

# NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	424 Colquhoun Road LAKES ENTRANCE VIC 3909 Lot: 1 PS: 623015
The application is for a permit to:	Earthworks Associated with the Removal of a Dam
<b>A permit is required under the following clauses of the planning scheme:</b>	
<b>Planning Scheme Clause</b>	<b>Matter for which a permit is required</b>
42.01-2 (ESO)	Construct a building or construct or carry out works.
44.01-2 (EMO)	Construct a building or construct or carry out works.
The applicant for the permit is:	Development Solutions Victoria Pty Ltd
The application reference number is:	5.2025.367.1

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ♦ **be made to the Responsible Authority in writing,**
- ♦ **include the reasons for the objection, and**
- ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to the applicant giving notice</b>
---	---

If you object, the Responsible Authority will tell you its decision.

**Kerry Stow**

---

**From:** Snapforms Notifications <no-reply@snapforms.com.au>  
**Sent:** Friday, 7 November 2025 1:01 PM  
**To:** Planning Unit Administration  
**Subject:** Planning Permit application  
**Attachments:** APPENDIX A Plan of Subdivision.PDF; APPENDIX A Agreement AG336543M.PDF; 25088 Planning Submission.pdf; APPENDIX C Geotechnical Risk Assessment Waiver.pdf; APPENDIX A Copy of Title.PDF; APPENDIX B Development Plans.pdf; APPENDIX D Land Capability Assessment.pdf; Planning\_Permit\_Application\_2025-11-07T13-00-50\_28770015\_0.pdf

## Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

**Business trading name:** Development Solutions Victoria

**Email address:** admin@devsolvic.com.au

**Postal address :** 48 Bailey Street, Bairnsdale

**Preferred phone number:** 0351524858

**Owner's name:** Teresa Zammit

**Owner's business trading name (if applicable):** C/- Development Solutions Victoria

**Owner's postal address:** 48 Bailey Street, Bairnsdale

**Street number:** 424

**Street name:** Coloquhoun Road

**Town:** Lakes Entrance

**Post code:** 3909

**Lot number:** 1

**Plan number:** 623015N

**Other Legal Description:** Vol 11147 Fol 651

**Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?:** Yes

**Will the proposal result in a breach of a registered covenant restriction or agreement?:** No

**Existing conditions :** Existing Dwelling and Associated Facilities

**Description of proposal :** Earthworks Associated with the Removal of a Dam

**Estimated cost of development:** 7,000

**Has there been a pre-application meeting:** No

**Your reference number:** 25088

**ExtraFile:** 1

**Declaration:** Yes

**Authority Check:** Yes

**Notice Contact Check:** Yes

**Notice check 2:** Yes

**Privacy Statement Acknowledge:** Yes

**Full copy of Title:** [APPENDIX A Plan of Subdivision.PDF](#), [APPENDIX A Copy of Title.PDF](#)

**Covenants agreements:** [APPENDIX A Agreement AG336543M.PDF](#)

**Planning report:** [25088 Planning Submission.pdf](#)

**1. Supporting information/reports:** [APPENDIX C Geotechnical Risk Assessment Waiver.pdf](#),  
[APPENDIX D Land Capability Assessment.pdf](#)

**Plans:** [APPENDIX B Development Plans.pdf](#)

**REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958**

VOLUME 11147 FOLIO 651

Security no : 124129699471S  
Produced 07/11/2025 12:44 PM

**LAND DESCRIPTION**

Lot 1 on Plan of Subdivision 623015N.  
PARENT TITLE Volume 08203 Folio 820  
Created by instrument PS623015N 16/07/2009

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
TERESA ZAMMIT of 424 COLQUHOUN ROAD LAKES ENTRANCE VIC 3909  
AX233408U 07/09/2023

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

AGREEMENT Section 173 Planning and Environment Act 1987  
AG336543M 09/02/2009

**DIAGRAM LOCATION**

SEE PS623015N FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 424 COLQUHOUN ROAD LAKES ENTRANCE VIC 3909

**ADMINISTRATIVE NOTICES**

NIL

DOCUMENT END



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Document Type	<b>Plan</b>
Document Identification	<b>PS623015N</b>
Number of Pages (excluding this cover sheet)	<b>2</b>
Document Assembled	<b>07/11/2025 12:44</b>

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<b>PLAN OF SUBDIVISION</b>		STAGE No. <div style="border: 1px solid black; padding: 2px; display: inline-block;">           PURPOSE ONLY  <b>EDITION 1</b>            01/07/2009 11007 10 BS         </div>	<b>PS623015N</b>	
<b>LOCATION OF LAND</b>  PARISH: COLQUHOUN  TOWNSHIP:  SECTION:  CROWN ALLOTMENT: 140 (PART)  CROWN PORTION:  TITLE REFERENCES: 8203/820  LAST PLAN REFERENCE/S: PS309054F (LOT 1)  POSTAL ADDRESS: 442 COLQUHOUN ROAD, (At time of subdivision) LAKES ENTRANCE, 3909  MGA Co-ordinates E 586 210 (of approx centre of N 5813 150 land in plan) ZONE 55		<b>COUNCIL CERTIFICATION AND ENDORSEMENT</b>  COUNCIL NAME: EAST GIPPSLAND SHIRE REF: 141/2008/CCT  1. This plan is certified under Section 6 of the Subdivision Act 1988. 2. <del>This plan is certified under Section 11(7) of the Subdivision Act 1988.</del> <del>Date of original certification under Section 8.</del> 3. <del>This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.</del>  <b>OPEN SPACE</b> (i) A requirement for public open space under Section 18 of the Subdivision Act 1988 <del>has</del> has not been made. (ii) <del>The requirement has been satisfied.</del> (iii) <del>The requirement is to be satisfied in Stage</del>  Council Delegate <del>Council Seal</del> Date 20/11/2008  <del>Re-certified under Section 11(7) of the Subdivision Act 1988:</del> <del>Council Delegate</del> <del>Council Seal</del> <del>Date</del>		
<b>VESTING OF ROADS AND/OR RESERVES</b>				
IDENTIFIER	COUNCIL/BODY/PERSON			
NIL	NIL			
<b>NOTATIONS</b>				
STAGING <del>This is</del> is not a staged subdivision. Planning permit No. 709/2007/P				
DEPTH LIMITATION 15.24 METRES BELOW THE SURFACE				
SURVEY. THIS PLAN IS <del>AS NOT</del> BASED ON SURVEY. THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s) IN PROCLAIMED SURVEY AREA No.				
<b>EASEMENT INFORMATION</b>				
LEGEND A-Appurtenant Easement E-Encumbering Easement R-Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	POWERLINE	SEE DIAG.	THIS PLAN - SECTION 88 OF THE ELECTRICITY INDUSTRY ACT 2000	SPI ELECTRICITY PTY LTD
<b>LR USE ONLY</b> STATEMENT OF COMPLIANCE/ EXEMPTION STATEMENT  RECEIVED <input checked="" type="checkbox"/> <b>1/07/09</b> DATE				
<b>LR USE ONLY</b> PLAN REGISTERED TIME <b>7.59</b> DATE <b>16/07/09</b>  <b>Mark Holloway</b> Assistant Registrar of Titles  SHEET 1 OF 2 SHEETS				
<b>MAUNSELL   AECOM</b>  <b>Survey &amp; Spatial Solutions-Bairnsdale</b> T 5152 1600 F 5152 1202		LICENSED SURVEYOR (PRINT) BRADLEY D.B. FREEMAN SIGNATURE REF 33007514		DATE 3/10/2008 VERSION B
		DATE 20/11/2008 COUNCIL DELEGATE SIGNATURE ORIGINAL SHEET SIZE A3		<b>Printed 28/01/2026</b> <b>Page 6 of 70</b>

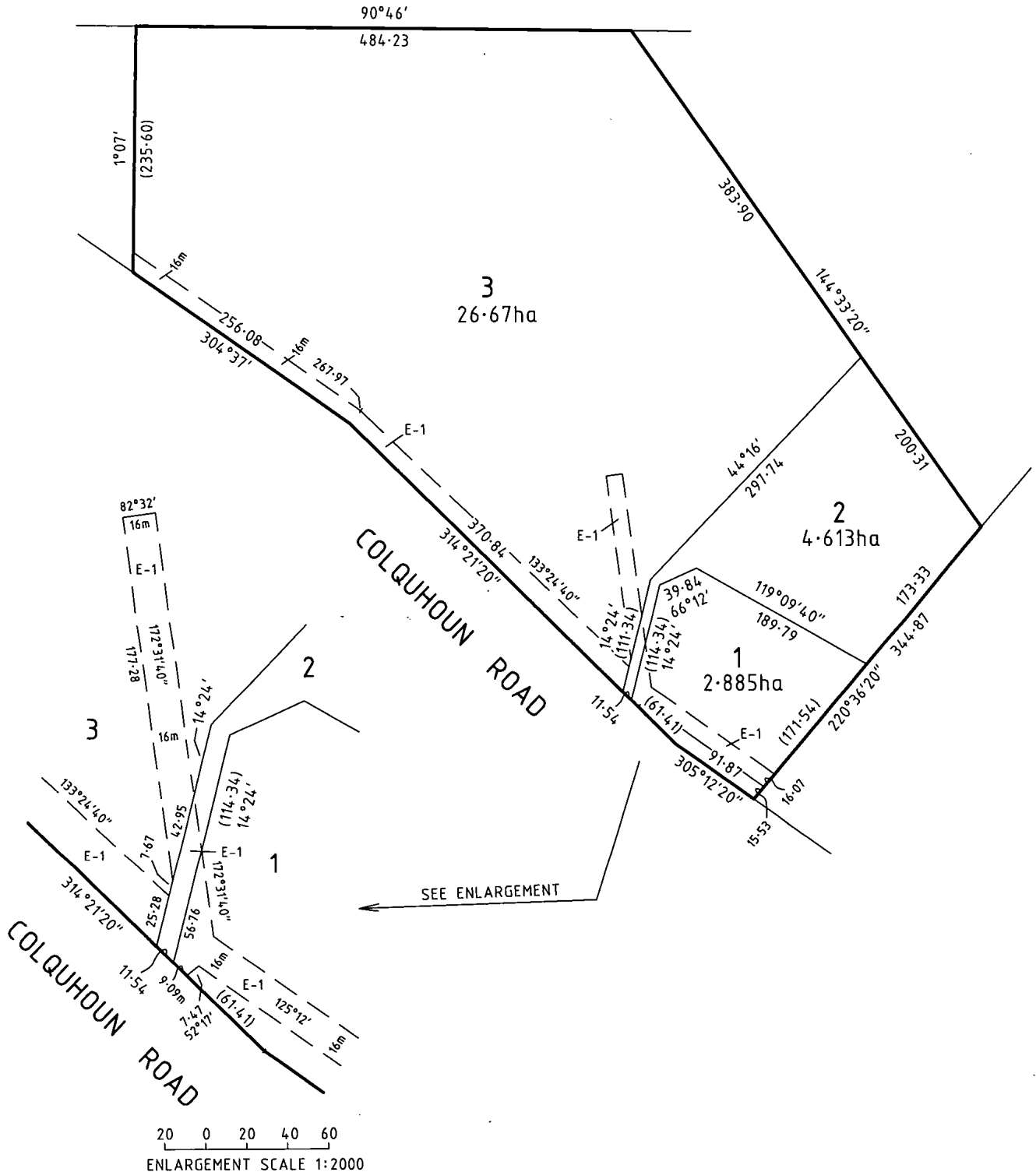
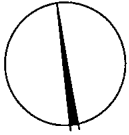
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# PLAN OF SUBDIVISION

STAGE NO. 1  
PLAN NUMBER  
PS 623015N

APPROX. TRUE NORTH



SEE ENLARGEMENT

20 0 20 40 60  
ENLARGEMENT SCALE 1:2000

MAUNSELL | AECOM

Survey & Spatial Solutions-Bairnsdale  
T 5152 1600 F 5152 1202

SCALE

40 0 40 80 120 160 200  
LENGTHS ARE IN METRES

ORIGINAL

SCALE 1:4000  
SHEET SIZE A3

LICENSED SURVEYOR (PRINT) BRADLEY D.B. FREEMAN

SIGNATURE

DATE 3/10/2008

REF 33007514

VERSION B

SHEET 2

DATE 20/11/2008  
COUNCIL DELEGATE SIGNATURE

Printed 28/01/2026  
Page 7 of 70

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Number of Pages (excluding this cover sheet)	<b>9</b>
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AG336543M



Section 181

**APPLICATION BY A RESPONSIBLE AUTHORITY FOR THE MAKING  
OF A RECORDING OF AN AGREEMENT**

**Planning & Environment Act 1987**

**Privacy Collection Statement**

The information from this form is collected under statutory authority and is used for the purpose of maintaining publicly searchable registers and indexes in the Victorian Land Registry.

Lodged by: Warren Graham & Murphy  
5155 1286  
Name: 383 Esplanade, Lakes Entrance  
Phone: GRW-ab.  
Address: 1716W  
Ref:  
Customer Code:

The Authority having made an agreement referred to in Section 181(1) of the **Planning and Environment Act 1987** requires a recording to be made in the Register for the land.

Land: Certificate of Title Volume 8203 Folio 820

Authority: East Gippsland Shire Council, Corporate Centre, 273 Main Street, Bairnsdale, 3875

Section and Act under which agreement made: Section 173 of the Planning & Environment Act 1987

A copy of the Agreement is attached to this Application.

Signature for the Authority:

Name of Officer:

Aaron Hollow - Manager Development  
(full name)

Date:

21/01/2009

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**AC336543M**



Date 20/01/2008

**Agreement under Section 173  
of the Planning and Environment Act 1987**  
Subject Land: 442 Colquhoun Road, Lakes Entrance

East Gippsland Shire Council  
and

Alan Andrew Bolding and Gail Robyn Bolding

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AG336543M



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# **Agreement under Section 173 of the Planning and Environment Act 1987**

**DATE** 20 / 01 / 2008

**AG336543M**



## **BETWEEN**

**EAST GIPPSLAND SHIRE COUNCIL**  
of Corporate Centre, 273 Main Street, Bairnsdale

**(Council)**

## **AND**

**ALAN ANDREW BOLDING and GAIL ROBYN BOLDING**  
both of 442 Colquhoun Road, Lakes Entrance

**(Owner)**

## **RECITALS**

- A. Council is the Responsible Authority pursuant to the Act for the Planning Scheme.
- B. The Owner is or is entitled to be the registered proprietor of the Subject Land.
- C. On 12th May 2008 Council issued Planning Permit No. 709/2007/P (**Planning Permit**) allowing the Subject Land to be subdivided into three lots in accordance with the Endorsed Plans. Condition 4 of the Planning Permit requires the Owner to enter into this Agreement to provide for the matters set out in that condition. A copy of the Planning Permit is available for inspection at Council offices during normal business hours upon giving the Council reasonable notice.

- D. Condition 4 of the Planning Permit provides that:

Before the issue of a Statement of Compliance, the owner of the land must enter into an agreement with the responsible authority in accordance with Section 173 of the Planning & Environment Act 1987, which will covenant that:

- a) The proposed lot 3 created by planning permit 709/2007/P must not be subdivided so as to create more than two lots.

The agreement will bind the applicant as the owner and shall run with the land so that all successors in title are bound by the agreement. This agreement will be prepared by the applicant, at the applicants cost and to the satisfaction of the responsible authority, and shall be registered on the land in accordance with Section 181 of the Planning and Environment Act 1987.

- E. As at the date of this Agreement, the Subject Land is encumbered by Mortgage No. T160339Q in favour of the Mortgagee. The Mortgagee has consented to the Owner entering into this Agreement with respect to the Subject Land.

- F. The parties enter into this Agreement:

- F.1 to give effect to the requirements of the Planning Permit; and



F.2 to achieve and advance the objectives of planning in Victoria and the objectives of the Planning Scheme in respect of the Subject Land.

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09/02/2009 \$99.90 173



## THE PARTIES AGREE

### 1. DEFINITIONS

In this Agreement the words and expressions set out in this clause have the following meanings unless the context admits otherwise:

**Act** means the *Planning and Environment Act 1987*.

**Agreement** means this agreement and any agreement executed by the parties expressed to be supplemental to this agreement.

**Endorsed Plan** means the plan endorsed with the stamp of Council from time to time as the plan which forms part of the Planning Permit. A copy of the Endorsed Plan is available for inspection at Council offices during normal business hours upon giving the Council reasonable notice.

**lot** means a lot on the Endorsed Plan.

**Mortgagee** means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as Mortgagee of the Subject Land or any part of it.

**Owner** means the person or persons registered or entitled from time to time to be registered by the Registrar of Titles as proprietor or proprietors of an estate in fee simple of the Subject Land or any part of it and includes a Mortgagee-in-possession.

**party or parties** means the Owner and Council under this Agreement as appropriate.

**Planning Scheme** means the East Gippsland Planning Scheme and any other planning scheme that applies to the Subject Land.

**Subject Land** means the land situated at 442 Colquhoun Road, Lakes Entrance being the land referred to in Certificate of Title Volume 8203 Folio 820 and any reference to the Subject Land in this Agreement includes any lot created by the subdivision of the Subject Land or any part of it.

### 2. INTERPRETATION

In this Agreement unless the context admits otherwise:

2.1 The singular includes the plural and vice versa.

2.2 A reference to a gender includes a reference to each other gender.

2.3 A reference to a person includes a reference to a firm, corporation or other corporate body and that person's successors in law.

2.4 If a party consists of more than one person this Agreement binds them jointly and each of them severally.

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- 2.5 A term used in this Agreement has its ordinary meaning unless that term is defined in this Agreement. If a term is not defined in this Agreement and it is defined in the Act it has the meaning as defined in the Act.
- 2.6 A reference to an Act, Regulation or the Planning Scheme includes any Acts, Regulations or amendments amending, consolidating or replacing the Act, Regulation or Planning Scheme.
- 2.7 The introductory clauses to this Agreement are and will be deemed to form part of this Agreement.
- 2.8 The obligations of the Owner under this Agreement, will take effect as separate and several covenants which are annexed to and run at law and equity with the Subject Land provided that if the Subject Land is subdivided, this Agreement must be read and applied so that each subsequent owner of a lot is only responsible for those covenants and obligations which relate to that owner's lot.

### 3. SPECIFIC OBLIGATIONS OF THE OWNER

---

The Owner agrees that once the subdivision authorised by the Planning Permit is registered, the Subject Land may not be further subdivided in any way so as to create more than two lots.

### 4. FURTHER OBLIGATIONS OF THE OWNER

---

#### 4.1 Notice and Registration

The Owner further covenants and agrees that the Owner will bring this Agreement to the attention of all prospective purchasers, lessees, mortgagees, chargees, transferees and assigns.

#### 4.2 Further actions

The Owner further covenants and agrees that:

- 4.2.1 the Owner will do all things necessary to give effect to this Agreement;
- 4.2.2 the Owner will make application to the Registrar of Titles to make a recording of this Agreement in the Register on the Certificate of Title of the Subject Land in accordance with Section 181 of the Act and do all things necessary to this to be done including signing any further agreement, acknowledgment or document or procuring the consent to this Agreement of any mortgagee or caveator to enable the recording to be made in the Register under that section.

#### 4.3 Council's Costs to be Paid

The Owner further covenants and agrees that the Owner will immediately pay to Council, Council's reasonable costs and expenses (including legal expenses) of and incidental to the preparation, drafting, finalisation, engrossment, execution, registration and enforcement of this Agreement which are and until paid will remain a debt due to Council by the Owner.

## 5. AGREEMENT UNDER SECTION 173 OF THE ACT

Council and the Owner agree that without limiting or restricting the respective powers to enter into this Agreement and, insofar as it can be so treated, this Agreement is made as a Deed pursuant to Section 173 of the Act, and the obligations of the Owner under this Agreement are obligations to be performed by the Owner as conditions subject to which the Subject Land may be used and developed pursuant to the Planning Permit.

## 6. OWNER'S WARRANTIES

Without limiting the operation or effect which this Agreement has, the Owner warrants that apart from the Owner and any other person who has consented in writing to this Agreement, no other person has any interest, either legal or equitable, in the Subject Land which may be affected by this Agreement.

## 7. SUCCESSORS IN TITLE

Without limiting the operation or effect that this Agreement has, the Owner must ensure that, until such time as a memorandum of this Agreement is registered on the title to the Subject Land, successors in title shall be required to:

- 7.1 give effect to and do all acts and sign all documents which will require those successors to give effect to this Agreement; and
- 7.2 execute a deed agreeing to be bound by the terms of this Agreement.

## 8. GENERAL MATTERS

### 8.1 Notices

A notice or other communication required or permitted to be served by a party on another party must be in writing and may be served:

- 8.1.1 by delivering it personally to that party;
- 8.1.2 by sending it by prepaid post addressed to that party at the address set out in this Agreement or subsequently notified to each party from time to time; or
- 8.1.3 by sending it by facsimile provided that a communication sent by facsimile shall be confirmed immediately in writing by the sending party by hand delivery or prepaid post.

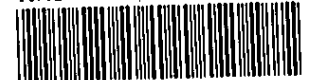
### 8.2 Service of Notice

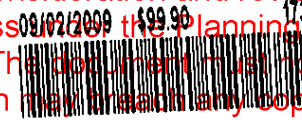
A notice or other communication is deemed served:

- 8.2.1 if delivered, on the next following business day;
- 8.2.2 if posted, on the expiration of 7 business days after the date of posting; or
- 8.2.3 if sent by facsimile, on the next following business day unless the receiving party has requested retransmission before the end of that business day.

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09/02/2009 \$99.90 173





### 8.3 No Waiver

Any time or other indulgence granted by Council to the Owner or any variation of the terms and conditions of this Agreement or any judgment or order obtained by Council against the Owner will not in any way amount to a waiver of any of the rights or remedies of Council in relation to the terms of this Agreement.

### 8.4 Severability

If a court, arbitrator, tribunal or other competent authority determines that a word, phrase, sentence, paragraph or clause of this Agreement is unenforceable, illegal or void then it must be severed and the other provisions of this Agreement will remain operative.

### 8.5 No Fettering of Council's Powers

It is acknowledged and agreed that this Agreement does not fetter or restrict the power or discretion of Council to make any decision or impose any requirements or conditions in connection with the granting of any planning approval or certification of any plans of subdivision applicable to the Subject Land or relating to any use or development of the Subject Land.

## 9. COMMENCEMENT OF AGREEMENT

Unless otherwise provided in this Agreement, this Agreement commences from the date of this Agreement.

**SIGNED, SEALED AND DELIVERED** as a Deed by the parties on the date set out at the commencement of this Agreement.

The Common Seal of the East Gippsland Shire Council was hereunto affixed on the 20<sup>th</sup> day of January in the presence of:

*20th day of January 2009*

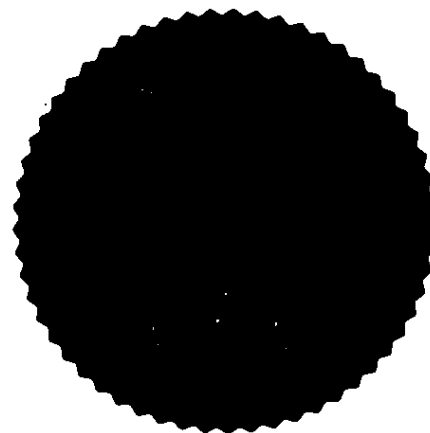
.....

Chief Executive

.....

Witness

*Jan Philp*



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Signed by the said **ALAN ANDREW BOLDING** )  
in the presence of: )

Witness *[Signature]* ..... (witness)

*AB*  
*X* *[Signature]* .....

Signed by the said **GAIL ROBYN BOLDING** )  
in the presence of: )

Witness *[Signature]* ..... (witness)

*GB*  
*X* *[Signature]* .....

### Mortgagee's Consent

National Australia Bank Ltd. as Mortgagee of registered mortgage No. T160339Q consents to the Owner entering into this Agreement and in the event that the Mortgagee becomes Mortgagee-in-possession, agrees to be bound by the covenants and conditions of this Agreement.

*[Signature]*  
**Justin Kellow**  
Business Banking Manager

**AG336543M**

09/02/2009 \$99.90 173  


Executed by National Australia Bank Limited by its Attorney *[Signature]* who holds the position of Level 3 Attorney under Power of Attorney dated 1/3/2007 (a certified copy of which is filed in Permanent Order Book No 277 Page 025 Item number 35) in the presence of:

Witness *[Signature]*  
**William Hurst**  
Full Name

*[Signature]*  
Attorney



Executed by National Australia Bank Limited by its Attorney who holds the position of Level 3 Attorney under Power of Attorney dated 1/3/2007 (a certified copy of which is filed in Permanent Order Book No 277 Page 025 Item number 35) in the presence of:

Witness

Full Name

*[Signature]*  
Attorney



NOV  
20  
25



APPLICATION FOR PLANNING PERMIT

**EARTHWORKS ASSOCIATED WITH  
THE REMOVAL OF A DAM**

424 COLQUHOUN ROAD, LAKES ENTRANCE  
TERESA ZAMMIT  
REF: 25088

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## APPENDIX

A	Copy of Title and Plan of Subdivision
B	Proposed Development Plans
C	Geotechnical Risk Assessment Waiver
D	Land Capability Assessment

## DOCUMENT REVISION

1	Draft Report	DAC	06/11/2025
2	Final Report	CMC	07/11/2025



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## 1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of Teresa Zammit, the owner of the land and the applicant for this planning permit application for earthworks associated with the removal of a dam at 424 Colquhoun Road, Lakes Entrance.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

The proposal requires planning approval under the provisions of the Erosion Management Overlay and the Environmental Significance Overlay. The purpose of decommissioning the existing dam is to enable the instillation of a standard subsoil septic treatment system for a second dwelling. The use and development of a second dwelling was approved with planning permit 5.2024.387.1

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate outcome in this location and will result in a positive planning result.

<b>Address</b>	424 Colquhoun Road, Lakes Entrance
<b>Site Description</b>	Lot 1 on Plan of Subdivision 623015N
<b>Title Particulars</b>	Vol 11147 Fol 651
<b>Site Area</b>	2.885 hectares
<b>Proposal</b>	Earthworks Associated with the Removal of a Dam
<b>Planning Scheme</b>	East Gippsland Planning Scheme
<b>Zone</b>	Rural Living Zone Schedule 3 (RLZ3)
<b>Overlays</b>	Bushfire Management Overlay (BMO) Erosion Management Overlay (EMO) Environmental Significance Overlay – Schedule 1-53 (ESO1-53) Vegetation Protection Overlay – Schedule 1 (VPO1)
<b>Aboriginal Cultural Heritage</b>	Not identified as an area of Cultural Heritage Sensitivity
<b>Permit Triggers</b>	Clause 44.01-2 Erosion Management Overlay - Permit requirement Clause 42.01-2 Environmental Significance Overlay – Permit requirement
<b>Notice</b>	Exempt from notice at Clause 44.01-7
<b>Referrals</b>	No referrals required
<b>Work Authority Licence</b>	Not Applicable
<b>Planning Scheme requirements</b>	Municipal Planning Strategy – Clause 02 Settlement – Coastal settlements – Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Planning Policy Framework – Clause 10 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Erosion and landslip – Clause 13.04-2S Built environment and heritage – Clause 15 Erosion Management Overlay - Clause 44.01 Environmental Significance Overlay – 42.01 Decision guidelines – Clause 65

## 2. SITE CONTEXT

### Site

The subject site is located at 424 Colquhoun Road, Lakes Entrance. A copy of the Title and Plan of Subdivision is contained in **Appendix A**. The title is affected by a Section 173 Agreement registered as AG336543M. There is a powerline easement along the southwestern boundary.

### AG336543M

This agreement restricts further subdivision of the allotment in any way so as to create more than two lots.

The site is irregular in shape with a total area of approximately 2.885 hectares and contains an existing dwelling, second dwelling under construction, multiple outbuildings and water tanks.

The site is undulating in nature and contains scattered vegetation throughout, a watercourse extending from the southeastern boundary through to the northwestern boundary and a centrally located dam. Details of the site are depicted in the photographs provided below.

Access is existing via a gravel crossover and driveway in the north portion of the western

boundary connecting directly to Colquhoun Road. Colquhoun Road is a bitumen sealed road with grassed shoulders, traversing in a north to south direction.

The subject site in relation to Lakes Entrance as well as the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2**.

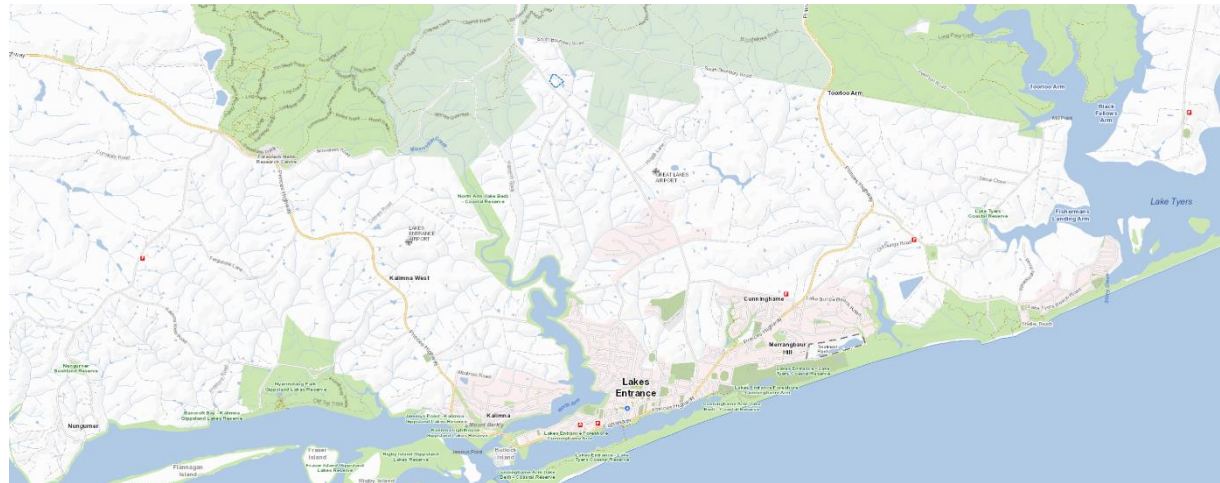


Figure 1 – Locality Plan – 424 Colquhoun Road, Lakes Entrance (source: mapshare.vic.gov.au)



Figure 2 – Locality Plan – 424 Colquhoun Road, Lakes Entrance (source: mapshare.vic.gov.au)



## Surrounds

The land in this locality is a combination of public land and rural living land.

The boundaries of the site are defined with rural post and wire fencing.

Adjoining the northern, eastern and southern boundaries comprises of existing dwellings and associated facilities. Adjoining the western boundary of the subject site is Colquhoun Road and further existing residential development.

It is noted there is a Work Authority licence number WA710 within the surrounding area approximately 1.7 kilometres to the west of the subject site.

Lakes Entrance is a coastal township located on the Princes Highway approximately 40 kilometres southeast of Bairnsdale. Lakes Entrance offers a range of community and commercial services and facilities. A larger suite of services and facilities is available further afield in Bairnsdale.

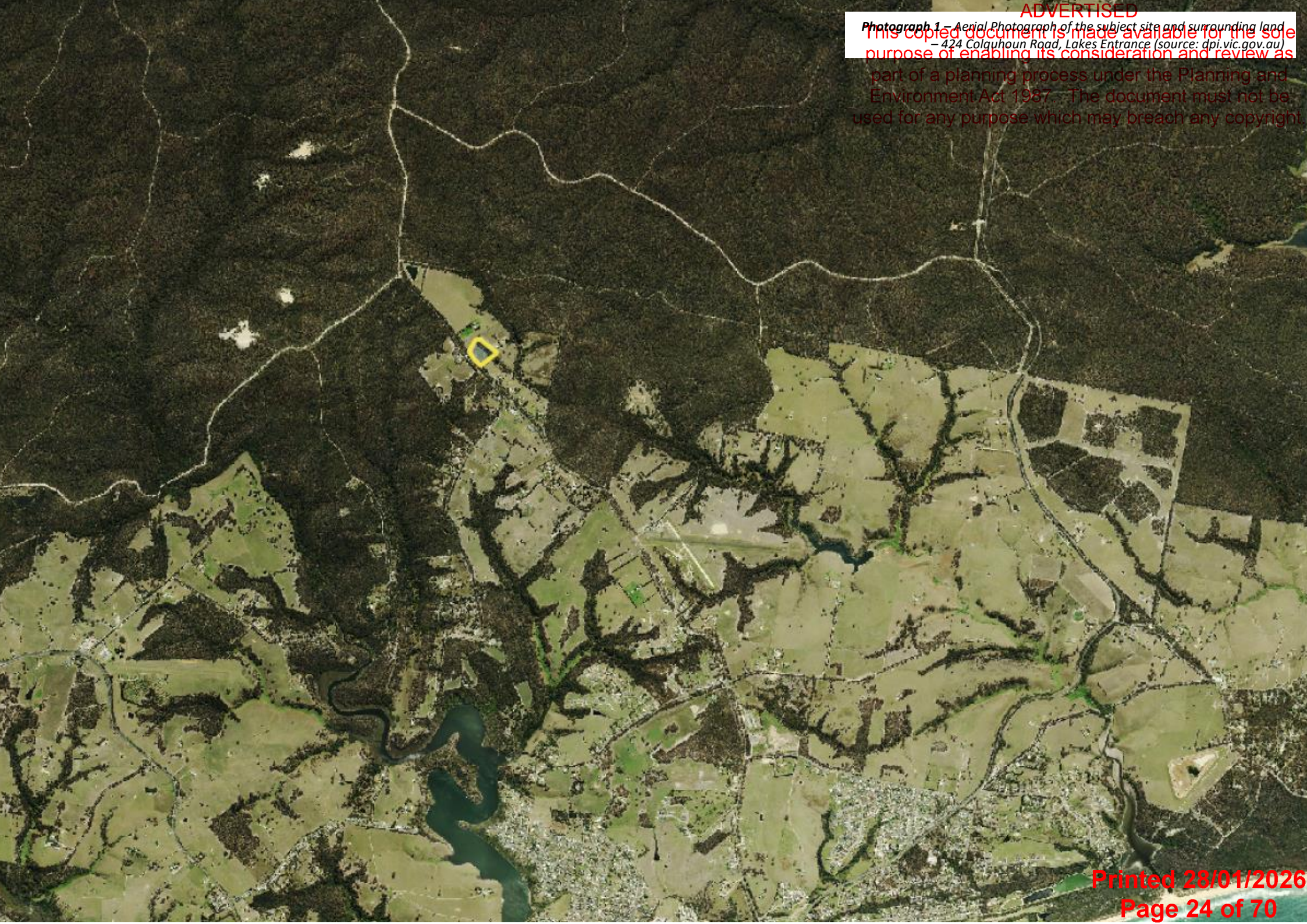
The subject site in relation to Lakes Entrance is shown in the aerial photograph below.





ADVERTISED

Photograph 1 – Aerial Photograph of the subject site and surrounding land  
– 424 Colquhoun Road, Lakes Entrance (source: dpi.vic.gov.au)  
This copied document is made available for the sole  
purpose of enabling its consideration and review as  
part of a planning process under the Planning and  
Environment Act 1987. The document must not be  
used for any purpose which may breach any copyright.







**Photograph 2** – Subject site showing existing driveway at 424 Colquhoun Road, Lakes Entrance.



**Photograph 4** – Existing dwelling on subject site facing northeast.



**Photograph 6** – Existing outbuilding and water tanks on the subject site facing north.



**Photograph 3** – Existing gravel access to subject site directly from Colquhoun Road, Lakes Entrance.



**Photograph 5** – Subject site showing the southwestern portion and boundary, facing southeast.



**Photograph 7** – Second dwelling and carport under construction east of the outbuilding, facing northwest.





**Photograph 8** – Southeastern portion of subject site, facing southeast.



**Photograph 10** – Subject site facing north showing the existing dam proposed to be filled.



**Photograph 12** – Existing outbuildings on subject site facing northeast.



**Photograph 9** – Subject site facing north showing the existing dam proposed to be filled.



**Photograph 11** – Subject site facing northwest.



**Photograph 13** – Northeastern portion of subject site facing northeast.





**Photograph 14** – Western corner of subject site, facing southwest.



**Photograph 16** – Property opposite the subject site at 423 Colquhoun Road, Lakes Entrance.



**Photograph 18** – Colquhoun Road facing southeast.



**Photograph 15** – Neighbouring property adjoining the northwestern boundary at 426 Colquhoun Road, Lakes Entrance.



**Photograph 17** – Property adjoining the southeastern boundary at 386 Colquhoun Road, Lakes Entrance.



**Photograph 19** – Colquhoun Road facing northwest.



### 3. THE PROPOSAL

This application seeks approval for earthworks associated with the removal of a dam under the provisions of the Erosion Management Overlay and the Environmental Significance Overlay. The proposed earthworks plan is contained in **Appendix B**.

The dam is centrally located on the site, approximately 21.94 metres east of the existing watercourse and is estimated to be 1.5 metres deep as indicated in the cross section drawing contained within the earthworks plan.

The existing dam is proposed to be decommissioned and removed to enable the installation of a standard subsoil septic treatment system which is required for the previously approved second dwelling and recommended within the Land Capability Assessment.

A Geotechnical Risk Assessment waiver has been undertaken by DBM Geotech and is contained in **Appendix C**. The assessment concludes there is no existing erosion evident on the site and recommends best practice erosion protection measures are implemented until the ground cover has been established to ensure protection of downstream assets.

The dam will be drained and material from the wall used to fill to the natural ground level. No vegetation is required to be removed to facilitate the proposed earthworks.

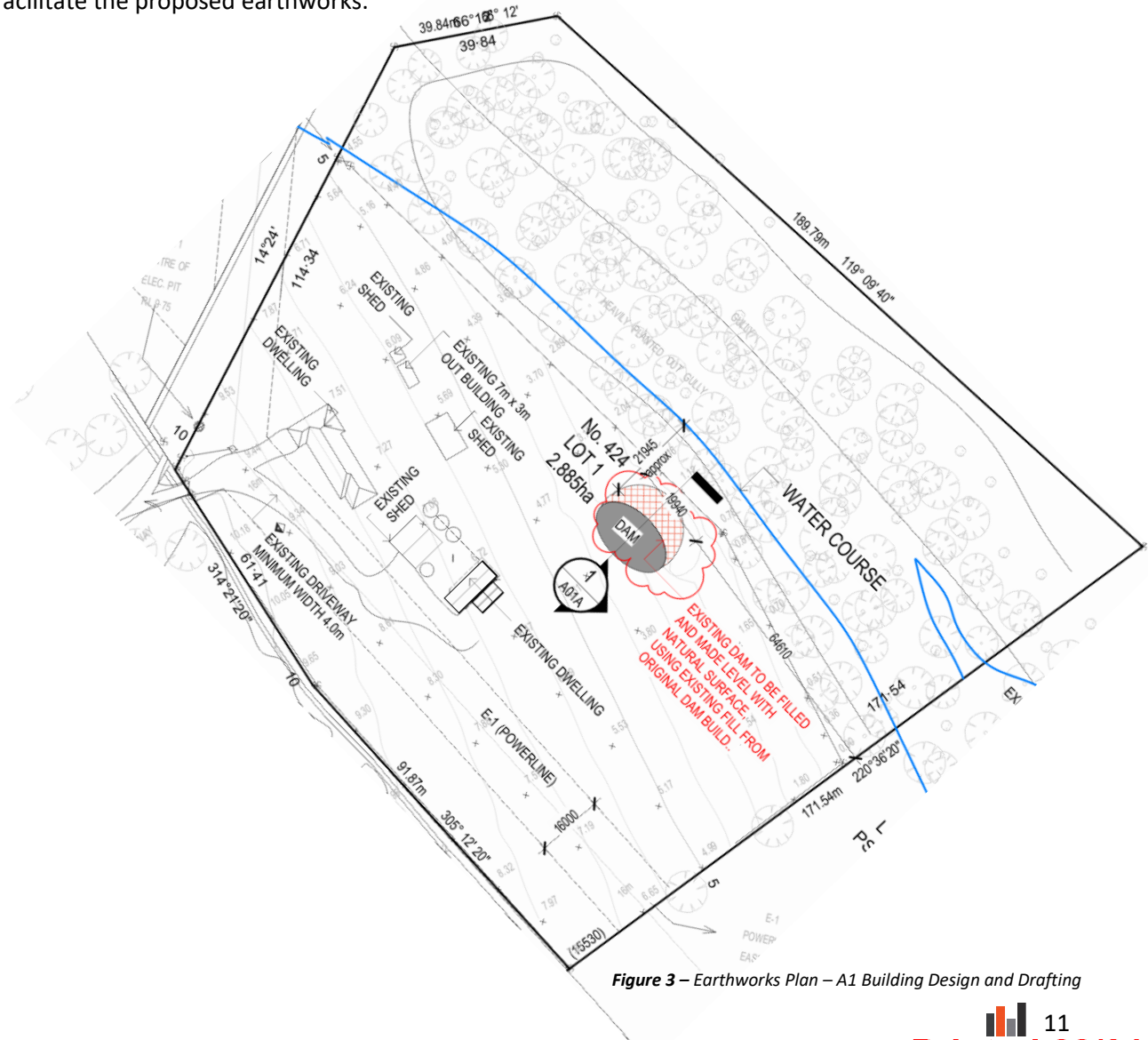


Figure 3 – Earthworks Plan – A1 Building Design and Drafting



## 4. ZONES AND OVERLAYS

### Rural Living Zone – Schedule 3

The purpose of the Rural Living Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for residential use in a rural environment.
- To provide for agricultural land uses which do not adversely affect the amenity of surrounding land uses.
- To protect and enhance the natural resources, biodiversity and landscape and heritage values of the area.
- To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.

An extract of the Rural Living Zone Map is provided in **Figure 4**.

Clause 35.03-4 provides a permit is required for earthworks specified in a schedule to the zone if on land specified in a schedule.

There is no land specified in Schedule 3 to the Rural Living Zone for earthworks and as such a permit is not required for the proposed dam removal.

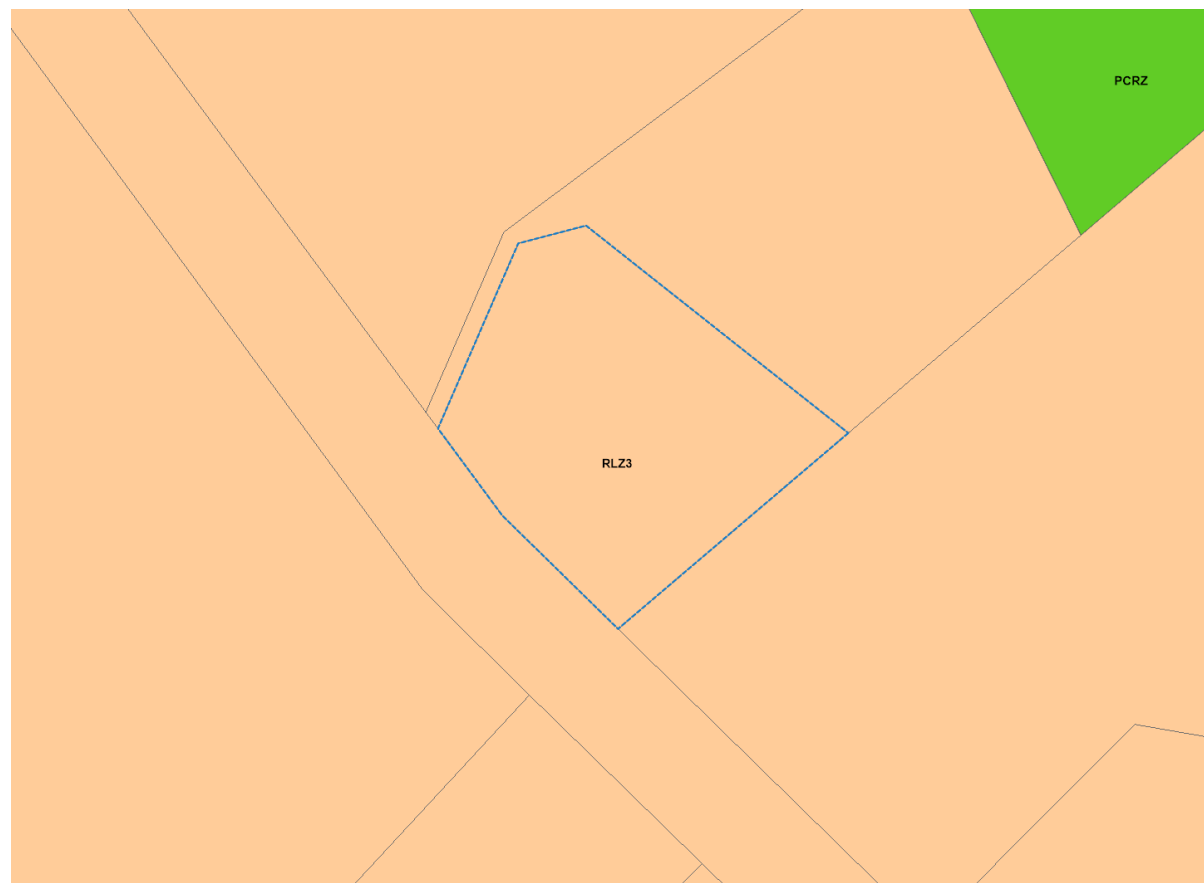


Figure 4 – Rural Living Zone – (source - mapshare.vic.gov.au)

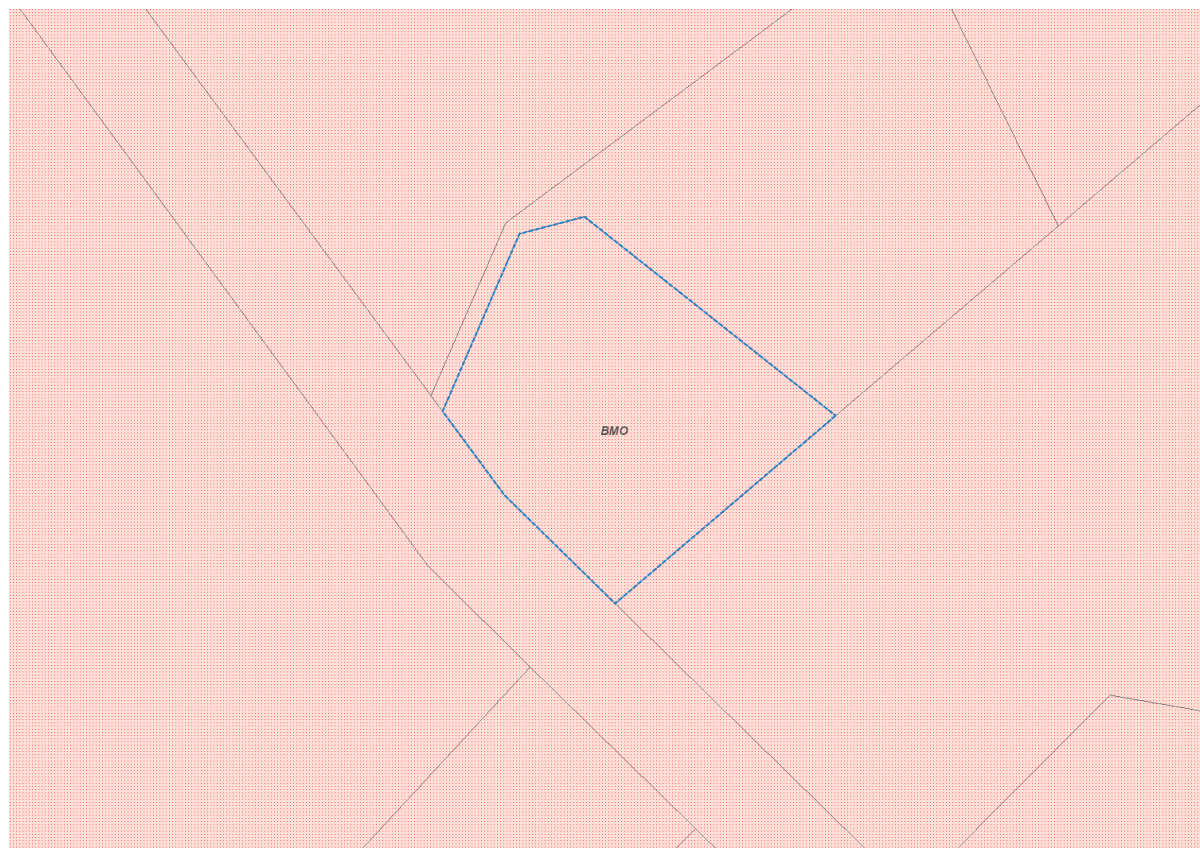
## Bushfire Management Overlay

The purpose of the Bushfire Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
- To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.
- To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

An extract of the Bushfire Management Overlay map is provided in **Figure 5**.

There is no requirement under the provisions of the Bushfire Management Overlay at Clause 44.06 for earthworks associated with the removal of a dam. As such a permit is not required, this is not addressed further.



**Figure 5** – Bushfire Management Overlay – (source - mapshare.vic.gov.au)

## Erosion Management Overlay

The purpose of the Erosion Management Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas prone to erosion, landslip, other land degradation or coastal processes by minimising land disturbance and inappropriate development.

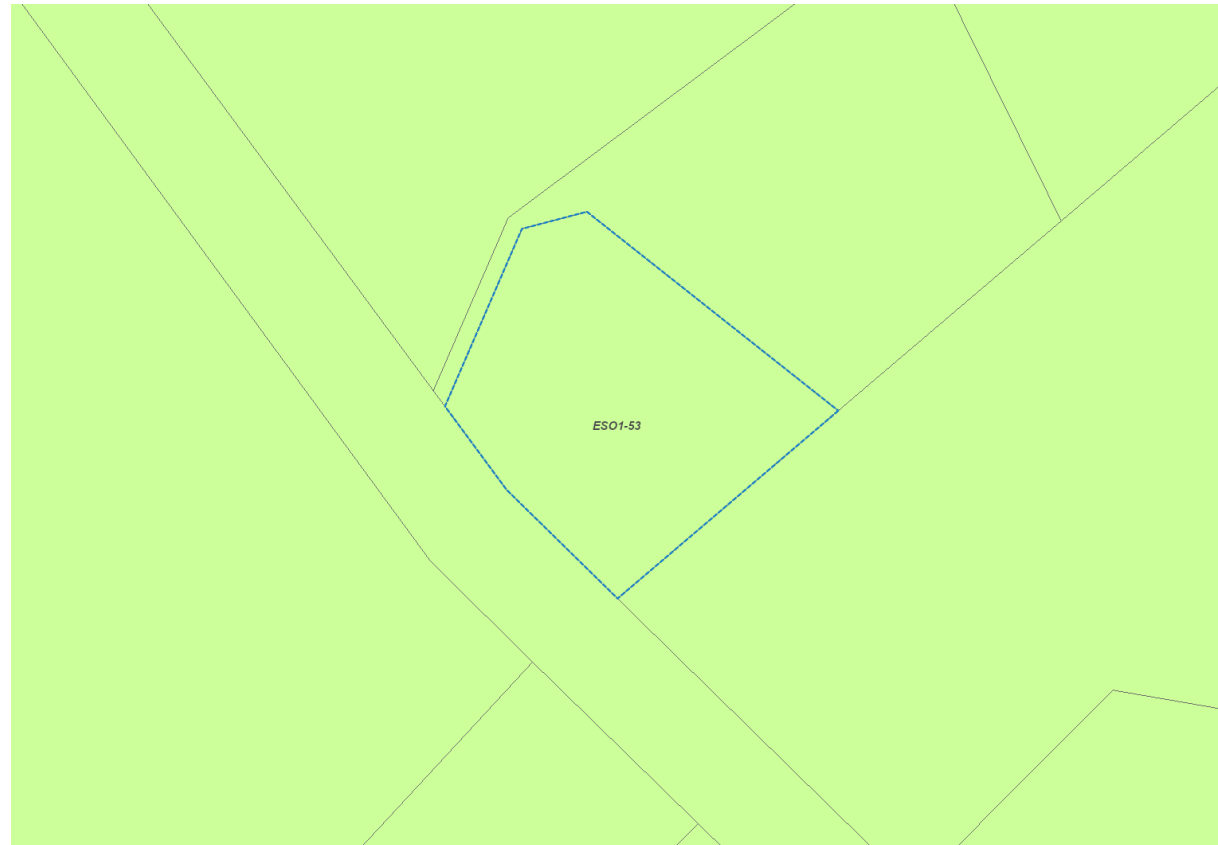
An extract of the Erosion Management Overlay Map is provided in **Figure 6**.

Clause 44.01-2 provides a permit is required to construct a building or construct or carry out works.

The schedule provides a permit is required to construct or carry out earthworks that result in a modified ground surface that is more than one metre above or below the natural ground level.

The existing dam is greater than 1 metre in depth and as such a permit is required to remove the dam. The relevant decision guidelines are addressed in Section 5 of this submission.

A Geotechnical Risk Assessment waiver is contained in **Appendix C**.



**Figure 6** – Erosion Management Overlay – (source - mapshare.vic.gov.au)

## Environmental Significance Overlay – Schedule 1-53

The purpose of the Environmental Significance Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To identify areas where the development of land may be affected by environmental constraints.
- To ensure that development is compatible with identified environmental values.

An extract of the Environmental Significance Overlay Map is provided in **Figure 7**.

Environmental Significance Overlay provides the following statement of environmental significance:

*“The overlay areas comprise Sites of Biological Significance containing specific values as listed in Table 1 below and representing either: rare or threatened species; restricted, rare or threatened vegetation communities; vegetation which is important as a corridor; high species richness; or other unusual biological features. The sites include suitable habitat for either the local population or the local occurrence of a species or community.”*

The environmental objective to be achieved is:

*“To ensure that development occurs so as not to adversely impact upon the environmental values of the site or any other value that may be identified within the overlay area. To conserve and enhance the environmental sustainability and ecological integrity of these values.”*

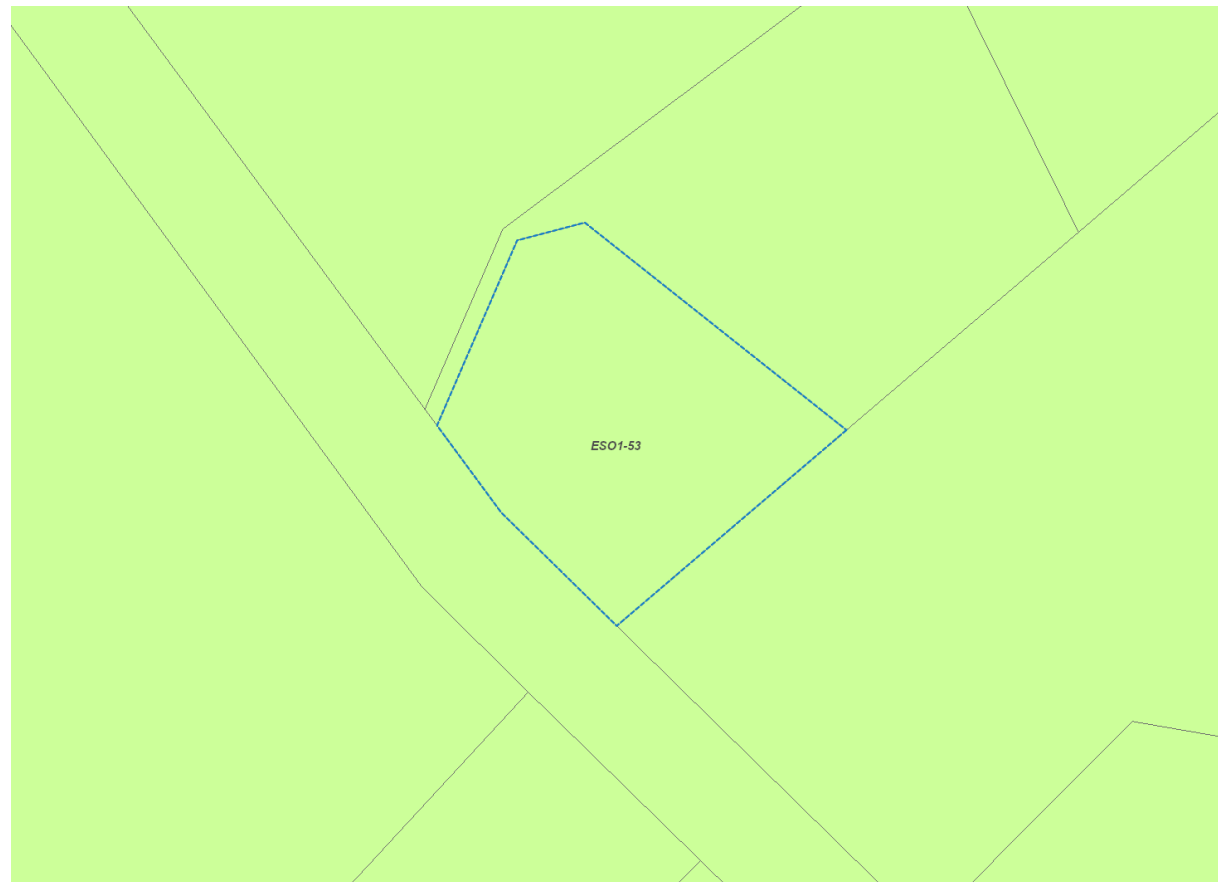


Figure 7 – Environmental Significance Overlay – (source - mapshare.vic.gov.au)

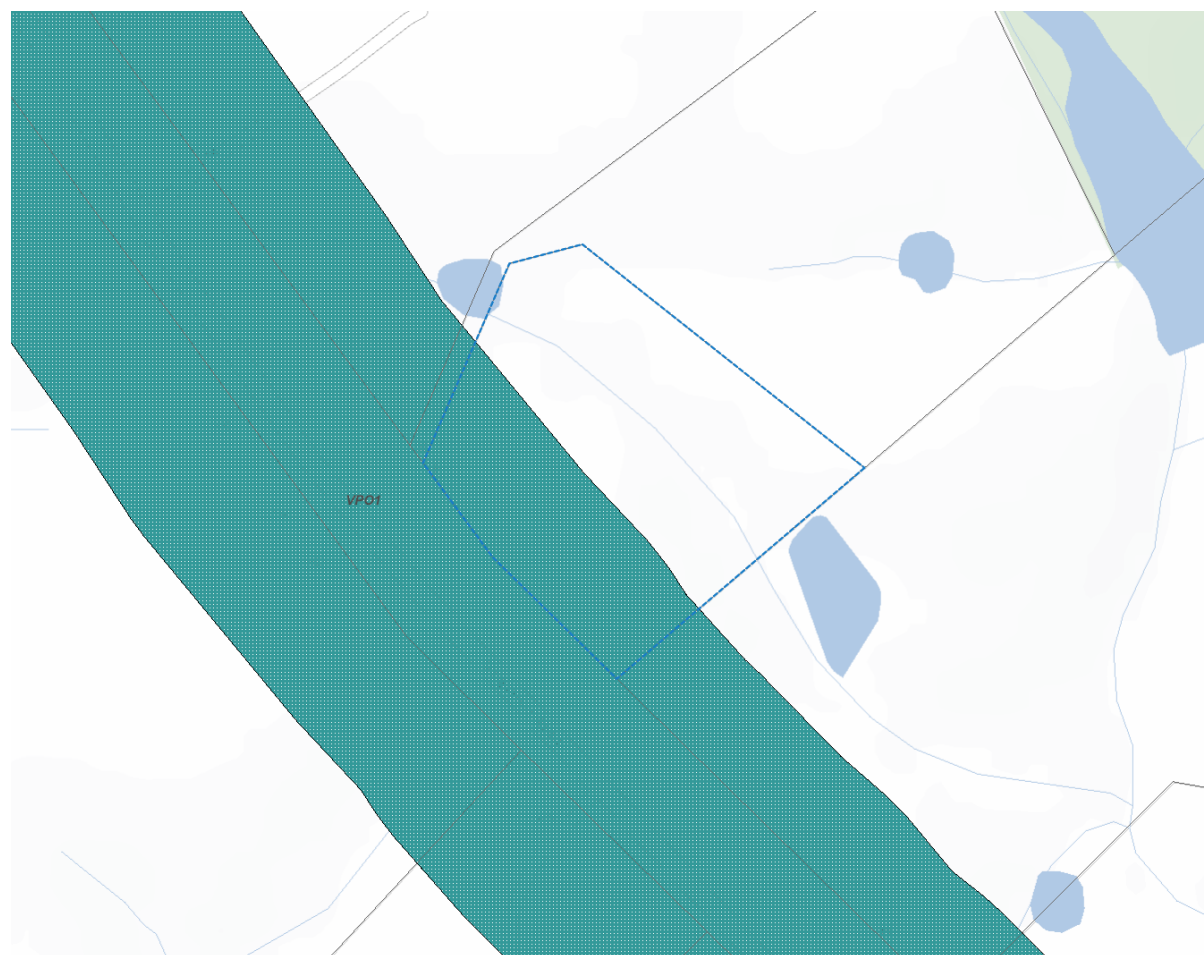
## Vegetation Protection Overlay – Schedule 1

The purpose of the Vegetation Protection Overlay is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To protect areas of significant vegetation.
- To ensure that development minimises loss of vegetation.
- To preserve existing trees and other vegetation.
- To recognise vegetation protection areas as locations of special significance, natural beauty, interest and importance.
- To maintain and enhance habitat and habitat corridors for indigenous fauna.
- To encourage the regeneration of native vegetation.

An extract of the Vegetation Protection Overlay Map is provided in **Figure 8**.

The proposal is not seeking to remove, destroy or lop any vegetation. As such a permit is not required under the provisions of the Vegetation Protection Overlay. This is not addressed further.



**Figure 8** – Vegetation Protection Overlay – (source - mapshare.vic.gov.au)

## Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is not recognised as being within an area of Aboriginal Cultural Heritage Sensitivity and as such a Cultural Heritage Management Plan is not required, this is not addressed further.

## 5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed earthworks associated with removal of a dam is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate outcome that can be respectful of the environment.
- The proposal will contribute to a high standard of environmental sustainability, by ensuring the proposed earthworks are undertaken with appropriate erosion prevention methods.
- **Clause 02.03-1** identifies Lakes Entrance as a growth area town.
- The existing dam is proposed to be decommissioned and removed to enable the installation of a standard subsoil septic treatment system required for the approved second dwelling on the site. A Land Capability Assessment has been undertaken for the second dwelling which recommends removal of the dam. The Land Capability Assessment is contained in **Appendix D**.
- **Clause 13.04-25** requires consideration of erosion and landslip. The subject site and proposed earthworks associated with the removal of a dam are within an area identified as being susceptible to erosion.
- The proposal is consistent with the decision guidelines of the Erosion Management Overlay at **Clause 44.01** which seeks to protect areas prone to erosion, landslip, other land degradation.
- The proposal will require earthworks for the removal of an existing dam that will exceed 1 metre in depth. The estimated depth of the dam is 1.5 metres at the deepest point as indicated on the cross section drawing within the earthworks plan. The dam is located approximately 21.94 metres west of the designated watercourse.
- Material from the existing dam wall will be used to fill the dam to the natural ground level. Disturbed ground will be sown with grass to ensure no erosion occurs. A Geotechnical Risk Assessment waiver is contained in **Appendix C** that concludes the risks associated with erosion can be reduced to an acceptable level.
- The proposal is consistent with the decision guidelines of the Environmental Significance Overlay at **Clause 42.01-5** which seeks to identify areas where the development of land may be affected by environmental constraints.
- The statement of environmental significance and the environmental objective is contained in Section 4 of this submission.
- The subject site contains a heavily vegetated gully system and designated water course in the northeastern portion of the site. No vegetation is required to be removed to facilitate the proposed earthworks associated with the removal of the dam. The proposal is not anticipated to have any negative environmental impact.
- This submission has addressed the decision guidelines of **Clause 65**, and the proposed earthworks associated with the removal of the existing dam supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
- The risks associated with erosion can be reduced to an acceptable level.
- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.



## 6. CONCLUSION

This submission is in support of a planning permit application for earthworks associated with the removal of a dam at 424 Colquhoun Road, Lakes Entrance

The relevant provisions of the East Gippsland Planning Scheme have been addressed, and it has been ascertained that the proposed removal is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Erosion Management Overlay and the Environmental Significance Overlay.
- The risks associated with erosion can be reduced to an acceptable level.

It is requested that a planning permit be granted for the earthworks associated with the removal of the existing dam.

**Development Solutions Victoria**

### Disclaimer:

*This document has been prepared for planning permit application purposes only. The report has been made with careful consideration and with the best information available to Development Solutions Victoria Pty Ltd at the time.*

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11 September 2025

24233\_EMO\_1

Development Solutions Victoria  
Bairnsdale, VIC, 3875

## **GEOTECHNICAL WAIVER – EROSION MANAGEMENT OVERLAY 424 COLQUHOUN ROAD, LAKES ENTRANCE**

### **Introduction**

Development Solutions Victoria has engaged DBM Geotech to undertake a geotechnical assessment for the proposed development at 424 Colquhoun Road, Lakes Entrance.

The site is within the East Gippsland Shire Council Erosion Management Overlay. This geotechnical assessment has been conducted to identify any areas prone to erosion or land instability.

### **Site conditions and proposed redevelopment**

The site is a small rural allotment of 2.88 Hectares located on the northeast side of Colquhoun Road. The site has a gradual slope down towards the north of about 10% and is occupied by a single level dwelling and sheds. The closest water bodies are a dam and waterway located on the site.

We understand that the proposed development comprises the construction of a relocatable 2-bedroom dwelling and backfilling of the existing dam. Earthworks for dwelling are minor with up to about 1 m of cut/fill required for the level building platform. Earthworks for the dam backfill will involve draining the dam and backfilling the dam with the dam wall material.

### **Site Geology**

The 1:250,000 Geological survey map on GeoVic indicates that the site is underlain by the Haunted Hills Formation. The subsurface conditions encountered during the investigation are considered consistent with the geological map indications.

### **Site Investigation**

The fieldwork was carried out on 26 September 2024 and 17 June 2025 and comprised the drilling of four boreholes at the approximate locations marked on the attached site plan, Figure 1. The purpose of these boreholes was to assess the nature of any fill and the underlying natural subsurface materials.

Reports of boreholes BH1 – BH3 are presented in Appendix A. A summary of the ground conditions is presented in Table 1.

**Table 1:** Summary of subsurface soils

Ground Profile	BH1 (m)	BH2 (m)	BH3 (m)	BH4 (m)
Clayey SAND	0.0 – 0.25	0.0 - 0.3	0.0 – 0.3	0.0 – 0.3
CLAY	0.25 – 1.5	0.3 – 1.5	0.3 – 1.5	0.3 – 1.5

## Geotechnical Waiver

An engineer from DBM Geotech visited the site on 26 September 2024 and observed the following:

- The site and surrounds have a gradual slope down to the northeast of about 10%.
- No evidence of erosion or landslip was observed at the site.
- The gully at the north end of the site is heavily vegetated. The slope gradient increases to about 20 -30% at the banks of the gully.

Based on our site assessment we consider that the landslide risk at the site is low. Therefore, in accordance with Section 4 of the East Gippsland Shire Council Erosion management overlay we consider that a full geotechnical assessment is not necessary for the proposed development. Photos of site features are provided in Figure 2 attached.

Although a full geotechnical assessment is not necessary, the soils at the site are likely susceptible to erosion when exposed during site works. Therefore, we recommend that the best practice erosion protections measures are implemented and maintained for the proposed development.

## Erosion Protection Measures

We recommend that vegetation is left in place as long as possible. The removal of vegetation at the site should be kept to a minimum and any vegetation removal shall only be undertaken where it is necessary to construct driveways and building platforms. Furthermore, where stripping is undertaken across earthworks areas, re-vegetation and/or batter protection should be implemented as soon as possible to reduce the effects of erosion.

We recommend that adequate erosion control measures (i.e. silt fences, diversion banks) be implement during construction and be maintained until vegetation has been established across cleared areas. In addition, we recommend good drainage protection be implemented on batter slopes, roadways and behind retaining walls.

## Limitations

Your attention is drawn to the document – 'Limitations' which is attached to this letter report. The statements presented in this document are intended to advise you of what your realistic expectations of this report should be. The document is not intended to reduce the level of responsibility accepted by DBM Geotech, but rather to ensure that all parties who may rely on this report are aware of the responsibilities each assumes is so doing.

Yours sincerely,

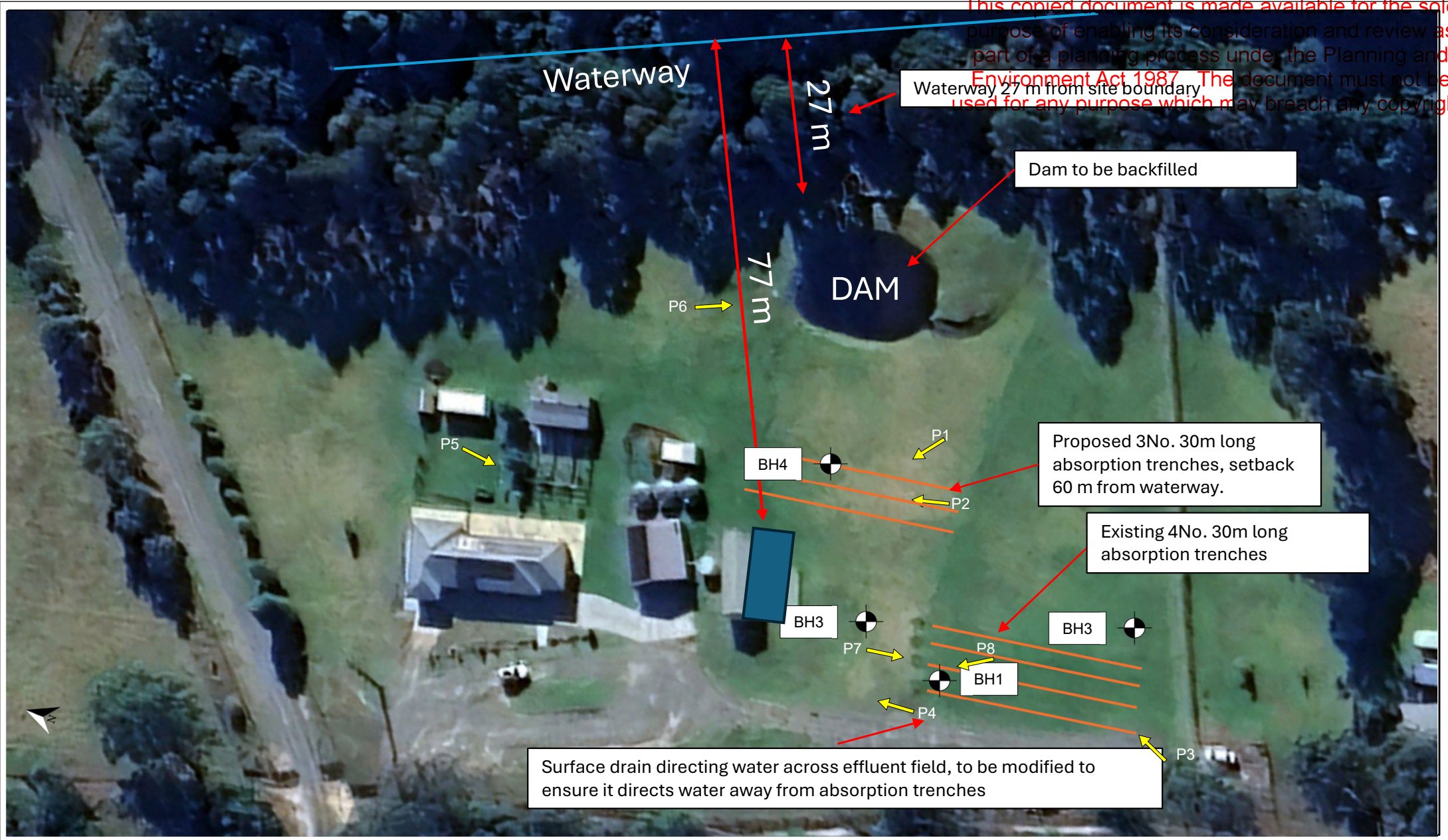
**DBM Geotech Consulting Pty Ltd**



Bill Wang  
BEng (Hons) MEngSc (Res) MIEAust CPEng NER  
EA Membership number: 2099569  
ABN 69 666 900 643

Attachments: Limitations

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Not to scale

**LEGEND:**

- BOREHOLE
- SITE PHOTO DIRECTION
- TRENCHES
- WATERWAY

**FIGURE DETAILS:**  
**Figure 1 – Site Plan**

**CLIENT:**  
Development Solutions Victoria

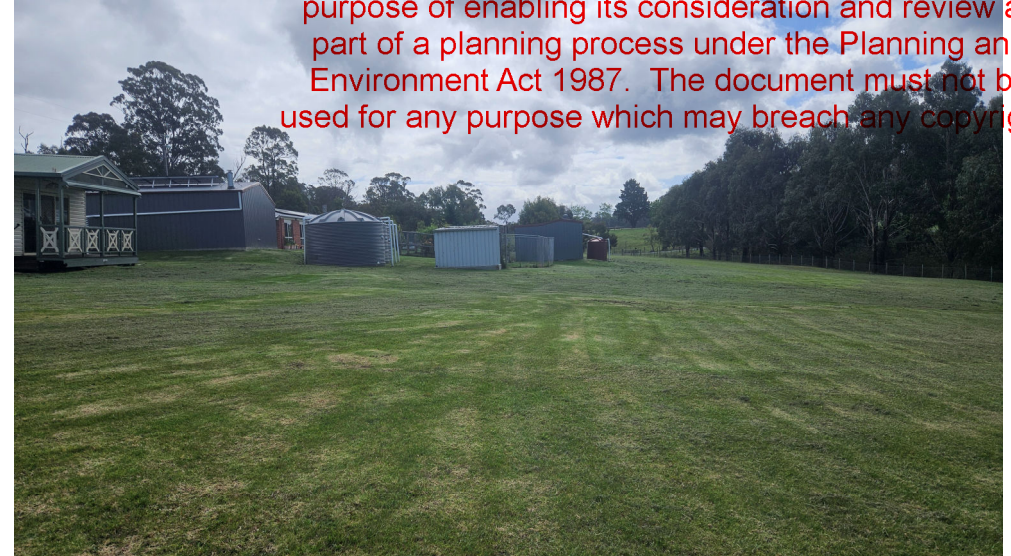
**SITE ADDRESS:**  
424 Colquhoun Rd, Lakes Entrance

**JOB NUMBER:**  
24218





P1 – Looking at second swell and across proposed absorption trench location



P2 – Looking across absorption trench location



P3



P4

**FIGURE DETAILS:**  
Figure 3 – Site Photos

**CLIENT:**  
Development Solutions Victoria

**SITE ADDRESS:**  
424 Colquhoun Rd, Lakes Entrance

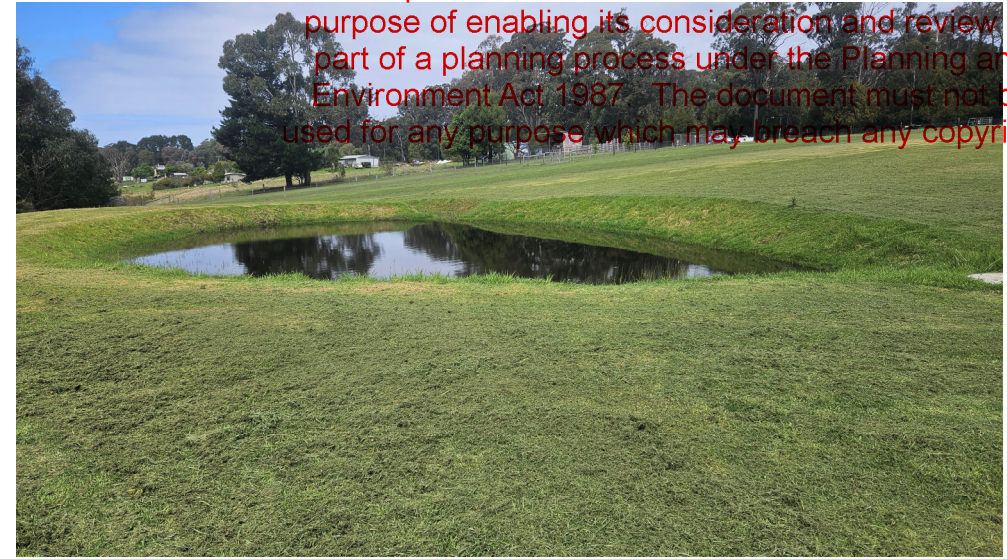
**JOB NUMBER:**  
24218

Printed 28/01/2026





P5 – Looking at existing septic and pump well



P6 – Looking across dam



P7 – Looking across absorption trenches



P8 – looking at surface drain running across absorption trenches

**FIGURE DETAILS:**

**Figure 4 – Site Photos**

**CLIENT:**

Development Solutions Victoria

**SITE ADDRESS:**

424 Colquhoun Rd, Lakes Entrance

**JOB NUMBER:**

2423

Printed 28/01/2026





## LIMITATIONS

This Document has been provided by DBM Geotech Consulting Pty Ltd (DBM Geotech) subject to the following limitations:

This Document has been prepared for the particular purpose outlined in DBM Geotech's proposal and no responsibility is accepted for the use of this document, in whole or in part, in other contexts for any other purpose.

This Document is provided for use solely by DBM Geotech's Client and persons acting on the Client's behalf, such as its professional advisers. No responsibility whatsoever for the contents of this Document will be accepted to any person other than the Client. Any use which a third party makes of this Document, or any reliance on or decisions to be made on it, is the responsibility of such third parties. DBM Geotech accepts no responsibility for damages, if any, suffered by any third party as a result of decision made or actions based on this Document.

The scope and the period of DBM Geotech's Services are as described in DBM Geotech's proposal and are subject to restrictions and limitations. DBM Geotech did not perform a complete assessment of all possible conditions or circumstances that may exist at the site referenced in the Document. If a service or other work is not expressly referred to in this Report, do not assume that it has been provided or performed. If a matter is not addressed in this Report, do not assume that any determination has been made by DBM Geotech in regards to it.

Conditions may exist which were undetectable given the limited nature of the enquiry DBM Geotech was retained to undertake. Variations in conditions may occur between investigation locations, and there may be special conditions pertaining to the site which have not been revealed by the investigation and which have not therefore been taken into account in the Document. Accordingly, additional studies and actions may be required.

DBM Geotech accepts no responsibility for and makes no representation as to the accuracy or completeness of the information provided to it by or on behalf of the Client or sourced from any third party. DBM Geotech has assumed that such information is correct unless otherwise stated and no responsibility is accepted by DBM Geotech for incomplete or inaccurate data supplied by its Client or any other person for whom DBM Geotech is not responsible. DBM Geotech has not taken account of matters that may have existed when the Report was prepared but which were only later disclosed to DBM Geotech.

Having regard to the matters referred to in the previous paragraphs on this page in particular carrying out the Service has allowed DBM Geotech to form no more than an opinion as to the actual conditions at any relevant location. That opinion is necessarily constrained by the extent of the information collected by DBM Geotech or otherwise made available to DBM Geotech. Further, the passage of time may affect the accuracy, applicability or usefulness of the opinions, assessments or other information in this Document. This Document is based upon the information and other circumstances that existed and were known to DBM Geotech when the Services were performed and this Document was prepared. DBM Geotech has not considered the effect of any possible future development included physical changes to any relevant location or change to any laws or regulations relevant to such location.

By date, or revision, the Document supersedes any prior report or other document issued by DBM Geotech dealing with any matter that is addressed in the Document.

11 September 2025

# LAND CAPABILITY ASSESSMENT

**PROPOSED DEVELOPMENT**  
**424 COLQUHOUN ROAD,**  
**LAKES ENTRANCE, VICTORIA, 3909**



**Prepared for:**  
Development Solutions Victoria

**Report Number: 24233\_LCA\_1**



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## Figures

Figure 1: Site Plan

Figure 2 and 3: Site Photos

## Appendices

### Appendix A

Reports of Boreholes

Water balance calculations

### Appendix B

Limitations

## SUMMARY

### Location:

Address: 424 Colquhoun Road, Lakes Entrance SPI: 1\PS623015

### Land Features:

Slope of land: 10%

Aspect: northly

Evaporation: 1600mm

Distance to surface water: 27 m from site boundary

Flooding: > 1in 100 years

Rainfall: 780mm

### Key Soil Properties:

Soil texture (limiting layer): light clay

Permeability: 0.06-0.2 mm/day

### Treatment System:

Primary treatment

### Land Application system:

Absorption Trenches

### Design Loading rate (DLR):

Absorption Trenches: 7 mm/day

### Land Application Area minimum size

Design Flow Rate	Trench length
2-bedroom dwelling – 450L/day	3 x 30m long trenches at 0.7m wide

### Site Constraints:

Onsite Dam, surface drainage

### Special Conditions / Mitigation Measures:

**Surface Drainage:** Redirect surface swale drain that channels water from the gravel road over the north end of the existing effluent field to ensure stormwater does not flow of absorption trenches.

**Onsite Dam:** Decommission and backfill dam prior to installation of the system.

### Key Buffer Distances:

Site boundaries and buildings:

1.5m downslope; 3.0m upslope

Waterway (potable):

100m

Waterway (non-potable):

30m

### Management:

Desludging primary tank and inspection of eluent absorption trenches: every **3-5 years**

11 September 2025

24233\_LCA\_1

## 1.0 INTRODUCTION

Development Solutions Victoria has engaged DBM Geotech Consulting Pty Ltd (DBM Geotech) to undertake a Land Capability Assessment for the proposed residential dwelling at 424 Colquhoun Road, Lakes Entrance. The field investigation and report have been undertaken and prepared by suitability experienced consultants.

This report will accompany an application for a Septic Tank Permit to Install submitted to East Gippsland Shire Council for an onsite wastewater management system at 424 Colquhoun Road, Lakes Entrance. The report provides information about the site and soil conditions. It also provides a Land Capability Assessment (LCA) for the site and includes a conceptual design for a suitable onsite wastewater management system, including recommendations for monitoring and management requirements.

## 2.0 DESCRIPTION OF THE DEVELOPMENT

The site is a small rural allotment of 2.88 Hectares located on the northeast side of Colquhoun Road. The site has a gradual slope down towards the north of about 10% and is occupied by a single level dwelling and sheds. The closest water bodies are a dam and waterway located on the site.

We understand that the proposed development comprises the construction of a relocatable 2-bedroom dwelling and the existing dam will be backfilled.

**Site Address:** 1\PS623015; 424 Colquhoun Road, Lakes Entrance (Figure 1)

**Council Area:** East Gippsland Shire Council

**Zoning:** RLZ – Rural Living Zone

**Domestic Water Supply:** Tank water

**Anticipated Wastewater Load:** Assume a residence with full water-reduction fixtures at maximum occupancy. Wastewater generation = 150 L/person/day; Table 4.1 of EPA Guidelines (2024) (1).

**Availability of Sewer:** The area is unsewered and unlikely to be sewerred within the next 10-20 years.

## 3.0 SITE AND SOIL ASSESSMENT

### 3.1 SITE ASSESSMENT

DBM Geotech undertook a site investigation on the 26 September 2024 and 17 June 2025. Table 1 summarises the key features of the site in relation to effluent management proposed for the site.

#### NOTE:

- The site is not in a special water supply catchment area.
- The site experiences minor stormwater run-on from Colquhoun Road.
- The risk of effluent transport offsite is low.

Figure 1 attached provides a site plan and indicates the location of the proposed dwelling. Site photos are shown in Figure 2 and Figure 3.

**Table 1: Site Assessment**

Characteristic	Level of Constraint		
	Nil or Minor	Moderate	Major
<b>Aspect</b>	North / North-East / North-West	East / West / South-East / South-West	South
<b>Climate</b>	Excess of evaporation over rainfall in the wettest months	Rainfall approximates to evaporation	Excess of rainfall over evaporation in the wettest months
<b>Erosion</b>	Nil or minor	Moderate	Severe
<b>Exposure to sun and wind</b>	Full sun and/or high wind or	Dappled light	Heavily shaded and little wind
<b>Fill (imported)</b>	No fill or minimal fill, or fill is good quality topsoil	Moderate coverage and fill is good quality	Extensive poor quality fill and variable quality fill
<b>Flood frequency (ARI)</b>	Less than 1 in 100 years	Between 100 and 20 years	More than 1 in 20 years
<b>Groundwater bores</b>	No bores onsite or on neighbouring properties	Setback distance from bore complies with requirements in EPA Guidelines 2024	Setback distance from bore does not comply with requirements in EPA Guidelines 2024
<b>Land area available for LAA</b>	Exceeds LAA and duplicate LAA and buffer distance requirements	Meets LAA and duplicate LAA and buffer distance requirements	Insufficient area for LAA
<b>Landslip</b>	Nil	Minor to moderate	High or Severe
<b>Slope Form</b>	Convex or divergent side-slopes	Straight side-slopes	Concave or convergent side-slopes
<b>Slope gradient (%)</b>			
(a) for absorption trenches and beds	<6%	6-15%	>15%
(c) for subsurface irrigation	<10%	10-30%	>30%
<b>Soil Drainage (qualitative)</b>	No visible signs or likelihood of dampness, even in wet season	Some signs or likelihood of dampness	Wet soil, moisture-loving plants, standing water in pit; water ponding on surface, soil pit fills with water

**Table 1: Site Assessment**

Characteristic	Level of Constraint		
	Nil or Minor	Moderate	Major
<b>Stormwater run-on</b>	Low likelihood of stormwater run-on		High likelihood of inundation by stormwater run-on
<b>Surface waters - setback distance (m)</b>	Setback distance complies with requirements in EPA Guidelines 2024		Setback distance does not comply with requirements in EPA Guidelines 2024
<b>Vegetation coverage over the site</b>	Plentiful vegetation with healthy growth and good potential for nutrient uptake	Limited variety of vegetation	Sparse vegetation or no vegetation

### 3.2 SITE ASSESSMENT RESULTS

Moderate or major site constraints were identified in the site assessment. These constraints listed in Table 2 along with mitigation measures for controlling the risks identified at the site.

Based on the most constraining site features, the overall land capability of the site to sustainably manage all effluent onsite is satisfactory. The proposed effluent management area is located above the 1:100 flood level and by using primary treatment, there will be suitable protection of surface waters and groundwater.

**Table 2: Site constraints**

Constraint	Proposed mitigation measure
<b>Climate</b>	Use a water balance to size the land application area.
<b>Surface water setback distance</b>	Remove existing dam to ensure that setback distances are achievable.

### 3.3 EXISTING SYSTEM

Based on site observations we understand that the existing system at the site comprises a septic tank connected to a pump well the delivers treated effluent to 4No. 30m long absorption trenches.

The installation plan by Valley Septics provided to us by the landowner indicates that a 3200L septic tank, connected to a 500L pump well has been installed. Effluent then gets pumped to 5No. 30m long trenches. We only observed 4No. trenches when we were onsite, however it is possible that the 5<sup>th</sup> trench has been covered over.

11 September 2025

The existing system appeared to be performing well during the site visit in September 2024 and June 2025. However, we note that the distance between the trenches and the existing dam to be about 45m. This is less than the required 60m setback for primary treated effluent. Based on discussion with the landowner we understand that the dam at the site will be backfilled. Therefore, the existing system will comply with the required setback distances.

### 3.4 SOIL ASSESSMENT

The site's soils have been assessed for their suitability for onsite wastewater management by a combination of soil survey and desktop review of published soil survey information as outlined below.

A soil survey was carried out at the site to determine suitability for application of treated effluent. Soil investigations were conducted at four locations as shown in Figure 1. The investigation was carried out using a hand auger to depths of 1.5m below ground level. In addition, samples were collected and tested for PH, EC and dispersive soils. A summary of the soil properties for the different soil types encountered are presented in Table 3. Full profile descriptions of the soils are provided in Appendix A.

**Table 3: Soil Properties**


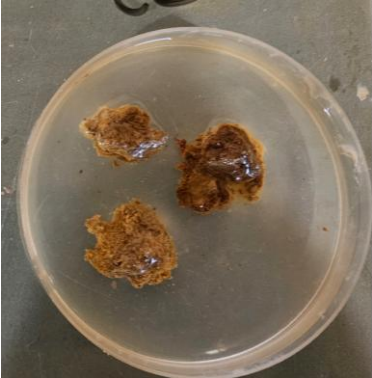
Soil Type	Sandy loam	Light clay
Depth range	0.0 – 0.4	0.4 – 1.5+
Soil Texture	3	5b
EC	0.68	0.08
PH	5.3	6.2
Soil Dispersion	Non-Dispersive 	Non-Dispersive 
Soil Permeability (estimated)	1.0 m/day	0.05 – 0.2 m/day
Design Loading Rate (absorption trench)		(6.5 mm/day)

Table 4 provides a risk assessment based on the physical and chemical characteristics of each soil type.

**Table 4: Soil Risk Assessment**

Characteristic	Level of Constraint		
	Nil or Minor	Moderate	Major
<b>Electrical Conductivity (ECe) (dS/m)</b>	<0.8	0.8 - 2	>2
<b>Dispersive soils</b>	Non-Dispersive (4, 5, 6, 8)	7	Dispersive (1, 2, 3)
<b>Gleying</b>	Nil	Some evidence of greenish grey / black or bluish grey soil colours	Predominant greenish grey / black, bluish grey / black colours
<b>pH (favoured range for plants)</b>	5.5 - 8 is the optimum range for a wide range of plants; 4.5 - 5.5 suitable for many acid-loving plants		<4.5, >8
<b>Rock Fragments (size &amp; volume %)</b>	0 – 10%	10 – 20 %	>20%
<b>Depth to Rock or impermeable layer Trenches (irrigation/mounds)</b>	>1.2 m (>0.7m)	1.2 – 0.9 m	<0.9 m (<0.7m)
<b>Soil Structure (pedality)</b>	Highly or moderately structured	Weakly-structured	Structureless, Massive or hardpan
<b>Soil Texture</b>	Cat. 2b, 3a, 3b, 4a	Cat. 4b, 4c, 5a	Cat. 1, 2a, 5b, 5c, 6
<b>Watertable Depth (m)</b>	>1.5 m	1.0 – 1.5 m	<1.0 m

### 3.5 SOIL ASSESSMENT RESULTS

The soils at were typically categorised as a sandy loam overlying a light clay. Considering the physical characteristics of the subsoil in the area of the site, effluent application via absorption trenches is a suitable and viable disposal system for this site.

Moderate or major soil constraints were identified in the soil assessment. These constraints listed in Table 5 along with mitigation measures for controlling the risks identified at the site.

**Table 5: Soil assessment migration measures**

Constraint	Proposed mitigation measures
Soil Structure Soil Texture	Given the observed performance of the existing system while onsite during two site visits and from historical aerial photos we consider that the soils at the site are suitable for primary treatment of effluent via absorption trenches.

### 3.6 OVERALL LAND CAPABILITY RATING

For the soil in the proposed land application area, no features present a moderate or major constraint that cannot be mitigated.

Based on the results of the site and soil assessment tabled above and provided in the Appendices, the overall land capability of the proposed effluent management area is constrained. However, the effluent management system will be designed, installed and maintained in ways which will mitigate these factors.

## 4.0 SYSTEM SELECTION AND DESIGN

The following sections provide an overview of a suitable onsite wastewater management system, with sizing and design considerations and justification for its selection. Detailed design for the system should be undertaken at the time of the building application and submitted to Council.

### 4.1 EFFLUENT MANAGEMENT OPTIONS / TARGET EFFLUENT QUALITY

A range of possible land application systems have been considered, such as absorption trenches, evapo-transpiration/absorption (ETA) beds, subsurface irrigation, and mounds. Based on the results of the onsite permeability tests we consider that the system of conventional absorption trenches for primary treated waste is suitable for the site.

Should the client or regulator prefer to secondary treat the effluent, disposal via absorption trenches or shallow subsurface irrigation are suitable.

### 4.2 WASTEWATER LOADING RATE

In sizing the effluent dispersal field envelope one of the key input parameters is the volume of wastewater expected at the site. Table 4.1 of EPA Guidelines 2024 (1) has been used to size the volume of wastewater generated per allotment. We have adopted a loading rate of **150 L/person/day** assuming WELS scheme water fixtures with town water supply. Based on the design plans provided for the proposed second dwelling this equates to a design wastewater volume of **450L/day**.



### 4.3 DESIGN LOADING RATE

We have based the design loading rate for the new system of the design of the existing system at the site. The existing system was sized for a 750 L/day wastewater volume for a 4-bedroom dwelling. This system has 5No. 30 m long trenches 0.7 m wide. This equates to a loading rate of approximately 7 mm/day.

### 4.4 WATER BALANCE

To determine the necessary size of the Land Application Area, the trench sizing tool in the Victorian Land Capability Assessment Framework (2014) has been used. The calculation is shown in Appendix A and the results are presented in Table 6.

#### WATER BALANCE

The formular for sizing is expressed as follows:

$$L = Q / (DLR \times W)$$

**L** = Length of require trench (m)

**Q** = daily flow (L/day) - 450l/day

**DLR** = Design Loading Rate (mm/day) – 7.0 mm/day based on loading rate to the existing system at the site.

**W** = Width of trench – 0.7 m

**Table 6:** land application area

Total Daily wastewater flow (L/day)	Trench Basal Area required (m <sup>2</sup> )	Trench Width (m)	Trench sizes
450	65	0.7	90 linear meters of trench (3No. Trenches @ 30 m)

\*Required LLA size based on 3.0m between each trench and 3.0m buffer on all 4 sides of the Land application area.

^In accordance with EPA 891.4 any room such as a study, library or sunroom that can be closed off with a door, shall be treated as a bedroom.

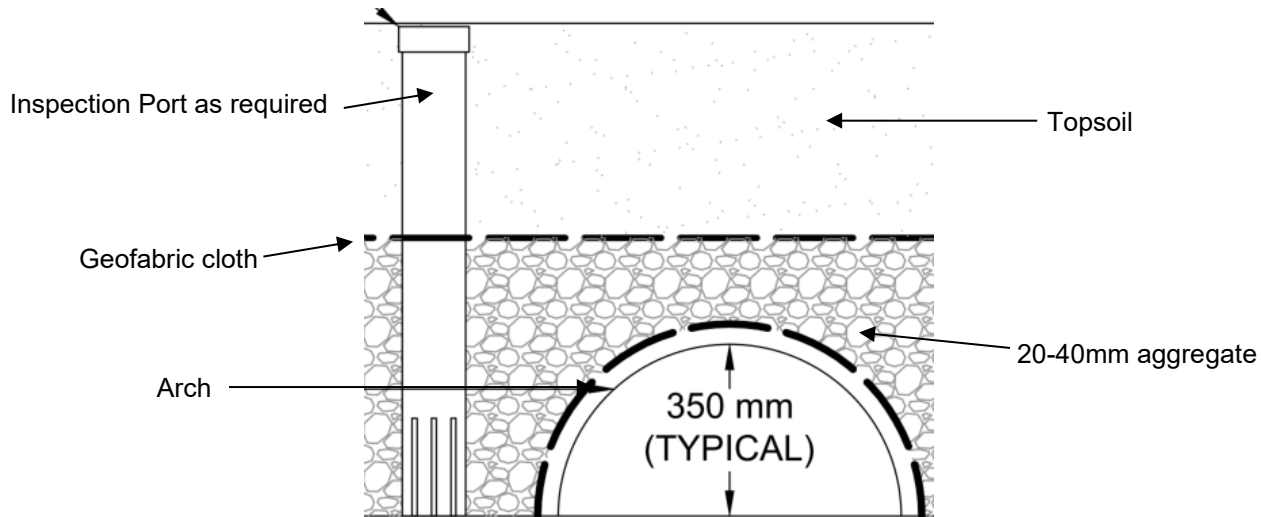
All trenches should be constructed along the contour and be installed at a maximum length of 30m. We recommend that trenches are spaced 3.0m apart to allow a reserve field to be configured within the envelope should it be required.

#### SECONDARY TREATMENT SYSTEM

Should the client or regulator prefer to secondary treat the effluent, disposal via absorption trenches or shallow subsurface irrigation is an alternative method. Where absorption trenches are adopted with secondary treatment the number of trenches listed above can be reduced by one third (due to increased loading rate).

#### 4.5 USE OF ARCHES IN TRENCHES

Where arches are used in trenches they must be backfilled with aggregate to the top of the arch and a layer of geofabric cloth placed between the aggregate and topsoil. We do not consider backfilling around arches with site derived soils a suitable design for this site. This is because clay / clay loam soils around arches can reduce the area available for both vertical and lateral flow. In addition, if these soils are dispersive they are likely to form a clogging layer around the arch further reducing the trench capacity. Arches should be constructed as per the below diagram.



#### 4.6 SITING AND CONFIGURATION OF THE SYSTEM

We have provided an approximate location of the land application area on the attached site plan Figure 1. Final placement and configuration of the irrigation system will be determined by the client and/or system installer, provided it remains close to the nominated locations in Figure 1 and satisfies the minimum area required according to the water balance.

Whilst there is ample area for application of the effluent, it is important that appropriate buffer distances be maintained. It is important to note that buffers are measured as the overland flow path for run-off water from the effluent irrigation area.

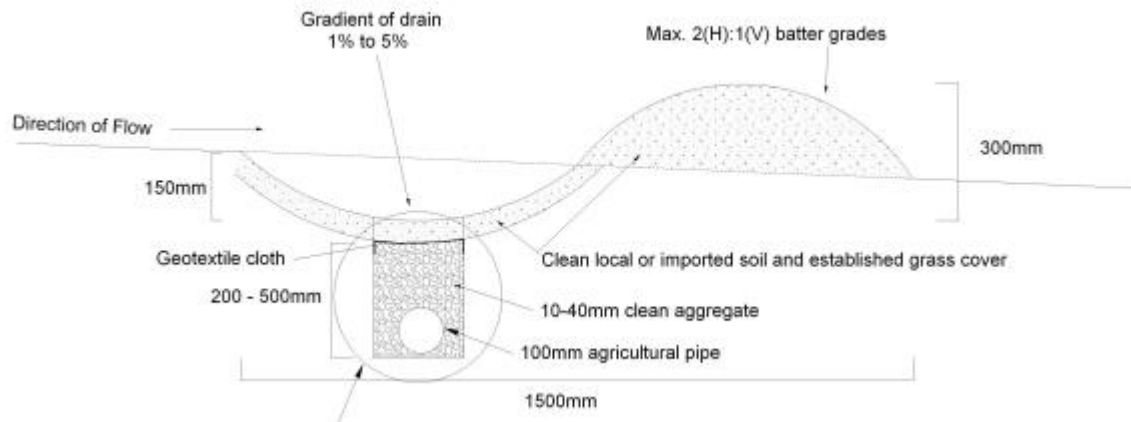
It is recommended that the owner consult a wastewater contractor familiar with effluent system construction to construct the system, and an appropriately registered plumbing/drainage practitioner to install the system.

#### 4.7 STORMWATER RUN-ON MEASURES

Stormwater run-on protection measures are recommended at this site. Stormwater run-on from buildings and significant rainstorm events pose a risk to the effluent disposal field. Stormwater run-on should be mitigated by the following:

- Diversion of roof drainage away from the effluent dispersal area.
- The construction and maintenance of a sub-surface diversion drain upslope of the Land Application Area.

An upslope cut-off drain should be constructed at the site in accordance with the below figure. The upslope drain should be keyed a minimum 150mm into clay soils at the site. We recommend the drain is constructed 3m upslope of the Land Application Area.



**Plate 2:** Upslope diversion drain.

## 4.8 BUFFER DISTANCES

Setback buffer distances from EDRS systems are required to help prevent human contact, maintain public amenity and protect sensitive environments. The relevant buffer distances for this site, taken from Table 4-10 of the EPA Guidelines 2024 (1) are provided in Table 7.

**Table 7: Primary Treatment Buffer Distances**

Site Feature	Setback Distance (m)
Building / allotment boundaries / swimming pool / water and gas pipes	6m – Up-slope 3m – Down-slope
Services	6m – Closed stormwater drain 50m – Open stormwater drain
Surface waters	100m – Up-slope from watercourses in a potable water supply catchment 60m – Up-slope from non-potable watercourses 40m – Up-slope from drainage lines
Groundwater bores	20m – Category 2b to 6 soils
Soil depth	1.5m – Depth to water table 1.5m – Depth to hydraulic limiting layer

## 5.0 MONITORING, OPERATION AND MAINTENANCE

Maintenance is to be carried out in accordance with the EPA Certificate of Approval of the selected treatment system and Council's permit conditions. The treatment system will only function adequately if appropriately and regularly maintained.

To ensure the treatment system functions adequately, residents must:

- Desludging primary tank and inspect eluent absorption trenches every 3-5 years.
- Use household cleaning products that are suitable for septic tanks;
- Keep as much fat and oil out of the system as possible; and
- Conserve water (AAA rated fixtures and appliances are recommended).
- Do not discharge your unwanted and expired medicine into your OWMS.
- Avoid use of products containing PFAS (Per-and Polyfluoroalkyl substances)

To ensure the land application system functions adequately, residents must:

- Regularly harvest (mow) vegetation within the LAA and remove this to maximise uptake of water and nutrients;
- Regularly clean in-line filters;
- Not erect any structures and paths over the LAA;
- Avoid vehicle and livestock access to the LAA, to prevent compaction and damage; and
- Ensure that the LAA is kept level by filling any depressions with good quality topsoil (not clay).

## 6.0 CONCLUSION

As a result of our investigations, we conclude that sustainable onsite wastewater management is feasible with appropriate mitigation measures, as outlined, for the proposed second dwelling at 424 Colquhoun Road, Lakes Entrance.

Specifically, we recommend the following:

- Backfilling of the existing dam at the site.
- Primary Treatment of wastewater.
- Land application of treated effluent via conventional absorption trenches. Trenches are to be up to a maximum of 30 metres long and 1 metre wide, with a minimum spacing of 3.0m between trenches;
- Installation of water saving fixtures (minimum 4 star WELS) and appliances (minimum 3 star WELS) to all new water fixtures;
- Use of low phosphorus and low sodium (liquid) detergents to improve effluent quality and maintain soil properties for growing plants; and
- Operation and management of the treatment and disposal system in accordance with manufacturer's recommendations, the EPA Certificate of Approval, the EPA Guidelines 2024 and the recommendations made in this report.

## 7.0 REFERENCES

Environment Protection Authority (2024) (1). Guideline for onsite wastewater management (GOWM).

Environment Protection Authority (2024) (2). Guideline for onsite wastewater effluent dispersal and recycling systems (EDRS).

Municipal Association of Victoria, Department of Environment and Sustainability and EPA Victoria (2014) Victorian Land Capability Assessment Framework.

Standards Australia / Standards New Zealand (2012). AS/NZS 1547:2012 On-site domestic-wastewater management.

## 8.0 LIMITATIONS

Your attention is drawn to the document – ‘Limitations’ which is included in Appendix B of this report. The statements presented in this document are intended to advise you of what your realistic expectations of this report should be. The document is not intended to reduce the level of responsibility accepted by DBM Geotech, but rather to ensure that all parties who may rely on this report are aware of the responsibilities each assumes is so doing.

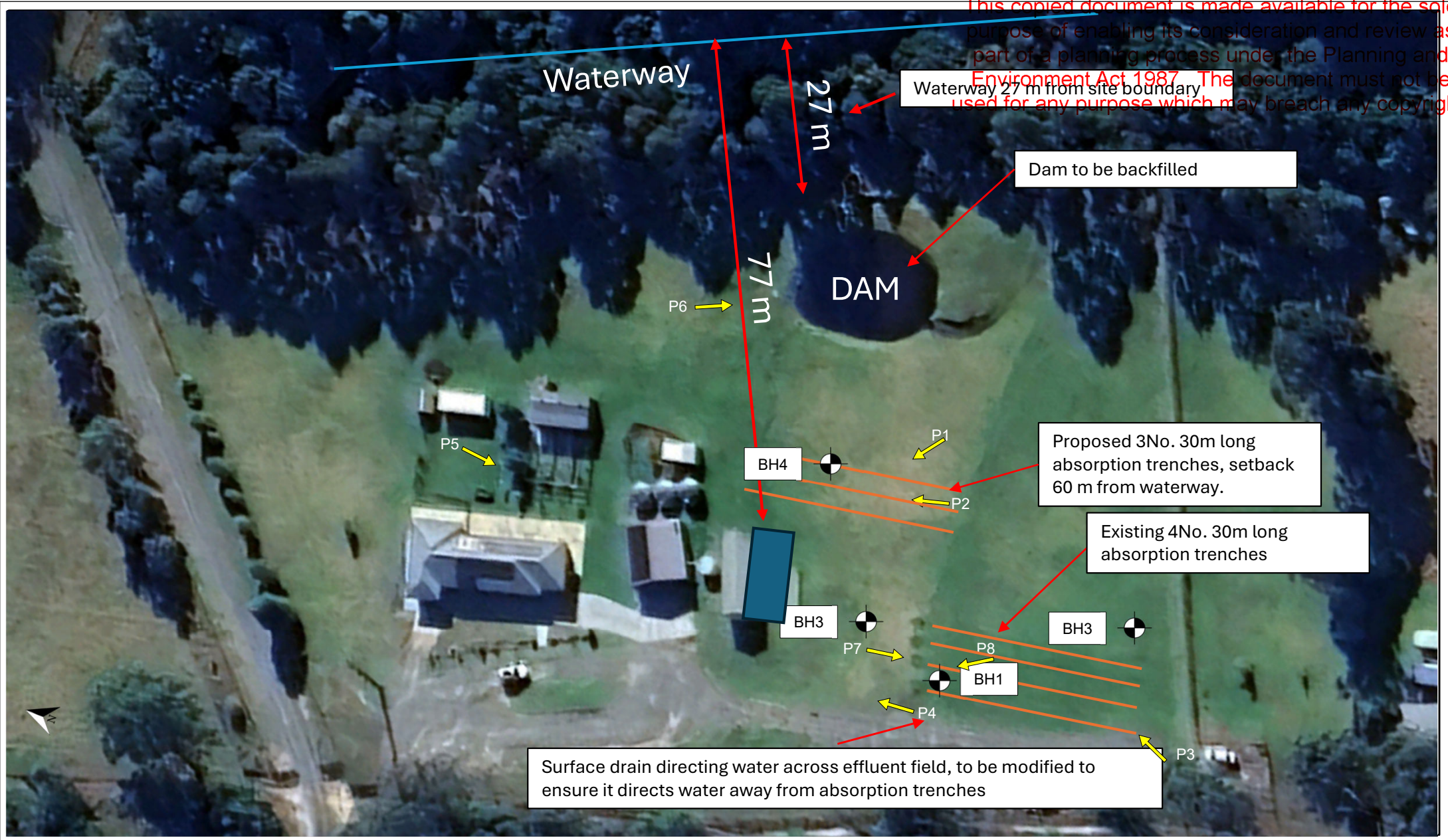
### DBM Geotech



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BEng (Hons), MEngSc (Res), MIEAust CPEng  
EA Membership number: 3308334  
ABN 69 666 900 643







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Not to scale

**LEGEND:**

- BOREHOLE 
- SITE PHOTO DIRECTION 
- TRENCHES 
- WATERWAY 

**FIGURE DETAILS:**  
**Figure 1 – Site Plan**

**CLIENT:**  
Development Solutions Victoria

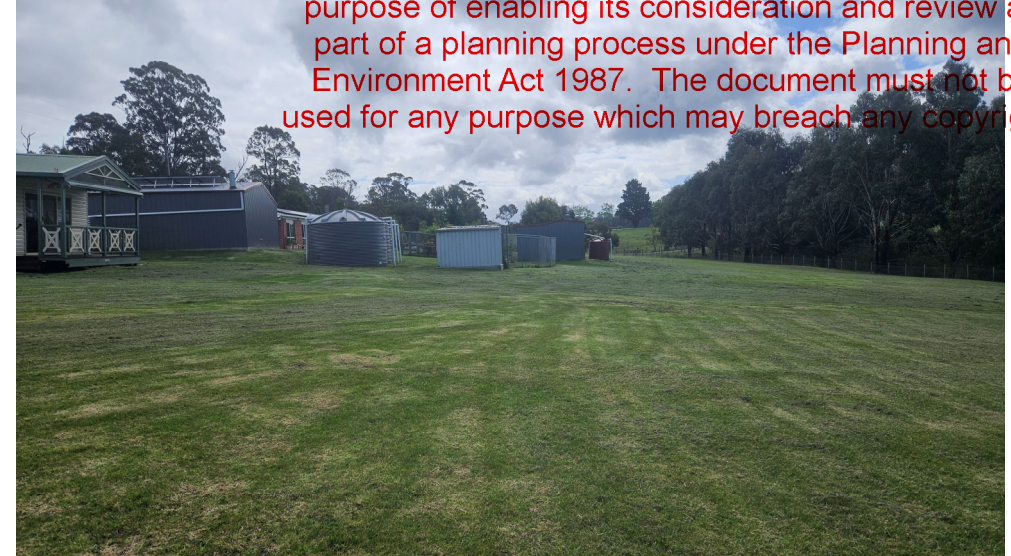
**SITE ADDRESS:**  
424 Colquhoun Rd, Lakes Entrance

**JOB NUMBER:**  
24218





P1 – Looking at second swell and across proposed absorption trench location



P2 – Looking across absorption trench location



P3



P4

**FIGURE DETAILS:**  
Figure 3 – Site Photos

**CLIENT:**  
Development Solutions Victoria  
**SITE ADDRESS:**  
424 Colquhoun Rd, Lakes Entrance

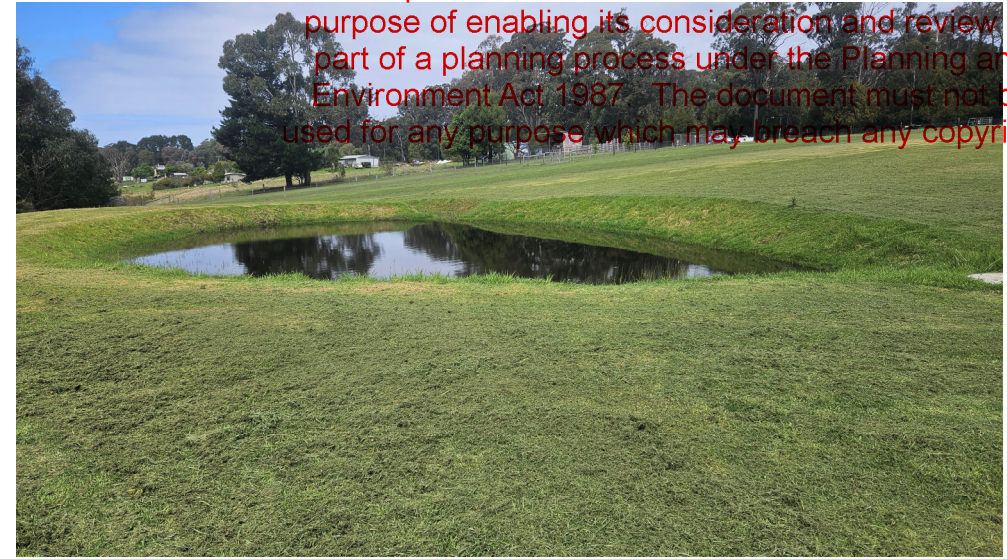
**JOB NUMBER:**  
24218

Printed 28/01/2026





P5 – Looking at existing septic and pump well



P6 – Looking across dam



P7 – Looking across absorption trenches



P8 – looking at surface drain running across absorption trenches

**FIGURE DETAILS:**

**Figure 4 – Site Photos**

**CLIENT:**

Development Solutions Victoria

**SITE ADDRESS:**

424 Colquhoun Rd, Lakes Entrance

**JOB NUMBER:**

2423

Printed 28/01/2026



## **Appendix A**

### **Reports of Boreholes**




## REPORT OF BOREHOLE BH1

## DBM GEOTECH

Job No : 24233  
 Client : . Owner / Designer  
 Project : 424 Colquhoun Road, Lakes Entrance  
 Location : 424 Colquhoun Road, Lakes Entrance VIC  
 Contractor :

Easting : 586273.75  
 Northing : 5812784.07  
 UTM : 55H  
 Drill Rig :  
 Inclination :

Sheet : 1 OF 1  
 Logged : David Barry-Macaulay  
 Logged Date : 26/09/2024  
 Checked :  
 Checked Date : 30/09/2024

Drilling Method	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency	Samples	SPT Testing	Shear Strength	DCP 
		0		SC	Clayey SAND SC: grey, loose to medium dense, medium plasticity clay, medium grained, moist.	M	L- MD				0 2 4 6 8 10 12 14
		0.25		CI	CLAY CI: stiff, medium plasticity, grey with orange, with medium grained sand, moist, sandy clay / light clay, moderately structured.	M	St				
		1		CI	Very stiff, with bands of sandy clay.	M	VSt				
					BH1 Terminated at 1.5 m						






## REPORT OF BOREHOLE BH2

## DBM GEOTECH

Job No : 24233  
 Client : Owner / Designer  
 Project : 424 Colquhoun Road, Lakes Entrance  
 Location : 424 Colquhoun Road, Lakes Entrance VIC  
 Contractor :

Easting : 586271.91  
 Northing : 5812782.44  
 UTM : 55H  
 Drill Rig :  
 Inclination :

Sheet : 1 of 1  
 Logged : David Barry Macaulay  
 Logged Date : 26/09/2024  
 Checked :  
 Checked Date : 30/09/2024

Drilling Method	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency	Samples	SPT Testing	Shear Strength	DCP 
		0		SC	Clayey SAND SC: grey, loose to medium dense, medium plasticity clay, medium grained, moist.	M	L-MD				0 2 4 6 8 10 12 14
		0.3		CI	CLAY CI: stiff, medium plasticity, grey mottled orange red, with medium grained sand, moist, sandy clay / light clay, moderately structured.	M	St				
		1									
					BH2 Terminated at 1.5 m						




## REPORT OF BOREHOLE BH3

## DBM GEOTECH

Job No : 24233  
 Client : Owner / Designer  
 Project : 424 Colquhoun Road, Lakes Entrance  
 Location : 424 Colquhoun Road, Lakes Entrance VIC  
 Contractor :

Easting : 377477.31  
 Northing : 5727825.24  
 UTM : 55H  
 Drill Rig :  
 Inclination :

Sheet : 1 of 1  
 Logged : David Barry Macaulay  
 Logged Date : 30/09/2024  
 Checked :  
 Checked Date : 30/09/2024

Drilling Method	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency	Samples	SPT Testing	Shear Strength	DCP 
		0		SC	Clayey SAND SC: grey, loose to medium dense, medium plasticity clay, medium grained, moist.	M	L-MD				0 2 4 6 8 10 12 14
		0.3		CI	CLAY CI: stiff, medium plasticity, grey mottled orange red, with medium grained sand, moist, sandy clay / light clay, moderately structured.	M	St				
		1									
					BH3 Terminated at 1.5 m						

## REPORT OF BOREHOLE BH4

## DBM GEOTECH

Job No : 24233  
 Client : . Owner / Designer  
 Project : 424 Colquhoun Road, Lakes Entrance  
 Location : 424 Colquhoun Road, Lakes Entrance VIC  
 Contractor : DBM Geotech

Easting : 586240.39  
 Northing : 5812784.6  
 UTM : 55H  
 Drill Rig :  
 Inclination :

Sheet : 1 of 1  
 Logged : Sam Young  
 Logged Date : 17/07/2025  
 Checked :  
 Checked Date : 17/07/2025

Drilling Method	Remarks	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency/Density	Samples	
					ML	Sandy SILT ML: firm to stiff, low plasticity, brown grey, fine grained sand, moist.	M	F-St		
			0.4		CI	CLAY CI: firm, medium plasticity, mottled grey orange, with fine grained sand, moist.		F		
			0.6		CI	Stiff to very stiff, mottled grey orange redbrown.		St-VSt		
			1.3		CI	Sandy CLAY CI: stiff to very stiff, medium plasticity, mottled orange grey, fine grained sand, moist to dry.	M-D			
						<b>BH4 Terminated at 1.5 m</b>				



## **Appendix B**

### **Limitations**



## LIMITATIONS

This Document has been provided by DBM Geotech Consulting Pty Ltd (DBM Geotech) subject to the following limitations:

This Document has been prepared for the particular purpose outlined in DBM Geotech's proposal and no responsibility is accepted for the use of this document, in whole or in part, in other contexts for any other purpose.

This Document is provided for use solely by DBM Geotech's Client and persons acting on the Client's behalf, such as its professional advisers. No responsibility whatsoever for the contents of this Document will be accepted to any person other than the Client. Any use which a third party makes of this Document, or any reliance on or decisions to be made on it, is the responsibility of such third parties. DBM Geotech accepts no responsibility for damages, if any, suffered by any third party as a result of decision made or actions based on this Document.

The scope and the period of DBM Geotech's Services are as described in DBM Geotech's proposal and are subject to restrictions and limitations. DBM Geotech did not perform a complete assessment of all possible conditions or circumstances that may exist at the site referenced in the Document. If a service or other work is not expressly referred to in this Report, do not assume that it has been provided or performed. If a matter is not addressed in this Report, do not assume that any determination has been made by DBM Geotech in regards to it.

Conditions may exist which were undetectable given the limited nature of the enquiry DBM Geotech was retained to undertake. Variations in conditions may occur between investigation locations, and there may be special conditions pertaining to the site which have not been revealed by the investigation and which have not therefore been taken into account in the Document. Accordingly, additional studies and actions may be required.

DBM Geotech accepts no responsibility for and makes no representation as to the accuracy or completeness of the information provided to it by or on behalf of the Client or sourced from any third party. DBM Geotech has assumed that such information is correct unless otherwise stated and no responsibility is accepted by DBM Geotech for incomplete or inaccurate data supplied by its Client or any other person for whom DBM Geotech is not responsible. DBM Geotech has not taken account of matters that may have existed when the Report was prepared but which were only later disclosed to DBM Geotech.

Having regard to the matters referred to in the previous paragraphs on this page in particular carrying out the Service has allowed DBM Geotech to form no more than an opinion as to the actual conditions at any relevant location. That opinion is necessarily constrained by the extent of the information collected by DBM Geotech or otherwise made available to DBM Geotech. Further, the passage of time may affect the accuracy, applicability or usefulness of the opinions, assessments or other information in this Document. This Document is based upon the information and other circumstances that existed and were known to DBM Geotech when the Services were performed and this Document was prepared. DBM Geotech has not considered the effect of any possible future development included physical changes to any relevant location or change to any laws or regulations relevant to such location.

By date, or revision, the Document supersedes any prior report or other document issued by DBM Geotech dealing with any matter that is addressed in the Document.

Our Ref: 25088

8<sup>th</sup> January 2026

Robert Buckmaster  
Statutory Planning Officer  
East Gippsland Shire Council  
PO Box 1618  
Bairnsdale Vic 3875

Dear Robert,

**Re: Application for Planning Permit No: 5.2025.367.1  
424 Colquhoun Road, Lakes Entrance  
Earthworks Associated with the Removal of a Dam**

We act on behalf of Teresa Zammit, the owner of the land at 424 Colquhoun Road, Lakes Entrance.

In response to your correspondence dated 18 December 2025 requesting further information in relation to the above application, we offer revised development plans. The updated plans include sediment control measures, specifically the provision of a silt fence and hay bales at points of concentrated flow.

We trust that this information is sufficient to enable the application to proceed and for a permit to be granted.

Should you require any further information or wish to discuss any element of the above further, please do not hesitate to contact our office on 03 5152 4858.

Regards



**Courtney Campbell**  
**Development Solutions Victoria**

PROPERTY REPORT

**ADDRESS:** 424 COLQUHOUN ROAD LAKES ENTRANCE 3000  
**LOT:** Lot 1 PS623015  
**COUNCIL:** EAST GIPPSLAND  
**COUNCIL PROPERTY No.:**95257  
**ZONES AND OVERLAYS**  
**ZONE:** RURAL LIVING ZONE (RLZ)  
**OVERLAYS:**  
VEGETATION PROTECTION OVERLAY (VPO)  
EROSION MANAGEMENT OVERLAY (EMO)  
BUSHFIRE MANAGEMENT OVERLAY (BMO)  
ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)

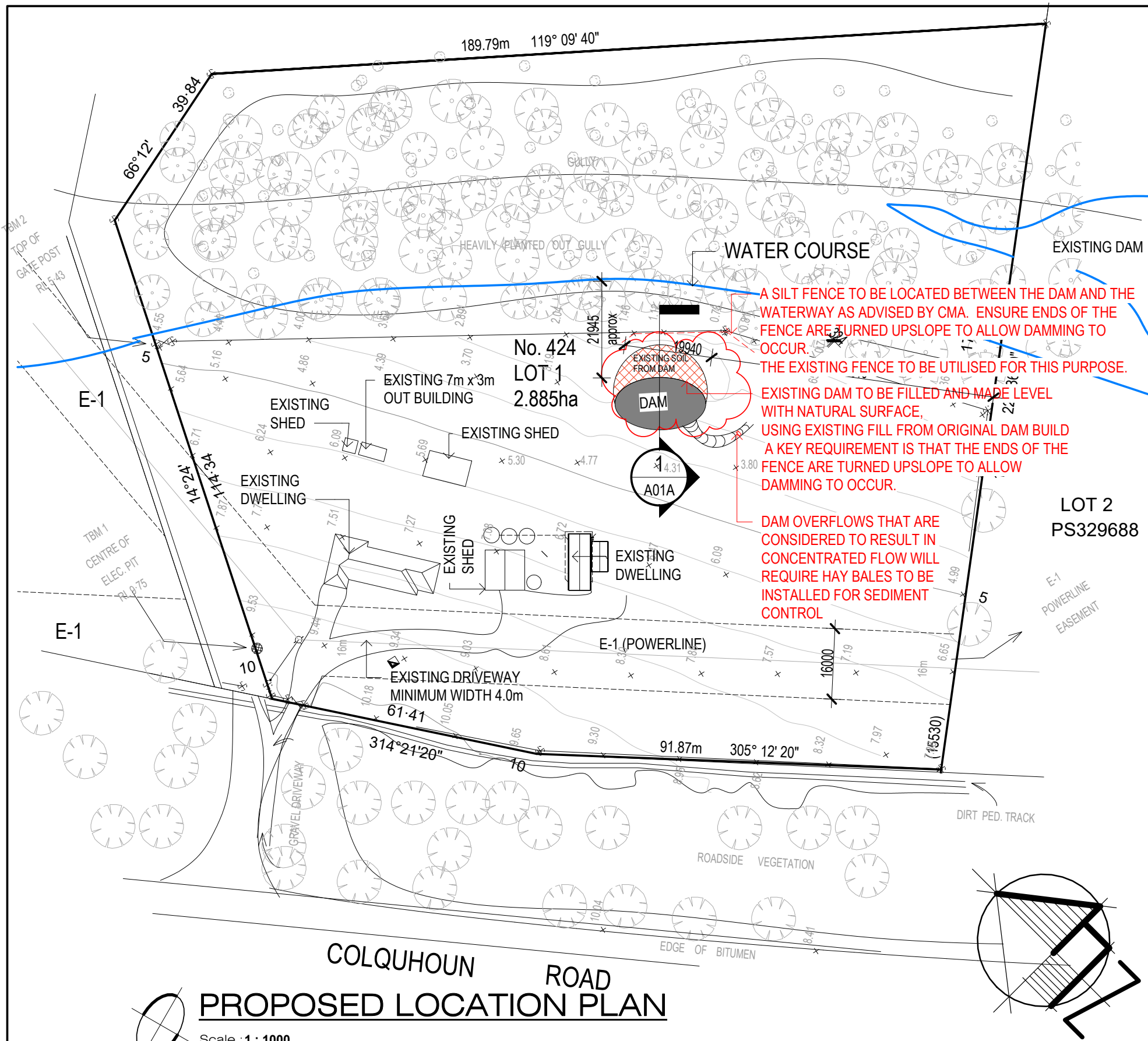
DOWN PIPE LOCATION AND NUMBER TO BE CONFIRMED BY PLUMBER ON SITE.  
STORM WATER CONNECTED TO LEGAL POINT OF DISCHARGE.

SITE LEVELS BY :AUSTEC SURVEYORS

NOTE:

- ALL DOWN PIPES TO BE CONNECTED FROM GUTTERS TO LEGAL POINT OF DISCHARGE
- ALL NEW FRAMING TO COMPLY WITH AS 1684 AND THE BUILDING CODE OF AUSTRALIA 2016( CLASS 1-10 BUILDINGS)
- THE BUILDER AND SUBCONTRACTORS SHALL CHECK ALL DIMENSIONS, SETBACK, LEVELS AND SPECIFICATIONS AND ALL RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THE BUILDER FOR CLARIFICATION. THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW / AND OR EXISTING STRUCTURES DURING THE WORKS.
- BUILDER TO VERIFY DIMENSIONS ON SITE PRIOR DEMOLITION / CONSTRUCTION WORKS.
- ALL STORM WATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL DRAWINGS
- INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS
- THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTINGS AND / OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION, DAMPNESS, WEAKENING AND UNDERPINNING OF ANY BUILDING AND ITS FOOTING SYSTEM.
- STORMWATER: 100 DIA. CLASS 6 UPVC STORMWATER LINE LAID TO A MINIMUM GRADE OF 1 : 100 AND CONNECTED TO LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 9000mm C/C AND AT EACH CHANGE OF DIRECTION.

BAL 19



COLQUHOUN ROAD  
PROPOSED LOCATION PLAN

Scale: 1 : 1000

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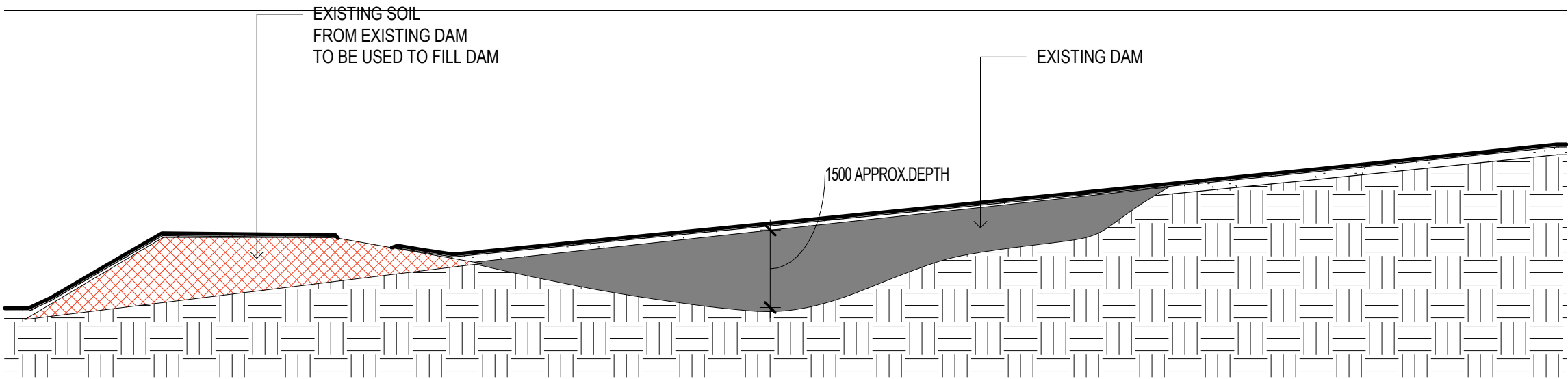
Issue	Amendment	Date
-	-	-
A	NOTES: SILT FENCE	8.1.25

**A1 Building Design & Drafting**  
121 Macleod St Bairnsdale  
Victoria 3875 - 0438 560 215

Date:	SEPTEMBER 2025
A3 Scale:	1 : 1000
Designed:	Designer
Drawn:	MEAGHAN GAMBLE DPAD2468
Plot Date:	8/01/2026 10:58:09 AM
Client Approval Signature:	
Date:	

Title:	SITE PLAN
Client:	
Project:	FILL EXISTING DAM AT 424 COLQUHOUN ROAD LAKES ENTRANCE
Job No:	17936
Revision:	A
Drawing No:	A01





 **Section 1 - DAM CROSS SECTION**  
Scale: 1 : 100

BAL 19

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	Issue	Amendment	Date	 A1 Building Design & Drafting 121 Macleod St Bairnsdale Victoria 3875 - 0438 560 215	Date:	SEPTEMBER 2025					Title:		DAM CROSS SECTION							
	-	-	-		A3 Scale:	1 : 100					Client:									
					Designed:	Designer					Project:				FILL EXISTING DAM AT 424 COLQUHOUN ROAD LAKES ENTRANCE					
					Drawn:	Author														
					Plot Date:	8/01/2026 10:58:09 AM														
					Client Approval Signature:		Date:					Job No:		17936	Revision:		A	Drawing No:		A01A
	A	NOTES: SILT FENCE	8.1.25																	

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