

# NOTICE OF AN APPLICATION FOR PLANNING PERMIT

<b>The land affected by the application is located at:</b>	<b>1230 Swan Reach Road MOSSIFACE VIC 3885</b> <b>Lot: 2 PS: 903413</b>
<b>The application is for a permit to:</b>	<b>Use and Development for a Dwelling</b>
<b>A permit is required under the following clauses of the planning scheme:</b>	
<b>Planning Scheme Clause</b>	<b>Matter for which a permit is required</b>
35.07-1 (FZ)	Use the land for a Dwelling
35.07-4 (FZ)	Construct or carry out a building or works - Dwelling
35.07-4 (FZ)	Construct a building (Dwelling) within nominated setbacks
<b>The applicant for the permit is:</b>	<b>Development Solutions Victoria Pty Ltd</b>
<b>The application reference number is:</b>	<b>5.2025.385.1</b>

You may look at the application and any documents that support the application free of charge at: <https://www.eastgippsland.vic.gov.au/building-and-development/advertised-planning-permit-applications>

You may also call 5153 9500 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, East Gippsland Shire. This can be done during office hours and is free of charge.

Any person who may be affected by the granting of the permit may object or make other submissions to the responsible authority.

**An objection must** ♦ **be made to the Responsible Authority in writing,**  
♦ **include the reasons for the objection, and**  
♦ **state how the objector would be affected.**

The responsible authority must make a copy of every objection available at its office for any person to inspect during office hours free of charge until the end of the period during which an application may be made for review of a decision on the application.

<b>The Responsible Authority will not decide on the application before:</b>	<b>Subject to the applicant giving notice</b>
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If you object, the Responsible Authority will tell you its decision.

**April McDonald**

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**From:** Snapforms Notifications <no-reply@snapforms.com.au>  
**Sent:** Monday, 24 November 2025 3:00 PM  
**To:** Planning Unit Administration  
**Subject:** Planning Permit application  
**Attachments:** APPENDIX B Development Plans.pdf; APPENDIX A Plan of Subdivision.pdf; APPENDIX D Farm Management Plan.pdf; 25073 Planning Submission.pdf; APPENDIX B Colour Schedule.pdf; APPENDIX C Land Capability Assessment.pdf; APPENDIX A Copy of Title.PDF; 25073 Letter to Council.pdf; Planning\_Permit\_Application\_2025-11-24T14-59-38\_29105463\_0.pdf

## Planning Permit Application

A "Planning Permit Application" has been submitted via the East Gippsland Shire Council website, the details of this submission are shown below:

**Business trading name:** Development Solutions Victoria Pty Ltd

**Email address:** admin@devsolvic.com.au

**Postal address :** 48 Bailey Street, Bairnsdale Vic 3875

**Preferred phone number:** 0351524858

**Owner's name:**

**Owner's business trading name (if applicable):** c/- Development Solutions Victoria Pty Ltd

**Owner's postal address:** 48 Bailey Street, Bairnsdale Vic 3875

**Street number:** 1230

**Street name:** Swan Reach Road

**Town:** Mossiface

**Post code:** 3885

**Lot number:** 2

**Plan number:** 903413Q

**Other Legal Description:** Vol 12358 Fol 503

**Is there any encumbrance on the Title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?:** No

**Will the proposal result in a breach of a registered covenant restriction or agreement?:** No



**Existing conditions :** Contains an old dwelling that is non-habitable currently used for storage, multiple agricultural buildings and cattle yards.

**Description of proposal :** Use and Development of a Dwelling within nominated setbacks

**Estimated cost of development:** \$570,000

**Has there been a pre-application meeting:** No

**Your reference number:** 25073

**ExtraFile:** 3

**Invoice Payer:** Development Solutions Victoria Pty Ltd

**Address for Invoice:** 48 Bailey Street, Bairnsdale 3875

**Invoice Email:** admin@devsolvic.com.au

**Primary Phone Invoice:** 0351524858

**Declaration:** Yes

**Authority Check:** Yes

**Notice Contact Check:** Yes

**Notice check 2:** Yes

**Privacy Statement Acknowledge:** Yes

**Plans:** [APPENDIX B Development Plans.pdf](#), [APPENDIX B Colour Schedule.pdf](#)

**Full copy of Title:** [APPENDIX A Plan of Subdivision.pdf](#), [APPENDIX A Copy of Title.PDF](#)

**2. Supporting information/reports:** [APPENDIX D Farm Management Plan.pdf](#)

**Planning report:** [25073 Planning Submission.pdf](#)

**1. Supporting information/reports:** [APPENDIX C Land Capability Assessment.pdf](#)

**3. Supporting information/reports:** [25073 Letter to Council.pdf](#)

## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 3

VOLUME 12358 FOLIO 503

Security no : 124130156916U  
Produced 24/11/2025 11:07 AM

### LAND DESCRIPTION

Lot 2 on Plan of Subdivision 903413Q.

PARENT TITLES :

Volume 00666 Folio 117      Volume 08724 Folio 122

Created by instrument PS903413Q 16/02/2022

### REGISTERED PROPRIETOR

Estate Fee Simple  
Sole Proprietor

### ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

### DIAGRAM LOCATION

SEE PS903413Q FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 1230 SWAN REACH ROAD MOSSIFACE VIC 3885

### ADMINISTRATIVE NOTICES

NIL

eCT Control      21210T WARREN GRAHAM AND MURPHY PTY LTD  
Effective from 16/02/2022

DOCUMENT END

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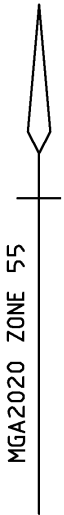
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<b>PLAN OF SUBDIVISION</b>				<b>EDITION 1 PS 903413Q</b>		
<b>LOCATION OF LAND</b>  <b>PARISH:</b> TAMBO <b>TOWNSHIP:</b> _____ <b>SECTION:</b> _____ <b>CROWN ALLOTMENT:</b> 1A, 2B (PARTS) & PART OF FORMER GOVERNMENT ROAD <b>CROWN PORTION:</b> _____ <b>TITLE REFERENCE:</b> VOL 8724 FOL 122 VOL 666 FOL 117  <b>LAST PLAN REFERENCE:</b> LOT 3 - LP79796 LOT 1 - TP813746Y  <b>POSTAL ADDRESS:</b> 1230 & 1268 SWAN REACH ROAD, (at time of subdivision) MOSSIFACE, 3885  <b>MGA2020 CO-ORDINATES:</b> E: 571 400 <b>ZONE:</b> 55 (of approx centre of land in plan) N: 5824 000				Council Name: East Gippsland Shire Council  Council Reference Number: PS903413Q Planning Permit Reference: 279/2021/P SPEAR Reference Number: S184159T  <b>Certification</b>  This plan is certified under section 6 of the Subdivision Act 1988  <b>Statement of Compliance</b>  This is a statement of compliance issued under section 21 of the Subdivision Act 1988  Public Open Space  A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made  Digitally signed by: Robert Pringle for East Gippsland Shire Council on 10/12/2021		
<b>VESTING OF ROADS AND/OR RESERVES</b>				<b>NOTATIONS</b>		
IDENTIFIER	COUNCIL/BODY/PERSON			DIMENSIONS SHOWN UNDERLINED ARE NOT THE RESULT OF THIS SURVEY. THE AREA OF LOT 2 IS BY DEDUCTION FROM TITLE.  <b>WATERWAY NOTATION:</b> LAND IN THIS PLAN MAY ABUT CROWN LAND THAT MAY BE SUBJECT TO A CROWN LICENCE TO USE		
NIL	NIL					
<b>NOTATIONS</b>						
<b>DEPTH LIMITATION</b> DOES NOT APPLY						
<b>SURVEY:</b> This plan is based on survey.  <b>STAGING:</b> This is not a staged subdivision. Planning Permit No. 279/2021/P This survey has been connected to permanent marks No(s). 83, 84, 85 & 86  In Proclaimed Survey Area No.    NIL						
<b>EASEMENT INFORMATION</b>						
<b>LEGEND:</b> A - Appurtenant Easement      E - Encumbering Easement      R - Encumbering Easement (Road)						
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of		
<b>Crowthier &amp; Sadler Pty. Ltd.</b>  LICENSED SURVEYORS & TOWN PLANNERS 162 MACLEOD STREET, BAIRNSDALE, VIC., 3875 P. (03) 6162 6011 E. <a href="mailto:contact@crowthiersadler.com.au">contact@crowthiersadler.com.au</a>		SURVEYORS FILE REF: <b>19472</b>  Digitally signed by: Michael J Sadler, Licensed Surveyor, Surveyor's Plan Version (1), 21/10/2021, SPEAR Ref: S184159T		ORIGINAL SHEET SIZE: A3  PLAN REGISTERED TIME: 3:30pm      DATE: 16/02/2022 K. NGUYEN Assistant Registrar of Titles	SHEET 1 OF 2 SHEETS  <b>Printed 10/02/2026</b> <b>Page 6 of 79</b>	

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PS 9034130



CURTIS LANE

79°18' 44.08  
89°11' 68.60m  
100 9452m<sup>2</sup>  
68°21' 111.78

TAMBO RIVER  
RESERVE 30.18m WIDE  
30.98 63°51'

SWAN REACH ROAD

33.88°21' 61.98.89  
57.98.89

2  
10.71ha  
(AREA BY DEDUCTION)

TAMBO RIVER

257.50  
248°21'

**Crowther & Sadler Pty. Ltd.**  
LICENSED SURVEYORS & TOWN PLANNERS  
162 MACLEOD STREET, BAIRNSDALE, VIC., 3875  
P. (03) 6162 6011 E. [contact@crowthersadler.com.au](mailto:contact@crowthersadler.com.au)

SURVEYORS REF  
19472

SCALE  
1:2500

25 0 25 50 75 100

ORIGINAL SHEET  
SIZE: A3

SHEET 2

Digitally signed by: Michael J Sadler, Licensed Surveyor,  
Surveyor's Plan Version (1),  
21/10/2021, SPEAR Ref: S184159T

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East Gippsland Shire Council,  
10/12/2021,  
SPEAR Ref: S184159T

Printed 10/02/2026

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**7 November 2025**

# **LAND CAPABILITY ASSESSMENT**

**PROPOSED DEVELOPMENT  
1230 SWAN REACH ROAD,  
MOSSIFACE, VICTORIA, 3885**



**Prepared for:**

Development Solutions Victoria  
Bairnsdale, VIC, 3875

**Report Number: 25324\_LCA**

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Figure 1: Site Plan

Figure 2: Site Photos

## Appendices

### Appendix A

Reports of Boreholes

Water Balance Calculations

### Appendix B

Limitations

## SUMMARY

### Location:

Address: 1230 Swan Reach Road, Mossiface

SPI: 2\PS903413

### Land Features:

Slope of Land: 2 %

Distance To Surface Water: 60 m

Aspect: northwest

Flooding: > 1 in 100 years

Evaporation: 1533mm

Rainfall: 748mm

### Key Acronyms:

Soil Texture (Limiting Layer): Light Clay

Permeability: 0.12 – 0.5 m/day

### Treatment System:

Primary Treatment

### Land Application System:

Absorption Trenches

### Design Loading Rate (DLR):

Absorption Trenches: 8.0 mm/day

### Land Application Area Minimum Size

Design Flow Rate	Trench Length
5-Bedroom Dwelling – 900L/day	6 No. 26 m long x 0.7 m wide 6 No. 28 m long x 1.0 m wide

### Site Constraints:

Soil Drainage / Dispersive Soils

### Special Conditions & Mitigation Measures:

**Dispersive Soils:** Soil Amelioration recommended. Apply gypsum at a rate of 1kg/m<sup>2</sup> to the base of trenches.

**Soil Drainage:** Locate Land Application Area appropriately on the site away from the lower lying parts of the site as indicated on the site plan Figure 1.

### Key Buffer Distances:

Site Boundaries and Buildings:

3.0m downslope; 6.0m upslope

Waterway (Potable):

100m

Waterway (Non-Potable):

60m

### Management:

Desludging primary tank and inspection of effluent absorption trenches every **3-5 years**.



7 November 2025

25324-LCA

## 1.0 INTRODUCTION

Development Solutions Victoria has engaged DBM Geotech Consulting Pty Ltd (DBM Geotech) to undertake a Land Capability Assessment for the proposed development at 1230 Swan Reach Road, Mossiface. The field investigation and report have been undertaken and prepared by suitably experienced consultants.

This report will accompany an application for a Septic Tank Permit to Install submitted to the East Gippsland Shire Council for an Onsite Wastewater Management System at 1230 Swan Reach Road, Mossiface. The report provides information about the site and soil conditions. It also provides a Land Capability Assessment (LCA) for the site and includes a conceptual design for a suitable onsite wastewater management system, including recommendations for monitoring and management requirements.

## 2.0 DESCRIPTION OF THE DEVELOPMENT

The site is a rural allotment of 10.7 Hectares located on the east side of Swan Reach Road. The proposed 4-bedroom residential dwelling will be constructed at the north end of the site. The site is reasonably flat at this location. The dwelling will be constructed at the high point of the site and the land slopes away to the west and east at a slope gradient of about 2%. The closest water body is Tambo River Old Course located about 40 m from the site boundary.

**Site Address:** 2\PS903413; 1230 Swan Reach Road, Mossiface (Figure 1)

**Council Area:** East Gippsland Shire Council

**Zoning:** FZ1 – Farming Zone – Schedule 1

**Domestic Water Supply:** Tank Water

**Anticipated Wastewater Load:** Assume a residence with full water-reduction fixtures at maximum occupancy. Wastewater generation = 150 L/person/day; Table 4.1 of EPA Guidelines (2024) (1).

**Availability of Sewer:** The area is unsewered and unlikely to be sewerred within the next 10-20 years.

## 3.0 SITE AND SOIL ASSESSMENT

### 3.1 SITE ASSESSMENT

DBM Geotech undertook a site investigation on the 22 October 2025. Table 1 summarises the key features of the site in relation to effluent management proposed for the site.

**NOTE:**

- The site is not in a special water supply catchment area.
- The risk of effluent transport offsite is low.

Figure 1 attached provides a site plan and indicates the location of the proposed dwelling. Site photos are shown in Figure 2.

**Table 1: Site Assessment**

Characteristic	Level of Constraint		
	Nil or Minor	Moderate	Major
<b>Aspect</b>	North / North-East / North-West	East / West / South-East / South-West	South
<b>Climate</b>	Excess of evaporation over rainfall in the wettest months	Rainfall approximates to evaporation	Excess of rainfall over evaporation in the wettest months
<b>Erosion</b>	Nil or minor	Moderate	Severe
<b>Exposure To Sun and Wind</b>	Full sun and/or high wind or	Dappled light	Heavily shaded and little wind
<b>Fill (Imported)</b>	No fill or minimal fill, or fill is good quality topsoil	Moderate coverage and fill is good quality	Extensive poor-quality fill and variable quality fill
<b>Flood Frequency (ARI)</b>	Less than 1 in 100 years	Between 100 and 20 years	More than 1 in 20 years
<b>Groundwater Bores</b>	No bores onsite or on neighbouring properties	Setback distance from bore complies with requirements in EPA Guidelines 2024	Setback distance from bore does not comply with requirements in EPA Guidelines 2024
<b>Usable Land Area for LAA</b>	Exceeds LAA and duplicate LAA and buffer distance requirements	Meets LAA and duplicate LAA and buffer distance requirements	Insufficient area for LAA
<b>Landslip</b>	Nil	Minor to moderate	High or Severe
<b>Slope Form</b>	Convex or divergent side-slopes	Straight side-slopes	Concave or convergent side-slopes
<b>Slope Gradient (%)</b>			
(a) For Absorption Trenches and Beds	<6%	6-15%	>15%
(b) For Subsurface Irrigation	<10%	10-30%	>30%
<b>Soil Drainage (Qualitative)</b>	No visible signs or likelihood of dampness, even in wet season	Some signs or likelihood of dampness	Wet soil, moisture-loving plants, standing water in pit; water ponding on surface, soil pit fills with water

**Table 1: Site Assessment**

Characteristic	Level of Constraint		
	Nil or Minor	Moderate	Major
<b>Stormwater Run-On</b>	Low likelihood of stormwater run-on		High likelihood of inundation by stormwater run-on
<b>Surface Waters - Setback Distance (m)</b>	Setback distance complies with requirements in EPA Guidelines 2024		Setback distance does not comply with requirements in EPA Guidelines 2024
<b>Vegetation Coverage Over the Site</b>	Plentiful vegetation with healthy growth and good potential for nutrient uptake	Limited variety of vegetation	Sparse vegetation or no vegetation

### 3.2 SITE ASSESSMENT RESULTS

Moderate or major site constraints were identified in the site assessment. These constraints listed in Table 2 along with mitigation measures for controlling the risks identified at the site.

Based on the most constraining site features, the overall land capability of the site to sustainably manage all effluent onsite is satisfactory. The proposed effluent management area is located above the 1:100 flood level and by using primary treatment, there will be suitable protection of surface waters and groundwater.

**Table 2: Site Constraints**

Constraint	Proposed Mitigation Measure
<b>Soil Drainage</b>	Locate Land Application Area appropriately on the site away from the lower lying parts of the site as indicated on the site plan Figure 1.

### 3.3 SOIL ASSESSMENT

The site's soils have been assessed for their suitability for an Onsite Wastewater Management System by a combination of soil survey and desktop review of published soil survey information as outlined below.

A soil survey was carried out at the site to determine suitability for application of treated effluent. Soil investigations were conducted at three locations as shown in Figure 1. The investigation was carried out with an auger to depths of up to 1.5 m below ground level. In addition, samples were collected and tested for pH, EC and dispersive soils. A summary of the soil properties for the different soil types encountered are presented in Table 3. Full profile descriptions of the soils are provided in Appendix A.

**Table 3: Soil Properties Summary**



Soil Texture	Loam	Light Clay
Depth Range	0 m – 0.4 m	0.4 m – 1.5 m
Soil Category	3a	5a
EC (ECe) (dS/m)	0.12	0.24
pH	5.6	5.9
Soil Dispersion	Non-Dispersive	Dispersive
		
Estimated Soil Permeability (Ksat)	1.5 m/day	0.2 – 0.5 m/day
Design Loading Rate		
Absorption Trenches	15 mm/day	8 mm/day

Table 4 provides a risk assessment based on the physical and chemical characteristics of each soil type.

**Table 4: Soil Risk Assessment**

Characteristic	Level of Constraint		
	Nil or Minor	Moderate	Major
Electrical Conductivity (ECe) (dS/m)	<0.8	0.8 - 2	>2
Dispersive Soils	Non-Dispersive (4, 5, 6, 8)	7	Dispersive (1, 2, 3)
Gleying	Nil	Some evidence of greenish grey / black or bluish grey soil colours	Predominant greenish grey / black, bluish grey / black colours

**Table 4: Soil Risk Assessment**

Characteristic	Level of Constraint		
	Nil or Minor	Moderate	Major
<b>pH</b>  (Favoured Range for Plants)	5.5 - 8 is the optimum range for a wide range of plants; 4.5 - 5.5 suitable for many acid-loving plants		<4.5, >8
<b>Rock Fragments</b> (Size & Volume %)	0 – 10%	10 – 20 %	>20%
<b>Soil Depth to Rock or Other Impermeable Layer; Trenches</b> (Irrigation/Mounds)	>1.2 m (>0.7m)	1.2 – 0.9 m	<0.9 m (<0.7m)
<b>Soil Structure</b> (Pedality)	Highly or Moderately Structured	Weakly-Structured	Structureless, Massive or Hardpan
<b>Soil Category</b> (Indicative Permeability)	Cat. 2b, 3a, 3b, 4a	Cat. 4b, 4c, 5a	Cat. 1, 2a, 5b, 5c, 6
<b>Depth to Water Table</b>	>1.5 m	1.0 – 1.5 m	<1.0 m

### 3.4 SOIL ASSESSMENT RESULTS

The soils at the site were typically categorised as a loam overlying a highly structured light clay. Considering the physical characteristics of the subsoil in the area of the site, effluent application via absorption trenches is a suitable and viable disposal system for this site.

Moderate or major soil constraints were identified in the soil assessment. These constraints listed in Table 5 along with mitigation measures for controlling the risks identified at the site.

**Table 5: Soil Assessment Migration Measures**

Constraint	Proposed Mitigation Measures
<b>Soil Texture</b>	The soils at the site comprised highly structured light clays. These soils are considered favourable for treatment of effluent and are suitable for primary treatment of effluent disposed of via conventional absorption trenches.
<b>Dispersive soils</b>	Apply gypsum at a rate of 1kg/m <sup>2</sup> to the base of trenches.

### 3.5 OVERALL LAND CAPABILITY RATING

For the soil in the proposed Land Application Area, no features present a moderate or major constraint that cannot be mitigated.

Based on the results of the site and soil assessment tabled above and provided in the Appendices, the overall land capability of the proposed effluent management area is constrained. However, the effluent management system will be designed, installed and maintained in ways which will mitigate these factors.

## 4.0 SYSTEM SELECTION AND DESIGN

The following sections provide an overview of a suitable onsite wastewater management system, with sizing and design considerations and justification for its selection. Detailed design for the system should be undertaken at the time of the building application and submitted to Council.

### 4.1 EFFLUENT MANAGEMENT OPTIONS / TARGET EFFLUENT QUALITY

A range of possible land application systems have been considered, such as Absorption Trenches, Evapotranspiration/Absorption (ETA) Beds, Subsurface Irrigation, and Mounds. Based on the results of the In-situ Constant Head Permeability Tests, we consider that the system of conventional Absorption Trenches for Primary Treated waste is suitable for the site.

Should the client or regulator prefer to secondary treat the effluent, disposal via absorption trenches or shallow subsurface irrigation are also suitable.

### 4.2 WASTEWATER LOADING RATE

In sizing the effluent dispersal field envelope one of the key input parameters is the volume of wastewater expected at the site. Table 4.1 of EPA Guidelines 2024 (1) has been used to size the volume of wastewater generated per allotment. We have adopted a loading rate of **150 L/person/day** assuming WELS scheme water fixtures with town water supply. We have assumed a **5-bedroom** dwelling will be constructed at the site with a daily water demand of **900 L/day**.

### 4.3 WATER BALANCE

To determine the necessary size of the Land Application Area, the trench sizing tool in the Victorian Land Capability Assessment Framework (2014) has been used. The calculation is shown in Appendix A and the results are presented in Table 6.

The formular for sizing is expressed as follows:

$$L = Q / (DLR \times W)$$

**L** = Length of require trench (m)

**Q** = daily flow (L/day) – 900 L/day

**DLR** = Design Loading Rate (mm/day) – 8.0 mm/day

**W** = Width of trench/Bed – variable 0.7 – 1.0m

**Table 6:** land application area

Total Daily wastewater flow (L/day)	Trench Basal Area required (m <sup>2</sup> )	Trench Width (m)	Trench sizes
900 <sup>^</sup>	112.5	0.7	160 linear meters of trench (6No. Trenches @ 26.5 m)
		1.0	112.5 linear meters of trench (4No. Trenches @ 28 m)

\*Required LLA size based on 3.0m between each trench and 3.0m buffer on all 4 sides of the Land application area.

<sup>^</sup>In accordance with EPA 891.4 any room such as a study, library or sunroom that can be closed off with a door, shall be treated as a bedroom.

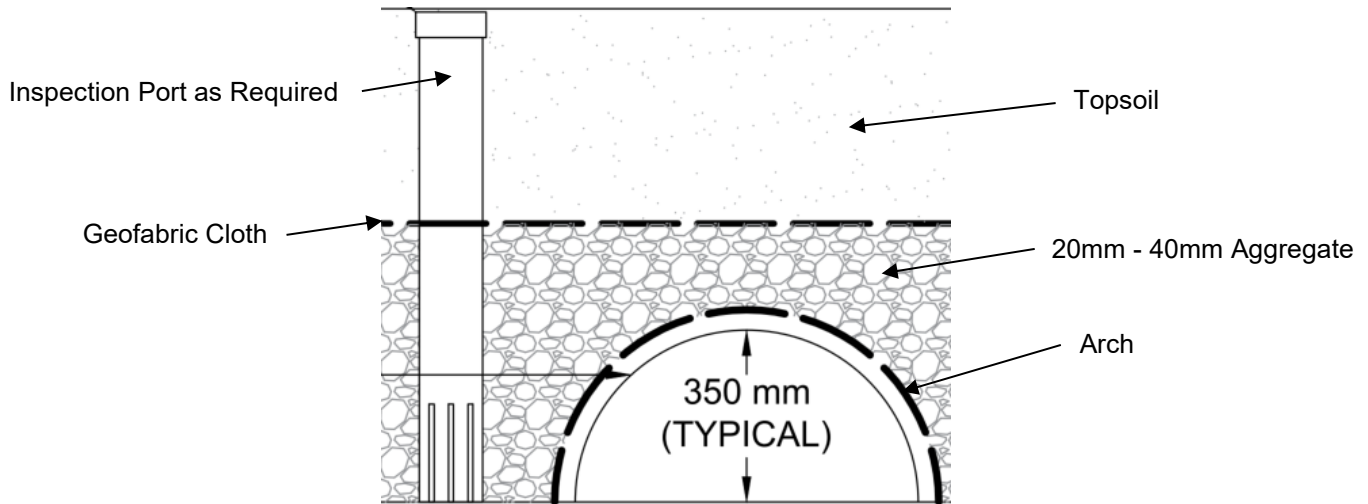
All trenches should be constructed along the contour and be installed at a maximum length of 30m. We recommend that trenches are spaced 3.0m apart to allow a reserve field to be configured within the envelope should it be required.

### SECONDARY TREATMENT SYSTEM

Should the client or regulator prefer to secondary treat the effluent, disposal via absorption trenches or shallow subsurface irrigation is an alternative method. Where absorption trenches are adopted with secondary treatment the number of trenches listed above can be halved (due to increased loading rate). Where subsurface irrigation is used in conjunction with secondary treated effluent the sub-surface irrigation area shall be a minimum of 400 m<sup>2</sup>.

#### 4.4 USE OF ARCHES IN TRENCHES

Where arches are used in trenches, they must be backfilled with aggregate to the top of the arch, with a layer of geofabric cloth placed between the aggregate and the topsoil. Backfilling around arches with site-derived soils is not considered suitable for this site, as soils are dispersive and may form a clogging layer around the arch, reducing trench capacity. Arches should be constructed in accordance with Diagram 1 below.



**Diagram 1:** Arches in Trenches

#### 4.5 SITING AND CONFIGURATION OF THE SYSTEM

We have provided an approximate location of the Land Application Area (LAA) on the attached site plan, Figure 1. Final placement and configuration of the irrigation system will be determined by the client and/or system installer, provided it remains close to the nominated locations in Figure 1 and satisfies the minimum area required according to the Water Balance.

Whilst there is ample area for application of the effluent, it is important that appropriate buffer distances be maintained. It is important to note that buffers are measured as the overland flow path for run-off water from the effluent irrigation area.

It is recommended that the owner consult a wastewater contractor familiar with effluent system construction to construct the system, and an appropriately registered plumbing/drainage practitioner to install the system.

#### 4.6 STORMWATER RUN-ON MEASURES

Stormwater run-on protection measures are recommended at this site. Stormwater run-on from buildings and significant rainstorm events pose a risk to the effluent dispersal field. Stormwater run-on should be mitigated by the following:

- Diversion of roof and road drainage away from the effluent dispersal area.



## 4.7 BUFFER DISTANCES

Setback buffer distances from EDRS systems are required to help prevent human contact, maintain public amenity and protect sensitive environments. The relevant buffer distances for this site, taken from Table 4-10 of the EPA Guidelines 2024 (1) are provided in Table 7.

**Table 7: Primary Treatment Buffer Distances**

Site Feature	Setback Distance (m)
Building / Allotment Boundaries / Swimming Pool / Water and Gas Pipes	6m – Up-Slope
	3.0m – Down-Slope
Services	6m – Closed Stormwater Drain
	50m – Open Stormwater Drain
Surface Waters	100m – Up-slope from Waterways in a Potable Water Supply Catchment
	60m – Up-slope from Non-Potable Waterways
	40m – Up-slope from Drainage Lines
	15m – Up-slope of Cutting/Escarpment
Groundwater Bores	20m – Category 2b to 6 Soils
Soil Depth	1.5m – Depth to Water Table
	1.5m – Depth to Hydraulic Limiting Layer

## 5.0 MONITORING, OPERATION AND MAINTENANCE

Maintenance is to be carried out in accordance with the EPA Certificate of Approval of the selected treatment system and Council's permit conditions. The treatment system will only function adequately if appropriately and regularly maintained.

To ensure the Onsite Wastewater Treatment System functions adequately, residents must:

- Desludging the primary tank and inspection of effluent absorption trenches every 3-5 years.
- Use of household cleaning products that are suitable for septic tanks.
- Keep as much fat and oil out of the system as possible.
- Conserve water (AAA rated fixtures and appliances are recommended).
- Do not discharge your unwanted and expired medicine into your OWMS.
- Avoid use of products containing PFAS (Per-and Polyfluoroalkyl Substances)

7 November 2025

25324-LCA

To ensure the Land Application System functions adequately, residents must:

- Regularly harvest (mow) vegetation within the LAA and remove this to maximise uptake of water and nutrients.
- Regularly clean in-line filters.
- Not erect any structures and paths over the LAA.
- Avoid vehicle and livestock access to the LAA, to prevent compaction and damage.
- Ensure that the LAA is kept level by filling any depressions with good quality topsoil (no clay).

## 6.0 CONCLUSION

As a result of our investigations, we conclude that a sustainable Onsite Wastewater Management System is feasible with appropriate mitigation measures, as outlined, for the proposed residence at 1230 Swan Reach Road, Mossiface.

Specifically, we recommend the following:

- Primary Treatment of wastewater.
- Land application of treated effluent via conventional absorption trenches. Trenches are to be up to a maximum of 3.0 metres long and 1 metre wide, with a minimum spacing of 3.0 meters between trenches.
- Installation of water saving fixtures (minimum 4 star WELS) and appliances (minimum 3 star WELS) in the new residence to reduce the effluent load.
- Use of low phosphorus and low sodium (liquid) detergents to improve effluent quality and maintain soil properties for growing plants.
- Operation and management of the treatment and disposal system in accordance with manufacturer's recommendations, the EPA Certificate of Approval, the EPA Guidelines 2024 and the recommendations made in this report.

7 November 2025

## 7.0 REFERENCES

Environment Protection Authority (2024) (1). Guideline for onsite wastewater management (GOWM).

Environment Protection Authority (2024) (2). Guideline for onsite wastewater effluent dispersal and recycling systems (EDRS).

Municipal Association of Victoria, Department of Environment and Sustainability and EPA Victoria (2014) Victorian Land Capability Assessment Framework.

Standards Australia / Standards New Zealand (2012). AS/NZS 1547:2012 On-site domestic-wastewater management.

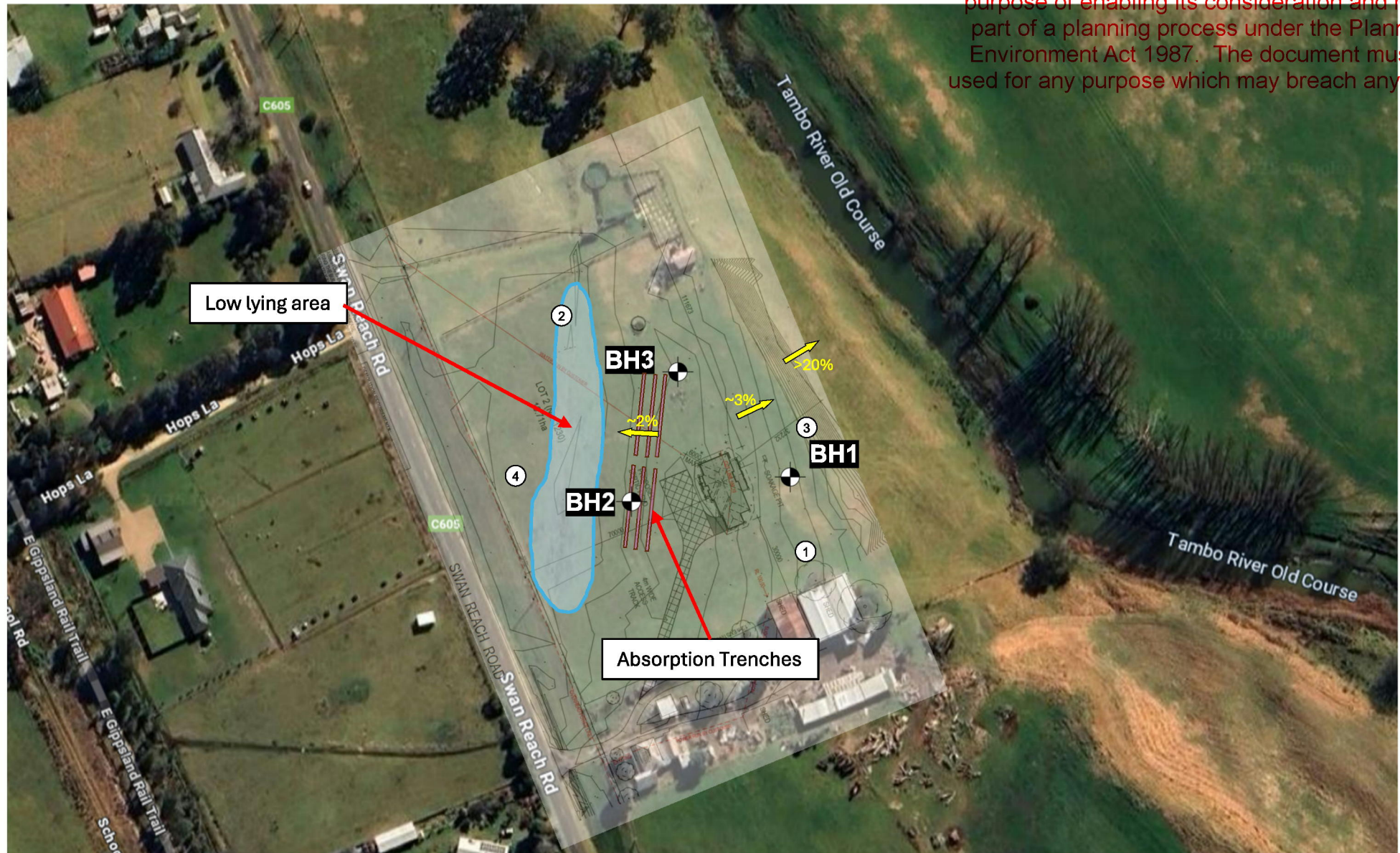
## 8.0 LIMITATIONS

Your attention is drawn to the document – ‘Limitations’ which is included in Appendix B of this report. The statements presented in this document are intended to advise you of what your realistic expectations of this report should be. The document is not intended to reduce the level of responsibility accepted by DBM Geotech, but rather to ensure that all parties who may rely on this report are aware of the responsibilities each assumes is so doing.

### DBM Geotech

David Barry – Macaulay  
BEng (Hons), MEngSc (Res), MIEAust CPEng  
EA Membership number: 3308334  
ABN 69 666 900 643





Not to scale

**LEGEND:**

BOREHOLE	
SITE PHOTO	
SLOPE DIRECTION	
LAND APPLICATION AREA	

**FIGURE DETAILS:**  
Figure 1 – Site Plan

**CLIENT:**

**SITE ADDRESS:**  
1230 Swan Reach Road, Mossiface

**JOB NUMBER:**  
25324

Printed 10/02/2026

Page 22 of 79





Photo 1

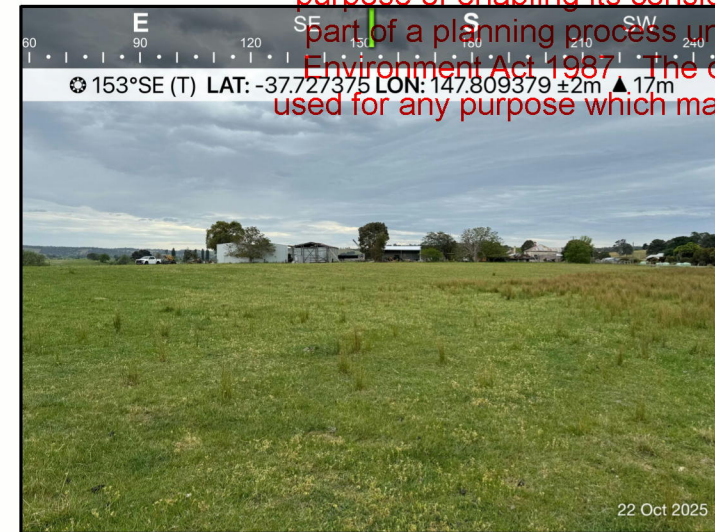


Photo 2

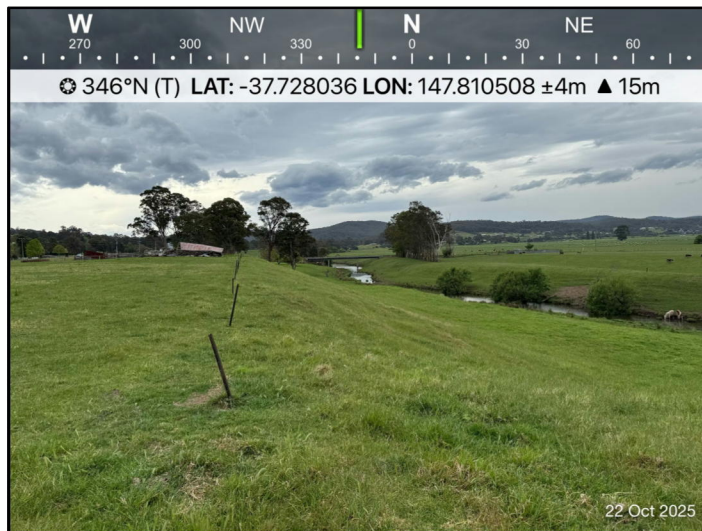


Photo 3



Photo 4 – Looking east

## FIGURE DETAILS: Figure 2 – Site Photos

CLIENT:

SITE ADDRESS:  
1230 Swan Reach Road, Mossiface

JOB NUMBER:  
25324

Printed 10/02/2026

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## **Appendix A**

### **Reports of Boreholes**





### **Water Balance Calculations**

**DBM GEOTECH****REPORT OF BOREHOLE: BH1**

Job No : 25324  
 Client : . Owner / Designer  
 Project : 1230 Swan Reach Road, Mossiface  
 Location : 1230 Swan Reach Rd, Mossiface VIC 3885, Australia  
 Contractor :

Easting : 571399.59  
 Northing : 5824060.73  
 UTM : 55H  
 Drill Rig :  
 Inclination :

Sheet : 1 OF 1  
 Logged : Bill Wang  
 Logged Date : 22/10/2025  
 Checked :  
 Checked Date : 30/10/2025

Drilling Method	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency	Samples	SPT Testing	Shear Strength	DCP 
		0.4		ML	Silt (ML): firm, low plasticity, brown, With fine to medium sand, w < pl. (loam, Category 3a)	w < PL	F				0 2 4 6 8 10 12 14 16 18
		1.0		CI	Clay (CI): stiff, medium plasticity, red brown, w < pl. (light clay, Category 5a)	w < PL	St				
					BH1 Terminated at 1.5 m						




**DBM GEOTECH**

Job No : 25324  
 Client : . Owner / Designer  
 Project : 1230 Swan Reach Road, Mossiface  
 Location : 1230 Swan Reach Rd, Mossiface VIC 3885, Australia  
 Contractor :

Easting : 571394.64  
 Northing : 5824089.48  
 UTM : 55H  
 Drill Rig :  
 Inclination :

Sheet : 1 OF 1  
 Logged : Bill Wang  
 Logged Date : 22/10/2025  
 Checked :  
 Checked Date : 30/10/2025

**REPORT OF BOREHOLE BH2**

Drilling Method	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency	Samples	SPT Testing	Shear Strength	DCP 
		0.6 1.0		ML	Silt (ML): firm, low plasticity, brown, With fine to medium sand, w < pl. (loam, Category 3a)	w < PL	F				0 2 4 6 8 10 12 14 16 18
				CI	Clay (CI): stiff, medium plasticity, red brown, w < pl. (light clay, Category 5a)	w < PL	St				
					BH2 Terminated at 1.5 m						







**DBM GEOTECH**

Job No : 25324  
 Client : Owner / Designer  
 Project : 1230 Swan Reach Road, Mossiface  
 Location : 1230 Swan Reach Rd, Mossiface VIC 3885, Australia  
 Contractor :

Easting : 571365.88  
 Northing : 5824101.54  
 UTM : 55H  
 Drill Rig :  
 Inclination :

Sheet : 1 OF 1  
 Logged : Bill Wang  
 Logged Date : 22/10/2025  
 Checked :  
 Checked Date : 30/10/2025

**REPORT OF BOREHOLE BH3**

Drilling Method	Water	Depth (m)	Graphic Log	Classification Code	Material Description	Moisture	Consistency	Samples	SPT Testing	Shear Strength	DCP 
		0.5		ML	Silt (ML): firm, low plasticity, brown, Trace fine to medium sand, w < pl. (loam, Category 3a)	w < PL	F				0 2 4 6 8 10 12 14 16 18
		1.0		CI	Clay (CI): stiff, medium plasticity, red brown, w < pl. (light clay, Category 5a)	w < PL	St				
					BH3 Terminated at 1.5 m						

# Victorian Land Capability Assessment Framework

## Trench & Bed Sizing

### FORMULA FOR TRENCH AND BED SIZING

$$L = Q/DLR \times W$$

From AS/NZS 1547:2012

Where:

Units

L = Trench or bed length

m

Total trench or bed length required

Q = Design Wastewater Flow

L/day

Based on maximum potential occupancy and derived from Table 4 in the EPA Code of Practice (2013)

DLR = Design Loading Rate

mm/day

Based on soil texture class/permeability and derived from Table 9 in the EPA Code of Practice (2013)

W = Trench or bed width

m

As selected by designer/installer

### INPUT DATA

Design Wastewater Flow

Q

900

L/day

Based on maximum potential occupancy and derived from Table 4 in the EPA Code of Practice (2013)

Design Loading Rate

DLR

8.0

mm/day

Based on soil texture class/permeability and derived from Table 9 in the EPA Code of Practice (2013)

Trench basal area required

B

112.5

m<sup>2</sup>

Selected trench or bed width

W

0.7

m

As selected by designer/installer

### OUTPUT

Required trench or bed length

L

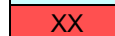
160.7

m

### CELLS



Please enter data in blue cells



Red cells are automatically populated by the spreadsheet



Data in yellow cells is calculated by the spreadsheet, DO NOT ALTER THESE CELLS

## **Appendix B**

### **Limitations**



## LIMITATIONS

This Document has been provided by DBM Geotech Consulting Pty Ltd (DBM Geotech) subject to the following limitations:

This Document has been prepared for the particular purpose outlined in DBM Geotech's proposal and no responsibility is accepted for the use of this document, in whole or in part, in other contexts for any other purpose.

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The scope and the period of DBM Geotech's Services are as described in DBM Geotech's proposal and are subject to restrictions and limitations. DBM Geotech did not perform a complete assessment of all possible conditions or circumstances that may exist at the site referenced in the Document. If a service or other work is not expressly referred to in this Report, do not assume that it has been provided or performed. If a matter is not addressed in this Report, do not assume that any determination has been made by DBM Geotech in regards to it.

Conditions may exist which were undetectable given the limited nature of the enquiry DBM Geotech was retained to undertake. Variations in conditions may occur between investigation locations, and there may be special conditions pertaining to the site which have not been revealed by the investigation and which have not therefore been taken into account in the Document. Accordingly, additional studies and actions may be required.

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Having regard to the matters referred to in the previous paragraphs on this page in particular carrying out the Service has allowed DBM Geotech to form no more than an opinion as to the actual conditions at any relevant location. That opinion is necessarily constrained by the extent of the information collected by DBM Geotech or otherwise made available to DBM Geotech. Further, the passage of time may affect the accuracy, applicability or usefulness of the opinions, assessments or other information in this Document. This Document is based upon the information and other circumstances that existed and were known to DBM Geotech when the Services were performed and this Document was prepared. DBM Geotech has not considered the effect of any possible future development included physical changes to any relevant location or change to any laws or regulations relevant to such location.

By date, or revision, the Document supersedes any prior report or other document issued by DBM Geotech dealing with any matter that is addressed in the Document.

JAN  
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ADVERTISED  
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# FARM MANAGEMENT PLAN

## CATTLE FARMING

1230 SWAN REACH ROAD, MOSSIFACE



## CONTENTS

1. Introduction	3
2. Site Context and Surrounding Land Use	4
3. Existing Landholdings	6
4. Justification	8
5. Conclusion	10

## DOCUMENT REVISION

1	Draft Plan	DAC	10/11/2025
2	Final Plan	CMC	19/11/2025
3	Revised Plan	KAS	30/01/2026



## 1. INTRODUCTION

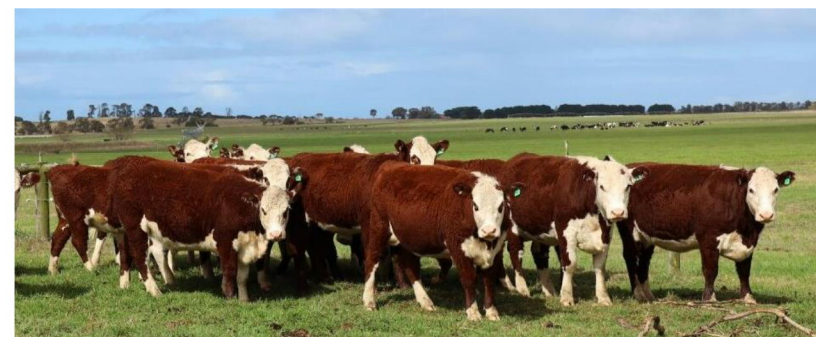
Development Solutions Victoria Pty Ltd have prepared this Farm Management Plan on behalf of the landowner to accompany a planning permit application for the use and development of a dwelling on land at 1230 Swan Reach Road, Mossiface.

The below farm management plan information provides detailed justification for the proposed dwelling which is one land holding within a larger family farming enterprise. It outlines the operational, environmental, and strategic farming reasons that demonstrate the dwelling is essential for the effective and sustainable management of a genuine agricultural enterprise focused on Hereford cattle breeding and grazing.

The Bairnsdale and broader East Gippsland region supports a wide range of agricultural activities, with cattle farming being a long-established and significant enterprise in this area. The temperate climate, quality pastures, locally grown fodder and grazing land make it ideal for beef cattle production. Many farms in the area run mixed livestock, with cattle integrated alongside sheep or cropping to maximise land use.

Acknowledging that the subject site pertaining to this application is 10.7 hectares, currently sustaining viable farming operations, the land is managed with several other parcels under a larger farming enterprise. The below information is relative to the operation as a whole.

Address	1230 SWAN REACH ROAD, MOSSIFACE
Site Description	Lot 2 on Plan of Subdivision 903413Q
Title Particulars	Vol 12358 Fol 503
Site Area	10.71 hectares
Planning Scheme	East Gippsland Planning Scheme
Zone	Farming Zone – Schedule 1
Overlays	None applicable
Property Identification Number (PIC)	3EGXT088



\*Image from Google

## 2. SITE CONTEXT AND SURROUNDING LAND USE

The subject site is approximately 4.5 kilometres southwest of the central business district of Bruthen. The site is located within the township area of Mossiface, that is a combination of farming and residential supporting a variety of agricultural and residential land uses.

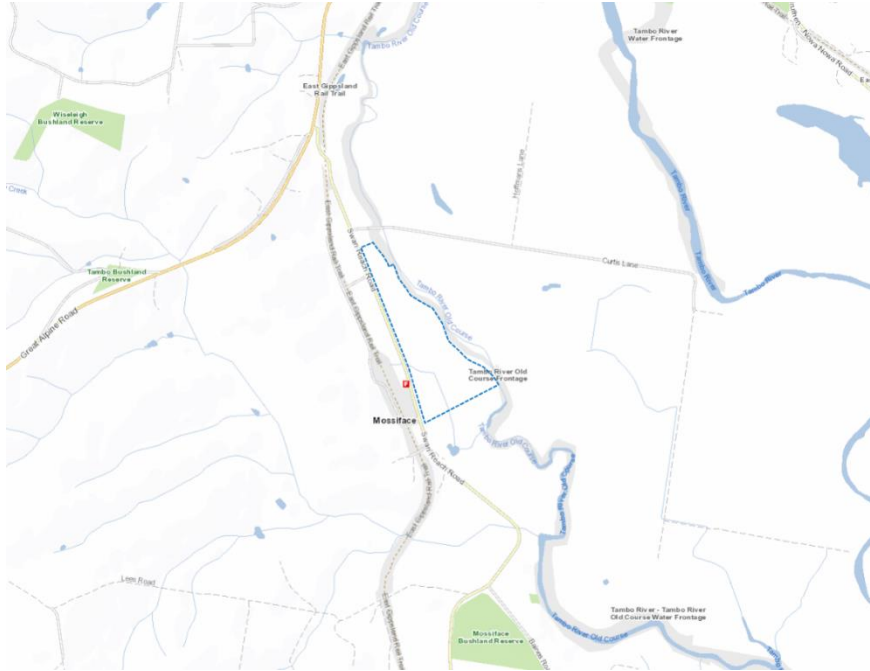
The property is irregular in shape and is approximately 10.7 hectares in area containing an existing uninhabitable dwelling, multiple agricultural outbuildings, a dam and a watercourse. The site contains scattered vegetation, is gently undulating with gradual falls towards the eastern boundary adjoining the Tambo River (Old Course).

The site has access to a range of infrastructure including reticulated water, electricity, telecommunications and a good quality road network. Wastewater will be treated and retained within the allotment boundaries via a primary treatment septic system as recommended within the Land Capability Assessment. Access is existing along the western boundary, directly from Swan Reach Road providing convenient access for vehicles including livestock transport and service vehicles when required.

Adjoining the northern boundary of the site contains an existing dwelling and associated facilities, Tambo River (Old Course), Reserve area and further is Curtis Lane. Adjoining the eastern boundary is Tambo River (Old Course) and further farming land. Adjoining the southern boundary is farming land containing an existing dwelling and associated facilities. Adjoining the western boundary is Swan Reach Road and further predominantly residential development.

The subject site in relation to Bruthen and the surrounding areas is identified in the map provided in **Figure 1** and the aerial image in **Photograph 1**.





**Figure 1** – Locality Plan – 1230 Swan Reach Road, Mossiface Bairnsdale (source:



**Photograph 1** – Aerial photograph of the subject site and surrounding land (source:

### 3. EXISTING LANDHOLDINGS AND FARMING USE

**Existing Farming Uses:** Cattle farming (breeding/ grazing)

**Livestock:** 220 Hereford breeding cattle, comprising cows, calves and replacement heifers - 2 breeding bulls - Approximately 30 sheep.

The Hereford herd is managed as a structured breeding operation. Mature cows have an average live weight of approximately 600 kg. Calves average approximately 330 kg at sale or transfer age, while mature breeding bulls average approximately 900 kg.

Heifer calves are retained within the operation as future breeders to maintain herd numbers and genetic quality. Steer calves are sold off as part of the enterprise's regular income stream. Breeding bulls are strategically managed and turned over approximately every two years to ensure herd health, genetic improvement and optimal breeding performance.

**Additional Infrastructure:** Fencing, cattle yards, hay sheds, machinery sheds and dam water.

The table below provides details of the parcels of land currently being managed under this farming operation.

Address	Area (approx.)	Existing Buildings
1230 Swan Reach Road, Mossiface	26.28 ha including Lot 1 and 2	Unhabitable dwelling for storage, dam, cattle yards, two hay sheds, two machinery sheds
89 Hoffmans Lane, Wiseleigh	40.24 ha	Vacant grazing land
135 Curtis Lane, Bruthen	99.39 ha	Vacant grazing land and cattle yards
2168 Great Alpine Road, Bruthen	4.91 ha	Vacant grazing land
<b>Total Hectares</b>	170.82 ha	



Figure 2 – Land Holdings Map

## 4. JUSTIFICATION

### Operational Need for Dwelling

The proposed dwelling is not discretionary or preferential in nature; it is fundamentally required for the safe, humane and economically viable operation of a genuine and established agricultural enterprise. The scale, intensity and biological nature of the Hereford cattle breeding operation creates a clear and ongoing need for a permanent on-site presence.

The farming operation manages approximately 220 Hereford breeding cattle across multiple landholdings, with calving, animal health, pasture management and infrastructure oversight occurring year-round. This is a live-animal production system that cannot be paused, deferred or managed remotely. The need for immediate response to animal welfare issues, particularly during calving, establishes a direct and undeniable nexus between the agricultural use of the land and the requirement for a dwelling on-site.

### Animal Welfare & Calving Management

The Hereford breeding operation involves mature cows averaging approximately 600 kg, calves averaging 330 kg and breeding bulls up to 900 kg. These stock weights, combined with calving risks inherent in a breeding enterprise, mean that delays in intervention can quickly result in serious animal welfare outcomes, livestock loss and significant financial impact.

Calving requires close and regular observation, often at all hours, to identify:

- Cows and heifers experiencing dystocia.
- Calves requiring immediate assistance.
- Post-calving complications affecting cows or newborn calves.
- Predation, weather exposure or injury risks.

The retention of heifer calves as future breeders and the strategic turnover of breeding bulls approximately every two years further increases the management complexity of the operation. These practices are essential to maintaining herd genetics, productivity and long-term viability, but they also require hands-on, informed and immediate decision-making that cannot be achieved through periodic site visits.



The current need to commute to the property has demonstrably resulted in missed intervention windows, placing livestock welfare at risk and undermining best-practice animal husbandry obligations. This situation is not sustainable, particularly during peak calving periods when multiple daily and nightly checks are required. Fatigued travel at irregular hours also presents an unacceptable personal safety risk.

An on-site dwelling would:

- Enable immediate response to calving and animal health emergencies.
- Significantly reduce calf mortality and stock losses.
- Ensure compliance with animal welfare and livestock assurance standards.
- Allow safe handling and monitoring of large livestock.
- Support continuous oversight of breeding bulls and replacement heifers.
- Ensure the enterprise can be managed responsibly and humanely.

### **Land Management, Biosecurity and Weed Control**

A permanent on-site presence is also essential for effective land stewardship across the holding. Regular monitoring allows for early detection of weed outbreaks, biosecurity risks and pasture decline before they become costly or irreversible. Prevention and early intervention are recognised as best practice in agricultural land management and are only achievable through consistent on-site occupation.

There are currently no noxious or poisonous weeds identified on the subject land. Maintaining this condition relies on frequent inspections and timely management, which cannot be adequately achieved without a dwelling on the land.

### **Livelihood & Economic Justification**

The existing farming operation is not a lifestyle choice but a genuine farming operation to generate income for the owner. The owners have enrolled in livestock quality assurance programs and uphold strong animal husbandry practices. Allowing the development of a dwelling will enhance the owner's ability to meet these standards consistently and efficiently.

In addition, the proposed dwelling will enable the owners to live within a closer proximity to immediate family members as they age. Both of the owner's sons reside close to the property and their daughter lives in Nicholson. Given the owner's ongoing health concerns, having family support close by will provide significant practical and emotional assistance, contributing to their wellbeing while enabling them to continue managing the agricultural enterprise effectively.

### Strategic Justification

The Farming Zone supports dwellings that are reasonably required for the use of the land for agriculture. This proposal responds directly to the needs of a working agricultural business and supports animal health and productivity. The proposal does not encroach on high-quality or productive agricultural areas of the site and is located away from prime agricultural land, preserving land for grazing practices.

This area comprises many dwellings on smaller farming allotments whereby multiple land holdings form farming operations.

The development of a dwelling in this location will not result in any detrimental impact on the existing surrounding agricultural operations.

### Clause 14.01-1S – Protection of Agricultural Land

This dwelling enables the sustainable, long-term operation of an existing agricultural enterprise and supports ongoing investment and management of the land without permanently removing productive agricultural land. The proposed dwelling supports continued agricultural activities on the land managed as part of the entire holding which is considered to be of strategic significance being part of the Tambo River flats.

The location of the dwelling is considered to be within the township area of Mossiface as encouraged by Clause 14.01-1S and is adopting a 'cluster housing arrangement' where the balance of the land is under a unified management for agricultural and pastoral purposes as outlined in the above plan.

The land and dwelling are located within an area that is appropriately serviced. This dwelling will not place unreasonable demands on services.

The subject land has been managed as part of a family farm for generations, and the proposed dwelling seeks to ensure the existing agricultural enterprise is managed efficiently and successfully to ensure it continues to be a family legacy for generations to come.

## 5. CONCLUSION

The need for a dwelling at 1230 Swan Reach Road, Mossiface is critically important for the ongoing and efficient operation of the existing agricultural enterprise.

The proposed dwelling is essential for the following reasons:

- To provide efficient and effective ongoing management of a viable and working farm operation.
- To support animal welfare, calving management and enterprise viability.
- To facilitate the management of a structured Hereford breeding herd, including retention of breeders, sale of steers and regular bull turnover.
- To reduce fatigue, travel risk and improve overall productivity.
- To meet the intent and purpose of the Farming Zone and relevant planning policies.
- To enable strategic land use without compromising prime agricultural land.
- To provide proximity to family support, which is important given the owner's health concerns and assists in maintaining their capacity to manage the farming operation effectively.

### Disclaimer:

*This document has been prepared for planning purposes only. The report has been made with careful consideration and with the best information available to Development Solutions Victoria Pty Ltd at the time.*

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29/01/2026

To Whom it May Concern

As requested by following is an appraisal of the cattle weight on their property

Cows average weight of 600Kg

Calves average weight of 330Kg

Bulls average weight of 900Kg

It is my opinion that the land selected for the building is the least productive part of the property.

Kind Regards

Jake Fullgrabe  
Livestock Manager  
Bill Wyndham & Co



NOV  
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25

APPLICATION FOR PLANNING PERMIT

# USE AND DEVELOPMENT OF A DWELLING WITHIN NOMINATED SETBACKS

1230 SWAN REACH ROAD, MOSSIFACE

REF: 25073

## CONTENTS

1	Introduction	4
2	Site Context	5
3	The Proposal	12
4	Zones and Overlays	14
5	Planning Assessment	17
6	Conclusion	19

## APPENDIX

A	Copy of Title and Plan of Subdivision
B	Proposed Development Plans
C	Land Capability Assessment
D	Farm Management Plan

## DOCUMENT REVISION

1	Draft Report	DAC	13/11/2025
2	Final Report	CMC	19/11/2025







## 1. INTRODUCTION

Development Solutions Victoria Pty Ltd act on behalf of the owners of land and the applicants for this planning permit application for the Use and Development of a Dwelling within nominated setbacks at 1230 Swan Reach Road, Mossiface.

This submission and supporting documentation provide details of the subject site, relevant planning controls and policies and delivers an assessment against the provisions of the East Gippsland Planning Scheme.

This application seeks approval for the use and development of a dwelling under the provisions of the Farming Zone.

The proposed dwelling will be used for residential purposes, will support and enhance the existing farming use of the site and the larger family enterprise which includes multiple allotments within the local area.

The proposal is consistent with the objectives of the East Gippsland Planning Scheme, is an appropriate development in this location and will result in a positive planning outcome.

Address	1230 Swan Reach Road, Mossiface
Site Description	Lot 2 on Plan of Subdivision 903413Q
Title Particulars	Vol 12358 Fol 503
Site Area	10.71 hectares
Proposal	Use and Development of a Dwelling within nominated setbacks
Planning Scheme	East Gippsland Planning Scheme
Zone	Farming Zone - Schedule 1
Aboriginal Cultural Heritage	Identified as an area of Cultural Heritage Sensitivity and partly identified as Heritage Inventory
Permit Triggers	Clause 35.07-1 Farming Zone – Use Clause 35.07-4 Farming Zone – Buildings and Works
Notice	No exemptions available
Referrals	No referrals required
Work Authority Licence	No work authority licence on or immediately surrounding the site
Planning Scheme requirements	Municipal Planning Strategy – Clause 02 Settlement – Rural settlements – Clause 02.03-1 Environmental and landscape values – Clause 02.03-2 Environmental risks and amenity – Clause 02.03-3 Built environment and heritage – Clause 02.03-5 Planning Policy Framework – Clause 10 Settlement – Clause 11 Environmental and landscape values – Clause 12 Environmental risks and amenity – Clause 13 Natural Resource Management – Clause 14 Built environment and heritage – Clause 15 Housing – Clause 16 Farming Zone – Clause 35.07 Decision guidelines – Clause 65

## 2. SITE CONTEXT

### Site

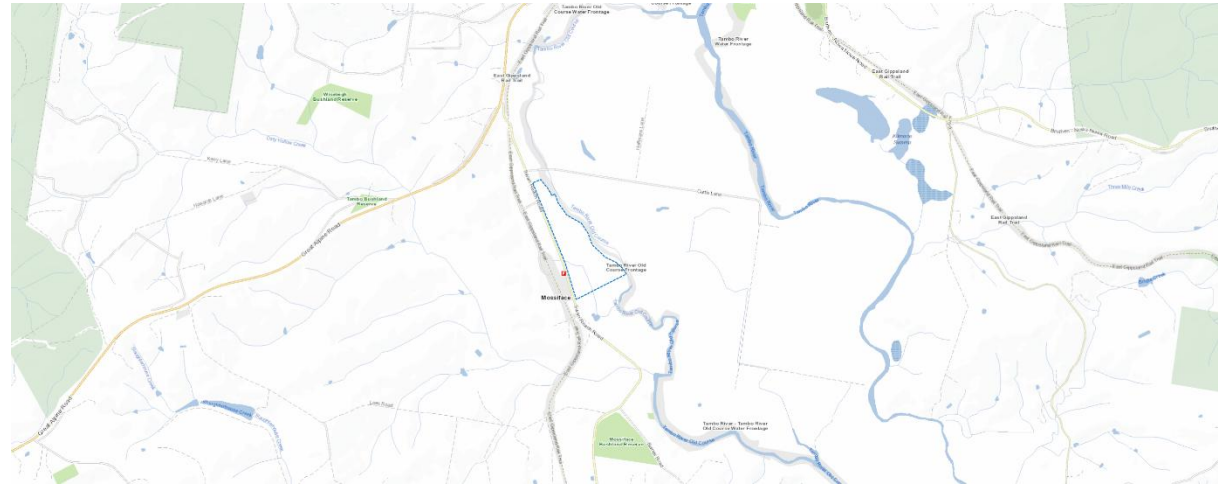
The subject site is located at 1230 Swan Reach Road, Mossface. A copy of the Title and Plan of subdivision is contained in **Appendix A**. The title is not affected by any restrictive covenants or agreements.

The site is irregular in shape with a total area of 10.71 hectares and contains an old dwelling that is non-habitable currently used for storage, multiple agricultural buildings and cattle yards. The former dwelling has not been occupied for in excess of 15 years and is considered dilapidated as such we believe has lost any rights as an existing dwelling.

The subject site is gently undulating in nature with falls to the northeastern boundary towards the Tambo River (Old Course) and contains scattered vegetation.

Access is existing via a gravel crossover and driveway in the southern portion of the western boundary connecting directly to Swan Reach Road. Swan Reach Road is a bitumen sealed road with grassed shoulders, traversing in a north to south direction. Swan Reach Road is identified as a Transport Zone 2.

The subject site in relation to the surrounding land, is shown in the locality plans in **Figure 1** and **Figure 2**.



**Figure 1** – Locality Plan –1230 Swan Reach Road, Mossface (source: mapshare.vic.gov.au)



**Figure 2** – Locality Plan – 1230 Swan Reach Road, Mossface (source: mapshare.vic.gov.au)

## Surrounds

The land in this locality is a combination of public and farming land with a range of lot sizes with some containing rural residential development.

Adjoining the northern boundary of the subject site is a smaller farming lot containing a dwelling and associated facilities and public land being a reserve. Adjoining the eastern boundary is Tambo River Old Course and vacant farmland. Adjoining the western boundary is Swan Reach Road and further small farming allotments containing residential development. Adjoining the southern boundary is vacant farmland, Tambo River Old Course and a Registered Heritage area, further south is public land being Mossiface Bushland Reserve.

The boundaries of the site are defined with rural post and wire fencing.

Mossiface comprises minimal community facilities being a public hall and Mossiface – Tambo Country Fire Authority Station. There are no commercial or retail services however, Mossiface is only a short vehicle distance from Bruthen and further to Bairnsdale. Bruthen offers a basic level of commercial and community services, whilst Bairnsdale offers a

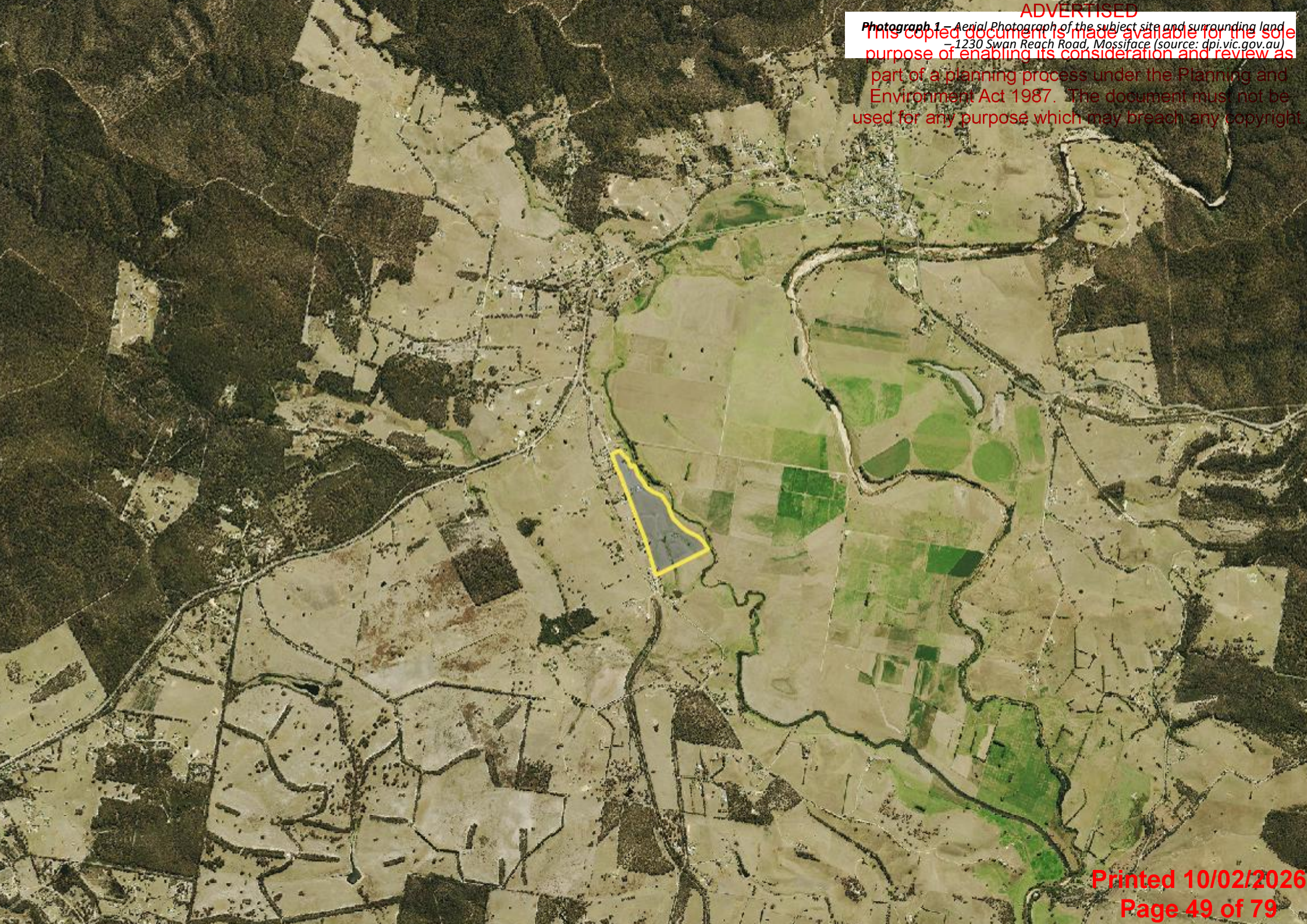
full range of commercial and community services.

The subject site in relation to Mossiface is shown in the aerial photograph at **Photograph 1**.





Photograph 1 – Aerial Photograph of the subject site and surrounding land  
– 1230 Swan Reach Road, Mossiface (source: dpi.vic.gov.au)  
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**Photograph 2** – Subject site at 1230 Swan Reach Road, Mossiface.



**Photograph 4** – Existing outbuilding on subject site facing east.



**Photograph 6** – Subject site facing south showing existing outbuilding.



**Photograph 3** – Existing non-habitable dwelling on subject site facing southeast.



**Photograph 5** – Subject site facing north showing existing outbuilding on the subject site.



**Photograph 7** – Subject site facing southeast showing existing outbuilding.





**Photograph 8** – Subject site facing north showing existing outbuilding.



**Photograph 10** – Approximate location of proposed gravel access track facing northeast.



**Photograph 12** – Location of proposed dwelling facing east



**Photograph 9** – Subject site facing north showing existing outbuilding.



**Photograph 11** – Location of proposed dwelling facing north.



**Photograph 13** – Location of proposed dwelling facing south.





**Photograph 14** – Location of proposed dwelling facing west.



**Photograph 16** – Southern portion of subject site facing east.



**Photograph 18** – Neighbouring property along the southern boundary at 1144 Swan Reach Road, Mossiface.



**Photograph 15** – Eastern portion of the subject site facing east showing the Tambo River Old Course.



**Photograph 17** – Neighbouring property along the northern boundary at 1268 Swan Reach Road, Mossiface.



**Photograph 19** – Neighbouring property opposing the subject site at 1229 Swan Reach Road, Mossiface.



**Photograph 20** – Swan Reach Road facing north.



**Photograph 21** – Swan Reach Road facing south.

### 3. THE PROPOSAL

This application seeks approval for the use and development of a dwelling within nominated setbacks. The proposed development plans are contained in **Appendix B**.

The proposed dwelling will be centrally located on the subject site. The proposed dwelling will have a setback of approximately 37.23 metres to the eastern boundary adjoining Tambo River (Old Course), 70 metres from the western boundary being Swan Reach Road which is identified as a Transport Zone 2, 321.84 metres to the southern boundary and 111.67 metres to the reserve area to the north. An extract of the site plan is provided below and in **Appendix B**.

The proposed dwelling will have a total building footprint of approximately 319.18m<sup>2</sup> including the portico, outdoor room and garage. The dwelling will be a single storey and the overall proposed height is approximately 5.9 metres.

The finished materials and colours of the proposed dwelling will include face brickwork in the colour Access Stone, scyon 'Linea' weatherboard cladding with a painted finish of Dulux White Exchange and Render with a finished colour of Dulux Greenwood. The roof of the dwelling will be finished with metal

sheeting in the Colorbond colour Basalt. A visual description of the proposed external finishes is provided below in **Figure 3**.

Vehicle access to the site is existing in the southern portion of the western boundary via a gravel crossover and driveway directly from Swan Reach Road. The existing driveway will be extended in a northerly direction to the location of the proposed dwelling as indicated on the proposed development plans.

Drainage from the proposed development will be directed to a rubble pit in the first instance with overflow directed to the legal point of discharge to the satisfaction of the responsible authority.

The proposal does not require any extensive earthworks that will exceed 1 metre in depth and no vegetation is required to be removed to facilitate the dwelling.

The proposed dwelling will connect to all available services including reticulated water, electricity, telecommunications and the existing road network. Electricity will be provided via a connection to the sub board on the side of the existing shed to the south of the proposed dwelling as indicated on the proposed development plans.

Wastewater will be treated and retained on the site via a primary treatment septic system as recommended within the Land Capability Assessment contained in **Appendix C**.





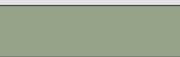

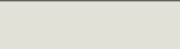
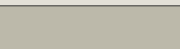



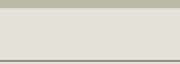


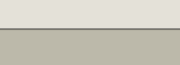

EXTERNAL COLOUR SCHEME			EXTERNAL PAINT COLOURS		
<b>AUSTRAL BRICK</b> <b>COLOUR: ACCESS STONE</b> <b>(NATURAL MORTAR)</b> 	<b>GARAGE SECTIONAL DOOR</b> <b>COLOUR COLOURBOND: BASALT</b>  <b>PROFILE: MEDITERRANEAN (NARROW)</b>	<b>COLORBOND ROOF, GUTTERS &amp; FASCIA</b> <b>COLOUR: BASALT</b>  <b>COLORBOND DOWNPIPE COLOUR:</b> <b>EVENING HAZE</b> 	<b>EXTERNAL PAINT COLOURS</b> <b>Paint Colour:</b> <b>Colour Sample:</b>		
			Front Door & Sidelights	DULUX: BAYLEAF	
			Front Entry Door Frame External Faces	ALUMINIUM: MONUMENT	
			Eaves Lining/Portico Lining	DULUX WHITE EXCHANGE HALF	
			Meter Box:	DULUX: GREENWOOD	
<b>RENDER COLOUR</b> <b>DULUX: GREENWOOD</b> 	<b>COLOURED THROUGH CONCRETE:</b> <b>SLATE</b> 	<b>ALUMINIUM WINDOWS/DOOR FRAMES:</b> <b>COLOUR: MONUMENT</b> 	Weather/Cladding:	DULUX WHITE EXCHANGE HALF	
			Timber Posts:	DULUX WHITE EXCHANGE HALF	
			Gable Feature:	DULUX WHITE EXCHANGE HALF	
			Mouldings on windows:	DULUX WHITE EXCHANGE HALF	
			Mouldings on Piers:	DULUX: GREENWOOD	

Figure 3 – Colour Schedule – Metricon



### Use and dwelling justification

The proposed use of the dwelling will be for residential purposes associated with the existing agricultural use. A dwelling on the subject site is justified with the following reasons:

- The proposed dwelling will support and enhance the ongoing management of an established cattle farming enterprise. The property forms part of a broader family-operated farming business comprising approximately 170 hectares of land across several parcels in Mossiface, Wiseleigh and Bruthen. The farming operation runs approximately 220 breeding cattle, two bulls and 30 sheep. The existing farming enterprise is supported by existing agricultural infrastructure across multiple allotments including cattle yards, hay and machinery sheds and dams.
- The proposed dwelling is required to enable effective and timely management of the existing farming enterprise. An on-site presence is essential for regular monitoring of livestock, particularly during calving periods, where immediate attention can prevent losses and improve animal welfare outcomes. Living on-site will reduce travel time and fatigue currently associated with commuting

between properties, allowing more efficient oversight of stock, pasture, and farm infrastructure.

- The agricultural use is a genuine commercial farming enterprise, not a lifestyle pursuit. The dwelling will assist the owner in maintaining compliance with animal welfare standards, improving operational efficiency and ensuring the long-term sustainability of the business. It will also provide proximity to family members who live nearby, offering necessary support as the owners age.
- The proposal is consistent with the objectives of the Farming Zone, which allows dwellings genuinely required for agricultural purposes. The dwelling is sited to avoid highly productive grazing land and will not impact the broader farming potential of the property. A Farm Management Plan is contained in **Appendix D.**

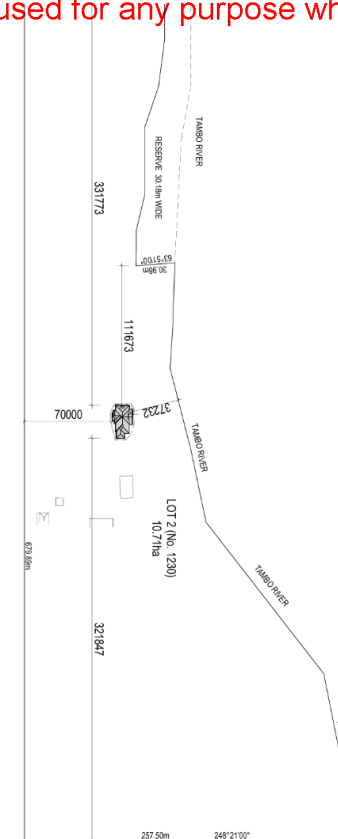


Figure 4 – Site Plan – Metricon



Figure 5 – Western elevation – Metricon

#### 4. ZONES AND OVERLAYS

##### Farming Zone – Schedule 1

The purpose of Farming Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To provide for the use of land for agriculture.
- To encourage the retention of productive agricultural land.
- To ensure that non-agricultural uses, including dwellings, do not adversely affect the use of land for agriculture.
- To encourage the retention of employment and population to support rural communities.
- To encourage use and development of land based on comprehensive and sustainable land management practices and infrastructure provision.
- To provide for the use and development of land for the specific purposes identified in a schedule to this zone.

An extract of the Farming Zone Map is provided in **Figure 6**.

Clause 35.07-1 provides a dwelling on an allotment that is less than 40 hectares is a Section 2 use - permit required.

Clause 35.07-4 provides a permit is required to construct a building or construct or carry out works for a use in Section 2, for a building

within 100 metres of a watercourse and within 100 of a road identified as a Transport Zone 2.

The proposal is a Section 2 use and will be within nominated setbacks and as such the relevant decision guidelines at Clause 35.07-8 are addressed below in Section 5.

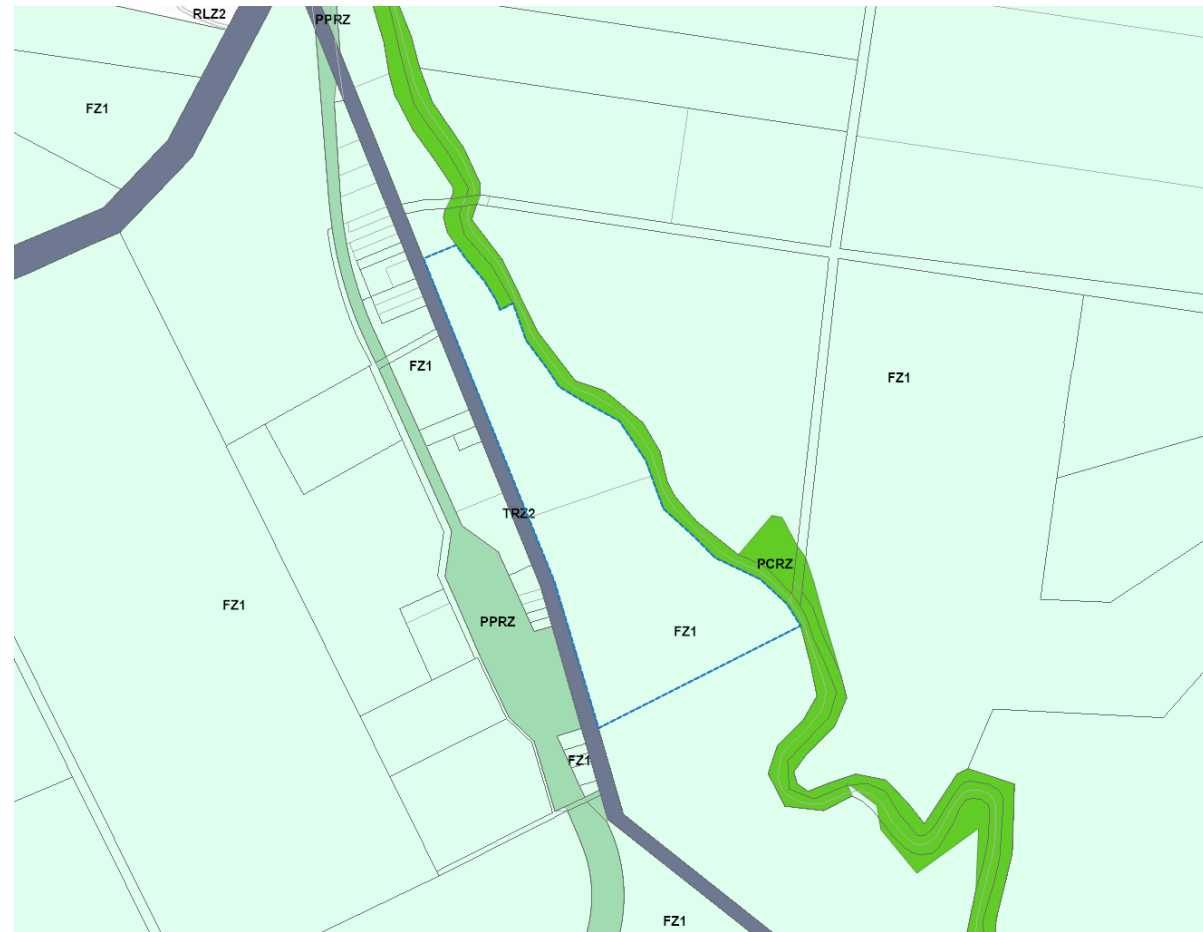


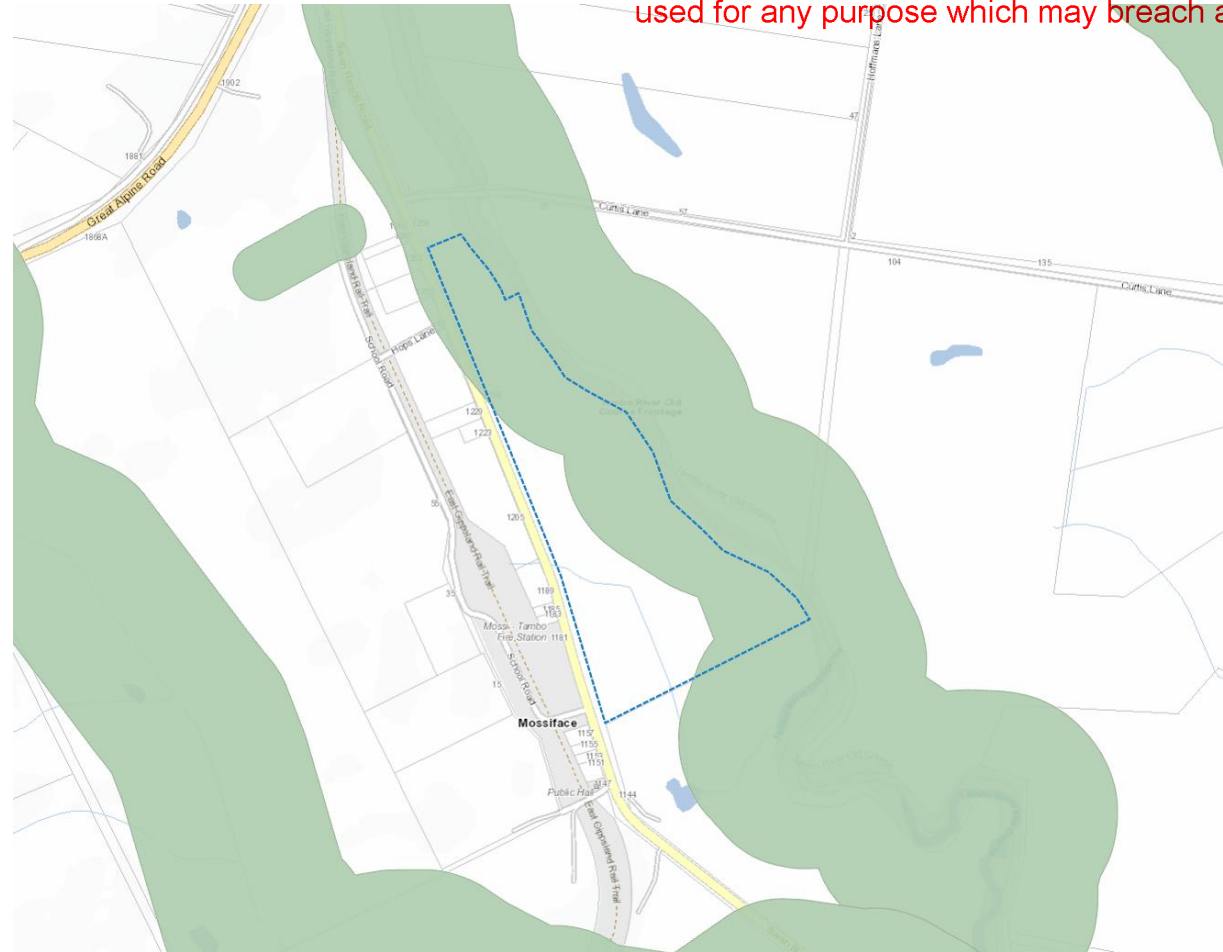
Figure 6 – Farming Zone – (source - mapshare.vic.gov.au)

## Aboriginal Cultural Heritage

Under the provisions of the *Aboriginal Heritage Act 2006* the subject site is recognised as being within an area of Aboriginal Cultural Heritage Sensitivity.

The development of a dwelling is an exempt activity and as such a Cultural Heritage Management Plan is not required.

An extract of the Aboriginal Cultural Heritage Map is provided in **Figure 7**.



## Heritage Inventory

The subject site is identified as being partly within a heritage inventory area.

Heritage Report Details:

Name: Mossiface Township and Hop Kiln Complex

Heritage inventory number: H8422-0002

Heritage Overlay Numbers: HO238

The proposed dwelling will be located outside the Heritage Inventory Area and as such this not addressed further.

An extract of the Heritage Inventory Map is provided in **Figure 8**.

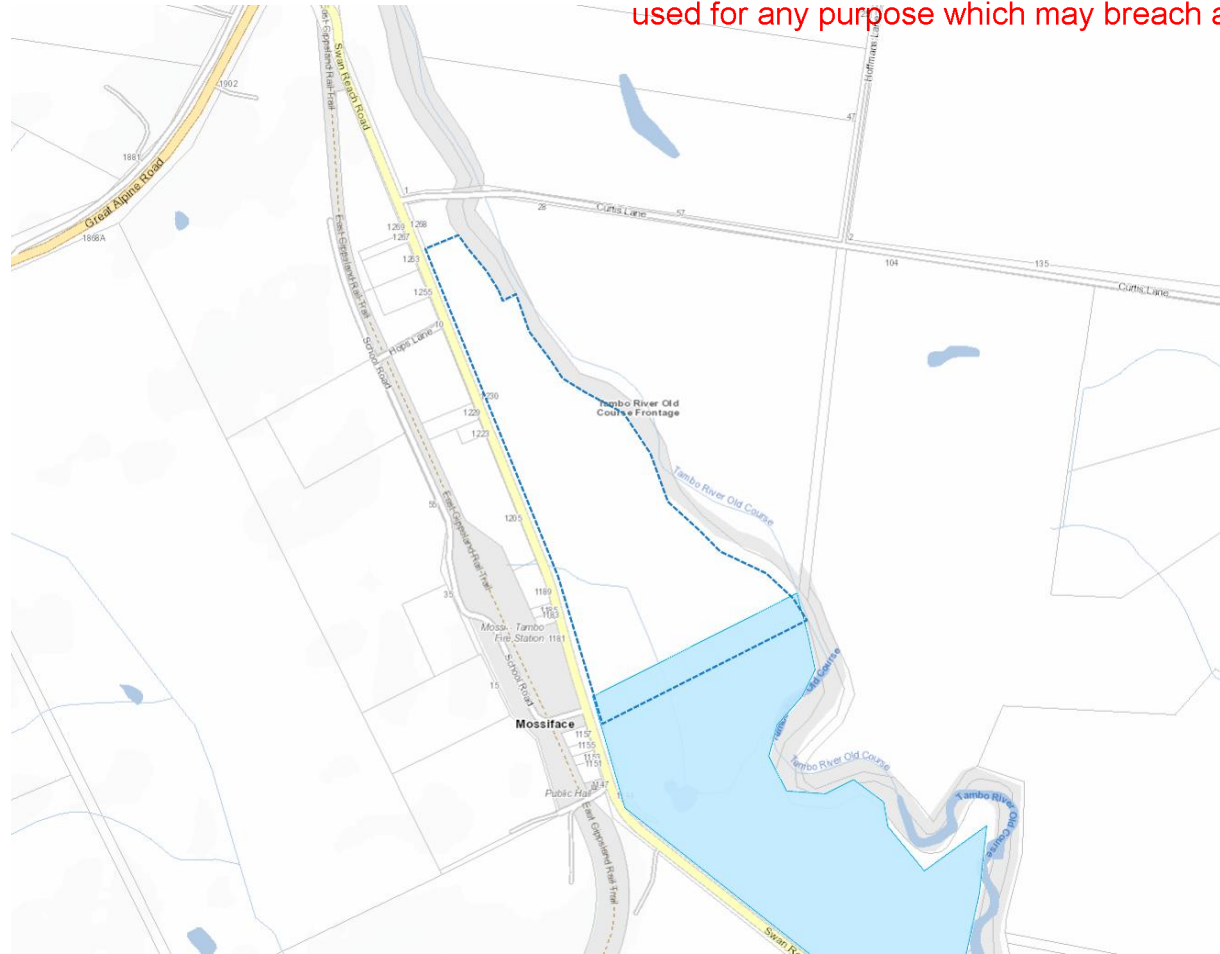


Figure 8 – Heritage Inventory Map – (source - mapshare.vic.gov.au)

## 5. PLANNING ASSESSMENT

This proposal has been assessed against the objectives and standards of applicable clauses of the East Gippsland Planning Scheme and it is considered that the proposed use and development of a dwelling within nominated setbacks is appropriate for the following reasons:

- The proposal meets the objectives of the Municipal Planning Strategy at **Clause 02** and the Planning Policy Framework at **Clause 10** providing for an appropriate dwelling that can be respectful of any existing surrounding uses, development and the environment.
- The proposal will contribute to a high standard of environmental sustainability by designing and locating the dwelling to meet the constraints of the land, reducing any potential negative environmental implications as sought to achieve by the relevant clauses including **Clause 02.03** and **Clause 11**.
- **Clause 02.03-1** identifies Mossiface as a small rural settlement near Bruthen and contains a minimal facilities. The subject site is partly located within a heritage inventory area. Details of the heritage place being the Mossiface Hop Kilns are provided in Section 5 of this submission.
- The proposed dwelling will connect to all available services and infrastructure including reticulated water, electricity, telecommunications and a good quality road network. Wastewater will be treated and retained on site, within the allotment boundaries via a standard primary treatment septic system and subsoil absorption trenches as recommended in the Land Capability Assessment contained in **Appendix C**. The proposed use and development of a dwelling will support the growth and sustainability of the existing agricultural enterprise. The economic importance of agriculture is recognised in **Clause 14**, which also seeks to ensure agricultural land is managed sustainably. The dwelling will be occupied by the landowner, ensuring effective on-site management of farming operations. This area is a mixture of farming uses and residential development. There are many similar sized allotments within the Farming Zone in proximity to the site that also contain dwellings, noting the township of Mossiface itself is also zoned Farming.
- The proposal meets the objectives of **Clause 16** by providing an additional dwelling within an existing farming area with a suitable level of services, that will in turn support the agricultural use of the land.
- The proposal is consistent with the decision guidelines of the Farming Zone at **Clause 35.07-6** which seeks to protect and enhance agricultural land.
- The proposed use and development of a dwelling will enhance and support the existing agricultural use of the site as detailed in the Farm Management Plan contained in **Appendix D**. Further dwelling justification is provided in Section 3 of this submission, additionally the existing agricultural enterprise comprises multiple landholdings throughout the Mossiface, Wiseleigh and Bruthen areas.
- The subject site is currently used for the grazing of cattle which will remain unchanged. There are several existing buildings already on the site supporting the agricultural use of the land, including a former dwelling. Given the dwelling has not been occupied for in excess of 15 years, and is beyond repair or habitation, we have determined the existing use rights of that dwelling to have ceased and as such have not sought the approval of a 'replacement dwelling' in this instance.
- The dwelling will be connected to all available services as previously detailed.
- The proposed dwelling will be centrally located however will be within 100 metres of a designated watercourse identified as

Tambo River (old course) and within 100 metres of Swan Reach Road which is identified as a Transport Zone 2. The proposed dwelling is unlikely to impact the existing watercourse and will direct all drainage to a rubble pit with overflow directed to the legal point of discharge to the satisfaction of the responsible authority. The dwelling is likely to be visible from the watercourse and Swan Reach Road however has been designed to be visually pleasing and blend with the environment.

- There is an existing non habitable dwelling located on the site that is used for storage. Given the current state of this building it is not considered necessary to formally decommission. The proposed dwelling will not be visually obtrusive and will not be out of character for the location.
- Access to the subject site is existing along the western boundary, directly from Swan Reach Road via a gravel crossover and driveway. An extension of the existing driveway will be constructed to provide access to the proposed dwelling as indicated on the proposed development plans. Given the access is existing and there is a non-habitable dwelling on the site there is unlikely to be any detrimental impacts to Swan Reach Road as a result of the proposal.
- This submission has addressed the decision guidelines of **Clause 65**, and the proposal supports orderly planning of the area whilst taking into consideration the potential effect on the environment, human health and the amenity of the area.
- Access to the site is addressed above and indicated on the proposed development plans, there will be no negative impact on the existing road network. The proposed dwelling is not considered likely to increase the traffic, rather will decrease as the residents will be living on site and will not be visiting the site multiple times per day to monitor cattle, obtain tools and equipment from the agricultural buildings. The development of a dwelling will not generate any negative impact on the existing road network.
- There are no factors of this proposal that are likely to cause or contribute to land degradation, salinity or reduce water quality.



## 6. CONCLUSION

This submission is in support of a planning permit application for the use and development of a dwelling within nominated setbacks at 1230 Swan Reach Road, Mossiface.

The relevant provisions of the East Gippsland Planning Scheme have been addressed and it has been ascertained that the proposal is appropriate in this location. It is requested that the proposal be supported for the following reasons:

- The proposal is consistent with the objectives and strategies outlined in the Municipal Planning Strategy and the Planning Policy Framework.
- The proposal is consistent with the objectives of the Farming Zone.
- The design of the building is complementary to the existing surrounding development and is consistent with the character of the area.

It is requested that a planning permit be granted for this development.

**Development Solutions Victoria**

### Disclaimer:

*This document has been prepared for planning permit application purposes only. The report has been made with careful consideration and with the best information available to Development Solutions Victoria Pty Ltd at the time.*

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The dwelling can also be fenced, if required, to ensure clear separation between residential and agricultural activities if deemed necessary. On this basis, we do not consider the current siting to represent an unreasonable outcome or one that compromises productive agricultural land. Furthermore, utilising the existing access is deemed to reduce potential fragmentation of the land.

### 3. Floor plan of former dwelling

A planning permit is not required for the change of use of the former dwelling to be an outbuilding, and accordingly the provision of a floor plan is deemed not necessary in this instance. The building has been unoccupied and used solely for storage purposes for a period exceeding 15 years. In these circumstances, addressing the use of the building as part of this application beyond identifying it on the plans is unnecessary and exceeds the requirements of the East Gippsland Planning Scheme. Given the above, the information already provided is considered sufficient and can be further controlled by conditions on any planning permit to be granted.

### 4. Building surveyor confirmation

Written confirmation from a licensed building surveyor regarding the suitability of the built form of the former dwelling for its intended use as a non-habitable building is considered an unnecessary exercise given the building has been in used for this purpose for the last 15 years as outlined above.

We do not believe that certification from a building surveyor should be required for storage purposes only. This building is amongst several other old buildings that have been part of this farming property for decades.

### 5. Revised planning submission – Clauses 14.01-1S, 14.01-1L-03, 16.01-3S and Farming Zone

A revised planning submission can be provided however, we note that the existing submission already addressed the relevant Clauses, including:

- **Clause 14.01-1S (Protection of agricultural land):** The proposed dwelling is located within the same general area as existing farm infrastructure, ensuring that buildings remain consolidated rather than dispersed across the site. The site will continue to be used for agricultural purposes.
- **Clause 14.01-1L-03 (Protection of agricultural land – Gippsland):** The dwelling will replace a former, non-habitable dwelling and will be the only dwelling on the lot. It is sited with existing buildings and does not introduce any new access points or inefficient land use patterns. The site is located within the township area of Mossiface which comprises many smaller Farming Zoned allotments containing dwellings and agricultural activities. This proposal is considered consistent with the surrounding land uses and development.
- **Clause 16.01-3S (Rural residential development):** The proposal does not facilitate rural residential use or fragmentation but rather supports an ongoing agricultural enterprise.

We consider the Clause responses adequate, however have provided additional commentary above.

### 6. Revised Farm Management Plan (FMP)

The farming operation associated with the subject land is an extensive grazing enterprise conducted across four landholdings under common ownership and management, which is very common farming practices throughout East Gippsland. The subject land forms part of this broader operation however can still sustain significant agricultural activities standalone and requires the development of a dwelling for improved operations.

The operation does not involve intensive animal husbandry, feedlots, dairying or other high-intensity agricultural uses. Stock are grazed and rotated across properties in response to seasonal conditions, land capability and operational requirements. As such, the proposal is consistent with the purpose of the Farming Zone, including the encouragement of sustainable agriculture without unnecessary fragmentation or intensification.

The stock numbers on this individual parcel, as with any farming property, is dependent on the weather conditions and feed availability in addition to the age and type of stock. Currently the land is accommodating 30 sheep, however in peak season it accommodates up to 35 sheep, 15 lambs and 4 bulls. The bulls cannot be relocated, as they are managed on a breeding cycle and are periodically required to be placed with the cows, while at other times they must remain separated.

Biosecurity, animal health, waste and carcass management practices are addressed at the broader enterprise level and are proportionate to an extensive grazing operation. The matters raised in relation to waste and effluent management are not applicable, as these issues do not arise in the context of relatively low-intensity grazing. The proposed dwelling does not change the scale or intensity of agricultural activity on the land or within the larger agricultural enterprise. The proposed dwelling supports the ongoing and effective management of the broader farming enterprise.

We note for clarity that no reference has been made in either the planning submission or the FMP to calf rearing. The farming operation does not involve intensive animal production, and animals are not reliant on imported feed in the manner described under the definition of intensive animal production.

In response to your reference to the Rural Land Use Strategy and the proposed Environmental Significance Overlay – Schedule 2, we appreciate that Planning Officers seek to implement the intention of the Strategy, however it our understanding that this document has not yet been adopted by the Council or implemented into the East Gippsland Planning Scheme and as such is not yet considered a seriously entertained planning document.

We trust that this information is sufficient to enable the application to proceed and a permit to be granted.

Should you require any further information or wish to discuss any element of the above further, please do not hesitate to contact our office on 03 5152 4858.

Regards

**Courtney Campbell**  
**Development Solutions Victoria**



Our Ref: 25073

2<sup>nd</sup> February 2026

Penny Cross  
Statutory Planning Officer  
East Gippsland Shire Council  
PO Box 1618  
Bairnsdale Vic 3875

Dear Penny,

**Re: Application for Planning Permit No: 5.2025.385.1  
1230 Swan Reach Road, Mossiface  
Use and Development of a Dwelling**

We act on behalf of the owner of the land at 1230 Swan Reach Road, Mossiface.

In response to your subsequence correspondence dated 27<sup>h</sup> January 2026, requesting further information in relation to the above application please find below our response to each item:

#### **Dwelling Location**

We respectfully request that an onsite meeting be arranged to allow you to inspect all three properties under the same ownership that collectively form part of this farming enterprise. An inspection would clearly demonstrate that the proposed dwelling site represents the most appropriate and logical location across the landholdings.

The remaining properties are located within a floodplain and contain the most productive agricultural land, which must be preserved for ongoing farming activities. Locating a dwelling on those parcels would compromise agricultural productivity and is therefore neither practical nor desirable.

The proposed dwelling has been deliberately sited within approximately 30 metres of the existing agricultural buildings, consolidating development within an already disturbed area of the land. This clustering minimises land fragmentation, avoids encroachment into productive farming areas, and ensures that agricultural operations can continue without constraint.

For these reasons, we strongly maintain that the proposed location is the most suitable, least impactful, and most efficient site for the dwelling and will not adversely affect the ongoing agricultural use or productivity of the land.

### Building Surveyor confirmation

We consider that the most suitable and practical outcome would be to include a permit condition requiring the formal decommissioning or removal of the former dwelling. The existing structure is clearly not in a habitable condition, having been significantly compromised by termite (white ant) damage.

Photographic evidence demonstrating the extent of the damage is provided below for your reference. This approach ensures there is no net increase in dwellings on the land and provides a clear and enforceable outcome. Subject to your agreement, we can amend the site plan to accurately identify the structure as a 'dwelling to be demolished / decommissioned', rather than classifying it as an 'agricultural building'.





**Farm Management Plan**

We have provided a revised Farm Management Plan, including additional details of the livestock such as breed, weights for each class, and more specific information regarding the farm operations. We believe this additional information will be of assistance.

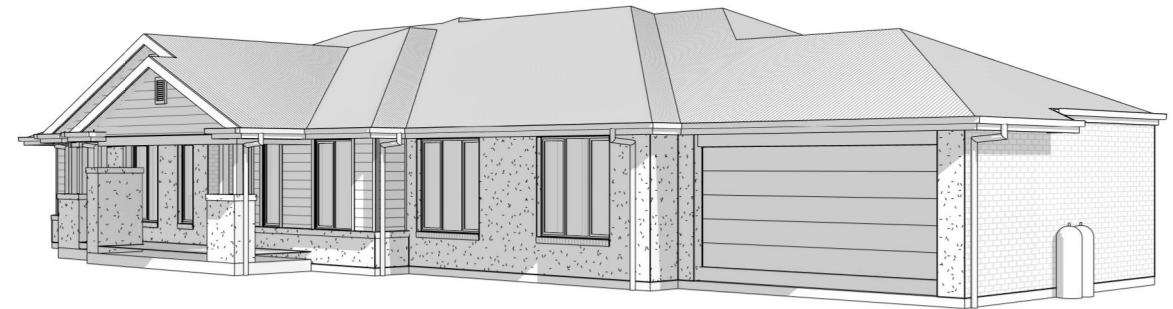
The revised Farm Management Plan is also accompanied by a letter of confirmation from Bill Wyndham & Co Livestock & Real Estate.

We trust that this information is sufficient to enable the application to proceed and advertising instructions to be provided as indicated.

Should you require any further information or wish to discuss any element of the above further, please do not hesitate to contact our office on 03 5152 4858.

Regards,

**Courtney Campbell**  
**Development Solutions Victoria**



# KALARNEY 29A

WHITEHAVEN

## DRAWING LIST

SHEET No.	SHEET NAME	SHEET No.	SHEET NAME
00	COVER SHEET	13	SLAB PLAN
01	GENERAL NOTES		
02 A	SITE PLAN 200		
02 B	SITE PLAN 750		
02 C	SITE PLAN 2000		
03	FLOOR PLAN		
04	ROOF PLAN		
05	ELEVATIONS		
06	ELEVATIONS		
07	SECTION		
08	FLOOR COVERINGS		
09	INTERNAL ELEVATIONS		
10	INTERNAL ELEVATIONS		
11	INTERNAL ELEVATIONS		
12	INTERNAL ELEVATIONS		

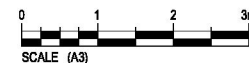
### REVISIONS

REV.	DESCRIPTION	DATE	DRAWN	CHECKED
1	PRE CONTRACT PLANS	24/09/2025	PGT	J9I
2	FINAL PLANS	14/11/2025	KT4	

### REVISIONS

REV	DESCRIPTION	DATE	DRAWN	CHECKED

DRAWING TITLE:  
COVER SHEET



Do NOT scale this drawing.  
All written dimensions take precedence  
over scaled dimension. If in doubt, ASK.



# FREEDOM

SPEC: BASE

DESIGN:  
KALARNEY 29A

PRODUCT CODE:  
VF3KAL29WHISNA

FACADE:  
WHITEHAVEN

CEILING:  
25G R

OWNER:

LOT 2 (NO. 1230) SWAN REACH RD,  
MOSSIFACE, VIC 3885

JOB N°: 757840

PERMIT N°: TBC

WIND SPEED: 40m/s

MASTER ISSUED: TBC

DRAWN: PGT

CHECKED: J9I

SHEET:

FINAL PLANS

DATE: 14/11/2025

00/13



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STANDARD NOTES: AS PER NCC 2022 AMENDMENT 2

- GENERAL**
- REFER TO ALL ASSOCIATED ENGINEERING DRAWINGS FOR DESIGN AND CONSTRUCTION REQUIREMENTS OF STRUCTURAL, SLAB & HYDRAULIC ELEMENTS (where applicable).
  - WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE.
  - FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
  - INTERNAL ELEVATION DIMENSIONS ARE TO PLASTER.
  - ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.

- FRAMING**
- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH AS1684.2-2021 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS STRUCTURAL COMPUTATIONS.
  - PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS & LAYOUTS.
  - WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQ. TO BE AS PER ENGINEERS DETAIL
  - SPECIFIED EAVE WIDTH, MEASURED FROM FACE OF BRICK (UNO).
  - PROVIDE 2No. JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL *S-TYP-DOOR-01N*.
  - ENSURE RETURN AIR GRILLE & AC VOIDS ARE CLEAR OF TRUSS &/OR FRAMING CONSTRUCTION.

- CEILING/WALL - GENERAL**
- PROVIDE PLASTER LINED CEILINGS TO ALL AREAS (UNO).
  - SOFFITS 4.5mm FC SHEET (UNO).
  - ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN' LAP TO ALL JOINS WITH CONTINUOUS SILICON SEAL BETWEEN & 50mm MIN' VERTICAL OVERHANG.)
  - PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5
  - WATERPROOFING FOR EXTERNAL ABOVE GROUND USE TO COMPLY WITH AS4654.1-2012 & AS4654.2-2012.

- STEPS/STAIRS & BALUSTRADES**
- ALL STEPS MUST COMPLY WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.2
  - BARRIERS & HANDRAILS MUST COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3
  - BALUSTRADE IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.3 TO BE INSTALLED WHERE VOIDS, OR INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE FINISHED GROUND/FLOOR LEVEL.
  - PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.4 & AS4586-2013.
  - STAIRS ARE INDICATIVE ONLY. REFER TO DETAILS, SPECIFICATIONS & SELECTION DOCUMENTS.

- WET AREAS**
- WATERPROOFING OF WET AREAS TO COMPLY WITH NCC 2022 H4D2 HOUSING PROVISIONS 10.2 INCLUDING STATE VARIATIONS AND ADDITIONS.
  - WALL LINING TO WET AREAS TO BE APPROVED WET AREA BOARD (UNO).
  - ALL INWARD SWING HINGED WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH NCC 2022 H4D5 HOUSING PROVISIONS 10.4.2

- WINDOWS & DOORS**
- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNO).
  - SIZES NOMINATED AS A GENERIC CODE (UNO). FIRST 2 NUMBERS REFER TO HEIGHT & SECOND 2 RELATE TO WIDTH.
  - EXTERNAL WINDOWS & DOORS TO COMPLY WITH NCC 2022 H6D1 HOUSING PROVISIONS 13.4.4.
  - WINDOWS TO COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6.
  - ALL GLAZING TO COMPLY WITH AS1288-2021 & AS2047-2014, & WITH AS4055-2021 FOR WIND LOADING (UNO).
  - WINDOWS SHALL BE PROTECTED IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & 11.3.8
  - WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS (UNO).
  - PROVIDE LIGHTWEIGHT CLADDING ABOVE ALL CORNER WINDOWS & CORNER DOORS (UNO).
  - SAFETY GLAZING IN HUMAN IMPACT AREAS INCLUDING ADJACENT TO BATHS OR SHOWERS TO BE IN ACCORDANCE WITH NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6

- ENERGY EFFICIENCY NOTES**
- NOTE: DESIGN MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY RATING, BASED ON SPECIFIC SITING. REFER TO SPECIFICATION & CONTRACT DOCUMENTATION.
- PROVIDE BULK CEILING INSULATION & EXTERNAL WALL INSULATION AS PER STD SPECIFICATIONS (UNO).
  - PROVIDE WEATHER STRIPPING TO WINDOWS & ALL EXTERNAL HINGED DOORS.
  - PROVIDE DRAFT PREVENTION TO EXHAUST FANS, AS PER RELEVANT BUILDING CODES.
  - SEALED GAPS AROUND WINDOWS & EXTERNAL DOORS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 H1D7 HOUSING PROVISIONS 7.5.6 & AS/NZS 2904-1995.
  - INSULATION OF SERVICES AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.2
  - HEATING AND COOLING DUCTWORK AS PER NCC 2022 HOUSING PROVISIONS H6D2 13.7.4 & SEALING PER AS4254-2021.
  - ARTIFICIAL LIGHTING AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.6
  - WHERE APPLICABLE, PROVIDE SUB-FLOOR VENTILATION IN ACCORDANCE WITH NCC 2022 H2D5 HOUSING PROVISIONS 6.2.1 TO SUSPENDED TIMBER FLOORS.

- MISCELLANEOUS**
- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5.
  - PLIABLE BUILDING MEMBRANES TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.1 & AS4200.1-2017 & BE INSTALLED IN ACCORDANCE WITH AS4200.2-2017.
  - ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, NCC 2022 H2D2 HOUSING PROVISIONS 3.3 & AS/NZS 3500.3-2021.
  - PROVIDE MINIMUM 115mm SLOTTED GUTTERS WITH APPROVED OVERFLOW PROVISIONS AS REQUIRED.
  - ALL EXHAUST SYSTEMS TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.2, INCLUDING "MAKE UP AIR" VENTILATION METHOD AS PER 10.8.2 (5)(a)
  - WHERE REQUIRED, BATHROOM AND SANITARY COMPARTMENT EXHAUST FANS TO ACHIEVE A MINIMUM FLOW RATE OF 25 L/s, & 40 L/s FOR A KITCHEN OR LAUNDRY.
  - PROVIDE TERMITE MGT. SYSTEM AS PER AS3660.1-2014.
  - ALL SMOKE ALARMS TO COMPLY WITH AS3786-2014, CONNECTED TO MAINS POWER, AND INTERCONNECTED WHERE APPLICABLE. INSTALLATION TO BE IN ACCORDANCE WITH NCC 2022 H3D6 HOUSING PROVISIONS 9.5.4
  - LOCATIONS OF ELECTRICAL COMPONENTS & VENTS SHOWN ARE INDICATIVE ONLY, AND MUST BE INSTALLED TO REQUIRED DISTANCES FROM WALL & CEILING JUNCTIONS.
  - BUILDINGS IN BUSHFIRE PRONE AREAS TO COMPLY WITH AS3959-2018.
  - DWELLINGS WITHIN 1km OF A BAY/10km OF A SURF COAST MUST HAVE ALL STEEL & MORTAR IN ACCORDANCE WITH SECTION 5 OF AS3700-2018.
  - TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE FOOTINGS.

- STEEL FRAMING REQUIREMENTS (WHERE APPLICABLE):**
- STEEL FRAME & TRUSSES REQUIRING THE ISSUE OF A SIGNED COMPLIANCE CERTIFICATE FOR THE BUILDING DESIGN - FORM 15 UPON COMPLETION AND PRIOR TO FINAL CERTIFICATION
  - STEEL FRAMES AND TRUSSES TO COMPLY WITH:
    - AS/NZS 1170.0-2002 STRUCTURAL DESIGN ACTIONS: PART 0: GENERAL PRINCIPLES
    - AS/NZS 1170.1-2002 STRUCTURAL DESIGN ACTIONS: PART 1: PERMANENT, IMPOSED AND OTHER ACTIONS
    - AS/NZS 4600-2018 COLD-FORMED STEEL STRUCTURES
    - AS4055-2021 WIND LOADS FOR HOUSING
    - AS4100-2020 STEEL STRUCTURES CODE
    - AS3623-1993 DOMESTIC METAL FRAMING
    - AS3566.1-2002 SELF DRILLING SCREWS
    - NASH STANDARDS
- STEEL FRAMING SUPPLIER TO PROVIDE DESIGN, CONNECTORS AND FIXING HARDWARE FOR ALL STEEL TO STRUCTURAL TIMBER MEMBERS (UNO BY ENGINEER).

**ENERGY EFFICIENCY:**

NOTE: DESIGN MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY RATING, DEPENDING ON SITING.

**PROVIDED IN THE PLANS:**

DOOR SEALS -  
SEALS TO EXTERNAL HINGED DOORS (INCL. GARAGE INTERNAL ACCESS DOOR).

WINDOWS -  
SHALL BE WEATHER STRIPPED

DRAFT EXCLUSION -  
REFLECTIVE SISALATION WEATHER WRAP WITH TAPED HORIZONTAL AND VERTICAL JOINTS. SEALED GAPS AROUND WINDOWS AND EXTERNAL DOORS TO BE INSTALLED IN ACCORDANCE WITH NCC 3.5.4.6 & AS/NZS 2904

CEILING INSULATION -  
R6.0 WITH R2.5 BATTS TO EXTERNAL PERIMETER EXCLUDES OUTDOOR ROOM, VERANDAH, PORTICO AND GARAGE

WALL INSULATION -  
R2.5 BATTS TO ALL EXTERNAL WALLS INCL. HOUSE / GARAGE WALLS AND HOUSE / ROOF SPACE WALLS. NO INSULATION TO GARAGE WALLS.

FIRST FLOOR INSULATION -  
R4.1 BATTS TO FLOOR AREA ABOVE GARAGE PORTICO, VERANDAH AND OUTDOOR ROOM.

DOWNLIGHTS -  
ALL DOWNLIGHTS TO BE SEALED.

EXHAUST FANS - DRAFT PREVENTION TO EXHAUST FANS, TO RELEVANT BUILDING CODES.

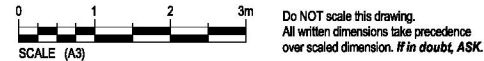
INTERNAL WALLS -  
R2.5 TO INTERNAL GARAGE WALLS  
R2.0 INTERNAL WALLS TO LAUNDRY & BATHROOM

FACADE DETAIL	
S-TYP-WHIT-01N	

REFERENCE DETAILS		
DETAIL NUMBER	DETAIL DESCRIPTION	DETAIL LINK
NS-TYP-SHEL-01	MAIN SHELF OPTIONS (EXCL. ROBES)	
O-TYP-KITC-01	<varies>	
O-TYP-WET-01	TILED RECESS & SHELF FOR SHOWERS AND BATHS	
S-TYP-GARA-01	BRICK VENEER GARAGE DETAILS, BRICKWORK OR FC OVER OPENING	
S-TYP-KITC-01	ISLAND BENCH MICROWAVE VENTING DETAIL	
S-TYP-SHOW-02	INSITU SHOWER BASE DETAIL FOR CONCRETE AND TIMBER FLOOR	
S-TYP-WIND-05	FC INFILLS ABOVE WINDOWS	

• REFER TO "METRICON - WINDOW AND DOOR CODE SIZE GUIDE"

DRAWING TITLE:  
**GENERAL NOTES**



DESIGN:  
**KALARNEY 29A**

PRODUCT CODE:  
VF3KAL29WHISNA

FACADE:  
**WHITEHAVEN**

CEILING:  
**25G R**

501 Blackburn Road, Mount Waverley, VIC, 3149  
P.O. Box 857, Mount Waverley, VIC, 3149

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Builders Licence N°: CDB-U 52967 ACN: 005 108 752  
Tel: 1300 786 773  
www.metriconhomes.com.au

OWNER:  
  
LOT 2 (NO. 1230) SWAN REACH RD,  
MOSSIFACE, VIC 3885

JOB N°: 757840	PERMIT N°: TBC
WIND SPEED: 40m/s	MASTER ISSUED: TBC
DRAWN: PGT	CHECKED: J91
SHEET:	
FINAL PLANS DATE: 14/11/2022	



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# EXCAVATION NOTES:

EXCAVATE APPROX. 200 MM ON R.L. 100.1 & SPREAD FILL OVER REMAINING BUILDING AREA TO LEVEL.

EXCAVATIONS TO START 1500MM FROM EDGE OF SINGLE STOREY BUILDING OR 2000MM FROM DOUBLE STOREY BUILDING (WHERE POSSIBLE) AND TO BE BATTERED BACK AT 30 DEG. RETAINING WALLS MAY BE REQUIRED SUBJECT TO SITE CONDITIONS.

## SLAB STEP-DOWNS:

THE FOLLOWING STEP-DOWNS ARE TAKEN FROM F.F.L. OF HOUSE SLAB:-

GARAGE: 0 MM  
PORTICO: 149 MM  
OUTDOOR ROOM: 149 MM

## CUT/FILL AREAS:

NOTE: AREAS ARE TAKEN FROM THE CUT LINE TO THE OUTER EDGE OF THE CUT BATTER AND FILL APRON

CUT - 253 SQM  
FILL - 227 SQM

## TERMITE PROTECTION:

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3660.1.

## SITE EXCAVATIONS:

ALL SITE EXCAVATIONS AND/OR RETAINING WALLS TO BE A MINIMUM OF 200MM FROM ANY BOUNDARY

## GARDEN AND SITING REQUIREMENTS:

>650M2 - 35% OF THE ALLOTMENT

106744 M2 > 37485 M2 COMPLIES

## BUSHFIRE PROTECTION (BAL 12.5):

PROPOSED DWELLING TO BE CONSTRUCTED IN ACCORDANCE WITH BUSHFIRE REQUIREMENTS (BAL 12.5) AS PER A.S. 3959

## GENERAL NOTE:

COMPLIANCE WITH NCC 2022

COMPLIANCE WITH NCC 2022 CLAUSE 10.8.1  
COMPLIANCE WITH NCC 2022 CLAUSE 10.8.2  
COMPLIANCE WITH NCC 2022 CLAUSE 13.4.4

## ROOF DRAINAGE:

GUTTERS AND DOWNPIPES TO BE IN ACCORDANCE WITH A.S. 3500

## TEMPORARY DOWNPIPES:

TEMPORARY DOWNPIPE SOCKS TO BE USED DURING CONSTRUCTION UNTIL DOWNPIPES ARE CONNECTED TO PREVENT POINDING NEXT TO SLAB

## TEMPORARY FENCING:

BUILDER TO PROVIDE TEMPORARY FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTHORITY BYLAW)

## SUSTAINABLE ENERGY:

DWELLING TO COMPLY W/- RELEVANT SUSTAINABLE ENERGY REQUIREMENTS.

## RESCODE NOTES:

SITING WILL BE SUBJECT TO FULL RESCODE GUIDELINES FOR BUILDING APPROVAL & CONSEQUENTLY, SITINGS MAY DIFFER FROM OWNERS ORIGINAL REQUEST IN ORDER TO ACCOMMODATE RESCODE REQUIREMENTS.

OWNER TO PROVIDE 1.8M H SCREENING PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ACHIEVE CERTIFICATE OF OCCUPANCY UPON COMPLETION THIS IS TO COMPLY WITH REG. 4.19 (OVERLOOKING REQUIREMENTS.)

REFER ENGINEER'S FOOTING DESIGN  
SOIL CLASSIFICATION 'P (M)'  
REFER SOIL REPORT (REF. No: 250531)

RUBBLE PIT AS PER  
ENGINEER'S DESIGN

STORMWATER RUN  
CONNECTED TO  
RUBBLE PIT BY BUILDER

1200W x 600D  
CONC PADS



RUBBLE PIT AS PER  
ENGINEER'S DESIGN

STORMWATER RUN  
CONNECTED TO  
RUBBLE PIT BY BUILDER

STAKE

BH4

+ 100.03

+ 99.85

+ 99.64

+ 99.68

+ 99.87

+ 99.88

+ 99.85

+ 100.04

+ 100.09

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# EXCAVATION NOTES:

EXCAVATE APPROX. 200 MM ON R.L. 100.1 & SPREAD FILL OVER REMAINING BUILDING AREA TO LEVEL.

EXCAVATIONS TO START 1500MM FROM EDGE OF SINGLE STOREY BUILDING OR 2000MM FROM DOUBLE STOREY BUILDING (WHERE POSSIBLE) AND TO BE BATTERED BACK AT 30 DEG. RETAINING WALLS MAY BE REQUIRED SUBJECT TO SITE CONDITIONS.

# SLAB STEPDOWNS:

THE FOLLOWING STEP DOWNS ARE TAKEN FROM F.F.L. OF HOUSE SLAB:-

GARAGE: 0 MM  
PORTICO: 149 MM  
OUTDOOR ROOM: 149 MM

# CUT/FILL AREAS:

NOTE: AREAS ARE TAKEN FROM THE CUT LINE TO THE OUTER EDGE OF THE CUT BATTER AND FILL APRON

CUT - 253 SQM  
FILL - 227 SQM

# TERMITE PROTECTION:

PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH A.S.3660.1.

# SITE EXCAVATIONS:

ALL SITE EXCAVATIONS AND/OR RETAINING WALLS TO BE A MINIMUM OF 200MM FROM ANY BOUNDARY

# GARDEN AND SITING REQUIREMENTS:

>650M2 - 35% OF THE ALLOTMENT

106744 M2 > 37485 M2 COMPLIES

# BUSHFIRE PROTECTION (BAL 12.5):

PROPOSED DWELLING TO BE CONSTRUCTED IN ACCORDANCE WITH BUSHFIRE REQUIREMENTS (BAL 12.5) AS PER A.S. 3959

# GENERAL NOTE:

COMPLIANCE WITH NCC 2022

COMPLIANCE WITH NCC 2022 CLAUSE 10.8.1  
COMPLIANCE WITH NCC 2022 CLAUSE 10.8.2  
COMPLIANCE WITH NCC 2022 CLAUSE 13.4.4

# ROOF DRAINAGE:

GUTTERS AND DOWNPIPES TO BE IN ACCORDANCE WITH A.S. 3500

# TEMPORARY DOWNPIPES:

TEMPORARY DOWNPIPE SOCKS TO BE USED DURING CONSTRUCTION UNTIL DOWNPIPES ARE CONNECTED TO PREVENT POINDING NEXT TO SLAB

# TEMPORARY FENCING:

BUILDER TO PROVIDE TEMPORARY FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTHORITY BYLAW)

# SUSTAINABLE ENERGY:

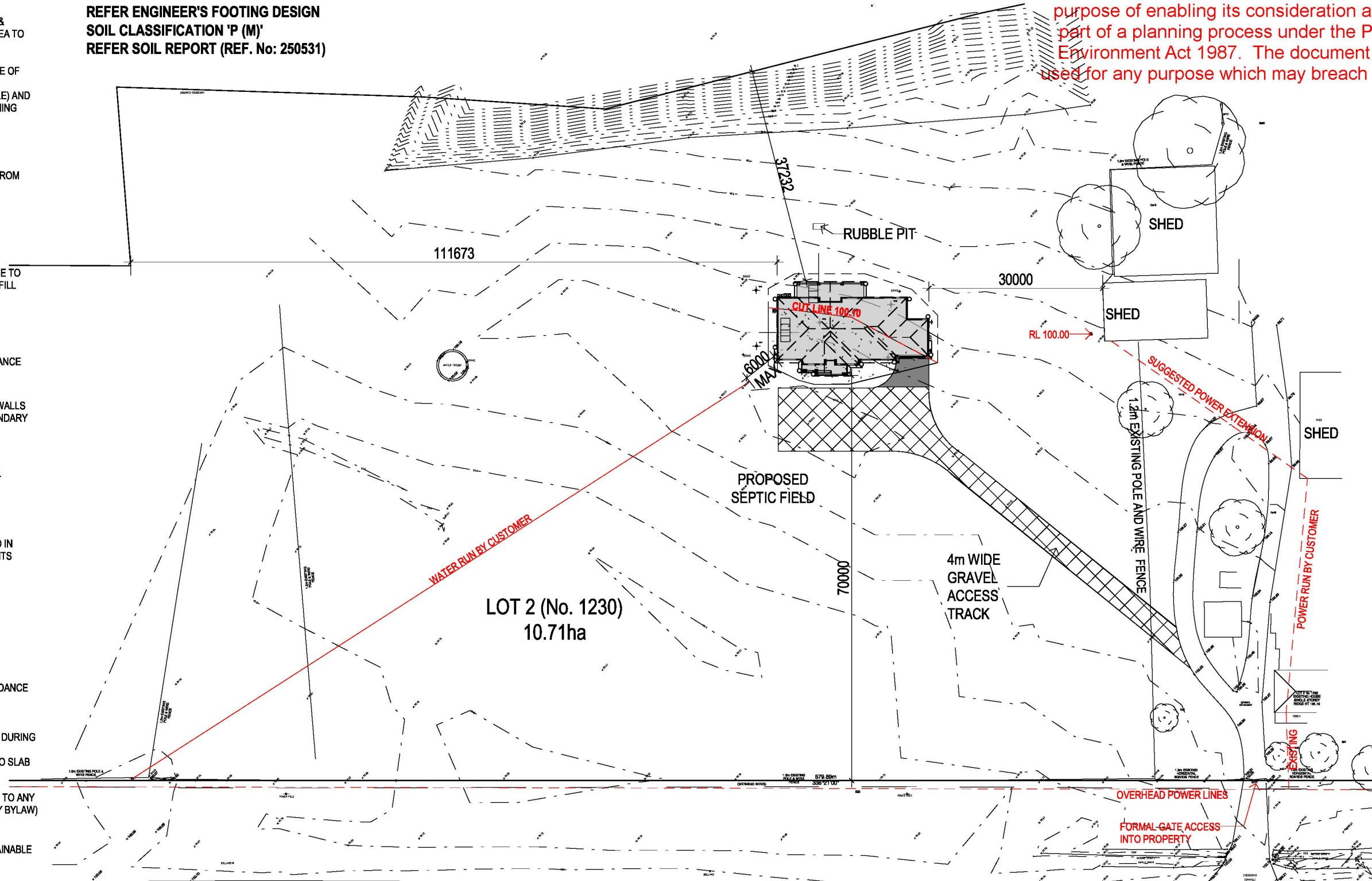
DWELLING TO COMPLY W/- RELEVANT SUSTAINABLE ENERGY REQUIREMENTS.

# RESCODE NOTES:

SITING WILL BE SUBJECT TO FULL RESCODE GUIDELINES FOR BUILDING APPROVAL & CONSEQUENTLY, SITINGS MAY DIFFER FROM OWNERS ORIGINAL REQUEST IN ORDER TO ACCOMMODATE RESCODE REQUIREMENTS.

OWNER TO PROVIDE 1.8M H SCREENING PRIOR TO COMMENCEMENT OF CONSTRUCTION TO ACHIEVE CERTIFICATE OF OCCUPANCY UPON COMPLETION THIS IS TO COMPLY WITH REG. 4.19 (OVERLOOKING REQUIREMENTS.)

REFER ENGINEER'S FOOTING DESIGN  
SOIL CLASSIFICATION 'P (M)'  
REFER SOIL REPORT (REF. No: 250531)



SWAN REACH ROAD

# ASBESTOS:

IF ASBESTOS IS ENCOUNTERED AT ANY POINT DURING THE BUILD ALL WORK IS TO CEASE IMMEDIATELY AND THE SITE SUPERVISOR IS TO BE CALLED. THE SITE IS TO BE EVACUATED AND NO FURTHER WORK IS TO BE DONE UNTIL THE SITE IS DECLARED SAFE BY A QUALIFIED ASBESTOS ASSESSOR

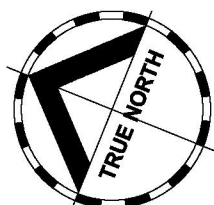
# DEMOLITION REQUIREMENTS:

SITE TO BE CLEARED OF ALL EXISTING STRUCTURES, LEVELED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES P/L.

# SEPTIC:

SEPTIC TANK SYSTEM TO BE PROVIDED BY METRICON HOMES IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

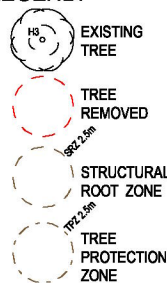
# NOTES:



# SITE AREA

107100.00 m <sup>2</sup>	
<b>O/ALL SITE COVERAGE</b>	
0.00 m <sup>2</sup>	0.00%
<b>IMPERMEABLE AREA</b>	
0.00 m <sup>2</sup>	0.00%
<b>PERMEABLE AREA</b>	
106744.00	99.67%
<b>GARDEN AREA</b>	
0.00 m <sup>2</sup>	0.00%

# LEGEND:



—SW— SW- STORMWATER  
—S— S- SEWER RUN  
--- ROOF LINES

# CONSTRUCTION DRAWINGS

The Owner acknowledges that these are the final plans as varied and supercede any prior plans signed. **No further variations permitted.**

Signed .....  
Date .....

# DRAWING TITLE:

SITE PLAN 750



Do NOT scale this drawing.  
All written dimensions take precedence over scaled dimension. If in doubt, ASK.



**FREEDOM**

SPEC: BASE

# DESIGN:

KALARNEY 29A

# FACADE:

WHITEHAVEN

501 Blackburn Road, Mount Waverley, VIC, 3149  
P.O. Box 857, Mount Waverley, VIC, 3149  
Builders Licence N°: CDB-U 52967 ACN: 005 108 752  
Tel: 1300 786 773  
www.metricronhomes.com.au

# PRODUCT CODE:

VF3KAL29WHISNA

# CEILING:

25G R

# OWNER:

LOT 2 (NO. 1230) SWAN REACH RD,  
MOSSFACE, VIC 3885

JOB N°: 757840

PERMIT N°: TBC

WIND SPEED: 40m/s

MASTER ISSUED: TBC

DRAWN: PGT

CHECKED: J91

SHEET:

**FINAL PLANS**

DATE: 14/11/2022

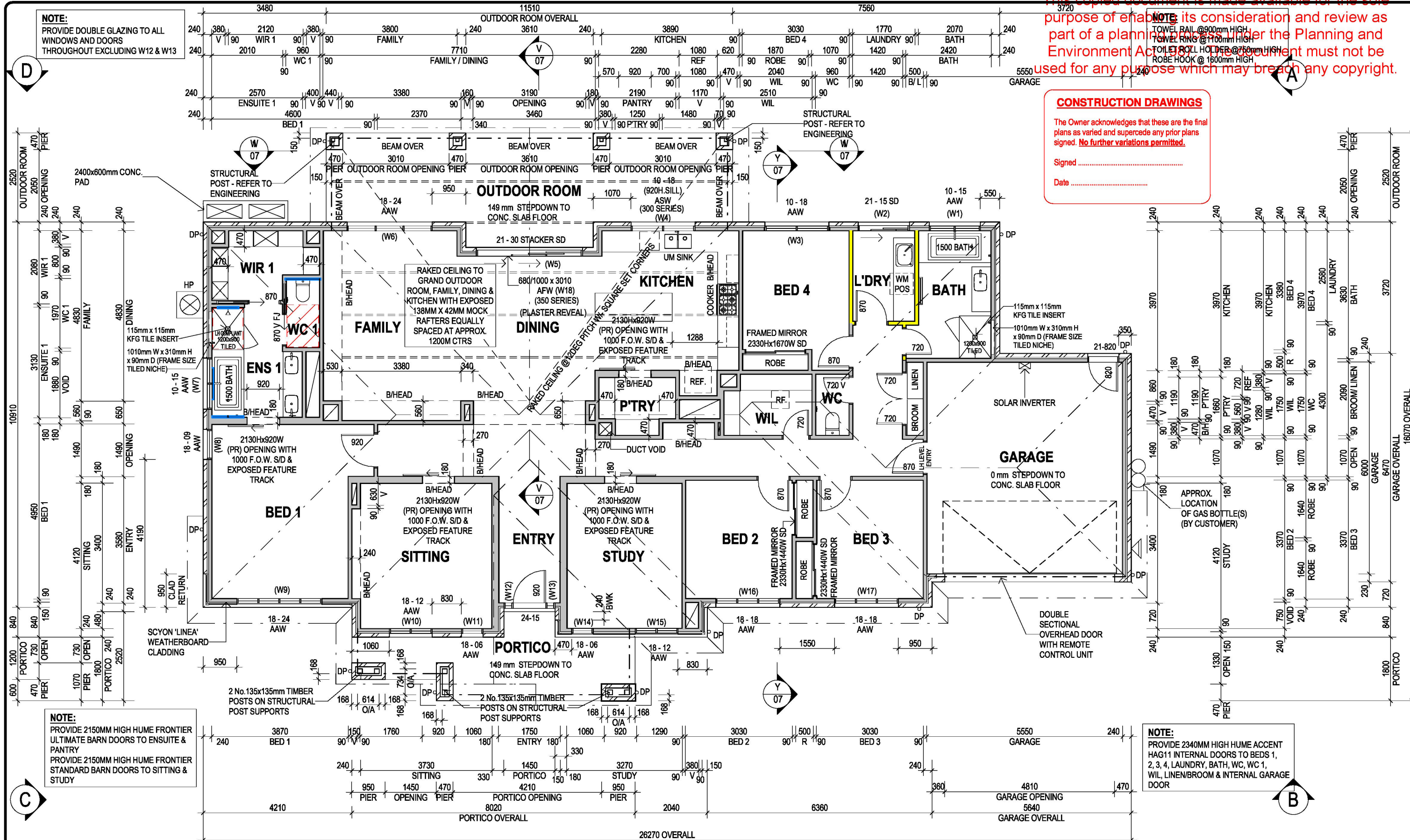
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Page 72 of 79



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**CONSTRUCTION DRAWINGS**  
The Owner acknowledges that these are the final plans as varied and supercede any prior plans signed. No further variations permitted.  
Signed .....  
Date .....

**NOTES:**  
• CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY  
• 245D. BULKHEAD THROUGHOUT (U.N.O.)  
900W. x 1200D. CIRCULATION SPACE TO FRONT EDGE OF TOILET PAN  
IN WALL REINFORCING REFER DETAIL

**LEGEND:**  
UNDER STAIR WALLS (WHERE APPLICABLE) - TO BE BUILT AFTER STAIR  
70MM STUD WALLS  
V (Noted on INTERNAL DOOR size) = 20mm MAX. UNDERCUT  
RF ROOF ACCESS  
FJ - DENOTES FLUSH JAMB  
R2.0 INSULATION

AREA	m <sup>2</sup>	SQR
GROUND FLOOR	236.52 m <sup>2</sup>	25.46
TOTAL LIVING	236.52 m <sup>2</sup>	25.46
PORTICO	14.06 m <sup>2</sup>	1.51
OUTDOOR ROOM	31.60 m <sup>2</sup>	3.40
GARAGE	37.00 m <sup>2</sup>	3.98
TOTAL OTHER	82.66 m <sup>2</sup>	8.90
TOTAL	319.18 m <sup>2</sup>	34.36

**DRAWING TITLE:**  
FLOOR PLAN  
SCALE 1:100 (A3)  
Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.  
m metricon  
SPEC: BASE

**DESIGN:**  
KALARNEY 29A  
FACADE:  
WHITEHAVEN  
PRODUCT CODE:  
VF3KAL29WHISNA  
CEILING:  
25G R

**OWNER:**  
LOT 2 (NO. 1230) SWAN REACH RD, MOSSFACE, VIC 3885  
JOB N°: 757840  
PERMIT N°: TBC  
WIND SPEED: 40m/s  
MASTER ISSUED: TBC  
DRAWN: PGT  
CHECKED: J91  
SHEET:  
FINAL PLANS  
DATE: 14/11/2025

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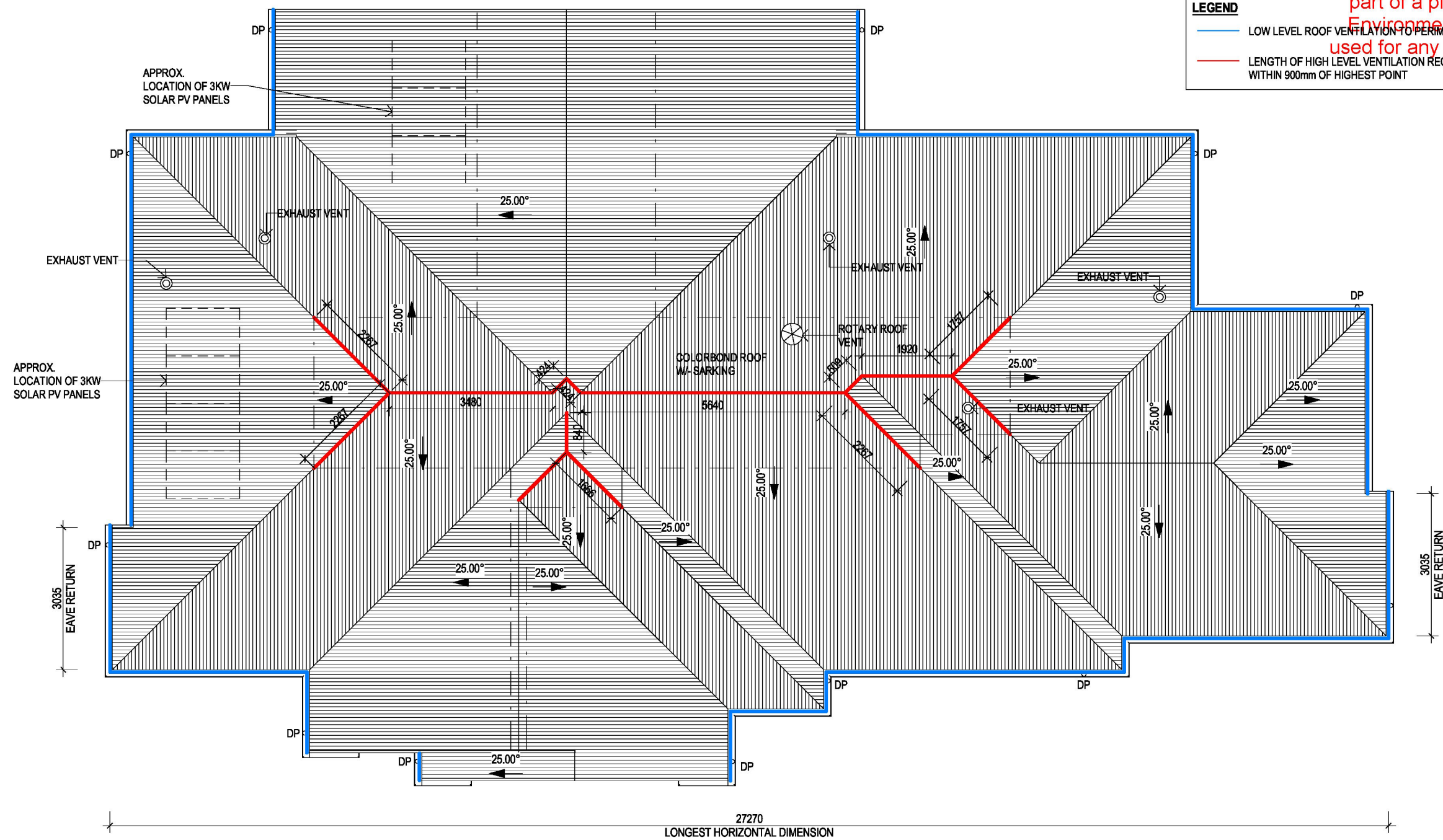
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**CONSTRUCTION DRAWINGS**

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Signed .....

Date .....

**LOW LEVEL ROOF VENTILATION**

	Roof Plane 1
Roof Type	Metal Lysaght - Custom Orb
BAL Zone	Yes
Sarking	Yes
Longest Horizontal Dimension of the Roof	27270
Total Length to Ventilate	54540
Roof Pitch - degrees	25
NCC Roof Pitch Category (Low)	15 to 75
NCC Ventilation Openings (mm <sup>2</sup> /m)	7000
<b>NCC REQUIRED VENTED OPEN AREA per Roof Plane (Volume)</b>	<b>381780</b>
Target Length to Vent	37999.5
Perimeter / Length of roof to be vented (Measured from the roof plans & marked in blue)	65035
<b>Venting Method</b>	<b>EG7000 &amp; sarking</b>
Vent Open Area	10047
<b>ACTUAL DESIGN VENTED OPEN AREA (Volume)</b>	<b>653406.645</b>
Roof Plane PASS / FAIL = Actual Open Area - NCC Requirement	271626.645
COMPLIES WITH NCC2022 10.8.3 Roof Ventilation Open Area Requirement	YES

**HIGH LEVEL = Ridge &/or Hips**

	Roof Plane 1
NCC Roof Pitch Category (High/Ridge)	10 to 75
NCC Venting Requirement - Ridge, Hips, Highside	5000
<b>NCC REQUIRED VENTED OPEN AREA per Roof Plane</b>	<b>136350</b>
<b>Venting Method</b>	<b>PAB19 = Ridge sarking termination + BAL Mesh</b>
<b>Roof Vent Open Ventilated Area</b>	
Ventilation Open Area per m, or per device, or PAB.	5000
# of HIGH SIDES TO VENT	2
2 sides = Ridge/Hips. 1 side = Skillion, or Roof intersection to 1st floor wall, or Trim Deck	26660
Venting Length (Ridge + Hips) Hips to 900 down from roof high point	
<b>TOTAL DESIGN VENTED OPEN AREA</b>	<b>266600</b>
Target Length to Vent	13635
Roof Plane PASS / FAIL = Actual Open Area - NCC Requirement	130250
COMPLIES WITH NCC2022 10.8.3 Roof Ventilation Open Area Requirement	YES



SPEC LEVEL: BASE

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**25 R**

DRAWING TITLE:  
**ROOF PLAN**

0 1 2 3m  
SCALE 1:100 (A3)  
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CHECKED: J9I

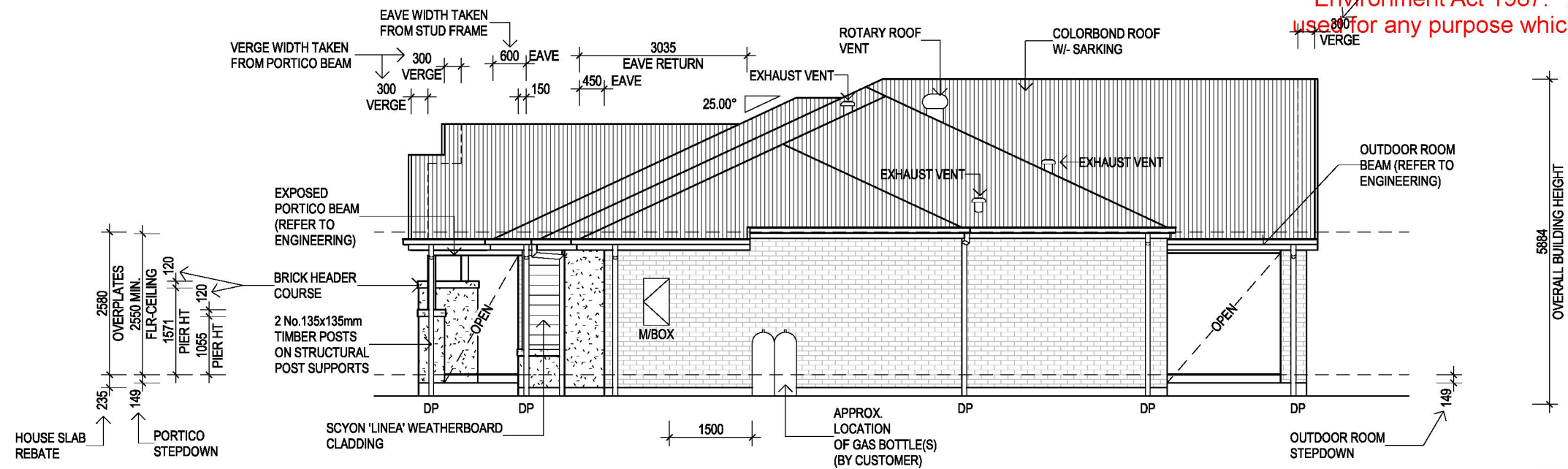
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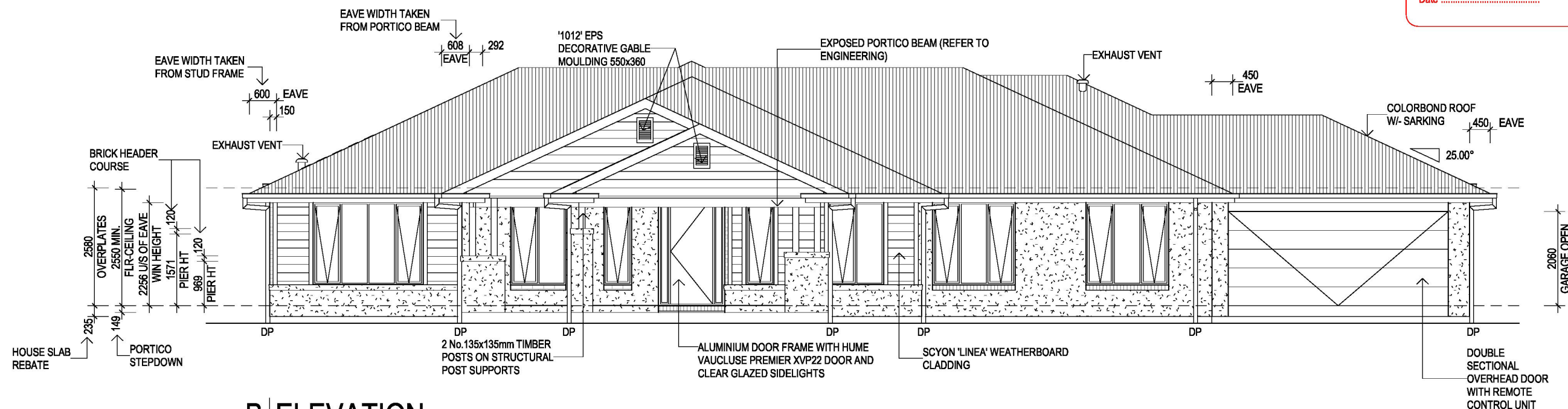
A ELEVATION  
1 : 100

CONSTRUCTION DRAWINGS

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Signed .....

Date .....



B ELEVATION  
1 : 100

NOTES:

- PROVIDE FC SHEET INFILL ABOVE ALL SIDE & REAR ELEVATION WINDOWS & DOORS AS REQUIRED UNLESS NOTED OTHERWISE.
- PROVIDE FC SHEET INFILL ABOVE FRONT ENTRY DOOR FRAME & ABOVE GARAGE DOOR OPENING UNLESS NOTED OTHERWISE.
- FACADE WINDOWS W9, W15, W16 & W17 TO BE LOACED UNDER EAVE LINE.
- PROVIDE BRICKWORK OVER FACADE WINDOWS W10 & W11.
- PROVIDE CLADDING OVER FACADE WINDOW W14.

NOTE:

PROVIDE 3 COAT RENDER TO PORTICO PIERS

NOTE:

PROVIDE ALUM. MESH INSECT SCREENS TO ALL STANDARD OPENABLE WINDOWS AND LAUNDRY SLIDING DOOR PROVIDE ALUM. FRAMED FLYDOOR WITH ALUGUARD SCREEN TO DINING STACKER DOOR

NOTE:

REFER TO COLOUR SCHEDULE AND CONTRACT DOCUMENTS FOR ALL MANUFACTURER DETAILS AND COLOUR FINISHES.

NOTE:

PROVIDE DOUBLE GLAZING TO ALL WINDOWS AND DOORS THROUGHOUT EXC: W12 & W13

IMPORTANT NOTE:

REFER TO SOIL ENGINEERS PLANS FOR ARTICULATION JOINT LOCATION

DRAWING TITLE:  
ELEVATIONS



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FREEDOM

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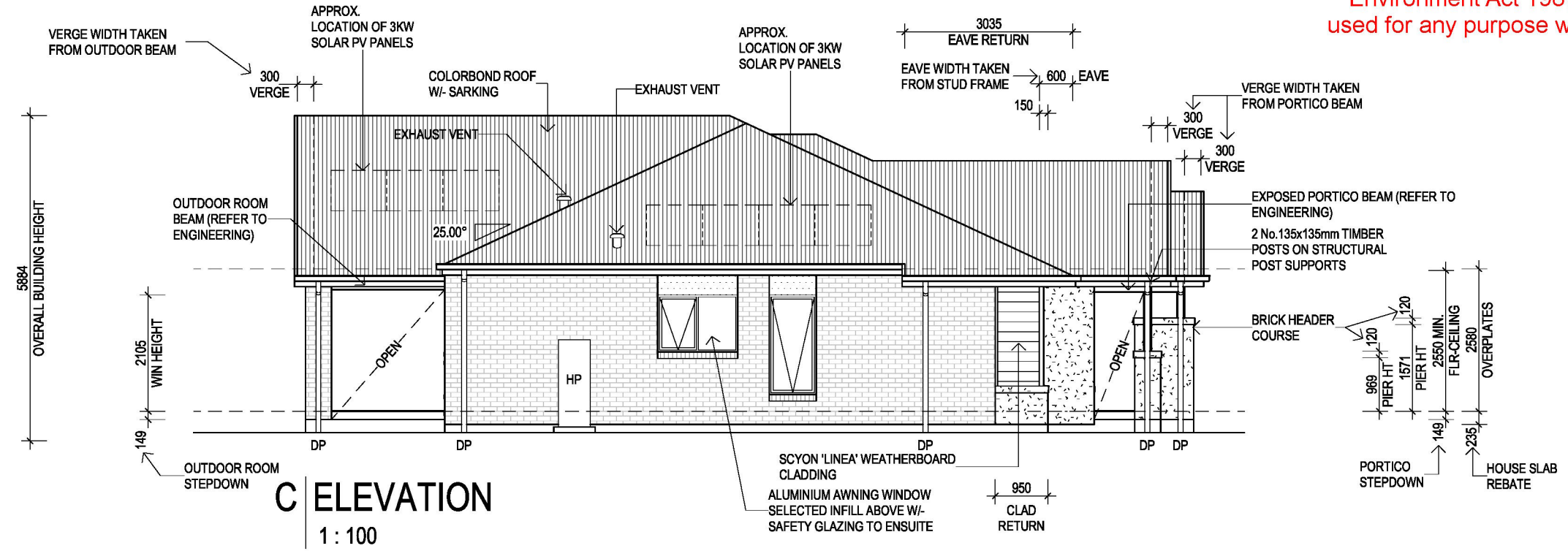
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DATE: 14/11/2022

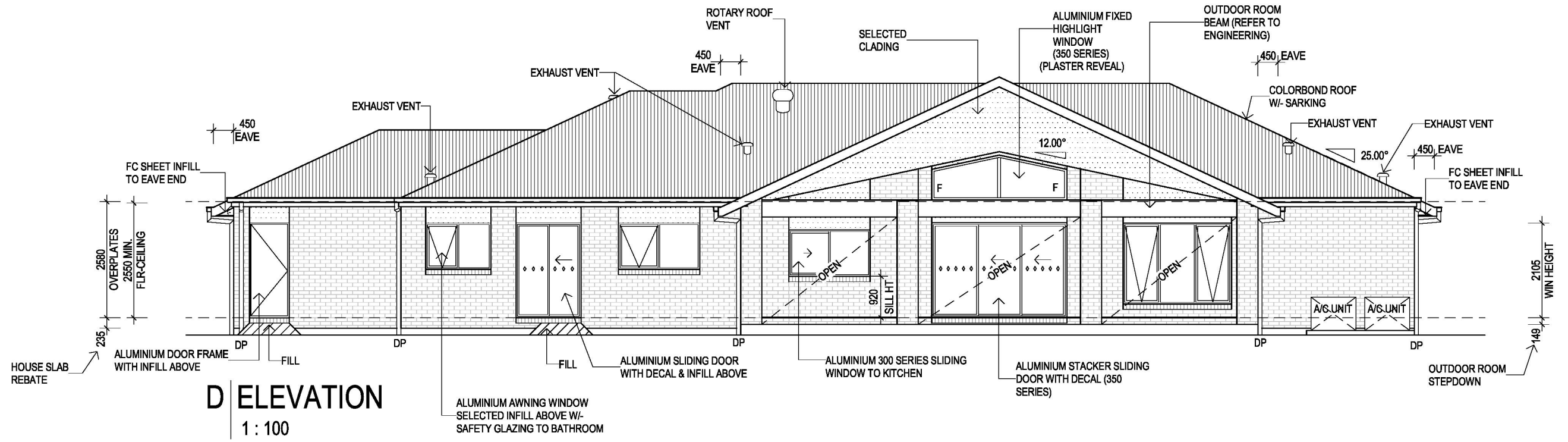
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Signed .....  
Date .....



**C ELEVATION**  
1 : 100



**D ELEVATION**  
1 : 100

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**NOTE:**  
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**NOTE:**  
PROVIDE ALUM. MESH INSECT SCREENS TO ALL STANDARD OPENABLE WINDOWS AND LAUNDRY SLIDING DOOR  
PROVIDE ALUM. FRAMED FLYDOOR WITH ALUGUARD SCREEN TO DINING STACKER DOOR

**NOTE:**  
REFER TO COLOUR SCHEDULE AND CONTRACT DOCUMENTS FOR ALL MANUFACTURER DETAILS AND COLOUR FINISHES.

**NOTE:**  
PROVIDE DOUBLE GLAZING TO ALL WINDOWS AND DOORS THROUGHOUT EXC: W12 & W13

**IMPORTANT NOTE:**  
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**DRAWING TITLE:**  
**ELEVATIONS**



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WIND SPEED: 40m/s MASTER ISSUED: TBC

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## BUSHFIRE REQUIREMENTS: B.A.L-12.5

## WALLS

- \* 4.5MM THICK (NOM) FIBRE CEMENT SHEET INFILLS ABOVE SIDE AND REAR ELEVATION WINDOWS AND DOORS.
- \* ALL LIGHTWEIGHT CLAD AREAS (WHERE INCLUDED) TO BE MINIMUM 4.5MM THICK FIBRE CEMENT BASED PRODUCT.
- \* STANDARD WEATHERWRAP TO WALLS TO REMAIN.

## VENTS &amp; WEEPHOLES

- \* PROVIDE WEEPA HIGH PERFORMANCE BUSHFIRE WEEPHOLE WITH STAINLESS STEEL GUARDS.
- \* ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS SHALL BE COVERED, SEALED, OVERLAPPED, BACKED OR BUTT-JOINTED TO PREVENT GAPS GREATER THAN 2MM.

## WINDOWS

- \* PROVIDE A MINIMUM OF 4MM TOUGHENED GLASS TO WINDOWS AND SIDELIGHTS WITHIN 400MM OF A HORIZONTAL SURFACE. NOTE: EXTERNAL PANE OF DOUBLE GLAZED WINDOWS TO BE A MINIMUM OF 4MM TOUGHENED.
- \* PROVIDE ALUMINIUM FRAMED SCREENS WITH ALUMINIUM MESH TO ALL OPENABLE WINDOWS (OPENABLE SECTION ONLY). NOTE: THIS ITEM INCLUDES ALUMINIUM FRAMED SCREENS TO OPENABLE TIMBER WINDOWS (WHERE APPLICABLE).
- \* ALL STANDARD WINDOW AND DOOR HARDWARE COMPLIES
- \* STANDARD MERANTI TIMBER FRAMED WINDOWS COMPLY

## EXTERNAL DOORS

- \* PROVIDE A MINIMUM OF 4MM TOUGHENED GLASS TO GLAZED BI-FOLD DOORS AND SLIDING DOORS. NOTE: LAMINATED GLASS DOES NOT COMPLY.
- \* WEATHERSTRIPS TO THE BOTTOM OF EXTERNAL HINGED DOORS (THIS ONLY APPLIES TO DOORS THAT DO NOT HAVE A FULLY SEALED FRAME).
- \* GARAGE DOORS
- \* PROVIDE EMBER SEALS TO COLORBOND SECTIONAL DOORS AND ROLLER DOORS (WHERE INCLUDED). NOTE: TIMBER GARAGE DOORS AND/OR WINDOW PANELS DO NOT COMPLY.
- \* STANDARD GARAGE EXTERNAL HINGE DOOR TO BE UPGRADED.
- \* EXTERNAL DOORS 35MM SOLID TIMBER OR NON-COMBUSTIBLE KICK PLATE OUTSIDE TO 400MM ABOVE THRESHOLD.
- \* PROVIDE FLYSCREEN TO LAUNDRY TIMBER HINGE DOOR IF APPLICABLE
- \* STANDARD MERANTI TIMBER SLIDING & BI-FOLD DOORS COMPLY
- \* STANDARD MERANTI TIMBER FRAMED DOORS COMPLY

## WATER &amp; GAS SUPPLY PIPES ABOVE GROUND

- \* METAL DRAINAGE VENT PIPES WITH METAL MESH TO OPENINGS.

## MISCELLANEOUS

- \* SPOTTED GUM PLINTHS TO POSTS WHERE APPLICABLE.
- \* EXTERNAL STAIRS AND DECKING TO BE BLACK BUTT TIMBER.
- \* 75MM BETWEEN F.F.L. AND BOTTOM OF TIMBER POSTS.

## ROOFING

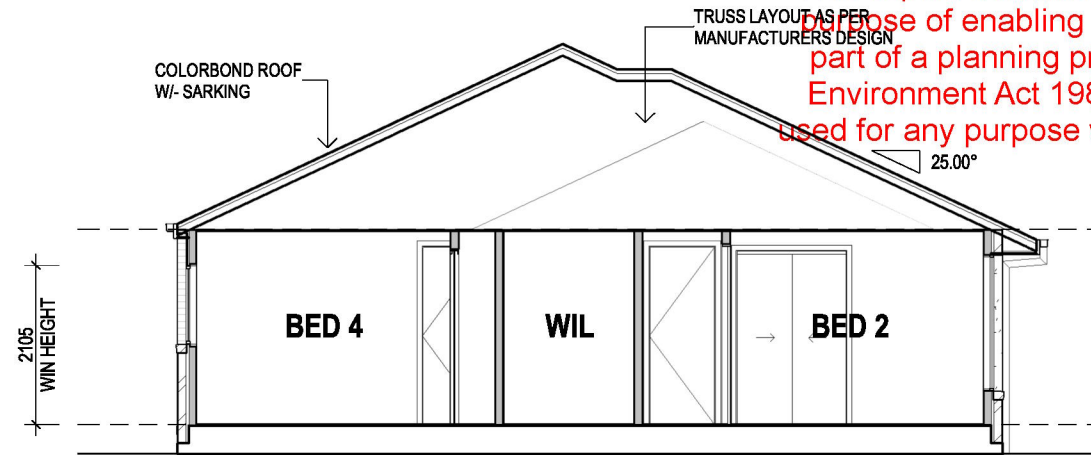
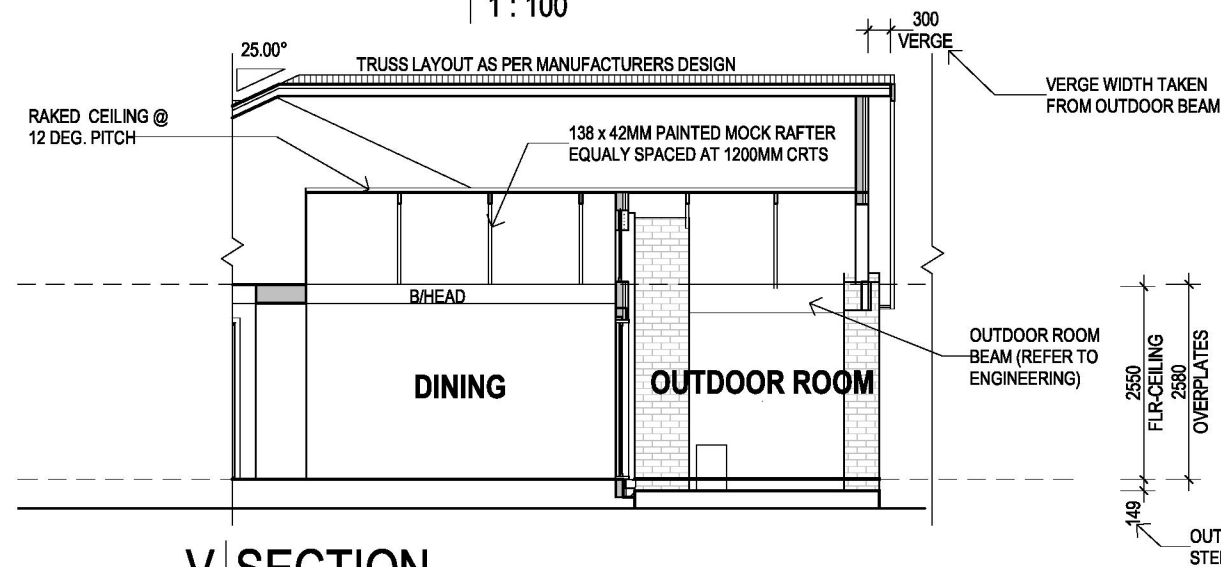
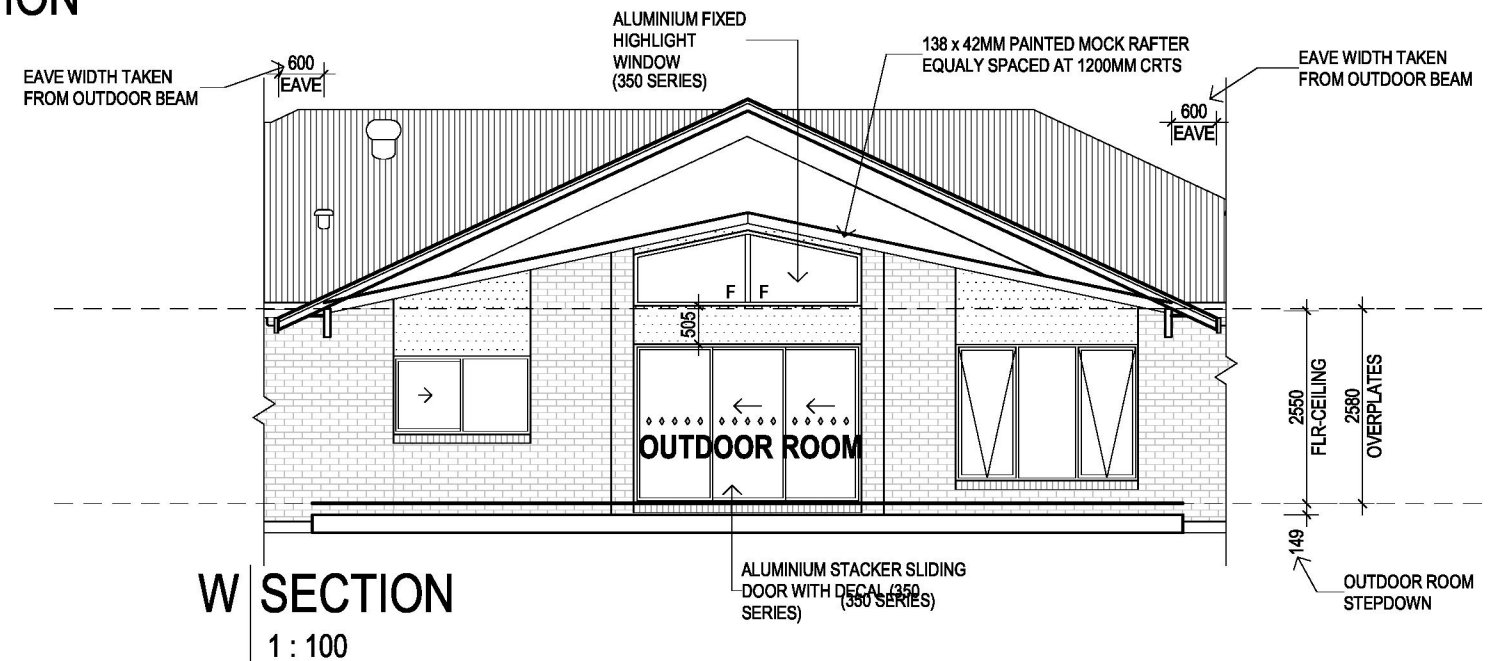
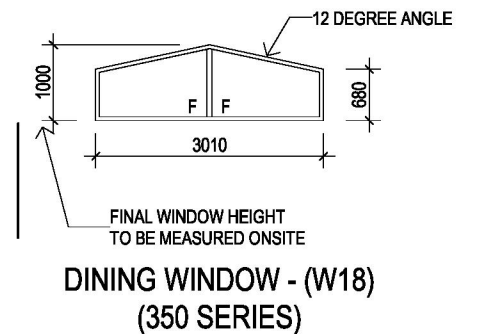
- \* PROVIDE ROOF SARKING TO ENTIRE ROOF AREA INCLUDING THE RIDGE AND EXTEND INTO GUTTERS AND VALLEYS.
- \* PROVIDE COLORBOND WHIRLY BIRD WITH EMBER GUARDS TO ROOF.
- \* PROVIDE ANTI-PONDING BOARDS TO PERIMETRE IF TILED ROOFS.
- \* PROVIDE STORM SEAL TO ROOF VALLEYS. NOTE: THIS ITEM APPLIES TO TILED ROOFS ONLY.
- \* VERANDAHs SEPARATED FROM THE MAIN ROOF SPACE (WHERE INCLUDED) BY AN EXTERNAL WALL. MUST HAVE A METAL ROOF.
- \* THE ROOF/WALL JUNCTION SHALL BESEALED, TO PREVENT OPENINGS GREATER THAN 2MM.

## ROOF PENETRATIONS

- \* ROOF PENETRATIONS, INCLUDING ROOF LIGHTS, ROOF VENTILATORS, ROOF MOUNTED EVAPORATIVE COOLING UNITS, AERIALS, VENT PIPES AND SUPPORTS FOR SOLAR COLLECTORS, SHALL BE ADEQUATELY SEALED AT THE ROOF TO PREVENT GAPS GREATER THAN 2MM. THE MATERIAL USED TO SEAL THE PENETRATION SHALL BE NON COMBUSTIBLE. OPENINGS IN VENTED ROOF LIGHTS, ROOF VENTILATORS OR VENT PIPES SHALL BE FITTED WITH EMBER GUARDS MADE FROM A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE OF 2MM, MADE FROM CORROSION RESISTANT STEEL, BRONZE OR ALUMINIUM. EVAPORATIVE COOLING UNITS SHALL BE FITTED WITH BUTTERFLY CLOSERS AT OR NEAR THE CEILING LEVEL OR THE UNIT SHALL BE FITTED WITH NON-COMBUSTIBLE COVERS WITH A MESH OR PERFORATED SHEET WITH A MAXIMUM APERTURE SIZE OF 2MM MADE OF CORROSION RESISTANT METAL BRONZE OR ALUMINIUM.
- \* PROVIDE UPGRADE TO STANDARD CHROMAGEN SOLAR HOT WATER UNIT (GAS OR ELECTRICAL) TO COMPLY WITH BUSHFIRE REQUIREMENTS (BAL 12.5, BAL 19 AND BAL 29) INCLUDING:
  - UV AND TEMPERATURE RESISTANT SOLAR DEKTITE (SOLADEK) IN LIEU OF STANDARD DEKTITE.
  - SOLAR ARMAFLEX IN LIEU OF STANDARD ARMAFLEX.
  - IF A GAS BOOSTER HAS BEEN PROVIDED, REPLACE THE FLEXIBLE CONNECTOR BETWEEN THE TANK AND THE BOOSTER WITH HALF-INCH COPPER LINE.
  - PROTECTIVE HOUSING TO THE PUMP AND CONTROLLER.
  - SOLAR COLLECTORS TO BE SEALED AT THE ROOF TO PREVENT GAPS GREATER THAN 2MM.
  - ALL WATER AND GAS CONNECTIONS TO BE METAL.

## EAVES, LININGS, FACIAS &amp; GABLES

- \* EAVES, LININGS, FACIAS & GABLES TO HAVE A GAP NO GREATER THAN 2MM.
- \* STANDARD PVC STRIPS TO EAVES TO REMAIN (WHERE INCLUDED).
- \* GABLES TO BE LINED WITH A MINIMUM 4.5MM THICK (NOM) FIBRE CEMENT SHEET.

Y SECTION  
1 : 100V SECTION  
1 : 100W SECTION  
1 : 100

NOTE: SECTION VIEW IS INDICATIVE ONLY – CONSTRUCTION DETAILS, COLOUR SELECTION & CONTRACT DOCUMENTATION ITEMS TAKE PRECEDENCE

## NOTE:

ALUMINIUM WINDOW AND DOOR FRAMES BY SOUTHERN STAR  
ALUMINIUM WINDOWS AND DOORS,  
TIMBER WINDOWS AND DOOR  
FRAMES BY CANTERBURY TIMBER  
WINDOWS AND DOORS.

REFER ENGINEER'S FOOTING DESIGN  
SOIL CLASSIFICATION 'P (M)'  
REFER SOIL REPORT (REF. No: 250531)

## CONSTRUCTION DRAWINGS

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DRAWING TITLE:  
SECTION



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DRAWN: PGT CHECKED: J91 SHEET:

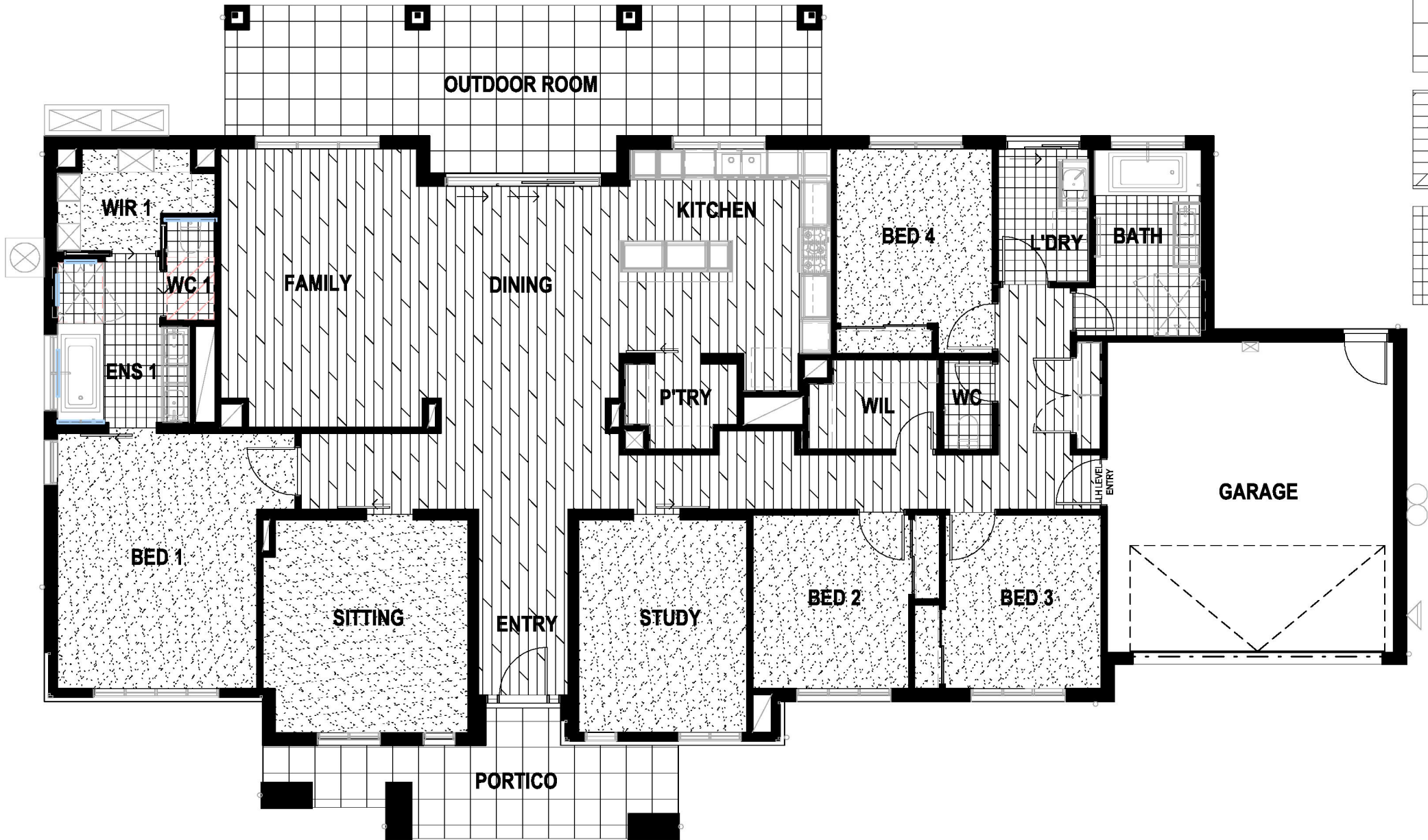
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	CARPET	87.8 m²
	OUTDOOR TILES	43.3 m²
	VINYL FLOORING	88.7 m²
	WET AREA TILES	19.5 m²

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DRAWING TITLE:  
FLOOR COVERINGS

SCALE 1: 100 (A3)

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