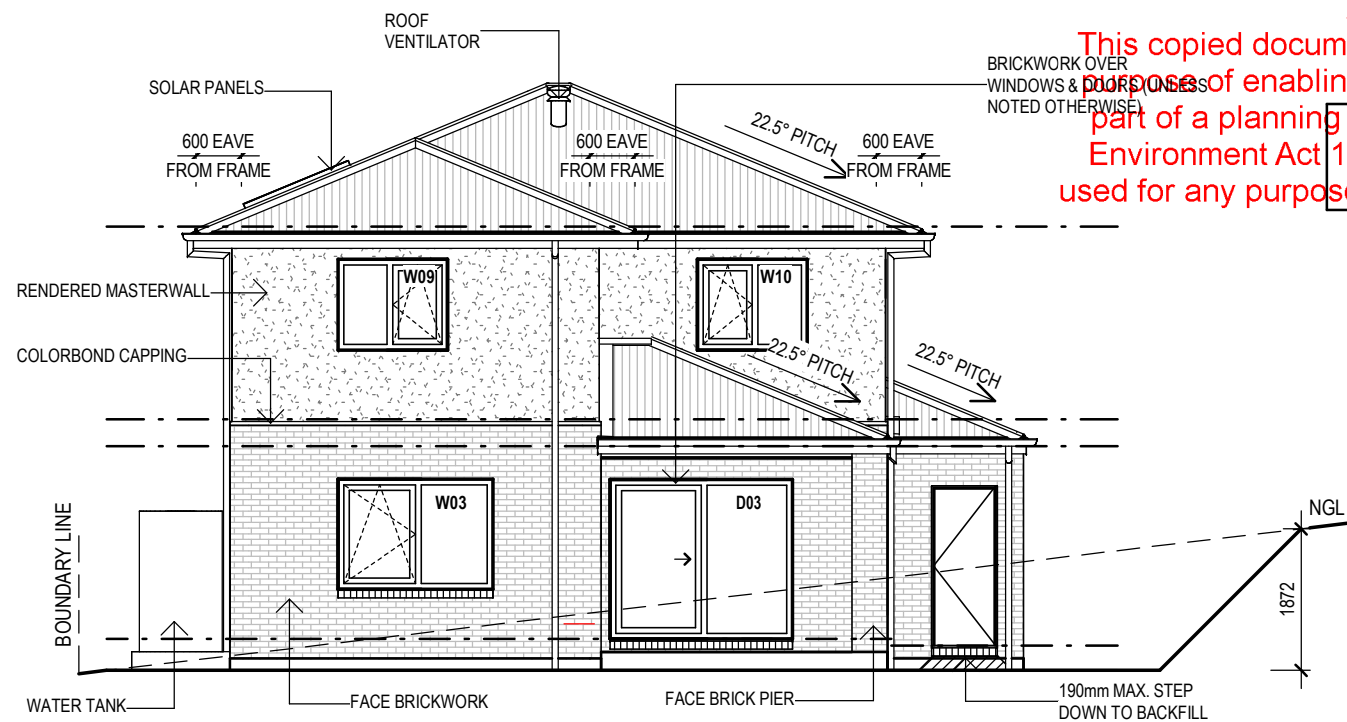
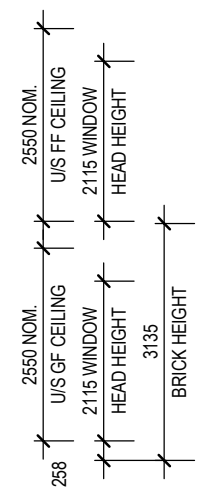
OPENABLE BELOW ROOF WINDOWS WITH A SILL LEVEL LOWER THAN 1.7M FROM FFL OR THE OUTSIDE SURFACE BELOW IS 2M OR GREATER THE OPENING MUST BE RESTRICTED SO THAT A 25MM SPHERE CANNOT PASS THROUGH



GAS METER LOCATION

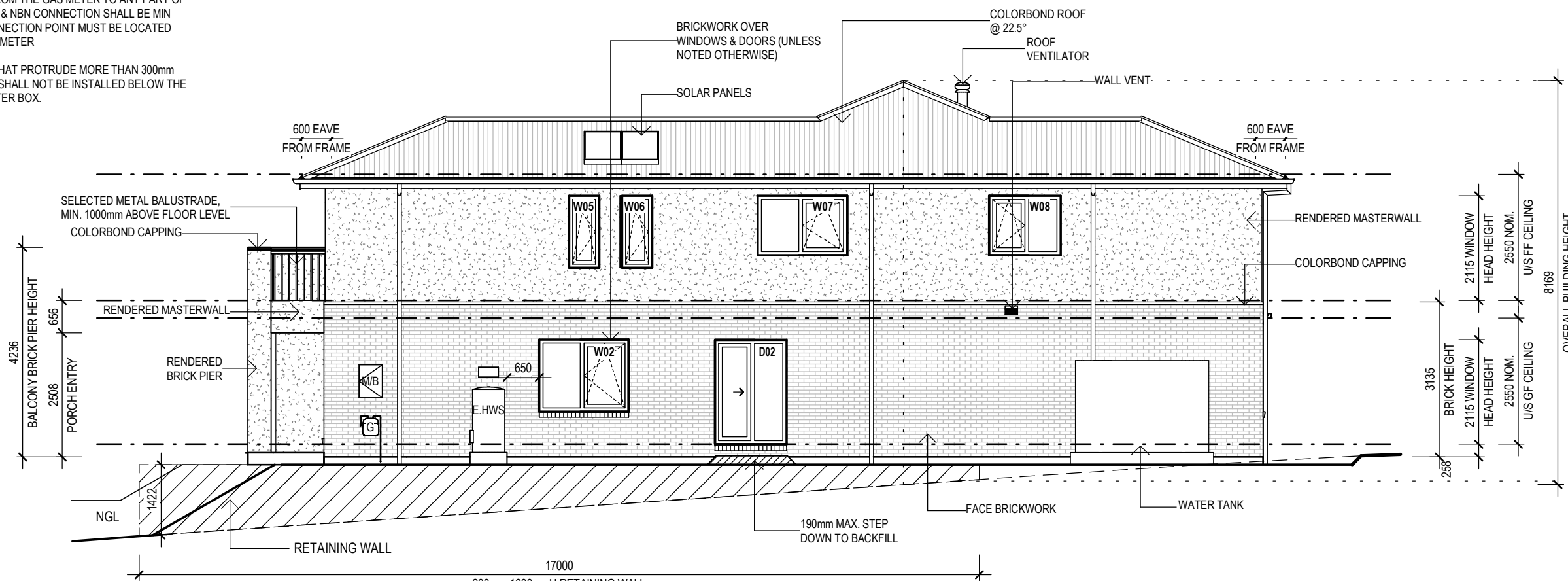
NOTE: SCALE - 1:50

- CLEARANCE FROM THE GAS METER TO ANY PART OF ELECTRICAL BOX & NBN CONNECTION SHALL BE MIN 500mm. NBN CONNECTION POINT MUST BE LOCATED BEHIND THE GAS METER
- GAS METERS THAT PROTRUDE MORE THAN 300mm FROM THE WALL SHALL NOT BE INSTALLED BELOW THE ELECTRICITY METER BOX.




ELEVATION C

SCALE: 1 : 100



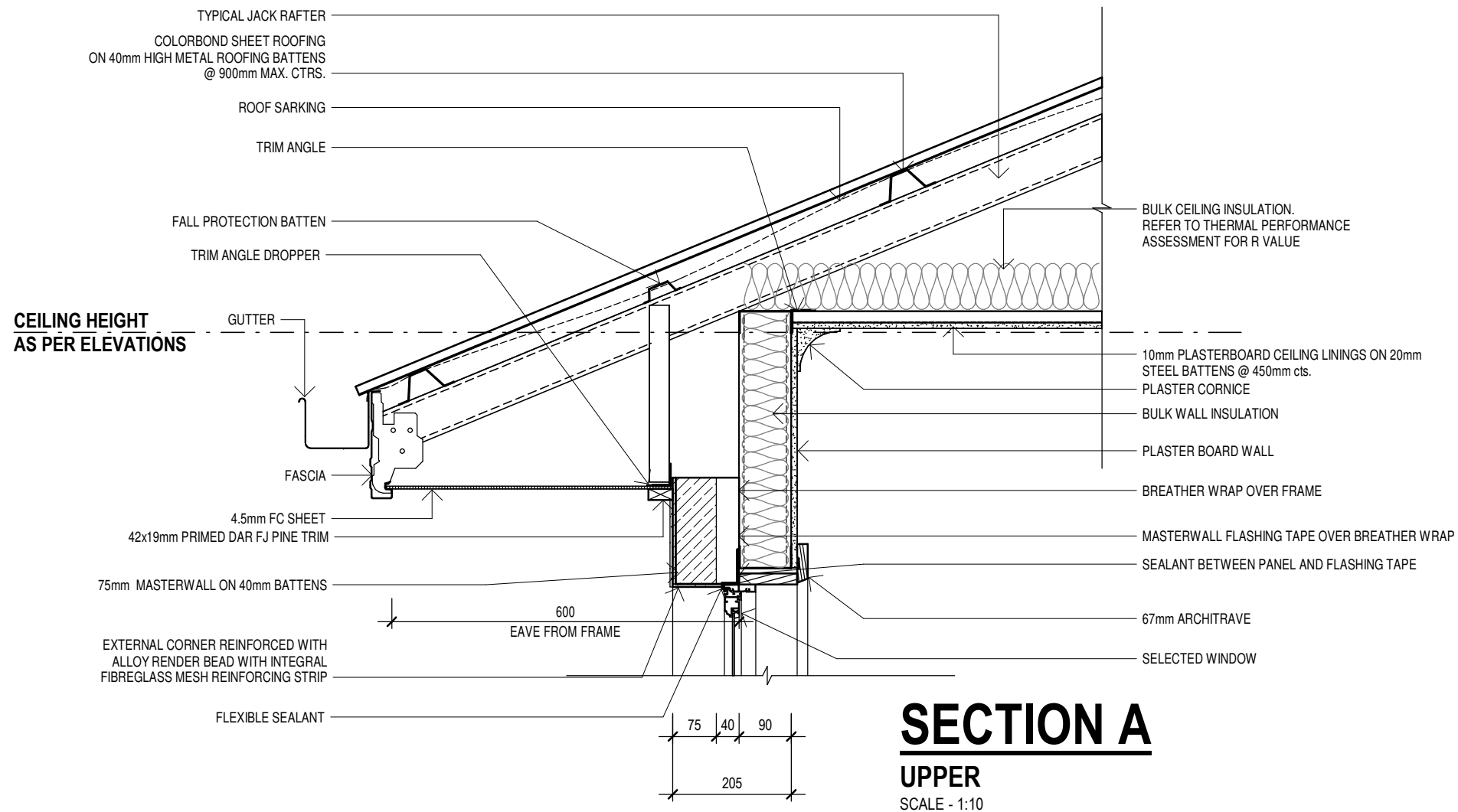
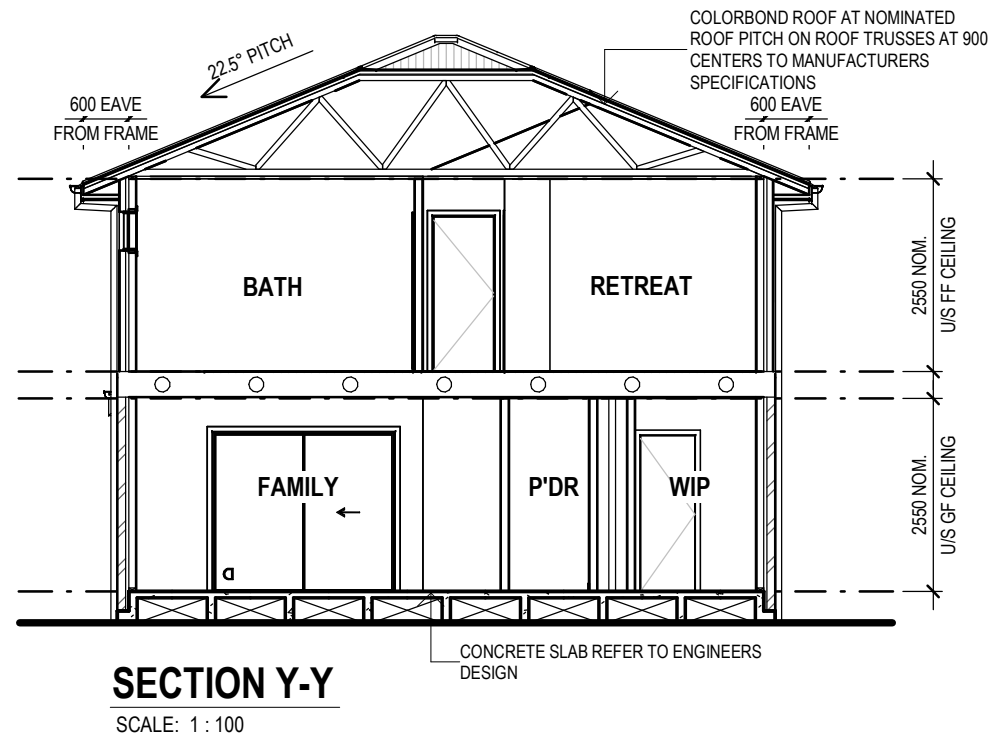
ELEVATION D

SCALE: 1 : 100

<p>GENERAL NOTES</p> <ul style="list-style-type: none"> WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE) ALL GLAZING TO COMPLY WITH A.S. 1288 - 2021 (REFER TO ENERGY RATING FOR ALL GLAZING VALUES.) & A.S.2047-2014 HWS : HOT WATER SYSTEM IHWS : INSTANTANEOUS HOT WATER SYSTEM M/B : METER BOX G : GAS METER 	<p>FINISHES/MATERIALS LEGEND</p> <ul style="list-style-type: none"> FACE BRICKWORK RENDER BRICKWORK PAINTED F.C. INFILL RENDERED FOAM CLADDING RENDER BLUEBOARD 	<p>CLIENT ACKNOWLEDGEMENT</p> <p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1: CLIENT 2: DATE 2: JGK BUILDER: DATE 3:</p>	<p>SHEET TITLE</p> <p>ELEVATIONS</p> <p>HOUSE NAME: COMMANDER 285 HAND: LH</p> <p>FACADE NAME: GRANADA</p> <p>SHEET SCALE: As indicated ORIGINAL SHEET SIZE: A3 COPYRIGHT: 2024</p> <p><small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	 <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>CLIENT: JOSHUA MATHEW & MONCY JOSHUA</p> <p>ADDRESS: LOT 8, NO.69 LAKEVIEW DRIVE</p> <p>SUBURB: LAKES ENTRANCE VIC 3909</p> <p>JOB NO: 2404TRA160 JOB DATE: 06/06/2024</p> <p>DRAWN: M-01 PROJECT STAGE: CONTRACT</p> <p>MASTER RELEASE DATE: 29/05/2024 SHEET NO: 19 TOTAL NO: 30</p> <p>Printed 18/12/2024 Page 63 of 84</p>
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GENERAL NOTES

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CLIENT 1: DATE 1:
CLIENT 2: DATE 2:
JGK BUILDER: DATE 3:

SHEET TITLE

SECTION/DETAILS

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **As indicated** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS

JG KING HOMES
154 ARGYLE STREET,
TRARALGON, VIC 3844
T(03) 5175 5555

UP
COLLECTION
TRARALGON

CLIENT: **JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

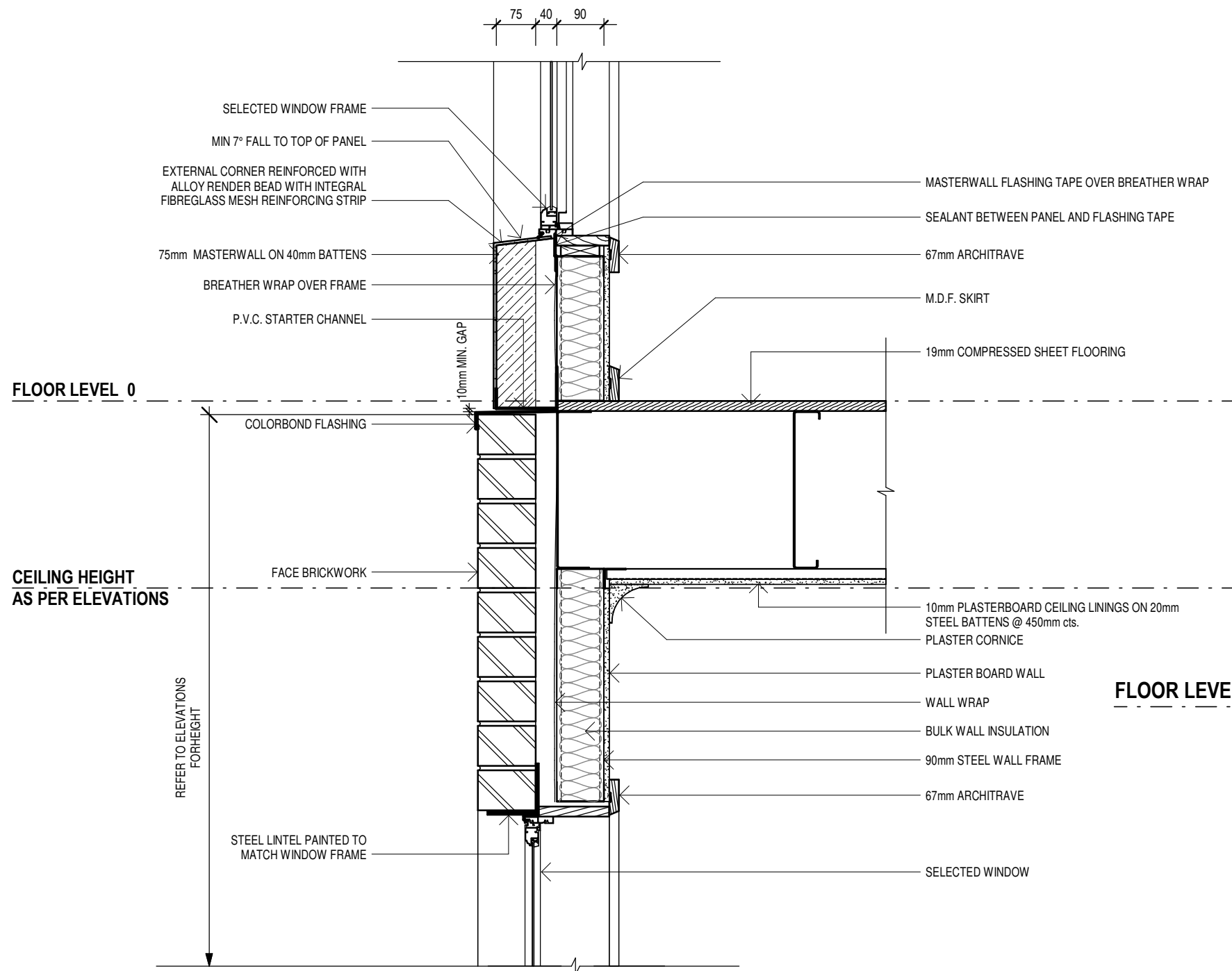
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DRAWN: **M-01** PROJECT STAGE: **CONTRACT**

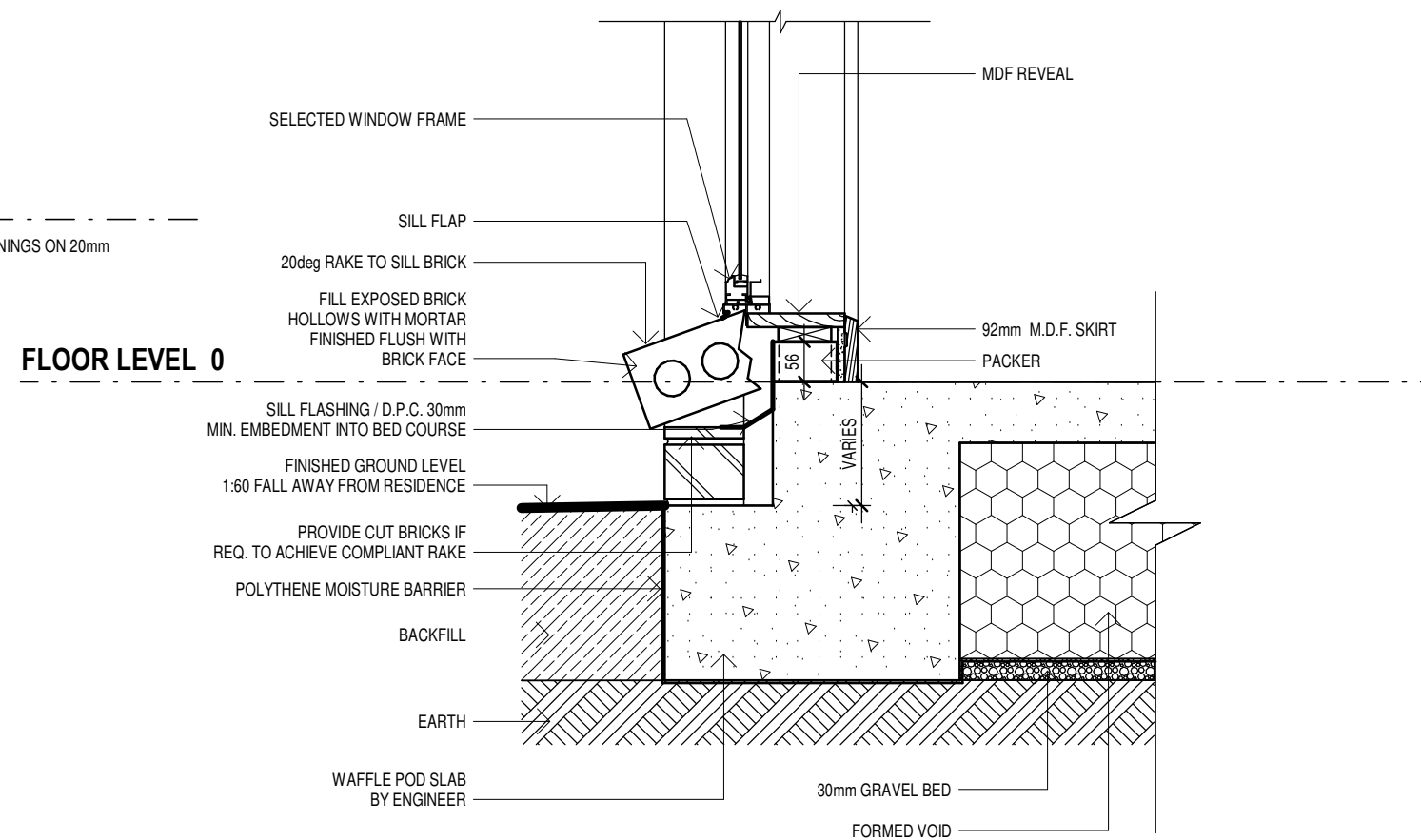
MASTER RELEASE DATE: **29/05/2024** SHEET NO: **10** TOTAL NO: **30**

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SECTION A
MIDDLE
 SCALE - 1:10



SECTION A
LOWER
 SCALE - 1:10

GENERAL NOTES

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CLIENT 1: DATE 1:
 CLIENT 2: DATE 2:
 JGK BUILDER: DATE 3:

SHEET TITLE
SECTION/DETAILS

HOUSE NAME: **COMMANDER 285** HAND: **LH**
 FACADE NAME: **GRANADA**
 SHEET SCALE: **A3** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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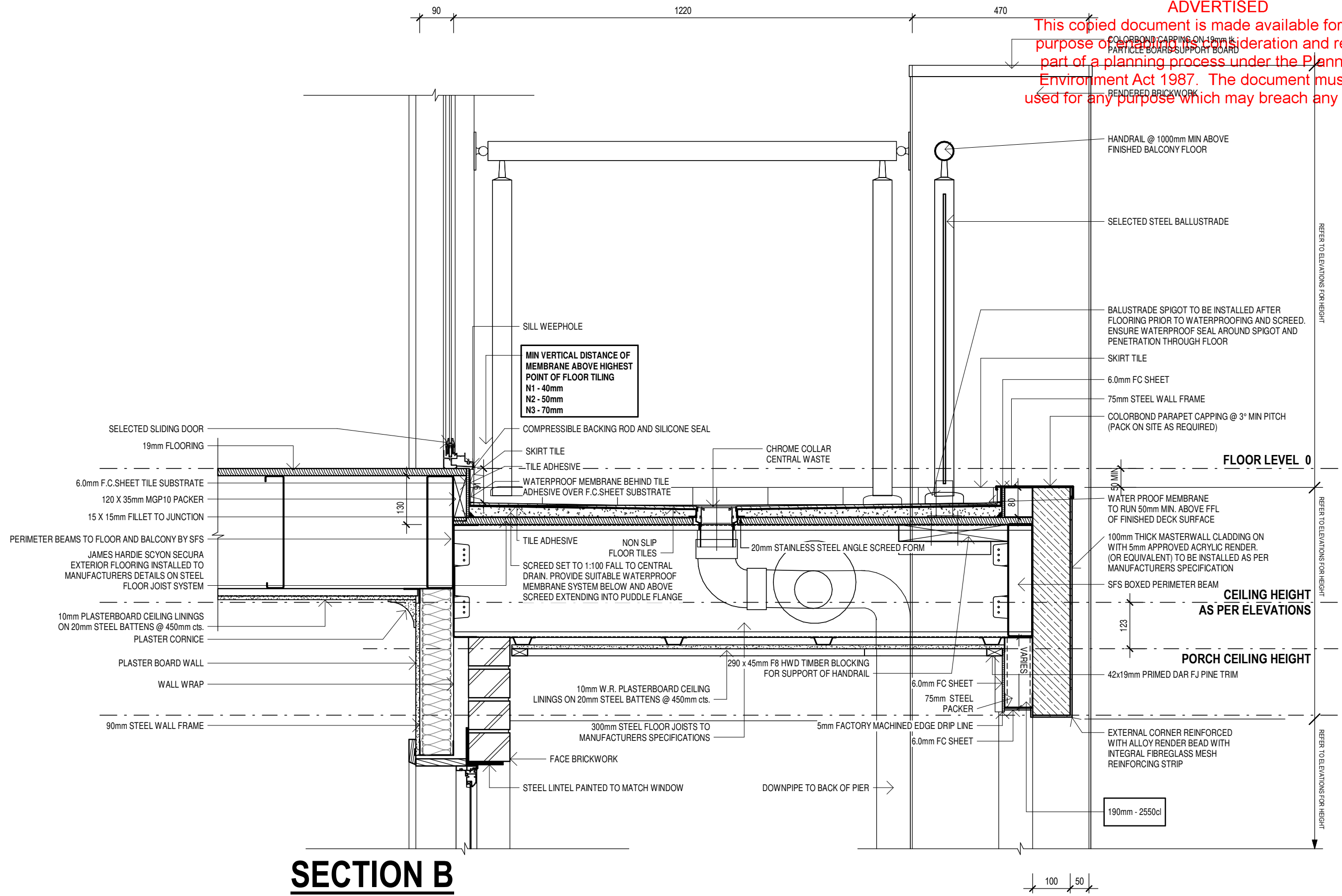
CLIENT
JOSHUA MATHEW & MONCY JOSHUA

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**
 SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**
 DRAWN: **M-01** PROJECT STAGE: **CONTRACT**
 MASTER RELEASE DATE: **29/05/2024** SHEET NO: **11** TOTAL NO: **30**

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SECTION B

SCALE - 1:10

GENERAL NOTES

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CLIENT 1: DATE 1:
CLIENT 2: DATE 2:
JGK BUILDER: DATE 3:

SHEET TITLE	SECTION/DETAILS
HOUSE NAME	COMMANDER 285
FACADE NAME	GRANADA
SHEET SCALE	A3
ORIGINAL SHEET SIZE	2024
COPYRIGHT	2024

CLIENT	JOSHUA MATHEW & MONCY JOSHUA
ADDRESS	LOT 8, NO.69 LAKEVIEW DRIVE
SUBURB	LAKES ENTRANCE VIC 3909
JOB NO	2404TRA160
JOB DATE	06/06/2024
DRAWN	M-01
CHECKED	AM
PROJECT STAGE	CONTRACT
MASTER RELEASE DATE	29/05/2024
SHEET NO	12
TOTAL NO	30

JG KING HOMES
154 ARGYLE STREET,
TRARALGON, VIC 3844
T(03) 5175 5555

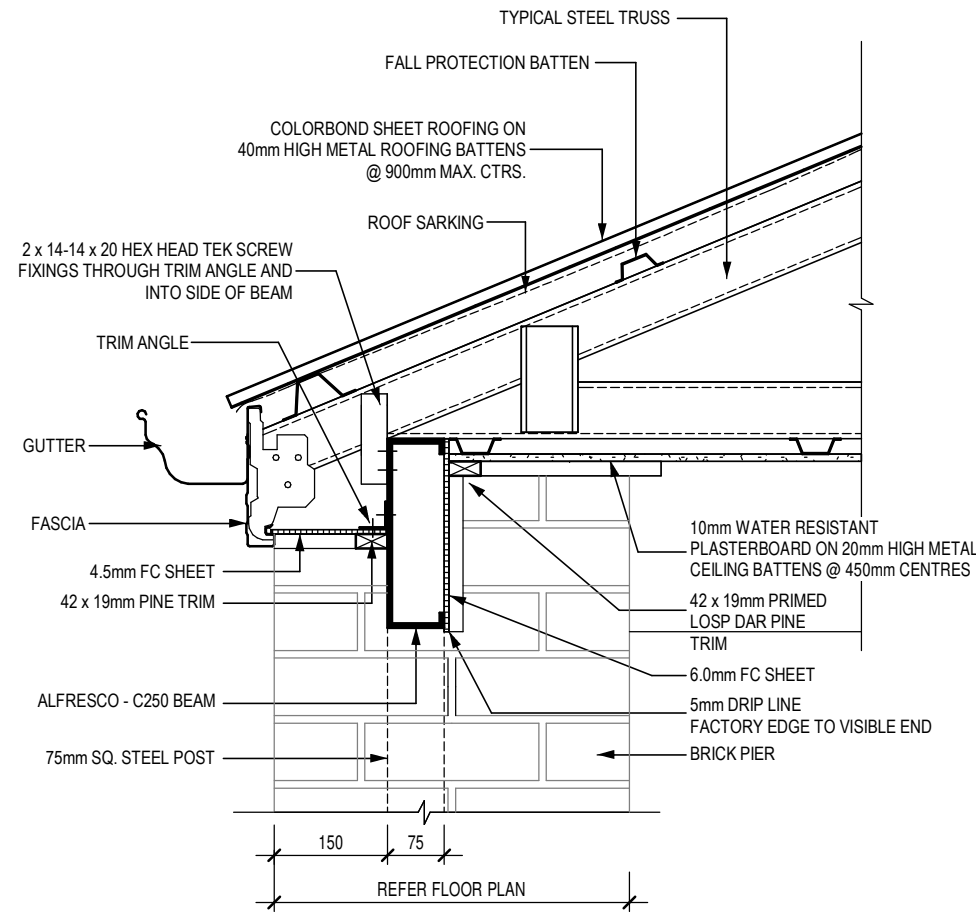
UP COLLECTION
TRARALGON

CLIENT	JOSHUA MATHEW & MONCY JOSHUA
ADDRESS	LOT 8, NO.69 LAKEVIEW DRIVE
SUBURB	LAKES ENTRANCE VIC 3909
JOB NO	2404TRA160
JOB DATE	06/06/2024
DRAWN	M-01
CHECKED	AM
PROJECT STAGE	CONTRACT
MASTER RELEASE DATE	29/05/2024
SHEET NO	12
TOTAL NO	30

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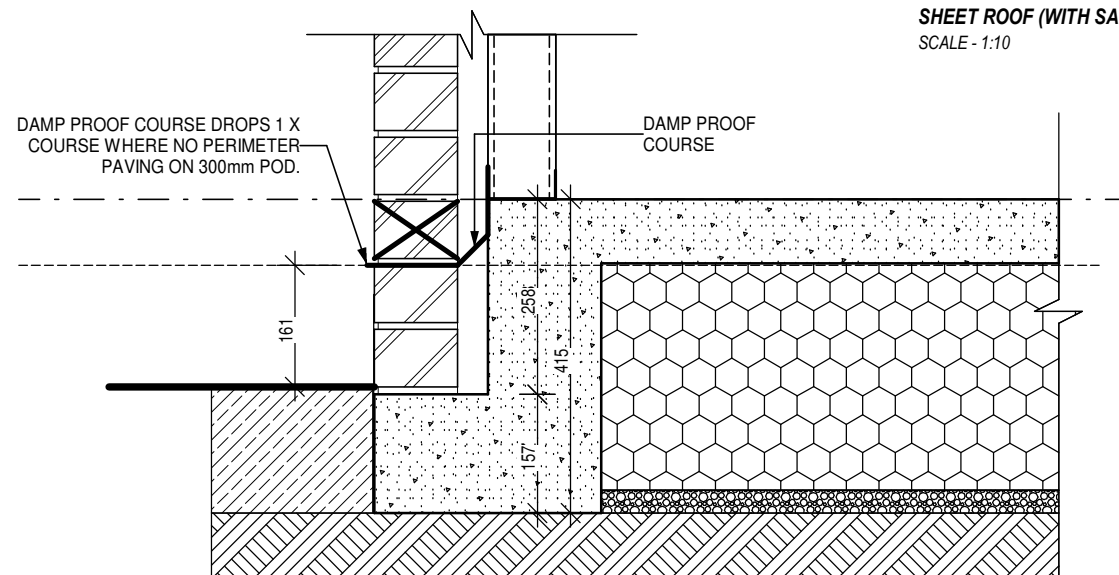
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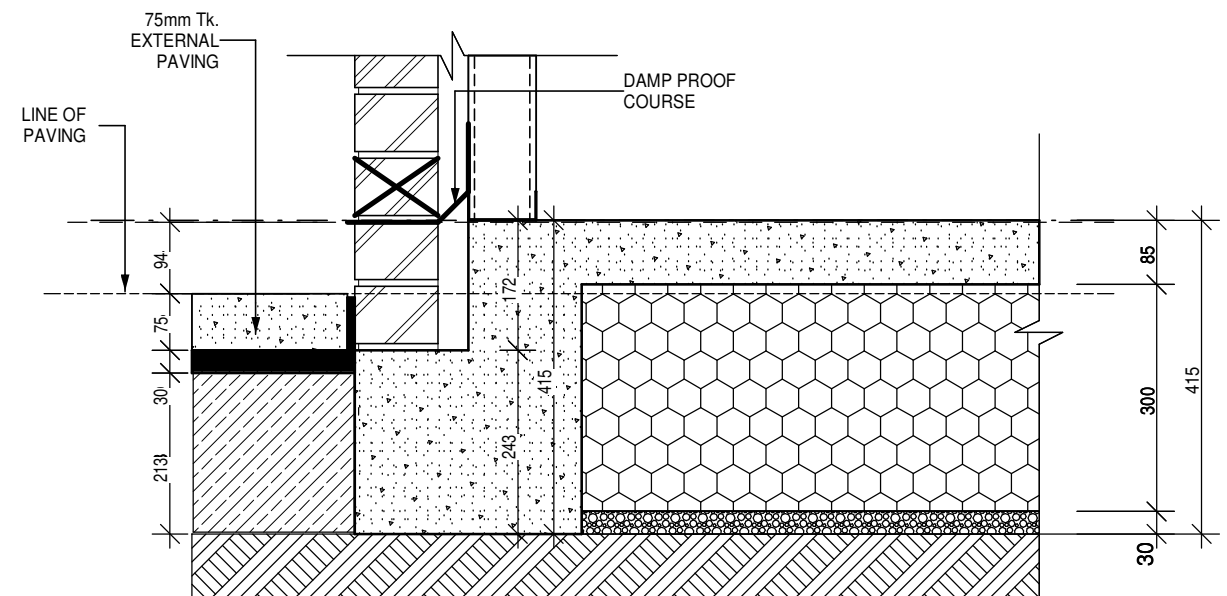


SECTION C - ALFRESCO DETAIL

SHEET ROOF (WITH SARKING)
SCALE - 1:10



**258mm REBATE TO REMAINDER
NO EXTERNAL PAVING (300 pod)**



**172mm (ilo 258mm) REBATE TO REMAINDER
WITH EXTERNAL PAVING (300 pod)**

GENERAL NOTES

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CLIENT 2: DATE 2:
JGK BUILDER: DATE 3:

SHEET TITLE	SECTION/DETAILS
HOUSE NAME	COMMANDER 285
FACADE NAME	GRANADA
SHEET SCALE	A3
ORIGINAL SHEET SIZE	COPYRIGHT
	2024
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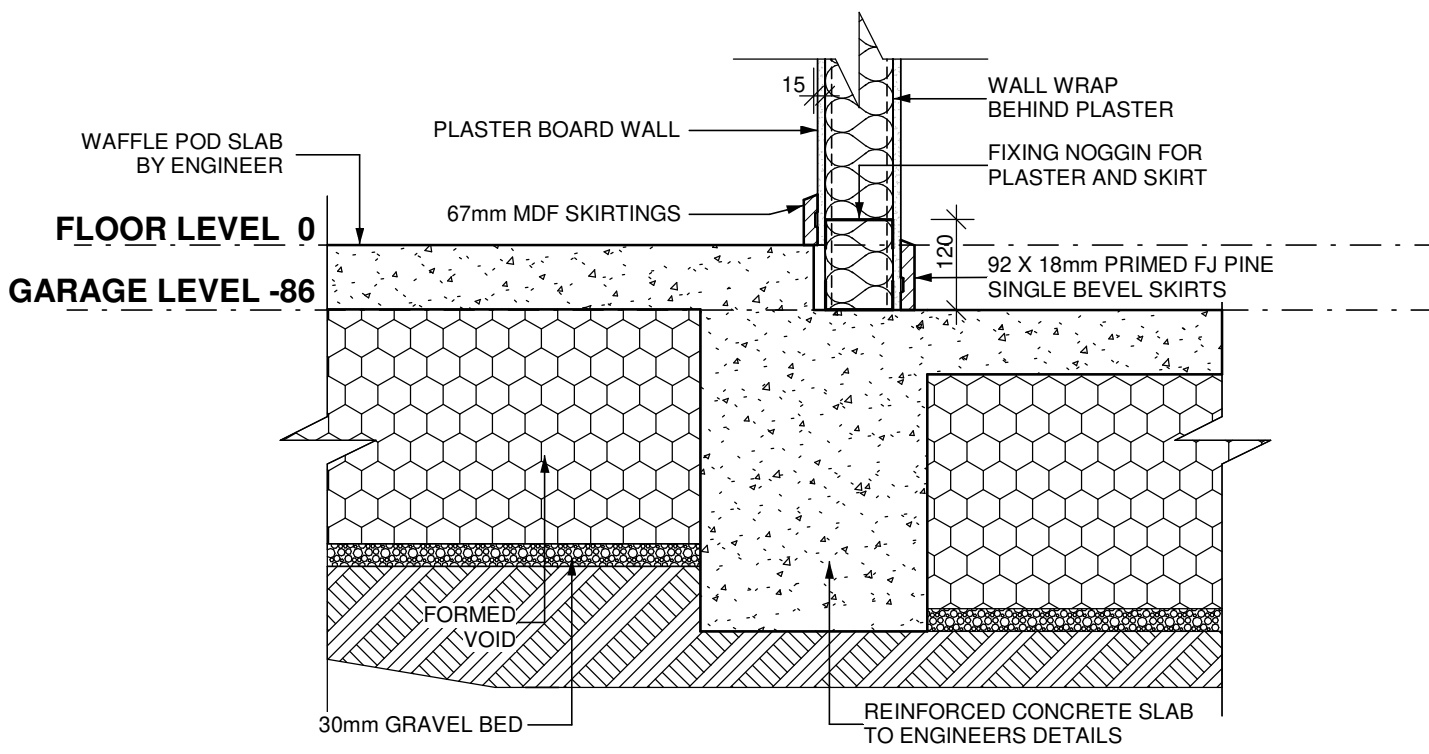
CLIENT	JOSHUA MATHEW & MONCY JOSHUA
ADDRESS	LOT 8, NO.69 LAKEVIEW DRIVE
SUBURB	LAKES ENTRANCE VIC 3909
JOB NO	2404TRA160
JOB DATE	06/06/2024
DRAWN	M-01
CHECKED	AM
PROJECT STAGE	CONTRACT
MASTER RELEASE DATE	29/05/2024
SHEET NO	13
TOTAL NO	30

154 ARGYLE STREET,
TRARALGON, VIC 3844
T(03) 5175 5555

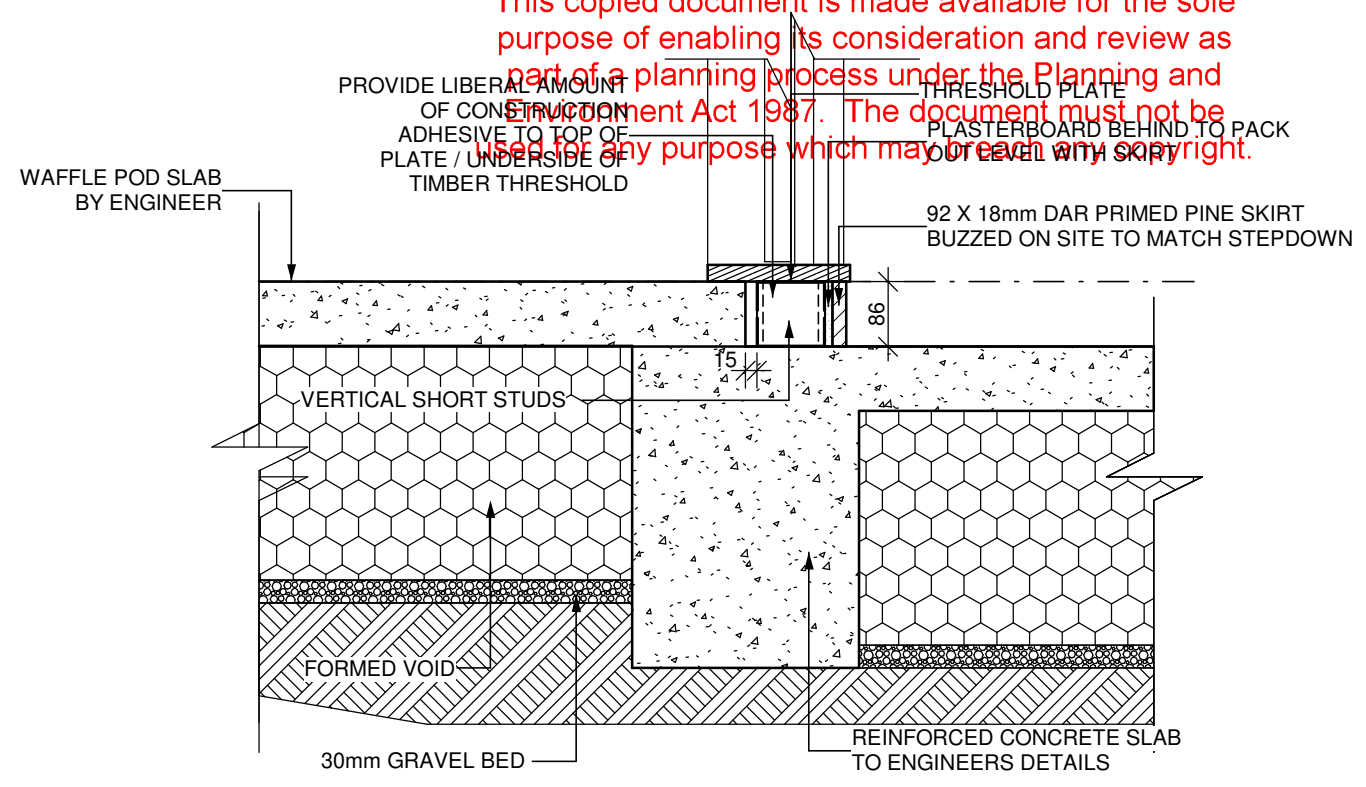
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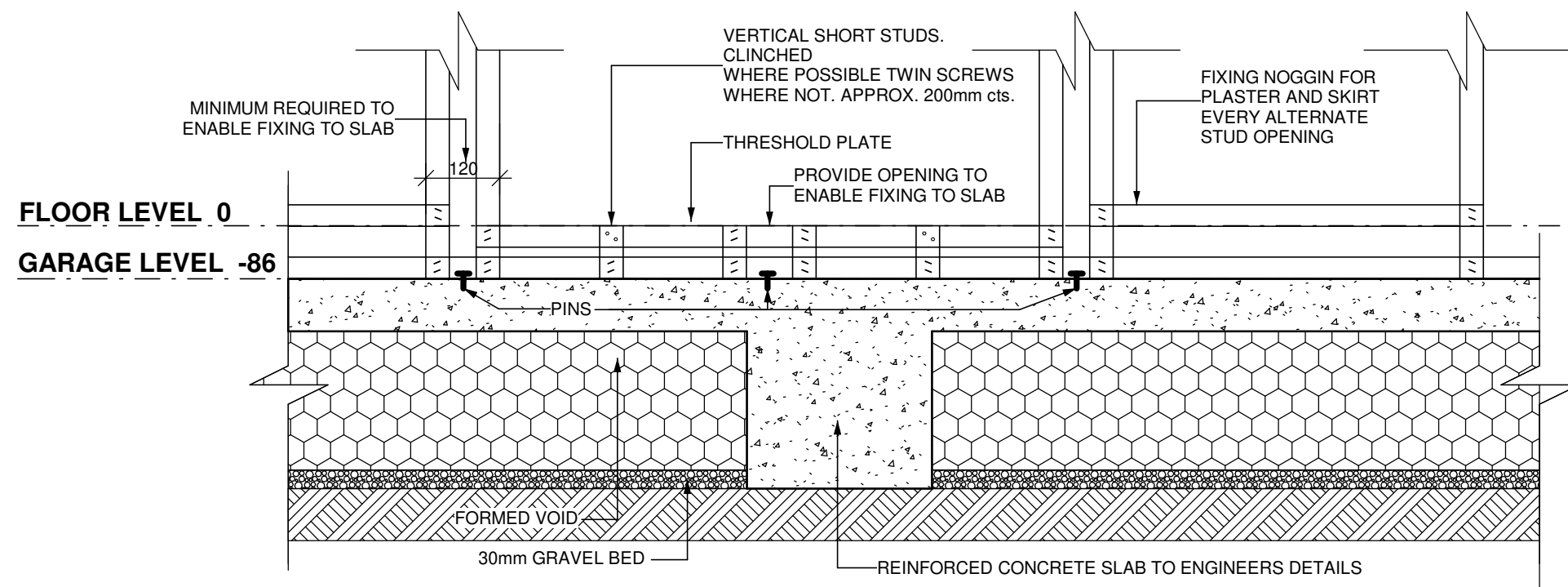
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WALL SECTION
GARAGE STEPDOWN
SCALE - 1:10





THRESHOLD SECTION
GARAGE STEPDOWN
SCALE - 1:10



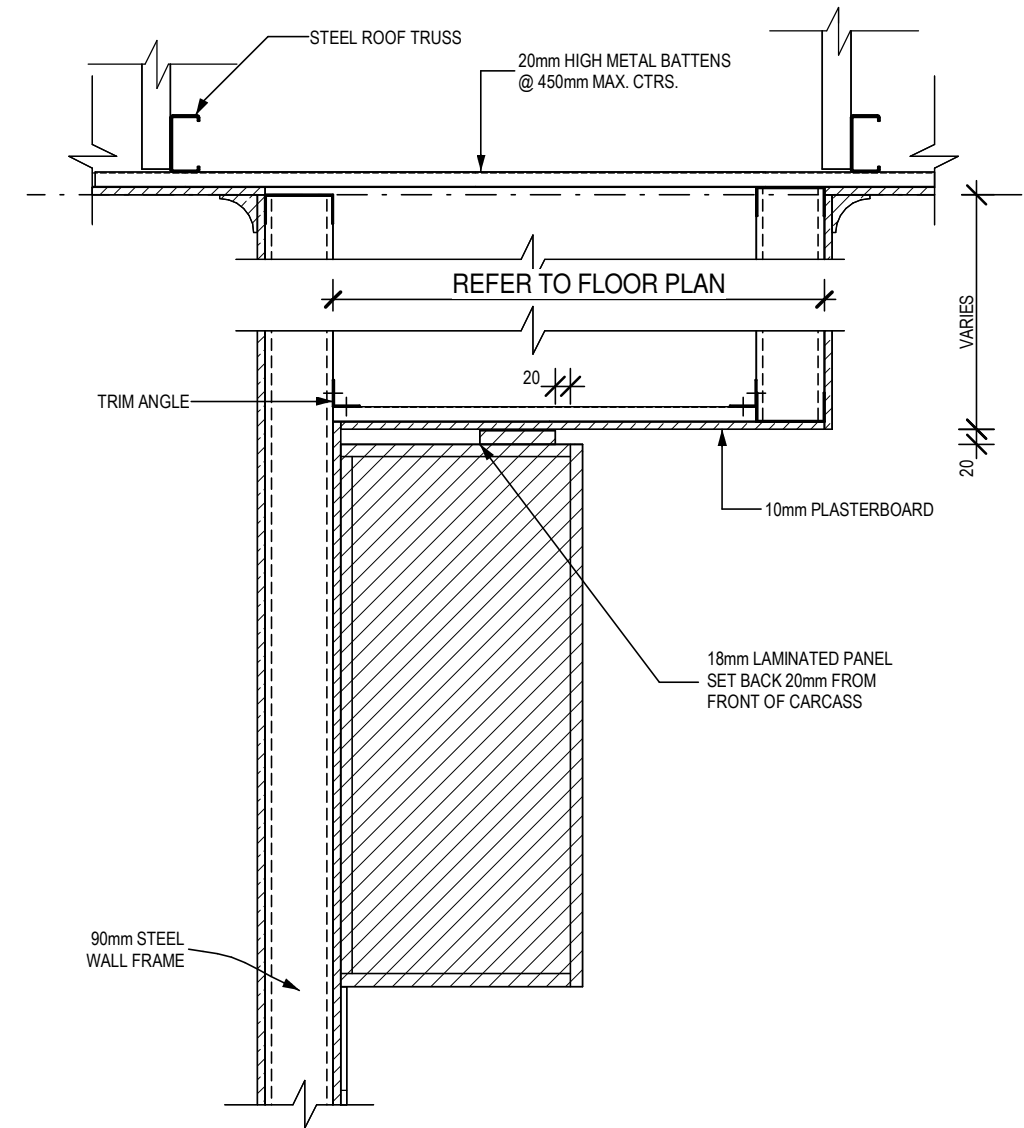
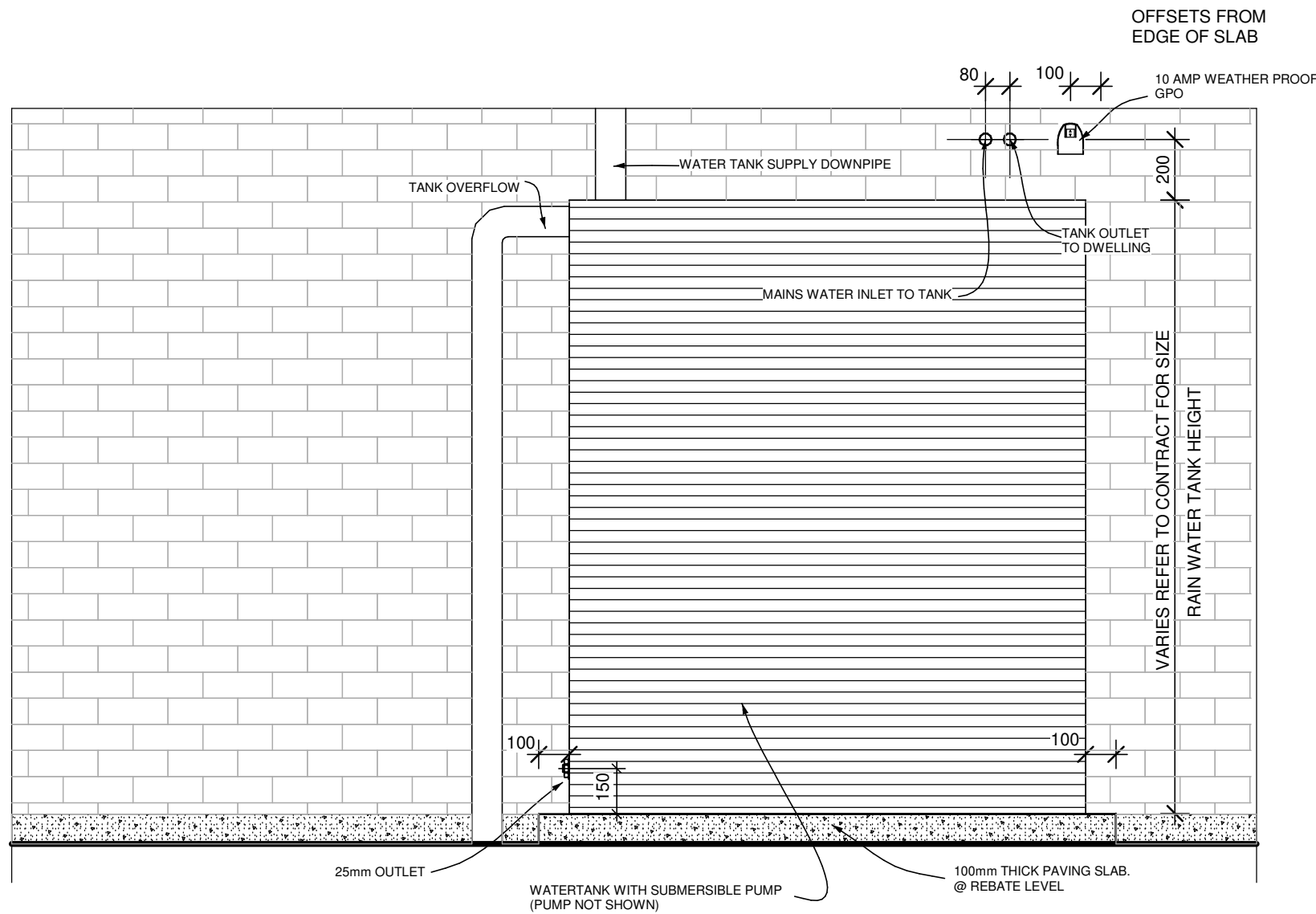
FRAMING ELEVATION
GARAGE STEPDOWN
SCALE - 1:10

NOTE: ALL SKIRTS AND ARCHITRAVES TO GARAGE TO BE SINGLE BEVEL PRIMED PINE 92x18mm

<p>GENERAL NOTES</p>	<p>CLIENT ACKNOWLEDGEMENT</p> <p>I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<p>SHEET TITLE</p> <p>SECTION/DETAILS</p> <p>HOUSE NAME: COMMANDER 285 HAND: LH</p> <p>FACADE NAME: GRANADA</p> <p>SHEET SCALE: A3 ORIGINAL SHEET SIZE: A3 COPYRIGHT: 2024</p> <p><small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	  <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>CLIENT: JOSHUA MATHEW & MONCY JOSHUA</p> <p>ADDRESS: LOT 8, NO.69 LAKEVIEW DRIVE</p> <p>SUBURB: LAKES ENTRANCE VIC 3909</p> <p>JOB NO: 2404TRA160 JOB DATE: 06/06/2024</p> <p>DRAWN: M-01 CHECKED: AM PROJECT STAGE: CONTRACT</p> <p>MASTER RELEASE DATE: 29/05/2024 SHEET NO: 14 TOTAL NO: 30</p>
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WATER TANK SETOUT

SCALE 1:20

KITCHEN JOINERY BULKHEAD DETAIL

SCALE - 1:10

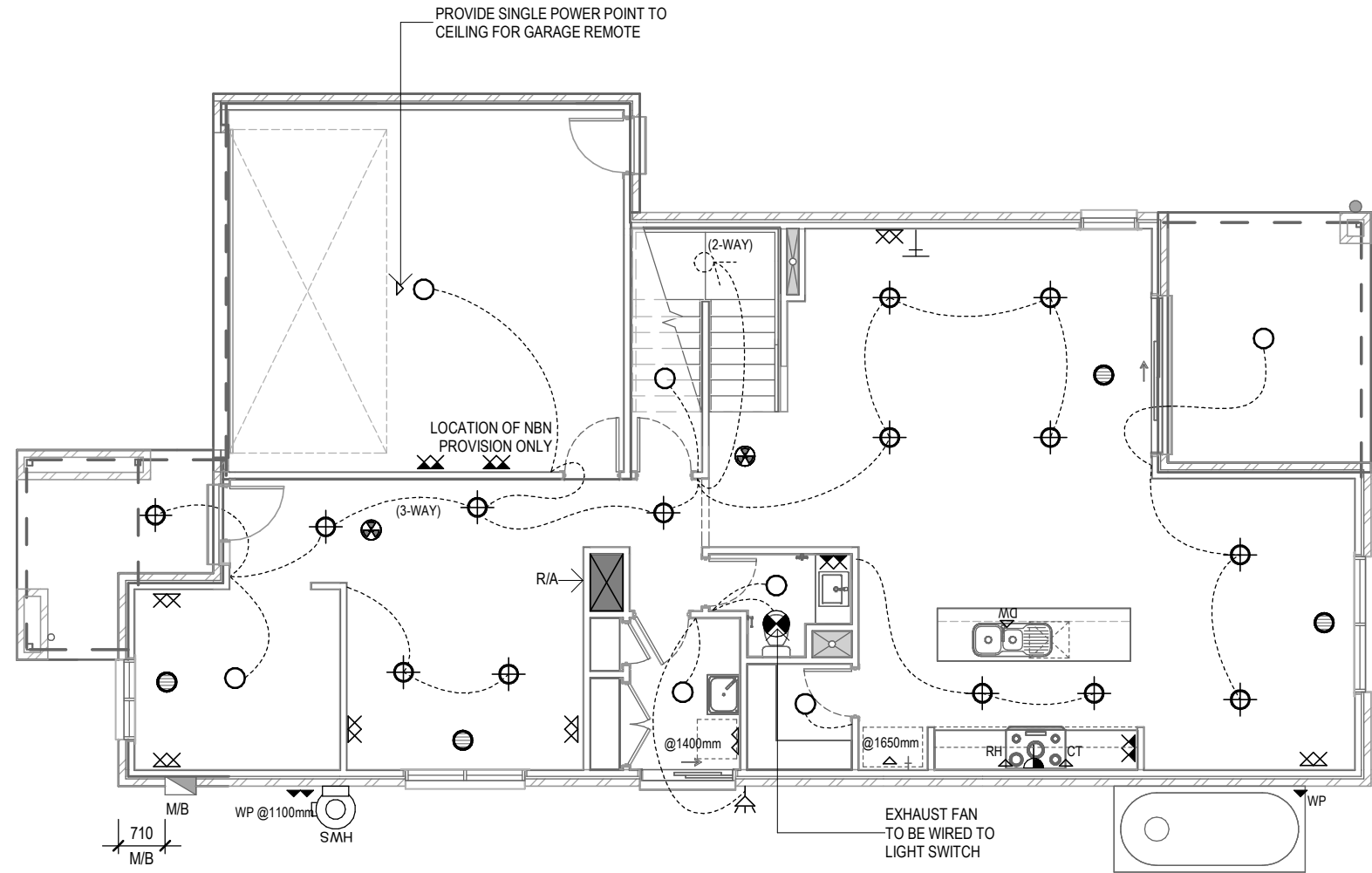
<p>GENERAL NOTES</p>	<p>CLIENT ACKNOWLEDGEMENT</p> <p>I / WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.</p> <p>CLIENT 1: DATE 1:</p> <p>CLIENT 2: DATE 2:</p> <p>JGK BUILDER: DATE 3:</p>	<p>SHEET TITLE</p> <p>SECTION/DETAILS</p> <p>HOUSE NAME: COMMANDER 285 HAND: LH</p> <p>FACADE NAME: GRANADA</p> <p>SHEET SCALE: A3 ORIGINAL SHEET SIZE: A3 COPYRIGHT: 2024</p> <p><small>*THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD*</small></p> <p><small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small></p>	  <p>154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555</p>	<p>CLIENT: JOSHUA MATHEW & MONCY JOSHUA</p> <p>ADDRESS: LOT 8, NO.69 LAKEVIEW DRIVE</p> <p>SUBURB: LAKES ENTRANCE VIC 3909</p> <p>JOB NO: 2404TRA160 JOB DATE: 06/06/2024</p> <p>DRAWN: M-01 PROJECT STAGE: CONTRACT</p> <p>CHECKED: AM</p> <p>MASTER RELEASE DATE: 29/05/2024</p> <p>SHEET NO: 16 TOTAL NO: 30</p>
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LEGEND OF SYMBOLS		FITTING WATTAGE	QTY
XX	DOUBLE GPO-INTERNAL @ 300mm	N/A	14
XX	DOUBLE GPO-INTERNAL @ 1100 mm	N/A	6
△	SINGLE GPO-INTERNAL (HEIGHT VARIES)	N/A	5
△△	DOUBLE GPO-INTERNAL (HEIGHT VARIES)	N/A	1
▲	SINGLE GPO WEATHER PROOF - EXTERNAL (HEIGHT VARIES)	N/A	1
▲▲	DOUBLE GPO WEATHER PROOF - EXTERNAL (HEIGHT VARIES)	N/A	1
⊙	DIRECT WIRE (APPLIANCE)	N/A	1
○	CEILING LIGHT BATTEN HOLDER	10W	15
⊕	LED DOWN LIGHT	7W	26
▽	LIGHT (EXTERNAL)-MIN. 40LW HT. VARIES (1978mm FROM FINISH FLOOR LEVEL)	10W	1
☢	SMOKE ALARM	N/A	4
⊕	HOT WATER SERVICE (ELECTRIC)	N/A	1
⊗	EXHAUST FAN (SELF CLOSING)	N/A	4
▭	METER BOX	N/A	1
⊥	T.V. COAXIAL POINT @300mm	N/A	3
R/A	RETURN AIR LOCATION	N/A	1
⊗	HEATING VOID IN TRUSS INCLUDING DOUBLE POWER POINT (INCLUDED IN VALUES ABOVE) *EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION	N/A	1
⊕	CEILING REGISTER (APPX. LOC.) (EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION)	N/A	9
⊕	ROOF ACCESS (PROVIDE SINGLE BATTEN LIGHT WITHIN 1.6 M OF ROOF ACCES, INCLUDED IN VALUE ABOVE)	N/A	1

ARTIFICIAL LIGHTING

IN ACCORDANCE WITH NCC BUILDING CODE OF AUSTRALIA VOLUME 2 PART 2.12.5.5

Lighting Location	Actual
Class 1 Building (5W/m ²) Residence	285
Class 10 Building (3W/m ²) Garage/Carport	10
External Lighting (4W/m ²) Verandah/Porch/Alfresco/Balcony	27
Total	322

GENERAL NOTES

- BOTTOM OF METER BOX TO BE 1100mm ABOVE GROUND LEVEL.
- HEIGHTS MEASURED FROM FLOOR LEVEL TO CENTER OF FITTING UNLESS NOTED OTHERWISE.
- UNLESS NOTED OTHERWISE ALL POWER POINTS ARE TO BE LOCATED TO THE NEAREST STUD.
- POWER POINTS FOR APPLIANCES ARE TO SUIT MANUFACTURERS REQUIREMENTS.
- SOLAR PANEL LOCATION NOMINAL ONLY. INSTALLERS TO LOCATE (EXCLUDING FRONT ELEVATION) TO COMPLY WITH MANUFACTURERS REQUIREMENTS & AS/NZS 3500 PLUMBING AND DRAINAGE.
- DENOTES HARDWIRED INTERCONNECTED SMOKE ALARM(S) WITH BATTERY BACKUP AS PER NCC 2022 PART 9.5 & TO COMPLY WITH AS3786.

PROVIDE FIBRE PROVISIONING ONLY

INCLUDES:

- TRENCH AND P20 CONDUIT (32MM WHEN REQUIRED) FROM COMMUNICATIONS PIT TO HOUSE INCLUDING DRAWSTRING.
- INTERNAL P20 CONDUIT (32MM WHEN REQUIRED) TO FUTURE LOCATION OF ENCLOSURE POSITION.
- DOUBLE POWER POINT TO LOCATION OF FUTURE ENCLOSURE POSITION.

NOTES:

- DOES NOT INCLUDE ANY INTERNAL POINTS (DATA, TV, PHONE ETC)
- DOES NOT INCLUDE ENCLOSURE.
- NOT RECOMMENDED FOR DOUBLE STOREY HOMES.

CLIENT ACKNOWLEDGEMENT

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CLIENT 1: _____ DATE 1: _____

CLIENT 2: _____ DATE 2: _____

JGK BUILDER: _____ DATE 3: _____

SHEET TITLE
ELECTRICAL - GROUND FLOOR

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 100** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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CLIENT
JOSHUA MATHEW & MONCY JOSHUA

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

DRAWN: **M-01** CHECKED: **AM** PROJECT STAGE: **CONTRACT**

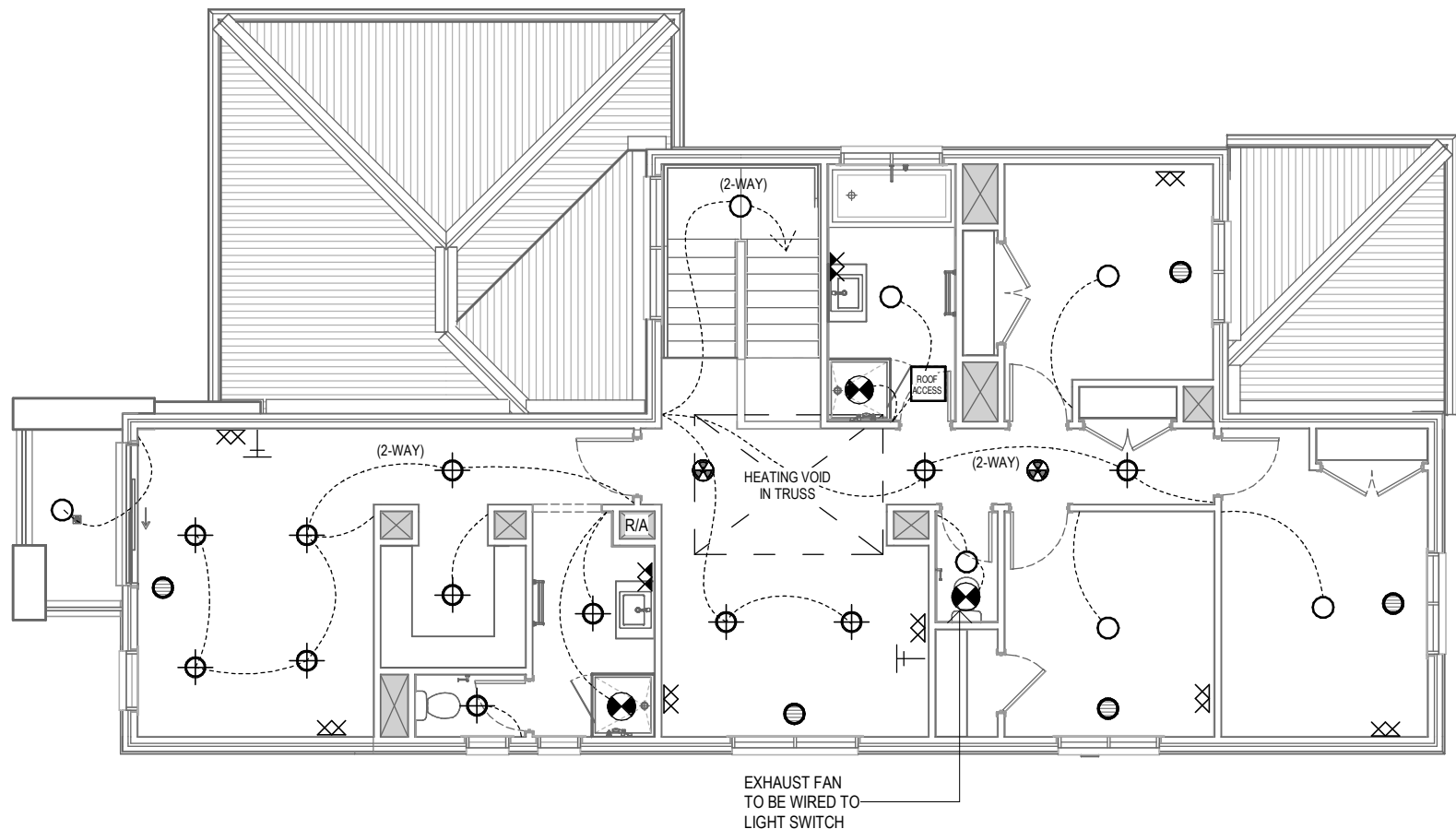
MASTER RELEASE DATE: **29/05/2024** SHEET NO: **17** TOTAL NO: **30**

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LEGEND OF SYMBOLS		FITTING WATTAGE	QTY
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	DOUBLE GPO-INTERNAL @ 1100 mm	N/A	6
	SINGLE GPO-INTERNAL (HEIGHT VARIES)	N/A	5
	DOUBLE GPO-INTERNAL (HEIGHT VARIES)	N/A	1
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	LIGHT (EXTERNAL)-MIN. 40LW HT. VARIES (1978mm FROM FINISH FLOOR LEVEL)	10W	1
	SMOKE ALARM	N/A	4
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	METER BOX	N/A	1
	T.V. COAXIAL POINT @300mm	N/A	3
	RETURN AIR LOCATION	N/A	1
	HEATING VOID IN TRUSS INCLUDING DOUBLE POWER POINT (INCLUDED IN VALUES ABOVE) **EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION	N/A	1
	CEILING REGISTER (APPX. LOC.) (EXACT LOCATION SUBJECT TO CONTRACTORS DISCRETION)	N/A	9
	ROOF ACCESS (PROVIDE SINGLE BATTEN LIGHT WITHIN 1.6 M OF ROOF ACCES, INCLUDED IN VALUE ABOVE)	N/A	1

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IN ACCORDANCE WITH NCC BUILDING CODE OF AUSTRALIA VOLUME 2 PART 2.12.5.5

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- UNLESS NOTED OTHERWISE ALL POWER POINTS ARE TO BE LOCATED TO THE NEAREST STUD.
- POWER POINTS FOR APPLIANCES ARE TO SUIT MANUFACTURERS REQUIREMENTS.
- SOLAR PANEL LOCATION NOMINAL ONLY. INSTALLERS TO LOCATE (EXCLUDING FRONT ELEVATION) TO COMPLY WITH MANUFACTURERS REQUIREMENTS & AS/NZS 3500 PLUMBING AND DRAINAGE.
- DENOTES HARDWIRED INTERCONNECTED SMOKE ALARM(S) WITH BATTERY BACKUP AS PER NCC 2022 PART 9.5 & TO COMPLY WITH AS3786.

PROVIDE FIBRE PROVISIONING ONLY

INCLUDES:

- TRENCH AND P20 CONDUIT (32MM WHEN REQUIRED) FROM COMMUNICATIONS PIT TO HOUSE INCLUDING DRAWSTRING.
- INTERNAL P20 CONDUIT (32MM WHEN REQUIRED) TO FUTURE LOCATION OF ENCLOSURE POSITION.
- DOUBLE POWER POINT TO LOCATION OF FUTURE ENCLOSURE POSITION.

NOTES:

- DOES NOT INCLUDE ANY INTERNAL POINTS (DATA, TV, PHONE ETC)
- DOES NOT INCLUDE ENCLOSURE.
- NOT RECOMMENDED FOR DOUBLE STOREY HOMES.

CLIENT ACKNOWLEDGEMENT

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CLIENT 1: _____ DATE 1: _____

CLIENT 2: _____ DATE 2: _____

JGK BUILDER: _____ DATE 3: _____

SHEET TITLE
ELECTRICAL - FIRST FLOOR

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 100** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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JG KING HOMES
154 ARGYLE STREET,
TRARALGON, VIC 3844
T(03) 5175 5555

UP COLLECTION
TRARALGON

CLIENT: **JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

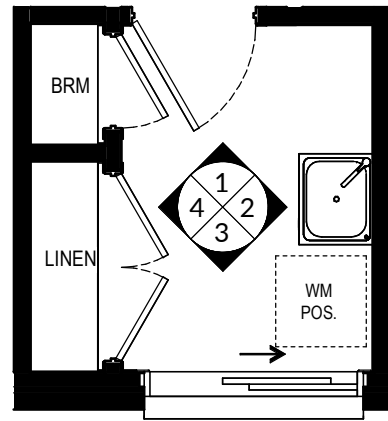
DRAWN: **M-01** CHECKED: **AM** PROJECT STAGE: **CONTRACT**

MASTER RELEASE DATE: **29/05/2024** SHEET NO: **18** TOTAL NO: **30**

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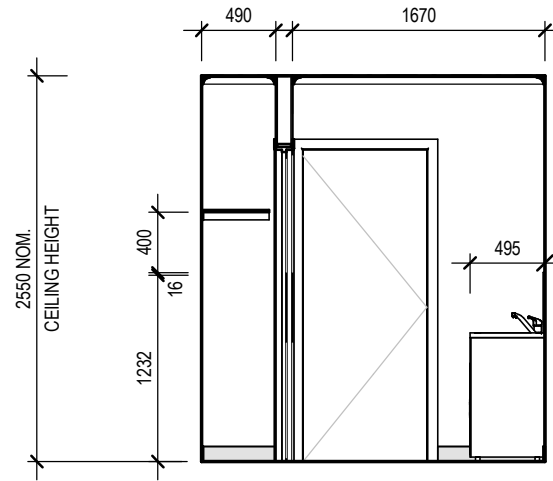
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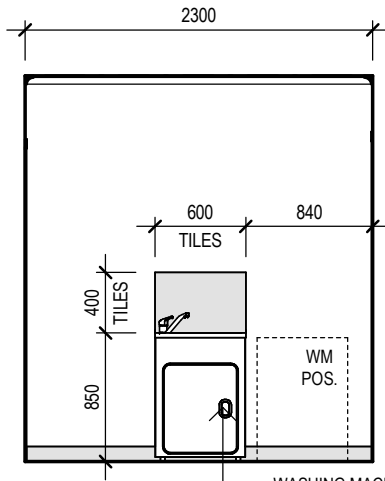
L'DRY PLAN

SCALE: 1 : 50



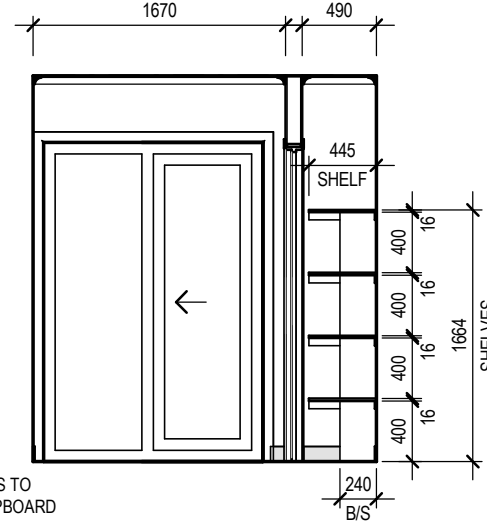
ELEVATION 1

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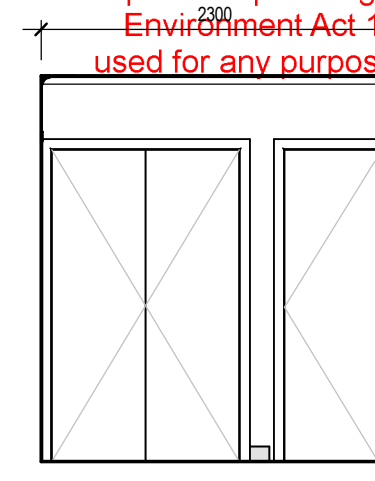
ELEVATION 2

SCALE: 1 : 50



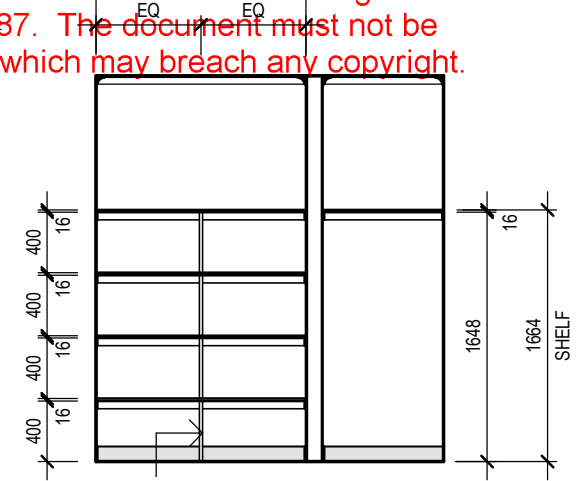
ELEVATION 3

SCALE: 1 : 50



ELEVATION 4

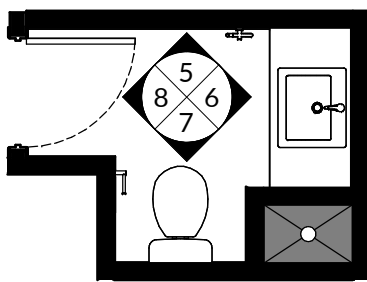
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ELEVATION 4 - LINEN&BRM

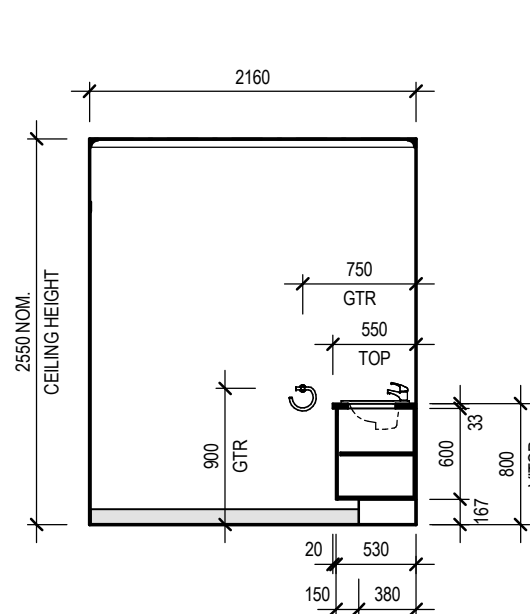
SCALE: 1 : 50

BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC.



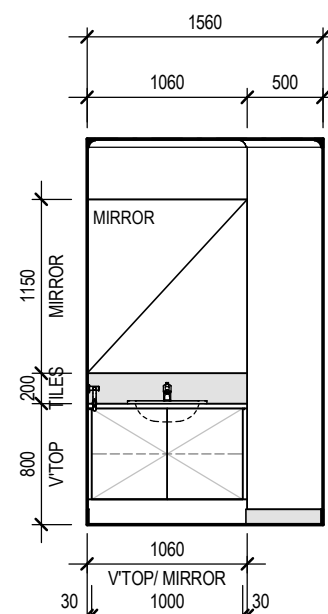
P'DR PLAN

SCALE: 1 : 50



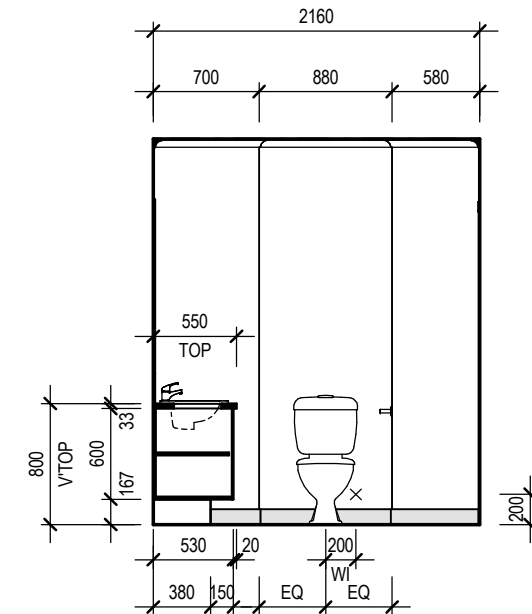
ELEVATION 5

SCALE: 1 : 50



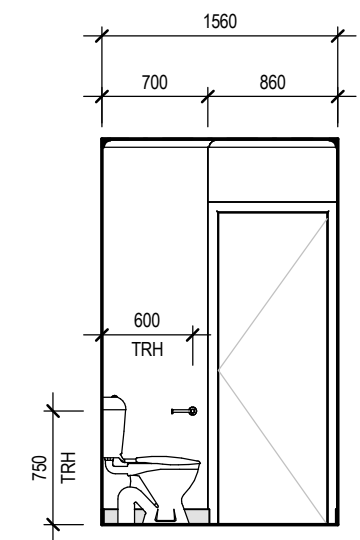
ELEVATION 6

SCALE: 1 : 50



ELEVATION 7

SCALE: 1 : 50



ELEVATION 8

SCALE: 1 : 50

GENERAL NOTES

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CLIENT 1: DATE 1:
CLIENT 2: DATE 2:
JGK BUILDER: DATE 3:

SHEET TITLE

L'DRY & P'DR INTERNALS

HOUSE NAME: **COMMANDER 285** HAND: **LH**
FACADE NAME: **GRANADA**
SHEET SCALE: **1 : 50** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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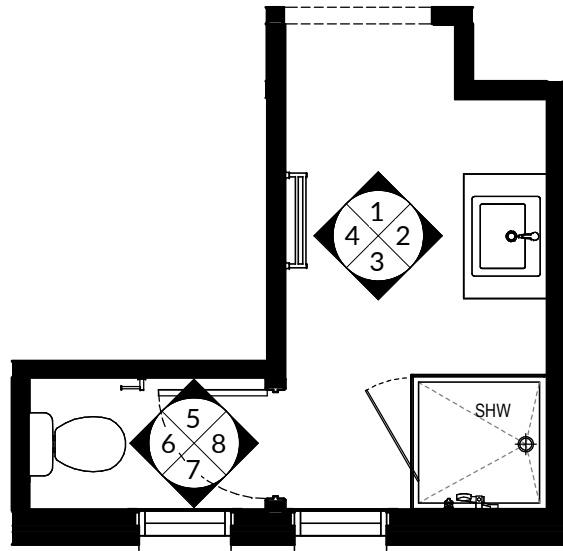
CLIENT: **JOSHUA MATHEW & MONCY JOSHUA**

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**
SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**
DRAWN: **M-01** PROJECT STAGE: **CONTRACT**
MASTER RELEASE DATE: **29/05/2024** SHEET NO: **20** TOTAL NO: **30**

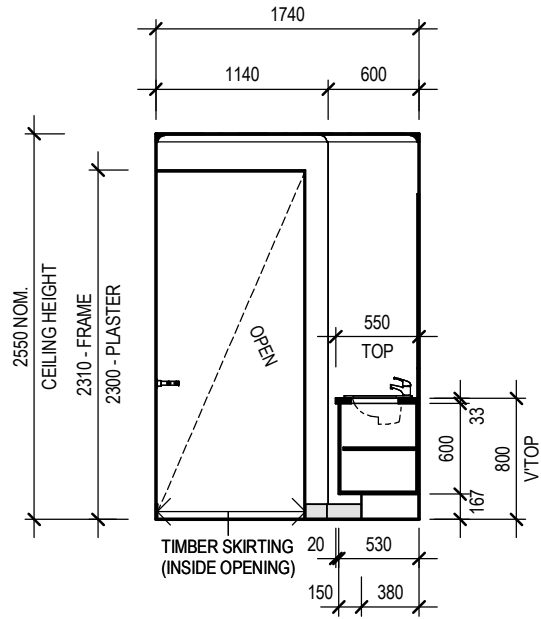
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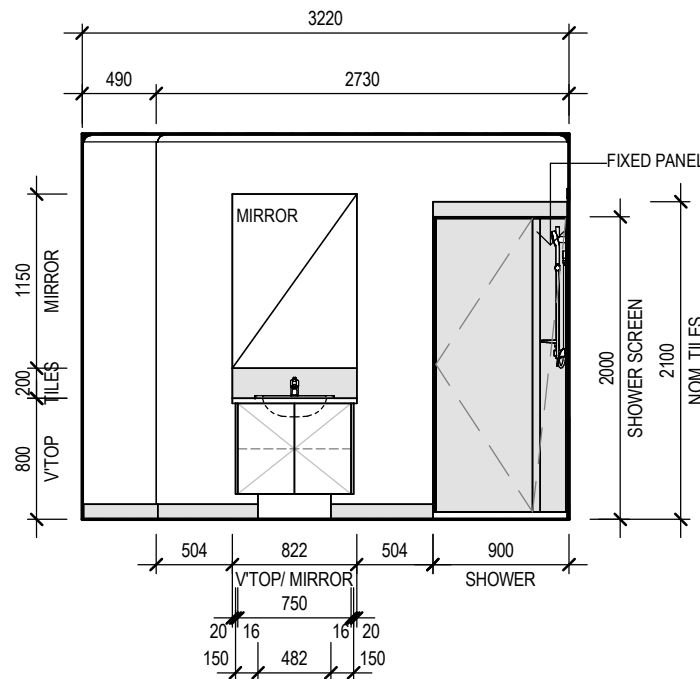
ENS / WC 1 PLAN

SCALE: 1 : 50



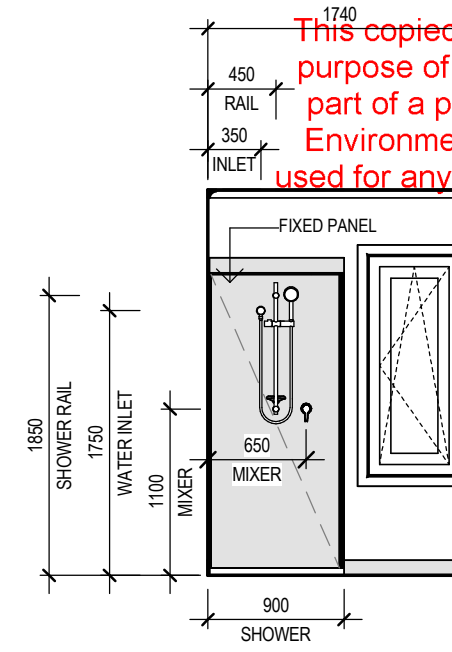
ELEVATION 1

SCALE: 1 : 50



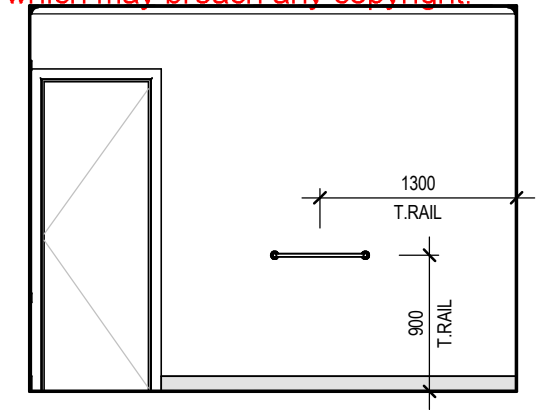
ELEVATION 2

SCALE: 1 : 50



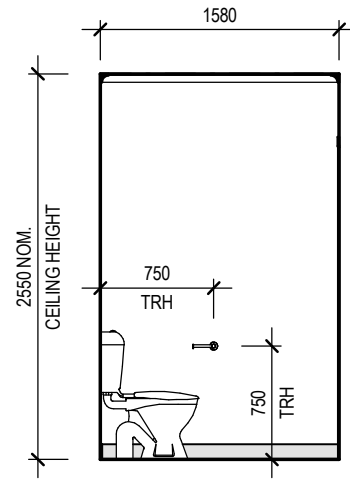
ELEVATION 3

SCALE: 1 : 50



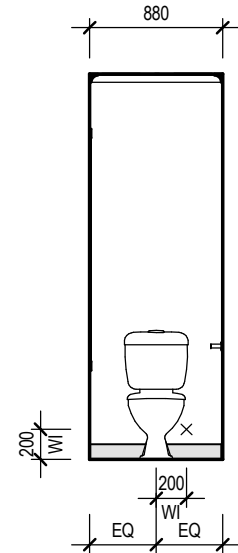
ELEVATION 4

SCALE: 1 : 50



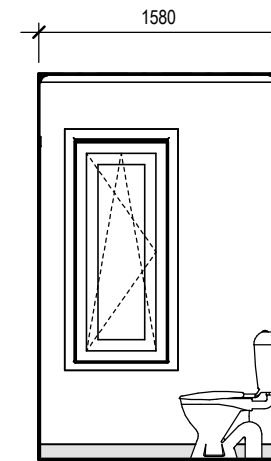
ELEVATION 5

SCALE: 1 : 50



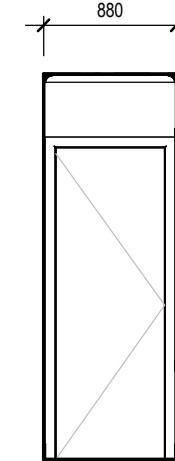
ELEVATION 6

SCALE: 1 : 50



ELEVATION 7

SCALE: 1 : 50



ELEVATION 8

SCALE: 1 : 50

GENERAL NOTES

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CLIENT 1: DATE 1:
CLIENT 2: DATE 2:
JGK BUILDER: DATE 3:

SHEET TITLE

ENSUITE & WC 1 INTERNALS

HOUSE NAME: **COMMANDER 285** HAND: **LH**
FACADE NAME: **GRANADA**
SHEET SCALE: **1 : 50** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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CLIENT: **JOSHUA MATHEW & MONCY JOSHUA**

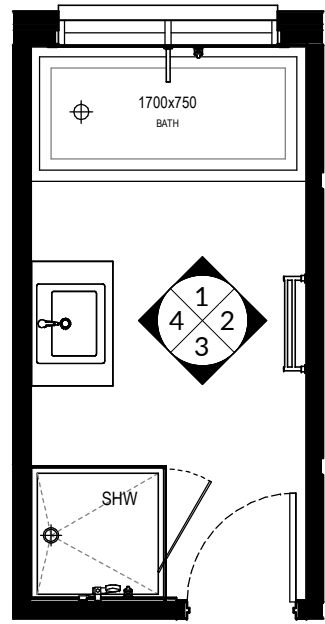
ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**
SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**
DRAWN: **M-01** PROJECT STAGE: **CONTRACT**
MASTER RELEASE DATE: **29/05/2024** SHEET NO: **8** TOTAL NO: **30**

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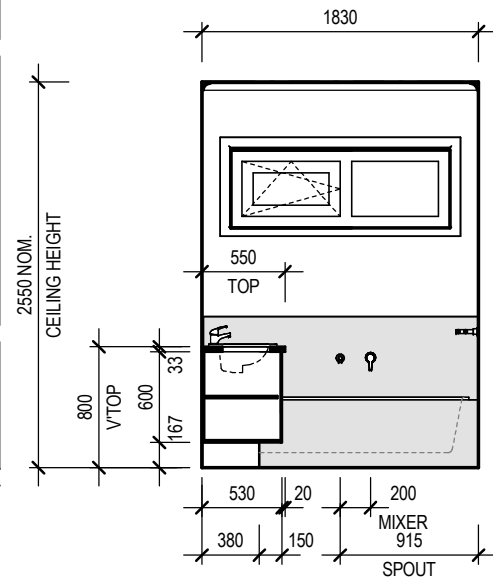
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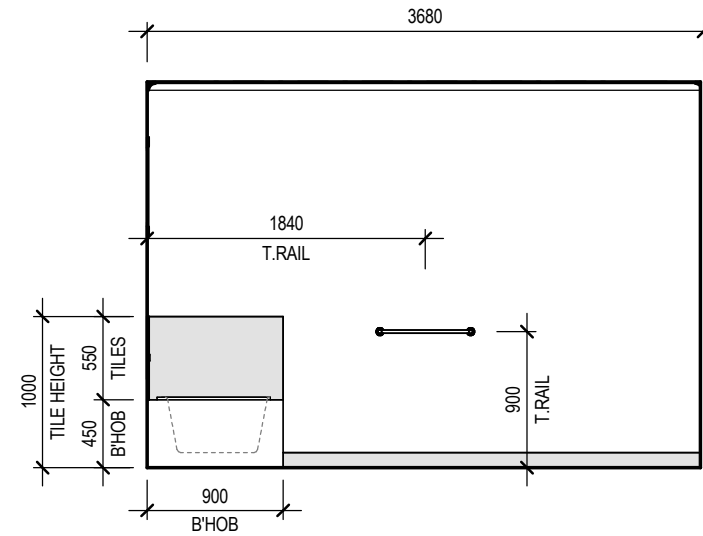
BATHROOM PLAN

SCALE: 1 : 50



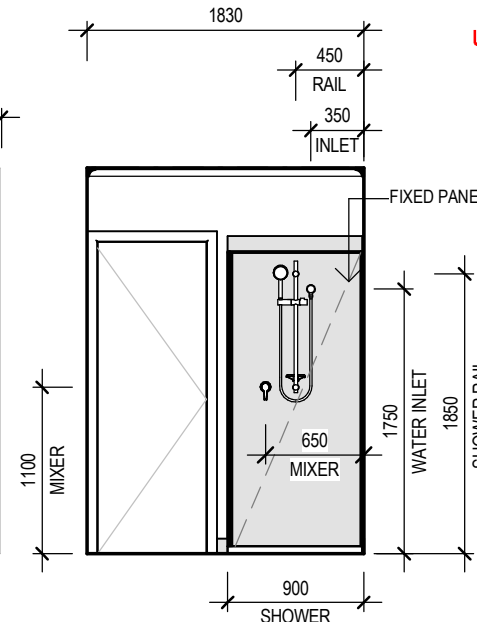
ELEVATION 1

SCALE: 1 : 50



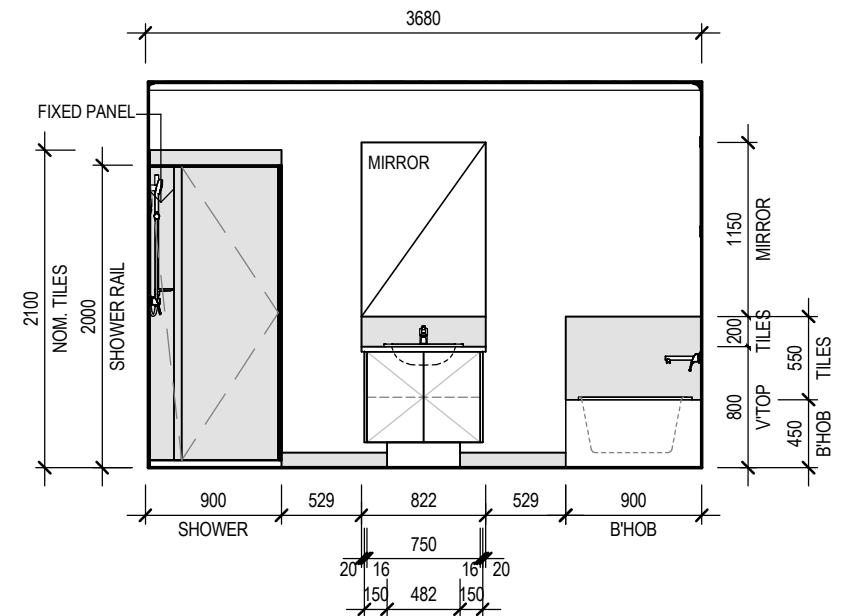
ELEVATION 2

SCALE: 1 : 50



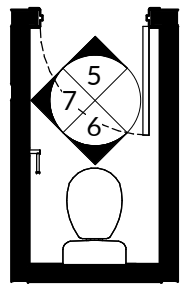
ELEVATION 3

SCALE: 1 : 50



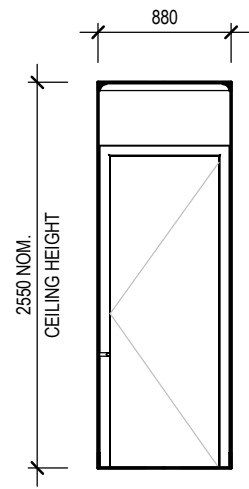
ELEVATION 4

SCALE: 1 : 50



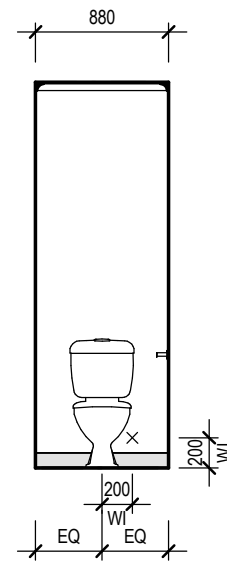
WC2 PLAN

SCALE: 1 : 50



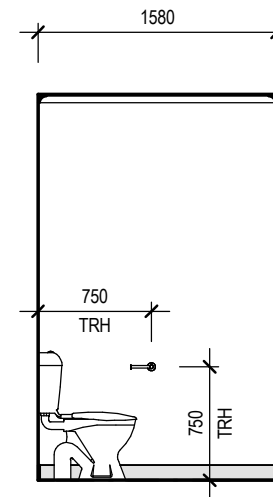
ELEVATION 5

SCALE: 1 : 50



ELEVATION 6

SCALE: 1 : 50



ELEVATION 7

SCALE: 1 : 50

GENERAL NOTES

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CLIENT 1:	DATE 1:
CLIENT 2:	DATE 2:
JGK BUILDER:	DATE 3:

SHEET TITLE

BATH & WC 2 INTERNALS
 HOUSE NAME: **COMMANDER 285** HAND: **LH**
 FACADE NAME: **GRANADA**
 SHEET SCALE: **1 : 50** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**
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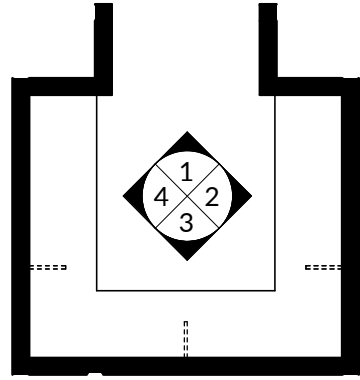
JG KING HOMES 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555

UP COLLECTION TRARALGON

CLIENT	JOSHUA MATHEW & MONCY JOSHUA		
ADDRESS	LOT 8, NO.69 LAKEVIEW DRIVE		
SUBURB	LAKES ENTRANCE VIC 3909		
JOB NO	2404TRA160	JOB DATE	06/06/2024
DRAWN	M-01	CHECKED	AM
MASTER RELEASE DATE	29/05/2024	PROJECT STAGE	CONTRACT
SHEET NO	22	TOTAL NO	30

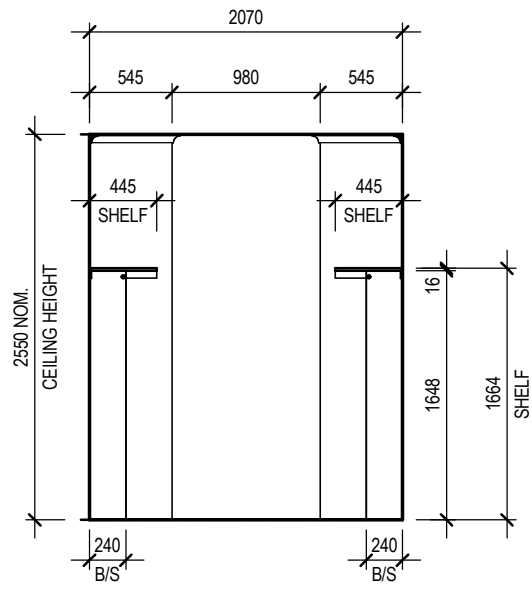
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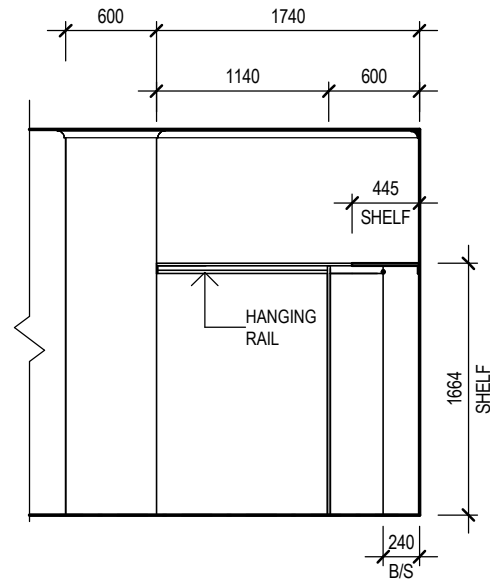
WIR 1 PLAN

SCALE: 1 : 50



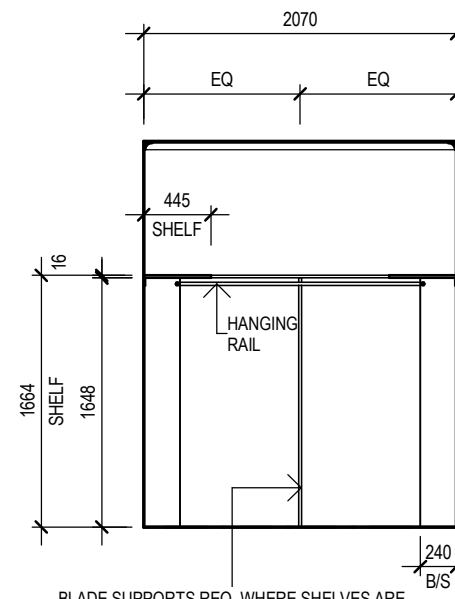
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SCALE: 1 : 50



ELEVATION 2

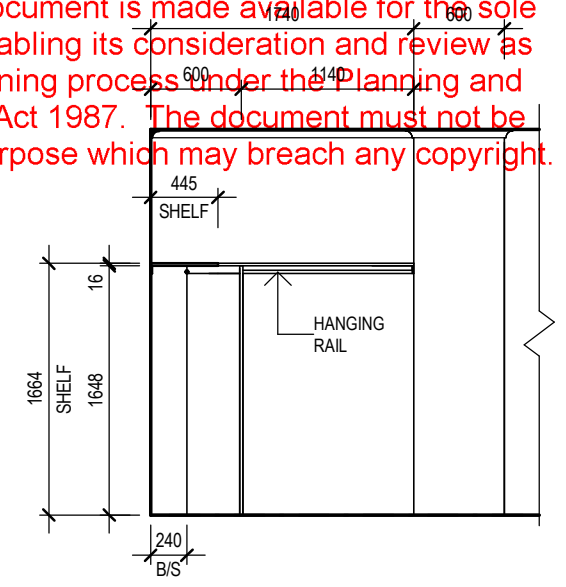
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BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC

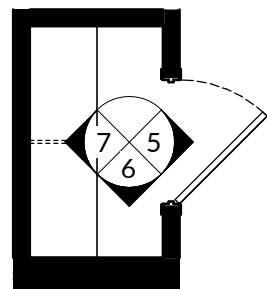
ELEVATION 3

SCALE: 1 : 50



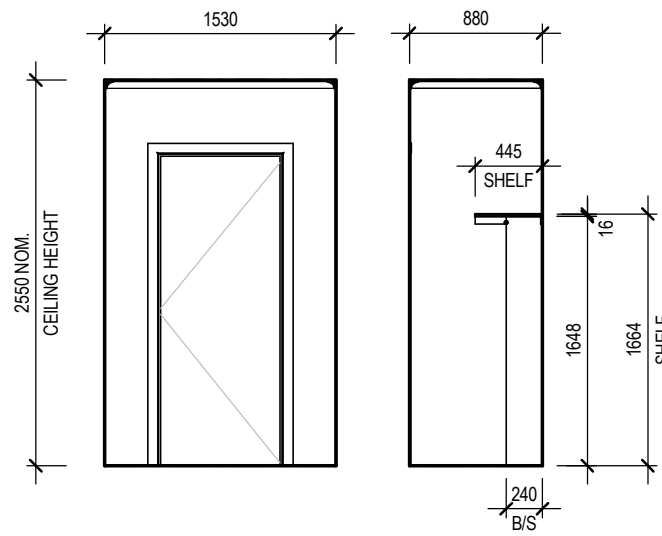
ELEVATION 4

SCALE: 1 : 50



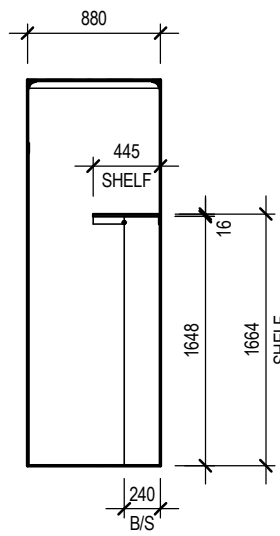
WIR 2 PLAN

SCALE: 1 : 50



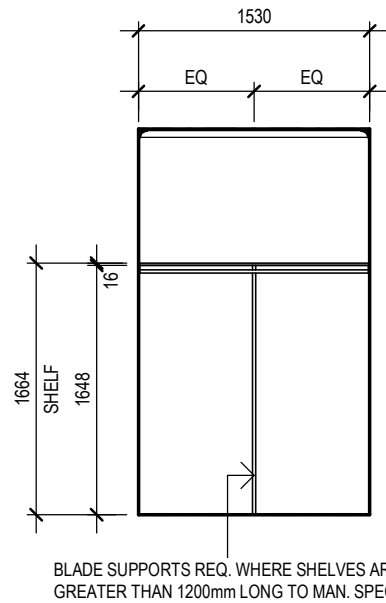
ELEVATION 5

SCALE: 1 : 50



ELEVATION 5

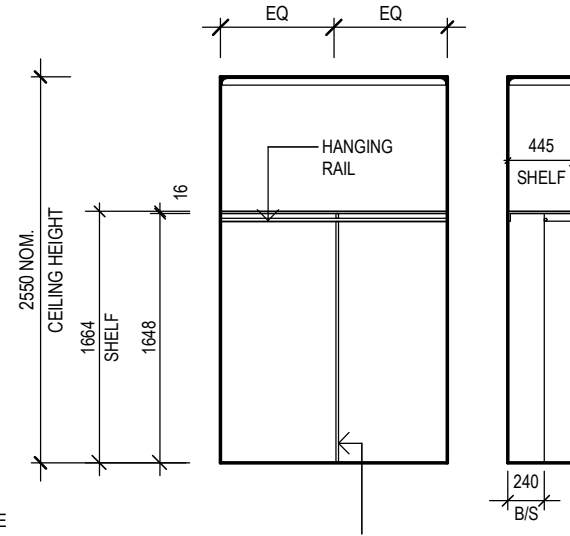
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BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC

ELEVATION 7

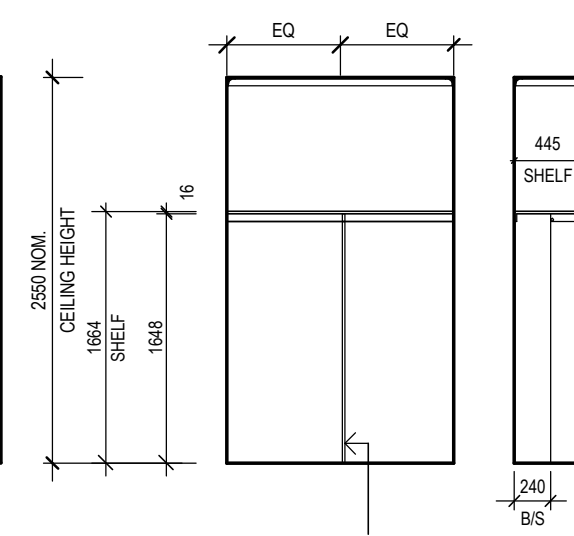
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BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC

ROBE - TYPICAL

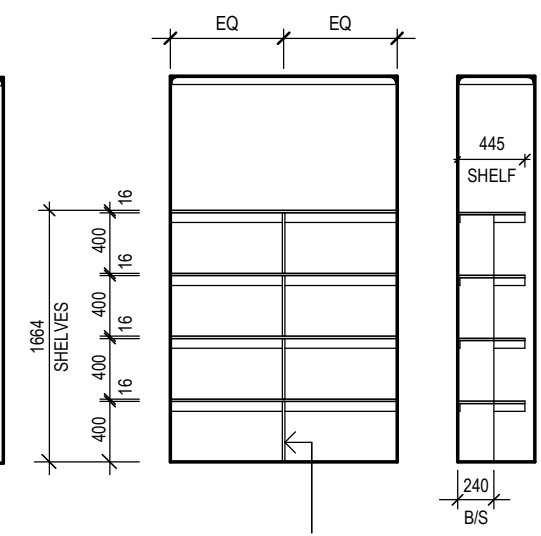
SCALE: 1 : 50



BLADE SUPPORTS REQUIRED WHERE SHELVES ARE GREATER THAN 1200mm LONG

BROOM - TYPICAL

SCALE: 1 : 50



BLADE SUPPORTS REQ. WHERE SHELVES ARE GREATER THAN 1200mm LONG TO MAN. SPEC

LINEN - TYPICAL

SCALE: 1 : 50

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CLIENT 1: DATE 1:
CLIENT 2: DATE 2:
JGK BUILDER: DATE 3:

SHEET TITLE

WIR 1&2 INTERNALS & TYPICAL DETAILS

HOUSE NAME: **COMMANDER 285** HAND: **LH**
FACADE NAME: **GRANADA**
SHEET SCALE: **1 : 50** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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CLIENT: **JOSHUA MATHEW & MONCY JOSHUA**

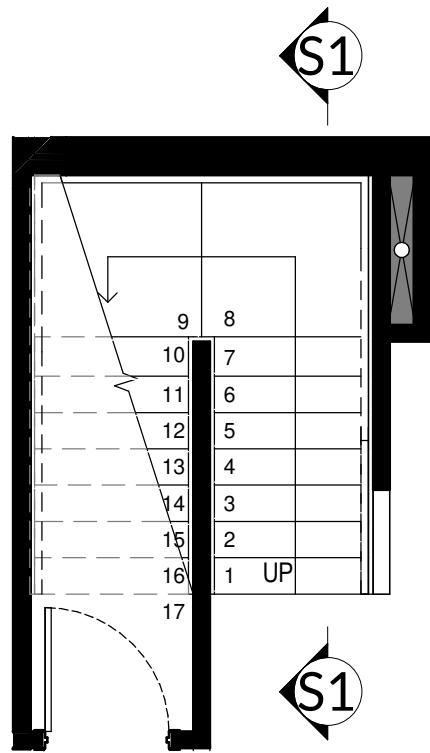
ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**
SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**
DRAWN: **M-01** PROJECT STAGE: **CONTRACT**
MASTER RELEASE DATE: **29/05/2024** SHEET NO: **23** TOTAL NO: **30**

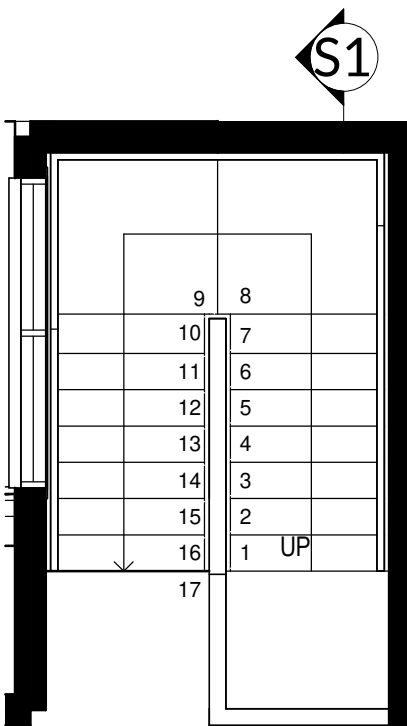
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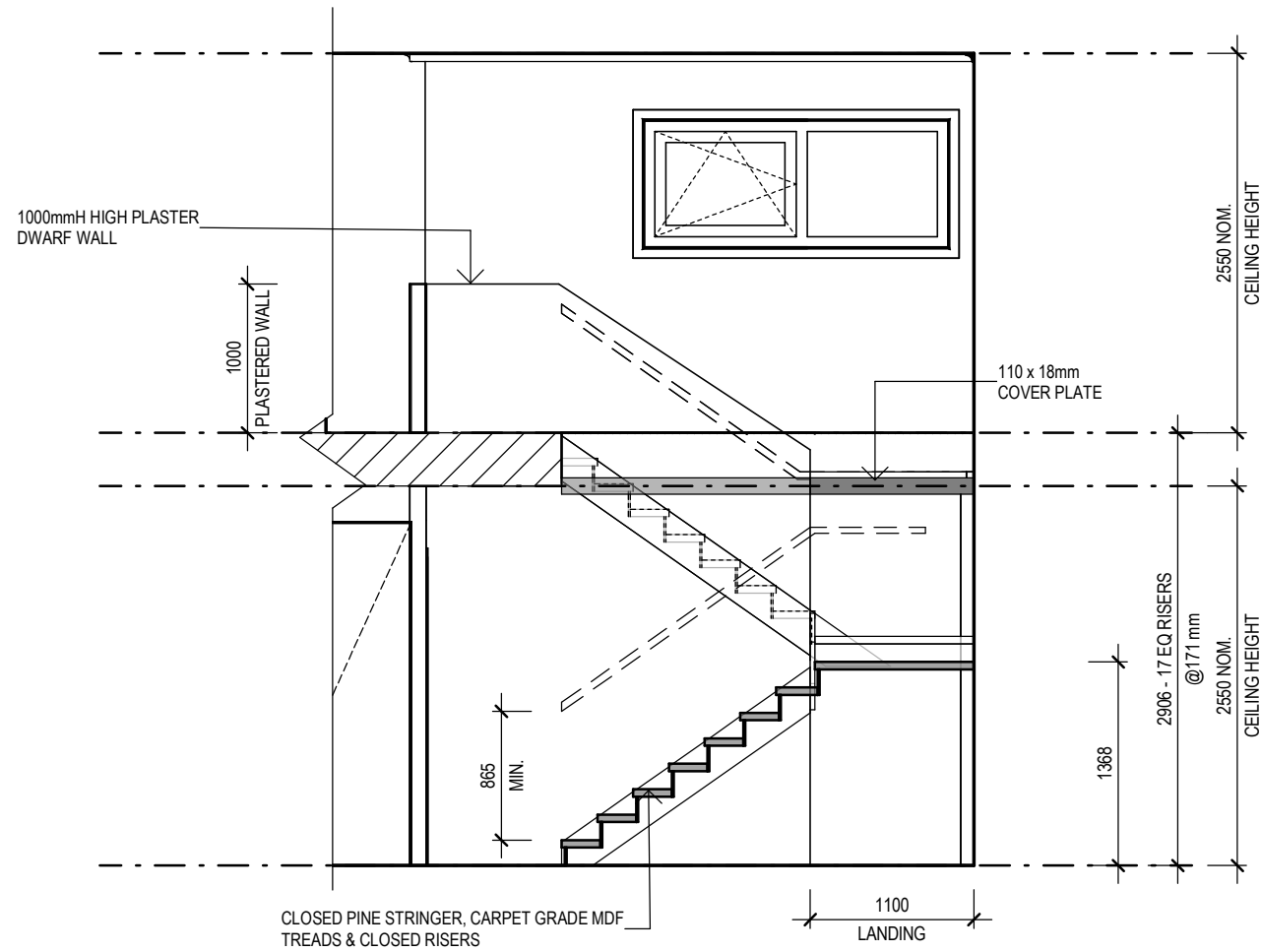
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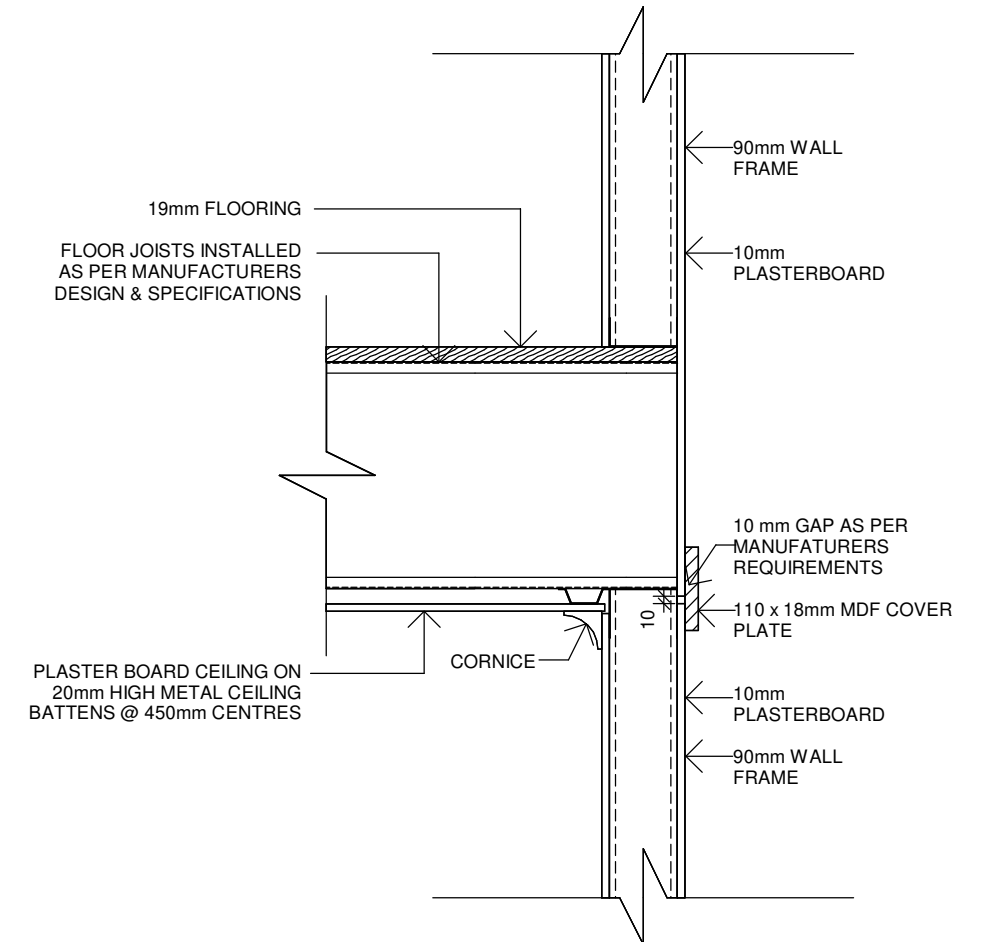
GROUND FLOOR STAIRS
SCALE: 1 : 50



FIRST FLOOR STAIRS
SCALE: 1 : 50



SECTION S1
SCALE: 1 : 50



PLASTER CONTROL JOINT
SCALE: 1 : 10

GENERAL NOTES

CLIENT ACKNOWLEDGEMENT

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CLIENT 1: DATE 1:
CLIENT 2: DATE 2:
JGK BUILDER: DATE 3:

SHEET TITLE
STAIRS INTERNALS

HOUSE NAME: **COMMANDER 285** HAND: **LH**
FACADE NAME: **GRANADA**
SHEET SCALE: **AS INDICATED** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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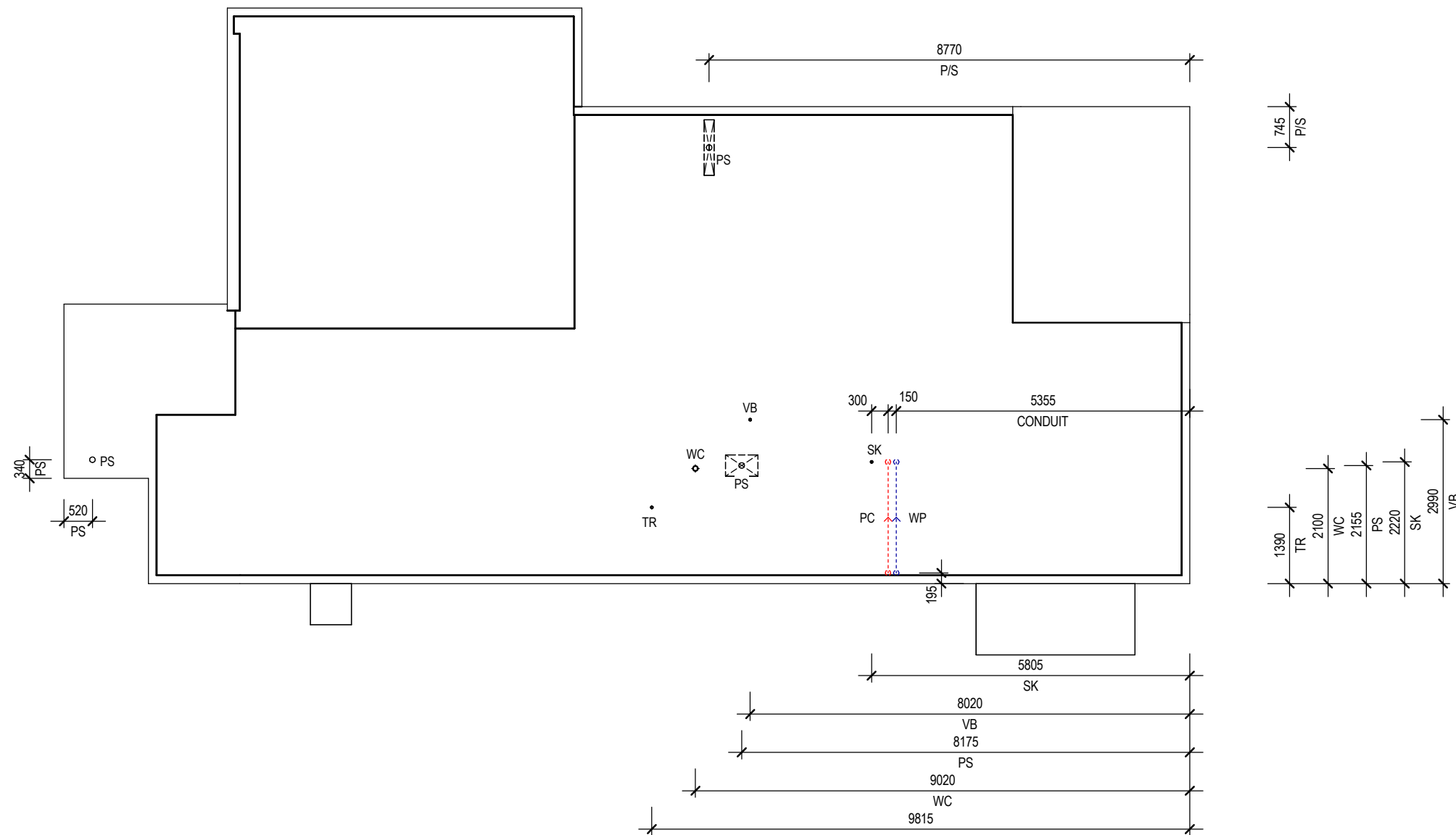


CLIENT
JOSHUA MATHEW & MONCY JOSHUA

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**
SUBURB: **LAKES ENTRANCE VIC 3909**
JOB NO: **2404TRA160** JOB DATE: **06/06/2024**
DRAWN: **M-01** PROJECT STAGE: **CONTRACT**
MASTER RELEASE DATE: **29/05/2024** SHEET NO: **24** TOTAL NO: **30**

Printed 18/12/2024
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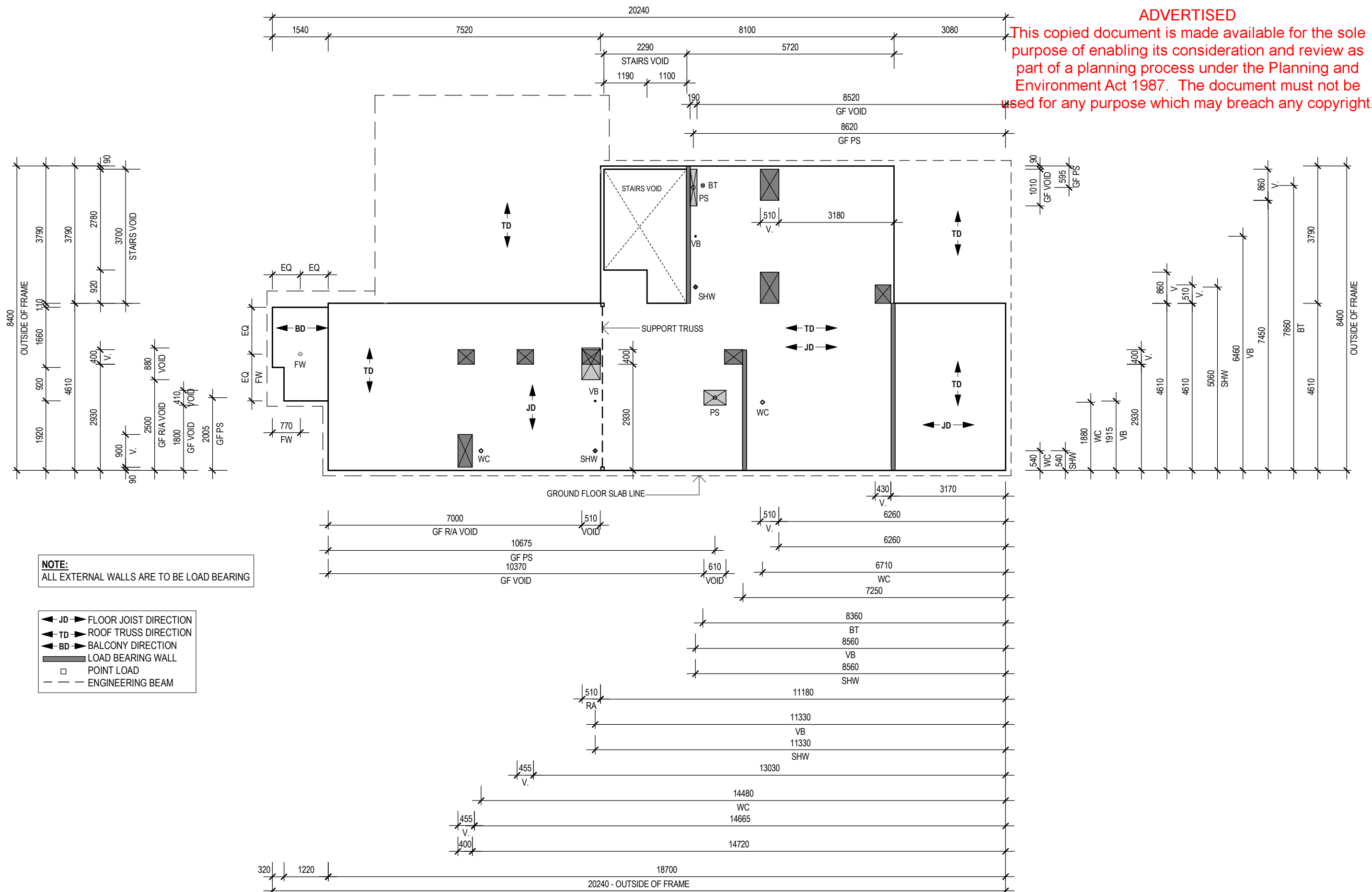
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GENERAL NOTES 	LEGEND <ul style="list-style-type: none"> ⊕ SHW DENOTES SHOWER OUTLET ⊕ WP DENOTES POWER/WATER CONDUIT ⊕ PC DENOTES TOILET SUITE OUTLET ⊕ WC DENOTES BATH TUB OUTLET ⊕ BT DENOTES VANITY BASIN OUTLET ⊕ VB DENOTES LAUNDRY THROUGH OUTLET ⊕ TR DENOTES KITCHEN SINK OUTLET ⊕ SK DENOTES KITCHEN SINK OUTLET 	CLIENT ACKNOWLEDGEMENT <p>I/ WE AGREE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REFLECTION OF OUR REQUIREMENTS & AGREE THAT THESE DRAWINGS ARE THE DRAWINGS REFERRED TO ON PAGE 35 OF THE MAJOR DOMESTIC BUILDING CONTRACT BETWEEN J.G. KING Pty Ltd & MYSELF / OURSELVES.</p> <p>CLIENT 1: _____ DATE 1: _____</p> <p>CLIENT 2: _____ DATE 2: _____</p> <p>JGK BUILDER: _____ DATE 3: _____</p>	SHEET TITLE PLUMBING LAYOUT - GF HOUSE NAME: COMMANDER 285 HAND: LH FACADE NAME: GRANADA SHEET SCALE: 1 : 100 ORIGINAL SHEET SIZE: A3 COPYRIGHT: 2024 <small>THIS WORK IS OWNED EXCLUSIVELY BY JG KING HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPIING) WITHOUT THE WRITTEN PERMISSION OF JG KING HOMES PTY LTD</small> <small>DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS</small>	 154 ARGYLE STREET, TRARALGON, VIC 3844 T(03) 5175 5555	CLIENT JOSHUA MATHEW & MONCY JOSHUA ADDRESS: LOT 8, NO.69 LAKEVIEW DRIVE SUBURB: LAKES ENTRANCE VIC 3909 JOB NO: 2404TRA160 JOB DATE: 06/06/2024 DRAWN: M-01 CHECKED: AM PROJECT STAGE: CONTRACT MASTER RELEASE DATE: 29/05/2024 SHEET NO: 26 TOTAL NO: 30
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NOTE:
ALL EXTERNAL WALLS ARE TO BE LOAD BEARING

- ← JD → FLOOR JOIST DIRECTION
- ← TD → ROOF TRUSS DIRECTION
- ← BD → BALCONY DIRECTION
- ▬ LOAD BEARING WALL
- POINT LOAD
- - - ENGINEERING BEAM

GENERAL NOTES	
SHW	DENOTES SHOWER OUTLET
WP PC	DENOTES POWER/WATER CONDUIT
WC	DENOTES TOILET SUITE OUTLET
BT	DENOTES BATH TUB OUTLET
VB	DENOTES VANITY BASIN OUTLET
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SK	DENOTES KITCHEN SINK OUTLET

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CLIENT 2:	DATE 2:	
JGK BUILDER:	DATE 3:	

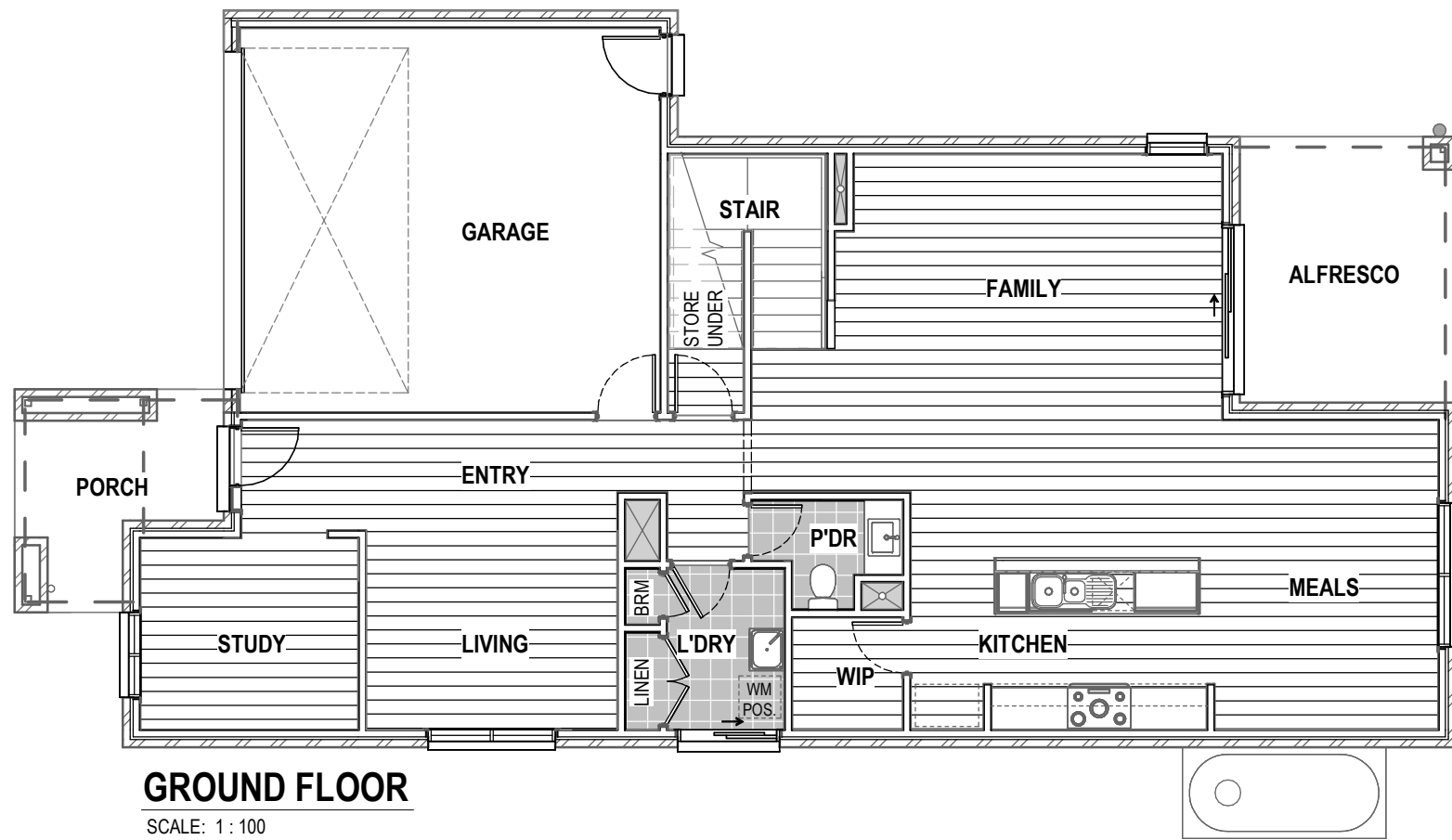
SHEET TITLE		
FLOOR/PLUMBING LAYOUT - FF		
HOUSE NAME	HAND	
COMMANDER 285	LH	
FACADE NAME		
GRANADA		
SHEET SCALE	ORIGINAL SHEET SIZE	COPYRIGHT
1 : 100	A3	2024
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UP
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TRARALGON

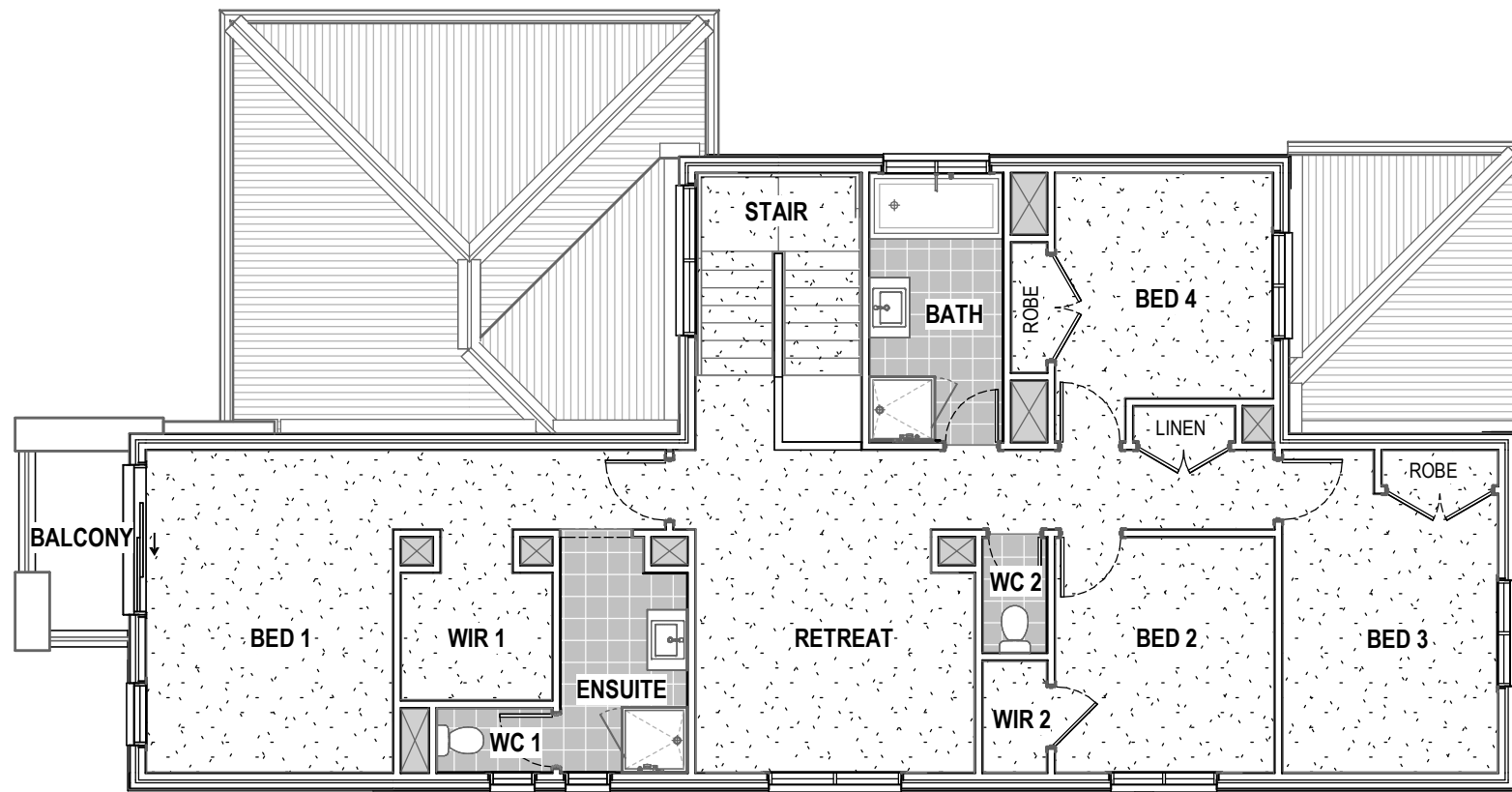
CLIENT	
JOSHUA MATHEW & MONCY JOSHUA	
ADDRESS	
LOT 8, NO.69 LAKEVIEW DRIVE	
SUBURB	
LAKES ENTRANCE VIC 3909	
JOB NO	JOB DATE
2404TRA160	06/06/2024
DRAWN	CHECKED
M-01	AM
MASTER RELEASE DATE	SHEET NO
29/05/2024	7
	TOTAL NO
	30

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GROUND FLOOR

SCALE: 1 : 100



FIRST FLOOR

SCALE: 1 : 100

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FLOOR COVERING SCHEDULE		
LOCATION	MATERIAL	AREA
ENTRY	VINYL	11.74 m ²
STUDY	VINYL	8.49 m ²
LIVING	VINYL	10.17 m ²
FAMILY MEALS ALFRESCO	VINYL	57.21 m ²
WIP		
STORE UNDER	VINYL	1.02 m ²
FF PASSAGE - LINEN	CARPET	11.18 m ²
RETREAT	CARPET	12.36 m ²
MASTER BED - WIR	CARPET	23.16 m ²
BED 2 - WIR 2	CARPET	11.13 m ²
BED 3	CARPET	12.98 m ²
BED 4	CARPET	10.82 m ²
POWDER	TILES	2.24 m ²
LAUNDRY - LINEN - BRM	TILES	5.15 m ²
BATH	TILES	4.91 m ²
ENSUITE - WC1	TILES	6.70 m ²
WC 2	TILES	1.42 m ²
STAIRS	CARPET	6.00 m ²

GENERAL NOTES

- THE MOVEMENT JOINTS ARE TO BE PROVIDED AND CONSTRUCTED IN ACC. WITH AS 3958.1 AND BE LOCATED ON A FULL TILE JOIN AT A MAX. OF 6M CENTERS OR AT DOORWAYS / OPENING WHERE TILING CONTINUES INTO A DIRECTLY ADJOINING ROOM / PASSAGEWAY
- FLOOR FINISHES AS SHOWN ARE INDICATIVE ONLY & ARE NOT A TRUE REPRESENTATION OF FINISHED FLOOR COVERINGS
- NOTE :** FLOOR TILE AREA IS EXCLUDING SKIRTING TILES

FLOOR FINISHES LEGEND			
	CARPET		TILES
	VINYL		LAMINATE
	FLOOR BOARDS		

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CLIENT 1: _____ DATE 1: _____

CLIENT 2: _____ DATE 2: _____

JGK BUILDER: _____ DATE 3: _____

SHEET TITLE

FLOOR FINISHES

HOUSE NAME: **COMMANDER 285** HAND: **LH**

FACADE NAME: **GRANADA**

SHEET SCALE: **1 : 100** ORIGINAL SHEET SIZE: **A3** COPYRIGHT: **2024**

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T(03) 5175 5555

UP COLLECTION
TRARALGON

CLIENT
JOSHUA MATHEW & MONCY JOSHUA

ADDRESS: **LOT 8, NO.69 LAKEVIEW DRIVE**

SUBURB: **LAKES ENTRANCE VIC 3909**

JOB NO: **2404TRA160** JOB DATE: **06/06/2024**

DRAWN: **M-01** PROJECT STAGE: **CONTRACT**

MASTER RELEASE DATE: **29/05/2024** SHEET NO: **28** TOTAL NO: **30**

Printed 18/12/2024
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DOOR SCHEDULE - EXTERNAL

DOOR NO.	LOCATION	FRAME/PANEL HEIGHT x WIDTH	STUD OPENING HEIGHT x WIDTH	INFILL PANEL	SIDELIGHT PANEL	uPVC DOUBLE GLAZING & LOW-E
D01	ENTRY	2110X865 2040X820	2135X1235	No	Yes	No
D01A	MASTER BED	2110X2050	2135X2110	No	No	Yes
D02	LAUNDRY	2110X1450	2135X1510	No	No	Yes
D03	FAMILY	2110X2410	2135X2470	No	No	Yes
D04	GARAGE	2110X865 2040X820	2135X890	No	No	No
D05	GARAGE	2100X4810	2100X4810	Yes	No	No

TOTAL: 6

DOOR SCHEDULE - INTERNAL

DOOR NO.	LOCATION	DOOR TYPE	PANEL HEIGHT x WIDTH	STUD OPENING HEIGHT x WIDTH
D06	LAUNDRY	HINGED	2040X820	2100X875
D07	BROOM	HINGED	2040X620	2100X675
D08	LINEN	HINGED	2040X1252 2x620	2100X1305
D09	POWDER	HINGED	2040X720	2100X775
D10	WIP	HINGED	2040X720	2100X775
D11	STORE	HINGED	2040X820	2100X875
D12	GARAGE	HINGED	2040X820	2100X875
D13	MASTER BED	HINGED	2040X820	2100X875
D14	WC 1	HINGED	2040X720	2100X775
D15	WC 2	HINGED	2040X720	2100X775
D16	BED 2	HINGED	2040X820	2100X875
D17	WIR 2	HINGED	2040X820	2100X875
D18	BED 3	HINGED	2040X820	2100X875
D19	ROBE - BED 3	HINGED	2040X1452 2x720	2100X1505
D20	LINEN	HINGED	2040X1252 2x620	2100X1305
D21	BED 4	HINGED	2040X820	2100X875
D22	ROBE - BED 4	HINGED	2040X1452 2x720	2100X1505
D23	BATH	HINGED	2040X720	2100X775


TOTAL: 18

WINDOW SCHEDULE

WIN. NO.	LOCATION	HEIGHT x WIDTH	STUD OPENING HEIGHT x WIDTH	uPVC HEAD HEIGHT	INFILL PANEL	DOUBLE GLAZING & LOW-E	TRANSLUCENT GLAZING	SAFETY GLASS
W01A	STUDY	2000X1210	2060x1260	2115	No	Yes	No	No
W01B	MASTER BED	1800X850	1860x900	2115	No	Yes	No	No
W01C	STAIR	857X2050	920x2100	2115	No	Yes	No	No
W02	LIVING	1457X1810	1532x1870	2115	No	Yes	No	No
W03	MEALS	1457X2050	1532x2110	2115	No	Yes	No	No
W04	FAMILY	1800X850	1860x900	2115	No	Yes	No	No
W05	WC 1	1457X610	1520x660	2115	No	Yes	Yes	No
W06	ENSUITE	1457X610	1520x660	2115	No	Yes	Yes	Yes
W07	RETEAT	1200X1810	1260x1860	2115	No	Yes	No	No
W08	BED 2	1200X1450	1260x1500	2115	No	Yes	No	No
W09	BED 3	1200X1450	1260x1500	2115	No	Yes	No	No
W10	BED 4	1200X1450	1260x1500	2115	No	Yes	No	No
W11	BATH	514X1450	575x1500	2115	No	Yes	Yes	Yes

TOTAL: 13

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