

# NOTICE OF AN APPLICATION FOR PLANNING PERMIT

<b>The land affected by the application is located at:</b>	<b>5 Ruth Street METUNG VIC 3904</b> <b>PC: 359180</b>
<b>The application is for a permit to:</b>	<b>Buildings and Works for a Dwelling and Outbuilding</b>
<b>A permit is required under the following clauses of the planning scheme:</b>	
<b>Planning Scheme Clause</b>	<b>Matter for which a permit is required</b>
43.02-2 (DDO)	Construct a building or construct or carry out works.
<b>The applicant for the permit is:</b>	<b>D R Grant &amp; L F Want</b>
<b>The application reference number is:</b>	<b>5.2025.384.1</b>

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must**

- ♦ **be made to the Responsible Authority in writing,**
- ♦ **include the reasons for the objection, and**
- ♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to the applicant giving notice</b>
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If you object, the Responsible Authority will tell you its decision.

## **April McDonald**

**From:** Snapforms Notifications <no-reply@snapforms.com.au>  
**Sent:** Monday, 24 November 2025 12:32 PM  
**To:** Planning Unit Administration  
**Subject:** Planning Permit application  
**Attachments:** Daryl Grant 10m (W) x 12m (L) x 4m (H)-6 Shed.pdf; GeoSite\_ahb\_3850\_1 with shed.pdf; Vicplan-Planning-Property-Report.pdf; Title 24-11-25.pdf; 340263-5 Ruth Street, Metung-CD-14.07.25.pdf; Planning\_Permit\_Application\_2025-11-24T12-31-53\_29101060\_0.pdf

### **Planning Permit Application**

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

**Applicant name:** Daryl Grant & Lesley Want

**Email address:** (

**Postal address :**

**Preferred phone number:**

**Secondary phone number:**

**Street number:** 5

**Street name:** Ruth St

**Town:** Metung

**Post code:** 3904

**Plan number:** PC 359180G

**Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?:** No

**Will the proposal result in a breach of a registered covenant restriction or agreement?:** No

**Existing conditions :** Vacant land

**Description of proposal :** Building a 360.89m<sup>2</sup> home

**Estimated cost of development:** \$505,067

**Has there been a pre-application meeting:** No

**ExtraFile:** 2

**Invoice Payer:** |

**Address for Invoice:**

**Invoice Email:**

**Primary Phone Invoice:**

**Invoice Secondary Phone:**

**Declaration:** Yes

**Authority Check:** Yes

**Notice Contact Check:** Yes

**Notice check 2:** Yes

**Privacy Statement Acknowledge:** Yes

**2. Supporting information/reports:** [Daryl Grant 10m \(W\) x 12m \(L\) x 4m \(H\)-6 Shed.pdf](#)

**1. Supporting information/reports:** [GeoSite\\_ahb\\_3850\\_1 with shed.pdf](#)

**Planning report:** [Vicplan-Planning-Property-Report.pdf](#)

**Full copy of Title:** [Title 24-11-25.pdf](#)

**Plans:** [340263-5 Ruth Street, Metung-CD-14.07.25.pdf](#)

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The Victorian Government acknowledges the Traditional Owners of Victoria and pays respects to their ongoing connection to their Country, History and Culture. The Victorian Government extends this respect to their Elders, past, present and emerging.

# REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 10219 FOLIO 810

Security no : 124130159211A  
Produced 24/11/2025 11:44 AM

## LAND DESCRIPTION

Land in Plan of Consolidation 359180G.  
PARENT TITLES :  
Volume 08374 Folio 863 to Volume 08374 Folio 864  
Volume 10217 Folio 315  
Created by instrument PC359180G 09/03/1995

## REGISTERED PROPRIETOR

Estate Fee Simple  
Joint Proprietors

## ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

## DIAGRAM LOCATION

SEE PC359180G FOR FURTHER DETAILS AND BOUNDARIES

## ACTIVITY IN THE LAST 125 DAYS

NUMBER		STATUS	DATE
AZ421231T (E)	TRANSFER	Registered	28/07/2025

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 5 RUTH STREET METUNG VIC 3904

## ADMINISTRATIVE NOTICES

NIL

eCT Control 22727X EAST GIPPSLAND CONVEYANCING  
Effective from 28/07/2025

## DOCUMENT END

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# PLANNING PROPERTY REPORT

From [www.planning.vic.gov.au](http://www.planning.vic.gov.au) at 19 November 2025 10:19 AM

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## PROPERTY DETAILS

Address: **5 RUTH STREET METUNG 3904**  
 Lot and Plan Number: **Plan PC359180**  
 Standard Parcel Identifier (SPI): **PC359180**  
 Local Government Area (Council): **EAST GIPPSLAND**  
 Council Property Number: **44906**  
 Planning Scheme: **East Gippsland**  
 Directory Reference: **Vicroads 84 F8**

[www.eastgippsland.vic.gov.au](http://www.eastgippsland.vic.gov.au)

[Planning Scheme - East Gippsland](#)

## UTILITIES

Rural Water Corporation: **Southern Rural Water**  
 Urban Water Corporation: **East Gippsland Water**  
 Melbourne Water: **Outside drainage boundary**  
 Power Distributor: **AUSNET**

## STATE ELECTORATES

Legislative Council: **EASTERN VICTORIA**  
 Legislative Assembly: **GIPPSLAND EAST**  
 OTHER  
 Registered Aboriginal Party: **Gunaikurnai Land and Waters**  
**Aboriginal Corporation**  
 Fire Authority: **Country Fire Authority**

[View location in VicPlan](#)

## Planning Zones

[LOW DENSITY RESIDENTIAL ZONE \(LDRZ\)](#)

[SCHEDULE TO THE LOW DENSITY RESIDENTIAL ZONE \(LDRZ\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

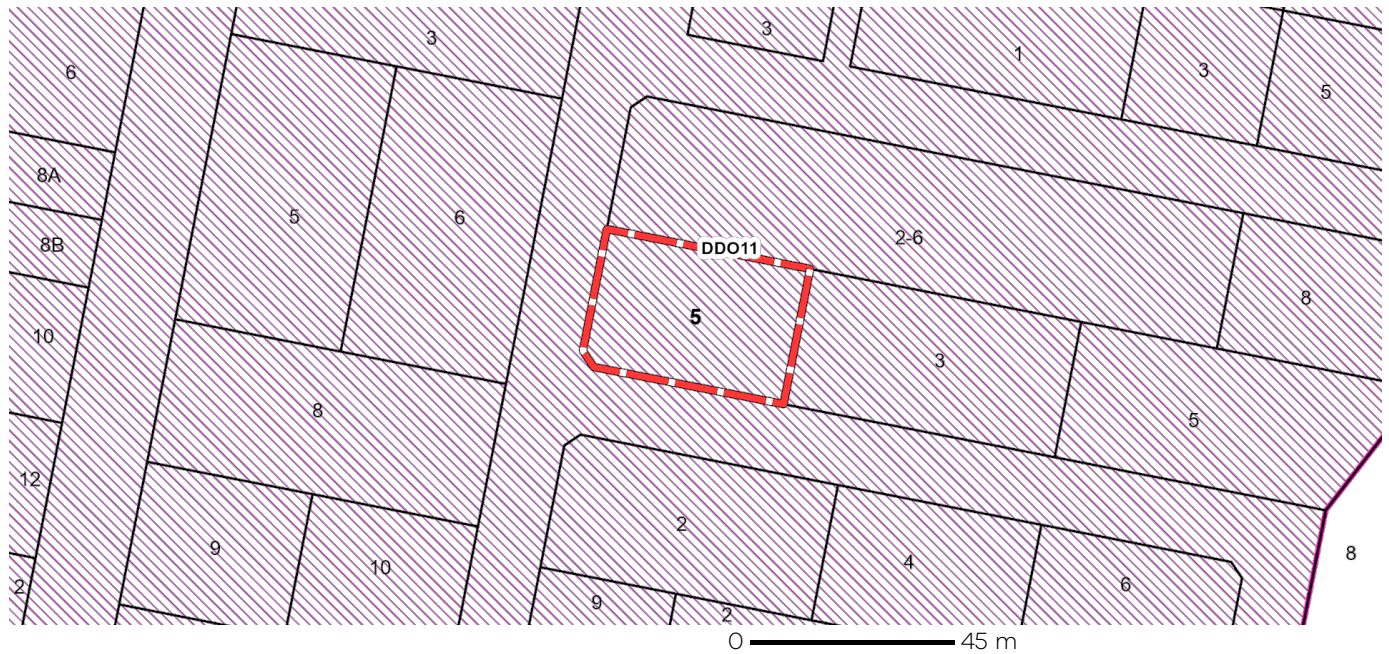
# PLANNING PROPERTY REPORT

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## Planning Overlays

### DESIGN AND DEVELOPMENT OVERLAY (DDO)

#### DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 11 (DDO11)



 **DDO - Design and Development Overlay**

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

### VEGETATION PROTECTION OVERLAY (VPO)

#### VEGETATION PROTECTION OVERLAY - SCHEDULE 3 (VPO3)



 **VPO - Vegetation Protection Overlay**

Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

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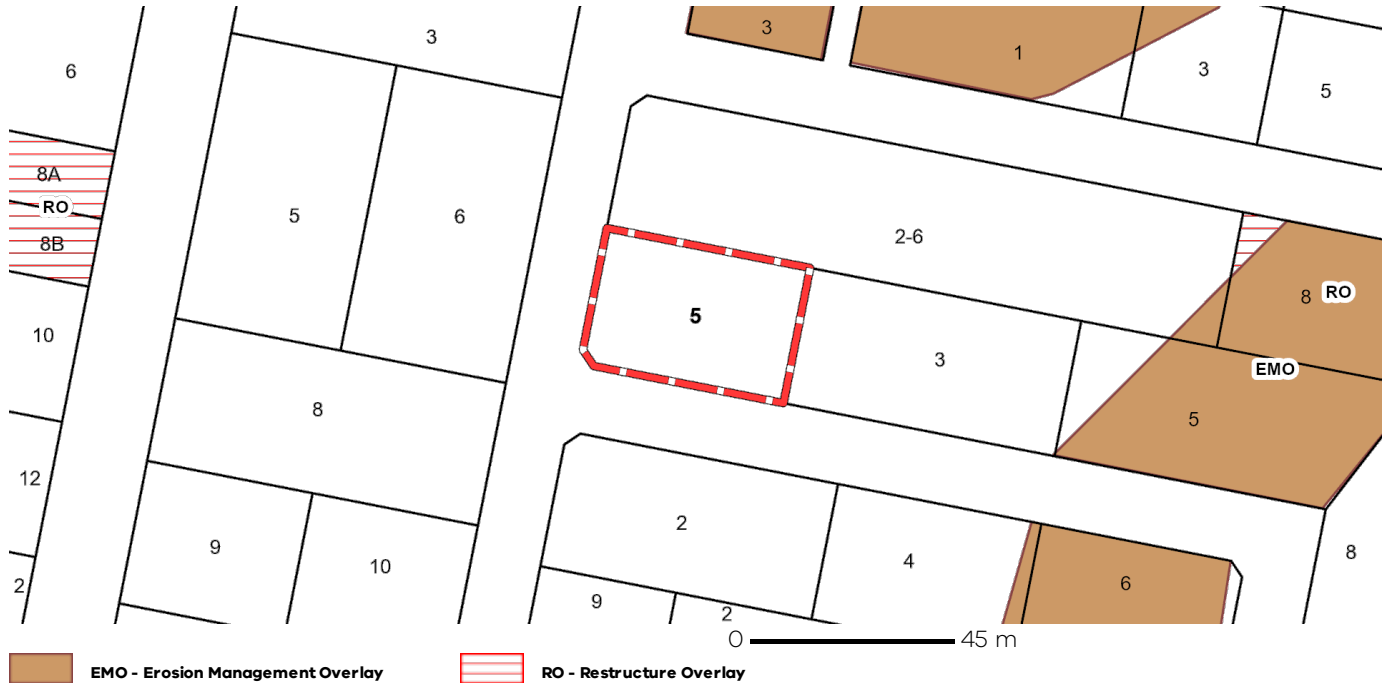
## Planning Overlays

### OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

[EROSION MANAGEMENT OVERLAY \(EMO\)](#)

[RESTRUCTURE OVERLAY \(RO\)](#)



Note: due to overlaps, some overlays may not be visible, and some colours may not match those in the legend

# PLANNING PROPERTY REPORT

## Areas of Aboriginal Cultural Heritage Sensitivity

All or part of this property is an 'area of cultural heritage sensitivity'.

'Areas of cultural heritage sensitivity' are defined under the Aboriginal Heritage Regulations 2018, and include registered Aboriginal cultural heritage places and land form types that are generally regarded as more likely to contain Aboriginal cultural heritage.

Under the Aboriginal Heritage Regulations 2018, 'areas of cultural heritage sensitivity' are one part of a two part trigger which require a 'cultural heritage management plan' be prepared where a listed 'high impact activity' is proposed.

If a significant land use change is proposed (for example, a subdivision into 3 or more lots), a cultural heritage management plan may be triggered. One or two dwellings, works ancillary to a dwelling, services to a dwelling, alteration of buildings and minor works are examples of works exempt from this requirement.

Under the Aboriginal Heritage Act 2006, where a cultural heritage management plan is required, planning permits, licences and work authorities cannot be issued unless the cultural heritage management plan has been approved for the activity.

For further information about whether a Cultural Heritage Management Plan is required go to <https://heritage.achris.vic.gov.au/aavQuestion1.aspx>

More information, including links to both the Aboriginal Heritage Act 2006 and the Aboriginal Heritage Regulations 2018, can also be found here - <https://www.firstpeoplesrelations.vic.gov.au/aboriginal-heritage-legislation>



# PLANNING PROPERTY REPORT

## Further Planning Information

Planning scheme data last updated on 14 November 2025.

A **planning scheme** sets out policies and requirements for the use, development and protection of land.

This report provides information about the zone and overlay provisions that apply to the selected land.

Information about the State and local policy, particular, general and operational provisions of the local planning scheme that may affect the use of this land can be obtained by contacting the local council

or by visiting <https://www.planning.vic.gov.au>

This report is NOT a **Planning Certificate** issued pursuant to Section 199 of the **Planning and Environment Act 1987**.

It does not include information about exhibited planning scheme amendments, or zonings that may affect the land.

To obtain a Planning Certificate go to Titles and Property Certificates at Landata - <https://www.landata.vic.gov.au>

For details of surrounding properties, use this service to get the Reports for properties of interest.

To view planning zones, overlay and heritage information in an interactive format visit <https://mapshare.vic.gov.au/vicplan/>

For other information about planning in Victoria visit <https://www.planning.vic.gov.au>

# PLANNING PROPERTY REPORT

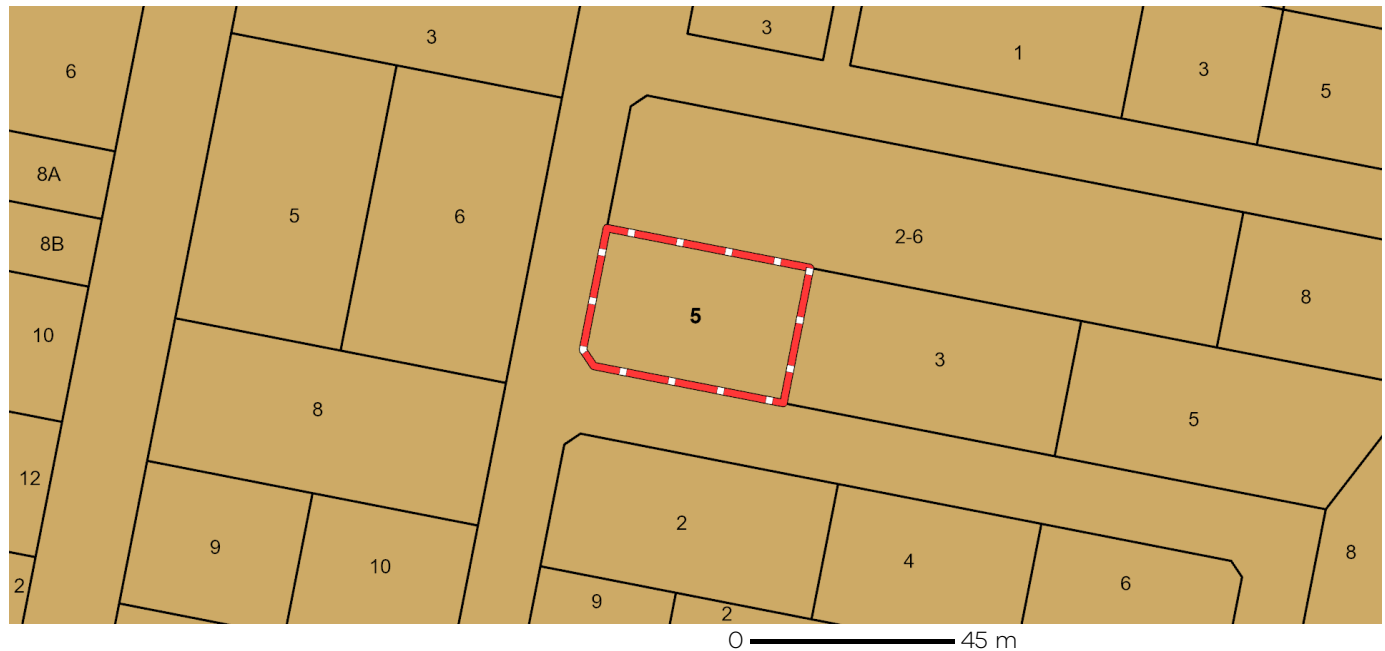
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## Designated Bushfire Prone Areas

**This property is in a designated bushfire prone area. Special bushfire construction requirements apply to the part of the property mapped as a designated bushfire prone area (BPA). Planning provisions may apply.**

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



Designated Bushfire Prone Areas

Designated BPA are determined by the Minister for Planning following a detailed review process. The Building Regulations 2018, through adoption of the Building Code of Australia, apply bushfire protection standards for building works in designated BPA.

Designated BPA maps can be viewed on VicPlan at <https://mapshare.vic.gov.au/vicplan/> or at the relevant local council.

Create a BPA definition plan in [VicPlan](#) to measure the BPA.

Information for lot owners building in the BPA is available at <https://www.planning.vic.gov.au>.

Further information about the building control system and building in bushfire prone areas can be found on the Victorian Building Authority website <https://www.vba.vic.gov.au>. Copies of the Building Act and Building Regulations are available from <http://www.legislation.vic.gov.au>. For Planning Scheme Provisions in bushfire areas visit <https://www.planning.vic.gov.au>.

## Native Vegetation

Native plants that are indigenous to Victoria and important for biodiversity might be present on this property. This could include trees, shrubs, herbs, grasses or aquatic plants. There are a range of regulations that may apply including need to obtain a planning permit under Clause 52.17 of the local planning scheme. For more information see [Native Vegetation \(Clause 52.17\)](#) with local variations in [Native Vegetation \(Clause 52.17\) Schedule](#)

To help identify native vegetation on this property and the application of Clause 52.17 please visit the Native Vegetation Regulations Map (NVR Map) <https://mapshare.vic.gov.au/nvr/> and [Native vegetation \(environment.vic.gov.au\)](http://nativevegetation.environment.vic.gov.au) or please contact your relevant council.

You can find out more about the natural values on your property through NatureKit [NatureKit \(environment.vic.gov.au\)](http://naturekit.environment.vic.gov.au)

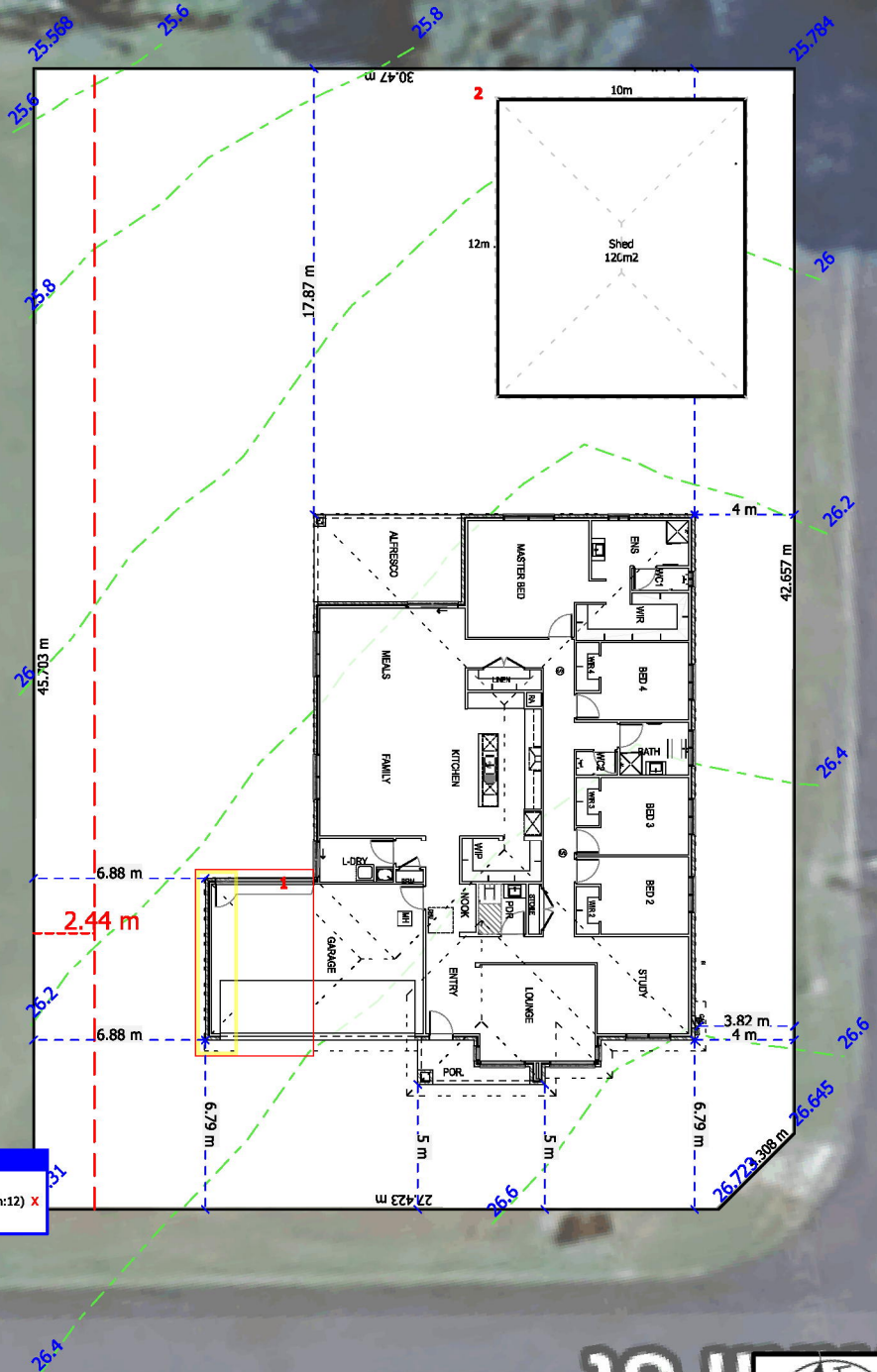


## Proposed Siting of your Sherridon Home

Sherridon Homes Pty Ltd | 56 Barclay Road, Derrimut VIC 3026 | Phone: 1300 188 188 | Email: [info@sherridondesign.com.au](mailto:info@sherridondesign.com.au)

**Customer:** **Date:** 16/06/2025  
**Site Address:** 5 Ruth St **Estate:**  
**Locality:** Metung **State:** VIC  
**Home Design:** ELMONT 340 - - MEDINA **Email/Phone:**

**Incomplete Sub:** No  
**Current Fencing:** None  
**Ceiling Height:** 2.73m  
**Site Coverage:** 26%  
**Site Area:** 1387.91 m2  
**Build Area:** 360.58 m2



**Design Changes**  
1. Moved plan section shown 3m left X  
2. Added Extension: Shed (width:10, length:12) X  
Total Changes: 2

**Note:** This is a preliminary siting and is subject to a clear copy of title and approval of the builder.  
This siting is subject to developer approval, state building regulations and council requirements (where applicable).

**Scale:** 1:300 @ A4

**Consultant:** Cindy Jackiw **Email:** [CindyJ@sherridondesign.com.au](mailto:CindyJ@sherridondesign.com.au) **Phone:** 0439 051 286 (Geo Plan ID: 705295)  
**© GeoSite IT Pty Ltd**

Customer Signature (1)

Date (1)

Customer Signature (2)

Date (2)

**Printed 20/01/2026**

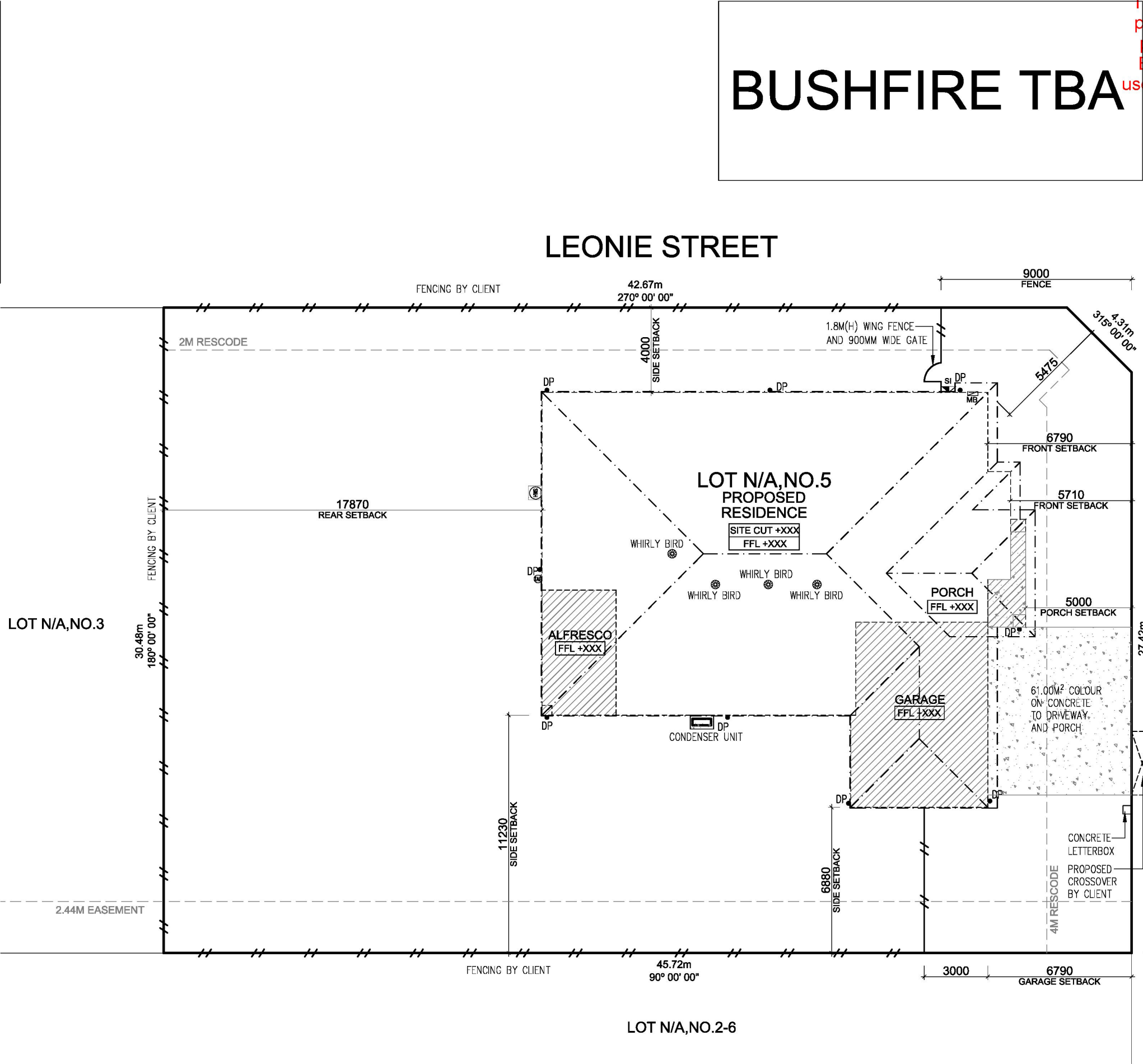
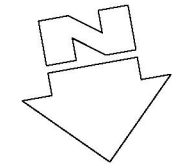
**Page 11 of 26**







SITE COVERAGE ANALYSIS	
GROUND FLOOR BUILDING AREA:	360.89m²
IMPERMEABLE AREAS:	54.95m²
LOT AREA:	1389.00m²
PERMEABILITY	70.06%
SITE COVERAGE	25.98%
REQUIRED GARDEN AREA : OVER 35% FOR LOTS 651sqm & ABOVE	486.15m²
TOTAL GARDEN AREA PROVIDED :	973.16m²
PERCENTAGE OF PROVIDED GARDEN AREA :	70.06%



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REFER TO FINAL DRAINAGE PLANS FOR LOCATIONS OF AGRICULTURAL DRAINS AND SLOTTED TRENCHES

SITE NOTES

SOIL CLASSIFICATION

AS PER SOIL REPORT PROVIDED BY "....."

FILE NO: 000000 DATED: 00.00.00

WIND RATING : XX

SITE CUT AND BATTER

• DWELLING & GARAGE: WAFFLE POD CONCRETE SLAB.

• DEEP SITE SCRAPE & FILL TO R.L. 00.00

• SITE CUT GARAGE TO R.L. 00.00

• FREEBOARD 000 MM

• REBATE TO HOUSE 172 MM

• STEP DOWN TO PORCH 172 MM

• STEP DOWN TO ALFRESCO 172 MM

• STEP DOWN TO GARAGE 50 MM

(REFER TO ENGINEERING DOCUMENTATION: )

INDICATED STEPDOWN

SITE CUT AND FILL TO BE MINIMUM 1.2M FROM DWELLING BOUNDARY AND BATTERED AT NO MORE THAN 45°. SITE CUTS/FILLING WORKS NOT SUPPORTED BY RETAINING WALLS SHALL BE FINISHED WITH A BATTER OF 45 DEGREES AND AN AGRICULTURAL DRAIN AT THE BASE OR A SPOON DRAIN AT THE END OF ANY FUTURE PAVING

ALL SITE EXCAVATION BATTERS TO BE IN ACCORDANCE WITH THE H1D3 SITE PREPARATION & 3.2.1 UN-RETAINED BULK EARTHWORKS-SITE CUT & FILL NCC 2022 ALTERNATIVELY, TO BE IN ACCORDANCE WITH THE ENGINEER'S RECOMMENDATIONS

EXTERNAL WALL FOOTINGS SHALL NOT BE FOUND AT GREATER DEPTHS THAN THE ADJOINING BUILDING FOOTINGS. STOP WORKS AND CONTACT THE OFFICE IMMEDIATELY IF THE ABOVE CANNOT BE ACHIEVED

LEGEND

MB

-METER BOX

GAS

-GAS METER

FENCE

-FENCE

TREE

-TREE

TAP

-TAP

STORM WATER PIT

-STORM WATER PIT

HWS

-HOT WATER SERVICE

SI

-SOLAR INVERTER

FENCING NOTE:

ALL BOUNDARY FENCING TO BE SUPPLIED & INSTALLED BY CLIENT AFTER HANDOVER TO DEVELOPERS REQUIREMENTS. THE BUILDER IS NOT LIABLE FOR ANY ITEMS THE CLIENTS NEED TO COMPLETE TO CONFORM WITH THE DEVELOPERS RESTRICTIONS

DRIVEWAY & PAVING NOTE:

DRIVEWAY & PORCH PAVING TO BE SUPPLIED & INSTALLED BY THE CLIENT TO DEVELOPERS REQUIREMENTS

HEAT PUMP HOT WATER SYSTEM

PROVIDE AKQUA AK-200HPE1 HEAT PUMP WATER HEATER IN LIEU OF SOLAR HOT WATER SYSTEM. THIS SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH THE PLUMBING REGULATIONS 2018

NATIONAL BROADBAND NETWORK

ALL WIRING TO BE INSTALLED IN ACCORDANCE WITH NBN'S REQUIREMENTS AS OUTLINED IN NBN CO PREPARATION AND INSTALLED GUIDE FOR SDUS AND MDUS

EXHAUST FAN NOTE

EXHAUST FANS WILL BE INSTALLED IN ACCORDANCE WITH NCC 2022 P10.8.2.

LETTER BOX NOTE:

LETTERBOX TO BE SUPPLIED & INSTALLED BY CLIENT AFTER HANDOVER TO DEVELOPERS REQUIREMENTS

ALL LANDSCAPE NOTE:

ALL LANDSCAPING TO BE SUPPLIED & INSTALLED BY CLIENT AFTER HANDOVER TO DEVELOPERS REQUIREMENTS. THE BUILDER IS NOT LIABLE FOR ANY ITEMS THE CLIENTS NEED TO COMPLETE TO CONFORM WITH THE DEVELOPERS RESTRICTIONS

NOTE:

NO GAS TO THE PROPERTY

SHERRIDON HOMES

A HIGHER STANDARD

NEWLIVING

56 Barclay Road,  
Derrimut VIC 3026  
CDB-U 50039  
P +613 8390 5000  
E info@sherridonhomes.com.au  
W sherridonhomes.com.au

PLEASE READ CAREFULLY

I / WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I / WE ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$1000.00 VARIATION FEE WILL OCCUR.

SIGNED \_\_\_\_\_ DATE: \_\_\_\_\_  
SIGNED \_\_\_\_\_ DATE: \_\_\_\_\_  
WITNESSED \_\_\_\_\_ DATE: \_\_\_\_\_

SHEET TITLE: SITE

SCALE: 1:200

SHEET SIZE: A3

SHEET: 01 of 19

HOUSE TYPE: ELMONT 340 (LHS)

FACADE: MEDINA

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CLIENT NAME:

JOB ADDRESS: Lot N/A, No. 5 Ruth Street, METUNG, VIC 3904

D.B. No:

B.C. No: 340263

Printed 20/01/2026

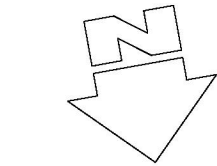
Page 13 of 26

EXHAUST FAN NOTE

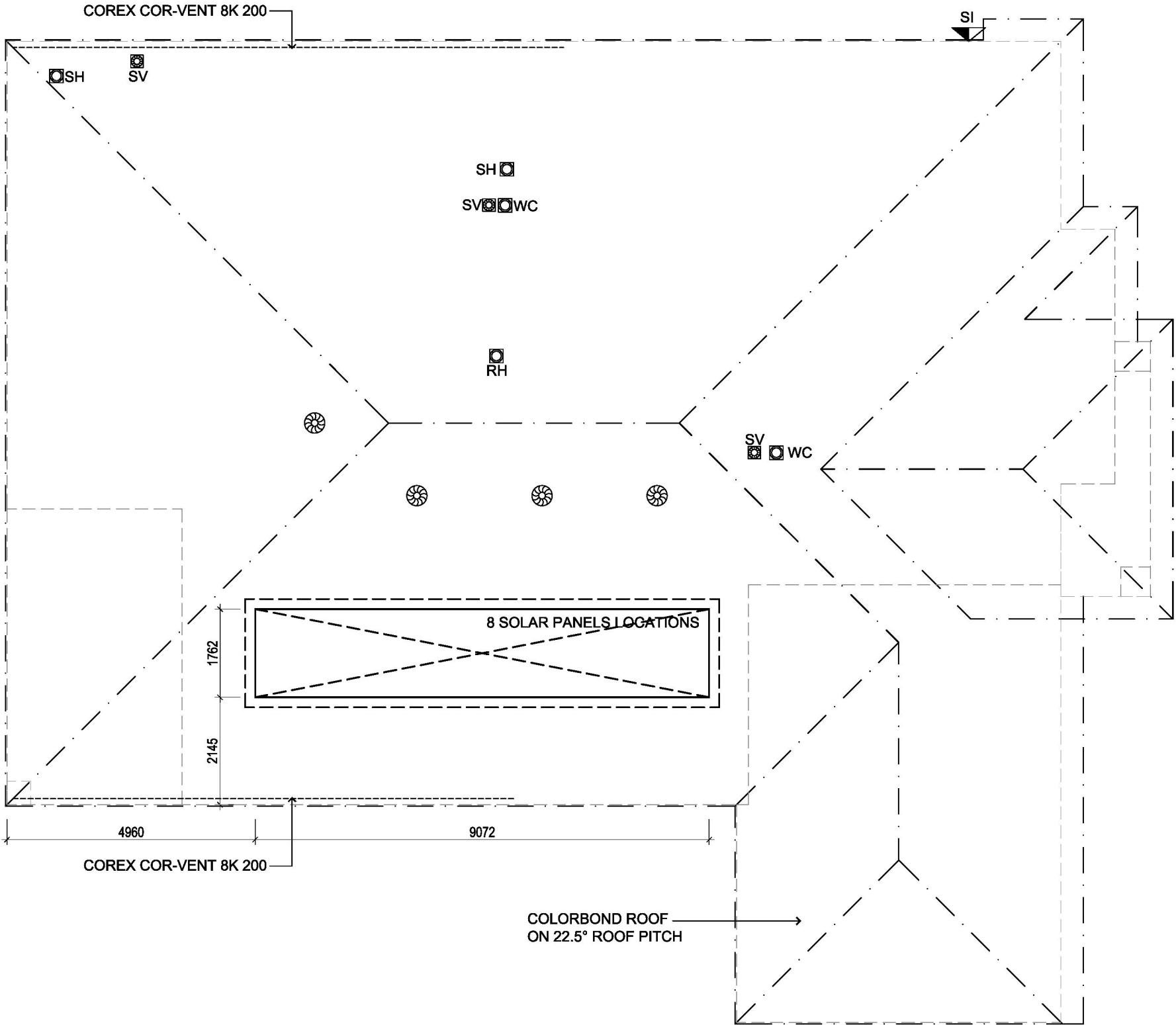
EXHAUST FANS WILL BE INSTALLED IN ACCORDANCE WITH NCC 2022 P10.8.2.

NOTE:

ROOF VENTILATION TO BE APPLIED ON ALL NCC 2022 HOMES.

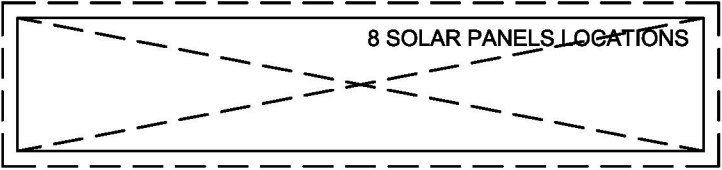
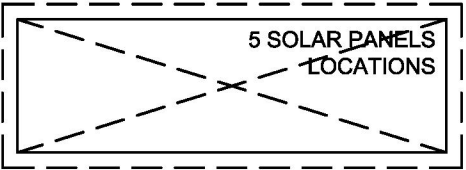
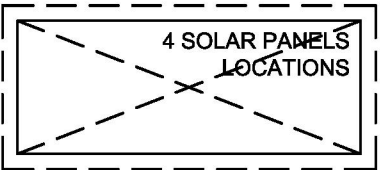
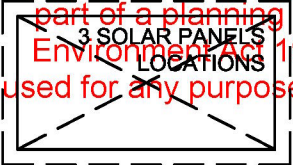


LEGEND	
	-SHOWER EXHAUST VENT
	-RANGEHOOD VENT
	-W.C. EXHAUST VENT
	-LAUNDRY EXHAUST VENT
	-SEWER VENT
	-WHIRLYBIRD
	-EVAPORATIVE COOLER
	-SKYLIGHT
	-SOLAR PANELS
	-SOLAR INVERTER



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NCC 2022 CONDENSATION MANAGEMENT 10.8.3	
<b>VENTILATION REQUIREMENTS</b> ROOF PITCH: ≥ 15 DEGREES = 7,000mm²/m AT EAVES 5,000mm²/m AT RIDGE  ROOF PITCH: 10 - 14.9 DEGREES = 25,000mm²/m AT EAVES 5,000mm²/m AT RIDGE  ROOF PITCH: 10 DEGREES = 25,000mm²/m AT EACH END	<b>ROOF TYPES &amp; VENT PRODUCT</b> <b>LOW LEVEL (EAVE)</b> <ul style="list-style-type: none"><li>• TILED ROOF (UNSARKED) - N/A</li><li>• COLORBOND (UNSARKED) - N/A</li><li>• TILED ROOF (SARKED) - OVER FASCIA VENT G1200N</li><li>• COLORBOND (SARKED) - COR-VENT 8K 200</li></ul> <b>HIGH LEVEL (MAX. 900MM FROM RIDGE)</b> <ul style="list-style-type: none"><li>• TILED ROOF (UNSARKED) - N/A</li><li>• COLORBOND (UNSARKED) - N/A</li><li>• TILED ROOF (SARKED) - BRADFORD WINDMASTER</li><li>• COLORBOND (SARKED) - BRADFORD WINDMASTER</li></ul> <b>BUSHFIRE ZONES (BAL)</b> BUSHFIRE ZONES TO USE BAL RATED PRODUCTS. BAL RATED PRODUCT VALUES DO NOT DIFFER

NCC 2022 CONDENSATION MANAGEMENT 10.8.3					
LOW LEVEL VENTILATION					
COREX COR-VENT 8K 200	8050mm²/m				
VENT SYSTEMS OVER FASCIA VENT G1200N	11000mm²/m				
	Roof Length (m)	Air flow (mm²/lm )	Total Air Flow (mm²)	Vent Product (mm²/lm )	Vent Product total lm required
LOW LEVEL VENT CALC	23.33	7000	163310.00 0000	8050	20.29
HIGH LEVEL VENT					
WINDMASTER NATURAL ROOF VENTILATOR	35800 mm				
	Roof Length	Air flow (mm²/lm )	Total Air Flow (mm²)	Vent Product (mm²)	Number of Vents required **
High Level Vent Calc.	23.33	5000	116650.00	35800	3.29
** Total number of vents to be rounded up					

SHERRIDON HOMES<sup>®</sup>

A HIGHER STANDARD

NEWLIVING

56 Barclay Road,  
Derrimut VIC 3026  
CDB-U 50039  
P +613 8390 5000  
E info@sherridonhomes.com.au  
W sherridonhomes.com.au

PLEASE READ CAREFULLY

I / WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I / M ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$1000.00 VARIATION FEE WILL OCCUR.

SIGNED ..... DATE: .....  
SIGNED ..... DATE: .....  
WITNESSED ..... DATE: .....

SHEET TITLE: ROOF PENETRATION

SCALE: 1:100

SHEET SIZE: A3

SHEET: 02 of 19

HOUSE TYPE: ELMONT 340 (LHS)

FACADE: MEDINA

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CLIENT NAME:

JOB ADDRESS: Lot N/A, No.5 Ruth Street, METUNG, VIC 3904

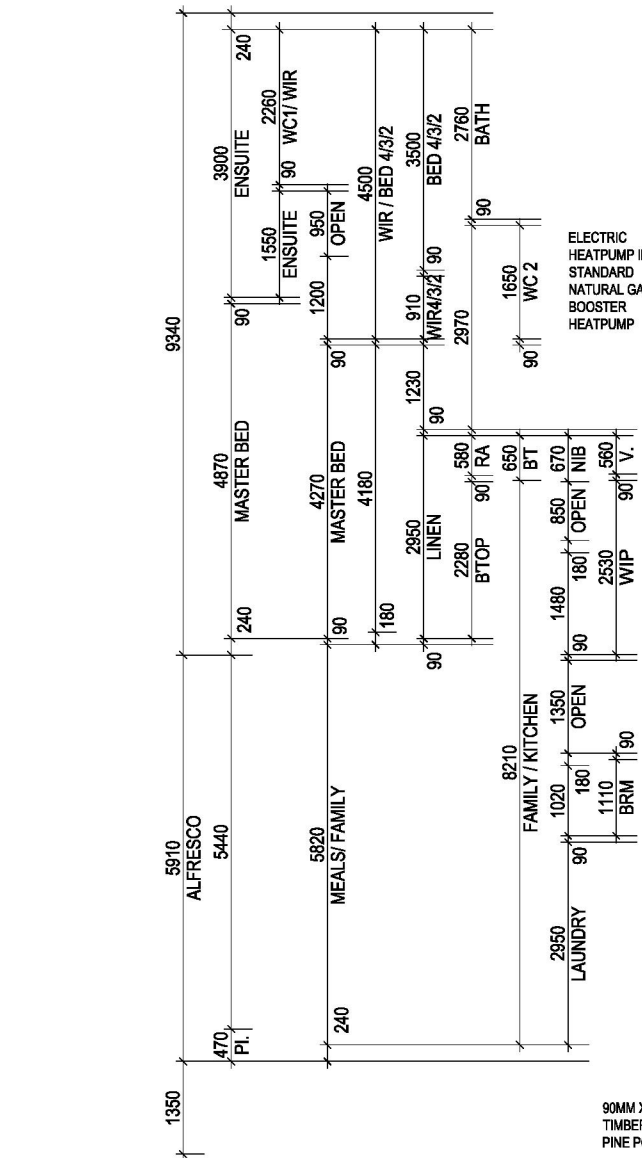
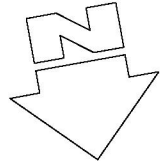
D.B. No:

B.C. No: 340263



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AREA SCHEDULE		
GROUND FL:	278.58m <sup>2</sup>	29.99sq
GARAGE:	55.58m <sup>2</sup>	5.98sq
PORCH:	6.04m <sup>2</sup>	0.65sq
ALFRESCO:	20.69m <sup>2</sup>	2.23sq
TOTAL:	360.89m <sup>2</sup>	38.85sq



<b>EXHAUST FAN NOTE</b>
EXHAUST FANS WILL BE INSTALLED IN ACCORDANCE WITH NCC 2022 P10.8.2.
<b>NCC COMPLIANCE NOTE</b>
REFER TO NCC 2022 COMPLIANCE DETAILS SHEET NO.17 & NO.18 & NO.19

<b>LEGEND</b>
<p>Ⓢ - PROVIDE SMOKE DETECTOR WIRED TO MAINS POWER WITH BATTERY BACK UP IN ACCORDANCE WITH AUSTRALIAN STANDARDS.</p> <p>ⓐ - CONTROL JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 3700.</p> <p>Ⓜ - HOT WATER SERVICE</p> <p>Ⓜ - METER BOX</p> <p>Ⓜ - GAS METER</p> <p>Ⓜ - SOLAR INVERTER</p>

**SHERRIDON HOMES**  
A HIGHER STANDARD

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CDB-U 50039  
P +613 8390 5000  
E info@sherridonhomes.com.au  
W sherridonhomes.com.au

**NEWLIVING**

**PLEASE READ CAREFULLY**

I / WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I / WE ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$1000.00 VARIATION FEE WILL OCCUR.

SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
SIGNED: \_\_\_\_\_ DATE: \_\_\_\_\_  
WITNESSED: \_\_\_\_\_ DATE: \_\_\_\_\_

**SHEET TITLE: GROUND FLOOR PLAN**

**SCALE:** 1:120

**SHEET SIZE:** A3

**SHEET:** 03 of 19

**HOUSE TYPE:** ELMONT 340 (LHS)

**FAÇADE:** MEDINA

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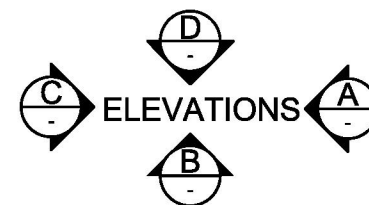
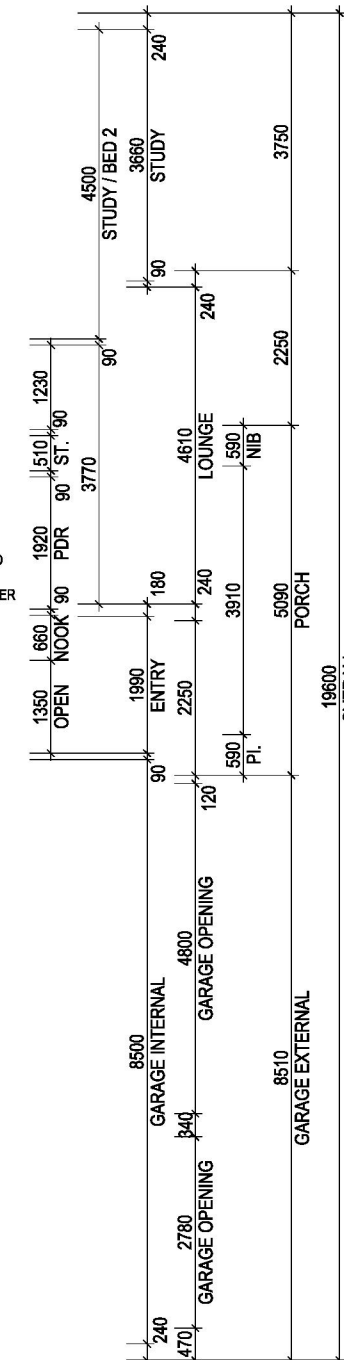
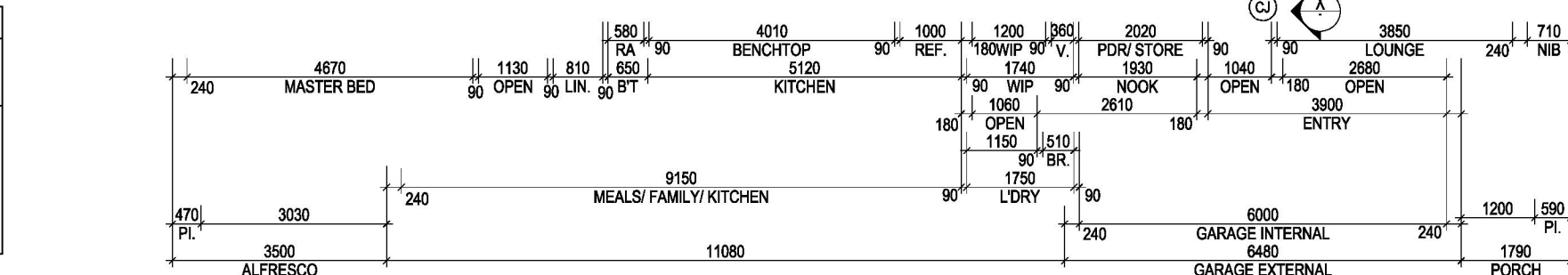
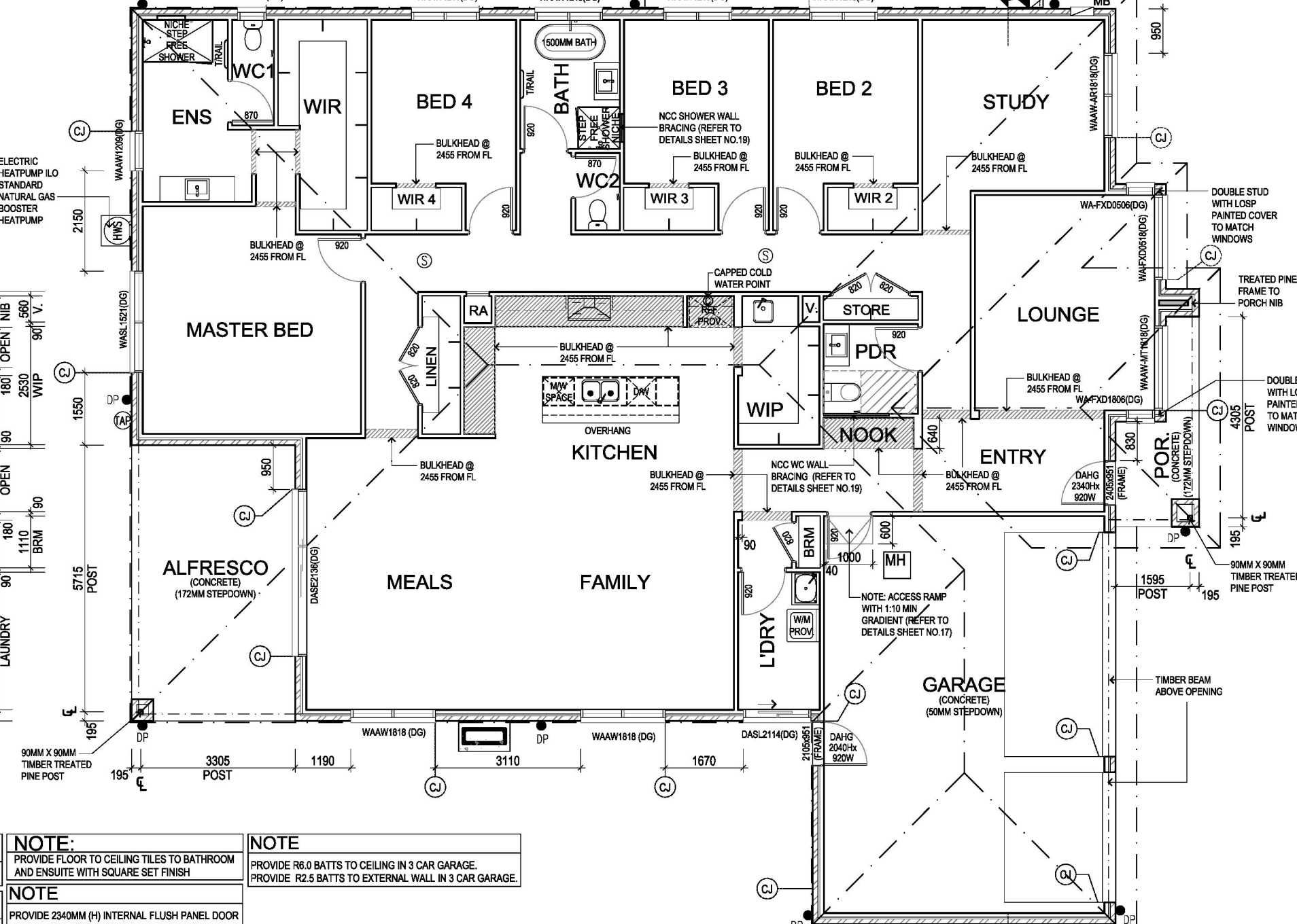
**JOB ADDRESS:** Lot N/A, No.5 Ruth Street, METUNG, VIC 3904

**D.B. No:**

**B.C. No:** 340263

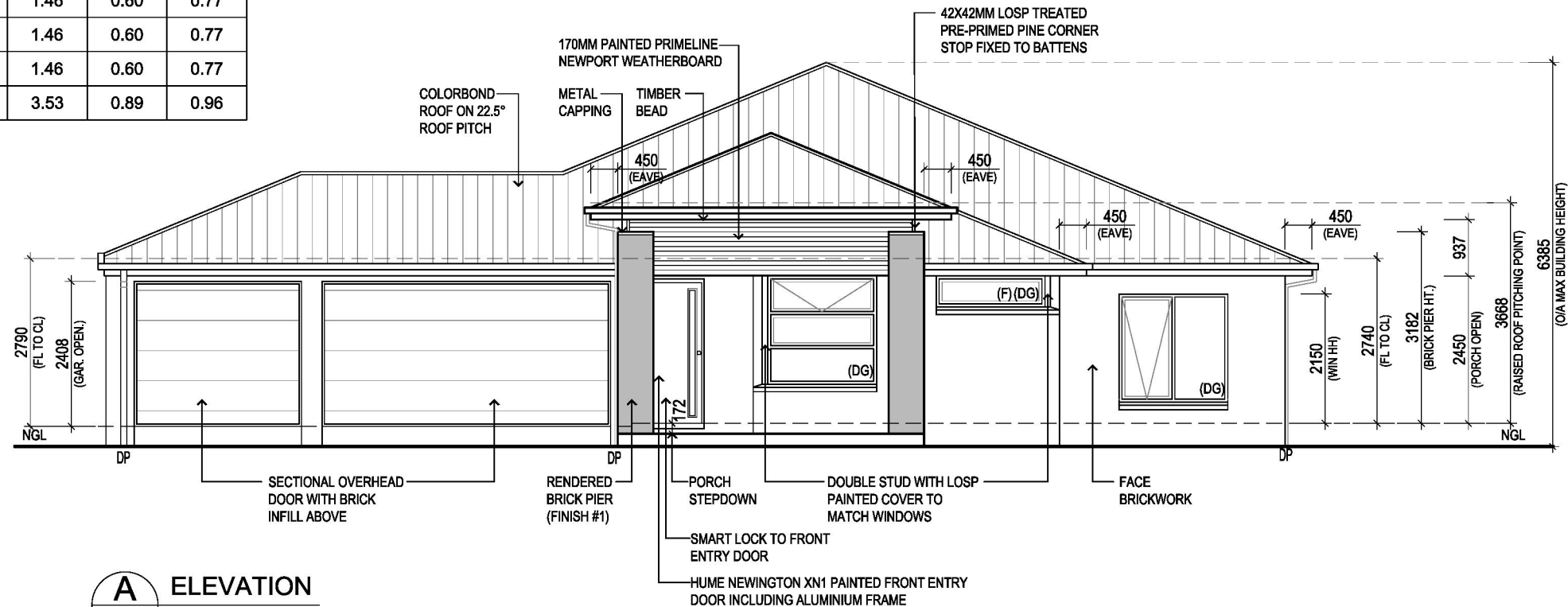
**GENERAL NOTES**

- SOLID HATCHED VOID INDICATE THEY CANNOT BE REMOVED, RELOCATED OR ALTERED. FLOOR JOISTS AND TRUSSES DO NOT BE RELOCATED.
- Ⓢ INDICATES RAU STRAITS TO STAIRS.
- ALL DIMENSIONS ARE TO STUD FRAME PLASTER AND SKIRTING BOARDS NOT CONSIDERED.
- ALL WINDOWS AND EXTERNAL DOORS ARE INDICATED AS NOMINAL SIZES REFER TO MANUFACTURES SCHEDULE FOR ACTUAL SIZING TOUGHEN GLAZING TO ENSUITE AND BATHROOM.

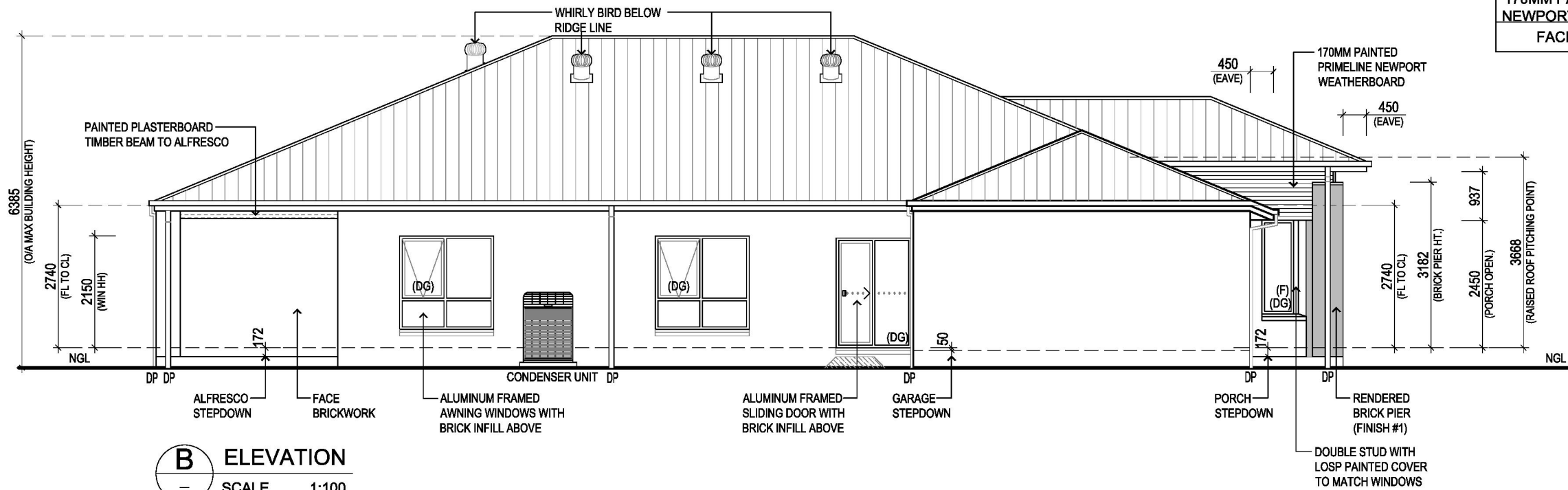


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LIGHT / VENTILATION CALCULATION					
ROOM	AREA (M²)	LIGHT (minimum 10%)		VENTILATION (minimum 5%)	
		REQUIRE D (M²)	PROVIDE D (M²)	REQUIRE D (M²)	PROVIDE D (M²)
MASTER BED	21.90	2.19	2.96	1.10	1.52
STUDY	15.15	1.52	2.74	0.76	1.48
BED 2	11.93	1.19	1.46	0.60	0.77
BED 3	11.93	1.19	1.46	0.60	0.77
BED 4	11.93	1.19	1.46	0.60	0.77
LOUNGE	17.75	1.78	3.53	0.89	0.96



**A** ELEVATION  
SCALE 1:100



**B** ELEVATION  
SCALE 1:100

**GENERAL NOTES**

WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.  
BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 190MM IN ACCORDANCE WITH NCC 2022 11.2.6 THRESHOLDS.  
DIMENSIONS RELATING TO FFL & FCH REFER TO OVERALL TOP & BOTTOM PLATE DIMENSIONS, NOT ACTUAL CEILING HEIGHTS.

**MATERIAL FINISH LEGEND:**

- FACE BRICKWORK
- RENDER BRICKWORK (FINISH #1)
- 170MM PAINTED PRIMELINE NEWPORT WEATHERBOARD
- RENDERED MASTERWALL (FINISH #1)
- PAINTED PLASTERBOARD

**NOTE**

GRADE SOIL UP TO EXTERNAL DOORWAY, BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 190mm IN ACCORDANCE WITH NCC 11.2.6 THRESHOLDS.

**NOTE**

ALUMINIUM FRAMED AWNING WINDOWS TO FRONT FACADE ONLY (UNLESS NOTED OTHERWISE)

ALUMINIUM FRAMED SLIDING WINDOWS TO SIDE AND REAR ELEVATIONS (UNLESS NOTED OTHERWISE)

**NOTE**

600mm EAVES FROM OUTSIDE OF FRAME TO FRONT FACADE ONLY. 2150mm WINDOW HEAD HT. TO SIDE AND REAR (UNLESS NOTED OTHERWISE)

**FACADE MATERIALS RATIO TABLE**

MATERIAL TYPE	AREA (M²)	PERCENTAGE
FACADE AREA EXCLUDING DOORS & WINDOWS	28.62	100.00%
RENDER COLOUR #1	5.00	17.47%
170MM PAINTED PRIMELINE NEWPORT WEATHERBOARD	3.83	13.38%
FACE BRICKWORK	19.79	69.15%

**PLEASE READ CAREFULLY**

I / WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I / WE ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$1000.00 VARIATION FEE WILL OCCUR.

SIGNED ..... DATE: .....  
SIGNED ..... DATE: .....  
WITNESSED ..... DATE: .....

**SHEET TITLE: ELEVATIONS 1**

SCALE: 1:100

SHEET SIZE: A3

SHEET: 04 of 19

**HOUSE TYPE: ELMONT 340 (LHS)**

FACADE: MEDINA

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**CLIENT NAME:**

JOB ADDRESS: Lot N/A, No.5 Ruth Street, METUNG, VIC 3904

D.B. No:

B.C. No: 340263



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## GENERAL NOTES

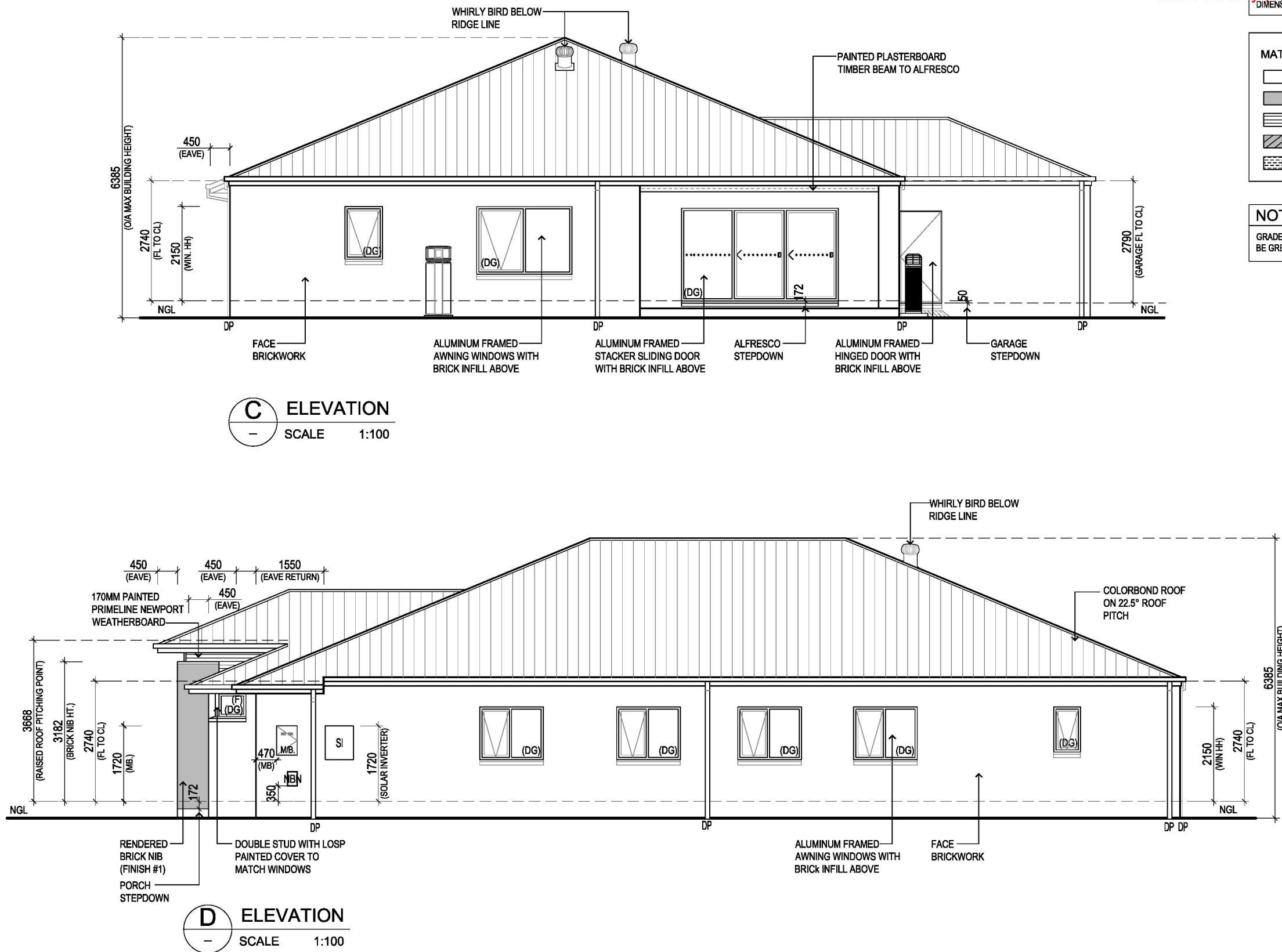
WINDOW HEAD HEIGHTS INDICATED ARE NOMINAL AND MAY VARY DUE TO VARIANCES IN BRICK SIZES.  
BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 190MM IN ACCORDANCE WITH NCC 2022 '11.2.6 THRESHOLDS'.  
DIMENSIONS RELATING TO FACE CL REFER TO COVERED TOP & BOTTOM FLOOR DIMENSIONS, NOT ACTUAL CEILING HEIGHTS.

## MATERIAL FINISH LEGEND:

-  - FACE BRICKWORK
-  - RENDER BRICKWORK (FINISH #1)
-  - 170MM PAINTED PRIMELINE NEWPORT WEATHERBOARD
-  - RENDERED MASTERWALL (FINISH #1)
-  - PAINTED PLASTERBOARD

## NOTE

GRADE SOIL UP TO EXTERNAL DOORWAY, BACKFILL TO EXTERNAL DOORS NOT TO BE GREATER THAN 190mm IN ACCORDANCE WITH NCC 11.2.6 THRESHOLDS.



## PLEASE READ CAREFULLY

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SIGNED \_\_\_\_\_ DATE: \_\_\_\_\_  
SIGNED \_\_\_\_\_ DATE: \_\_\_\_\_  
WITNESSED \_\_\_\_\_ DATE: \_\_\_\_\_

## SHEET TITLE: ELEVATIONS 2

SCALE: 1:100

SHEET SIZE: A3

SHEET: 05 of 19

## HOUSE TYPE: ELMONT 340 (LHS)

FACADE: MEDINA

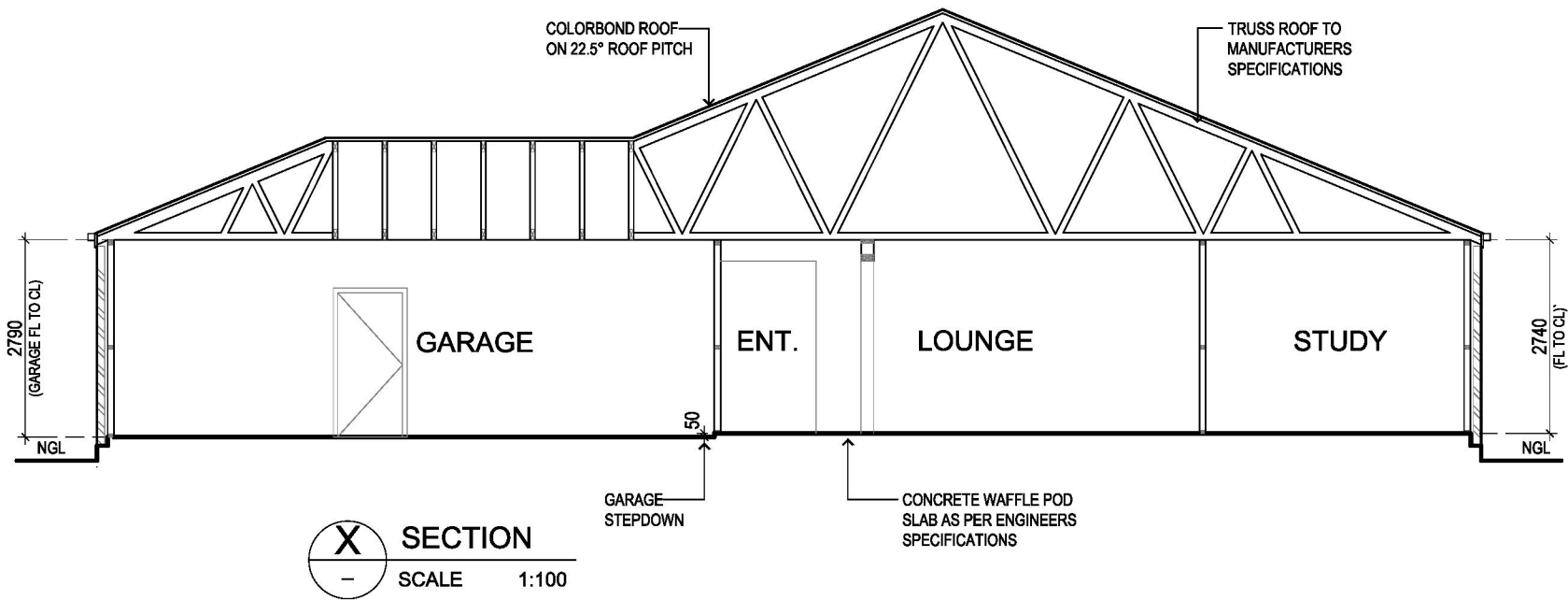
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SIGNED ..... DATE: .....  
SIGNED ..... DATE: .....  
WITNESSED ..... DATE: .....

**SHEET TITLE:** SECTION

**SCALE:** 1:100

**SHEET SIZE:** A3

**SHEET:** 06 of 19

**HOUSE TYPE:** ELMONT 340 (LHS)

**FACADE:** MEDINA

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**CLIENT NAME:**

**JOB ADDRESS:** Lot N/A, No. 5 Ruth Street, METUNG, VIC 3904

**D.B. No:**

**B.C. No:** 340263



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## GENERAL NOTES

- NOTE: SMOKE ALARMS SHOWN ON PLANS ARE TO BE INTERCONNECTED, WITH BATTERY BACKUP AND INSTALLED IN ACCORDANCE WITH H306 SMOKE ALARMS AND EVACUATION LIGHTING.
  - PART 9.5.1 OF NCC 2022
  - PART 9.5.2 OF NCC 2022
  - PART 9.5.4 OF NCC 2022
- PROVIDE LIGHT, GAS POINT & SPP IN ROOF SPACE FOR DUCTED HEATING
- SWITCH FOR ROOF SPACE LIGHT TO BE WITHIN 900MM OF MANHOLE
- WHERE POSSIBLE LIGHT POINTS IN ROOF SPACE SHALL NOT BE CLOSER THAN 1800MM ABOVE PLATFORM
- OPTIONAL: EXTERNAL WEATHERPROOF POWER SUPPLY FOR REVERSE CYCLE COOLING UNITS SHOULD BE ON AN ISOLATED SWITCH.

## LEGEND

- PROVIDE SMOKE DETECTOR WIRED TO MAINS POWER WITH BATTERY BACK UP IN ACCORDANCE WITH AUSTRALIAN STANDARDS.
- CONTROL JOINT IN BRICKS TO BE IN ACCORDANCE WITH AS 3700.
- HOT WATER SERVICE
- METER BOX
- GAS METER
- SOLAR INVERTER

## GLASS & GLAZING NOTES

ALL EXTERNAL WINDOWS AND DOOR ARE TO BE DESIGNED AND TESTED IN ACCORDANCE WITH AS 2047, INCLUDING PROVISIONS FOR SUBSILLS AND FLASHING IN ANY PROPRIETARY SYSTEMS OFFERED FOR THIS PRODUCT  
ALL GLAZING SHALL BE IN ACCORDANCE WITH AS 1288-2021 WHEREIN GLAZING WITHIN 500MM OF THE FLOOR LEVEL SHALL BE 5MM THICKENED ANNEALED, GLAZED DOORS ASSOCIATED SIDE PANELS SHALL BE 5.38MM LAMINATED SAFETY GLASS AND BATHROOM WINDOWS WITHIN 1.5M OF THE BATH FOR 500MM FROM THE SHOWER ENCLOSURE SHALL BE 3MM TOUGHENED SAFETY GLASS

## OPTION 2 NBN - BASIC KIT WITH ENCLOSURE

- 1 OF - 600 SERIES HOME HUB
- 2 OF - CABLED TELEPHONE POINTS
- 1 OF - DATA POINT
- 1 OF - 32 CONDUIT FROM MDF TO HUB LOCATION
- 1 OF - 1 X DRAW CABLE (CAT 5E) TO PROVIDE CONNECTION

## EXHAUST FAN NOTE

EXHAUST FANS WILL BE INSTALLED IN ACCORDANCE WITH NCC 2022 P10.8.2.

## ELECTRICAL LOCATIONS

PLEASE NOTE:  
ADAPTO PLANS TAKE PRECEDENCE OVER STANDARD ELECTRICAL LAYOUT

## NOTE:

PROVIDE FOUR CCTV CAMERAS

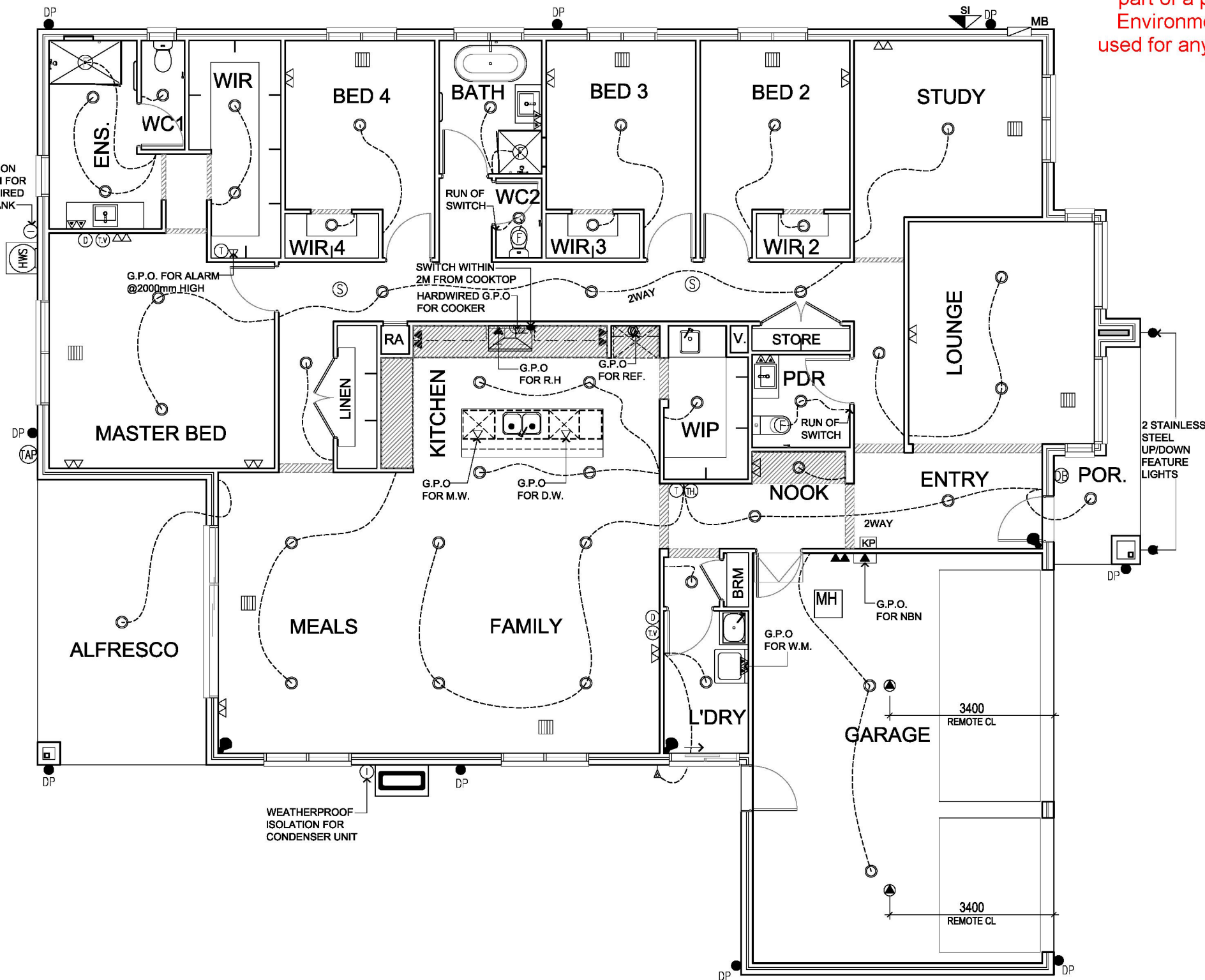
## NOTE:

PROVIDE HYBRID ALARM KIT.

## NOTE:

PROVIDE 3 PHASE POWER.

ISOLATION  
SWITCH FOR  
HARDWIRED  
HWS TANK



ELECTRICAL LEGEND	
	- LED DOWNLIGHT
	- LED DOWNLIGHT UPGRADE
	- INT. WALL MOUNTED BATTEN HOLDER 1800H
	- EXT. WALL MOUNTED BATTEN HOLDER 1800H
	- INT. FLUSH MOUNT STAIR LIGHT 300H
	- WALL MOUNTED FLOODLIGHT
	- WALL MOUNTED DBL FLOODLIGHT WITH SENSOR
	- BATTEN HOLDER INTERNAL: FEATURE PENDANT
	- SINGLE POWERPOINT 300mm HIGH
	- DOUBLE POWERPOINT 300mm HIGH
	- SINGLE POWERPOINT 1100mm HIGH
	- DOUBLE POWERPOINT 1100mm HIGH
	- SINGLE POWERPOINT 1500mm HIGH
	- DOUBLE POWERPOINT 1500mm HIGH
	- HARD WIRED GPO
	- SINGLE POWERPOINT 1800mm HIGH
	- GARAGE DOOR REMOTE GPO
	- EXHAUST FAN
	- SMOKE DETECTOR (HARD WIRED)
	- DOUBLE EXTERNAL GPO
	- TV POINT
	- TELEPHONE POINT
	- DATA POINT
	- METER BOX
	- GAS METER
	- HOT WATER SERVICE
	- 600L DOUBLE FLUORESCENT LIGHT
	- IXL TASTIC 2 GLOBE
	- IXL TASTIC 4 GLOBE
	- REVERSE DUCTED HEATING/COOLING OUTLET
	- THERMOSTAT
	- VIDEO INTERCOM EXTERNAL SCREEN LOCATION
	- VIDEO INTERCOM INTERNAL SCREEN LOCATION
	- ISOLATION SWITCH
	- MANHOLE LOCATION
	- SOLAR INVERTER
	- ALARM SENSOR
	- ALARM KEYPAD
	- STAINLESS STEEL UP/DOWN FEATURE LIGHT
	- ISOLATION SWITCH INDUCTION
	- CAPPED COOL WATER POINT TO FRIDGE

## ARTIFICIAL LIGHTING NOTES

PROVISION OF ARTIFICIAL LIGHTING IN ACCORDANCE WITH NCC 2022 PART 13.7.6  
THE LAMP POWER DENSITY OR ILLUMINATION POWER DENSITY OF ARTIFICIAL LIGHTING EXCLUDING HEATERS THAT EMIT LIGHT MUST NOT EXCEED  
-DWELLING- 5W/M2  
-VERANDAH, BALCONY, PORCH - 4W/M2  
-GARAGE - 3W/M2  
WHERE ILLUMINATION POWER DENSITY IS USED IT MAY BE INCREASED BY DIVIDING IT BY THE ILLUMINATION POWER DENSITY ADJUSTMENT FACTOR IN TABLE 13.7.6.6 WHERE APPLICABLE

ARTIFICIAL LIGHT AROUND THE PERIMETER OF A BUILDING MUST  
- BE CONTROLLED BY A DAYLIGHT SENSOR OR  
- HAVE AN AVERAGE LIGHT SOURCE EFFICACY OF LESS THAN 40 LUMENS/W

ALL SMOKE DETECTORS ARE TO BE INTERCONNECTED

ALL DOWNLIGHTS ARE TO BE NON VENTED AND SEALED

ALL CEILING PENETRATIONS ARE **INDICATIVE ONLY** FINAL LOCATION MAY CHANGE DUE TO STRUCTURAL COMPONENTS OR HEATING LAYOUTS AS ADVISED BY THE MANUFACTURER

## PROVISION OF ARTIFICIAL LIGHTING IN ACCORDANCE WITH NCC 2022 13.7.6

AREA	AREA (M2)	No OF LIGHTS (10W)	TOTAL PROPOSED WATTAGE (W)	WATTS PER M2
GF.DWELLING	278.58	40	400	1.44
GARAGE	55.58	2	20	0.36
PORCH	6.04	1	10	1.66
ALFRESCO	20.69	1	10	0.48

## PLEASE READ CAREFULLY

I / WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I / M ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$1000.00 VARIATION FEE WILL OCCUR.

SIGNED ..... DATE: .....  
SIGNED ..... DATE: .....  
WITNESSED ..... DATE: .....

## SHEET TITLE: ELECTRICAL GROUND FLOOR PLAN

SCALE: 1:100

SHEET SIZE: A3

SHEET: 07 of 19

## HOUSE TYPE: ELMONT 340 (LHS)

FACADE: MEDINA

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## CLIENT NAME:

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D.B. No:

B.C. No: 340263

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Page 19 of 26

SHERRIDON  
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NEWLIVING

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W sherridonhomes.com.au



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SIGNED ..... DATE: .....  
SIGNED ..... DATE: .....  
WITNESSED ..... DATE: .....

SHEET TITLE: ELECTRICAL GROUND FLOOR PLAN (empty)

SCALE: 1:100

SHEET SIZE: A3

SHEET: 08 of 19

HOUSE TYPE: ELMONT 340 (LHS)

FACADE: MEDINA

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FLOORING SCHEDULE

GROUND FL.	CARPET:	90.68m <sup>2</sup>	9.76sq
	TILES:	153.17m <sup>2</sup>	16.49sq
TOTAL:		243.85m <sup>2</sup>	26.25sq

FLOORING LEGEND



CARPET



TILES



PLEASE READ CAREFULLY

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SIGNED ..... DATE: .....  
SIGNED ..... DATE: .....  
WITNESSED ..... DATE: .....

SHEET TITLE: GF FLOOR COVERING PLAN

SCALE: 1:100

SHEET SIZE: A3

SHEET: 09 of 19

HOUSE TYPE: ELMONT 340 (LHS)

FACADE: MEDINA

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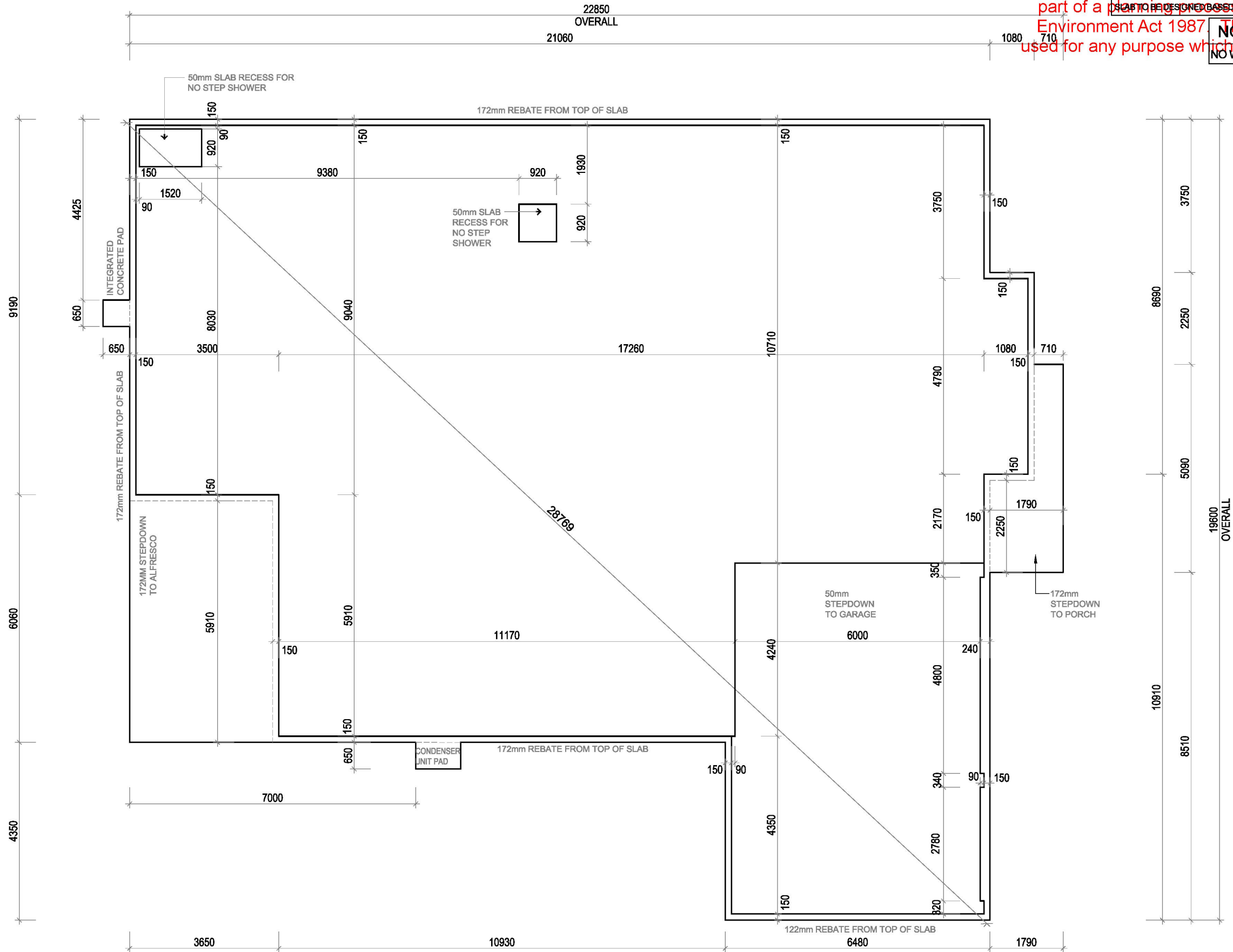
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SLAB NOTES

REFER TO GENERAL NOTES FOR SLAB PENETRATIONS REFER TO STRUCTURAL ENGINEERING PLANS FOR CONCRETE SLAB CONSTRUCTION. SLAB TO BE DESIGNED BASED ON SOIL CLASSIFICATION AS PER AS 2870.

NOTE:

NO WELPHOLES REQUIRED TO PORCH

PLEASE READ CAREFULLY

I / WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I / M ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$1000.00 VARIATION FEE WILL OCCUR.

SIGNED ..... DATE: .....  
SIGNED ..... DATE: .....  
WITNESSED ..... DATE: .....

SHEET TITLE: SLAB PLAN

SCALE: 1:100

SHEET SIZE: A3

SHEET:

HOUSE TYPE: ELMONT 340 (LHS)

FACADE: MEDINA

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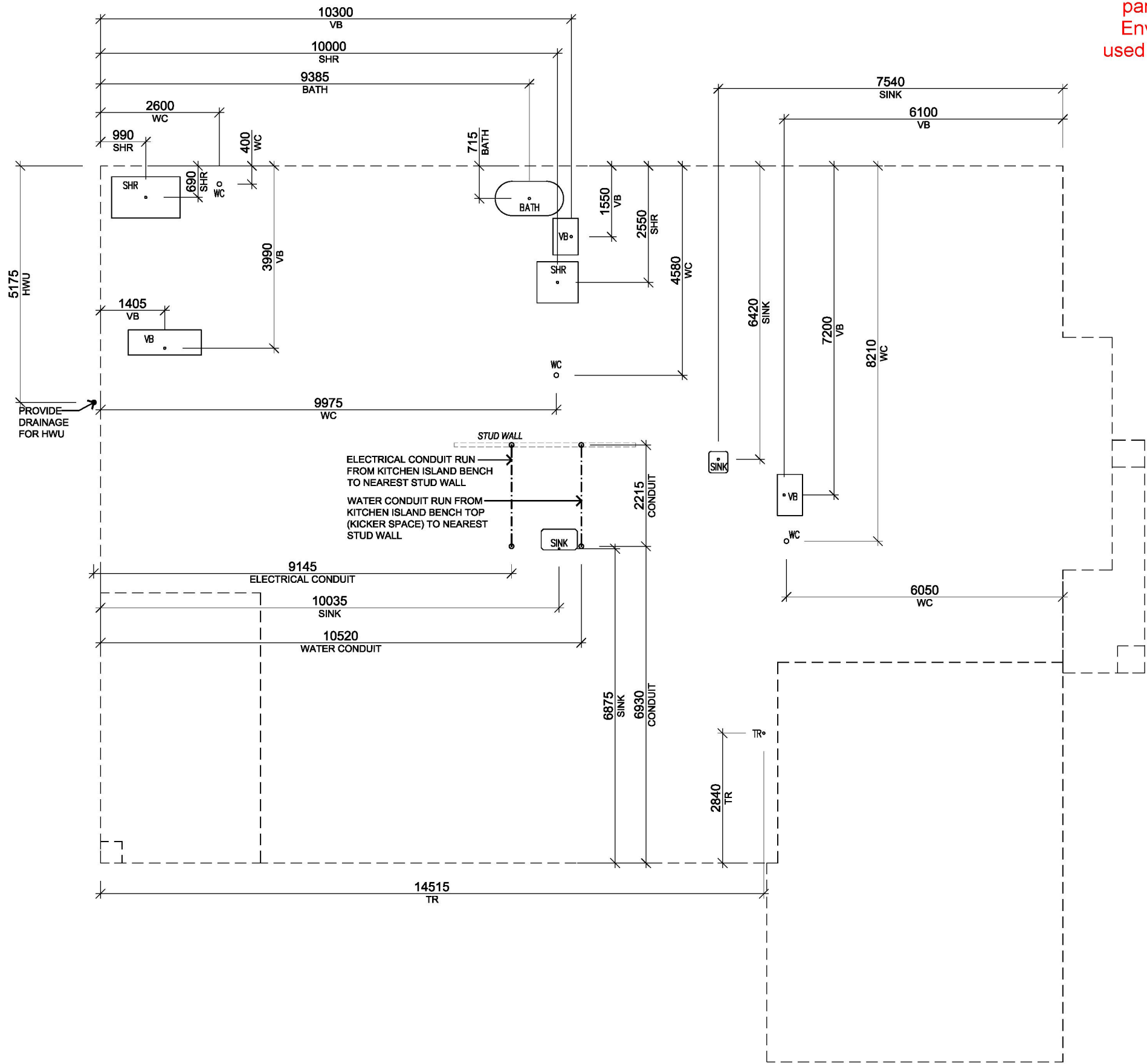
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HYDRO NOTES

REFER TO HYDRO PLAN FOR SLAB PENETRATIONS. REFER TO STRUCTURAL ENGINEERING PLAN FOR CONCRETE SLAB PENETRATIONS. SLAB TO BE DESIGNED BASED ON SOIL CLASSIFICATION AS PER AS 2870.

PLEASE READ CAREFULLY

I / WE ACKNOWLEDGE THAT THESE PLANS ARE CORRECT & REFLECT ALL THE ITEMS REQUESTED IN OUR BUILDING CONTRACT WITH SHERRIDON HOMES PTY LTD. I / M ALSO AWARE THAT IF ANY FURTHER CHANGES ARE REQUIRED TO BE MADE A \$1000.00 VARIATION FEE WILL OCCUR.

SIGNED ..... DATE: .....  
SIGNED ..... DATE: .....  
WITNESSED ..... DATE: .....

SHEET TITLE: HYDRO PLAN

SCALE: 1:100

SHEET SIZE: A3

SHEET

HOUSE TYPE: ELMONT 340 (LHS)

FACADE: MEDINA

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B.C. No: 340263





3D View View & Edit in 3D: <https://www.eurekagarages.com.au/request-a-quote/shed-designer.html#w1IJOZBW2pb/0>

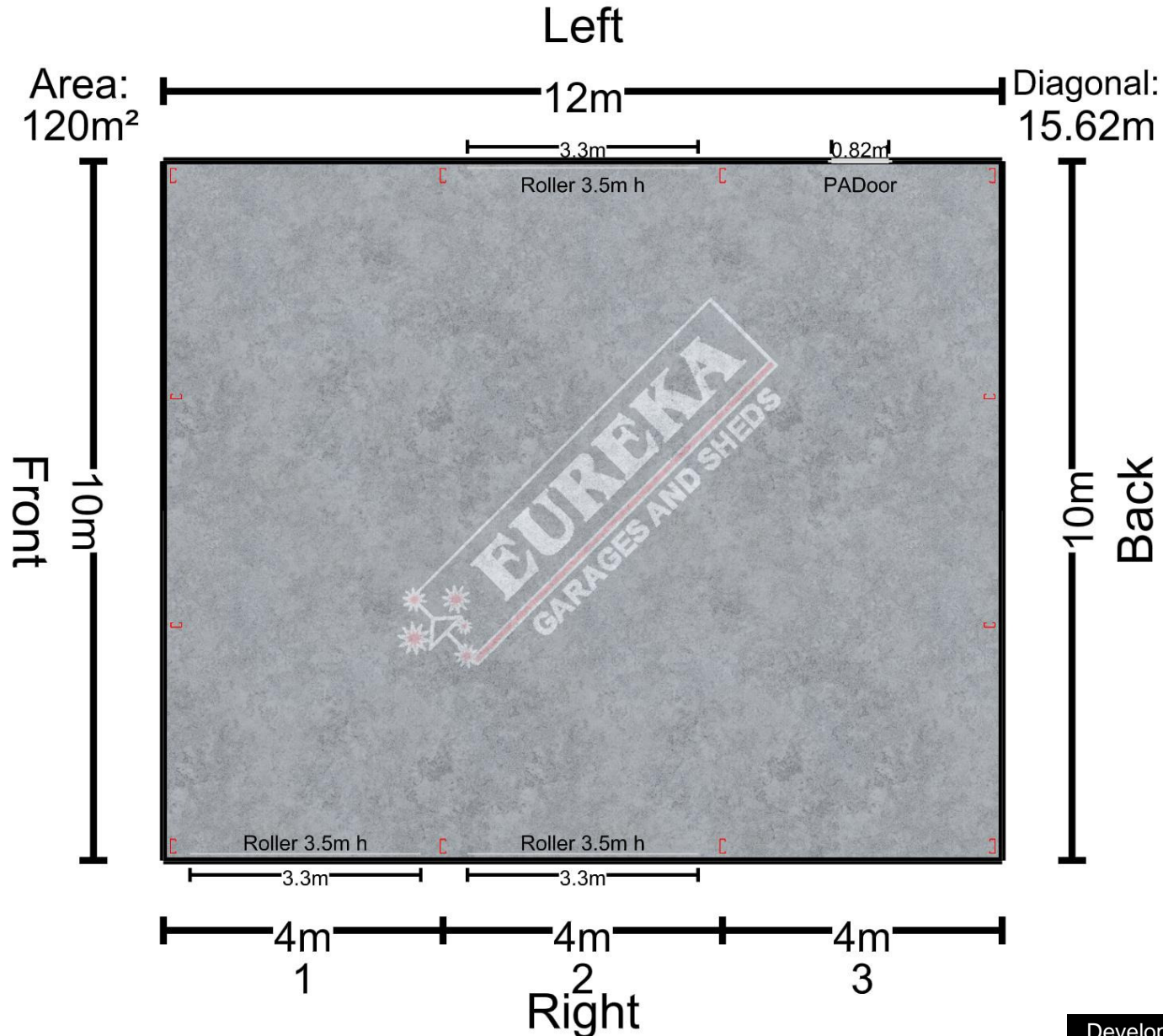






Floor Plan

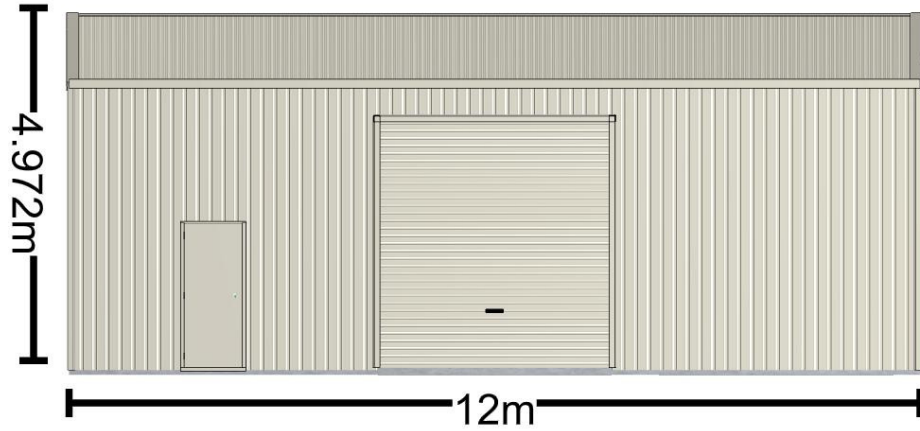
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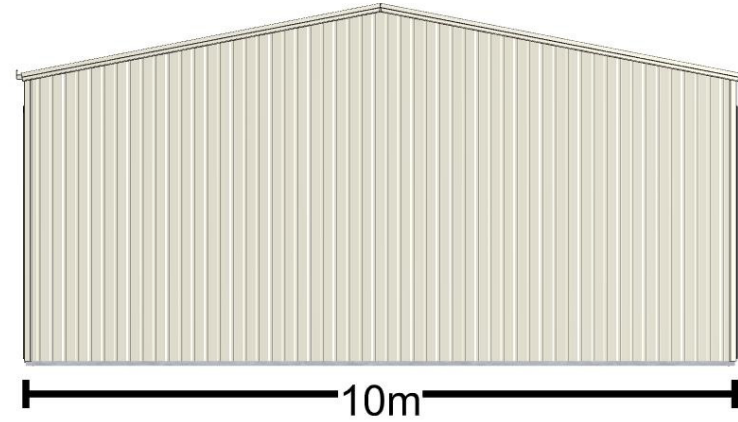


## Elevations

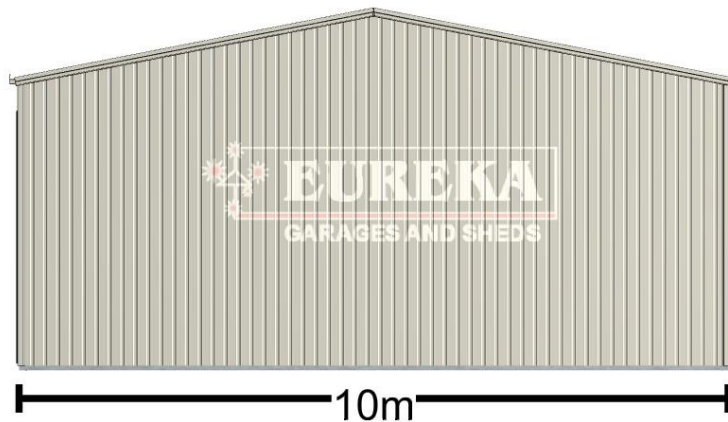
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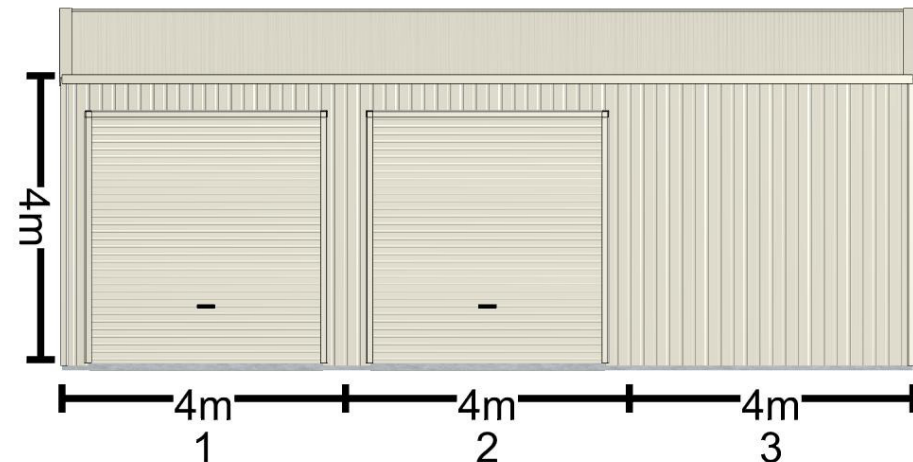
Left



Front



Back



Right