



Amend a Planning Permit Application

Applicant details:

| | | |
|--|-------|---------------|
| Applicant name: SEAN CARACELLA | | |
| Business trading name (if applicable): | | |
| Email address: | | |
| Postal address: 17 KINGFISHER PLACE | | |
| SOUTH MORANG | | Postcode 3752 |
| Phone number: Home: | Work: | Mobile: |

Owners details (if not the applicant):

| | | |
|--|-------|---------------|
| Name: SEAN CARACELLA | | |
| Business trading name (if applicable): SEAN CARACELLA MANAGEMENT LTD PTY | | |
| Email address: | | |
| Postal address: 17 KINGFISHER PLACE | | |
| SOUTH MORANG | | Postcode 3752 |
| Phone number: Home: | Work: | Mobile: |

Property details:

| | | |
|---------------------------------------|--|-----------|
| Street number: 6 | Street name: HAKEA COURT | |
| Town: MALLACOOTA | Postcode 3892 | |
| Lot Number: 10 | <input checked="" type="checkbox"/> Lodged plan <input type="checkbox"/> Title plan <input type="checkbox"/> Plan of Subdivision | Number: 6 |
| Crown allotment number: | Section number: | |
| Parish/Township name: MALLACOOTA | | |
| Planning permit number to be amended: | | |
| Your reference number: | | |

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

Yes No

Will the proposal result in a breach of a registered covenant restriction or agreement?

Yes No

Privacy Statement

The East Gippsland Shire Council asks for details about you to collect rates, approve permits and licences, and run a range of community services. The information you give to us on this form is used only for the reasons set out in the form and is not given to anybody else. Sometimes we may supply details about you to someone else, but only if we are allowed by law, or to protect someone or property. When information is given out, Council will always try to make sure your privacy is protected in line with the Privacy and Data Protection Act 2014. You may ask for more information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au

Oct 2024

Description of amendment: Describe the amendment being applied for (i.e. change to conditions, change to development): DWELLING HAS BEEN REDUCED IN HEIGHT TO A) FIND A HAPPY COMPROMISE WITH NEIGHBORS & B) TO REDUCE THE SUGGESTED OVERALL BULKINESS OF THE DWELLING & C) TO REDUCE THE OVERALL FINISH HEIGHT BELOW 7.5M

Estimated difference in cost of development because of the amendment. Note: You may need to verify this estimate \$

If you need more space or have more information, please attach with this form.

Please make sure that:

- Form is filled in fully and signed
- The correct fee is paid or payment enclosed
- Attached any supporting information or documents

- Covenants/agreements
- Site Plan - floor plan/elevations
- Planning report
- Supporting information/reports (e.g. – Land Capability Assessment, Bushfire Management Statement, Geotechnical report/waiver)

This application has associated costs that will be determined by a town planner

Who is the invoice to be made out to? SEAN CARACELLA

Privacy Statement

The East Gippsland Shire Council asks for details about you to collect rates, approve permits and licences, and run a range of community services. The information you provide to us on this form is used only for the reasons set out in the form and is not given to anybody else. Sometimes we may supply details about you to someone else if we are allowed by law, or to protect someone or property.

When information is given out, Council will always try to make sure your privacy is protected in line with the Privacy and Data Protection Act 2014. You may find more information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au

Project Information

Job No. 0999
Town Planning Ver.03 (A3 Sheet Size - To Scale)
Date 23/01/25

ADVERTISED

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DOCUMENTATION ISSUE

- PLANNING (NOT FOR CONSTRUCTION)
- PRELIMINARY (NOT FOR CONSTRUCTION)
- TENDER (NOT FOR CONSTRUCTION)
- CONSTRUCTION

PROPOSED DWELLING

At: 6 Hakea Crescent, Mallacoota VIC 3892
For: Sean Caracella



LMD Design & Drafting Pty Ltd


A: 'Regus' Lwr Heidelberg Rd, Heidelberg P: 0474696795 E: luke@lmdesign.com.au

TOWN PLANNING DRAWINGS

- TP01 - Neighborhood and Site Description
- TP02 - Proposed Site/Roof Plan (Outer)
Defendable Space - 25m
- TP03 - Proposed Site/Roof Plan
- TP04 - Design Response / Garage Ground Floor Plan
- TP05 - Design Response / First Floor Plan

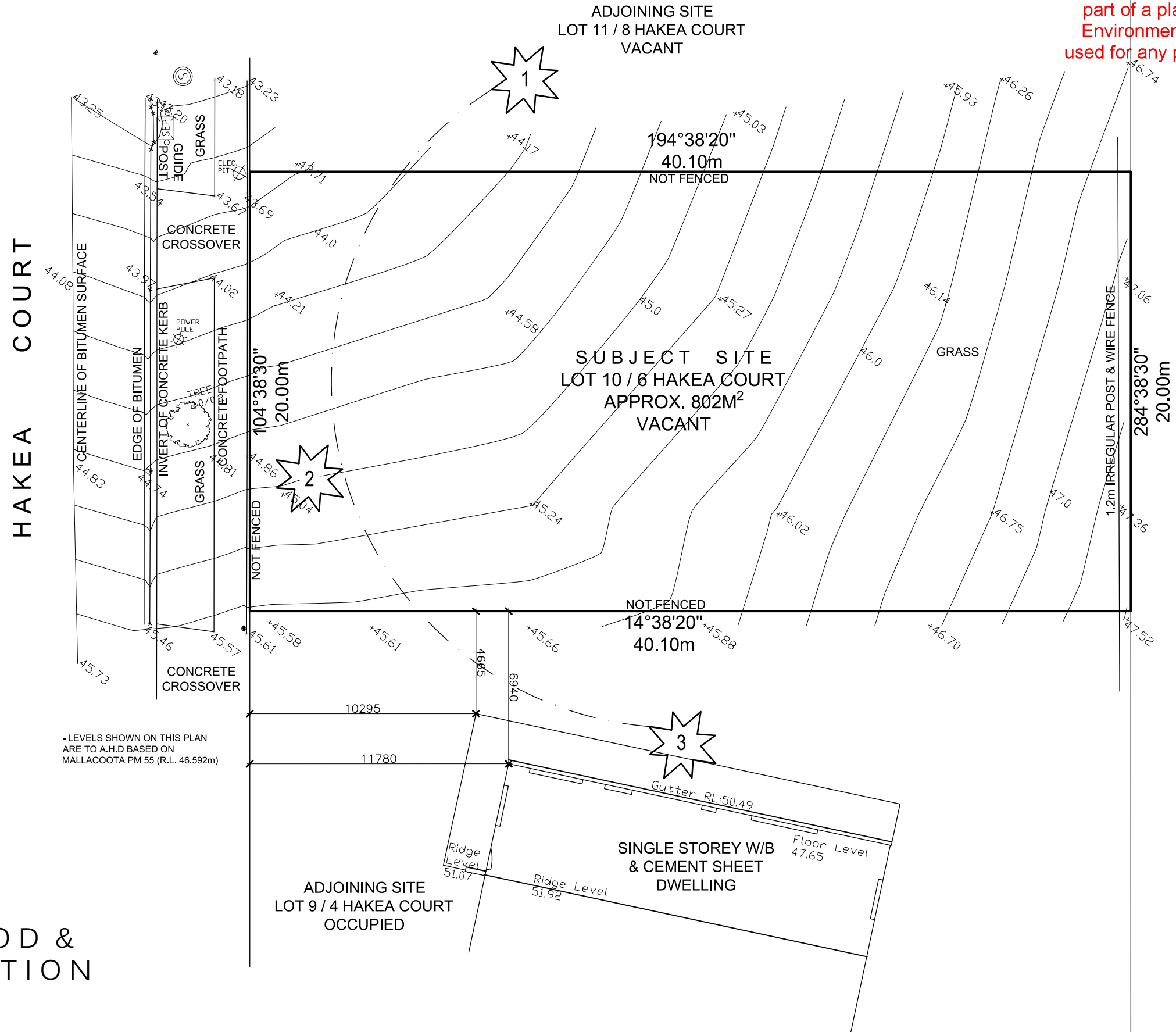
- TP06 - Proposed Garage Ground Floor Plan
- TP07 - Proposed First Floor Plan
- TP08 - Proposed Elevations
- TP09 - Proposed Elevations
- TP10 - Proposed Site / Shadow Diagram 9am, 12pm & 3pm
- TP11 - Bal 29 Notes

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| Ver.02 Town Planning | | GENERAL NOTES - Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable. Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification. These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use. | | JOB NO. - 0999 ADDRESS - 6 Hakea Court, Mallacoota VIC PROJECT - Proposed Dwelling | DRAWN BY - LD SCALE - SHEET SIZE - A3 FOR - Sean Caracella DRAWING - Contents Sheet | DRAWING NO. - DESIGNER - LMD Design & Drafting Pty Ltd BUILDER - TBC | DATE - 19/09/2024 |  A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 P: 0474696795 E: info@lmdesign.com.au |
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- LEVELS SHOWN ON THIS PLAN ARE TO A.H.D BASED ON MALLACOOTA PM 55 (R.L. 46.592m)

NOTE: DIMENSIONS FROM BUILDING STRUCTURE TO PERIMETER OF SITE & BUILDING STRUCTURE TO ADJACENT BUILDINGS APPROXIMATE

NEIGHBORHOOD & SITE DESCRIPTION
- SCALE 1:200

- 1. Sun Risers.
- 2. Path of Suns Travel- East to West.
- 3. Sun Sets.

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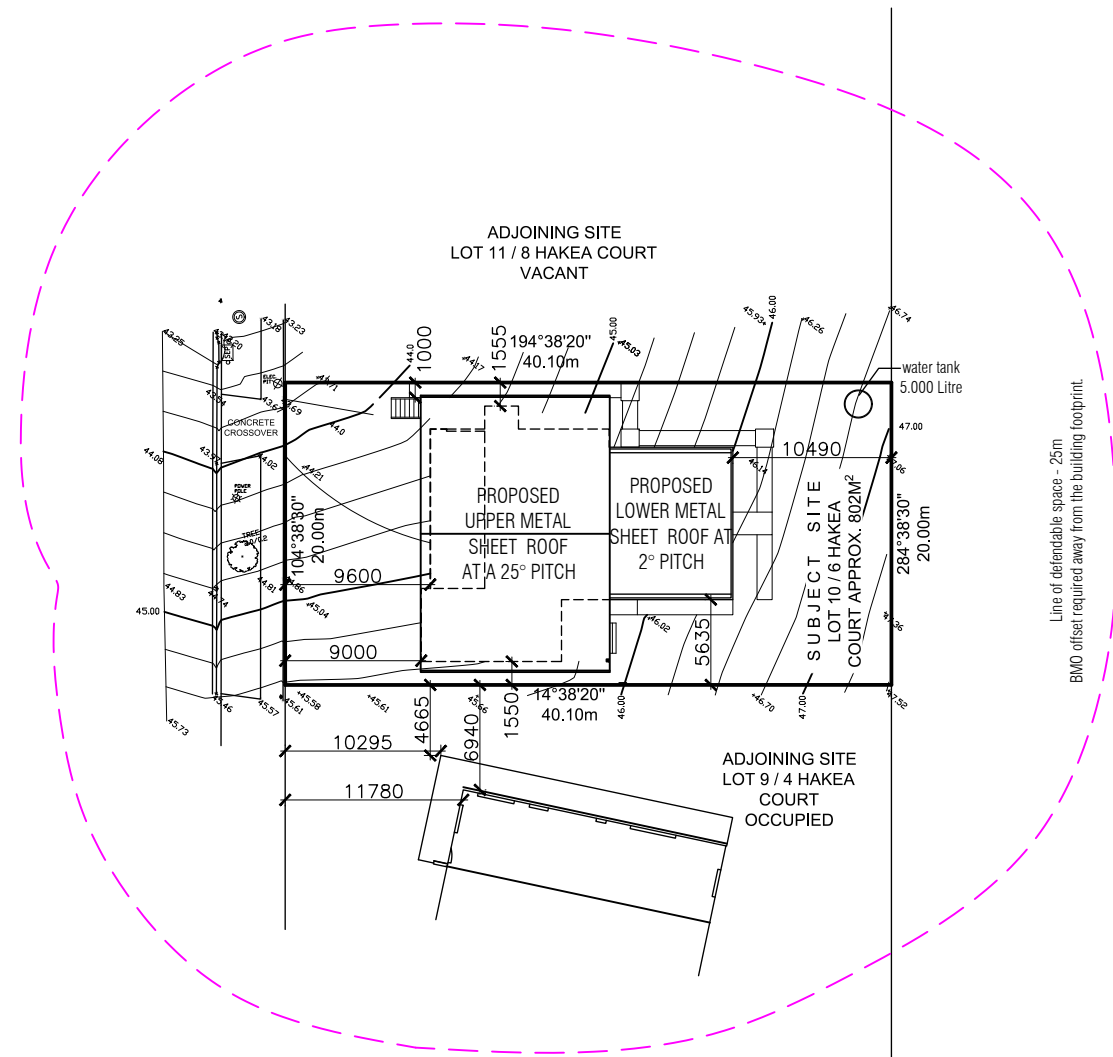
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| Ver.02 Town Planning DOCUMENTATION ISSUE <input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION) <input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION) <input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION) <input type="checkbox"/> CONSTRUCTION | GENERAL NOTES - Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable. Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification. These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use. | JOB NO. - 0999 DRAWN BY - LD | SCALE - 1:200 SHEET SIZE - A3 | DRAWING NO. - TP01 DATE - 19/09/2024 | NORTH | |
| | | ADDRESS - 6 Hakea Court, Mallacoota VIC PROJECT - Proposed Dwelling | FOR - Sean Caracella DRAWING - Neighborhood and Site Description | DESIGNER - LMD Design & Drafting Pty Ltd BUILDER - TBC | | |

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PROPOSED SITE/ROOF PLAN (OUTER)
DEFENDABLE SPACE - 25M
- SCALE 1:500

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| | | ADDRESS - 6 Hakea Court, Mallacoota VIC PROJECT - Proposed Dwelling | | FOR - Sean Caracella DRAWING - Proposed Site/Roof Plan (Outer) Defendable Space - 25m | | DESIGNER - LMD Design & Drafting Pty Ltd BUILDER - TBC | | | |

- DOCUMENTATION ISSUE**
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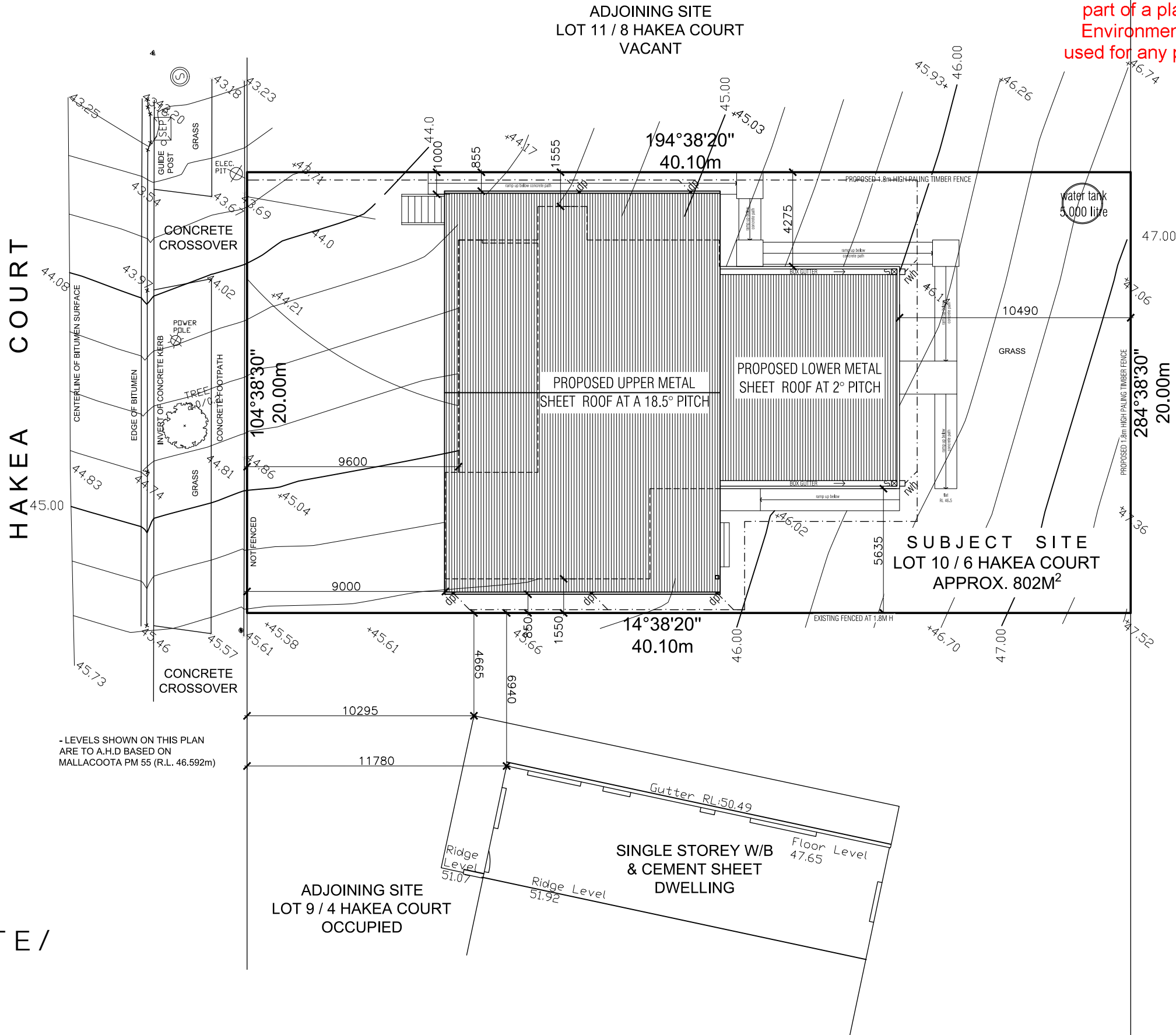
Proposed Dwelling
 2000 litre rain water tank.
 1.7m(L) x 0.7m(W) x 1.86m(H)
 rainwater tank to be connected
 to all sanitary - flushing systems

area analysis:

Dwelling:
 site area: 802m2 (approx.)
 site coverage: 281.35m2 35.08%
 garden area: 432.80m2 53.96%
 permeability: 441.40m2 55.03%

secluded p.o.s: 338.25m2
 p.o.s: 195.05m2
 total p.o.s: 533.3m2

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NOTE:
 DIMENSIONS FROM BUILDING STRUCTURE TO PERIMETER OF SITE & BUILDING STRUCTURE TO ADJACENT BUILDINGS APPROXIMATE

ROOF NOTES:

PROPOSED STORMWATER DRAINAGE LAYOUT AS SHOWN, WITH MIN. 100MM DIA. PVC PIPES SET MIN. 200MM BELOW SURFACE LEVEL, AT MIN. FALL TO BE CONNECTED TO EXISTING STORMWATER PIPE LAYOUT. TO BE DISBURSED TO THE LEGAL POINT OF DISCHARGE AS PER AS 3500.3.1—2018
 -BUILDER/DRAINAGE CONTRACTOR TO CONFIRM SIZE, TYPE, OFFSETS & DEPTHS OF EXISTING STORMWATER PIPES PRIOR TO CONSTRUCTION.

ALL ROOF STRUCTURE/S AS PER ENGINEERS DESIGN & MANUFACTURE DETAILS.

WATER TO BE CARRIED THROUGH DPs INTO DRAINAGE SYSTEM, AND DISBURSED TO LEGAL POINT OF DISCHARGE (Typ.)

SELECTED FLASHING & RIDGE CAPPING FOR WATERPROOFING REQUIREMENTS TO ALL FIXING/CONNECTION POINTS (Typ.)

PROPOSED UPPER METAL SHEET ROOF TO DWELLING (COLORBOND OR EQUALLY APPROVED) AT 25° PITCH, WITH A METAL FASCIA & METAL GUTTER.

PROPOSED LOWER METAL SHEET ROOFS TO DWELLING (KLIP-LOK OR EQUALLY) TO PORTION OF GARAGE AT A 2° FALL, WITH A PROPOSED MIN. 250MM WIDE X 100MM DEEP ZINCALUME BOX GUTTER, WITH SUMPS INSTALLED. ALL TO BE AS PER A.S. 3500.3 - 2018.

PROPOSED METAL SHEET ROOFS (KLIP-LOK OR EQUALLY) TO PORTION OF GARAGE AT A 2° FALL, WITH A PROPOSED MIN. 250MM WIDE X 100MM DEEP ZINCALUME BOX GUTTER, WITH SUMPS INSTALLED. ALL TO BE AS PER A.S. 3500.3 - 2018.

SELECTED RAINWATER TANK TO PROPOSED DWELLING AND TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS DETAILS AND SPECIFICATIONS. TANK TO BE CONNECTED TO ALL SANITARY FLUSHING SYSTEMS. TANK TO BE FITTED WITH OVERFLOW SYSTEM CONNECTED TO STORMWATER SYSTEM AND TAKEN TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE LOCAL AND GOVERNING AUTHORITIES. WATER TANK TO BE 2000 LT MIN.
 -LOCATION TO BE CONFIRMED ON SITE.

PROPOSED SITE/
 ROOF PLAN
 -SCALE 1:200

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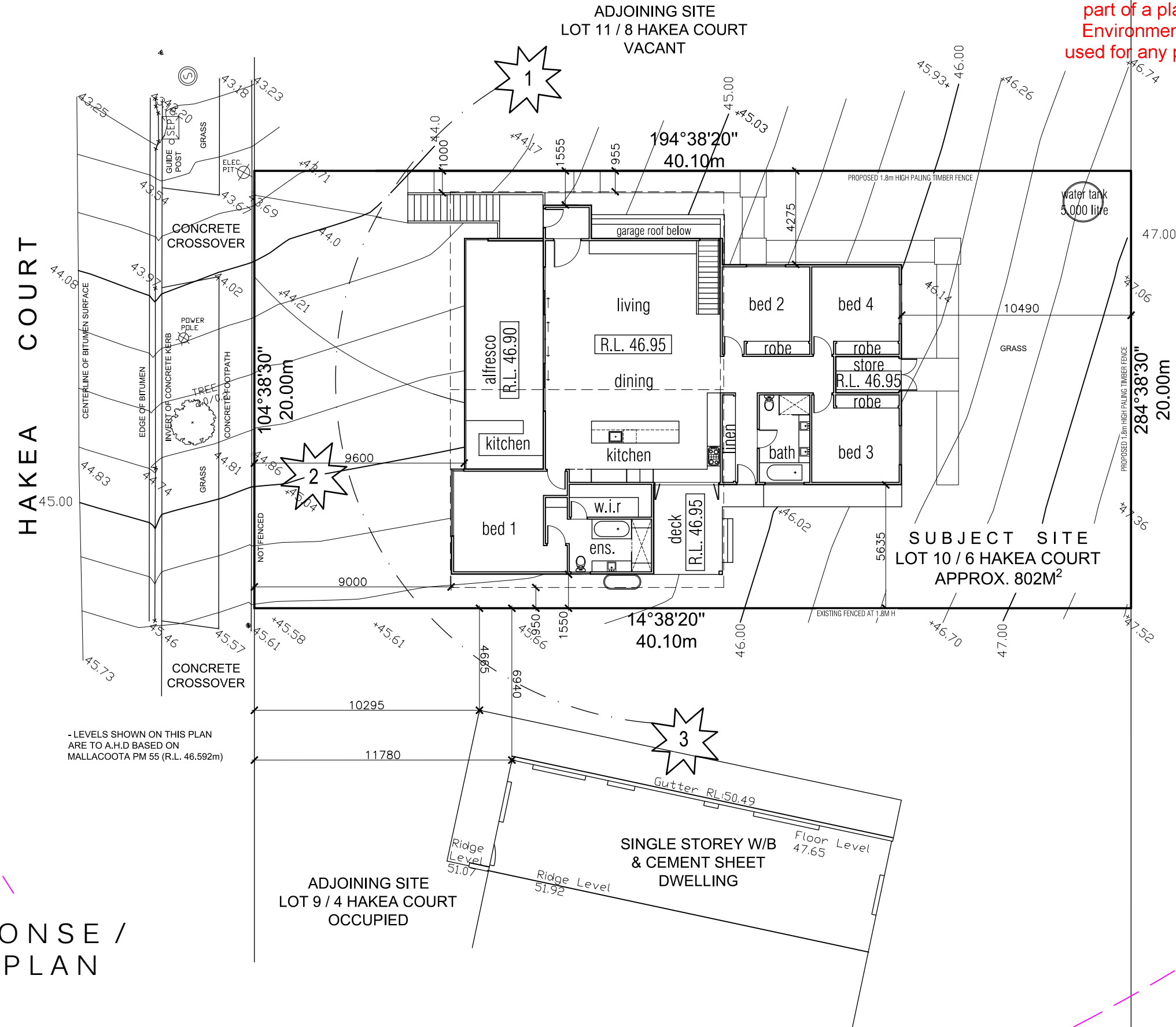
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Proposed Dwelling
2000 litre rain water tank.
1.7m(L) x 0.7m(W) x 1.86m(H)
rainwater tank to be connected
to all sanitary - flushing systems

area analysis:

Dwelling:
site area: 802m2 (approx.)
site coverage: 281.35m2 35.08%
garden area: 432.80m2 53.96%
permeability: 441.40m2 55.03%

secluded p.o.s : 338.25m2
p.o.s : 195.05m2
total p.o.s : 533.3m2



NOTE:
DIMENSIONS FROM BUILDING STRUCTURE TO PERIMETER OF SITES & BUILDING STRUCTURE TO ADJACENT BUILDINGS APPROXIMATE.

DESIGN RESPONSE / FIRST FLOOR PLAN
- SCALE 1:200

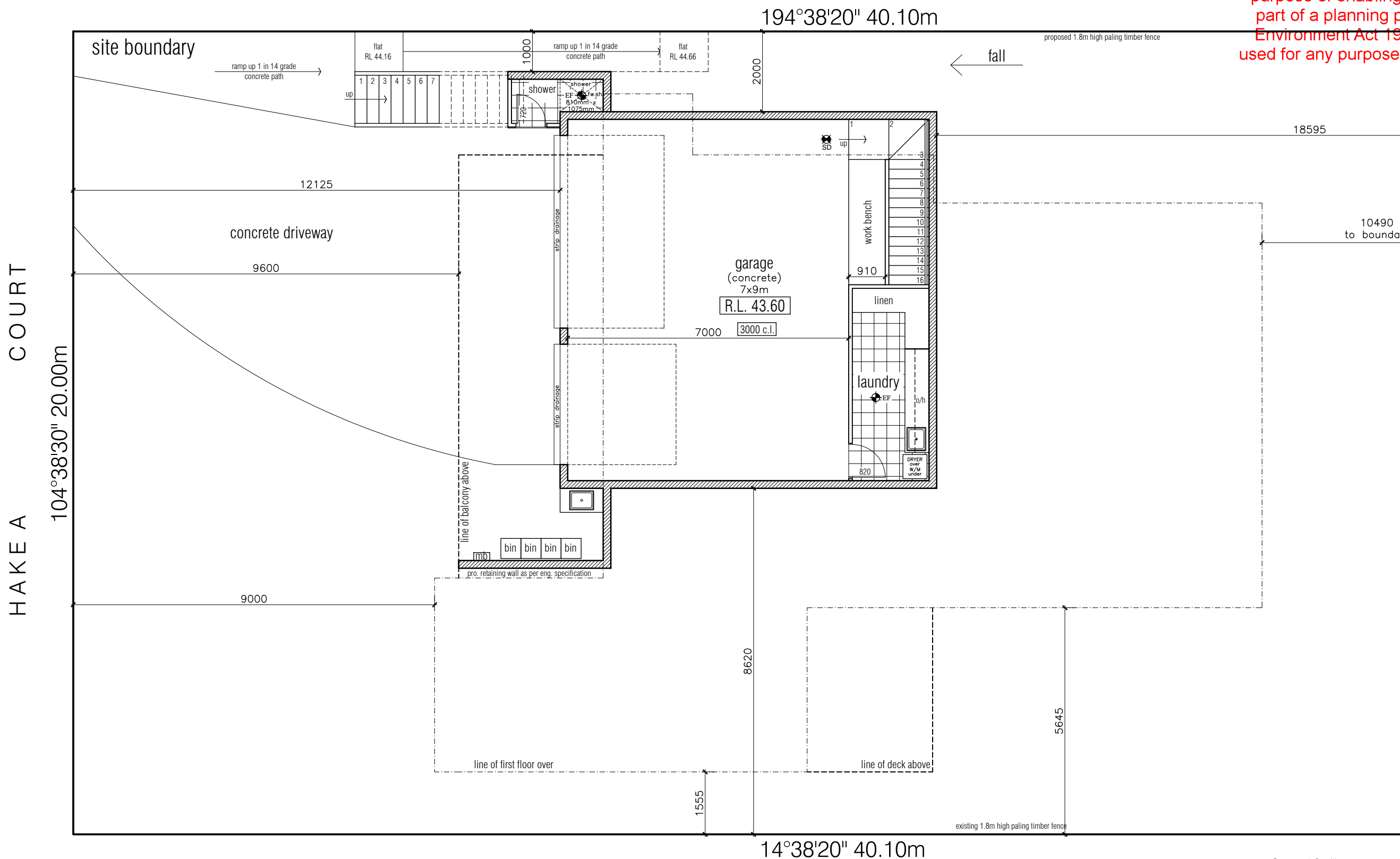
- 1. Sun Risers.
- 2. Path of Sun's Travel- East to West.
- 3. Sun Sets.

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| | | ADDRESS - 6 Hakea Court, Mallacoota VIC PROJECT - Proposed Dwelling | FOR - Sean Caracella DRAWING - Design Response / First Floor Plan | DESIGNER - LMD Design & Drafting Pty Ltd BUILDER - TBC | | |

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area analysis:

| | |
|-------------------|------------------------------|
| Dwelling: | |
| site area: | 802m ² (approx.) |
| site coverage: | 281.35m ² 35.08% |
| garden area: | 432.80m ² 53.96% |
| permeability: | 441.40m ² 55.03% |
| proposed - | |
| ground floor: | 88m ² 9.47sq |
| first floor: | 219.75m ² 23.65sq |
| porch: | 4.15m ² 0.44sq |
| alfresco: | 37.95m ² 4.08sq |
| deck: | 12.8m ² 1.37sq |
| total built area: | 362.65m ² 39.03sq |
| secluded p.o.s : | 338.25m ² |
| p.o.s : | 195.05m ² |
| total p.o.s : | 533.3m ² |

PROPOSED GARAGE GROUND FLOOR PLAN
- SCALE 1:100

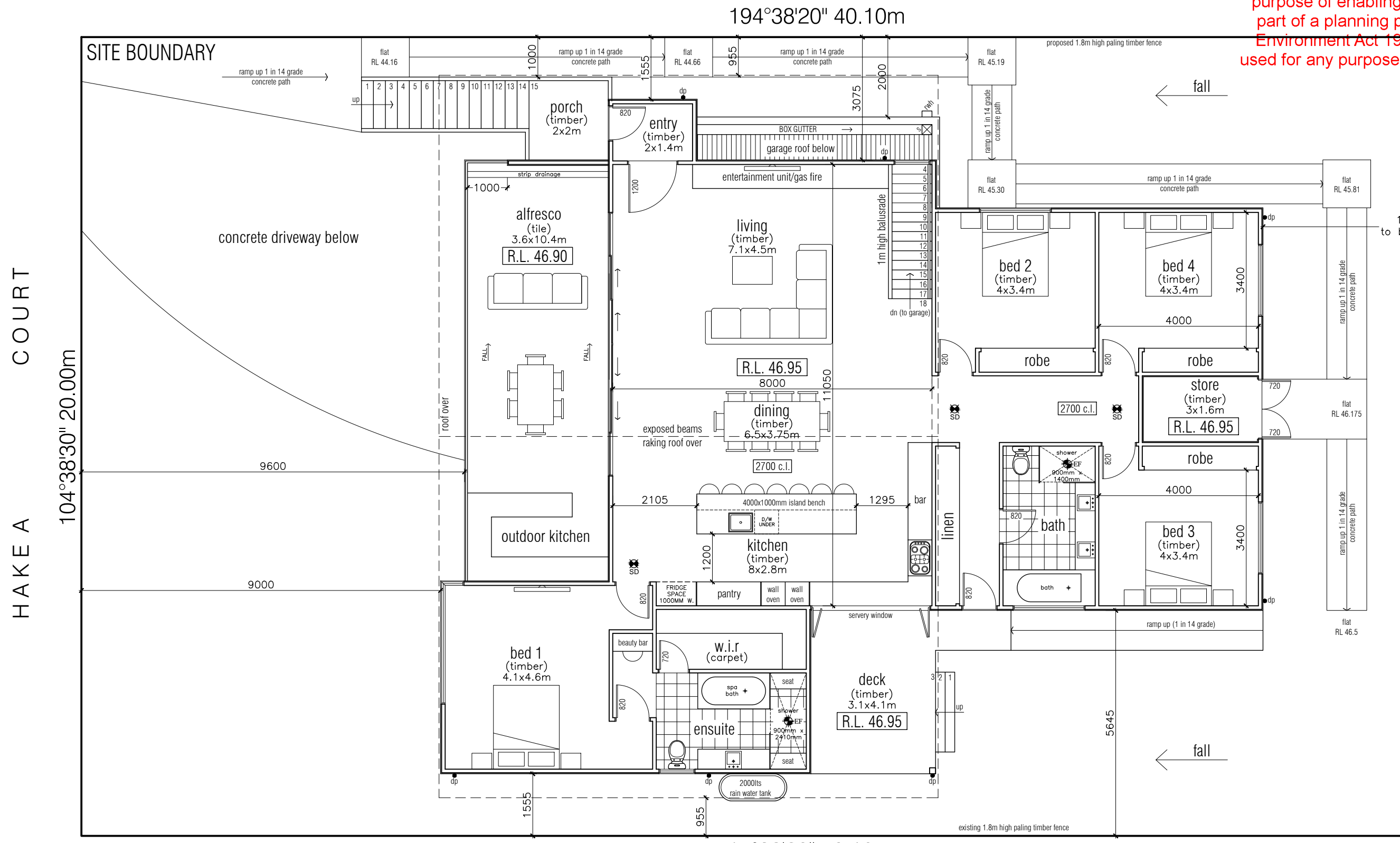
LEGEND -
 proposed (block work) wall
 proposed (cladding) wall
 proposed (framing) wall

Proposed Dwelling
 2000 litre rain water tank.
 1.7m(L) x 0.7m(W) x 1.86m(H)
 rainwater tank to be connected
 to all sanitary - flushing systems

| REVISIONS | | | |
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| | | ADDRESS - 6 Hakea Court, Mallacoota VIC PROJECT - Proposed Dwelling | FOR - Sean Caracella DRAWING - Proposed Garage Ground Floor Plan | DESIGNER - LMD Design & Drafting Pty Ltd BUILDER - TBC | | |

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area analysis:

| | |
|-------------------|--------------------------------|
| Dwelling: | site area: 802m2 (approx.) |
| | site coverage: 281.35m2 35.08% |
| | garden area: 432.80m2 53.96% |
| | permeability: 441.40m2 55.03% |
| proposed - | |
| ground floor: | 88m2 9.47sq |
| first floor: | 219.75m2 23.65sq |
| porch: | 4.15m2 0.44sq |
| alfresco: | 37.95m2 4.08sq |
| deck: | 12.8m2 1.37sq |
| total built area: | 362.65m2 39.03sq |
| secluded p.o.s : | 338.25m2 |
| p.o.s : | 195.05m2 |
| total p.o.s : | 533.3m2 |

PROPOSED FIRST FLOOR PLAN
- SCALE 1:100

LEGEND -

| | |
|--|----------------------------|
| | proposed (block work) wall |
| | proposed (cladding) wall |
| | proposed (framing) wall |

REVISIONS

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| <p>Ver.02 Town Planning</p> <p>DOCUMENTATION ISSUE</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION) <input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION) <input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION) <input type="checkbox"/> CONSTRUCTION | <p>GENERAL NOTES -</p> <p>Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.</p> <p>Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification.</p> <p>These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.</p> | <p>JOB NO. - 0999</p> <p>ADDRESS - 6 Hakea Court, Mallacoota VIC</p> <p>PROJECT - Proposed Dwelling</p> | <p>DRAWN BY - LD</p> | <p>SCALE - 1:100</p> <p>SHEET SIZE - A3</p> | <p>DRAWING NO. - TP07</p> <p>DESIGNER - LMD Design & Drafting Pty Ltd</p> <p>BUILDER - TBC</p> | <p>DATE - 19/09/2024</p> | <p>NORTH</p> | <p>A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 P: 0474696795 E: info@lmdesign.com.au</p> |
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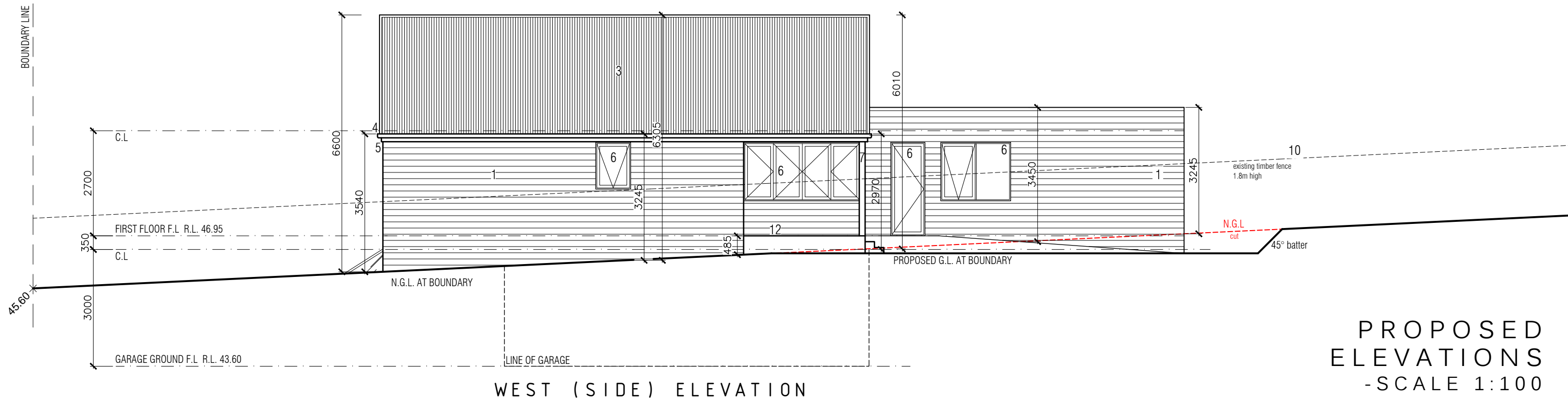
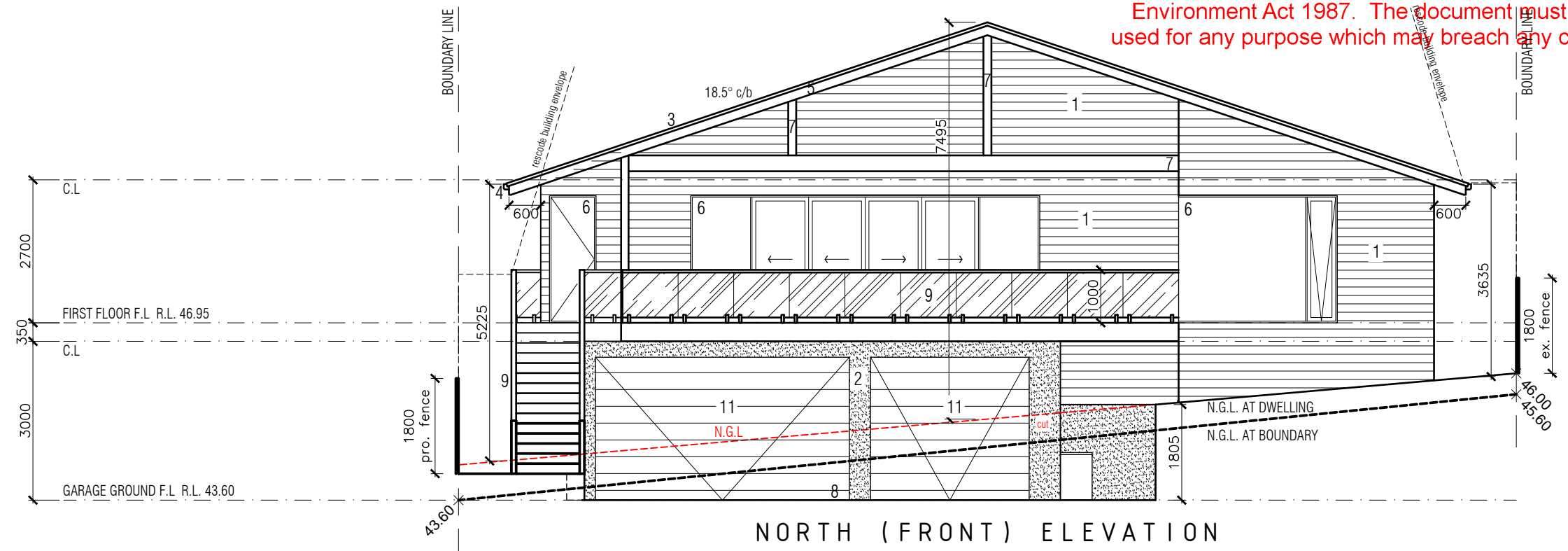
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Proposed schedule of materials and finishes -

(all must be a non-reflective type, muted tones)

1. walls - james hardie 'linea' cladding - painted 'shaley grey finish'
2. walls - block work - painted 'shaley grey finish'
3. roof - colorbond - 'bluegum finish'
4. gutter, downpipes - colorbond - 'bluegum finish'
5. fascia - colorbond - 'white finish'
6. windows & doors - aluminium frame - painted 'white finish'
7. posts - timber - painted 'shaley grey finish'
8. driveway, carport, porch & pergola surfaces - natural concrete finish - grey
9. balustrade - glass
10. fencing - timber - light natural finish
11. garage door - white finish
12. decking - composite slats - timber grain



PROPOSED ELEVATIONS
- SCALE 1:100

| REVISIONS | | | |
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| Ver.02 Town Planning | |
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| <input type="checkbox"/> | TENDER (NOT FOR CONSTRUCTION) |
| <input type="checkbox"/> | CONSTRUCTION |

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| JOB NO. - 0999 | DRAWN BY - LD | SCALE - 1:100 | SHEET SIZE - A3 | DRAWING NO. - TP08 | DATE - 19/09/2024 |
| ADDRESS - 6 Hakea Court, Mallacoota VIC | | FOR - Sean Caracella | | DESIGNER - LMD Design & Drafting Pty Ltd | |
| PROJECT - Proposed Dwelling | | DRAWING - Proposed Elevations | | BUILDER - TBC | |



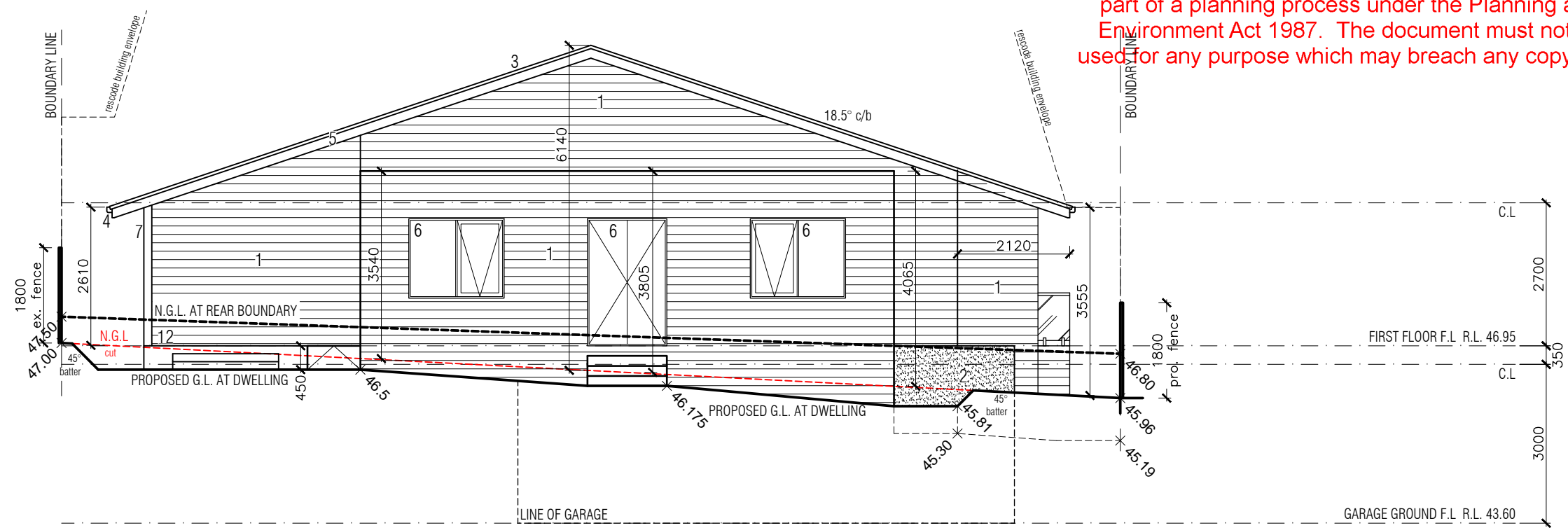
A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084
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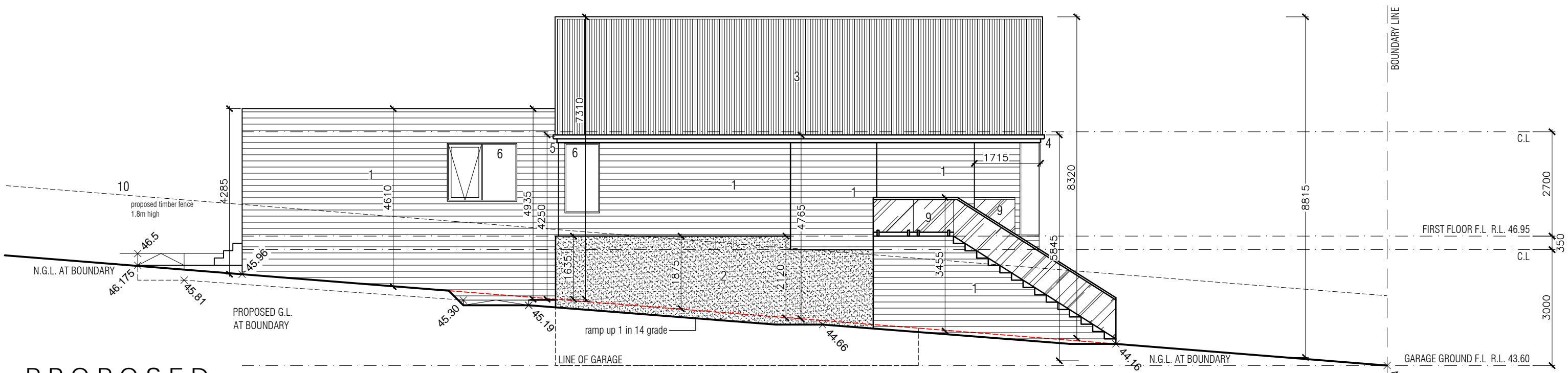
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Proposed schedule of materials and finishes -

- (all must be a non-reflective type, muted tones)
- 1. walls - james hardie 'linea' cladding - painted 'shaley grey finish'
- 2. walls - block work - painted 'shaley grey finish'
- 3. roof - colorbond - 'bluegum finish'
- 4. gutter, downpipes - colorbond - 'bluegum finish'
- 5. fascia - colorbond - 'white finish'
- 6. windows & doors - aluminium frame - painted 'white finish'
- 7. posts - timber - painted 'shaley grey finish'
- 8. driveway, carport, porch & pergola surfaces - natural concrete finish - grey
- 9. balustrade - glass
- 10. fencing - timber - light natural finish
- 11. garage door - white finish
- 12. decking - composite slats - timber grain



SOUTH (REAR) ELEVATION



EAST (SIDE) ELEVATION

PROPOSED ELEVATIONS - SCALE 1:100

| REVISIONS | | | |
|-----------|-------------|----|------|
| REV. | DESCRIPTION | BY | DATE |
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| <p>Ver.02 Town Planning</p> <p>DOCUMENTATION ISSUE</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> PLANNING (NOT FOR CONSTRUCTION) <input type="checkbox"/> PRELIMINARY (NOT FOR CONSTRUCTION) <input type="checkbox"/> TENDER (NOT FOR CONSTRUCTION) <input type="checkbox"/> CONSTRUCTION | <p>GENERAL NOTES -</p> <p>Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.</p> <p>Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification.</p> <p>These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.</p> | <p>JOB NO. - 0999</p> <p>DRAWN BY - LD</p> <p>ADDRESS - 6 Hakea Court, Mallacoota VIC</p> <p>PROJECT - Proposed Dwelling</p> | <p>SCALE - 1:100</p> <p>SHEET SIZE - A3</p> <p>FOR - Sean Caracella</p> <p>DRAWING - Proposed Elevations</p> | <p>DRAWING NO. - TP09</p> <p>DESIGNER - LMD Design & Drafting Pty Ltd</p> <p>BUILDER - TBC</p> | <p>DATE - 19/09/2024</p> | <p>A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 P: 0474696795 E: info@lmdesign.com.au</p> |
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- Refer to BAL Assessment for Bushfire Info.

Architectural plans to comply with all BAL-29 bushfire design requirements from Section 7 of AS3959-2018. Builder to construct accordingly.

Please note, the owner/builder to select alternatives from the info below as per AS 3959-2018

Section 7 and report it to the building surveyor.

SECTION 7: CONSTRUCTION FOR BUSHFIRE ATTACK LEVEL 29 (BAL 29)

This document has been prepared to assist in the preparation of construction certificate plans and specifications in respect to BAL - 29. BAL-29 is primarily concerned with protection of your building from ember attack and burning debris ignited by wind borne embers and radiant heat up to and including 29 kW/m2. To comply with the Building Code of Australia, your construction or complying development certificate plans must include details of the building construction relevant to the level of bushfire. Those parts of this document that relate to your development must be included on the construction certificate plans or in the construction specification. The construction requirements for the next lower BAL may be used for an elevation of a dwelling that is not exposed to the source of a bushfire. An elevation is not exposed if the entire elevation is completely screened from the source of a bushfire by another part of the building. Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements below (see Clause 3.8 of the Standard).

SARKING

Sarking, where used for bushfire protection shall be:

- a. Non-combustible; or
- b. Breather-type sarking complying with AS/NZS4200.1 and with a flammability index of not more than 5 and sarked on the outside of the frame; or
- c. An insulation material conforming to the appropriate Australian Standard for that material.

SUBFLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor supports where the subfloor space is enclosed with--

- 1) a wall that complies with the requirements for an external wall below; or
- 2) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze or aluminium; or
- 3) a combination of Items (a) and (b) above.

Where the subfloor space is unenclosed, the support posts, columns, stumps, piers and poles shall be--

- (1) of non-combustible material; or
- (2) of bushfire-resisting timber (refer to the table at the end of this document); or
- (3) a combination of Items (i) and (ii) above.

NOTE: This requirement applies to the principal building only. See requirements below for verandas, decks, steps, ramps and landings

FLOORS

1) Elevated floors

- a) Enclosed subfloor space

The Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with--

- i) a wall that complies with the standards for an external wall below; or
- ii) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion resistant steel, bronze or aluminium; or
- iii) a combination of Items (a) and (b) above. b) Unenclosed subfloor space Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following: i) materials that comply with the following: (a) bearers and joists shall be-- i) non-combustible; or ii) bushfire-resisting timber (refer to the table at the end of this document); or iii) a combination of Items (i) and (ii) above.

- b) Unenclosed subfloor space

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following:

- i) materials that comply with the following:
 - (a) bearers and joists shall be--
- ii) bushfire-resisting timber (refer to the table at the end of this document); or
- iii) a combination of Items (i) and (ii) above.

- (a) flooring shall be--
- i) non-combustible; or
- ii) bushfire-resisting timber (refer to the table at the end of this document); or
- iii) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; or
- c) a combination of any of Items (i), (ii) or (iii) above; or
- ii) a system complying with AS 1530.8.1

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

EXTERNAL WALLS

- 1) Walls

The exposed components of an external wall shall be:

 - (a) Non-combustible material such as cavity brick, masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone, precast or in situ walls of concrete or aerated concrete or earth walling including mud brick; or
 - (b) Timber logs of a species with a density of 680 kg/m3 or greater at a 12 percent moisture content; of a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.11(f) of Standard); and gauge planed; or
 - (c) Cladding that is fixed externally to a timber-framed or a steel-framed wall and is--
 - (i) Fibre-cement a minimum of 6 mm in thickness; or
 - (ii) Bushfire-resisting timber (refer to the table at the end of this document); or
 - (iii) Steel sheeting; or
 - (iv) A combination of any of Items (i), (ii) or (iii) above; or
 - (d) A combination of any of Items (a), (b) or (c) above.
- 2) Joints All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed to prevent gaps greater than 3 mm.
- 3) Vents and weepholes Vents and weepholes in external walls shall be screened with a mesh with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium, except where the vents and weepholes have an aperture less than 3 mm.

EXTERNAL WINDOWS AND DOORS

- 1) Windows Window assemblies shall comply with one of the following:
 - (a) They shall be completely protected by a bushfire shutter that complies with Note 1 below; or
 - (b) They shall comply with the following:
 - (i) Window frames and window joinery shall be made from:
 - (A) Bushfire-resisting timber (refer to the table at the end of this document); or
 - (B) Metal; or
 - (C) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the door assembly shall satisfy the design load, performance and structural strength of the member.
 - (D) Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal.
 - (E) Glazing shall be a minimum of 5 mm toughened glass.
 - (v) Where double-glazed units are used, the above requirements apply to the external face of the window assembly only.
- (v) The operable portion of windows shall be screened with screens complying with Note 2 below.

- (A) Bushfire-resisting timber (refer to the table at the end of this document); or
- (B) Metal; or
- (C) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and sash shall satisfy the design load, performance and structural strength of the member.
- (D) Externally fitted hardware that supports the sash in its functions of opening and closing shall be metal.
- (E) Glazing shall be a minimum of 5 mm toughened glass.

NOTE: Where double-glazed units are used, the above requirements apply to the external face of the window assembly only.

2) Screens

Screening of the operable portions of all windows is required in all BALs to prevent the entry of embers to the building when the window is open. Screening of the operable and fixed portions of some windows is required in some BALs to reduce the effects of radiant heat on some types of glass.

If the screening is required to reduce the effects of radiant heat on the glass, the screening has to be external so that the glass in the operable portion of the window will be 'protected' when it is shut.

If the screening is required only to prevent the entry of embers, the screening may be fitted externally or internally.

- 3) Doors--Side-hung external doors (including French doors, panel fold and bi-fold doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall comply with one of the following:

- (a) Doors and door frames shall be protected by bushfire shutters that comply with Note 1; or
- (b) Doors and door frames shall be protected externally by screens that comply with Note 2; or
- (c) Doors and door frames shall comply with the following:
 - (i) Doors shall be--
 - (A) non-combustible; or
 - (B) a solid timber, laminated timber or reconstituted timber door, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or
 - (C) a door, including a hollow core door, protected externally by a screen that complies with Note 2 below; or
 - (D) a fully framed glazed door, where the framing is made from noncombustible materials or from bushfire resisting timber (refer to the table at the end of this document).
 - (ii) Externally fitted hardware that supports the panel in its function of opening and closing shall be metal.
 - (iii) Where doors incorporate glazing, the glazing shall be toughened glass with a minimum thickness of 6mm.
 - (iv) Doors shall be tight-fitting to the door frame and to an abutting door, if applicable.
 - (v) Door frames shall be made from:
 - (A) Bushfire-resisting timber (refer to the table at the end of this document); or
 - (B) Metal; or
 - (C) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the door assembly shall satisfy the design load, performance and structural strength of the member.
 - (vi) Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings, having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame, that portion shall be screened with a screen that complies with Note 2 below.
 - (vii) Weather strips, draught excluders or draught seals shall be installed at the base of side-hung external doors.

Sliding doors shall comply with one of the following:

- (a) They shall be completely protected by a bushfire shutter that complies with Note 1; or
- (b) They shall be completely protected externally by screens that comply with Note 2; or
- (c) They shall comply with the following:
 - (i) Any glazing incorporated in sliding doors shall be toughened glass with a minimum thickness of 6mm.

- (A) Both the door frame supporting the sliding door and the framing surrounding any glazing shall be made from:
 - (A) Bushfire-resisting timber (refer to the table at the end of this document); or
 - (B) Metal; or
 - (C) Metal-reinforced PVC-U. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel and the frame and the sash shall satisfy the design load, performance and structural strength of the member.
- (iii) There is no requirement to screen the operable part of the sliding door. However, if screened, the screens shall comply with Note 2.

- (v) Sliding doors shall be tight-fitting in the frames.
- (e) Garage Doors

The following apply to vehicle access doors:

 - (a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed shall be made from--
 - (i) Non-combustible material; or
 - (ii) Bushfire-resisting timber (refer to the table at the end of this document); or
 - (iii) Fibre cement sheet, a minimum of 6 mm in thickness; or
 - (iv) A combination of any of Items (i), (ii) or (iii) above.
 - (b) Panel lift, tilt doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm.
 - (c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with a nylon brush that is in contact with the door.
 - (d) Vehicle access doors shall not include ventilation slots.

NOTE: The construction of manufactured sliding doors should prevent the entry of embers when the door is closed. There is no requirement to provide screens to the operable part of these doors as it is assumed that a sliding door will be closed if occupants are not present during a bushfire event. Screens of materials other than those specified may not resist ember attack.

- (iv) Externally fitted hardware that supports the panel in its function of opening and closing shall be metal.
- (v) Sliding doors shall be tight-fitting in the frames.
- (e) Garage Doors

The following apply to vehicle access doors:

 - (a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed shall be made from--
 - (i) Non-combustible material; or
 - (ii) Bushfire-resisting timber (refer to the table at the end of this document); or
 - (iii) Fibre cement sheet, a minimum of 6 mm in thickness; or
 - (iv) A combination of any of Items (i), (ii) or (iii) above.
 - (b) Panel lift, tilt doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm.
 - (c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with a nylon brush that is in contact with the door.
 - (d) Vehicle access doors shall not include ventilation slots.

NOTE: The construction of manufactured sliding doors should prevent the entry of embers when the door is closed. There is no requirement to provide screens to the operable part of these doors as it is assumed that a sliding door will be closed if occupants are not present during a bushfire event. Screens of materials other than those specified may not resist ember attack.

- (iv) Externally fitted hardware that supports the panel in its function of opening and closing shall be metal.
- (v) Sliding doors shall be tight-fitting in the frames.
- (e) Garage Doors

The following apply to vehicle access doors:

 - (a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed shall be made from--
 - (i) Non-combustible material; or
 - (ii) Bushfire-resisting timber (refer to the table at the end of this document); or
 - (iii) Fibre cement sheet, a minimum of 6 mm in thickness; or
 - (iv) A combination of any of Items (i), (ii) or (iii) above.
 - (b) Panel lift, tilt doors or side-hung doors shall be fitted with suitable weather strips, draught excluders, draught seals or guide tracks, as appropriate to the door type, with a maximum gap no greater than 3 mm.
 - (c) Roller doors shall have guide tracks with a maximum gap no greater than 3 mm and shall be fitted with a nylon brush that is in contact with the door.
 - (d) Vehicle access doors shall not include ventilation slots.

NOTE: Gasfitters are required to provide a metal flue pipe above the roof and terminate with a certified gas flue cowl complying with AS 4566. Advice may be obtained from State gas technical regulators.

- (a) All overhead glazing shall be Grade A safety glass complying with AS 1288.
- (b) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass minimum 4 mm thickness, shall be used in the outer pane of the IGU.
- (c) Flashing elements of tubular skylights shall be non-combustible. However, they may be of an alternative material, provided the integrity of the roof covering is maintained by an under-flashing made of non-combustible material.

Note 1: Where fitted, bushfire shutters shall be made from

- a) non-combustible material, or
- b) bushfire-resisting timber (refer to the table at the end of this document), or
- c) a combination of any of Items (a) or (b) above; and
 - (i) be fixed to the building and be non-removable;
 - (ii) when in the closed position, have no gap greater than 3 mm between the shutter and the wall, the sill or the head;
 - (iii) be readily manually operable from either inside or outside;
 - (iv) protect the entire window assembly or door assembly;
 - (v) where perforated, have--
 - (A) uniformly distributed perforations with a maximum aperture of 3 mm when the shutter is providing radiant heat protection or 2 mm when the shutter is also providing ember protection (such as where the operable portion of the window is not screened in accordance with the requirements of the respective BAL); and
 - (B) a perforated area no greater than 20% of the shutter. If bushfire shutters are fitted to all external doors then at least one of those shutters shall be operable from the inside to facilitate safe egress from the building.

Note 2: Where fitted, screens for windows and doors shall have a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium. Gaps between the perimeter of the screen assembly and the building element to which it is fitted shall not exceed 3 mm.

The frame supporting the mesh or perforated sheet shall be made from metal or a timber species as specified at the end of this document.

Note 3: Where double glazed units are used the above requirements apply to the external face of the window assembly only.

ROOFS (INCLUDING VERANDA AND ATTACHED CARPORT ROOFS, PENETRATIONS, EAVES, FASCIAS, GABLES, GUTTERS AND DOWNPIPES)

- 1. General

The following apply to all types of roofs and roofing systems:

 - (a) roof tiles, roof sheets and roof-covering accessories are to be non-combustible.
 - d) the roof/wall junction is to be sealed to prevent openings greater than 3 mm, either by the use of fascia and eaves linings or by sealing between the top of the wall and the underside of the roof and between the rafters at the line of the wall.
 - (c) roof ventilation openings, such as gable and roof vents, are to be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium
 - (d) a pipe or conduit that penetrates the roof covering shall be non-combustible.

- 2. Tiled roofs.

Tiled roofs shall be fully sarked. The sarking shall--

 - (a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;
 - (b) cover the entire roof area including ridges and hips; and
 - (c) extend into gutters and valleys.

- 3. Sheet roofs

Sheet roofs shall--

 - (a) be fully sarked, except that foil-backed insulation blankets may be installed over the battens; and
 - (b) have any gaps greater than 3 mm (such as under corrugations or ribs of sheet roofing and between roof components) sealed at the fascia or wall line and at valleys, hips and ridges by--
 - (i) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
 - (ii) mineral wool; or
 - (iii) other non-combustible material; or
 - (iv) a combination of any of Items (i), (ii) or (iii) above.

Note: Sarking is used as a secondary form of ember protection for the roof space to account for minor gaps that may develop in sheet roofing.

- 4. Verandah, carport and awning roofs

The following apply to veranda, carport and awning roofs:

 - (a) A veranda, carport or awning roof forming part of the main roof space shall meet all the requirements for the main roof.
 - (b) A veranda, carport or awning roof separated from the main roof space by a wall that complies with the specification above for an external wall shall have a non-combustible roof covering and the support structure shall be--
 - (i) of non-combustible material; or
 - (ii) bushfire-resisting timber (refer to the table at the end of this document); or
 - (iii) timber rafters lined on the underside with fibre-cement sheeting a minimum of 6 mm in thickness, or with material complying with AS 1530.8.1; or
 - (iv) a combination of any of Items (i), (ii) or (iii) above.

- 5. Roof penetrations

The following apply to roof penetrations:

 - (a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors, shall be adequately sealed at the roof to prevent gaps greater than 3 mm. The material used to seal the penetration shall be non-combustible.
 - (b) Openings in vented roof lights, roof ventilators or vent pipes shall be fitted with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

This requirement does not apply to the exhaust flues of heating or cooking devices with closed combustion chambers. In the case of gas appliance flues, ember guards shall not be fitted.

NOTE: Gasfitters are required to provide a metal flue pipe above the roof and terminate with a certified gas flue cowl complying with AS 4566. Advice may be obtained from State gas technical regulators.

- (a) All overhead glazing shall be Grade A safety glass complying with AS 1288.
- (b) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, complying with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass minimum 4 mm thickness, shall be used in the outer pane of the IGU.
- (c) Flashing elements of tubular skylights shall be non-combustible. However, they may be of an alternative material, provided the integrity of the roof covering is maintained by an under-flashing made of non-combustible material.

- material.
- (d) External single plane glazed elements of roof lights and skylights, where the pitch of the glazed element is 18 degrees or less to the horizontal, shall be protected with ember guards made from a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- (e) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

- 6. Eaves linings, fascias and gables

The following apply to eaves linings, fascias and gables:

 - (a) Gables shall comply with the requirements for an external wall.
 - (b) Fascias and bargeboards shall--
 - (i) where timber is used, be made from bushfire-resisting timber (refer to the table at the end of this document); or
 - (ii) where made from metal, be fixed at 450 mm centres; or
 - (iii) be a combination of Items (i) and (ii) above.
 - (c) Eaves linings shall be--
 - (i) fibre-cement sheet, a minimum 4.5 mm in thickness; or
 - (ii) bushfire-resisting timber (refer to the table at the end of this document); or
 - (iii) a combination of Items (i) and (ii) above.
 - (d) Eaves penetrations shall be protected the same as for roof penetrations.
 - (e) Eaves ventilation openings greater than 3 mm shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
 - (f) Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm mounds.

7. Gutters and downpipes

The Standard does not provide material requirements for downpipes. If installed, gutter and valley leaf guards shall be non-combustible. With the exception of box gutters, gutters shall be metal or PVC-U. Box gutters shall be non-combustible and flashed at the junction with the roof with noncombustible material.

VERANDAHS, DECKS, STEPS, RAMPS AND LANDINGS

- 1) General Decking may be spaced. There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.
- 2) Enclosed subfloor spaces of verandas, decks, steps, ramps and landings
 - a) Materials to enclose a subfloor space

The subfloor spaces of verandas, decks, steps, ramps and landings are considered to be 'enclosed' when --

 - i) the material used to enclose the subfloor space complies with the standards for external walls above; and
 - ii) all openings greater than 3 mm are screened with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.

- b) Supports

The Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.
- c) Framing

The Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e., bearers and joists).

- d) Decking, stair treads and the trafficable surfaces of ramps and landings
- e) Decking, stair treads and the trafficable surfaces of ramps and landings shall be--
 - i) of non-combustible material; or
 - ii)of bushfire-resisting timber (refer to the table at the end of this document); or
 - iii) a combination of Items (i) and (ii) above.

- 3) Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings
 - a) Supports Support posts, columns, stumps, stringers, piers and poles shall be--
 - i) of non-combustible material; or
 - ii)of bushfire-resisting timber (refer to the table at the end of this document); or
 - iii) a combination of Items (i) and (ii) above.
 - b) Framing

Framing of verandas, decks, ramps or landings (i.e., bearers and joists) shall be--

 - i) of non-combustible material; or
 - ii)of bushfire-resisting timber (refer to the table at the end of this document); or iii) a combination of Items (i) and (ii) above.
 - c) Decking, stair treads and the trafficable surfaces of ramps and landings Decking, stair treads and the trafficable surfaces of ramps and landings shall be--
 - i) of non-combustible material; or
 - ii)of bushfire-resisting timber (refer to the table at the end of this document); or iii) a combination of Items (i) and (ii) above.

- 4) Balustrades, handrails or other barriers

Those parts of the handrails and balustrades less than 125 mm from any glazing or any combustible wall shall be--

 - i) of non-combustible material; or
 - ii)of bushfire-resisting timber (refer to the table at the end of this document); or
 - iii) a combination of Items (i) and (ii) above.

Those parts of the handrails and balustrades that are 125 mm or more from the building have no requirements.

WATER AND GAS SUPPLY PIPES

Above-ground, exposed water and gas supply pipes are to be metal.

BUSH FIRE RESISTING SPECIES

The following species have been tested and meet the requirements for a bush fire resisting timber species:


Standard trade name

- Ash silvertop
- Blackbutt
- Gum, red, river
- Gum, spotted
- Ironbark, red
- Kwila (Merbau)
- Turpentine

BAL 29 NOTES

| REVISIONS | | | |
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| REV. | DESCRIPTION | BY | DATE |
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| Ver.02 Town Planning | <p>GENERAL NOTES -</p> <p>Do not scale drawings, use written dimensions only. These drawings are to be read in conjunction with stamped town planning drawings and all engineering documentation where applicable.</p> <p>Check and verify all dimensions and details on site prior to the commencement of any works, and report any discrepancies or anomalies to the office of LMD Design & drafting for clarification.</p> <p>These drawings are neither exhaustive or a substitute for regulations, statutory requirements, building practice or contractual obligations, and unless expressly stated otherwise. These notes are provided only as guidelines. No responsibility is accepted for their use.</p> | <p>JOB NO. - 0999</p> <p>DRAWN BY - LD</p> <p>SCALE -</p> <p>SHEET SIZE - A3</p> <p>DRAWING NO. - TP11</p> <p>DATE - 19/09/2024</p> | <p>FOR - Sean Caracella</p> <p>DRAWING - Bal Notes</p> | <p>DESIGNER - LMD Design & Drafting Pty Ltd</p> <p>BUILDER - TBC</p> |  <p>A: 'Regus' Lower Heidelberg Rd, Heidelberg VIC 3084 P: 04 74 696 795 E: info@lmdesign.com.au</p> <p>Printed 6/02/2025</p> <p>Page 15 of 15</p> |
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