

NOTICE OF AN APPLICATION FOR PLANNING PERMIT

The land affected by the application is located at:	5 Ruth Street METUNG VIC 3904 PC: 359180
The application is for a permit to:	Buildings and Works for a Dwelling and Outbuilding
A permit is required under the following clauses of the planning scheme:	
Planning Scheme Clause	Matter for which a permit is required
43.02-2 (DDO)	Construct a building or construct or carry out works.
The applicant for the permit is:	D R Grant & L F Want
The application reference number is:	5.2025.384.1

You may look at the application and any documents that support the application free of charge at:
<https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

An objection must

- ◆ **be made to the Responsible Authority in writing,**
- ◆ **include the reasons for the objection, and**
- ◆ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

The Responsible Authority will not decide on the application before:	Subject to the applicant giving notice
---	---

If you object, the Responsible Authority will tell you its decision.

April McDonald

From: Snapforms Notifications <no-reply@snapforms.com.au>
Sent: Monday, 24 November 2025 12:32 PM
To: Planning Unit Administration
Subject: Planning Permit application
Attachments: Daryl Grant 10m (W) x 12m (L) x 4m (H)-6 Shed.pdf; GeoSite_ahb_3850_1 with shed.pdf; Vicplan-Planning-Property-Report.pdf; Title 24-11-25.pdf; 340263-5 Ruth Street, Metung-CD-14.07.25.pdf; Planning_Permit_Application_2025-11-24T12-31-53_29101060_0.pdf

Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

Applicant name: Daryl Grant & Lesley Want

Email address: (

Postal address :

Preferred phone number:

Secondary phone number:

Street number: 5

Street name: Ruth St

Town: Metung

Post code: 3904

Plan number: PC 359180G

Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?: No

Will the proposal result in a breach of a registered covenant restriction or agreement?: No

Existing conditions : Vacant land

Description of proposal : Building a 360.89m² home

Estimated cost of development: \$505,067

Has there been a pre-application meeting: No

ExtraFile: 2

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Invoice Payer: |

Address for Invoice:

Invoice Email:

Primary Phone Invoice:

Invoice Secondary Phone:

Declaration: Yes

Authority Check: Yes

Notice Contact Check: Yes

Notice check 2: Yes

Privacy Statement Acknowledge: Yes

2. Supporting information/reports: [Daryl Grant 10m \(W\) x 12m \(L\) x 4m \(H\)-6 Shed.pdf](#)

1. Supporting information/reports: [GeoSite_ahb_3850_1 with shed.pdf](#)

Planning report: [Vicplan-Planning-Property-Report.pdf](#)

Full copy of Title: [Title 24-11-25.pdf](#)

Plans: [340263-5 Ruth Street, Metung-CD-14.07.25.pdf](#)

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Copyright State of Victoria. No part of this publication may be reproduced except as permitted by the Copyright Act 1968 (Cth) or to comply with a statutory requirement or pursuant to a written agreement. The information is only valid at the time and in the form obtained from the LANDATA REGD TM System. None of the State of Victoria, its agents or contractors, accepts responsibility for any subsequent publication or reproduction of the information.

The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 10219 FOLIO 810

Security no : 124130159211A
Produced 24/11/2025 11:44 AM

LAND DESCRIPTION

Land in Plan of Consolidation 359180G.

PARENT TITLES :

Volume 08374 Folio 863 to Volume 08374 Folio 864
Volume 10217 Folio 315

Created by instrument PC359180G 09/03/1995

REGISTERED PROPRIETOR

Estate Fee Simple
Joint Proprietors

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE PC359180G FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER	TRANSFER	STATUS	DATE
AZ421231T (E)		Registered	28/07/2025

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 5 RUTH STREET METUNG VIC 3904

ADMINISTRATIVE NOTICES

NIL

eCT Control 22727X EAST GIPPSLAND CONVEYANCING
Effective from 28/07/2025

DOCUMENT END

Delivered from the LANDATA® System by InfoTrack Pty Ltd.

The information supplied by InfoTrack (Commercial) has been obtained from InfoTrack Pty Limited by agreement between them. The information supplied has been obtained by InfoTrack Pty Limited who is licensed by the State of Victoria to provide this information via LANDATA® System.

PLANNING PROPERTY REPORT

From www.planning.vic.gov.au at 19 November 2025 10:19 AM



Department of Transport
and Planning

PROPERTY DETAILS

Address:	5 RUTH STREET METUNG 3904
Lot and Plan Number:	Plan PC359180
Standard Parcel Identifier (SPI):	PC359180
Local Government Area (Council):	EAST GIPPSLAND
	www.eastgippsland.vic.gov.au
Council Property Number:	44906
Planning Scheme:	East Gippsland
	Planning Scheme - East Gippsland
Directory Reference:	Vicroads 84 F8

UTILITIES

Rural Water Corporation:	Southern Rural Water
Urban Water Corporation:	East Gippsland Water
Melbourne Water:	Outside drainage boundary
Power Distributor:	AUSNET

STATE ELECTORATES

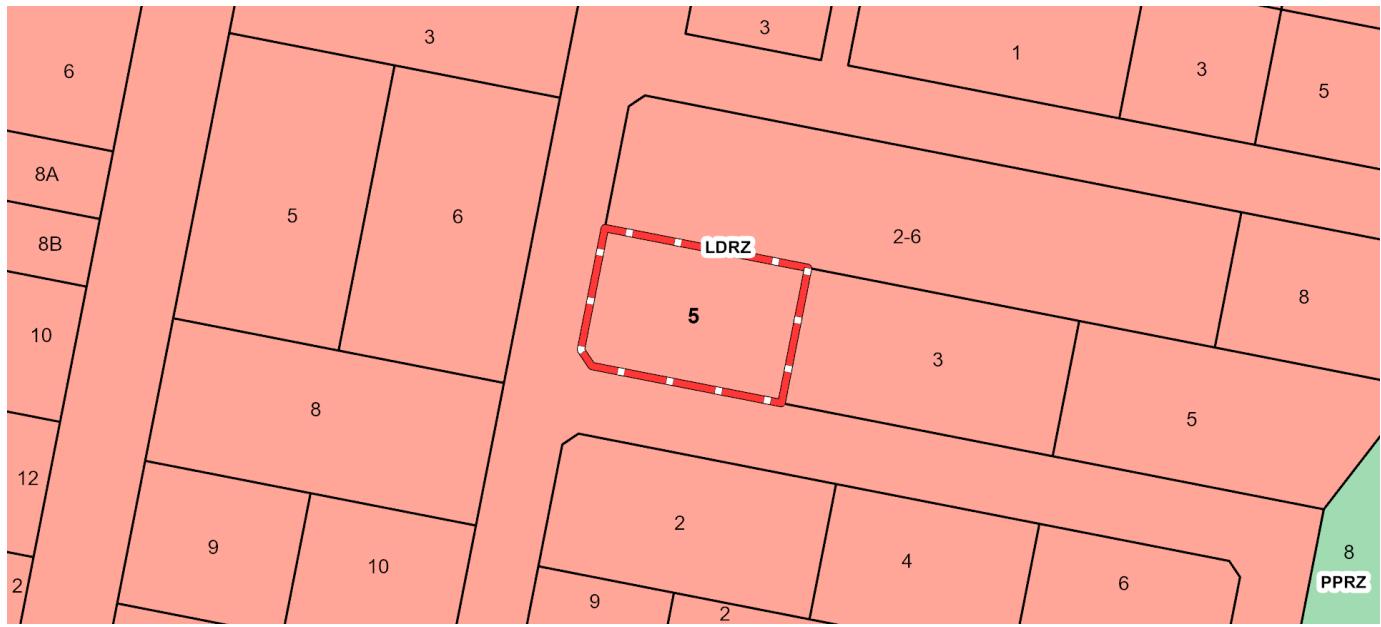
Legislative Council:	EASTERN VICTORIA
Legislative Assembly:	GIPPSLAND EAST
	OTHER
Registered Aboriginal Party:	Gunaikurnai Land and Waters
	Aboriginal Corporation
Fire Authority:	Country Fire Authority

[View location in VicPlan](#)

Planning Zones

LOW DENSITY RESIDENTIAL ZONE (LDRZ)

SCHEDULE TO THE LOW DENSITY RESIDENTIAL ZONE (LDRZ)



LDRZ - Low Density Residential

PPRZ - Public Park and Recreation

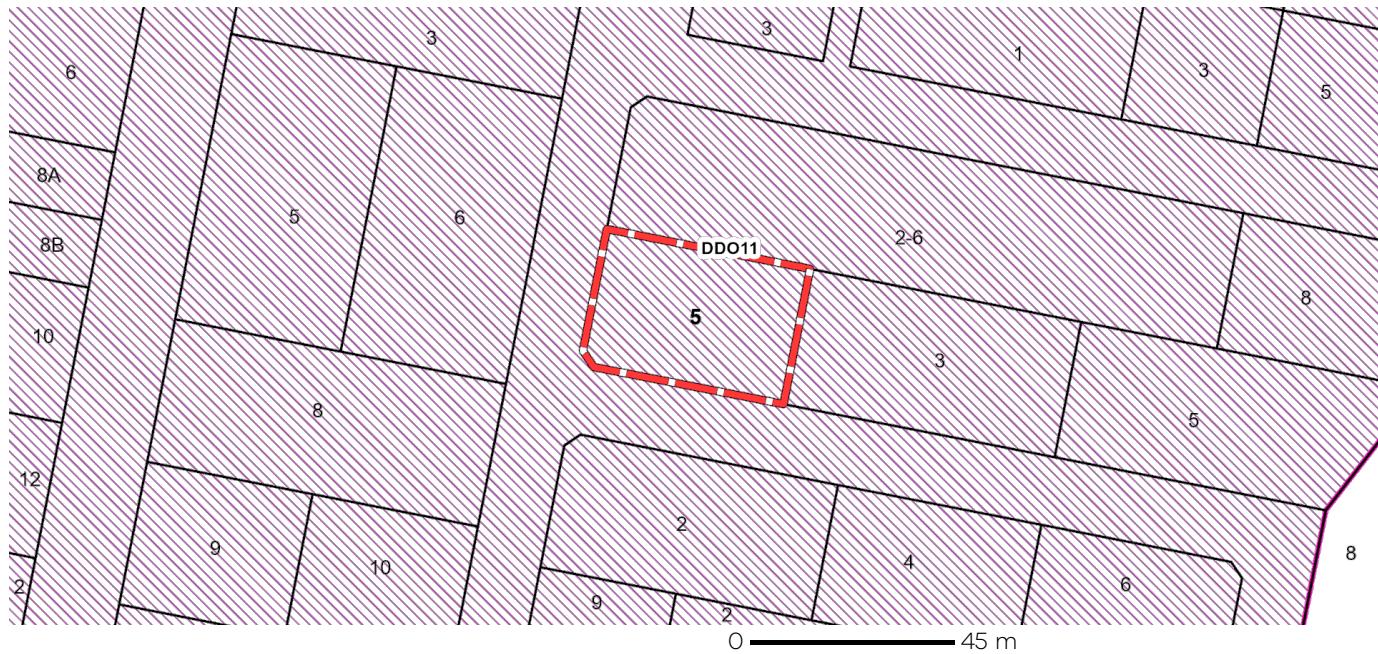
Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

PLANNING PROPERTY REPORT

Planning Overlays

DESIGN AND DEVELOPMENT OVERLAY (DDO)

DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 11 (DDO11)



DDO - Design and Development Overlay

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

VEGETATION PROTECTION OVERLAY (VPO)

VEGETATION PROTECTION OVERLAY - SCHEDULE 3 (VPO3)



VPO - Vegetation Protection Overlay

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

Copyright © - State Government of Victoria

Disclaimer: This content is provided for information purposes only. No claim is made as to the accuracy or authenticity of the content. The Victorian Government does not accept any liability to any person for the information provided.

Read the full disclaimer at <https://www.vic.gov.au/disclaimer>

Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 82C(1)(b) of the Sale of Land 1962 (Vic).

PLANNING PROPERTY REPORT

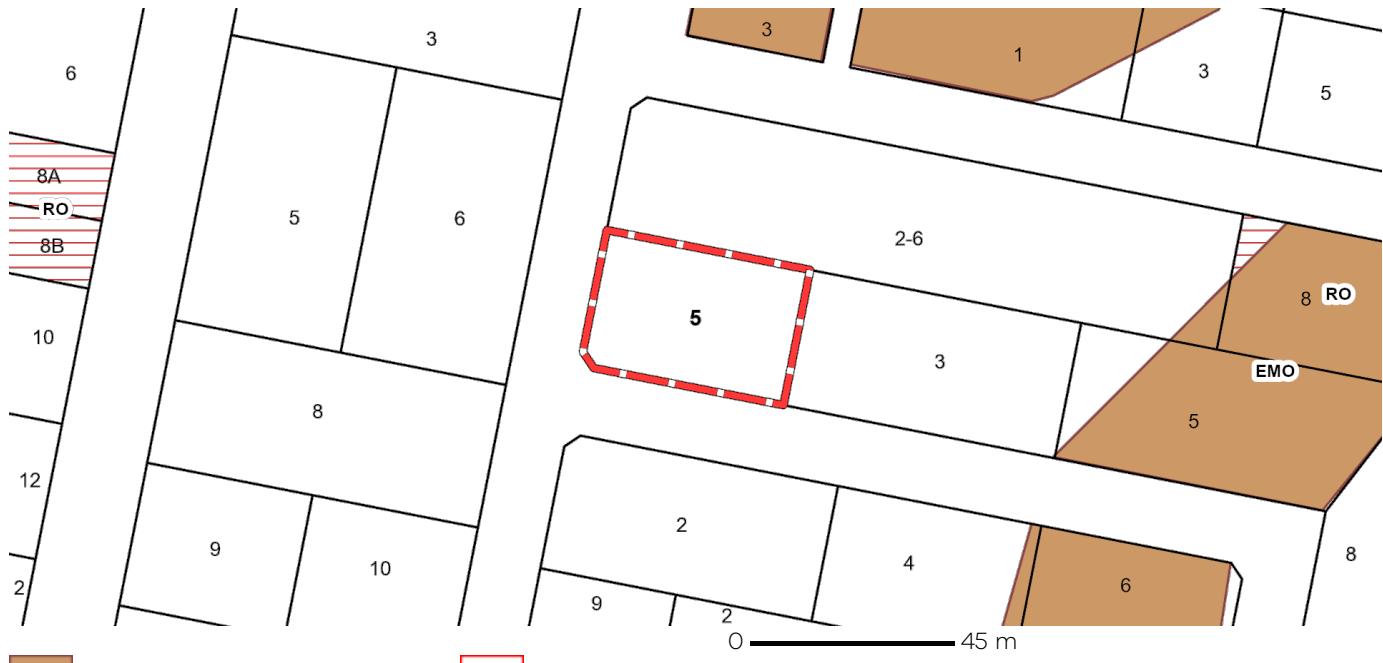
Planning Overlays

OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

EROSION MANAGEMENT OVERLAY (EMO)

RESTRUCTURE OVERLAY (RO)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

PLANNING PROPERTY REPORT

ADVERTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be

Areas of Aboriginal Cultural Heritage Sensitivity

used for any purpose which may breach any copyright.

All or part of this property is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <https://heritage.achris.vic.gov.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.firstpeoplesrelations.vic.gov.au/aboriginal-heritage-legislation>



Copyright © - State Government of Victoria

Copyright © State Government of Victoria
Disclaimer: This content is provided for information purposes only. No claim is made as to the accuracy or authenticity of the content. The Victorian Government does not accept any liability to any person for the information provided.
Read the full disclaimer at <https://www.vic.gov.au/disclaimer>

Read the full disclaimer at <https://www.vic.gov.au/disclaimer>

Notwithstanding this disclaimer, a vendor may rely on the information in this report for the purpose of a statement that land is in a bushfire prone area as required by section 32(2)(b) of the Sale of Land Act 1982 (VIC).

Printed 20/01/2024

PLANNING PROPERTY REPORT: 5 RUTH STREET METUNG 3904

Printed 20/01/2026

Page 8 of 26

PLANNING PROPERTY REPORT

Further Planning Information

Planning scheme data last updated on 14 November 2025.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**.

It does not include information about exhibited planning scheme amendments, or zonings that may abut the land.

To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.vic.gov.au/vicplan/>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

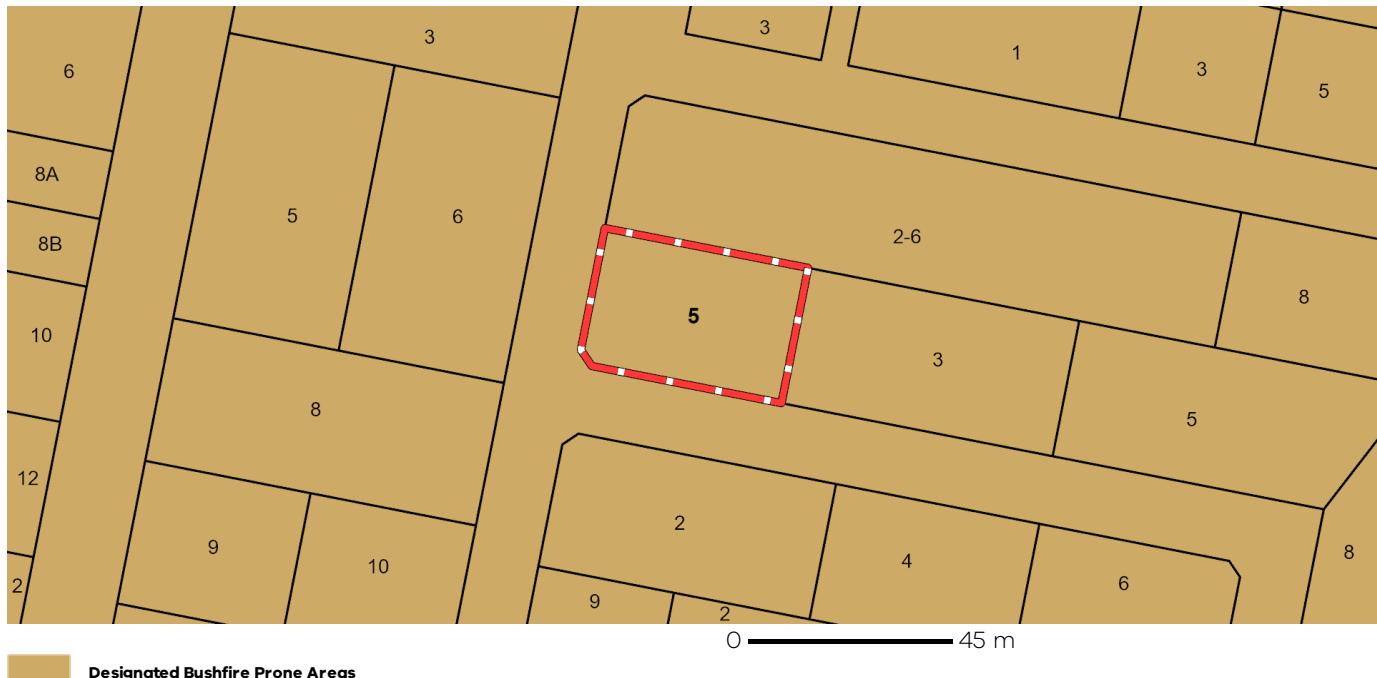
PLANNING PROPERTY REPORT

Designated Bushfire Prone Areas

This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated Bushfire Prone Areas

Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

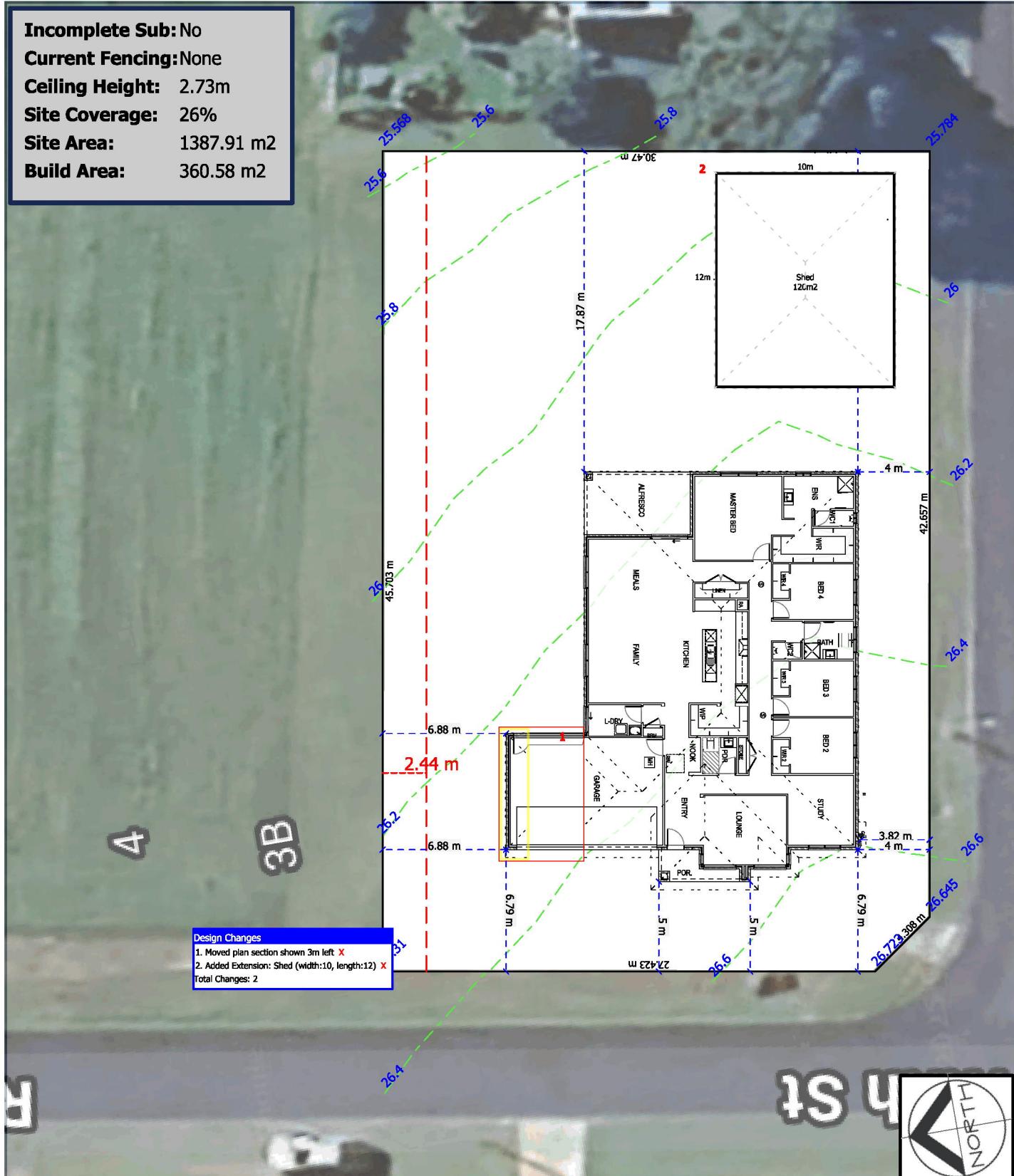
Native Vegetation

Native plants that are indigenous to Victoria and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#)

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Regulations Map (NVR Map) <https://mapshare.vic.gov.au/nvr/> and [Native vegetation \(environment.vic.gov.au\)](#) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](https://environment.vic.gov.au/naturekit)

Proposed Siting of your Sherridon Home

Sherridon Homes Pty Ltd | 56 Barclay Road, Derrimut VIC 3026 | Phone: 1300 188 500 | sherridonhomes.com.au**Customer:****Site Address:** 5 Ruth St**Locality:** Metung**Home Design:** ELMONT 340 -- MEDINA**Date:** 16/06/2025**Estate:****State:** VIC**Email/Phone:****Incomplete Sub: No****Current Fencing: None****Ceiling Height:** 2.73m**Site Coverage:** 26%**Site Area:** 1387.91 m²**Build Area:** 360.58 m²**Note:** This is a preliminary siting and is subject to a clear copy of title and approval of the builder.

This siting is subject to developer approval, state building regulations and council requirements (where applicable).



Scale: 1:300 @ A4

Consultant: Cindy Jackiw**Email:** CindyJ@sherridonhomes.com.au**Phone:** 0439 051 286

(Geo Plan ID: 705295)

© GeoSite IT Pty Ltd

Customer Signature (1)

Date (1)

Customer Signature (2)

Date (2)

Printed 20/01/2026

Page 11 of 26

GENERAL NOTES:

- THE OWNER, BUILDER AND/OR SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND ANY SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS CODES (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BY-LAWS AND RESCODE REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS. THESE PLANS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT. FOOTINGS ARE TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT. WHERE THE BUILDING (OTHER THAN A CLASS 10a) IS LOCATED IN A DESIGNATED TERMITE INFESTATION AREA THE BUILDING SHALL BE PROTECTED IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS.
- LEVELS RELATING TO GROUND LEVELS ARE APPROXIMATE ONLY & ARE TO BE CHECKED & VERIFIED ON SITE BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- SEWER OR SEPTIC SYSTEMS SHALL BE IN ACCORDANCE WITH THE RELEVANT AUTHORITY REQUIREMENTS.
- FOOTINGS ARE NOT TO ENCROACH OVER ANY TITLE BOUNDARIES AND/OR EASEMENT LINES.
- FOR BUILDINGS IN CLOSE PROXIMITY TO THE SEA ENSURE THAT ALL STEELWORK, BRICK CAVITY TIES, STEEL LINTELS ETC. THAT ARE EMBEDDED OR FIXED TO MASONRY BE PROTECTED IN ACCORDANCE WITH AS 3700-2018 (TABLE 2.2) HOT DIP GALVANIZED, STAINLESS STEEL OR CADMIUM COATED.
- BUILDING SETBACKS ARE FROM TITLE LINE (NOT FENCE LINE) REFER TITLE RE-ESTABLISHMENT PLAN FOR CORRECT OFF-SETS IN RELATION TO FENCE LINES.
- ALL WET AREAS ARE TO BE CONSTRUCTED AS REQUIRED AND WATERPROOFING PROVIDED AS SET OUT IN AUST. STANDARD AS-3740 2021. WALL FINISHES SHALL BE IMPERVIOUS TO A HEIGHT OF 1800 mm ABOVE FLOOR LEVEL TO ANY SHOWER ENCLOSURES AND 150 mm ABOVE BATHS, BASINS, SINKS AND TROUGHS IF WITHIN 75 mm OF THE WALL.
- RISERS -190 mm MAXIMUM, 115 mm MINIMUM. GOING -355 mm MAXIMUM, 240 mm MINIMUM. RISERS AND TREADS ARE TO BE CONSTANT IN SIZE THROUGHOUT FLIGHT. PROVIDE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP NEAR EDGE OF NOSING. ENSURE A MAXIMUM GAP BETWEEN RISERS IS NOT TO EXCEED 125 mm OR USE CLOSED RISERS. PROVIDE CONTINUOUS HAND RAILING 1000 mm MINIMUM HEIGHT. TO BALCONIES AND DECKS WHICH ARE 1000 mm OR GREATER ABOVE GROUND LEVEL.
- HANDRAILS ARE TO BE A MINIMUM OF 865 mm ABOVE STAIR NOSING AND LANDINGS. MAXIMUM GAP BETWEEN BALUSTERS SHALL BE 125 mm
- ALL FRAMELESS GLASS BALUSTRADES TO COMPLY AND BE INSTALLED IN ACCORDANCE WITH AS 1288-2021
- STAIRS/STEPS - RISER 190MM MAX. TREADS 240MM MIN. LANDINGS SHALL BE PROVIDED TO DOORS WHERE STEP EXCEEDS 190MM OVER N.G.L. IF DOOR SWINGS OVER THE SAID STEP.
- ALL HEATING APPLIANCE, ALL ASSOCIATED STRUCTURES AND ACCESSORIES HAVE BEEN TESTED AND PASSED THE TESTS REQUIRED BY, AND ARE TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 AND AS/NZS 2918-2018
- ALL SMOKE ALARMS TO BE INTERCONNECTED, WITH BATTERY BACKUP AND INSTALLED IN ACCORDANCE WITH H3D6 SMOKE ALARMS AND EVACUATION LIGHTING
- PART 9.5.1 OF NCC 2022
- PART 9.5.2 OF NCC 2022
- PART 9.5.4 OF NCC 2022
- CONDENSATION MANAGEMENT AS PER CLAUSE 10.8.2 OF NCC 2022.
- EXHAUST FROM A BATHROOM, SANITARY COMPARTMENT, OR LAUNDRY - MUST BE DISCHARGED DIRECTLY VIA A SHAFT OR DUCT TO OUTDOOR AIR; OR TO A ROOF SPACE THAT IS VENTILATED IN ACCORDANCE WITH 10.8.3 FLOW RATE OF EXHAUSTS IN ACCORDANCE WITH NCC 2022-10.8.2:
- 25 l/s FOR A BATHROOM OR SANITARY COMPARTMENT
- 40 l/s FOR A LAUNDRY

- AS PER CLAUSE 10.8.1 OF NCC 2022 A APPLIABLE BUILDING MEMBRANE IN EXTERNAL WALLS TO BE VAPOUR PERMEABLE, COMPLY WITH AS/NZS 4200.1 AND TO BE INSTALLED IN ACCORDANCE WITH AS 4200.2. AND MUST BE A VAPOUR PERMEABLE MEMBRANE FOR CLIMATE ZONES 6/7/8

- CONTRACTOR IS RESPONSIBLE FOR SETTING OUT AND CHECKING ALL LEVELS AND MEASUREMENTS ON SITE PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL WORK IS SUBJECT TO INSPECTION AND APPROVAL OF RELEVANT BUILDING SURVEYOR.
- ALL WORK SHOWN TO BE CARRIED OUT IN GOOD WORKMAN LIKE MANNER IN ACCORDANCE WITH "NATIONAL CONSTRUCTION CODE -2022".
- NO RESPONSIBILITY IS TAKEN FOR WORK DONE AFTER ACCEPTANCE OF PLANS BY CLIENT.
- WORK SHOWN TO BE IN ACCORDANCE WITH SPECIFICATIONS/COMPUTATIONS SUPPLIED.

SPECIFICATION NOTES:

SITE & SOIL: REQUIRED FILL & COMPACTION TO BE IN ACCORDANCE WITH A.S.2870-2011. ALLOWABLE BEARING PRESSURE OF SOIL:

- UNDER STRIP OR PAD FOOTINGS - 100kPa
- UNDER SLAB OR BEAMS - 50kPa

SITE CUT AND FILL TO BE MINIMUM 1.2m FROM DWELLING BOUNDARY AND BATTERED AT NO MORE THAN 45°. SITE CUTS/FILLINGS NOT SUPPORTED BY RETAINING WALLS SHALL BE FINISHED WITH A BATTER OF 45 DEGREES AND AN AGRICULTURAL DRAIN AT THE BASE OR SPOON DRAIN AT THE END OF ANY FUTURE PAVING EXTERNAL. WALL FOOTINGS SHALL NOT BE FOUNDED AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS. STOP WORKS AND CONTACT THE OFFICE IMMEDIATELY IF THE ABOVE CANNOT BE ACHIEVED

LEVELS: LEVELS SHOWN ARE TO AN ARBITRARY DATUM AND ARE TO BE USED AS A GUIDE ONLY. OWNER/BUILDER TO CHECK AND VERIFY ON SITE PRIOR TO ANY WORK BEING CARRIED OUT. ALL LEVELS ON DRAWINGS ARE NOMINAL AND MAY ALTER DUE TO SITE CONDITIONS UP TO 50mm EITHER WAY.

BRICKWORK: PROVIDE WALL-TIES TO BRICKWORK AT MAXIMUM OF 600mm IN EACH DIRECTION AND WITHIN 300mm OF ANY ARTICULATION JOINTS. FOR PERPERRATIONS AND BEDS JOINTS SPACING (REFER TO NCC PART 5.6) WEEPHOLES TO BE IN ACCORDANCE WITH AS 3700.

WALL LINTELS & SUPPORT STUDS: FOR ALL EXTERNAL PERIMETER LOAD-BEARING LINTELS AND THEIR SUPPORTING STUDS REFER TO THE ENGINEERS DETAILS AND DRAWINGS AND TO GENERAL SPECIFICATIONS. CARPENTERS ARE TO ALLOW 45mm DOOR STUD AT WALL JUNCTIONS.

ARTICULATION/CONTROL JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 3700-2018 'MASONRY STRUCTURES'.

ENGINEERS DOCUMENTATION REGARDING CONTROL JOINTS OVER-RIDES THESE DRAWINGS. PROVIDE ARTICULATION/CONTROL TO ALL INTERNAL CORNERS

INTERNAL DOORS: ALL INTERNAL DOORS ARE TO BE 2040mm HIGH UNLESS NOTED OTHERWISE ON THE PLAN.

WC DOORS: HINGED DOORS THAT OPEN INWARDS TOWARDS THE PAN BUT THE EDGE OF THE DOOR IS A MINIMUM OF 1200mm AWAY FROM THE PAN AT ITS NEAREST POINT, MUST HAVE DEMOUNTABLE HINGES TO ALLOW EASY REMOVAL OF THE DOOR FROM THE OUTSIDE THE WC COMPARTMENT.

GUTTERS AND DOWNPIPES: BOX GUTTERS MUST BE FLASHED AT THE GUTTER ROOF JUNCTION WITH NON COMBUSTIBLE MATERIAL. NO MATERIAL REQUIREMENTS FOR STANDARD GUTTERS & DOWNPIPES.

DP DENOTES 100x50 DOWNPIPES AT 12000 MAX CTRS. PROVIDE 100 DIAM SEWERGRADE S.W DRAIN UNDER SLAB AND DRIVEWAY

STORMWATER DRAIN: CONSTRUCT & DISCHARGE 90 DIA. P.V.C STORM WATER DRAIN TO LEGAL POINT OF DISCHARGE AS DIRECTED BY THE RELEVANT AUTHORITY. MIN FALL 1:100 PROVIDE INSPECTION OPENINGS AT 9000 MAX CTRS OR AT EVERY CHANGE OF DIRECTION.

GARDEN TAPS: POSITION OF THE FRONT GARDEN TAP & WATER METER IS BY WATER AUTHORITY, THE FULL COST OF RELOCATION IS AT THE OWNER'S EXPENSE.

FLOORING & FOOTINGS: FINISHED FLOOR LEVELS ARE NOMINAL ONLY AND SHOULD BE CONFIRMED PRIOR TO START OF WORK. READ IN ACCORDANCE WITH THE SOIL REPORT REQUIREMENTS. READ IN CONJUNCTION WITH THE ENGINEERS DETAILS FOR ALL FOOTING SIZE & DETAILS. PLEASE NOTE MINIMUM FOUNDED DEPTH TO BE DETERMINED AS "NOTED" IN THE SOIL REPORT.

- ALL CONCRETE TO HAVE A STRENGTH OF 20MPa
- ALL SLAB, BEAM & FOOTING CONCRETE REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS A.S.2870.1-2011

- LAPPING & SUPPORT OF REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS A.S.2870.1-2011
- POLYTHENE MEMBRANE TO BE LAPPED A MINIMUM OF 200mm AT JOINTS & SHALL BE TAPPED AROUND PIPES WHICH PENETRATE THE SLAB
- TOP SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED FROM THE SURROUNDING AREA.

ROOFING: ROOF STRUCTURE DESIGNED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN THE TITLE PANEL.

- CEILING BATTENS TO BE 25mm "TOP HAT" SECTION.
- ROOFING MATERIAL AS NOTED ON ELEVATIONS & PLAN
- REFER TO BUILDING CONTRACTS FOR DOWNPIPE SPECIFICATIONS.
- VALLEYS ETC. COLORBOND ROOFS TO BE FULLY SARKED IN BUSHFIRE PRONE AREAS/REGIONAL AREAS (BELOW OR ABOVE THE ROOF BATTENS) COVERING THE ENTIRE ROOF INCLUDING THE RIDGE AND BE INSTALLED SO THAT THERE ARE NO GAPS AT FASCIA, GUTTERS, VALLEYS ETC.
- DETACHED ROOFS : ROOF STRUCTURES AS PER DETAILS.
- (VERANDAHS ETC) NO LINING REQUIRED.

- ROOF PENETRATIONS: SKYLIGHTS TO COMPLY WITH AS3959-2018. PRODUCT DETAILS AND PROOF OF COMPLIANCE TO BE PROVIDED IF SKYLIGHT REQUIRED. EMBER GUARDS WITH 2MM MAX APERTURE SIZE AND MADE OF CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM TO BE FITTED TO ROOF VENTILATORS AND VENT PIPES EXCLUDING GAS HEATER FLUE EVAPORATIVE COOLERS TO BE FITTED WITH BUTTERFLY CLOSERS AT OR NEAR THE CEILING.

WINDOWS & DOORS: ALL GLAZING SHALL CONFORM TO AS1288-2021. WINDOW SIZES SHOWN ARE NOMINAL DEPENDING ON THE WINDOW MANUFACTURERS CLOSEST STANDARD SPECIFICATIONS.

- ALL GLAZING IS TO BE IN ACCORDANCE WITH AS1288-2021. READ IN CONJUNCTION WITH THE WINDOW SCHEDULE & ELEVATIONS.

- ALL EXTERNAL DOORS ARE TO BE FITTED WITH WEATHER STRIPS.
- 'F' DENOTES FIXED GLAZING, 'D' DENOTES OPENABLE SASH.

NOTE: THESE HEIGHTS MAY VARY SLIGHTLY ACCORDING TO DIFFERENCES IN BRICK SIZES.

NOTE: ALL EXTERNAL WINDOWS & GLAZED DOORS TO BE ALUMINUM FRAMED UNLESS NOTED OTHERWISE.

NOTE: IF THE SHELF SPAN IS LONGER THAN 1200MM, SUPPORT BLADES MUST BE INSTALLED.

NOTE: ADDITIONAL NOGGING TO BE INSTALLED TO SUPPORT THE KITCHEN RANGE HOODS.

BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 190MM IN ACCORDANCE WITH NCC 11.2.6 THRESHOLDS'

- PROVIDE 125MM RESTRICTION TO ALL OPENING WINDOWS IN BEDROOMS WHERE THE DIFFERENCE BETWEEN THE FLOOR LEVELS OF THE BEDROOM AND THE OUTSIDE FINISHED SURFACE LEVEL IS GREATER THAN 2.0M. IN ACCORDANCE WITH BCA. ALL WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.

WALLING: FOR STRUCTURAL DETAILS REFER TO BHP HOUSE WALL FRAMING DESIGN MANUAL. FOR ACTUAL CONFIGURATION & RACKING CAPACITY OF EACH TYPE OF BRACED/PANEL REFER TO THE BHP HOUSE FRAMING MANUAL. WALL FRAMES DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH WIND LOADINGS SPECIFIED IN THE TITLE PANEL.

LININGS: EAVES TO BE CONSTRUCTED WITH 4.5MM FC SHEET WITH PVC JOINERS. FASCIAS TO BE CONSTRUCTED WITH NON-COMBUSTIBLE STEEL. GABLES TO COMPLY WITH THE CONSTRUCTION OF EXTERNAL WALLS ABOVE.

HEATING AND COOLING: ALL HEATING & COOLING UNITS, SIZES, TYPES & LOCATIONS ARE TO BE CONFIRMED BETWEEN THE BUILDER & THE SUPPLIER. ALL HEATING & COOLING DUCTS & VENT LOCATIONS ARE TO BE CONFIRMED BY THE BUILDER PRIOR TO COMMENCEMENT OF BUILDING TO DETERMINE IF ANY ADDITIONAL RISER DUCTS ARE REQUIRED. ALL HEATING & COOLING POINTS LOCATIONS, MAY VARY FROM PLAN TO PLAN.

GEOTECHNICAL: THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH A GEOTECHNICAL REPORT. IT IS THE BUILDER'S RESPONSIBILITY TO OBTAIN SUCH REPORTS PRIOR TO COMMENCEMENT OF WORKS. FULL HEIGHT CONTROL JOINTS (FOOTING TO EAVES) AT 5m MAX CTRS UNLESS OTHERWISE STATED IN THE SOIL REPORT. REFER TO SOIL REPORT.

EXCAVATION: EXCAVATE FOOTINGS AND DRAINS AS SHOWN. KEEP EXCAVATIONS DRY AND BACKFILL WITH APPROVED MATERIALS FREE OF ANY BUILDING DEBRIS.

TERMITE TREATMENT TO COMPLY WITH A.S.3660.1-2014 SPECIFICATIONS

VEHICLE ACCESS DOORS: ROLLER & PANEL DOORS TO BE OF STEEL OR ALUMINIUM CONSTRUCTION. IF OTHER MATERIALS (TIMBER ETC) REFER TO AS3959-2018 SECTIONS 3 AND 5 & STATE WHAT WE ARE USING. ALL ROLLER & PANEL DOORS TO BE SEALED AROUND EDGES WITH NO GAP AROUND DOORS TO BE >3mm.

LINTEL: BUILDER IS TO NOTE THAT LINTELS SELECTED BY THE ENGINEER ARE DESIGNED TO CARRY ONLY STANDARD TILE ROOFING & TRUSS LOADS WHERE ARE AT 600mm MAXIMUM CTRS. IF ANY GIRDERS TRUSSES ARE LOCATED DIRECTLY ON ANY LINTELS. TRUSS MANUFACTURER AND / OR BUILDER IS TO REFER TO THE ENGINEER TO CONFIRM IF LINTEL & SUPPORTING STUDS ARE ADEQUATE. ENGINEER'S DRAWINGS TAKE PRECEDENCE OVER NOMINAL SIZES INDICATED ON THESE PLANS.

PROVIDE HEAVY DUTY HOOP IRON STRAP OVER EACH BEAM, 3 CLOUTS TO EACH SIDE OF BEAM AND 4 CLOUTS TO EACH SIDE OF POST. 'OR' HEAVY DUTY HOOP IRON STRAP TAKE DOWN MIN. 12 BRICK COURSES AND TRIPLE BEND INTO MORTAR BED 'ALTERNATIVELY' BRUNSWICK SALES MFA20 ROOF STRAP ANCHORED 12 BRICK COURSE FROM TOP COURSE. ROOF STRAP OVER TOP BEAM WITH 2.5mm DIAx40 LONG GALVANISED CLOUTS IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.

ALL STEEL AND MORTAR TO BE IN ACCORDANCE WITH SECTION 5 OF AS 3700-2011 DUE TO DWELLING BEING WITHIN 10KM OF A SURF COAST.

NCC 2022 DESIGN GUIDELINES:

A STEP FREE PATH OF TRAVEL FROM THE BOUNDARY TO THE FRONT OR ENTRANCE DOOR, WHICH CAN INCORPORATE EITHER AN ACCESS PATH OR RAMPS INCLUDING STEP RAMPS. BOTH MUST SATISFY MINIMUM WIDTH GRADIENT REQUIREMENTS. EXEMPTIONS APPLY WHERE THE SLOPE OF THE SITE EXCEEDS 1 IN 14, WHERE THE INSUFFICIENT SPACE BETWEEN THE FRONT BOUNDARY AND THE BUILDING (I.E. POTENTIALLY TOWNHOUSES ETC), AND WHERE THE HOUSE WOULD REQUIRE EXCESSIVE RAMMING TO ACHIEVE COMPLIANCE.

AS AN ALTERNATE TO PROVIDING A STEP FREE ACCESS PATH FROM THE BOUNDARY TO THE FRONT OR ENTRANCE DOOR, A DESIGN CAN USE AN ENTRANCE DOOR FROM A CONNECTING GARAGE OR CARPORT INTO THE DWELLING. THE DOOR IN THIS SITUATION WOULD STILL NEED TO BE STEP FREE AND PROVIDE A CLEAR OPENING OF THE DOOR OF 820MM. ADDITIONALLY THE GARAGE/CARPORT IN THIS SITUATION WOULD NEED TO BE A MINIMUM OF 3.2M WIDE AND 5.4M LONG. IN THIS SITUATION IT WOULD STILL MEAN THAT THE CONNECTING GARAGE/CARPORT SLAB WOULD NEED TO BE SET AT THE SAME FLOOR HEIGHT AS THE HOUSE FLOOR LEVEL OR SATISFY THE MAXIMUM THRESHOLD HEIGHTS FOR AN ENTRANCE DOOR

A STEP FREE LEVEL ENTRANCE INTO THE DWELLING THAT CAN INCORPORATE A STEP RAMP OR A THRESHOLD OF A MAXIMUM HEIGHT. A DOOR SILL CAN BE USED WITH RESTRICTIONS ON THE HEIGHT PROFILE. A LANDING IS ALSO REQUIRED AT THE ENTRANCE

A MINIMUM OF 820 MM CLEAR WIDTH OF OPENING FOR THE ENTRANCE DOOR AND DOORS TO HABITABLE ROOMS, SANITARY COMPARTMENT, AND LAUNDRY (WHERE LOCATED) ON THAT ENTRANCE LEVEL. THE OPENING MUST BE CLEAR OF THE DOOR LEAF AND DOOR STOPS OR REBATES, BUT THE DOOR HANDLE CAN ENCROACH.

LEVEL THRESHOLDS OR A MAXIMUM 5MM LIP TO INTERNAL DOORS THAT REQUIRE THE MINIMUM 820MM CLEAR WIDTH. INTERNAL DOOR THRESHOLDS CAN ALSO INCORPORATE A STEP RAMP.

MINIMUM 1M CLEAR WIDTH OF CORRIDORS CONNECTING DOORWAYS THAT REQUIRE THE MINIMUM CLEAR WIDTH OPENING. ITEMS SUCH AS SKIRTING BOARDS AND ARCHITRAVES AND LIGHT SWITCHES/GPOS CAN ENCROACH INTO THE CLEAR WIDTH

LETTER BOX NOTE:

LETTERBOX TO BE SUPPLIED & INSTALLED BY CLIENT AFTER HANDOVER TO DEVELOPERS REQUIREMENTS

NATIONAL BROADBAND NETWORK

ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH NBN'S REQUIREMENTS AS OUTLINED IN NBN CO PREPARATION AND INSTALLED GUIDE FOR SDUS AND MDUS

HEAT PUMP HOT WATER SYSTEM

PROVIDE AKQUA AK-200HPE1 HEAT PUMP WATER HEATER IN LIEU OF SOLAR HOT WATER SYSTEM. THIS SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH THE PLUMBING REGULATIONS 2018

INTERNAL ELEVATIONS

WATERPROOFING NOTES:

WATERPROOFING OF WET AREAS, BATHROOMS, SHOWER, SHOWER ROOMS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE SHALL BE PROVIDED IN ACCORDANCE WITH AS 3740-2021. WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS.

PROVIDE IMPERVIOUS FINISH TO WALLS ("HARDIES" 6mm THICK VILLABOARD OR FULLY COMPRESSED FIBRE CEMENT, CERAMIC TILE OR SIMILAR) TO HEIGHT OF NOT LESS THAN 1800mm ABOVE THE LOWEST POINT OF THE SHOWER, AROUND A SHOWER & 300mm ABOVE THE RIM OF THE BATH, VANITY BASIN, TROUGH OR SINK REFER TO MANUFACTURE INSTRUCTION AND SPECIFICATIONS.

PROVIDE IMPERVIOUS FINISH TO FLOORS TO LAUNDRY, BATHROOM, ETC. POWDER ROOM & WC. WET AREAS TO BE IMPERVIOUS TO THE WATER I.E. WALL SURFACES AND SUBSTRATES OF SHOWER ENCLOSURES, OR IF UNENCLOSED, WITHIN 1.5m HORIZONTALLY FROM THE FIXTURE/WALL CONNECTION OF SHOWER ROSE AND TO A HEIGHT OF 1.8m ABOVE THE FLOOR AND BEHIND THE BATH, BASIN, SINK ETC.

IF WITHIN 75mm OF A WALL TO A HEIGHT OF 150mm ABOVE THE FIXTURE.

- WATERPROOF MEMBRANE TO COMPLY WITH AS/NZS 4858 IN ACCORDANCE WITH AS 3740 2021

- INSTALL ALUMINUM WATER STOP TO / LAUNDRY, BATHROOM, ETC. POWDER ROOM & WC DOORWAY) WITH ANGLE TO BASE SEALED TO THE FLOOR AND THE UPSTAND Min 15mm ENSURING MIN DISTANCE OF 150mm FROM THE WALL CONNECTION OF SHOWER ROSE.

A TOILET ON THE GROUND OR ENTRANCE LEVEL WITH MINIMUM WIDTH OF OPPOSING WALLS EITHER SIDE OF THE PAN AND 1.2M CLEAR SPACE TO DOOR SWING IN FRONT OF THE PAN. THE MINIMUM WIDTH MUST BE MEASURED BETWEEN WALL LININGS BUT SKIRTINGS AND ARCHITRAVES ETC. CAN ENCROACH

ONE SHOWER IN THE DWELLING THAT IS STEP FREE AND HOBLESS. THIS SHOWER DOES NOT HAVE TO BE LOCATED ON THE GROUND OR ENTRY LEVEL AND 'STEP FREE' FOR THE SHOWER ME

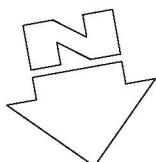
This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

EXHAUST FAN NOTE

EXHAUST FANS WILL BE INSTALLED IN ACCORDANCE WITH NCC 2022 P10.8.2.

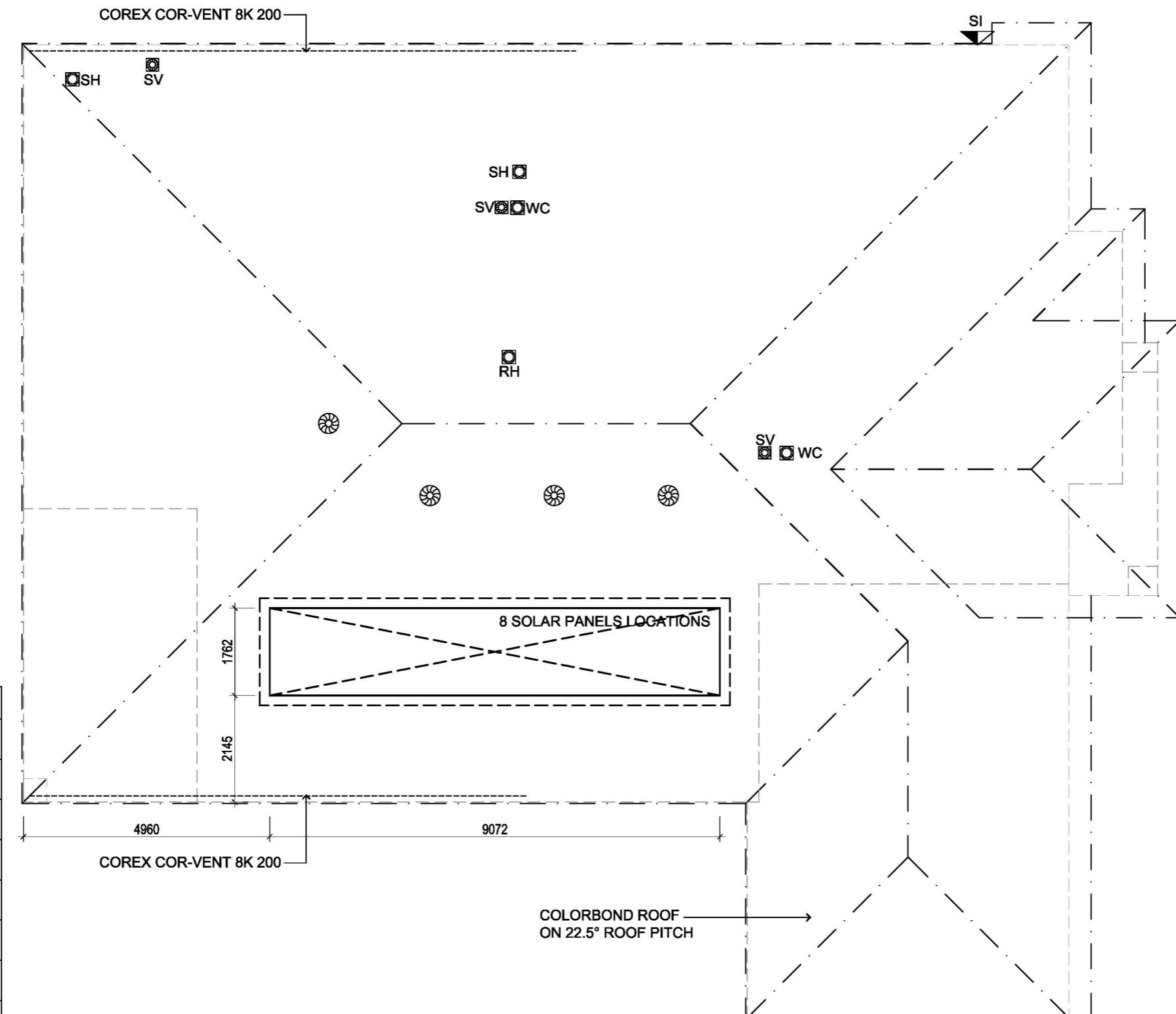
NOTE:

ROOF VENTILATION TO BE APPLIED ON ALL NCC 2022 HOMES.



LEGEND

	-SHOWER EXHAUST VENT
	-RANGEHOOD VENT
	-W.C. EXHAUST VENT
	-LAUNDRY EXHAUST VENT
	-SEWER VENT
	-WHIRLYBIRD
	-EVAPORATIVE COOLER
	-SKYLIGHT
	-SOLAR PANELS
	-SOLAR INVERTER



NCC 2022 CONDENSATION MANAGEMENT 10.8.3

VENTILATION REQUIREMENTS	ROOF TYPES & VENT PRODUCT
ROOF PITCH: > 15 DEGREES = 7,000mm ² /m AT EAVES 5,000mm ² /m AT RIDGE	LOW LEVEL (EAVE) • TILED ROOF (UNSARKED) - N/A • COLORBOND (UNSARKED) - N/A ROOF PITCH: 10 - 14.9 DEGREES = 25,000mm²/m AT EAVES 5,000mm²/m AT RIDGE HIGH LEVEL (MAX. 900MM FROM RIDGE) • TILED ROOF (UNSARKED) - N/A • COLORBOND (UNSARKED) - N/A ROOF PITCH: 10 DEGREES = 25,000mm²/m AT EACH END • TILED ROOF (SARKED) - BRADFORD WINDMASTER • COLORBOND (SARKED) - BRADFORD WINDMASTER
	BUSHFIRE ZONES (BAL) BUSHFIRE ZONES TO USE BAL RATED PRODUCTS. BAL RATED PRODUCT VALUES DO NOT DIFFER

NCC 2022 CONDENSATION MANAGEMENT 10.8.3

LOW LEVEL VENTILATION

COREX COR-VENT 8K 200	8050mm ² /m
VENT SYSTEMS OVER FASCIA VENT G1200N	11000mm ² /m
LOW LEVEL VENT CALC	23.33 7000 163310.00 0000 8050 20.29

HIGH LEVEL VENT

WINDMASTER NATURAL ROOF VENTILATOR	35800 mm
	Roof Length (m) Air flow (mm ² /m) Total Air Flow (mm ²) Vent Product (mm ² /m) Vent Product total m required
High Level Vent Calc.	23.33 5000 116650.00 35800 3.29

** Total number of vents to be rounded up

PLEASE READ CAREFULLY

I/WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I'M ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$100.00 VARIATION FEE WILL OCCUR.
SIGNED: _____ DATE: _____
SIGNED: _____ DATE: _____
WITNESSED: _____ DATE: _____

SHEET TITLE: ROOF PENETRATION

SCALE: 1:100

SHEET SIZE: A3

SHEET: 02 of 19

HOUSE TYPE: ELMONT 340 (LHS)

FAÇADE: MEDINA

© THESE DRAWINGS AND ASSOCIATED DOCUMENTATION ARE OWNED BY SHERRIDON HOMES PTY LTD. AND SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION.

CLIENT NAME:

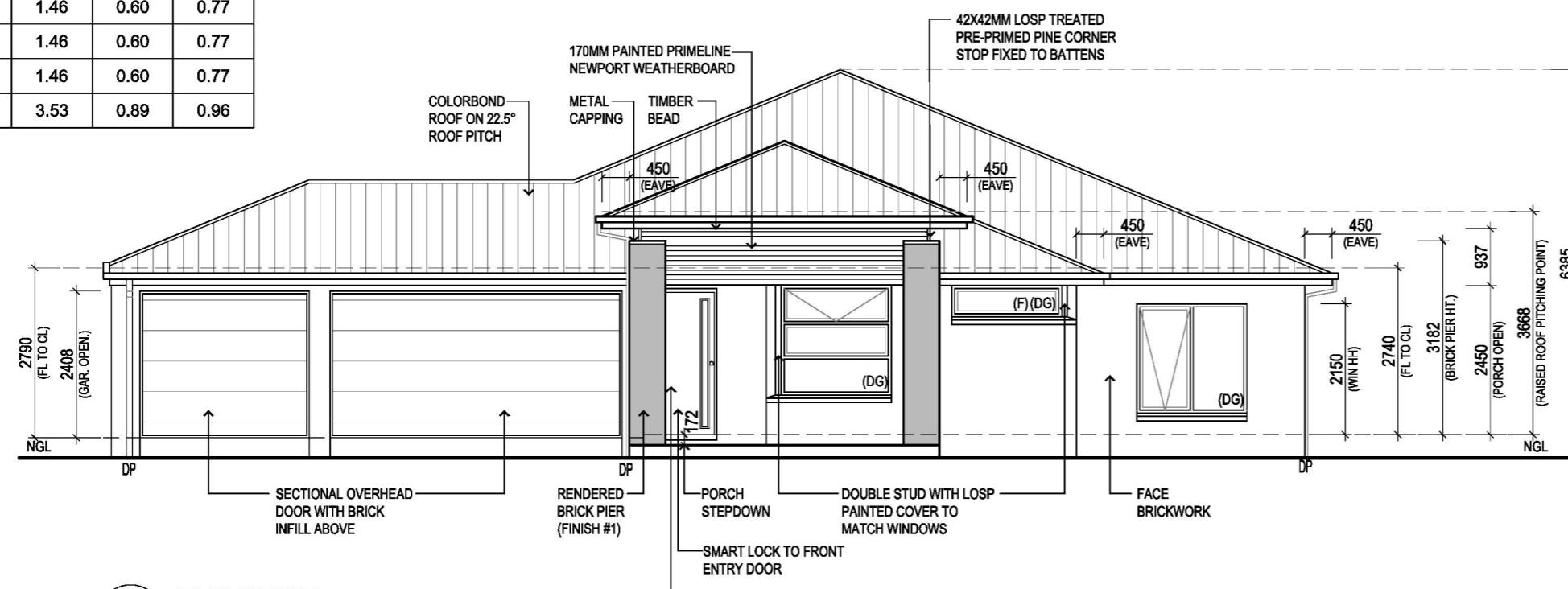
JOB ADDRESS: Lot N/A, No.5 Ruth Street, METUNG, VIC 3904

D.B. No:

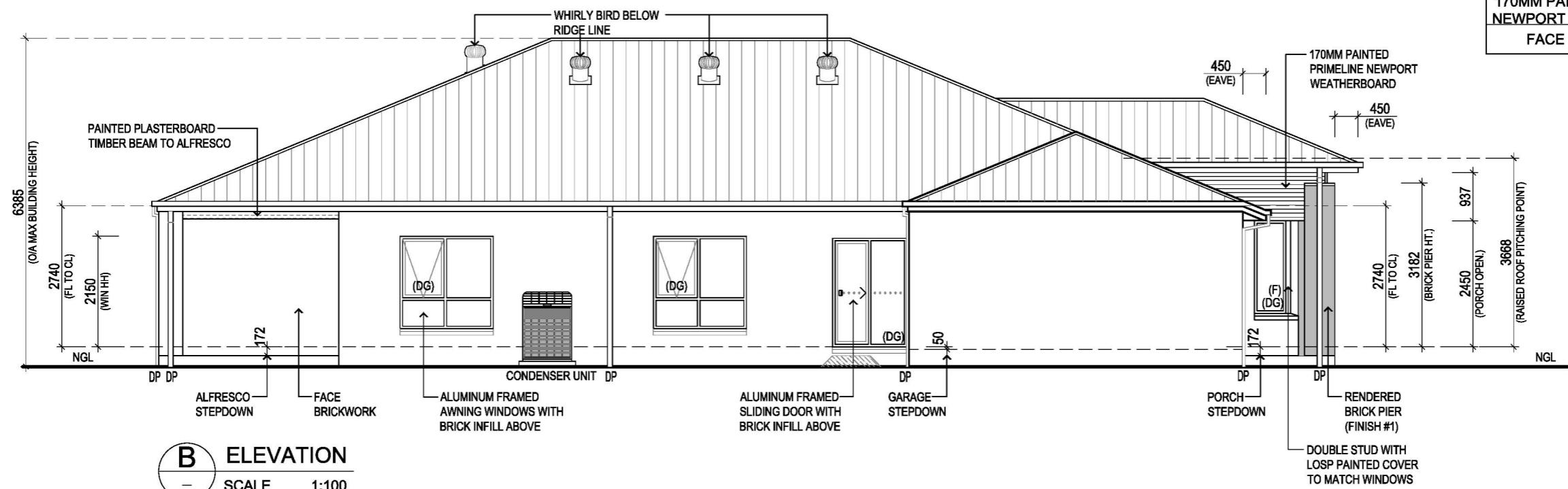
B.C. No: 340263

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

LIGHT / VENTILATION CALCULATION				
ROOM	AREA (M ²)	LIGHT (minimum 10%)	VENTILATION (minimum 5%)	
	REQUIRE D (M ²)	PROVIDE D (M ²)	REQUIRE D (M ²)	PROVIDE D (M ²)
MASTER BED	21.90	2.19	2.96	1.10
STUDY	15.15	1.52	2.74	0.76
BED 2	11.93	1.19	1.46	0.60
BED 3	11.93	1.19	1.46	0.60
BED 4	11.93	1.19	1.46	0.60
LOUNGE	17.75	1.78	3.53	0.89
				0.96



A ELEVATION
SCALE 1:100



B ELEVATION
SCALE 1:100

MATERIAL FINISH LEGEND:

- FACE BRICKWORK
- RENDER BRICKWORK (FINISH #1)
- 170MM PAINTED PRIMELINE NEWPORT WEATHERBOARD
- RENDERED MASTERWALL (FINISH #1)
- PAINTED PLASTERBOARD

NOTE

GRADE SOIL UP TO EXTERNAL DOORWAY, BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 190mm IN ACCORDANCE WITH NCC 11.2.6 THRESHOLDS.

NOTE

ALUMINIUM FRAMED AWNING WINDOWS TO FRONT FAÇADE ONLY (UNLESS NOTED OTHERWISE)

ALUMINIUM FRAMED SLIDING WINDOWS TO SIDE AND REAR ELEVATIONS (UNLESS NOTED OTHERWISE)

NOTE

600mm EAVES FROM OUTSIDE OF FRAME TO FRONT FAÇADE ONLY. 2150mm WINDOW HEAD HT. TO SIDE AND REAR (UNLESS NOTED OTHERWISE)

FACADE MATERIALS RATIO TABLE

MATERIAL TYPE	AREA (M ²)	PERCENTAGE
FACADE AREA EXCLUDING DOORS & WINDOWS	28.62	100.00%
RENDER COLOUR #1	5.00	17.47%
170MM PAINTED PRIMELINE NEWPORT WEATHERBOARD	3.83	13.38%
FACE BRICKWORK	19.79	69.15%

PLEASE READ CAREFULLY

I/WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I'M ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$100.00 VARIATION FEE WILL OCCUR.
SIGNED: DATE:
SIGNED: DATE:
WITNESSED: DATE:

SHEET TITLE: ELEVATIONS 1

SCALE: 1:100

SHEET SIZE: A3

SHEET: 04 of 19

HOUSE TYPE: ELMONT 340 (LHS)

FAÇADE: MEDINA

© THESE DRAWINGS AND ASSOCIATED DOCUMENTATION ARE OWNED BY SHERRIDON HOMES PTY LTD. AND SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION.

CLIENT NAME:

JOB ADDRESS: Lot N/A, No.5 Ruth Street, METUNG, VIC 3904

D.B. No:

B.C. No: 340263

This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1997. The document must not be used for any other purpose. It may breach copyright if reproduced.

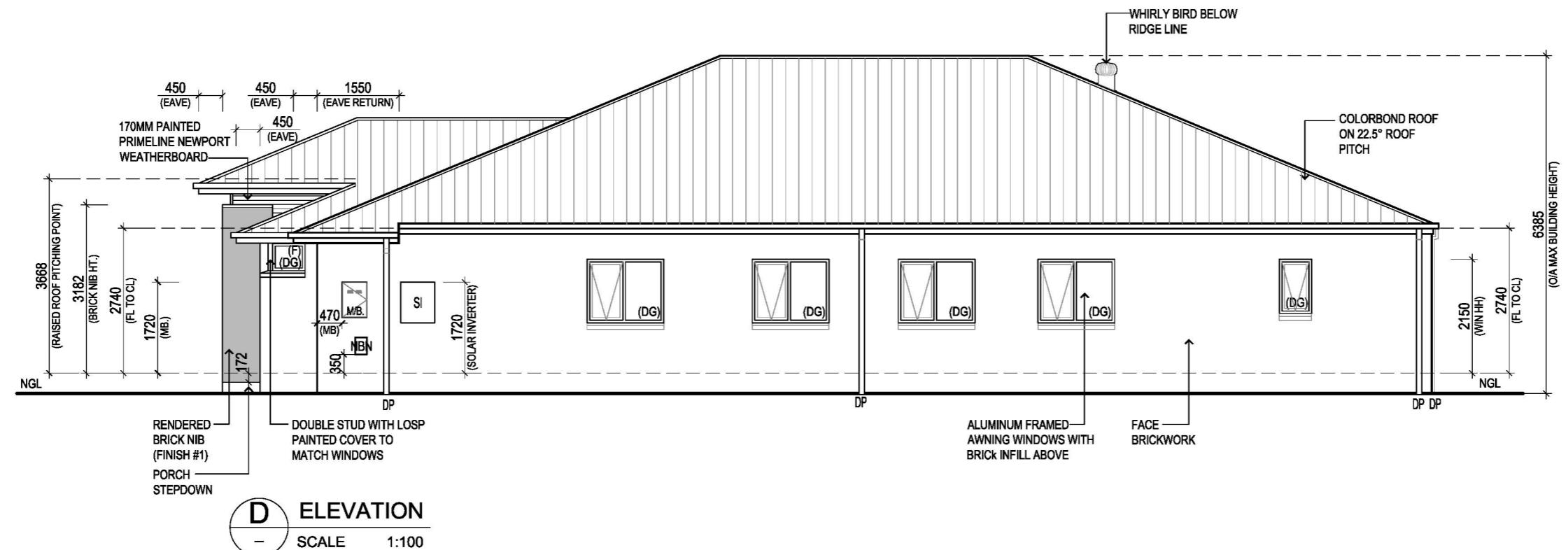
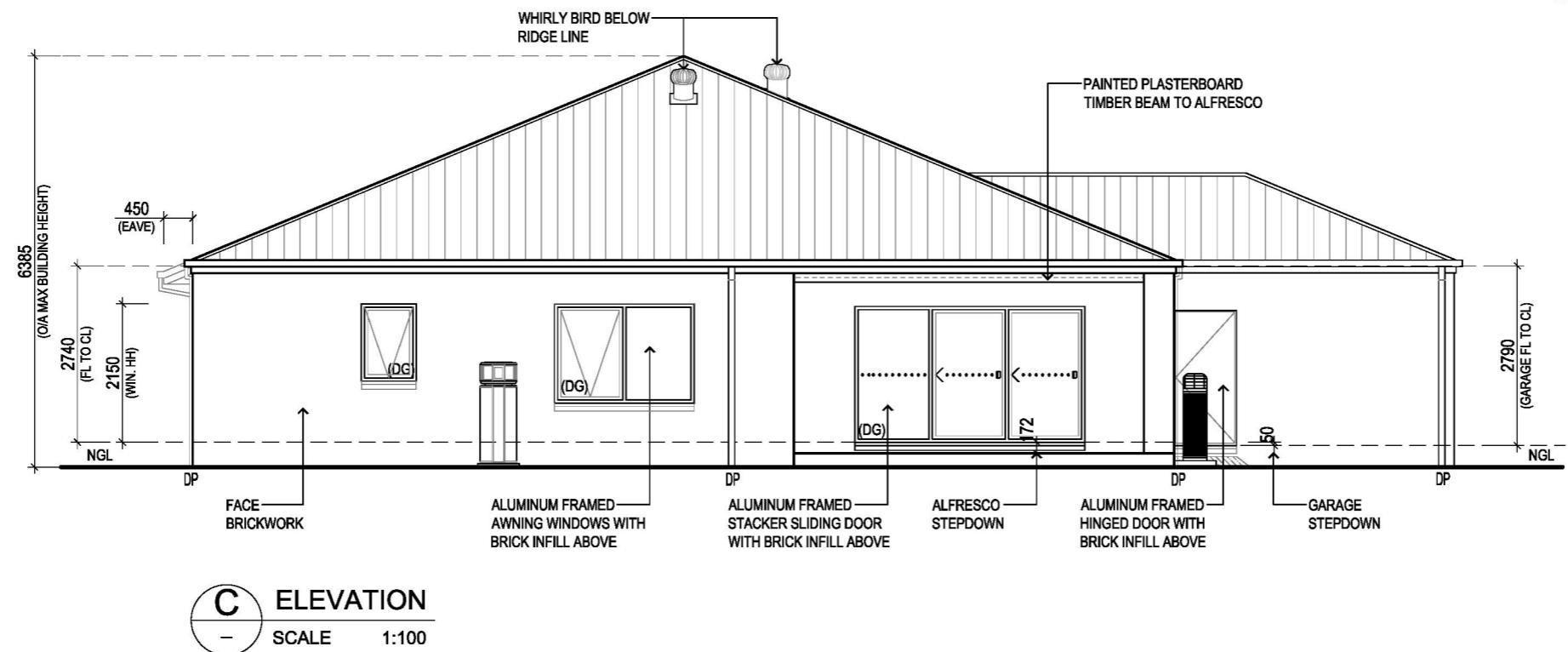
GENERAL NOTES

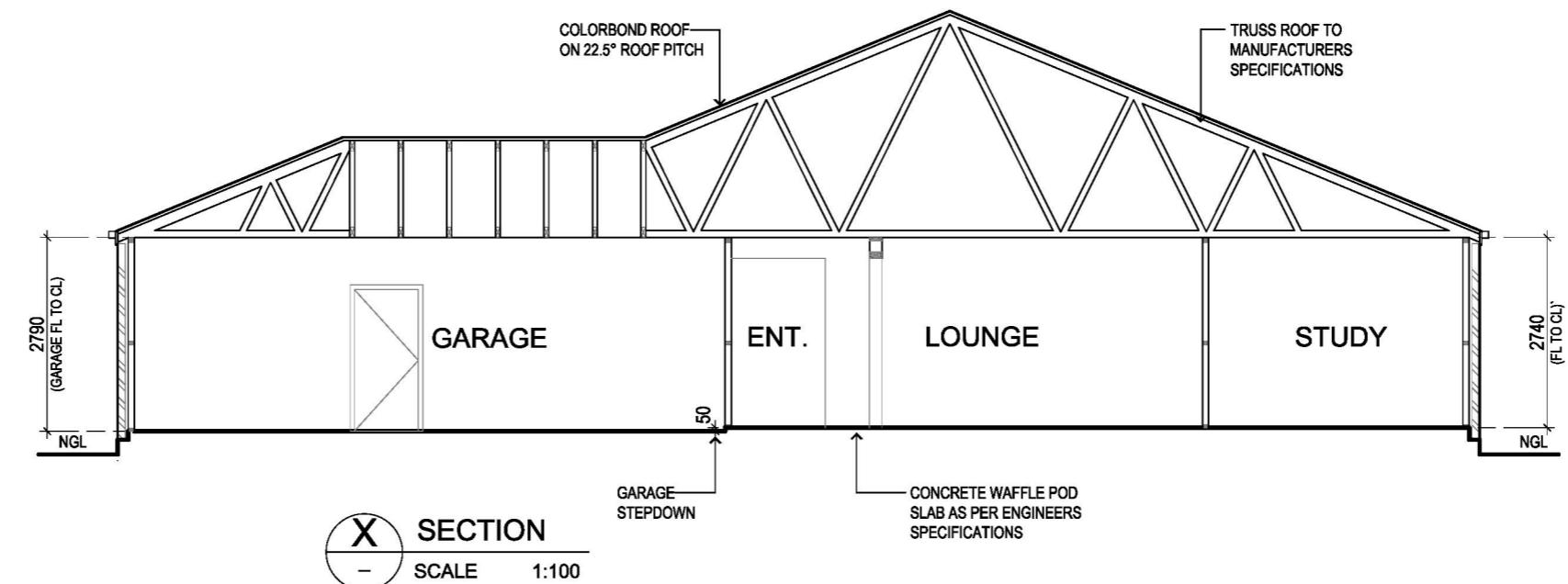
WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.

PACKAGING EXTERNAL DOORS NOT TO BE GREATER THAN 190MM IN ACCORDANCE WITH NCC 2022 11.2.6 THRESHOLDS.

DIMENSIONS RELATING TO PLATE CATCHER REFER TO OVERLAP & BOTTOM PLATE DIMENSIONS NOT ACTUAL CEILING HEIGHTS.

GENERAL NOTES
WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES
IN BRICK SIZES.
PARKER TO EXTERIOR DOES NOT TO BE GREATER THAN 190MM IN CONCORDANCE
WITH NCCE 2022 11.2.6 THRESHOLDS.
DIMENSIONS RELATING TO CEILINGS REFER TO OVERHEAD TOP & BOTTOM PLATE
DIMENSIONS, NOT ACTUAL CEILING HEIGHTS.





This copied electrical legend: available for the sole purpose of enabling consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

GENERAL NOTES

- NOTE: SMOKE ALARMS SHOWN ON PLANS ARE TO BE INTERCONNECTED, WITH BATTERY BACKUP AND INSTALLED IN ACCORDANCE WITH H3D6 SMOKE ALARMS AND EVACUATION LIGHTING.
- PART 9.5.1 OF NCC 2022
- PART 9.5.2 OF NCC 2022
- PART 9.5.4 OF NCC 2022
- PROVIDE LIGHT, GAS POINT & SPP IN ROOF SPACE FOR DUCTED HEATING
- SWITCH FOR ROOF SPACE LIGHT TO BE WITHIN 900MM OF MANHOLE
- WHERE POSSIBLE LIGHT POINTS IN ROOF SPACE SHALL NOT BE CLOSER THAN 1800MM ABOVE PLATFORM
- OPTIONAL: EXTERNAL WEATHERPROOF POWER SUPPLY FOR REVERSE CYCLE COOLING UNITS SHOULD BE ON AN ISOLATED SWITCH.

LEGEND

(S) - PROVIDE SMOKE DETECTOR WIRED TO MAINS POWER WITH BATTERY BACK UP IN ACCORDANCE WITH AUSTRALIAN STANDARDS.
 (C) - CONTROL JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 3700.
 HWS - HOT WATER SERVICE
 MB - METER BOX
 GAS - GAS METER
 SI - SOLAR INVERTER

GLASS & GLAZING NOTES

ALL EXTERNAL WINDOWS AND DOOR ARE TO BE DESIGNED AND TESTED IN ACCORDANCE WITH AS 2047, INCLUDING PROVISIONS FOR SUBSILLS AND FLASHING IN ANY PROPRIETARY SYSTEMS OFFERED FOR THIS PRODUCT.
 ALL GLAZING SHALL BE IN ACCORDANCE WITH AS 1288-2021 WHEREIN GLAZING WITHIN 500MM OF THE FLOOR LEVEL SHALL BE 5MM THICKENED ANNEALED, GLAZED DOORS ASSOCIATED SIDE PANELS SHALL BE 5.38MM LAMINATED SAFETY GLASS AND BATHROOM WINDOWS WITHIN 1.5M OF THE BATH FOR 500MM FROM THE SHOWER ENCLOSURE SHALL BE 3MM TOUGHENED SAFETY GLASS.

OPTION 2 NBN - BASIC KIT WITH ENCLOSURE

- 1 OF - 600 SERIES HOME HUB
- 2 OF - CABLED TELEPHONE POINTS
- 1 OF - DATA POINT
- 1 OF - 32 CONDUIT FROM MDF TO HUB LOCATION
- 1 OF - 1X DRAW CABLE (CAT 5E) TO PROVIDE CONNECTION

EXHAUST FAN NOTE

EXHAUST FANS WILL BE INSTALLED IN ACCORDANCE WITH NCC 2022 P10.8.2.

ELECTRICAL LOCATIONS

PLEASE NOTE:
 ADAPTO PLANS TAKE PRECEDENCE OVER STANDARD ELECTRICAL LAYOUT

NOTE:

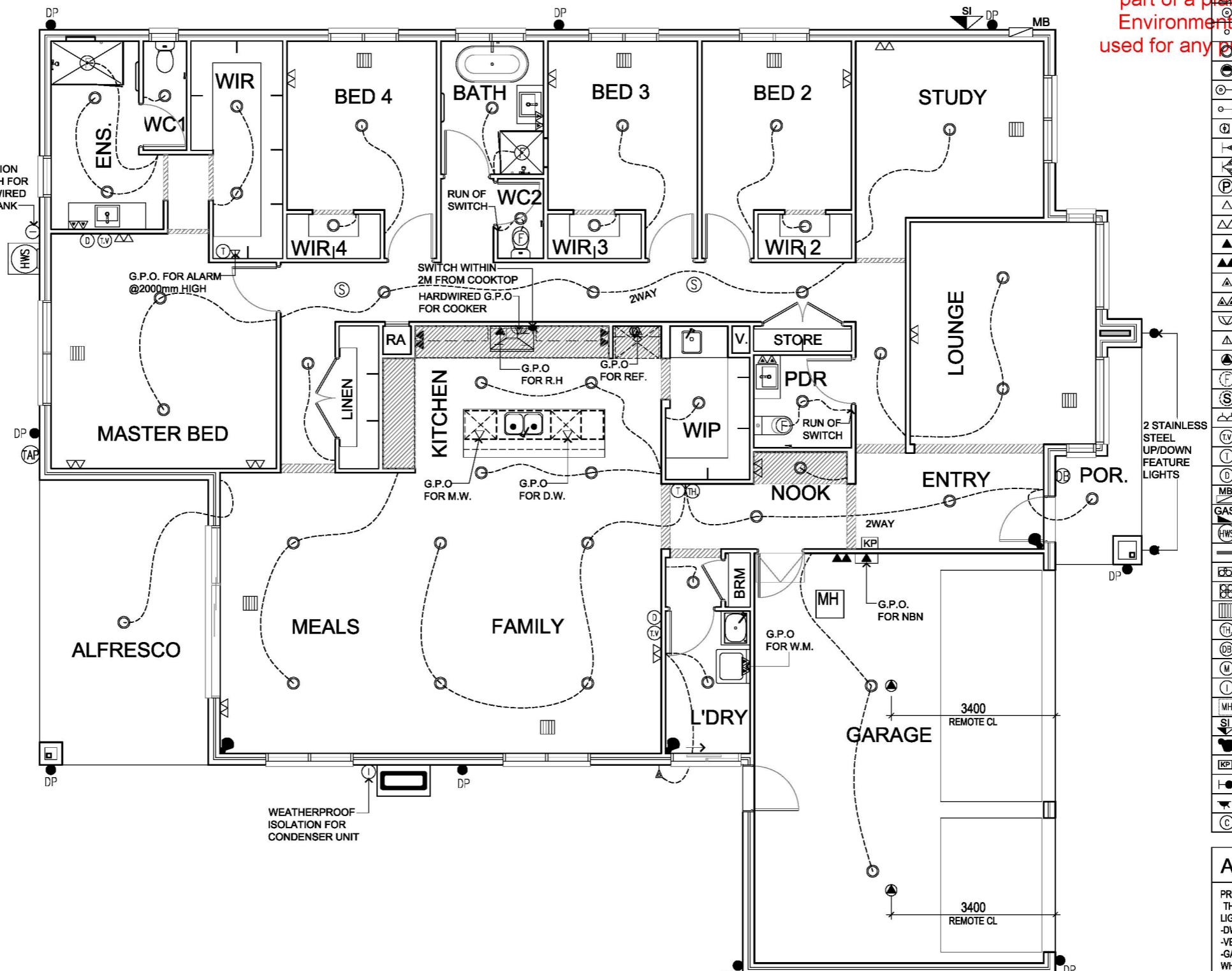
PROVIDE FOUR CCTV CAMERAS

NOTE:

PROVIDE HYBRID ALARM KIT.

NOTE:

PROVIDE 3 PHASE POWER.



PROVISION OF ARTIFICIAL LIGHTING IN ACCORDANCE WITH NCC 2022 13.7.6

AREA	AREA (M ²)	NO OF LIGHTS (10W)	TOTAL PROPOSED WATTAGE (W)	WATTS PER M ²
GF.DWELLING	278.58	40	400	1.44
GARAGE	55.58	2	20	0.36
PORCH	6.04	1	10	1.66
ALFRESCO	20.69	1	10	0.48

ARTIFICIAL LIGHTING NOTES

PROVISION OF ARTIFICIAL LIGHTING IN ACCORDANCE WITH NCC 2022 PART 13.7.6
 THE LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF ARTIFICIAL LIGHTING EXCLUDING HEATERS THAT EMIT LIGHT MUST NOT EXCEED
 -DWELLING- 5W/M²
 -VERANDAH, BALCONY, PORCH - 4W/M²
 -GARAGE - 3W/M²
 WHERE ILLUMINATION POWER DENSITY IS USED IT MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR IN TABLE 13.7.6.6 WHERE APPLICABLE

ARTIFICIAL LIGHT AROUND THE PERIMETER OF A BUILDING MUST
 - BE CONTROLLED BY A DAYLIGHT SENSOR OR
 - HAVE AN AVERAGE LIGHT SOURCE EFFICACY OF LESS THAN 40 LUMENS/W

ALL SMOKE DETECTORS ARE TO BE INTERCONNECTED

ALL DOWNLIGHTS ARE TO BE NON VENTED AND SEALED

ALL CEILING PENETRATIONS ARE INDICATIVE ONLY FINAL LOCATION MAY CHANGE DUE TO STRUCTURAL COMPONENTS OR HEATING LAYOUTS AS ADVISED BY THE MANUFACTURER

PLEASE READ CAREFULLY

I/WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I'M ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$100.00 VARIATION FEE WILL OCCUR.
 SIGNED: _____ DATE: _____
 SIGNED: _____ DATE: _____
 WITNESSED: _____ DATE: _____

HEET TITLE: ELECTRICAL GROUND FLOOR PLAN

SCALE: 1:100

HEET SIZE: A3

HEET: 07 of 19

HOUSE TYPE: ELMONT 340 (LHS)

FAÇADE: MEDINA

© THESE DRAWINGS AND ASSOCIATED DOCUMENTATION ARE OWNED BY SHERRIDON HOMES PTY LTD. AND SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION.

CLIENT NAME:

JOB ADDRESS: Lot N/A, No.5 Ruth Street, METUNG, VIC 3904

D.B. No:

B.C. No: 340263



PLEASE READ CAREFULLY

I/WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I'M ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$100.00 VARIATION FEE WILL OCCUR.
SIGNED DATE:
SIGNED DATE:
WITNESSED DATE:

SHEET TITLE: ELECTRICAL GROUND FLOOR PLAN (empty)

SCALE: 1:100

SHEET SIZE: A3

SHEET: 08 of 19

HOUSE TYPE: ELMONT 340 (LHS)

FAÇADE: MEDINA

© THESE DRAWINGS AND ASSOCIATED DOCUMENTATION ARE OWNED BY SHERRIDON HOMES PTY LTD. AND SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION.

CLIENT NAME:

JOB ADDRESS: Lot N/A, No.5 Ruth Street, METUNG, VIC 3904

D.B. No:

B.C. No: 340263

This copied document is made available for the sole purpose of enabling a consumer to review as part of a planning application under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

FLOORING SCHEDULE

	CARPET	90.60m ²	9.76sq
GROUND FLOOR	CARPET	90.60m ²	9.76sq
TILES:	TILES	153.17m ²	16.49sq
TOTAL:		243.85m ²	26.25sq

FLOORING LEGEND

	CARPET
	TILES



PLEASE READ CAREFULLY

I/WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I'M ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$100.00 VARIATION FEE WILL OCCUR.
SIGNED DATE:
SIGNED DATE:
WITNESSED DATE:

SHEET TITLE: GF FLOOR COVERING PLAN

SCALE: 1:100

SHEET SIZE: A3

SHEET: 09 of 19

HOUSE TYPE: ELMONT 340 (LHS)

FAÇADE: MEDINA

© THESE DRAWINGS AND ASSOCIATED DOCUMENTATION ARE OWNED BY SHERRIDON HOMES PTY LTD. AND SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION.

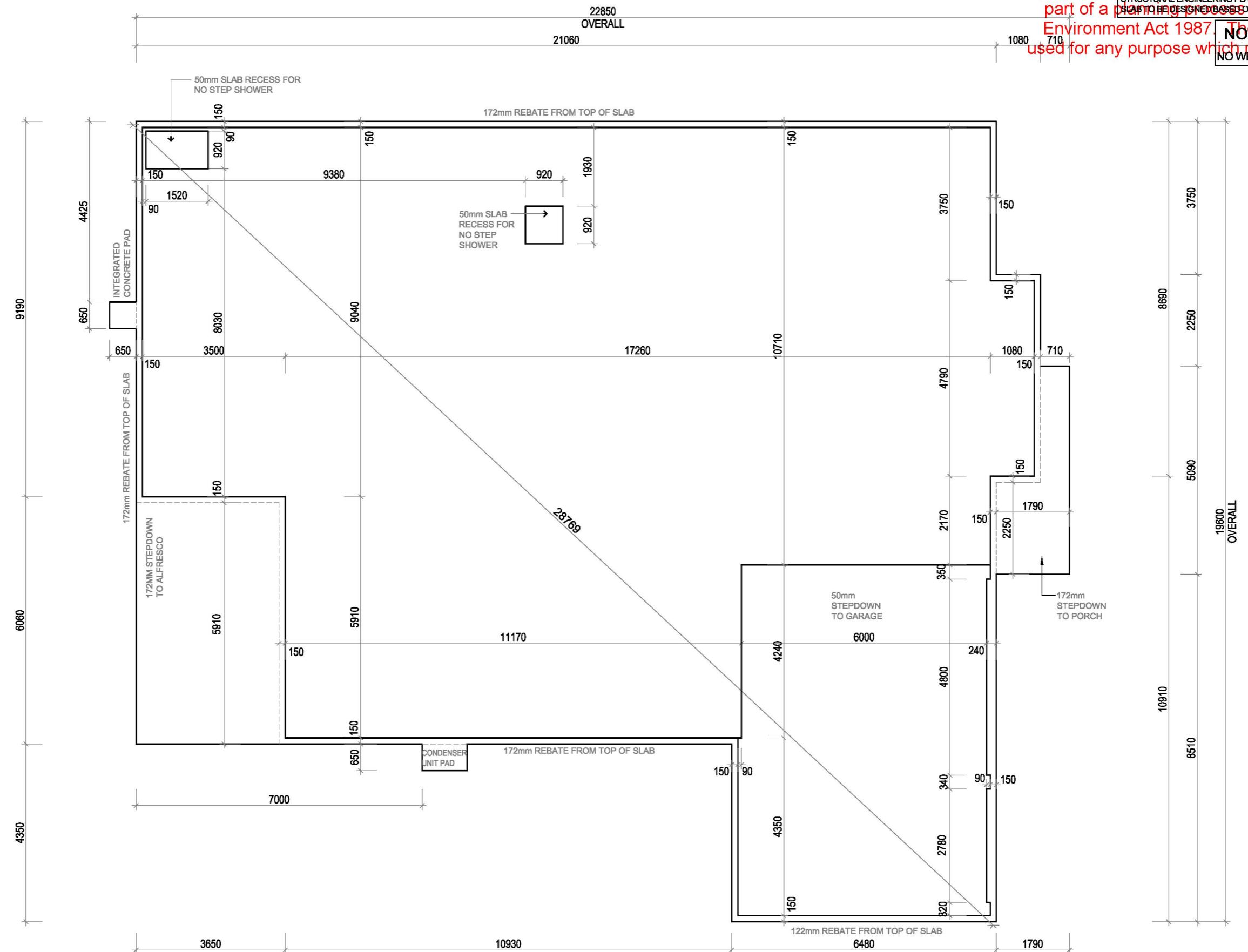
CLIENT NAME:

JOB ADDRESS: Lot N/A, No.5 Ruth Street, METUNG, VIC 3904

D.B. No:

B.C. No: 340263

ADVERTISED



SHERRIDON
HOMES

HOMES[®]
A HIGHER STANDARD

NEW LIVING

56 Barclay Road,
Derrimut VIC 3026
CDB-U 50039
P +613 8390 5000
E info@sherridonhomes.com.au

PLEASE READ CAREFULLY

I / WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES LTD. I'M ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO MADE A \$1000.00 VARIATION FEE WILL OCCUR.

SIGNED DATE:

SHEET TITLE: SLAB PLAN

SCALE: 1:1

SHEET SIZE

SHE

HOUSE TYPE: ELMONT 340 (LHS)

FAÇADE: MEDINA

© THESE DRAWINGS AND ASSOCIATED DOCUMENTATION ARE OWNED BY SHERRIDON HOMES PTY LTD. AND SHALL NOT BE ALTERED, REPRODUCED, COPIED IN PART OR IN WHOLE WITHOUT THE WRITTEN PERMISSION.

CLIENT NAME:

JOB ADDRESS: Lot N/A, No.5 Ruth Street, METUNG, VIC 3904

D.B. No:

B.C. No: 340263

Printed 20/01/2026

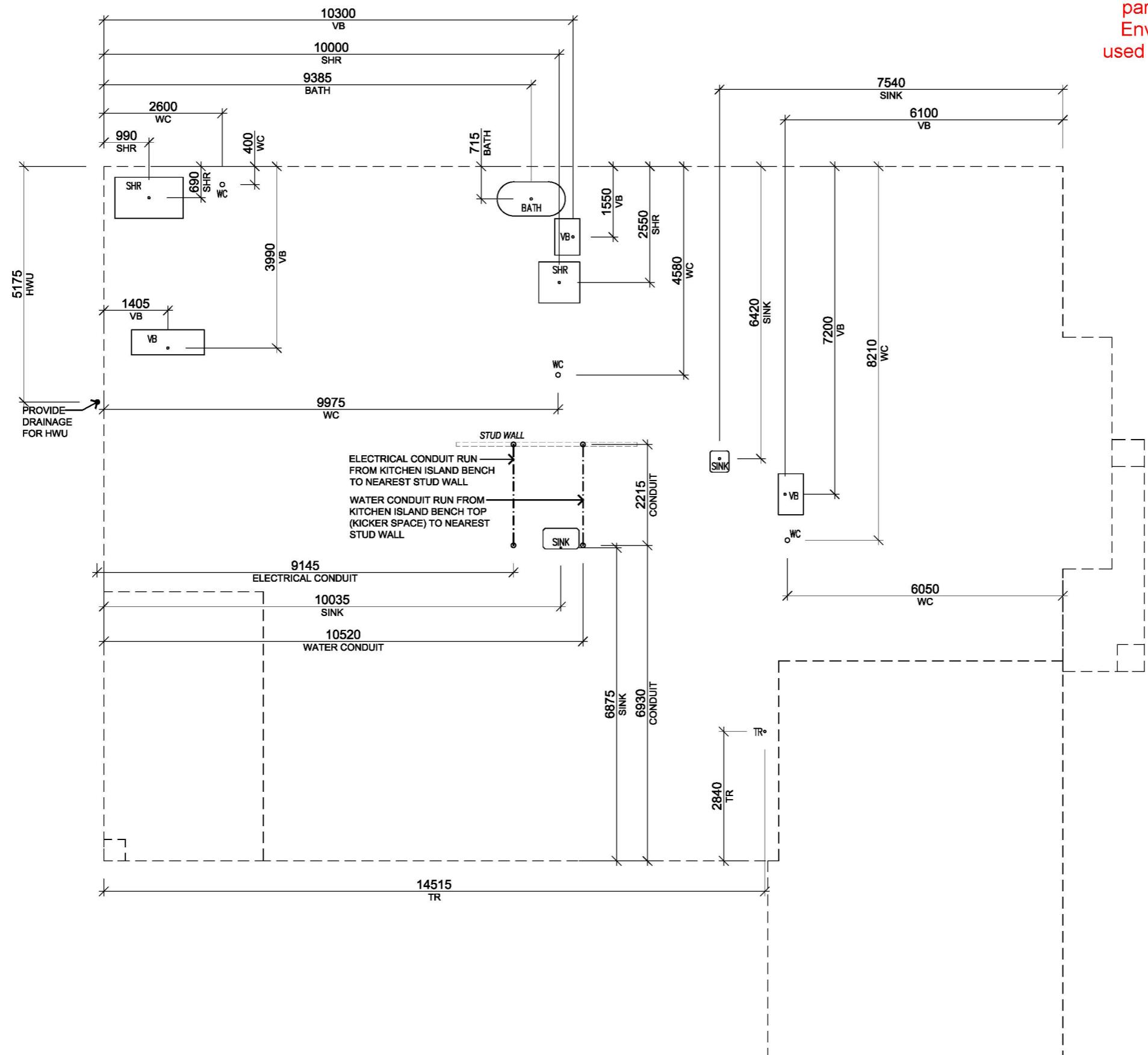
Page 22 of 26

ADVFRRTISED

This copied document is made available for the sole purpose of enabling its consideration and review as part of a larger document. It is not to be reproduced and Environment Act 1987. The document must not be used for any purpose which may breach any copyright

HYDRO NOTES

REFER TO HYDRO PLAN FOR SLAB PENETRATIONS. REFER TO STRUCTURAL ENGINEERING PLANS FOR CONCRETE SLAB CONSTRUCTION IS TO BE DESIGNED BASED ON SOIL CLASSIFICATION AS PER AS 2870





This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

3D View

[View & Edit in 3D: https://www.eurekagarages.com.au/request-a-quote/shed-designer.html#w1lJOZBW2pb/0](https://www.eurekagarages.com.au/request-a-quote/shed-designer.html#w1lJOZBW2pb/0)

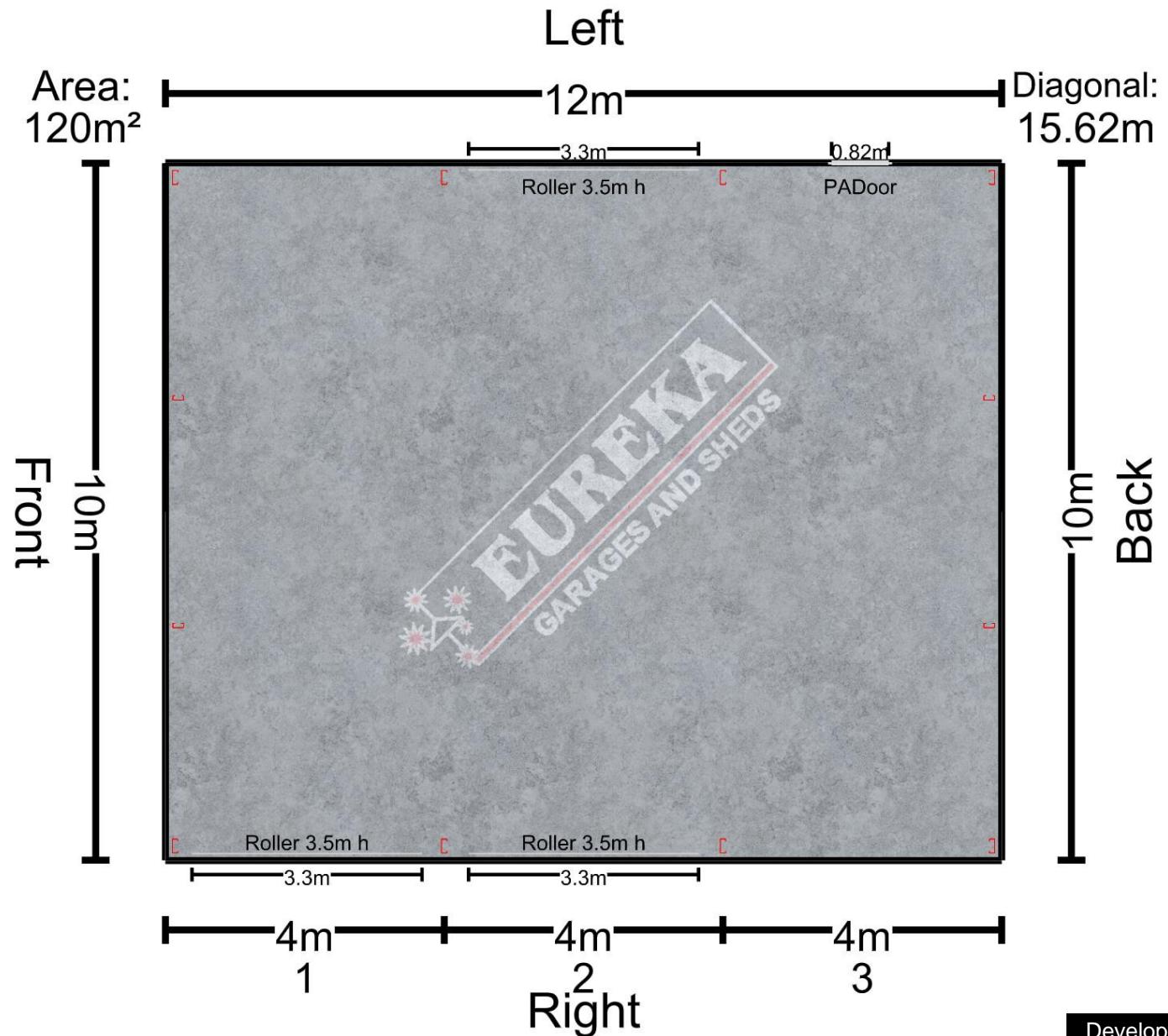




This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Floor Plan

View & Edit in 3D: <https://www.eurekagarages.com.au/request-a-quote/shed-designer.html#w1lJOZBW2pb/0>





This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The document must not be used for any purpose which may breach any copyright.

Elevations

[View & Edit in 3D: https://www.eurekagarages.com.au/request-a-quote/shed-designer.html#w1lJOZBW2pb/0](https://www.eurekagarages.com.au/request-a-quote/shed-designer.html#w1lJOZBW2pb/0)

