93/2020/P – 8 Glendon Drive EASTWOOD Lot 203 PS 542289- Development of two dwellings

- 1. Prior to the start of development, amended plans to the satisfaction of the responsible authority must be submitted to and endorsed by the responsible authority. The amended plans must be generally consistent with the plans submitted with the permit application, but modified to show consistency in the landscaping plan and site plan with respect to permeable surfaces and size of rainwater tank.
- 2. The development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.
- 3. During construction and maintenance activities, adequate steps must be taken to stop soil erosion and the movement of sediment off site and into drainage lines, watercourses and onto adjoining land to the satisfaction of the Responsible Authority. Methods include but are not limited to:
 - a) Control of on-site drainage by intercepting and redirecting run-off in a controlled manner to stabilised vegetated areas on site.
 - b) Installation of sediment control structures such as sediment basins, sediment fences and sediment traps when construction commences and maintaining them until the site is stabilised.
 - c) Re-vegetating all disturbed areas as quickly as possible or within 14 days after construction works are completed.
- 4. Before each dwelling is occupied, a crossover must be constructed to the road to suit each proposed driveway, to the satisfaction of the Responsible Authority.
- 5. Before each dwelling is occupied, all stormwater runoff from the roofed and paved areas must be discharged to an approved point of discharge to the satisfaction of the Responsible Authority.
- 6. Before each dwelling is occupied any portion of Council's existing infrastructure damaged as a result of work undertaken on the site or associated with the development must be repaired/reinstated to the satisfaction of the responsible authority.
- 7. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority, including that any dead, diseased or damaged plants must be replaced.
- 8. This permit will expire if any of the following circumstances applies:
 - The development is not started within two years of the issue date of this permit.
 - The development is not completed within four years of the issue date of this permit.

In accordance with section 69 of the Planning and Environment Act 1987, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

Notes

1. Please be informed that you are required to check with a Private Building Surveyor if a Building Permit is required for the building works relating to this planning permit.

Building works on this site must comply with the requirements of the Victorian Building Act and Building Regulations, the National Construction Code (NCC) and relevant Council Local Laws.

2. Before undertaking works within a Council road reserve, a non-utility – minor works consent of works within road reserve application must be lodged with the *Roads and Traffic* unit of Council. Refer to the Infrastructure Design Manual (IDM) for crossover designs.

140/2020/P – 14 Glendon Drive EASTWOOD Lot 206 PS 542289- Development of two dwellings

- 1. The development as shown on the endorsed plans must not be altered without the written consent of the Responsible Authority.
- 2. During construction and maintenance activities, adequate steps must be taken to stop soil erosion and the movement of sediment off site and into drainage lines, watercourses and onto adjoining land to the satisfaction of the Responsible Authority. Methods include but are not limited to:
 - a) Control of on-site drainage by intercepting and redirecting run-off in a controlled manner to stabilised vegetated areas on site.
 - b) Installation of sediment control structures such as sediment basins, sediment fences and sediment traps when construction commences and maintaining them until the site is stabilised.
 - c) Re-vegetating all disturbed areas as quickly as possible or within 14 days after construction works are completed.
- 3. Before each dwelling is occupied, a crossover must be constructed to the road to suit each proposed driveway, to the satisfaction of the Responsible Authority.
- 4. Before each dwelling is occupied, all stormwater runoff from the roofed and paved areas must be discharged to an approved point of discharge to the satisfaction of the Responsible Authority.
- 5. Before each dwelling is occupied any portion of Council's existing infrastructure damaged as a result of work undertaken on the site or associated with the development must be repaired/reinstated to the satisfaction of the responsible authority.
- 6. Before the development starts, a landscaping plan to the satisfaction
- 7. Before the development starts, a landscape plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be drawn to scale. The plans must show:
 - A schedule of all proposed vegetation (trees, shrubs and ground covers) which includes botanical names, common names, mature size and total quantities of each plant.
 - Pot sizes and specific location of the plants to be planted.
 - Buildings, outbuildings and other structural features on the land that influence the landscape design.
 - • Natural features that influence the landscape design.
 - • Proposed irrigation methods.
 - A minimum of 2 canopy trees with a minimum mature height of 3 metres.

• The proposed design features such as paths, paving, lawn, finished surfaces and outdoor lighting

Landscaping in accordance with this approved plan and schedule must be completed before the each dwelling is occupied.

- 8. The landscaping shown on the endorsed plans must be maintained to the satisfaction of the Responsible Authority, including that any dead, diseased or damaged plants must be replaced.
- 9. This permit will expire if any of the following circumstances applies:
 - The development is not started within two years of the issue date of this permit.
 - The development is not completed within four years of the issue date of this permit.

In accordance with section 69 of the Planning and Environment Act 1987, an application may be submitted to the Responsible Authority for an extension of the periods referred to in this condition.

Notes

1. Please be informed that you are required to check with a Private Building Surveyor if a Building Permit is required for the building works relating to this planning permit.

Building works on this site must comply with the requirements of the Victorian Building Act and Building Regulations, the National Construction Code (NCC) and relevant Council Local Laws.

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Glendon Drive EASTWOOD Development of two dwellings GROUNDS FOR REFUSAL

- 1. The application is inconsistent with the Planning Policy Framework, specifically Clauses 16.01-1S (integrated housing) and 16.01-4S (housing affordability).
- 2. The Application is inconsistent with the objective and decision guidelines of the General Residential Zone, specifically by resulting in a cumulative built form which does not respect the neighbourhood character of the area.
- 3. The Application will result in a development which is inconsistent with the prevailing neighbourhood character of the existing residential area contrary to objective/standard Clause 55, Standard B1.
- 4. The proposed development does not result in the proper and orderly planning of the area.

APPENDIX 4

Contact: Nicc Telephone No: (03) Email: feed

Nicole Reynolds (03) 5153 9500 feedback@egipps.vic.gov.au

27 August 2020

Corporate Centre 273 Main Street (PO Box 1618) Bairnsdale Victoria 3875 Telephone: (03) 5153 9500 National Relay Service: 133 677 Residents' Info Line: 1300 555 886 Facsimile: (03) 5153 9576 Email: feedback@egipps.vic.gov.au ABN 81 957 967 765

Dr Jane Homewood Executive Director, Statutory Planning Services Department of Environment, Land, Water and Planning PO Box 500 EAST MELBOURNE VIC 8002 stateplanning.services@delwp.vic.gov.au

Dear Dr Homewood

Building Victoria's Recovery Taskforce Referral - 4, 5, 8, 12, 14, 16 and 17 Glendon Drive, Eastwood

I refer to your letter dated 13 August 2020 addressed to Mr Anthony Basford, Chief Executive Officer. Mr Basford has a declared potential conflict of interest in the matter, so I am responding on behalf of our organisation.

The projects in question are not considered to be 'shovel ready' and have received extensive community written objection.

The community has raised concerns in relation to the social outcomes.

Council is scheduled to make a decision on all eight planning permit applications at the next Ordinary Council meeting on Tuesday 1 September 2020.

A copy of the objections is provided for background material.

Council does not support the proposed planning scheme amendment process to introduce the sites as 'Specific Control Overlays'.

Council is considered to be the relevant decision maker with respect to the planning permit applications in question.

Yours sincerely

(e-sig to be inserted here)

JODIE PITKIN General Manager Place and Community

Att:



Page 1 of 1

ATTACHMENT 1

From: Nicole Arnold **Sent:** Thursday, 23 April 2020 4:26:04 PM **To:** Feedback Address For Web Page **Subject:** Objection to Planning Permit

Good afternoon,

Please find attached our objection to a proposed planning permit. Thank you.

Kind Regards,

Rick and Nicole Arnold

273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vio.gov.au Follow us on Twitter @egsc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Rick & Nicole Arnold						_		
Postal address:								ļ
Eastwood					Postcode	3 8	3 7 5	5
Phone number: Home:	W	ork:		Mobile:	C			ļ
Email address:				Fax:	2			
Permit Details:								
Planning permit number: 91/2020/P 9	2/2020/P	93/2020/P	94/2020/P	95/2020/P				

What has been proposed? Development of land for 2 dwellings X 5

What is the address to be used or developed? 4-lot 201 Glendon Drive Eastwood, 5-lot 218 Glendon Drive

Eastwood, 8-lot 203 Glendon Drive Eastwood, 13-lot 214 Glendon Drive Eastwood,

17-lot 212 Glendon Drive Eastwood

Who has applied for the permit? Clement-Stone Town Planners

Objection Details:

What are the reasons for your objection? _

1. Increase in traffic

2. The potential for more dwellings for similar purpose

3. Decrease in market value of our property

4. Increase in noise levels

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When information is given out, Council will always try to make sure your privacy is protected in line with the Privacy and Data Protection Act 2014. You may ask for more

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We also feel that if these dwellings are approved, it will set a precedent for more construction of a similar

nature, only adding to our already exsiting concerns.

If you need more space for any part of this form please attach another sheet.

Signature: NICOLE ARNOLD. Date: 23/04/2020 RICK ARNOLD Name:

Office Use Only:			
Objection Received by:	Date Received:	1	
Planning officer responsible:	Date Received:	1	1

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: ALAN BAIR	D .					
Postal address:		EASTW	1005			
	<u> </u>			•	Postcode	3875
Phone number: Home:		Work:		Mobile:		
Email address:	······································		····	Fax:		
Permit Details:					· · · · · · · · · · · · · · · · · · ·	
Planning permit number:	91/202	N)P				
What has been proposed?			and for ti	no dwa	ellings	
What is the address to be	used or developed?	? 4 cilen	idon Drive	EAST	K007	······································
Who has applied for the pe	ərmit? <u>Departn</u>	nent of He	alth and	Human	_ Service	<u> </u>
Objection Details :	`				· · · · · · · · · · · ·	·
What are the reasons for y	our objection?					······································
PLE	ASE REFER T	O ATTACHE	D SHEET			<u> </u>
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information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vio.gov.au

What are the reasons for your objection ?

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2

East Gippsland Planning Scheme requires new developments and land use be subject to social impacts on the surrounding community. The impact on the proposed development at 4 Glendon Drive, Eastwood, is of serious concern to many residents.

Whilst this objection is firmly directed to the development of two dwellings at 4 Glendon Drive, the consequences of Council approving this application are far reaching and cannot be made in isolation without regard to the geographical community surrounding this street. Five applications in the same street from the same land owner (Department of Health and Human Services) have simultaneously been put forward with the same development proposed in each application. Assessment of the merits of each individual application should be made in the context of the wider implications which are required to be taken into account under the Council's Planning Scheme.

I, along with the numerous objectors to the proposed development at 4 Glendon Drive, forsee negative social impacts arising if the proposal is endorsed by Council. The existing streetscape will be adversely affected and the neighbourhood character will be compromised. Two dwellings on the same block in Glendon Drive will be the catalyst for similar proposals in this beautiful street and the start of an avalanche of similar developments from the same land owner who owns other sites in the same street. When considered with the other proposed developments the visual bulk of the developments will be overwhelming and totally uncharacteristic of the already established street character. On its own, the land use proposed for 4 Glendon Drive will be at odds with all the existing houses.

In assessing the merits of the proposed development at 4 Glendon Drive, Council's attention is drawn to the fact that the adjoining property at 6 Glendon Drive is also owned by the Minister of Health and Human Services. 6 Glendon Drive is situated between the two blocks of land each currently seeking permits for the development of two dwellings. Whilst no planning permit is currently sought for the development of 6 Glendon Drive, it takes little imagination as to what the future plans for this development might be.

Council's Planning Scheme requires land developments to consider the social impacts on communities. Council's planning, therefore, must then be strategic. The application for two dwellings at 4 Glendon Drive and the number of subsequent residents these two dwellings might contain, could hardly be considered a "community", but five simultaneous and identical planning applications for similar developments in the same street will potentially generate five times the number of residents. Thus the whole street will be transformed into a mecca of blocks containing two dwellings, the existing streetscape will be destroyed, and the surrounding community severely and adversely affected.

It is understood the two dwellings at 4 Glendon Drive will be for short term emergency accommodation as will the other sites requiring permit assessment. The ultimate increase in the total number of residents living in these ten dwellings will constitute a "sizeable community" and thus will have impacts on the immediate geographical community. Multiple dwellings in the same area for housing short term emergency accommodation have been shown to be problematic. In general this has not been a desirable policy outcome due to the adverse impact they have had on surrounding residents. The potential for noise, traffic, smells and unkempt premises and gardens are some of the likely longer term issues Council will need to take into account when assessing the merits of granting planning permit for 4 Glendon. Drive. These same issues will be exacerbated if permits are granted for the other four sites.

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How we	ould you be affected by the granting of this permit?	
	As a resident of the nearby Glendon Drive, I am of the view that any new land developments must reflect existing patterns of development in that vicinity and not adversely affect them in any dramatic way. The nearby geographical community comprising Glendon Drive, The Backwater and Flynns Road will be impacted adversely due to the large number of community emergency housing in the one street. As previously noted clusters of short term community housing in other geographical areas has been seen as government policy failures.	
	To copy the Covid -19 message, "we must all be in it together", I will be affected in the same way as existing residents in Glendon Drive. I will witness the development of changing and undesirable impacts on a streetscape in my neighbourhood which I could no way condone.	

If you need more space for any part of this form please attach another sheet.

Signature:			· · · · · · · · · · · · · · · · · · ·		•			
Name:	ALAN	BAIRD	<u> </u>			Date: 26 /	4 120	

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received:/

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information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

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Name: CAROLE BAIRD			
Postal address:	EASTWOOD	\diamond	
······································	الغاري - معيني		Postcode 3875
Phone number: Home:	Work: Work:	Mobile:	
Email address:		Fax:	
Permit Details:		· · · · · · · · · · · · · · · · · · ·	······································
Planning permit number:	71/20201P		- <u>************************************</u>
What has been proposed?	olpment of the land	for two dwel	lings
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What is the address to be used or d	veloped? 1 () ou day	Drive Etistu	200
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Who has applied for the permit?	separtment of Health	and Human S	erviceg
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Objection Details :			
What are the reasons for your object	Han?		
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What are the reasons for your objection ?

East Gippsland Planning Scheme requires new developments and land use be subject to social impacts on the surrounding community. The impact on the proposed development at 4 Glendon Drive, Eastwood, is of serious concern to many residents.

Whilst this objection is firmly directed to the development of two dwellings at 4 Glendon Drive, the consequences of Council approving this application are far reaching and cannot be made in isolation without regard to the geographical community surrounding this street. Five applications in the same street from the same land owner (Department of Health and Human Services) have simultaneously been put forward with the same development proposed in each application. Assessment of the merits of each individual application should be made in the context of the wider implications which are required to be taken into account under the Council's Planning Scheme .

I, along with the numerous objectors to the proposed development at 4 Glendon Drive, forsee negative social impacts arising if the proposal is endorsed by Council. The existing streetscape will be adversely affected and the neighbourhood character will be compromised. Two dwellings on the same block in Glendon Drive will be the catalyst for similar proposals in this beautiful street and the start of an avalanche of similar developments from the same land owner who owns other sites in the same street. When considered with the other proposed developments the visual bulk of the developments will be overwhelming and totally uncharacteristic of the already established street character. On its own, the land use proposed for 4 Glendon Drive will be at odds with all the existing houses.

In assessing the merits of the proposed development at 4 Glendon Drive, Council's attention is drawn to the fact that the adjoining property at 6 Glendon Drive is also owned by the Minister of Health and Human Services. 6 Glendon Drive is situated between the two blocks of land each currently seeking permits for the development of two dwellings. Whilst no planning permit is currently sought for the development of 6 Glendon Drive, it takes little imagination as to what the future plans for this development might be.

Council's Planning Scheme requires land developments to consider the social impacts on communities. Council's planning, therefore, must then be strategic. The application for two dwellings at 4 Glendon Drive and the number of subsequent residents these two dwellings might contain, could hardly be considered a "community", but five simultaneous and identical planning applications for similar developments in the same street will potentially generate five times the number of residents. Thus the whole street will be transformed into a mecca of blocks containing two dwellings, the existing streetscape will be destroyed, and the surrounding community severely and adversely affected.

It is understood the two dwellings at 4 Glendon Drive will be for short term emergency accommodation as will the other sites requiring permit assessment. The ultimate increase in the total number of residents living in these ten dwellings will constitute a "sizeable community" and thus will have impacts on the immediate geographical community. Multiple dwellings in the same area for housing short term emergency accommodation have been shown to be problematic. In general this has not been a desirable policy outcome due to the adverse impact they have had on surrounding residents. The potential for noise, traffic, smells and unkempt premises and gardens are some of the likely longer term issues Council will need to take into account when assessing the merits of granting planning permit for 4 Glendon Drive. These same issues will be exacerbated if permits are granted for the other four sites.

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How w	As a resident of the nearby Glendon Drive, I am of the view that any new land developments must reflect existing patterns of development in that vicinity and not adversely affect them in any dramatic way. The nearby geographical community comprising Glendon Drive, The Backwater and Flynns Road will be impacted adversely due to the large number of community emergency housing in the one street.	
	As previously noted clusters of short term community housing in other geographical areas has been seen as government policy failures.	
	To copy the Covid -19 message, "we must all be in it together", I will be affected in the same way as existing residents in Glendon Drive. I will witness the development of changing and undesirable impacts on a streetscape in my neighbourhood which I could no way condone.	
		ں . <u></u>

If you need more space for any part of this form please attach another sheet.

Name: CAROLE IRCRIE BAIRD Date: 24 415			•			re:	Signatur
	20	Date: <u> </u>		BAIRD	IRCALE	CAROLE	Name:

	· .
Office Use Only:	
Objection Received by:	Date Received:///
Planning officer responsible:	Date Received: / /

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Online Form Submitted

Date Submitted: 09 Apr 2020 11:59 AM Name Steven Barry Email address Postal address Eastwood Home Work Mobile Fax Planning permit 91 - 94/2020P number What has been 4 Planning permits for multiple dwellings on 4 sites in 1 street. proposed? What is the address to be 4, 5, 8, 13, and 17 Glendon Drive Eastwood Victoria 3875. used or developed? Who has applied **Clement-Stone Town Planners** for the permit? Concerns that there are a large concentration of low income housing in 1 street. There is already a proposal for crisis accommodation to be built in another vacant block in this same street by DHHS also. This street has undergone What are the significant development and investment in existing housing and will be reasons for your financially affected by such a large concentration of low income housing. There objection? is also an issue of safety and security of tenants of the area. These are just some of our concerns and we are formally objecting to the construction of these dwellings. Financially affecting the value of our homes as such a large concentration of DHHS dwellings in this street. Safety concerns for our young family. Increased How would you traffic to the area also causing safety concerns. This development should not be affected by have been the last development in the area but the first so it was known when the granting of purchasing properties in the area. We did try initially to investigate the proposal this permit? of vacant blocks but were unable to get any information of intentions to develop. Additional No file attached information

Kerry Stow

From:	SeamlessCMS@seamless.com.au
Sent:	Wednesday, 22 April 2020 1:31 PM
То:	Planning Department
Subject:	Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 22 Apr 2020 01:30 PM

Name	Amy Baxter
Email address	
Postal address	Bairnsdale
Home	
Work	
Mobile	
Fax	
Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood.
What has been proposed?	5×3 Bedroom Duplex units on 5 lots.
What is the address to be used or developed?	30 Balmoral Crescent, Bairnsdale
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	Fear for our saftey and a concern for the property value near where these units are suppose to be built.
How would you be affected by the granting of this permit?	I would be severely affected as i feel everyones saftey must come first.
Additional information	No file attached

Kerry Stow

From:	SeamlessCMS@seamless.com.au
Sent:	Wednesday, 22 April 2020 12:13 PM
То:	Planning Department
Subject:	Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 22 Apr 2020 12:13 PM

Name	Katie
Email address	···· ··· ··· ··· ··· ··· ··· ··· ··· ·
Postal address	
Home	
Work	
Mobile	
Fax	
Planning permit number	4,5,8,13,17 glendon drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?	4,5,8,13,17 glendon drive eastwood
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	I strongly object to ths development due to already seeing the effect commission housing and similiar of value on properties, potentional property damage, I see eastwood becoming an area that willbe avoided if this was to go through being the lack of respect and peace already a problem from tenants. The safety rates would severely drop if this is the case making it an unsafe area for the elderly
How would you be affected by the granting of this permit?	I feel it will effect the property of our homes due to the nature and impact this development will create
Additional information	No file attached

From: SeamlessCMS@seamless.com.au Sent: Wednesday, 22 April 2020 11:01:40 AM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 22 Apr 2020 11:01 AM

Name	Kimberly Baxter
Email address	
Postal address	: Eastwood
Home	
Work	
Mobile	
Fax	
Planning permit number	4, 5, 8, 13, 17 Glendon Drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?	
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	Placing this sort of housing in Eastwood will have a huge impact on surrounding houses and property value. Which is not fair at all. If these go ahead many will put there houses on the market due to this and fears for safety.
How would you be affected by the granting of this permit?	I personally fear for the safety of not only mayself but family, and everyone in the Eastwood community! They dont need to be put in this area. I understand they are needed but come on??? Whould you like them put right near your house
Additional information	No file attached

Online Form Submitted

Date Submitted: 22 Apr 2020 11:12 AM

Name	Melissa Baxter
Email address	
Postal address	Eastwood
Home	
Work	
Mobile	
Fax	
Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood
What has been proposed?	5 x 3 bedroom duplex units on 5 lots
What is the address to be used or developed?	
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	I do not understand how you can honestly build so many of these low-income houses to be built in one street! Yes i understand the need for them but why put more than 1 in the same street. This will have a huge impact on property prices (including ours) and we will be looking at seeing a huge decrease which is an absolute shame for all the hard-work and money people have put into these properties. If the Approval goes ahead it will affect us financially as well as future safety concerns for families and neighbours. The proposed planning does not keep up with the character profile of the area and is not complimentary to the existing housing in the area.
•	As stated above this will affect us financially with our existing property as the value will decrease as the houses will be so close. This really concerns my safety as these houses will be so close to where I currently live. The houses will have direct access to our street through the reserve. This will extend my concerns for our belongings that we have worked extremely hard for! I by no means would like these permits to go ahead and to think that putting 5 on one street is a good idea!? Think again! You know these points are valid and just think, how would you like this proposal to be so closed to your home and your loved ones.
Additional information	No file attached

Online Form Submitted

Date Submitted: 22 Apr 2020 11:24 AM

Name	stephen baxter
Email address	
Postal address	eastwood vic 3875
Home	T. Construction of the second s
Work	t i i i i i i i i i i i i i i i i i i i
Mobile	
Fax	
Planning permit number	4,5,813,17 glendon drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?	4,5,8,13,17 glendon drive eastwood
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	i strongly object to this development due to having seen already the effects of housing commission or similar housing here in eastwood attracting or being tenanted by people who do not desire to fit in with what our estate desires to be which is a peaceful and attractive area for families and retirees we already have too many over here now that cause problems without having anymorei can see eastwood becoming an undesirable area if this development is allowed. putting two and two together i can see abusive exes attempting to access ex partners etc and do not wish to see this occur where i live.
How would you be affected by the granting of this permit?	i beleive that the eastwood eastate as a whole will be impacted by this development as i feel it will affect the property values of our homes due to the very nature of the proposal.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Activey & Eili,	to Rici	kley			
Postal address:		J			
Eastwood	/ Vicl	OMQ		Postcode	3875
Phone number: Home:	Work:	Fesc	Mobile:		
Email address:		27 1.77 292	Fax:	1 1	
Permit Details:		INFORMATIC MANAGEME	DN NT		
Planning permit number: Unkh	own			0	
What has been proposed?	s to but	10 10 UI	riks	for M	sblic
Housing			(
What is the address to be used or develop	ped? 4,5,8	8,13417	Gle	ndon	Drive
Eastwood Vic 3	3875		,		
· .	1				
Who has applied for the permit?	ment-	Stone To	wn	Plan	20

Objection Details:

d What are the reasons for your objection? 10

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How would you be affected by the granting of this permit? / /

If you need more space for any part of this form please attach another sheet.

Signature: Date: 🗢 Name:

Office Use Only:			
Objection Received by:	Date Received:	_/	
Planning officer responsible:	Date Received:	_/	

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: ANNA - JONANNES BOEK	
Postal address:	
EASTWOOD	Postcode 3 875
Phone number: Home:	Mobile:
Email address:	Fax:
Permit Details:	
Planning permit number: 95/2020/P, 94 /2020/P, 92 /2020/P, 91/	2020/1, 93/2020/1.
What has been proposed? Building of 5x3 bedroom duples	
LOTS COJERED BY THE ABOVE PLANNING APPLICATIONS ON	GLENDON DRIVE
What is the address to be used or developed? 4, 5, 8, 13 9 17 . G	LENDON DRIVE
EASTWODD, 3875	
Who has applied for the permit? <u>LEMENT - STONE TOWN</u>	LANNERS ON
BENALF OF DIRECTOR OF PUBLIC HOU.	SING

Objection Details:

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How would you be affected by	y the granting o	f this permit?			
· ·	PLEASE	REFER	TO	ATTACHED	Sheet
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If you need more space for any part of this form please attach another sheet.

Signature:	
l'olynataile.	
Name: ANNA- R. BOE JOHANNE BOEK Date: 27/4/201	4 4
	K. Ur
Name: ANNA-R.BOE JOHANNER BOEK Date: 27/4/20.	

Office Use Only:	
Objection Received by:	_Date Received:///
Planning officer responsible:	Date Received://

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ANNA R. BOEK &

JOHANNES BOEK

Phone:

Mobile

E-Mail:

EASTWOOD. VIC. 3875

27TH April 2020

OBJECTION TO PLANNING PERMITS FOR

LOT 4, LOT 5, LOT 8, LOT 13 & LOT 17

GLENDON DRIVE,

EASTWOOD

3875

OBJECTION DETAILS

We are opposed to the proposal to build a number of dwellings on each lot.

The Eastwood Estate was developed with its purpose to provide single dwellings of a certain calibre on each block, with only a few exceptions. In real life these exceptions have occurred on corner blocks only and then with just 2 units per block.

The proposal by the Department of Housing for Glendon Drive will change the whole character of this area. The number of occupants on each block will increase way out of proportion to the current ambience of the area.

This estate was not build with the idea of providing social housing in this area. However over time a few social dwellings have been provided to some people and the dwellings have a habit of changing the pristine area of Eastwood to a bit of a tip on occasions. We want to avoid this happening in Glendon Drive.

Further with the building of all these units the traffic in the area will increase. At this stage each building block may on most occasions have only 2 cars parked on site. Building the proposed number of units will increase the vehicle traffic way out of current usage. Glendon Drive is one of only 2 exits out of this area at this stage and the increase of traffic in Glendon Drive and its immediate surroundings will affect all those persons living on the Backwater and the other adjoining streets, courts and drives with increased noise levels and congestion of traffic.

We are also concerned about parking in Glendon Drive. Increase visitations from trades people, support staff etc. in this street will see a number of cars parked on the street itself blocking the thorough fare. This will cause traffic hazards in this area and could affect the safety of children playing or just using the street.

How would we be affected if these permits are granted?

We live right behind the building blocks on which the units are proposed to be built.

With the increase in population we expect that the noise levels will go up way out of what is currently a very nice quite area. The traffic changes will also affect us as Glendon Drive is the exit for us to drive to Flinns road and thus exiting the Estate.

The change of the character of this part of the Estate will have an economical impact on the remaining housing stock. As the house owners in this area have not been given the opportunity to discuss this matter between themselves due to firstly, the short period of advise and secondly the covid 19 virus restrictions we feel that we should be given some consideration prior to granting these permits to evaluate the proposal and its affect on the area.

Johannes B. Boek

Anna R. Boek

From: SeamlessCMS@seamless.com.au **Sent:** Thursday, 16 April 2020 1:17:30 PM **To:** Planning Department **Subject:** Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 01:17 PM

Name	MIke Bradley
Email address	.com.au
Postal address	Eastwood. VIC. 3875.
Home	
Work	
Mobile	· · · · · · · · · ·
Fax	
Planning permit number	91/2020/P
What has been proposed?	P Building of 10 units
What is the address to be used or developed?	4,5,8,13 & 17 Glendon Drive Eastwood
Who has applied for the permit?	Clement-Sone Town Planners
What are the reasons for your <u>objection</u> ?	The development is not keeping with the character profile of the area given that no streets in Eastwood have more than 2 multi dwelling sites.
How would you be affected by the granting of this permit?	I feel that this project would have social, aesthetic and financial impacts on my neighbourhood which I believe would introduce an unreasonable burden to current residents.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

······································			
Name: GLENN CALI	VERT		
Postal address:	· · · · · · · · · · · · · · · · · · ·		
EASTWO	90D	Pc	ostcode 3875
Phone number: Home:	Work:	- Mobile:	- <u></u>
Email address:		Fax:	
Permit Details:			
Planning permit number: 91	2020P		· · · · · · · · · · · · · · · · · · ·
What has been proposed? <u>dev</u>	exponent of	land for 2 d	wellings.
What is the address to be used or de	veloped? 4	Glendon Drive	
		Eastwood	(
Who has applied for the permit?	clement - stone	e Town Plann	ers
Objection Details:			
What are the reasons for your objecti	ion? <u>Refer</u>	attached 1	etter
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East	Gipps	land S	ihire	Council
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How would you be affected by the granting of this permit?	Refer	attached	letter
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If you need more space for any part of this form please attach another sheet.

Signature:						
Name:	GLENN CALVERT	Date:_	261	41	2020	2

	·	<u> </u>
Office Use Only:		,
Objection Received by:	Date Received:/	
Planning officer responsible:	Date Received:/	_/

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91/2020/P

This is an overall development of 12 duplexes/24 houses when the whole project is finished. Only doing 5 duplexes/10 houses now. While it may tick the boxes of 1 permit, it has to be looked at in it's entirety.

- This development is not in character with the Eastwood profile
- Low socio-economic housing not good in a cluster development in any area.
- If there is a need, it must be spread throughout the community
- There are already at least 3 Public Housing properties in close proximity. Despite numerous complaints from neighbours, unfortunately these dwellings are not kept neat, with visual rubbish problems and tenants allegedly vandalising and spraying graffiti, and not acting in a normal community spirit.
- Blocks were originally sold on the proviso that each block was to be built on by an individual not one person having 12 blocks and building potentially 24 houses
- The Department of Health and Human Services are applying for permits for 4, 5, 8, 13 & 17 Glendon. And they still have 1, 6, 7, and 11 in the same parcels of land. They also own the land at 12, 14 & 16 Glendon, which was the area of a previous application.
- Surely a planning department has to be responsible in protecting the values of the existing homeowners properties
- Clause 32.08 of General Residential Zoning To encourage diversity Yes, 1 duplex is diversity, but NOT 12 duplex/24 houses in the same street (72% of houses in street)

How would you be affected by the granting of this permit?

- The land at 12, 14 & 16 Glendon was the area of the original application. Was this application refused? or withdrawn? If you add that to the other lots, that's 24 houses in one street
- As home owners, we bought and developed our properties without the knowledge that 24 Emergency housing properties would be built on our doorstep
- Cluster housing like this causes ghettos (for the want of a better word). Spread them out to lessen the community impact.
- Council and VCAT have already refused 3 permit applications for subdivision on the adjacent Backwater. It wasn't exactly spelt out on 2 of those applications, but it was proposed to sneakily develop a high density living block which VCAT threw out and then rejected the new application later.
- I read somewhere that high fences and security cameras will be installed. That has alarm bells ringing already 10 houses followed by a further 14. This is a serious safety concern implying the need for Security in the area, putting our possible health and well being at risk.
- I was told a planning department person said each application is judged on its merits. Surely that can't be the case here? If you are planning for the future and big picture – take your blinkers off and look at the big picture – 24 houses – seriously – would you like to live here?
- When the entire project is complete there will be 24 community houses and 9 "normal" houses in the street
 that's not acceptable with today's planning. 72% in one street is not an even spread across the town.
- In regards to traffic and parking Glendon is the main through street to the Backwater, which would cause congestion and danger to the residents. It is also a key linking pedestrian route for school children attending Lucknow Primary School.
- Adjacent to Glendon is the Backwater, which is arguably one of the best streets in Bairnsdale. Houses and blocks are expensive, but this would bring property values down, both in the Backwater, and in Glendon, and other sympony ounding streets. You wouldn't do this in Toorak!

Glenn Calvert

Eastwood

Ph: C

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: EDWARD CAMPSCO	u	-			
Postal address: PO Box 500	BAIRN	SOALE			
				Postcode	3875
Phone number: Home:	Work:	-	Mobile	: -	1000
Email address:		202 3	Fax:		
Permit Details:	and the	10 N	1970	a good	5 550
Planning permit number:					
What has been proposed? BUILD	10 UNITS	- 5 X	3 BEDR	com p	UPLEY
UNITS ON 544 LOTS 1	NGLONYON	DU CASIL	1000. Lots	4,5,8,	13+17
What is the address to be used or develope	ed?				
2075 4,5,8, 13 +1	7 GLC	NDON D	RIVE C	FASTWO	DOD
Who has applied for the permit?	MENT STU	NG TOW	NPLAN	NCRS	
ON BEHME OF THE					

Objection Details:

What are the reasons for your objection? is not in keeping with the character proj troote in Eachwood have more than two Eastwood our more epts area quue 00 evelo ı D ar

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How would you be affected by the granting of this permit? TRAFFIC FLOW IN THE AREA 1 INCREASED STREET 1HA7 INCREBISED 15 2 ON STREE PARKING 7 ONLL ES WITTER OWG-E Cran AND 199 199 SERVICES Pg 4

If you need more space for any part of this form please attach another sheet.

Date: 22/04/2020

Office Use Only:	Wheeler Wheeler	ALA I	2003
Objection Received by:	Date Received:	1	1
Planning officer responsible:	Date Received:	1	/

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Laurel Calvert		
Postal address:	Eastwood	
		Postcode 7875
Phone number: Home:	Work:	Mobile:
Email address:		Fax:
Permit Details:		
Planning permit number: 91	2020 P	
What has been proposed?	mestal the land	6-2 dwellings
What is the address to be used or develop	ped? 4 Glendon	Drive Eastwood
Who has applied for the permit?	emat-stone Tow	n Planness
Objection Details:	,,,,,,, _	
What are the reasons for your objection?	······································	

What are the reasons		······
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How would you be affected by the granting of this per Refer the attached	mit?
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If you need more space for any part of this form please attach another sheet.

Signature:				
Name:	Laurei	Calvert	Date: 261 4 12020	

Office Use Only:	
Objection Received by:	_ Date Received://
Planning officer responsible:	Date Received: / / /

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OBJECTION TO PLANNING PERMIT 4 GLENDON DRIVE EASTWOOD 91/2020 (P What are the reasons for your objection?

This is an overall development of 12 duplexes/24 houses when the whole project is finished. Only doing 5 duplexes/10 houses now. While it may tick the boxes of 1 permit, it has to be looked at in it's entirety.

- This development is not in character with the Eastwood profile
- Low socio-economic housing not good in a cluster development in any area.
- If there is a need, it must be spread throughout the community
- There are already at least 3 Public Housing properties in close proximity. Despite numerous complaints from neighbours, unfortunately these dwellings are not kept neat, with visual rubbish problems and tenants allegedly vandalising and spraying graffiti, and not acting in a normal community spirit.
- Blocks were originally sold on the proviso that each block was to be built on by an individual not one person having 12 blocks and building potentially 24 houses
- The Department of Health and Human Services are applying for permits for 4, 5, 8, 13 & 17 Glendon. And they still have 1, 6, 7, and 11 in the same parcels of land. They also own the land at 12, 14 & 16 Glendon, which was the area of a previous application.
- Surely a planning department has to be responsible in protecting the values of the existing homeowners properties
- Clause 32.08 of General Residential Zoning To encourage diversity Yes, 1 duplex is diversity, but NOT 12 duplex/24 houses in the same street (72% of houses in street)

How would you be affected by the granting of this permit?

- The land at 12, 14 & 16 Glendon was the area of the original application. Was this application refused? or withdrawn? If you add that to the other lots, that's 24 houses in one street
- As home owners, we bought and developed our properties without the knowledge that 24 Emergency
 housing properties would be built on our doorstep
- Cluster housing like this causes ghettos (for the want of a better word). Spread them out to lessen the community impact.
- Council and VCAT have already refused 3 permit applications for subdivision on the adjacent Backwater. It
 wasn't exactly spelt out on 2 of those applications, but it was proposed to sneakily develop a high density
 living block which VCAT threw out and then rejected the new application later.
- I read somewhere that high fences and security cameras will be installed. That has alarm bells ringing already 10 houses followed by a further 14. This is a serious safety concern implying the need for Security in the area, putting our possible health and well being at risk.
- I was told a planning department person said each application is judged on its merits. Surely that can't be the case here? If you are planning for the future and big picture – take your blinkers off and look at the big picture – 24 houses – seriously – would you like to live here?
- When the entire project is complete there will be 24 community houses and 9 "normal" houses in the street
 that's not acceptable with today's planning. 72% in one street is not an even spread across the town.
- In regards to traffic and parking Glendon is the main through street to the Backwater, which would cause congestion and danger to the residents. It is also a key linking pedestrian route for school children attending Lucknow Primary School.
- Adjacent to Glendon is the Backwater, which is arguably one of the best streets in Bairnsdale. Houses and blocks are expensive, but this would bring property values down, both in the Backwater, and in Glendon, and other surrounding streets. You wouldn't do this in Toorak!

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L Eastwood

Laurel Calvert

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273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email <u>feedback@egipps.vic.gov.au</u> Follow us on Twitter @egsc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Fasc

Name: BRIAN COTTAM		27 477 2920					
Postal address:	UVE	INFORMATION					
EASTWOOD	-	MANAGEMENT		Postcode	3	87	25
Phone number: Home:	Work:	•	Mobile:	(
Email address: (Fax:				

Permit Details:

Planning permit number: 91/2020/ What has been proposed? <u>DEVELOPMEN</u>	T OF LAND FOR TWO NEW DWELLINGS
What is the address to be used or developed?	4, GLENDON DRIVE
<u></u>	EASTWOOD.

Objection Details:

What are the reasons for yo	ur objection?
S&	E ATTACHED SHEET
<u></u>	

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How would you be affected by the granting of this permit?					
SEE ATTA	ICHED SHE	ET			
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If you need more space for any part of this form please attach another sheet.

Signature:	
Name: BRIAN P. COTTAM	Date: 2610412020
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Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received:/_/

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BRIAN & WENDY COTTAN, EASTWOOD 3875 PHONE C. ATTACHED SHEET. OBJECTION AND IMPACT. PERMIT NUMBER. P91/2020/P

Reasons for my Objection

- a. The proposed development is not in keeping with the character profile of the area, given that no streets in Eastwood have more than two multi dwelling sites.
- b. The proposed development is not complementary to the existing housing stock.
- c. The original purpose of the land has been changed from single residences for low income families to the current proposal.

How I would be affected

The proposed development will adversely impact on the social composition and on my personal enjoyment of living in Eastwood, for the following reasons.

- a. Glendon drive is a residential street of about two hundred metres in length. The proposed development in this small street will create a type of neighbourhood that historically used to be called "ghetto".
- b. I do not object to the spirit of providing assistance to homeless people or to families in crisis. I do, however, object to a plan that the residents of the surrounding properties ought to carry the social burden of providing such assistance. In the interests of fairness, such burden should be spread more equitably across the whole of Bairnsdale, or of East Gippsland.
- c. Even before any building work has commenced, the property values in this area have already dropped by 20%.
- d. This drop in property value is likely to spread to other residential properties within an estimated radius of at least three hundred meters. To date, no compensation has been offered to property owners directly impacted on by this planned development.
- e. I am concerned about security implications of the proposed plan on myself and my immediate neighbourhood. At greatest risk will be aged residents and families with children who live in the surrounding properties on Glendon Drive and on Flinns Road.
- f. No Social Impact Statement, as per East Gippsland Planning Scheme, has been distributed to residents who are directly impacted by the proposed planning. Such impact statement needs to be provided as a matter of urgency.
- g. The proposed developments for Glendon Drive are only the tip of the iceberg. The proposed development for the land on 4, 5, 8, 13 and 17 Glendon Drive excludes what is being planned for the land on number 3 Glendon Drive. This is located directly behind my property. Current knowledge has it that there is a plan to build a high-security crisis centre, which has not yet been declared to residents. Withholding information on what is being proposed for the whole of Glendon Drive smacks of lack of transparency.
- h. The proposed planning permit also files in the face of the Mission Statement of the 2017-2021 Council Plan (Year 2, Revised March 2018). East Gippsland Shire Council endeavours to make East Gippsland "the most liveable region in Australia. A place of natural beauty, enviable lifestyles, and opportunities". The proposed development, if successful, would exclude me and my neighbours from the benefits of this mission statement.

From: SeamlessCMS@seamless.com.au Sent: Thursday, 16 April 2020 8:48:43 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 08:48 PM

Name	Mal Dalton
Email address	
Postal address	Eastwood Vic
Home	
Work	
Mobile	
Fax	
Planning permit number	91 to 95/2020/P
What has been proposed?	Construction of 5 multi site units in Glendon Drive
What is the address to be used or developed?	4,4,8,13 & 17 Glendon Drive Eastwood
Who has applied for the permit?	Clement Stone Town Planners on behalf of DHHS
What are the reasons for your <u>objection</u> ?	The development of these properties is not in keeping with the character profile of the area given that no other streets in Eastwood have more than 2 multi site dwellings. The proposed development is not complimentary to the existing housing stick. The original purpose of the land was for single site residences for low income families - this has now been amended without consultation to the community and adjoining landholders.
How would you be affected by the granting of this permit?	The whole of the immediate area will be affected by the potential issues this type of DHHS cluster housing can cause and will certainly affect the values of nearby properties.
Additional information	No file attached

Kerry Stow

From:	SeamlessCMS@seamless.com.au
Sent:	Thursday, 23 April 2020 8:13 PM
То:	Planning Department
Subject:	Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 23 Apr 2020 08:12 PM

Name	Linda Daniel
Email address	
Postal address	Eastwood 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	91,92,93,94 & 95/2020/P
What has been proposed?	10 units. 5x3 bedroom duplex units on 5 lots, close together in Glendon Drive Eastwood
What is the address to be used or developed?	4, 5, 8, 13 & 17 Glendon Drive, Eastwood
Who has applied for the permit?	Clement-Stone Town planners for Director of Public Housing
What are the reasons for your objection?	This is not in line with the character profile of the area as no streets in Eastwood have more than 2 multi dwelling sites, it is not complimentary to the existing houses and the original purpose of the land is being changed from single residences to the current proposal.
How would you be affected by the granting of this permit?	I live at the back of this street and construction of so many units in such a small area behind where I live will create much more noise and traffic congestion. This is a very quiet area now with single houses on blocks, not numerous units squashed into the same size blocks. I believe having so many of these units together will reduce the value of my property and make it less attractive to families when I need to sell.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

2 0 APR 7070

Name:	SANDRA	4	LEO	DON	LING		MANAGERAL
Postal ac	dress:				EAST	-4000	VIC
			-				Postcode 3875
Phone nu	umber: Home			Work:		Mobile:	CALL IS I UNT
Email ad	dress:			•	•	Fax:	
		-					

Permit Details:

Planning permit number: 91/2020/P, 92/2020/P 93/2020/P 95/2020/P 94/2020/
Planning permit number: 91/2020/P, 92/2020/P, 93/2020/P, 95/2020/P, 94/2020/F What has been proposed? The building of 10 Dupley units on 5 Lots
in Glendon Onve Eastwood.
What is the address to be used or developed?
Street Numbers: 4, 5, 8, 13 + 17 Glendon Drive Easthoa
Vic. 3875
Who has applied for the permit? Clement - Shone Town Planners on behalf
of the director of Public Housing.

Objection Details:

What are the reasons for your objection?
1) The development 15 not in Keeping with the Character profile of the
area, given that no streets in Eastwood have more than 2
Mutti dwelling oiles.
2) The proposed development is not complimentary to existing housing
Stock.
3) The original purpose of the land has been changed from origle
residences for low income families to current proposal
thus satting a precedence.

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit? Hy husband & L reside very close to the davelopment being proposed. We chose to live in Eastwood aus excellent planning of mostly single residences a open particiand spaces the In Researching hich gives us a worderful quality of 1 fe berze chash land in the current proposal Jas designated we were informed that the to be single dwellings only great concern for the change of singlefeel to mutter done 5, we also bel that this change would then sera recence جررالص Figher densih Øf living in other areas reside in Eastwood feel prvileged to 15 masil that has gone planning int to-the great reed to object the the current proposal have a grea Ne Øf du higher densily concerned the ۲ę. ven -the INNO Keside Il change the Streetsco pe forever LAY complime đ no OUN -ex Gth pride in Stock all take Such housing Nhich Ne If you need more space for any part of this form please attach another sheet.

Signature:			
Name: SANDRA	DOWLING	LF. DOWLING	Date: <u>20/ 4 / 2020</u>

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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East Gippsland Shire Council

273 Main Street (PC Box 1578) Bairredale Vic 3875 Website www eastgipps and vio gov au Email feedback @eg.pps vic gov au Fullow LE or Twitter Regard



Telephone (03) 5153 9500 Fex: (03) 5153 9575 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 \$571 2* 967 967 FEE

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name BARRY AND MARLEN	E FORWARD	2
Postal address:	EASTWOOD .	VIC.
·	r	Postcode 3875
Phome mumber: Home: /	Work Eeso	
Email address:	2 : / ?? ?!?!	Fax: N/A
Penmit Details:	NE ATIC	
Planning penmit number 91/2010/P		
What has been proposed? 2 × Dwell	ings on one allo	tment.
What is the address to be used or developed	1? LOT 201	NO. 4 Glendon Dr. Eastwood.
	•	
Who has applied for the pennil? Dept. of	Health and Hun	nan Services (D.H.H.S)
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Objection Details:		
What are the reasons for your or ector? (A	1 The developmen	t is not in keeping with the
existing streetscape and neigh	hourhood D.H.H.S	has ownership of the romando
of blocks in Flandon Time and a	Irondy has Simu	It ac pougly four other blocks

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273 Main Street (PC Box 1618) Bairnsdale Vic 3875 Website wate eutopological and accur Binter terroristic and accur Follow us on Twitter Kegnet



Telephone, (03, 5163 960) Fax; (03) 5153 9578 National Relay Service: 133 677 Residents: Internation_Ine: 1300 576 286 AGN, 31 957 267 785

How would you be affected by the granting of this permit? Increased vehicles in Glenclon Drive
could make a short street liverally for children in the street if unsupervised
If "economically disactiontaged" tomilies occupy the dwellings.
they may fall into discensive because of less maintenance) and as
How would you be affected by the granting of this permit? <u>Increased vehicles in Glendon Prive</u> <u>could make a short street expectally for children in the street if unsupervised</u> <u>if 'economically disaduantaged</u> " fermilies occupy the dwellings, <u>they may fall into disrepair because of less maintenance</u> , and as <u>noticed in other DHHS properties in the local vicinity, property values</u> <u>can suffer in the vicinity</u> .
my dullage in the sting the
- Conc Auffer and the Villanding.

If you need more space for any part of this form please attach another sheet.

Signeture: 4 MARLENE FERWARD. Date: 27/04/2020 BARR Nama FORWARD

Office Use Only:				
Objection Received by:	Date Received:	1		
Planning afficer responsible:	Date Received	#	#	

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Online Form Submitted

Date Submitted: 20 Apr 2020 08:09 PM

Name	Carl Freshwater
Email address	
Postal address	t Eastwood VIC 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	94/2020/P
What has been proposed?	10 units, 5 x 3 bedroom duplex units on 5 lots
What is the address to be used or developed?	Glendon Drive Eastwood, Lots 4,5,8,13 & 17
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	The proposed development is not complimentary to the existing housing stock. Further it does not keep with the Character profile of the area given that no streets in Eastwood have more than 2 multi dwelling sites.
How would you be affected	This will put downward housing pressure on existing dwelling valuations within the immediate area. I believe the social ramifications will impact the appeal to the estate for future potential buyers. This will effect our ability to draw on built up house equity as housing prices depreciate, it will also restrict our potential to refinance loans and drive prices up on general insurances. While Bushfires and
Additional information	No file attached

21/4/2020

Eastwood 3875.

To East Gippsland Shire Re Planning Permit Application 91/20/20 Construction of 2 New Dwellings 4 Glendon Drive Eastwood 3875.

When we purchased our property almost 11 years ago, we were told the land was to be used for an
entirely different scheme, not homes for the homeless.We are not receiving enough information.EGSCAre these people to be permanent residents?2 2 APR 2020Who maintains the property?2 2 APR 2020How many people will live in the dwelling?INFORMATION
MANAGEMENT

As this is only 1 property of 5 that is to be developed, we are very concerned as this still leaves 6 blocks belonging to the government.

Also in November 2019 we had a pamphlet dropped in our letterbox saying that 2 buildings were to be built at 12 Glendon Drive for people in crisis. The phone number on the pamphlet rang out every time I tried to ring. I went to the shire and was told they knew nothing about it, same with the planning department. So at a guess, I presume this is to be the relocation of GEGAC womans refuge from Dalmahoy Street. God help us.

I fail to see why all these homes need to be crammed into one street, and not dispersed throughout the estate. It's likely we will be left living in a ghetto.

The town planners state that the residents will have access to public transport. That's not true, the nearest bus stop is in Balmoral Crt. Certainly too far for me to walk. The buses don't come down this end of Eastwood. A taxi from here to the Hospital is \$37.00.

They also state they will plant 4 canopy trees on 1 block. (far too many) it blows a gale for several months of the year, we already get enough debris blowing in from the gum trees in the park.

Gippsland Water replaced all the piping on the blocks behind us in 2019. They had been broken due to the land cracking in the drought. I'm sure they would not like those drains to be hampered by tree roots.

We have had 2 real estate agents give us an appraisal on our property. Unfortunately for us, we now have to declare this debacle, and have been told that the value of our property is less today than it would have been 6 months ago.

We are both very unhappy with this mass development and as we are both heading towards our 80's we are finding the situation very stressful. Our aim was to live a quiet retirement in the home we are in, and seek help when we required it, as the government are encouraging the elderly to stay in their homes as long as they can. It now seems like this was just a dream. If this development goes ahead we don't know what we will do.

Our future is in your hands.

Trevor and Denise Frogley

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Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

ECSC

		אראיז דיין דיין א
Name: LEON HORD . 4.	HALL.	INFORMATION
Postal address:	EASTWAD	D. MANAGEMENT
		Postcode 3874
Phone number: Home:	. Work:	Mobile: ¿
Email address:		Fax:

Permit Details:

Planning permit number: Application Reference number 91/2020/P
What has been proposed? Proposed Construction of two New
Descripts
What is the address to be used or developed? 4 CHENDON DRIDE
EAGTWOOD, 3875
Who has applied for the permit? <u>CLEMENT-STONE TOWN PLANNERS</u>

Objection Details:

What are the reasons for your objection?
ATTHE development is NOT complimentary to the existing
housing stock.
2) The obiginal purpose of the land has been changed
From single residences to the current proposal
3) The development is not in keeping with the Character
profile of the area given that no streets in Eastwood
have more than 2 multi dwelling sites.

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

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 <u></u>			
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Signature: Name: LEONARD. Date: 25141 20 · HALL. 12

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received: / /

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Disruption

Glendon drive and the adjoining "The Backwater" street are a community of medium to high socio economic professionals from Business, Teaching, Nursing and the Building professions.

Inhabitants have created a respectable and high quality neighbourhood culture. This is a highly desirable address.

The disruption to this idyllic neighbourhood street vista and street scene of injecting HIGHLY CONCENTRATED crisis housing structures will be profound and ascetic values will plummet.

This huge development of at least 11 domicile structures and buildings is almost beyond comprehension.

Security. By day and particularly night apprehension of personal safety is clear.

We use the street and nearby walking tracks regularly and express concern that this free access will be compromised and rendered less safe.

The free movement of local's vehicles because of the high density of inmates in this concentrated street position will be unfair and was unanticipated.

Equity issue In Glendon Drive there are currently 10 houses of 23 Adults excluding children.

The adjoining "The Backwater" street some 200 metres from the proposed crisis centre address is a premier residential Bairnsdale address.

The proposed crisis buildings of 10 units and a crisis centre at the least will drastically alter the mix of middle to upper class professional residents by at 100% with the lower socio economic inmates coming in.

Therefore as a basic equity issue, why is this proposal so concentrated in one street and not spread over the whole Bairnsdale community?

High security walls and constant security personnel will render this premier address

as institutional, imposing and creating considerable apprehension and have a huge impact on health and wellbeing of residents in the area.

~ N

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Ochren H	ine	
Postal address:	Sons	feild
Vic	.	Postcode 3375
Phone number: Home:	Work:	Mobile:
Email address:		Fax:
Permit Details: Planning permit number: O What has been proposed? O	2020/P evelop land for	- two dwellings
What is the address to be used or d 4 Glendon dri	eveloped? ve Eastwood	
Who has applied for the permit?	tone Town Pl	anners

Objection Details:

Vhat are the reasons for your objection?	
There is Dight Do Doll	; on this strept
to be developed. i Fee	1 16 house's to be
used for DHHS residents	is to much for
one small area	
	EGSC
	2 2 MAY 2020
	INFORMATION

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How would you be affected by the granting of this permit?
The value of my land would decrease
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If you need more space for any part of this form please attach another sheet.

Signature:	
Name: Darren Hine	Date: 191512020

Office Use Only:			
Objection Received by:	Date Received:	/	/
Planning officer responsible:	Date Received:		_/

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Objection to Planning Permit Application

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Your Details: 2.7 APR 2020					
Name: Bill & Mary	TEHNSON	INFORMATION MANAGEMENT			
Postal address:	Enstud				
		Postcode			
Phone number: Home:	Work: NA	Mobile: c			
Email address:		Fax: 1/14			
Permit Details:					
Planning permit number: hpd:craft	ion Reference num	160r 91/20201P			
What has been proposed? Prope	sed Construction of	E two New			
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What is the address to be used or de	eveloped? 4 GLENDO	ON DRIVE			
ERGENCOD, 38					
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Who has applied for the permit? \subseteq	LEMENT-STONE.	TOWN PLANNERS			

Objection Details:

What are the reasons for your objection? Relet Back Page
ITTRE development is NOT complimentary to the existing.
housing stock.
2) The original purpose of the land has been changed
From single residences to the current proposal.
3) The development is bot in keeping with the Character
profile of the area given that no streets in Eastwood
bave more than 2 multi dwelling sites.

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How would you be affected by the granting of this permit?	
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If you need more space for any part of this form please attach another sheet.

Signature: Tm Date: 26 1 1 1 2020 Name: 50000 ø,

Office Use Only:	· · · · · · · · · · · · · · · · · · ·	
Objection Received by:	_ Date Received://	-
Planning officer responsible:	_ Date Received://	-

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Reasons for my Objection

- a. The proposed development is not in keeping with the character profile of the area, given that no streets in Eastwood have more than two multi dwelling sites.
- b. The proposed development is not complementary to the existing housing stock.
- c. The original purpose of the land has been changed from single residences for low income families to the current proposal.

How I would be affected

The proposed development will adversely impact on the social composition and on my personal enjoyment of living in Eastwood, for the following reasons.

- a. Glendon drive is a residential street of about two hundred metres in length. The proposed development in this small street will create a type of neighbourhood that historically used to be called "ghetto".
- b. I do not object to the spirit of providing assistance to homeless people or to families in crisis.
 I do, however, object to a plan that the residents of the surrounding properties ought to carry the social burden of providing such assistance. In the interests of fairness, such burden should be spread more equitably across the whole of Bairnsdale, or of East Gippsland.
- c. Even before any building work has commenced, the property values in this area have already dropped by 20%.
- d. This drop in property value is likely to spread to other residential properties within an estimated radius of at least three hundred meters. To date, no compensation has been offered to property owners directly impacted on by this planned development.
- e. I am concerned about security implications of the proposed plan on myself and my immediate neighbourhood. At greatest risk will be aged residents and families with children who live in the surrounding properties on Glendon Drive and on Flinns Road.
- f. No Social Impact Statement, as per *East Gippsland Planning Scheme*, has been distributed to residents who are directly impacted by the proposed planning. Such impact statement needs to be provided as a matter of urgency.
- g. The proposed developments for Glendon Drive are only the tip of the iceberg. The proposed development for the land on 4, 5, 8, 13 and 17 Glendon Drive excludes what is being planned for the land on number 3 Glendon Drive. This is located directly behind my property. Current knowledge has it that there is a plan to build a high-security crisis centre, which has not yet been declared to residents. Withholding information on what is being proposed for the whole of Glendon Drive smacks of lack of transparency.
- h. The proposed planning permit also flies in the face of the Mission Statement of the 2017-2021 Council Plan (Year 2, Revised March 2018). East Gippsland Shire Council endeavours to make East Gippsland "the most liveable region in Australia. A place of natural beauty, enviable lifestyles, and opportunities". The proposed development, if successful, would exclude me and my neighbours from the benefits of this mission statement.

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Objection to Planning Permit Application

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Your Details:

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Objection Details:

What are the reasons for your objection? The IO wits is not in
* keeping with the character profile of the area given that
no streets in Eastwood have more than 2 multi dwellings.
* The proposed development is not complimentary to
the existing housing in the street or oneci.
* The original purpose of this land has been
changed from single residences for low income families
to this current multi have proposal.
* Other people in air one a have had multiduellings rejected

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Signature:	11 - 1			
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Name:	Kellie	Johnston	Date:_	1514120

Office Use Only:			
Objection Received by:	Date Received:	_/	
Planning officer responsible:	_ Date Received:	_/	_/

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Objection to Planning Permit Application

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Your Details:	×. •	EGSC
Name: Chenyl+Rhine	VIARR	77 /FR 9678
Postal address:	- IN	FORMATION
Enstwood	M	ANAGEMENT Postcode 3875
Phone number: Home: 5532129	Work:	Mobile: (
Email address: (Fax:
Permit Details:		
Planning permit number: npplication R	GERSINCE NUM	160r 91/2020/P
What has been proposed? Proposed	Construction o	f two New
Duscuings		
What is the address to be used or developed	?4 CHENDO	DN DRIVE
EASTWOOD, 3875		
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Who has applied for the permit? CLEM	ENT-STONE.	TOWN PLANNERS
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Objection Details:

What are the reasons for your objection?
ITTRE development is NOT complimentary to the existing
housing stock.
2) The original purpose of the land has been changed
From single residences to the current proposal.
3) The development is not in keeping with the Character
profile of the area given that no streets in Eastwood
have more than 2 multi dwelling sites.
3

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How would yo	u be affe	ected by th	e granting of this p	ermit?			
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Signature ୨୯ Date: 5)ര Name:

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received: / /

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give to us on this form is used only for the reasons do on in the solution and a single structure and single structure and a single structure and single structure and a single structure and single struct

Disruption

Glendon drive and the adjoining "The Backwater" street are a community of medium to high socio economic professionals from Business, Teaching, Nursing and the Building professions.

Inhabitants have created a respectable and high quality neighbourhood culture. This is a highly desirable address.

The disruption to this idyllic neighbourhood street vista and street scene of injecting HIGHLY CONCENTRATED crisis housing structures will be profound and ascetic values will plummet.

This huge development of at least 11 domicile structures and buildings is almost beyond comprehension.

Security. By day and particularly night apprehension of personal safety is clear.

We use the street and nearby walking tracks regularly and express concern that this free access will be compromised and rendered less safe.

The free movement of local's vehicles because of the high density of inmates in this concentrated street position will be unfair and was unanticipated.

Equity issue In Glendon Drive there are currently 10 houses of 23 Adults excluding children.

The adjoining "The Backwater" street some 200 metres from the proposed crisis centre address is a premier residential Bairnsdale address.

The proposed crisis buildings of 10 units and a crisis centre at the least will drastically alter the mix of middle to upper class professional residents by at 100% with the lower socio economic inmates coming in.

Therefore as a basic equity issue, why is this proposal so concentrated in one street and not spread over the whole Bairnsdale community?

High security walls and constant security personnel will render this premier address

as institutional, imposing and creating considerable apprehension and have a huge impact on health and wellbeing of residents in the area.

From: SeamlessCMS@seamless.com.au Sent: Thursday, 16 April 2020 4:47:59 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 04:47 PM

Name	Justin Kellow
Email address	
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	91/2020/P
What has been proposed?	Building of 10 Units
What is the address to be used or developed?	4,5,8,13 & 17 Glendon Drive Eastwood
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	The proposed development is not complimentary to the current area and is not keeping with the profile of the area in that no streets have more than 2 multi dwelling sites.
How would you be affected by the granting of this permit? Additional information	This project would have social and financial impacts on the direct neighborhood and for the wider Eastwood area with a precedent set for other future multi dwelling sites to proceed. No file attached

From: Carol McAuliffe [] Sent: Wednesday, 22 April 2020 7:33:26 AM To: Feedback Address For Web Page Subject: Planning permit objection

Hi

I wish to lodge the attached planning permit

Kind regards

Carol McAuliffe

East Gippsland Shire Council 273 Main Street (PO Box 1618) Bairnsdale Vic 3875

Website www.eastgippsland.vic.gov.au

Email feedback@egipps vic.gov.au

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Postal address:	ci / í		
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Eastwood	av	Post	code 3875
Phone number: Home:	Work:	Mobile:	0.00
Email address:		Fax:	
Permit Details:	-0	4	95/2020/2
Planning permit number: ් ර/ද	1020/P. 91/2020/P. 92/2	020/19 93/2020/19 9	4/2020/P
What has been proposed? _(O	Units - 5×3Ber	WOOM duoles !!	aits
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Eastwood			
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How would you be affected by the granting of this permit? a 2

If you need more space for any part of this form please attach another sheet.

Signature: 17/ Name: Date: 4120 Ś

Office Use Only:	
Objection Received by:	Date Received:/ /
Planning officer responsible:	Date Received:

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EGSC Your Details: 7 8 APR 2020 Name: AYE INFORMATION MANAGEMENT Postal address: Postcode 7 5 ALAIP T 1 1 1 1 1 1 1 こうじっ Phone number: Home: Work: Mobile: C Λ 1 Email address: ~ Fax: OVS UTITS CIRC Permit Details: Planning permit number: DUPLEX UNITS What has been proposed? $10 - 5 \times 3$ What is the address to be used or developed? LOTS ວົ 4 · 5 ጽ GLENDON DRIVE EASTWOOD Who has applied for the permit? CLEMENT -STONE TOWN ANNERS PUBLIC HOUSINE oF BEHALF OF DIRECTUR ON **Objection Details:** Miket or 11 **.** · ..

What are the reasons for your objection?
THE PROPOSED DEVEOPMENT IS NOT
COMPLIMENTARY TO NOTHE EXISTING HOUSING STOCK
SUBERY THIS DOES NOT MAKE LOGICAL SEASE
TO HAVE TO UNITS IN ONE STREET OF
GLENDON DRIVE ? WHAT ADOUT THE
EXTEN MOVEMENT IN THE AREA ? ANY ONE HAD
A THORE H ABOUT THAT?

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How would	you be affe	cted by the g	ranting of	this permit?					
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f you need m		for any part o	f this forr	n please atta	ich anoth	er sheet.			

Signature:		,	
Name:	ALAN	M'Cormack	Date: 16 / 9 / 2020

Office Use Only:	
Objection Received by:	_ Date Received://
Planning officer responsible:	_ Date Received://

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details: 2 0 APR 7020 Name: INFORMATION NASH CHRISTOPHER MANAGEMENT Postal address: Postcode TINHOOC Work: Phone number: Home: Mobile: Email address: Fax: Permit Details: Planning permit number: INITS What has been proposed? ln BOM GLENDON in ON LOTS DE What is the address to be used or developed? LOTS Der 5,8, 13 -LENDON EABTWOOD Who has applied for the permit? CLEMENT-STONE JOINN HANNERS OF PUBLIC HOUSING BEHALF 0F THE DRECTOR ()N

Objection Details:

What are the reasons for your objection?
I . THE DEVELOPMENT IS NOT IN KEEPING NIM THE CHARACTER
PROFILE OF THE ARUA - THURE ARE NO STREETS IN EASTWOOD
WITH MORE THAN 2 MULTI DWELLING STES
2. THE PROPOSED DEVELOPMENT IS NOT COMPLIMENTARY TO
THE EXISTING HOUSING
3. THE CRIGINAL RUADSE OF THE LAND HAS BUEN CHANGED
FROM SINGLE RESIDENCES FOR LOW INCOME FAMILIES TO
THE CURRENT PROPOSAL.

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How wo	uld you be affec	ted by the gran	ting of this pe	ermit?				
*	ADDITION	AL TRAF	ic in	Acen	~			·
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	CAUSING	CONGESTIO	N AND	HIGHOR	love of	Don	BER	
*	DE- VAL	ATTON G	F B	XISTI NG	PROPERT	THS_	DUE	
	To comm	ALRUAL	USE	OF	PLOPERTI	es on	AHE	5 brs.
	IN GU	W Don' D	le. Ens	TWOOD	*			
*	24 th	ACTIN	In IN	AREA	PROMPT	10 f	By \$	HE
	PROPOSET	, Use	8F	THE	Phopee	ries .		

If you need more space for any part of this form please attach another sheet.

Signature: Date: Name:

Office Use Only:		_	
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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Trudi Stubbs Team Leader Land Use Administration

A Please consider the environment before printing this e-mail.

From: SeamlessCMS@seamless.com.au <SeamlessCMS@seamless.com.au> Sent: Monday, 27 April 2020 7:03 PM To: Planning Department <Planning@egipps.vic.gov.au> Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 27 Apr 2020 07:03 PM

Name	Jessie Ng
Email address	
Postal address	
Home	
Work	
Mobile	(
Fax	
Planning permit number	91/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	4 Glendon Drive Eastwood Lot 201 PS542289
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is not beneficial to the neighbouring residents or the tenants themselves 4> Current cluster of public housing on Gree Kulluk PI is frequently left unkempt 5> Children living in public housing on Gree Kulluk PI are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and increases social impact across the neighbourhood.

How would1> Clustering of emergency housing in one street is likely to affect the safety of the
neighbourhood. 2> There has been multiple episodes of vandalism and theft likely
affected by the
granting of thisresulting from public housing being clustered on Gree Kulluk PI and concerns about
crime will rise if the permit is granted, potentially placing the community on surrounding
streets at higher risk.

Additional No file attached

Online Form Submitted

Date Submitted: 27 Apr 2020 06:57 PM

Name	Poh Ng
Email address	· · · · · · · · · · · · · · · · · · ·
Postal address	
Home	
Work	
Mobile –	
Fax	
Planning permit number	91/2020/P
What has been proposed?	Duplex
What is the	
address to be used or developed?	4 Glendon Drive Eastwood Lot 201 PS542289
Who has	
applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is not beneficial to the neighbouring residents or the tenants themselves 4> Current cluster of public housing on Gree Kulluk Pl is frequently left unkempt 5> Children living in public housing on Gree Kulluk Pl are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and increases social impact across the neighbourhood.
How would you be affected by the granting of this permit?	1> Clustering of emergency housing in one street is likely to affect the safety of the neighbourhood. 2> There has been multiple episodes of vandalism and theft
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

	e		
Postal address:	EASTWO	2010	
	/ Egsc		Postcode 3875
Phone number: Home:	Work:	Mobile	. – .
Email address:	2 3 APR 2020	Fax:	,
Permit Details:	MÁNACE MERT		
Planning permit number: 9% مده / Planning permit number: 9%	, 91/2020/P 92/2020/P	93/202010 94	12020/P 95/20201
What has been proposed? (7)	15 - 5 - 3 ha	troom du	hale is it with
what has been proposed?	UNITS SXOUL	<u>a con a</u>	plet Willi
on 5 lots in Cla	ndon DRIVE EAS	TWOOD .	3875
<u>On 5 lots in Cla</u> What is the address to be used or de	ndon DRIVIE EAS	TW0017 . 13 + 17	3875 Colendon
What has been proposed? <u><u>Jo</u> <u>on 5 lots in Cla</u> What is the address to be used or de Drive Eastwood</u>	eveloped? <u>Lots 4,5 8,</u>	TW0017 CU TW0013 . 13 + 17	3875 Colendon
Planning permit number: 90/2020 /P What has been proposed? on 5 lots in Cla What is the address to be used or de 	eveloped? <u>Lots 4,5 8,</u>	TW0017 CU TW0013 . 13 + 17	3875 Colendon
What is the address to be used or de	veloped? <u>Lots 4,5 8,</u> 3875	13 + 17	3875 Gelendon ners for

Objection Details:

What are the reasons for your objection? development ping that no street the char given cirea cn. 0 masi mol 10 11 monta n of ъ 10 0 ς ъ has Deen the land SINA me

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-How would you be affected by the granting of this permit?
As I retired to a quiet + secure area. As
I had emergeoncy short term readence close by
in South Eastern Subuch in Melbourne. A had
a few incidents near myhome with residents
of these housing situations and do not want
to live through incidents again a TVOF to
Say that the value of my property would
decrease with this type of development going
ghead in this estate

If you need more space for any part of this form please attach another sheet.

Signature:	ראייז ו־ז	~
Name:	Ruth Ry.	2 Date: <u>201412020</u>
	5	

		•	
Office Use Only:			
Objection Received by:	Date Received:		_/
Planning officer responsible:	Date Received:	_/	

only if we are allowed by law, or to protect someone or property.

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Objection to Planning Permit Application

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Your Details:

2

Name: SUSAN QUIGU	54.			
Postal address:				·
EASTWOOD				Postcode 3875
Phone number: Home:	Work:		Mobile:	
Email address:		N	Fax:	
Permit Details:)			Ň
Planning permit number: 93 2020	p.			
What has been proposed? 10 units 5 lots in Glendon	- 5x3 Drive	3 bod duy Eastwood	slex_1	units on
What is the address to be used or developed?				
4, 5, 8, 13 = 17 6	lendon	Due Eas	twood	•
Who has applied for the permit?	vt - stone	Town P	honer	/B
				EGSC
Objection Details:				7 7 APR 2020
What are the reasons for your objection?				INFORMATION
object to this d	evelopm	ont becau	seit	MANA TRALINT
Xets a precoded	<u>n</u> '	· · · · · · · · · · · · · · · · · · ·		
a block of land		· · ·		s #3
	It will	PNOURA	ie a	different
domographic_of	where w	Lich will	be d	letrimental_
to the area	as we	brown it	<u> </u>	nis is q
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-3



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How would you be affected by the granting of this permit?
It will have the set in the set of the set
It will lower prices of houses inthis area It is well documented that rentals encourage more itinerant persons.
more it interest persons.
- I would feel onselfe being a single woman on my own I actually back on to the reserve
on my own I actually back on to the reserve
and can't imagine feeting safe during the night.
· · · · · · · · · · · · · · · · · · ·

If you need more space for any part of this form please attach another sheet.

Signature:				
Name:	SUMN	QUIGUEY	Date: 1614120	_

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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Your Details:

· · · · · · · · · · · · · · · · · · ·						
Name: Carmel Quintor	1					
Postal address:		Eas	twoa	<u> </u>		
	•				Postcode	3875
Phone number: Home	Work:			Mobile:		/
Email address:	•			Fax:		
Permit Details:						
Planning permit number: 91/2020/P-	72/2020/F	2-93/2	020/P-	-95 la	02019-0	14/2020/P
What has been proposed? To build	10 U	nits -	5 × 3	bec	Iroom	
duplex units on 5					:	
What is the address to be used or developed		don D	rive	East	wood	•
NO'S - 4, 5, 8, 13 + 17			<u>, , , , , , , , , , , , , , , , , , , </u>			
					<u>_</u> <u>_</u> <u>_</u>	
	- CI					
Who has applied for the permit? <u>Clem</u>	<u>ent - St</u>	one	lown		ÊGS	<u> </u>
		<u>.</u>			2 2 APR	2020
Objection Details:					INFORMA	TION
					MANAG	MENT
What are the reasons for your objection?						
The proposed developm		115 K	10 WO	<u>y s</u>	surable	e
for the proposed site	9 - •					·
The proposed developm	nent	would	be	unsig	ihtly_	and
not complimentary to						
				7		
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	<u> </u>					

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How would you be affected by the granting of this permit?
my husband al furchased out our home in
Eastwood & years ago due to the appealing look
Fastwood & years ago due to the appealing look, faiths + close to shops. But mostly it felt safe
+ Secure to us.
1 am now a widow in my To's and the
lam now a widow in my To's and the proposed development would eliminate that
secure/safe feeling in a huge way

If you need more space for any part of this form please attach another sheet.

Signature: Carmel Quinton Date: 201 4 1 2020 Name:

Office Use Only:	•			
Objection Received by:		Date Received:	_/	_/
Planning officer responsible:		_ Date Received:	_/	_/

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From: SeamlessCMS@seamless.com.au Sent: Thursday, 16 April 2020 5:26:16 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 05:26 PM

Name	Jackson Rankin
Email address)m
Postal address	, Eastwood
Home	
Work	
Mobile	
Fax	
Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood
What has been proposed?	5 X 3 Bedroom Duplex Units on 5 Lots
What is the address to be used or developed?	Stated Above
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	Having these houses so close to us will directly impact property prices in neighbouring areas, including ours. the proposed planning does not keep with the character profile of the area and its not complimenting to the existing housing in the area. Such a dense population of low income housing is a horrible idea by any means. The approval of such will effect us financially, as well as future safety concerns for families and neighbours.
How would you be affected by the granting of this permit?	As stated previously, we will be financially affected with our property value decreasing. i have further concerns for our safety with these houses so close, and with direct access to our to our street through the reserve. I also have great concerns for our belongings we have worked extremely hard for. Unless you have been living with you head in the sand you know these points are valid. How would you like this proposal to be so close to you and your families home? Please Note: I know there is a need for housing like this, but why in gods name would you put more than 1 in a street like that?
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

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egsc Your Details: 77 APR 2920 Name: DENISE + ARTHUR ROBERTS INFORMATION Postal address: P.O. Box 2023 BAIRNSDALE VICTORIA MANA Postcode g VICTORIA 5 EAST WOOD Phone number: Home: 5153 Work: Mobile: Email address: Fax: Permit Details: Planning permit number: What has been proposed? BUILD IO UNITS (DUPLEX 5 X 3 BEDROOM UNITS GLENDON DRIVE EASTWOOD. STREET NUMBERS OF LOTS GLENDON What is the address to be used or developed? 1075 4, 5 8, 13 DRIVE EASTWOOD VICTORIA 3875. Who has applied for the permit? *CLEMENT-STONE* TOWN PLANNERS ON BEHALF OF THE DIRECTOR OF PUBLIC HOUSING Objection Details:

What are the reasons for your objection? VIE ARE 80 and 84 years Gaslwood INOM Micholson years ago as years out ter spending OWN ind 4<u>ome</u> hill suited MUN and ection leaus1 arid about priginal OUN

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How would you be affected by the granting of this permit? 2/2 both track significant
health problems. Arthur has macular degeneration and al ready
has lost sight completely in one eye. His poor healty is aggrainated
by heart to no bloms a a recent diagnosis of diabetes. Hy own
health is not good. And to severe phen matoid on thinkis I rely
on the use of a walker and at linges a wheelchair. In secent years
I was diagnosed with a sever heart problem.
The poregoing is to help you under land the need we
have to walf out deors. after having many years of good healthy
we wave become uncomfident and insecuse outdoons. He fear
traving so many people moving into our nighbourhoods and are any ious for our safety. If you need more space for any part of this form please attach another sheet.

Signature: A Name: Date: 23 / 4 / 2020

Arthur Roberts + Denie Roberts This objection relation to each block is Lots 4, 5,8, 13 a 17.

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

EGSC

		サラ た下 7879
Name: BARBARA	ROGALLA	PAIEODAATION
Postal address:		MANAGEMENT
EASTWO	6)	Postcode 3 P 7 J
Phone number: Home:	Work:	Mobile: - 101 9 10 00
Email address: (Fax:
Permit Details:		· ·
Planning permit number: 9	2020 P	
What has been proposed? DE	VELOPNENT	OF LAND FOR TWO
NE	WDUELLINGS	
What is the address to be used or	developed? 4 GLE?	DON DRIVE
	EASTWO	() o
Who has applied for the permit?	CLEMENT - STONI	E TOWN PLANNERS

Objection Details:

What are the reasons for your objection?	
- HE	
SERCIE	
A SHE	
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How would you be affected by the granting of this permi	l?`
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If you need more space for any part of this form please attach another sheet.

	<u>t</u>	
Signature:	• •	
Name: B. ROGALCA		Date: 26 104 1 20 20
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	•	
		•
		, `
Office Use Only:		
Objection Received by:	Date F	Received://
Planning officer responsible:	Date	Received: / /

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Reasons for my Objection

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- a. The proposed development is not in keeping with the character profile of the area, given that no streets in Eastwood have more than two multi dwelling sites.
- b. The proposed development is not complementary to the existing housing stock.
- c. The original purpose of the land has been changed from single residences for low income families to the current proposal.

How I would be affected

The proposed development will adversely impact on the social composition and on my personal enjoyment of living in Eastwood, for the following reasons.

- a. Glendon drive is a residential street of about two hundred metres in length. The proposed development in this small street will create a type of neighbourhood that historically used to be called "ghetto".
- b. I do not object to the spirit of providing assistance to homeless people or to families in crisis.
 I do, however, object to a plan that the residents of the surrounding properties ought to carry the social burden of providing such assistance. In the interests of fairness, such burden should be spread more equitably across the whole of Bairnsdale, or of East Gippsland.
- c. Even before any building work has commenced, the property values in this area have already dropped by 20%.
- d. This drop in property value is likely to spread to other residential properties within an estimated radius of at least three hundred meters. To date, no compensation has been offered to property owners directly impacted on by this planned development.
- e. I am concerned about security implications of the proposed plan on myself and my immediate neighbourhood. At greatest risk will be aged residents and families with children who live in the surrounding properties on Glendon Drive and on Flinns Road.
- f. No Social Impact Statement, as per *East Gippsland Planning Scheme*, has been distributed to residents who are directly impacted by the proposed planning. Such impact statement needs to be provided as a matter of urgency.
- g. The proposed developments for Glendon Drive are only the tip of the iceberg. The proposed development for the land on 4, 5, 8, 13 and 17 Glendon Drive excludes what is being planned for the land on number 3 Glendon Drive. This is located directly behind my property. Current knowledge has it that there is a plan to build a high-security crisis centre, which has not yet been declared to residents. Withholding information on what is being proposed for the whole of Glendon Drive smacks of lack of transparency.
- h. The proposed planning permit also flies in the face of the Mission Statement of the 2017-2021 Council Plan (Year 2, Revised March 2018). East Gippsland Shire Council endeavours to make East Gippsland "the most liveable region in Australia. A place of natural beauty, enviable lifestyles, and opportunities". The proposed development, if successful, would exclude me and my neighbours from the benefits of this mission statement.

From: wayne stagg Sent: Sunday, 26 April 2020 3:04:19 PM To: Feedback Address For Web Page Subject: Glendon Drive Eastwood planning permit OBJECTION

Pleas find attached my objections to this development Wayne Stagg

Eastwood.3875. M. W.



Virus-free

Objections. Planning Permit (91/2020/P).

Glendon Drive Eastwood.

(a) This proposed development by the DEPT. of HEALTH and HUMAN SERVICES is not in keeping with the character and existing streetscape, of this short 200 meter street, which is used by residents who live in THE BACKWATER and their families and friends as well as those wanting to get to the Backwater walking track or river.

Glendon Drive currently has eight (8) existing single dwellings :- Nos.!,2, 9, 10,11, 18, 19,20.

DHHS has the remaining 12 undeveloped blocks :- Nos.3, 4, 5, 6, 7, 8,12, 13, 14, 15, 16, & 17. Therefore 60% of Glendon Drive (200 meters long) could be occupied by 24 dwellings (Duplexes) which the concerned residents and neighbours feel is definitely not in character with the overall Eastwood neighbourhood, except for the Eastwood Retirement Village, which of course was purpose built with all required facilities included. If Glendon Drive is eventually developed by DHHS in the manner mentioned (12 Duplexes = 24 dwellings in a street of 200 meters) would council require proportional facilities to a small Retirement Village ?

(b) Concerningly, The Dept. of Health and Human Services (DHHS) has applied for four (4) other identical duplex dwellings simultaeously:- (92/2020/P), (93/2020/P), (94/2020/P), (95/2020/P), which seem to have been somewhat strategically placed amongst the remainder of the DHHS undeveloped blocks so as to not have any immediate side neighbours.

(c) Also concerningly an earlier letter from the DHHS dated 30/10/2019 advising of a "family housing" development occupying three (3) adjoining blocks 12, 14 &16, seems to have been "shelved" while the present Permit applications are in progress. Local concerned residents who expressed written concerns to DHHS have to this date have had no replies.

(d) In view of the current COVID-19 and subsequent "social restrictions" and the concerning time frame in which this development was advised to the immediate neighbours (Thursday before Easter,9/4/20) we have little confidence in the "transparency" of how DHHS has allowed concerned residents in the area the opportunity to gather and discuss and exchange information in any sort of forum that would allow us to feel confident we were being given a "fair and Just" amount of time to present our concerns properly. For example was the original planning of "Eastwood" designed for clusters of Duplex dwellings as a prerequisite of council planners? Were there "covenants" on any areas that disallowed clusters of Duplexes in certain areas ie. The south side of "The Backwater" where three attempts to subdivide, have recently ended up in VCAT, at much expense to all concerned.

(e) Several concerned residents are not aware of the East Gippsland Planning schemes that relate to "Proposals for new developments" and social impact guidelines and therefore don't know if they can validly object on these grounds.

(e) If this development were to be granted permission to proceed I feel the neighbouring property values would suffer depreciation and the "ripple effect" would be likewise felt into adjoining streets in

the vicinity.

(e) Increased vehicle traffic and children's outdoor activity in the street, particularly if not parentally supervised could increase risk of injury.

Wayne Stagg

,Eastwood.3875.

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: IAN & JENNI STA	NIFORTH			
Postal address:				
EASTWOOD			Postcode	3875
Phone number: Home:	Work:	Mobile:	(8
Email address:	•	Fax:		
Permit Details:				
Planning permit number: Nog 91,92	,93,94,95/2020/9			
What has been proposed? <u>5 X 3 be</u>	edroom duplex u	nits on 5 k	ots in	
Cilendon	Drive, Eastwood	<u>λ</u>		. <u></u> .
What is the address to be used or develop	ped? Nos 4,5,8	BET Glen	don Ori	ve
	Eastwood	3875		
Who has applied for the permit?	nent-Stone Tow	n Planners		
Objection Details:	1			
What are the reasons for your objection?			····	
See	attached shee	ts	<u>.</u>	
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		MANAGEM		
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How would you be affected by the granting of this permit?	See attoched sheet
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If you need more space for any part of this form please attach another sheet.

Signature:			- <i>A</i> 1	
Name:	Jennifer Staniforth	IAN	STANIFORTH	Date: 27 /04 / 2020

	·
Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	_ Date Received://

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carpet layers, tilers and police etc) periodically visiting one or more of those 10 dwellings and also very young unsupervised children playing in the street, thus further obstructing passage through to Bairnsdale.

We believe perhaps one Duplex could be absorbed within the surrounding housing 'picture'. Possibly two, particularly if they are on opposite sides of the road and opposite ends of Glendon Drive, but 5 duplexes will become a visual feature/eyesore and detract from the amenity of the area and increases the housing density beyond residents reasonable expectations.

As stated in the reason for objection the proposed development of 5 duplex blocks will affect the amenity of the area in terms of:

a) Traffic

9

- b) Noise
- c) Appearance

•••• ;

- d) Reasonable expectations of development occurring in the immediate area.
- e) Restricted passage for motor vehicles
- I M Staniforth.

1

27/04/2020

J A Staniforth

27/04/2020

Possible Letter to the East Gippsland Town Planner

I am concerned about the timing of this planning application and wonder if it satisfies the planning laws in that, due to restrictions of movement imposed by the State Government: -

- 1. The proposals have not been visible to all those affected as passage along that street has been severely diminished due to travel restrictions.
- 2. There has been no social interaction during the time that the proposals have been advertised thus an awareness of the proposals has not be communicated by word of mouth to affected parties.
- 3. The community have been denied the opportunity to meet and discuss the proposals as was possible in the past with proposals, three times rejected by VCAT, relating to 3 applications to build 2 dwellings on each of three blocks in the nearby Backwater.

Surely the planning laws require people to have the opportunity to be informed and due to the Conavirus this has not happened.

Finally, please note that in our objections we have pointed out some glaring errors in the submissions all which make the location of these units more attractive than they would be in reality. We have not had the time, nor do we have the town planning knowledge to examine all aspects of these applications but since there are some simple basic details incorrect, we believe the rest of the submission needs questioning and examining by someone with the necessary town planning knowledge – yourself, perhaps?

I M Staniforth

Eastwood 3875

The Town Planner

East Gippsland Shire

27/04/2020

Dear Sir

Re : Planning permit Applications Nos. 91,92,93,94,95/2020/P

I am concerned about the timing of this planning application and wonder if it satisfies the planning laws in that, due to restrictions of movement imposed by the State Government: -

- 1. The proposals have not been visible to all those affected as passage along that street has been severely diminished due to travel restrictions.
- 2. There has been no social interaction during the time that the proposals have been advertised thus an awareness of the proposals has not be communicated by word of mouth to affected parties.
- 3. The community have been denied the opportunity to meet and discuss the proposals as was possible in the past with proposals, three times rejected by VCAT, relating to 3 applications to build 2 dwellings on each of three blocks in the nearby Backwater.

Surely the planning laws require people to have the opportunity to be informed and due to the Corona Virus this has not happened.

Additionally, please note that in our objections we have pointed out some glaring errors in the submissions all which make the location of these units more attractive than they would be in reality. I have not had the time, nor do I have the town planning knowledge to examine all aspects of these applications to determine if there are further inaccuracies, but since there are some simple basic details incorrect, I believe the rest of the submission needs questioning and examining by someone with the necessary town planning knowledge – yourself, perhaps?

Yours faithfully

I M Staniforth

essc

2 6 APR 2920 INFORMATION MANAGEMENT

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details: 20 APR 2020 Name: eter 2 (ยพไฟ INFORMATION MANAGEMENT Postal address: Postcode zastwoo Va Phone number: Home: Mobile: /ork: Email address: -> Fax: Permit Details: D Planning permit number: 9 202 What has been proposed? UY What is the address to be used or developed? 0 Who has applied for the permit? $\mathbb C$ 5 GNNTY ISI 00 **Objection Details:** What are the reasons for your objection γΛđ 0 D QU) Ń na 0Y C C CCY 050 \cap 0 e; Ces S

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How would you be affected by the granting of this permit? Multiduelling sites will cause realestate
prices to dup.
Backwater residents will experience greater traffic in Glendon Drive
Single residences would not produce this problem,
·

If you need more space for any part of this form please attach another sheet.

nh q Signature Date: 15/04/2020 Name: νìα

Office Use Only:			
Objection Received by:	Date Received:	!	1
Planning officer responsible:	Date Received:	<u> </u>	1

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Objection to Planning Permit Application

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Your Details:

	EGSU
Name: HEREY WEBSOALE	2 8 APR 200
Postal address:	INFORMATION
FASINOOD	MANAGEMENT Postcode 3875
Phone number: Home: Work:	Mobile:
Email address:	Fax:
Permit Details:	
Planning permit number: 91/92/93/94/95/09	140 + 141 /2020
	, & 16 DUREX WITO NEE PROPOSED ON
& LOTS ON CLENDON PRIVE ENSTWO	Ø
What is the address to be used or developed? 4, 9	12,14,16,5,13,17 CLENDEN DRIVE
BASIW000	
Who has applied for the permit? CLEWEN7- 5	ONE TOWN PLANNERS of BHALF
	e HUMAN SELVICES
Objection Details:	4
What are the reasons for your objection? THE DE	KINENT HAVE APLIED FOR 16 UNITS
ON 8 LOTS. AS THEY HLSO OWN A	NOTHER 4 LOCS IN THE SAME STREET
17 IS ASSUMED THE SAME DEJELD'ALLY	WILL BE PROPOSED ASSULTING N 24
DUPEX INTO N ONE STREET, IF	FERNITO WERE TO ISSUE IT WOULD :
· COMPLETED CHANCE THE NEICHBOUR	
	(AS ANS BEEN SWOORTED IN THE ANY) WOUL
DE HAVE KEES MAALT BUT 16 (CR POTENTIN	
OVERALL ENTINGOD OFVELOPMENT. IN FACT,	
ALLOW DUTEX'S AT ALL. (SEE AT	ACHED)

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THERE IS A DIMUETE LACK OF STEEFISCARE DESIGN WITH ALL UNITS HAVING THE SAME FACADE'S AND BUILT FROM THE SAME MATERIALS THE DEVELOPMENT WILL NORENSE THE LEDEL OF DENSITY FROM THAT CRICINALLY PROPOSED AND 17 IS MY INDERSTANDING THAT HAD THE OUGRALL DEVELOPMENT BEEN THE SUBJECT OF ONE PLANNING APPLICATION, ENJT GIRSLAND STREE WOULD HAVE REQUEED A SOCIAL INPACT ASSESSMENT. THIS WOULD HAVE ALLOWED FOR A TRANSPACENT PROCESS TO CONSIDER BROADER COMMUNITY ISSUES

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How would you be affected by the granting of this permit? WHEN WE PURCHASED AND
BUILT OUR HOME AT 7 BIRCH COURT (THE WALLLATION INCORPECTIV LIST OUR
PEOPERTY AS VALANT) WE WERE WOER THE IMPRESSION THAT THE SUBJECT
LOTS WERE TO BE WED TO DETELD! WOINIGNAL HOMES USING A GROUP SUF BUILD
MOREL. THAT WOULD HAVE GIVEN WE US THE HOME ASTONIAL OUR
POPEZY AT THE BEAK. WHITE THE PROPOSAL THIS COULD DOUBLE.
THE STANDARD AND DENSITY OF DEVELOPMENT IS NOT IN TOTEPING
WITH THE NEIGHBOURHOOD AND MAY NOTE AN IMACT ON THE
HUEADILITY AND VALUE OF OUR PROPERTY.
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If you need more space for any part of this form please attach another sheet.

Signature: Websdule 261 20. Ý Name: Date: rera

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

2 2 APR 2020

				-INFORMATION
Name: JOHN + HELEN 24	FACH			MANAGEMENT
Postal address:		EAS	TWOOD D	VIC
				Postcode 3875
Phone number: Home:	Work:	N/A	Mobile:	
Email address:		2	Fax:	
Permit Details:				14/2020/P 5
Planning permit number: 91/2020/P	- 92/20;	20/P,- 93/	2020/P_	95/2020/P +
What has been proposed? 10 UN(T3 -	- 5×3	BEBROOM	DUPLEX	UNITS ON
5 LOTS				
What is the address to be used or develope	d? LOTS	4,58,1	3+17	GEENDON
DRIVE EASTWOOD				
Who has applied for the permit?CLEA	1ENT-SI	TONE TOP	VN PLA	NNERS ON
BEGHALF OF DIRECTOR	of PUB	suc House	NG	· · · · · · · · · · · · · · · · · · ·

Objection Details:

What are the reasons for your objection?
1. The development is not in Keeping mith the character prope
of the onea given that no streets in Eastwood have more
than 2 multi dwelling sites.
2. The proposed divelopment is not complimentary to to
existing having stock.
3. The original purpose of the land has been changed
from single residences for low income fomilies to
the current proposal

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How would you be affected by the granting of this permit? least 6 al peonle 60 20 2e/1 (Ås HEZEN 1 me el Has Ó an a 0 a

If you need more space for any part of this form please attach another sheet.

Signature: Date: 2/1 412020 LEACH Name: HELEN LEACH TOHN

Office Use Only:			
Objection Received by:	Date Received:	_/	<u> </u>
Planning officer responsible:	Date Received:	<u> </u>	/

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: Ochren Hine		
Postal address:	Sons feild	
Vic	•	Postcode 3575
Phone number: Home: 5 Work:	Mobil	e:
Email address:	Fax:	
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Permit Details:

Planning permit number: 012/2020/P	••••••••••••••••••••••••••••••••••••••
What has been proposed? Develop land for two	divellings
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What is the address to be used or developed?	EGSC
	2 2 MAY 2020
Who has applied for the permit?	MANAGEMENT
Clement Stone Town Flannprs	

Objection Details:

What are the reasons	s for your objection?			
There	is eight			this strept
t to be	e developed	· ifeel	16	house's to be
insed	for DHHS	residents	15	to much for
one	Small area	-	-	

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JUL15

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How would you be affected by the granting of this permit?
The value of my land would decrease
aromaticly and a possibility of an
increase in the crime rate in the area

If you need more space for any part of this form please attach another sheet.

1.6	
Signature:	
Name: Dannen Hine	Date: 191512020

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received://

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details: 27 473 2020 INFORMATION Name: SI// ファレリ マーシャカショー Æ MANAGEMENT Postal address: -7 10 ~ LI 1 Postcode Phone number: Home: Work: Mobile:/ Email address: / Fax: Permit Details: Planning permit number: Application REFERENCE NIIT What has been proposed? Proposed Construction What is the address to be used or developed? CH GNDON RIVE 562289 18 YC. Who has applied for the permit? CLEMENT-STONE TOWN PLANNERS

Objection Details:

What are the reasons for your objection? They Back Page
ITTLE development is NOT complimentary to the existing
housing stock.
2) The original purpose of the land has been changed
From single residences to the current proposal
3) The development is not in keeping with the Character
profile of the area given that no streets in Eastwood
bare more than 2 multi dwelling sites.
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92.2020.P 5 Glendon Redacted Objections

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

low would you be affected by the granting of this permit?
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M1 BAP

If you need more space for any part of this form please attach another sheet.

Signature Date: 26 / Name: 120. Â 1AM

Office Use Only:	₽ <u></u> ₩.₩₩₩₩₩ <u></u>
Objection Received by:	Date Received:/ //
Planning officer responsible:	_ Date Received://

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92.2020.P 5 Glendon Redacted Objections .

<u>i</u>

Attached Sheet Objection and Impact, Permit number P922020P

Reasons for my Objection

- a. The proposed development is not in keeping with the character profile of the area, given that no streets in Eastwood have more than two multi dwelling sites.
- b. The proposed development is not complementary to the existing housing stock.
- c. The original purpose of the land has been changed from single residences for low income families to the current proposal.

How I would be affected

The proposed development will adversely impact on the social composition and on my personal enjoyment of living in Eastwood, for the following reasons.

- a. Glendon drive is a residential street of about two hundred metres in length. The proposed development in this small street will create a type of neighbourhood that historically used to be called "ghetto".
- b. I do not object to the spirit of providing assistance to homeless people or to families in crisis.
 I do, however, object to a plan that the residents of the surrounding properties ought to carry the social burden of providing such assistance. In the interests of fairness, such burden should be spread more equitably across the whole of Bairnsdale, or of East Gippsland.
- c. Even before any building work has commenced, the property values in this area have already dropped by 20%.
- d. This drop in property value is likely to spread to other residential properties within an estimated radius of at least three hundred meters. To date, no compensation has been offered to property owners directly impacted on by this planned development.
- e. I am concerned about security implications of the proposed plan on myself and my immediate neighbourhood. At greatest risk will be aged residents and families with children who live in the surrounding properties on Glendon Drive and on Flinns Road.
- f. No Social Impact Statement, as per *East Gippsland Planning Scheme*, has been distributed to residents who are directly impacted by the proposed planning. Such impact statement needs to be provided as a matter of urgency.
- g. The proposed developments for Glendon Drive are only the tip of the iceberg. The proposed development for the land on 4, 5, 8, 13 and 17 Glendon Drive excludes what is being planned for the land on number 3 Glendon Drive. This is located directly behind my property. Current knowledge has it that there is a plan to build a high-security crisis centre, which has not yet been declared to residents. Withholding information on what is being proposed for the whole of Glendon Drive smacks of lack of transparency.
- h. The proposed planning permit also flies in the face of the Mission Statement of the 2017-2021 Council Plan (Year 2, Revised March 2018). East Gippsland Shire Council endeavours to make East Gippsland "the most liveable region in Australia. A place of natural beauty, enviable lifestyles, and opportunities". The proposed development, if successful, would exclude me and my neighbours from the benefits of this mission statement.

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East Gippsland Shire Council



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

ecsc

		?	3 APR 2929			_
Name: Kellic Johnston		INFO	RMATION			
Postal address: 2 Bairnedale			AGEMENT			
			Postcode	3	3 7	15
Phone number: Home:	Work:	Mobile	: (
Email address:		Fax:				
Permit Details: Planning permit number: 94 202 What has been proposed? <u>Con Struc</u>		3/2020 nits	-92/2 p-91/2	202	>))
What is the address to be used or develope East wood	d? 4,5,8, 13 E 17	Gler	ndon c	lriv	K L	
Who has applied for the permit?	ment-Stone town	plan	1015			

Objection Details:

What are the reasons for your objection? The 10 wits is not in
* keeping with the character profile of the area given that
no streets in Eastwood have more than 2 multi dwellings.
* The proposed development is not complimentary to
the existing housing in the street or oneci.
* The original purpose of this long has been
changed from single residences for low income families
to this current multi have proposal.
* Other people in air one a have had multiduellings rejected

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit? 1 think it will affect
the houses in arranged there will be a lot more
traffic in a small street with on extra 10
dwellings in a small space. Its also not
in keeping with other houses in this orce and
in keeping with other hauses in this orca and will cause a drop in value - due to 10 extra
dwellings in a short area. I believe that
10 is tomany in this small street
and that it will areate aarolausy thougfore
in Glendan drive, through to the Bachwater
as well.

If you need more space for any part of this form please attach another sheet.

Signature:		
Name:	Kellie Johnston	Date: 15/4/20

Office Use Only:			
Objection Received by:	Date Received:	_/	/
Planning officer responsible:	Date Received:	_/	/

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information about Council's Privacy Policy by contacting our information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au 92.2020.P 5 Glendon Redacted Objections JUL15

LIS WARD SUCCI (CU DUA 1010) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



ובובטווטוב. (עטן טונט טעע Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:		fecsc
Name: CHERY + Rhim	e Klapp	. 2.7 1.27 2020
Postal address:		INFORMATION
Epstu	bood	MANAGLOVEN Postcode 3879
Phone number: Home:	Work:	Mobile:
Email address:		, Fax:
Permit Details:		
Planning permit number: Applica	TION REFERENCE	NUMBER 92/2020/P
		s of two New Dwelling
What is the address to be used or dev	veloped? 5 GrLGNI	DON DRIVE
LOT 218 PS 54229	9	······································
Who has applied for the permit?	EMENT-STON	IE TOWN PLANNERS

Objection Details:

What are the reasons for your objection?
ITTLE development is NOT complimentary to the existing
housing stock.
2) The original purpose of the land has been changed
From single residences to the current proposal
3) The development is not in keeping with the Character
profile of the area given that no streets in Eastwood
pare more than 2 multi dwelling sites.

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
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4
· · · · · · · · · · · · · · · · · · ·

If you need more space for any part of this form please attach another sheet.

Signature: Date: しつの Name:

Office Use Only:			
Objection Received by:	Date Received:	/	
Planning officer responsible:	Date Received:		_/

Privacy Statement The East Gippsiand Shire Council asks for details about you to collect rates, approve permits and ficences, and run a range of community services. The information you The East Gippsiand Shire Council asks for details about you to collect rates, approve permits and ficences, and run a range of community services. The information you give to us on this form is used only for the reasons set out in the form and is not given to anybody else. Sometimes we may supply details about you to someone else, but

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92.2020.P 5 Glendon Redacted Objections

Disruption

Glendon drive and the adjoining "The Backwater" street are a community of medium to high socio economic professionals from Business, Teaching, Nursing and the Building professions.

Inhabitants have created a respectable and high quality neighbourhood culture. This is a highly desirable address.

The disruption to this idyllic neighbourhood street vista and street scene of injecting HIGHLY CONCENTRATED crisis housing structures will be profound and ascetic values will plummet.

This huge development of at least 11 domicile structures and buildings is almost beyond comprehension.

Security. By day and particularly night apprehension of personal safety is clear.

We use the street and nearby walking tracks regularly and express concern that this free access will be compromised and rendered less safe.

The free movement of local's vehicles because of the high density of inmates in this concentrated street position will be unfair and was unanticipated.

Equity issue In Glendon Drive there are currently 10 houses of 23 Adults excluding children.

The adjoining "The Backwater" street some 200 metres from the proposed crisis centre address is a premier residential Baimsdale address.

The proposed crisis buildings of 10 units and a crisis centre at the least will drastically alter the mix of middle to upper class professional residents by at 100% with the lower socio economic inmates coming in.

Therefore as a basic equity issue, why is this proposal so concentrated in one street and not spread over the whole Bairnsdale community?

High security walls and constant security personnel will render this premier address

as institutional, imposing and creating considerable apprehension and have a huge impact on health and wellbeing of residents in the area.

Online Form Submitted

Date Submitted: 16 Apr 2020 04:47 PM

Name	Justin Kellow
Email address	
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	91/2020/P
What has been proposed?	Building of 10 Units
What is the address to be used or developed?	4,5,8,13 & 17 Glendon Drive Eastwood
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	The proposed development is not complimentary to the current area and is not keeping with the profile of the area in that no streets have more than 2 multi dwelling sites.
How would you be affected by the granting of this permit?	This project would have social and financial impacts on the direct neighborhood and for the wider Eastwood area with a precedent set for other future multi dwelling sites to proceed.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

2 2 APR 2920

Name: JOHN + HELEN LEACH	MANAGEMENT
Postal address: 11 KOORALBYN CONRT EAST	VOOD VIC
	Postcode 3875
Phone number: Home: $5/530734$ Work: N/A	Mobile: 0409035846
Email address: jhleach a bigpond. com	Fax:
Permit Details:	94/2020/P 5
Planning permit number: $\frac{91}{2020}P - \frac{92}{2020}P - \frac{93}{20}20$	20/P_95/2020/P +
What has been proposed? 10 UN(TS - 5X 3 BEBROOM Du	PLEX UNITS ON
5 4075	
What is the address to be used or developed? LOTS 4, 5, 8, 13	+17 GEENDON
DRIVE EASTWOOD	
Who has applied for the permit? CLEMENT - STONE TOWN	PLANNERS ON
BEHALF OF DIRECTOR OF PUBLIC HOUSIN	6

Objection Details:

What are the reasons for your objection?
1. The development is not in Keeping musi the character profil
of the area given that no streets in Eastwood have more
than 2 multi dwelling sites.
2. The proposed divelopment is not complimentary to to
existing having stock.
3. The original purpose of the land has been changed
from single residences for low income for elles to
the current proposal

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How would you be affected by the granting of this permit? 6 at least peonle ne 60 ee ser in as. HEREN Has 1 me el robbed ago a

If you need more space for any part of this form please attach another sheet.

Signature: Hend Date: 2// 412020 Name: HELEN LEACH JOHN LEACH

Office Use Only:	
Objection Received by:	Date Received:/ //
Planning officer responsible:	Date Received://

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From: Carol McAuliffe [] Sent: Wednesday, 22 April 2020 7:33:26 AM To: Feedback Address For Web Page Subject: Planning permit objection

Hi

I wish to lodge the attached planning permit

Kind regards

Carol McAuliffe

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: Canol McAulife		-	······································	
Postal address: 1 Koovallap	Court			
Eastwood			Postcode	3875
Phone number: Home:	Work:	Mobile:	04005	09062
Email address: ancaulife 99 60	amail com	Fax:		
Permit Details:	J		95/2	020/2
Planning permit number: २०/२०२०/०,०	11/2020/P, 92/2020/P, 93	12020		
What has been proposed? 10 Units	- 5×3 Bedroom	duple	10 Units	
What is the address to be used or developed	1? 4, 5, 8, 138 17	Glei	ndon D	
Who has applied for the permit? <u>Cleme</u> <u>on behave of Public H</u> Objection Details:	ent -Store town p loursing	lanne	zS ,	
What are the reasons for your objection? <u>bright al purpose of d</u> <u>from single resident</u> <u>b The current propo</u>	es for low inc			d

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If you need more space for any part of this form please attach another sheet.

Signature:	fran,		
Name: Carol Mi	Autofle	Date: 17/4/20	_

Office Use Only:	
Objection Received by:	Date Received:/ //
Planning officer responsible:	Date Received://

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:		EGSC
		2 8 APR 2020
Name: ALAN & FAYE	MCORMACK	INFORMATION
Postal address:		MANAGEMENT
47 THE BACK	WATER	Postcode 3 8 7 5
Phone number: Home:	Work:	Mobile: 0428941202
Email address: AJ. MComman	8-BIG Pord. com	Fax:
Permit Details:		
Planning permit number:		
What has been proposed? 10 - 5 x	3 DUPLEX UNITS	······································
What is the address to be used or developed	1? 5 LOTS 4	· 5 8 13 17
GLEAD		ASTWOOD
Who has applied for the permit?	EMENT - STONE	TOWN PLANNERS
	DIRECTUR OF PUL	
ON BEHALF OF	URECTOR OF TOT	DLIC HONSINE
Objection Details:		
What are the reasons for your objection?	· · · ·	
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COMPLIMENTARY TO	No THE EXISTIN	
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How would	you be affe	cted by the g	ranting of th	nis permit?	<u>.</u>				
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lf you need n	noralspace	for any part of	of this form	please atta	ich anoth	er sheet.			
Signature:	- Here	ATTA			•		ı		
Name:		ALAN	Milo	ampul	k		Date:;	1612	7 / 2020

Office Use Only:	 		
Objection Received by:	 _Date Received:	<u> </u>	/
Planning officer responsible:	 _ Date Received:	1	<u> </u>

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details: 2 0 APR 7020 Name: CHRISTOPHER NASH INFORMATION MANAGEMENT Postal address: MISTANA Postcode 12400 Work: Phone number: Home Mobile: 0440 372 Email address: Doch Fax: () 10M Permit Details: Planning permit number: INITS What has been proposed? 10 Reom IN GLENDON ON LOTS Dr What is the address to be used or developed? LOTS 5,8, 13 \$17 - LENDON EASTWOOD Who has applied for the permit? CLEMENT-STONE TONIN HANNERS HOUSING OF PUBLIC BEHALF ØF. THE DRECTOR ()N

Objection Details:

What are the reasons for your objection?
I . THE DEVELOPMENT IS NOT IN KEEPING WITH THE CHARACTER
PROFILE OF THE AREA - THERE ARE NO STREETS IN EASTWOOD
WITH MORE THAN 2 MULTI DWELLING STES
2. THE PROPOSED DEVELOPMENT IS NOT COMPLIMENTARY TO
the Existing Housing
3. THE CRIGINAL PLADSE OF THE LAND HAS BOON CHANGED
FROM SINGLE RESIDENCES FOR LOW INCOME FAMILIES TO
THE CURRENT PROPOSAL.

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How wo	uld you be affected by the granting of this permit?
*	ADDITIONAL TRAFIC IN AREA
	VEHICUS PARKO ON NATURE STRIP AS ROAD ARE NOTROW
	CAUSING CONGESTION AND HIGHER LOVEL OF DANSER
4	DE-VAWATION OF BUSTING PROPERTIES DUE
	To commercian Use of PROPERTIES ON THE 5 bits.
	IN GUENDON TWE. EASTWOOD.
*	24 HOUR ACTIVITY IN AREA PROMPTED BY THE
	PROPOSED USE OF THE PROPERTIES.

If you need more space for any part of this form please attach another sheet.

Signature: 020 Date: Name: NA

Office Use Only:				
Objection Received by:	Date Received:	_/	_/	
Planning officer responsible:	Date Received:	_/	_/	

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when information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au

From: Trudi Stubbs [TrudiS@egipps.vic.gov.au] on behalf of Planning Unit Administration
Sent: Monday, 11 May 2020 7:45:15 AM
To: Planning Unit Administration
Subject: 92/2020/P Objection to Planning Permit Submitted

■ Trudi Stubbs ■ Team Leader Land Use Administration

Please consider the environment before printing this e-mail.

From: SeamlessCMS@seamless.com.au <SeamlessCMS@seamless.com.au>
Sent: Monday, 27 April 2020 7:03 PM
To: Planning Department <Planning@egipps.vic.gov.au>
Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 27 Apr 2020 07:02 PM

Name	Jessie Ng
Email address	jessieegan@yahoo.com
Postal address	4 The Backwater
Home	
Work	
Mobile	0421474057
Fax	
Planning permit number	92/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	5 Glendon Drive Eastwood Lot 218 PS542289
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is not beneficial to the neighbouring residents or the tenants themselves 4> Current cluster of public housing on Gree Kulluk PI is frequently left unkempt 5> Children living in public housing on Gree Kulluk PI are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and increases social impact across the neighbourhood.

How would
you be1> Clustering of emergency housing in one street is likely to affect the safety of the
neighbourhood. 2> There has been multiple episodes of vandalism and theft likely
affected by the
granting of thisresulting from public housing being clustered on Gree Kulluk Pl and concerns about
crime will rise if the permit is granted, potentially placing the community on surrounding
streets at higher risk.

Additional No file attached

Online Form Submitted

Date Submitted: 27 Apr 2020 06:58 PM			
Name	Poh Ng		
Email address	pohster@hotmail.com		
Postal address	4 The Backwater		
Home			
Work			
Mobile	0413853384		
Fax			
Planning permit number	92/2020/P		
What has been proposed?	Duplex		
What is the address to be used or developed?	5 Glendon Drive Eastwood Lot 218 PS542289		
Who has applied for the permit?	Clement-Stone Town Planners		
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is not beneficial to the neighbouring residents or the tenants themselves 4> Current cluster of public housing on Gree Kulluk Pl is frequently left unkempt 5> Children living in public housing on Gree Kulluk Pl are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and increases social impact across the neighbourhood.		
How would you be affected by the granting of this permit? Additional information	 1> Clustering of emergency housing in one street is likely to affect the safety of the neighbourhood. 2> There has been multiple episodes of vandalism and theft likely resulting from public housing being clustered on Gree Kulluk Pl and concerns about crime will rise if the permit is granted, potentially placing the community on surrounding streets at higher risk. No file attached 		

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Ruth Rye			
Postal address: 3 Kooralbyn	Court EAST	Joon	
/	EGSC.		Postcode 3875
Phone number: Home:	Work:	Mobile:	0412561917
Email address:	2 3 APR 2020	Fax:	, , ,
Permit Details:	INFORMATION MANACE MEET		
Planning permit number: 90/2020/P, 91/20 What has been proposed?/O wr/f	20/P, 92/2020/P,	93/2020/P,	9+/2020/1 95/2020/
What has been proposed?/O wnit	5 - 5x30	adroom' c	liple + units'
on 5 lots in Clandor	<u> </u>		
What is the address to be used or developed	? Lots 4,5 8	13+17	Colendon
Drive Eastwood 38	75	/	
Who has applied for the permit? Che m	ent-Stone	Town Pla	inners for
Public Housing			
	, 		J

Objection Details:

What are the reasons for your objection? development 15 JOT Keeping . that no streets the charac given rotile of cirea cn. ma st 10 mol 11 monta ζ n of 6 0 has the land Deen SINA one

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-How would you be affected by the granting of this permit?
As Trefired to a quiet + secure area. As
I had emergeoncy short term recidence close by
in South Eastern Suburb in Melbourne. I had
a few incidents near myhome with residents
of these housing situations and do not want
to live through incidents again o TVOF to
Say that the value of my property would
decrease with this type of development going
ahead in this estate

If you need more space for any part of this form please attach another sheet.

Signature:	RMRp	
Name:	Ruth Rie	Date: 2014 12020
·	<u> </u>	

Office Use Only:			
Objection Received by:	Date Received:	<u> </u>	_/
Planning officer responsible:	Date Received:	_/	

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: Carmel Quinton	
Postal address: 15 Kooralbyn Crt Eastwood	
	Postcode 3875
Phone number: Home: 0427367794 Work:	Mobile: 0427361794
Email address: quinton.cj.ogmail - com	Fax:
Permit Details:	
Planning permit number: 91/2020/P - 92/2020/P - 93/2020/P -	95 /2020/P-94/2020/P
What has been proposed? To build to units - 5x3	bedroom
duplex units on 5 lots.	;
What is the address to be used or developed? <u>CLENDON Drive</u> ,	Eastwood.
No's - 4, 5, 8, 13 + 17	
,,,,,,,	
Who has applied for the permit? <u>Clement-Stone Town</u>	EGSC
Who has applied for the permit? <u>Clement - Stone Town</u>	2 2 APR 2020
Who has applied for the permit? <u>Clement - Stone Town</u> Objection Details:	2 2 APR 2020
	2 2 APR 2020
Objection Details: What are the reasons for your objection?	2 2 APR 2020 INFORMATION MANAGEMENT
Objection Details: What are the reasons for your objection? 	2 2 APR 2020 INFORMATION MANAGEMENT
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Wa</u> for the proposed site.	22 APR 2020 INFORMATION MANAGEMENT y Suitable
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Wa</u> <u>For the proposed site</u> . <u>The proposed development would be</u>	22 APR 2020 INFORMATION MANAGEMENT Y Suitable unsightly and
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Wa</u> for the proposed site.	22 APR 2020 INFORMATION MANAGEMENT Y Suitable unsightly and
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Wa</u> <u>For the proposed site</u> . <u>The proposed development would be</u>	22 APR 2020 INFORMATION MANAGEMENT Y Suitable unsightly and
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Wa</u> <u>For the proposed site</u> . <u>The proposed development would be</u>	22 APR 2020 INFORMATION MANAGEMENT Y Suitable unsightly and
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Wa</u> <u>For the proposed site</u> . <u>The proposed development would be</u>	22 APR 2020 INFORMATION MANAGEMENT Y Suitable unsightly and

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How would you be affected by the granting of this permit?
My husband al furchased out our home in
Eastwood & years ago due to the appealing look,
paths + close to shops. But mostly it felt safe
+ Secure to us.
1 am now a widow in my To's and the
proposed development would eliminate that
secure/ safe feeling in a huge way
1 strongly object to this proposal.

If you need more space for any part of this form please attach another sheet.

Signature:	6 Quintor	
Name:	Carmel Quinton	Date: 20/4/2020

Office Use Only:	•		
Objection Received by:		Date Received:/	/
Planning officer responsible:		_ Date Received:/	/

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

4

Name: SUSAN QUIGLEY.	
Postal address: 22 KOORALTSYN CRT	
EASTWOOD	Postcode 3 8 7 5
Phone number: Home: Work:	Mobile:0418570908
Email address: sfg 2306 @ gmail. com	Fax:
Permit Details:	х.
Planning permit number: 93 2020 P	
What has been proposed? _ 10 units - 5x3 ber	l duples writs on
5 lots in Glendon Drive East	bow
What is the address to be used or developed?	
4, 5, 8, 13 = 17 Glendon Due,	Eastwood.
Who has applied for the permit? When has applied for the permit?	our Phoners.
	EGSC
Objection Details:	7 7 APR 2920
What are the reasons for your objection?	
object to this development	because it MANA THENT
Kets a precedent for multic	
a block of land which has	
domescalais of conters which	usill be detrimedal
to Silve and a los	This is a
domographic of nonters which to the area as use lose quiet area at the nome. The number of cars associated	at NI Caland
The area of the nome	Wat tor 10/19
The number of cars associated	with this development over with

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92.2020.P 5 Glendon Redacted Objections

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-3



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
It will lower prices of hauses inthis area
It will lower prices of houses inthis area It is well documented that rentals encourage more itinerant persons.
I would lead made haing a single woman
- I would feel onselfe being a single woman on my own I actually back on to the reserve
_ and can't imagine feeting safe during the night.

If you need more space for any part of this form please attach another sheet.

Signature:	Alanicley	
Name:	SULAN QUIGUEY	Date: 1614120
·		· · · · · ·

Office Use Only:			
Objection Received by:	Date Received:	_/	1
Planning officer responsible:	Date Received:		

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From: SeamlessCMS@seamless.com.au Sent: Thursday, 16 April 2020 5:26:16 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 05:26 PM		
Name	Jackson Rankin	
Email address	Jacko.rankin@hotmail.com	
Postal address	11 Mistana Court, Eastwood	
Home		
Work		
Mobile	0439449938	
Fax		
Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood	
What has been proposed?	5 X 3 Bedroom Duplex Units on 5 Lots	
What is the address to be used or developed?	Stated Above	
Who has applied for the permit?		
What are the reasons for your <u>objection</u> ?	Having these houses so close to us will directly impact property prices in neighbouring areas, including ours. the proposed planning does not keep with the character profile of the area and its not complimenting to the existing housing in the area. Such a dense population of low income housing is a horrible idea by any means. The approval of such will effect us financially, as well as future safety concerns for families and neighbours.	
•	As stated previously, we will be financially affected with our property value decreasing. i have further concerns for our safety with these houses so close, and with direct access to our to our street through the reserve. I also have great concerns for our belongings we have worked extremely hard for. Unless you have been living with you head in the sand you know these points are valid. How would you like this proposal to be so close to you and your families home? Please Note: I know there is a need for housing like this, but why in gods name would you put more than 1 in a street like that?	
Additional information	No file attached	

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

. . . î

EGSC

Name: DENISE - ARTHUR ROB.	FRIC	27 APR 2920
Postal address: R.O. Box 2023 B		INFORMATION MANAXIMENT
(4 MISTANA COURT E	ASTWOOD VICTORIA	Postcode 3875
Phone number: Home: פיצו א	Work:	Mobile: 0408 2029 4 4
Email address: d. aroberts @ out	LOOK · COM	Fax:
Permit Details:		
Planning permit number:		
What has been proposed? <u>Build 10 UN</u>	ITS (DUPLEX 5 X 3 BED.	ROOM UNITS ON FIVE LOFS
IN GLENDON DRIVE EASTWOOD	D. STREET NUMBERS OF	= 40TS 4 5 8, 13, 17.
What is the address to be used or develop	ed? <u>LOTS 4, 5</u> 8, 13	17 GLENDON DRIVE
EASTWOOD VICTORIA 3875		
<u></u>		
Who has applied for the permit? CLEM	ENT-STONE TOWN PLA	NHERS ON BEHALF DF
THE DIRECTOR OF PUBLIC HOU	ISING	
Objection Details:		
What are the reasons for your objection?	WE ARE 80 and 8	4 years of age. He

What are the reasons for your objection? When ARE 80 and 84 years of age. He
mound to tastwood from Nicholson about 10 years ago as it was
line to down-size'. after spending thirty odd years out of lown we
were ana jeurs to find a home which suited our preads. He have
been so lucky - the area is quick and the locals look out for each
other. He lodge this objection because we believe the newcomen
will meate social problems with morse and the inevitable troubles
that seen to always occur when introusing the numbers of residents
over and above the priginal plan.

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How would you be affected by the granting of this permit? 2/2 both trank significant
health problems. Anthur has macular degeneration and al ready
has lost sight completely in one eye. His poor healty is aggrainated
by heart to no bloms a nearly dragnosis of drabeles. Cy own
health is not good. And to severe phen matorial anthritis I rely
on the use of a malber and at ling is a whilehair. In secent years
I was diagnosed with a sever heart problem.
The porcosing is to help you under land the need we
trave to walf outdoors. After having many years of good healthy
we have become uncomfident and insecuse sutdoons. He fear
having so many people moving into our neighbourhoods and are
any io un for our safety.

Signature: A. H. Roberts A.L. Roberts (per forour A. 16. Roberts) Name: A. M. Roberts + Derive Roberts Date: 2314 12020

This objection relates to each block is Lots 4, 5,8, 13 a 14.

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

۲ۍ

Name: Barbara Rogalla			
Postal address: 87 FLINNS RD			
EASTWOOD		Postcode 3 8 7 5	
Phone number: Home:	Work:	Mobile: 0419 128 300	
Email address: Motie @ ro	galla. mobi	Fax:	
Permit Details:			
Planning permit number: $92/2 = 2020/P$			
What has been proposed? DEVELOPRENT OF THE LAND FOR TWO DWELLINGS			
What is the address to be used or developed? <u>SELENDON DRIVE</u> EASTWOOD LOT 218 PS 542289			
Who has applied for the permit? _	CLEMENT-STO	NE TOWN PLANNER	

Objection Details:

What are the reasons for your objection?	
IEK E	9
Staff	
IN K	
<u>ــــــــــــــــــــــــــــــــــــ</u>	
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How would you be affected by the granting of thi	s permit?
THE THE	
R St	
	, X

If you need more space for any part of this form please attach another sheet.

Signature:	B. Rogelle	
Name:		Date: 25104,2020

Office Use Only:				
Objection Received by:	Date Received:	'I	_/	
Planning officer responsible:	Date Received:	/	_/	

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Reasons for my Objection

. 12 ¹² 12

- a. The proposed development is not in keeping with the character profile of the area, given that no streets in Eastwood have more than two multi dwelling sites.
- b. The proposed development is not complementary to the existing housing stock.
- c. The original purpose of the land has been changed from single residences for low income families to the current proposal.

How i would be affected

The proposed development will adversely impact on the social composition and on my personal enjoyment of living in Eastwood, for the following reasons.

- a. Glendon drive is a residential street of about two hundred metres in length. The proposed development in this small street will create a type of neighbourhood that historically used to be called "ghetto".
- b. I do not object to the spirit of providing assistance to homeless people or to families in crisis.
 I do, however, object to a plan that the residents of the surrounding properties ought to carry the social burden of providing such assistance. In the interests of fairness, such burden should be spread more equitably across the whole of Bairnsdale, or of East Gippsland.
- c. Even before any building work has commenced, the property values in this area have already dropped by 20%.
- d. This drop in property value is likely to spread to other residential properties within an estimated radius of at least three hundred meters. To date, no compensation has been offered to property owners directly impacted on by this planned development.
- e. I am concerned about security implications of the proposed plan on myself and my immediate neighbourhood. At greatest risk will be aged residents and families with children who live in the surrounding properties on Glendon Drive and on Flinns Road.
- f. No Social Impact Statement, as per *East Gippsland Planning Scheme*, has been distributed to residents who are directly impacted by the proposed planning. Such impact statement needs to be provided as a matter of urgency.
- g. The proposed developments for Glendon Drive are only the tip of the iceberg. The proposed development for the land on 4, 5, 8, 13 and 17 Glendon Drive excludes what is being planned for the land on number 3 Glendon Drive. This is located directly behind my property. Current knowledge has it that there is a plan to build a high-security crisis centre, which has not yet been declared to residents. Withholding information on what is being proposed for the whole of Glendon Drive smacks of lack of transparency.
- h. The proposed planning permit also flies in the face of the Mission Statement of the 2017-2021 Council Plan (Year 2, Revised March 2018). East Gippsland Shire Council endeavours to make East Gippsland "the most liveable region in Australia. A place of natural beauty, enviable lifestyles, and opportunities". The proposed development, if successful, would exclude me and my neighbours from the benefits of this mission statement.

From: wayne stagg [staggwayne@gmail.com] Sent: Sunday, 26 April 2020 3:04:19 PM To: Feedback Address For Web Page Subject: Glendon Drive Eastwood planning permit OBJECTION

Pleas find attached my objections to this development Wayne Stagg 46 The Backwater Eastwood.3875. M. 0408 366 061 W. <u>helpdriveschool@gmail.com</u>





Virus-free. www.avg.com

Objections. Planning Permit (92/2020/P).

Glendon Drive Eastwood.

(a) This proposed development by the DEPT. of HEALTH and HUMAN SERVICES is not in keeping with the character and existing streetscape, of this short 200 meter street, which is used by residents who live in THE BACKWATER and their families and friends as well as those wanting to get to the Backwater walking track or river.

Glendon Drive currently has eight (8) existing single dwellings :- Nos.!,2, 9, 10,11, 18, 19,20.

DHHS has the remaining 12 undeveloped blocks :- Nos.3, 4, 5, 6, 7, 8,12, 13, 14, 15, 16, & 17. Therefore 60% of Glendon Drive (200 meters long) could be occupied by 24 dwellings (Duplexes) which the concerned residents and neighbours feel is definitely not in character with the overall Eastwood neighbourhood, except for the Eastwood Retirement Village, which of course was purpose built with all required facilities included. If Glendon Drive is eventually developed by DHHS in the manner mentioned (12 Duplexes = 24 dwellings in a street of 200 meters) would council require proportional facilities to a small Retirement Village ?

(b) Concerningly, The Dept. of Health and Human Services (DHHS) has applied for four (4) other identical duplex dwellings simultaeously:- (91/2020/P), (93/2020/P), (94/2020/P), (95/2020/P), which seem to have been somewhat strategically placed amongst the remainder of the DHHS undeveloped blocks so as to not have any immediate side neighbours.

(c) Also concerningly an earlier letter from the DHHS dated 30/10/2019 advising of a "family housing" development occupying three (3) adjoining blocks 12, 14 &16, seems to have been "shelved" while the present Permit applications are in progress. Local concerned residents who expressed written concerns to DHHS have to this date have had no replies.

(d) In view of the current COVID-19 and subsequent "social restrictions" and the concerning time frame in which this development was advised to the immediate neighbours (Thursday before Easter,9/4/20) we have little confidence in the "transparency" of how DHHS has allowed concerned residents in the area the opportunity to gather and discuss and exchange information in any sort of forum that would allow us to feel confident we were being given a "fair and Just" amount of time to present our concerns properly. For example was the original planning of "Eastwood" designed for clusters of Duplex dwellings as a prerequisite of council planners? Were there "covenants" on any areas that disallowed clusters of Duplexes in certain areas ie. The south side of "The Backwater" where three attempts to subdivide, have recently ended up in VCAT, at much expense to all concerned.

(e) Several concerned residents are not aware of the East Gippsland Planning schemes that relate to "Proposals for new developments" and social impact guidelines and therefore don't know if they can validly object on these grounds.

(e) If this development were to be granted permission to proceed I feel the neighbouring property values would suffer depreciation and the "ripple effect" would be likewise felt into adjoining streets in

the vicinity.

(e) Increased vehicle traffic and children's outdoor activity in the street, particularly if not parentally supervised could increase risk of injury.

Wayne Stagg

,Eastwood.3875.

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: JAN & JENNI STAN	IFORTH					
Postal address: 39 THE BACKWA	TER					
EASTWOOD			Postcode	38	3 7	5
Phone number: Home: 5152 2509	Work:	Mobile:	0435 34	48	47	
Email address: ijstans39@iprimus.com.au Fax:						

Permit Details:

Planning permit number: Nog 91,92,93,94,95/2020/P
What has been proposed? 5x3 bedroom duplex units on 5 lots in
-Glendon Drive, Eastwood.
What is the address to be used or developed? Nos 4,5,8,3 217 Glendon Drive
Eastwood 3875
Who has applied for the permit? <u>Clement-Stone Town Planners</u>

Objection Details:

What are the reasons for	your objection?	
	See attached	sheets
and the second		<u> </u>
. <u></u>		Z 8 APR 2520
<u></u>		INFORMATION MANAGEMENT
×		

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How would you be affected by the granting of this permit?See attached sheet	
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If you need more space for any part of this form please attach another sheet.

Signature:	KNANAAZI	AM16-	
Name:	Jennifer Staniforth	IAN STANIFORTH	Date: 27 104 12020

Office Use Only:	
Objection Received by:	Date Received: / /
Planning officer responsible:	Date Received://

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We believe perhaps one Duplex could be absorbed within the surrounding housing 'picture'. Possibly two, particularly if they are on opposite sides of the road and opposite ends of Glendon Drive, but 5 duplexes will become a visual feature/eyesore and detract from the amenity of the area and increases the housing density beyond residents reasonable expectations.

As stated in the reason for objection the proposed development of 5 duplex blocks will affect the amenity of the area in terms of:

- a) Traffic
- b) Noise
- c) Appearance
- d) Reasonable expectations of development occurring in the immediate area.
- e) Restricted passage for motor vehicles

I M Staniforth.

27/04/2020

J A Staniforth

27/04/2020

Possible Letter to the East Gippsland Town Planner

I am concerned about the timing of this planning application and wonder if it satisfies the planning laws in that, due to restrictions of movement imposed by the State Government: -

- 1. The proposals have not been visible to all those affected as passage along that street has been severely diminished due to travel restrictions.
- 2. There has been no social interaction during the time that the proposals have been advertised thus an awareness of the proposals has not be communicated by word of mouth to affected parties.
- 3. The community have been denied the opportunity to meet and discuss the proposals as was possible in the past with proposals, three times rejected by VCAT, relating to 3 applications to build 2 dwellings on each of three blocks in the nearby Backwater.

Surely the planning laws require people to have the opportunity to be informed and due to the Conavirus this has not happened.

Finally, please note that in our objections we have pointed out some glaring errors in the submissions all which make the location of these units more attractive than they would be in reality. We have not had the time, nor do we have the town planning knowledge to examine all aspects of these applications but since there are some simple basic details incorrect, we believe the rest of the submission needs questioning and examining by someone with the necessary town planning knowledge – yourself, perhaps?

I M Staniforth 39 The backwater Eastwood 3875

The Town Planner

East Gippsland Shire

27/04/2020

Dear Sir

Re : Planning permit Applications Nos. 91,92,93,94,95/2020/P

I am concerned about the timing of this planning application and wonder if it satisfies the planning laws in that, due to restrictions of movement imposed by the State Government: -

- 1. The proposals have not been visible to all those affected as passage along that street has been severely diminished due to travel restrictions.
- 2. There has been no social interaction during the time that the proposals have been advertised thus an awareness of the proposals has not be communicated by word of mouth to affected parties.
- 3. The community have been denied the opportunity to meet and discuss the proposals as was possible in the past with proposals, three times rejected by VCAT, relating to 3 applications to build 2 dwellings on each of three blocks in the nearby Backwater.

Surely the planning laws require people to have the opportunity to be informed and due to the Corona Virus this has not happened.

Additionally, please note that in our objections we have pointed out some glaring errors in the submissions all which make the location of these units more attractive than they would be in reality. I have not had the time, nor do I have the town planning knowledge to examine all aspects of these applications to determine if there are further inaccuracies, but since there are some simple basic details incorrect, I believe the rest of the submission needs questioning and examining by someone with the necessary town planning knowledge – yourself, perhaps?

Yours faithfully

I M Staniforth

essc

Z 6 APR 2920 INFORMATION MANAGEMENT

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details: 20 APR 2020 Name: 24 Xew W INFORMATION MANAGEMENT Postal address: act in Postcode O Mobile: DLAG Work: Phone number: Home: \mathcal{A}^{0} Fax: Email address: + mail. COM Yew Permit Details: 2020 2020 Planning permit number: Q 12020 What has been proposed? <u>0</u>Y Unit What is the address to be used or developed? 0 ride Who has applied for the permit? \mathbb{C}^{2} anners m m ousir 50 **Objection Details:** What are the reasons for your objection νō nia 0 D QU 0Xi na C 20 セヒイ oSa \cap 0 10055 e;

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X

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How would you be affected by the granting of this permit?
prices to drop.
Backwater residents will experience
greater traffic in Glendon Drive Single residences would not produce
this problem,

If you need more space for any part of this form please attach another sheet.

Signature Date: 15/04/2020 Name: NCUSY

Office Use Only:			
Objection Received by:	Date Received:	/	_/
Planning officer responsible:	_ Date Received:		_/

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

			EGSC		
Name: HER	X WEB	50ALE	2 8 APR 2020		
Postal address:	BIRCH	COUCT		M	
T	EASTWOOD		MANAGEMEN		Postcode 3875
Phone number: Hor	ne:	Work:		Mobile:	0409 145 838
Email address: jk	websdake	amail.com.ac	<u>ا</u>	Fax:	
Permit Details:					
Planning permit nur	nber: 91/92/93	194/95/09/140	+ 141 /2020		
What has been prop		HIS STAGE, 8	16 DUPLEX WATED	NE	PROPOSED ON
& NOTS ON	GHENDON PRI	te brostwood.			
What is the address	to be used or dev	eloped? <u>4, 8, 1</u>	2,14,16,5,139	17	CLENKON PRIVE
EASTWOOD		· ·	· / · ·		
· ·					
Who has applied for	r the permit?	LEMENT- 510N	3 TOWN PIN	NER) on DEHALF
OF THE D	enfetnett c	FACTURE	Human Sel	HEES	<u>></u>
Objection Details:					
What are the reason	ns for vour objectio	n? THE DEPARTI	nento there API	(E)	FOR 16 WITS
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		DEVELOPMENT WI			sultide N 24
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ALLOW DUILE	X'S AT ALL.	(SE ATTACH	ED)		

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THERE IS A DIMUETE LACK OF STEEFISCARE DESIGN WITH ALL UNITS HAVING THE SAME PACADE'S AND BUILT FROM THE SAME MATERIALS THE DEVELOPMENT WILL NORENSE THE WELL OF DENSITY FROM THAT CRICINALY PROPOSED AND 17 IS MY INDERSTANDING THAT HAD THE OUGRALL DEVELOPMENT BEEN THE SUBJECT OF ONE PLANWING APPLICATION, ENJT. GIRSLAND STREE WOULD HAVE REQUEED A SOCIAL INPACT ASSESSMENT. THIS WOULD HAVE ALLOWED FOR A TRANSPACENT PROFESS TO CONSIDER BROADER COMMUNITY ISSUES 92.2020.P 5 Glendon Redacted Objections

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How would you be affected by the granting of this permit? WHEN WE PLACED AND
BUILT OUR HOME AT 7 BIRCH COURT (THE WALLLATION INCORPECTIV LIST OUR
PEOPERTY AS VALANT) WE WEER WORE THE IMPRESSION THAT THE SUBJECT
LOTS WERE TO BE WED TO RETELD! WOINIGWAL HOMES USING A GROUP SET BUILD
MOREL. THAT WOULD HAVE GIVEN WE US THE HOME NOTONING OUR
POPEZY AT THE BEAK. WHITE THE PROPOSAL THIS COULD DOUBLE.
THE STANDARD AND DENSITY OF DEVELOPMENT IS NOT IN TEEPING
WITH THE NEIGHBOURHOOD AND MAY NOTE AN IMACT ON THE
HUEROILITY AND VALUE OF OUR PROPERTY.

If you need more space for any part of this form please attach another sheet.

Signature:	ADelada		
Name:	Kerry	Websdule	Date: 26/4/20
	\mathcal{I}		

Office Use Only:			
Objection Received by:	Date Received:		_/
Planning officer responsible:	Date Received:	/	_/

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From: Nicole Arnold [nicnrickarnold@gmail.com] Sent: Thursday, 23 April 2020 4:26:04 PM To: Feedback Address For Web Page Subject: Objection to Planning Permit

Good afternoon,

Please find attached our objection to a proposed planning permit. Thank you.

Kind Regards,

Rick and Nicole Arnold

273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Rick & Nicole Arnold						
Postal address:10 Birch Crt						
Eastwood			Postcode	3	8 7	7 5
Phone number: Home: 0408 199 777 Work: M			0417 671 7	711		25
Email address: nicnrickarnold@gmail.co	Fax:					

Permit Details:

Diamaine nemit number of 10000/D	00/0000/0	00/000/0	01/2020/0	05/2020/0
Planning permit number: 91/2020/P	92/2020/1	9312020/F	34/2020/1	33/2020/1

What has been proposed? Development of land for 2 dwellings X 5

What is the address to be used or developed? 4-lot 201 Glendon Drive Eastwood, 5-lot 218 Glendon Drive

Eastwood, 8-lot 203 Glendon Drive Eastwood, 13-lot 214 Glendon Drive Eastwood,

17-lot 212 Glendon Drive Eastwood

Who has applied for the permit? Clement-Stone Town Planners

Objection Details:

What are the reasons for your objection? _

1. Increase in traffic

2. The potential for more dwellings for similar purpose

3. Decrease in market value of our property

4. Increase in noise levels

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How would you be affected by the granting of this permit?

We have school children that have to cross Glendon Drive to ride to school, and we feel that this

proposal, will increase the traffic in the area exposing more risk to our children.

The increase of potential noise levels in close proximity to us.

The possibility of our area being less desirable for living/buying, therefore lowering the market value of our

property - this has been confirmed by speaking with real estate agents.

We also feel that if these dwellings are approved, it will set a precedent for more construction of a similar

nature, only adding to our already exsiting concerns.

If you need more space for any part of this form please attach another sheet.

Signature: NICOLE ARNOLD. Date: 23/04/2020 RICK ARNOLD Name:

Office Use Only:			
Objection Received by:	Date Received:	1	_/
Planning officer responsible:	Date Received:		

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

		·
Name: ALAN BAIRD		
Postal address: 22 THE BACKW	ATER EASTWOOD	,
·.	. سريد . سريد	Postcode 3 875
Phone number: Home:	Work:	Mobile: 0409587232
Email address: aballo 4-39	l' bigponk. com	Fax:
Permit Details:		
Planning permit number: 92/20	as/P	
What has been proposed? Develop		for two dwellings
What is the address to be used or develo	oped? <u>5</u> cilendon	Drive EASTWOOD
Who has applied for the permit?	artment of Health	and Human Services
Objection Details:		
What are the reasons for your objection?	?	
PLEASE REFET	R TO ATTACHED S	HEET
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information about Council's Privacy Policy by contributing our information Privacy Officer an 03 5163 8540 (o) in the high herbox with nov au

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What are the reasons for your objection ?

East Gippsland Planning Scheme requires new developments and land use be subject to social impacts on the surrounding community. The impact on the proposed development at 5 Glendon Drive, Eastwood, is of serious concern to many residents.

Whilst this objection is firmly directed to the development of two dwellings at 5 Glendon Drive, the consequences of Council approving this application are far reaching and cannot be made in isolation without regard to the geographical community surrounding this street. Five applications in the same street from the same land owner (Department of Health and Human Services) have simultaneously been put forward with the same development proposed in each application. Assessment of the merits of each individual application should be made in the context of the wider implications which are required to be taken into account under the Council's Planning Scheme.

I, along with the numerous objectors to the proposed development at 5 Glendon Drive, forsee negative social impacts arising if the proposal is endorsed by Council. The existing streetscape will be adversely affected and the neighbourhood character will be compromised. Two dwellings on the same block in Glendon Drive will be the catalyst for similar proposals in this beautiful street and the start of an avalanche of similar developments from the same land owner who owns other sites in the same street. When considered with the other proposed developments the visual bulk of the developments will be overwhelming and totally uncharacteristic of the already established street character. On its own, the land use proposed for 5 Glendon Drive will be at odds with all the existing houses.

Council's Planning Scheme requires land developments to consider the social impacts on communities. Council's planning, therefore, must then be strategic. The application for two dwellings at 5 Glendon Drive and the number of subsequent residents these two dwellings might contain, could hardly be considered a "community", but five simultaneous and identical planning applications for similar developments in the same street will potentially generate five times the number of residents. Thus the whole street will be transformed into a mecca of blocks containing two dwellings, the existing streetscape will be destroyed, and the surrounding community severely and adversely affected.

It is understood the two dwellings at 5 Glendon Drive will be for short term emergency accommodation as will the other sites requiring permit assessment. The ultimate increase in the total number of residents living in these ten dwellings will constitute a "sizeable community" and thus will have impacts on the immediate geographical community. Multiple dwellings in the same area for housing short term emergency accommodation have been shown to be problematic. In general this has not been a desirable policy outcome due to the adverse impact they have had on surrounding residents. The potential for noise, traffic, smells and unkempt premises and gardens are some of the likely longer term issues Council will need to take into account when assessing the merits of granting planning permit for 5 Glendon Drive. These same issues will be exacerbated if permits are granted for the other four sites.

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As a resident of the nearby Glendon Drive, I am of the view that any new land developments must reflect existing patterns of development in that vicinity and not adversely affect them in any dram way. The nearby geographical community comprising Glendon Drive, The Backwater and Flynns will be impacted adversely due to the large number of community emergency housing in the one As previously noted clusters of short term community housing in other geographical areas has be seen as government policy failures.	natic Road street
To copy the Covid -19 message, " <i>we must all be in it together",</i> I will be affected in the same way existing residents in Glendon Drive. I will witness the development of changing and undesirable in on a streetscape in my neighbourhood which I could no way condone.	

If you need more space for any part of this form please attach another sheet.

Signature:	alon Bard	
Name:	ALAN BAIRD	Date: <u>2614120</u>

Office Use Only:				
Objection Received by:	—	Date Received:	<u> </u>	
Planning officer responsible:		Date Received:	_/	

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: CAROLE BAIRD	· · ·	
Postal address: 22 THE BACKI	NATER EAST WOOD)
		Postcode 3 8 7 5
Phone number: Home:	Work:	Mobile: 0409587232
Email address:	· · · · · · · · · · · · · · · · · · ·	Fax
Permit Details:	······································	
Planning permit number: 92/2	N20/P	
	oment of the land	for two dwellings
· · · · · · · · · · · · · · · · · · ·		
What is the address to be used as daug	land? E Color La	During Francis
What is the address to be used or devel	oped ? Glendow	DINC ENTINODE
·		
Who has applied for the permit? Dep	artment of Health	and Human Services
	• • •	
Objection Details:		
What are the reasons for your objection	?	
PLEASE REFER T	THE ATTACHED	SHEET
		27 APR 7070
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What are the reasons for your objection ?

East Gippsland Planning Scheme requires new developments and land use be subject to social impacts on the surrounding community. The impact on the proposed development at 5 Glendon Drive, Eastwood, is of serious concern to many residents.

Whilst this objection is firmly directed to the development of two dwellings at 5 Glendon Drive, the consequences of Council approving this application are far reaching and cannot be made in isolation without regard to the geographical community surrounding this street. Five applications in the same street from the same land owner (Department of Health and Human Services) have simultaneously been put forward with the same development proposed in each application. Assessment of the merits of each individual application should be made in the context of the wider implications which are required to be taken into account under the Council's Planning Scheme

I, along with the numerous objectors to the proposed development at 5 Glendon Drive, forsee negative social impacts arising if the proposal is endorsed by Council. The existing streetscape will be adversely affected and the neighbourhood character will be compromised. Two dwellings on the same block in Glendon Drive will be the catalyst for similar proposals in this beautiful street and the start of an avalanche of similar developments from the same land owner who owns other sites in the same street. When considered with the other proposed developments the visual bulk of the developments will be overwhelming and totally uncharacteristic of the already established street character. On its own, the land use proposed for 5 Glendon Drive will be at odds with all the existing houses.

Council's Planning Scheme requires land developments to consider the social impacts on communities. Council's planning, therefore, must then be strategic. The application for two dwellings at 5 Glendon Drive and the number of subsequent residents these two dwellings might contain, could hardly be considered a "community", but five simultaneous and identical planning applications for similar developments in the same street will potentially generate five times the number of residents. Thus the whole street will be transformed into a mecca of blocks containing two dwellings, the existing streetscape will be destroyed, and the surrounding community severely and adversely affected.

It is understood the two dwellings at 5 Glendon Drive will be for short term emergency accommodation as will the other sites requiring permit assessment. The ultimate increase in the total number of residents living in these ten dwellings will constitute a " sizeable community" and thus will have impacts on the immediate geographical ***** community. Multiple dwellings in the same area for housing short term emergency accommodation have been shown to be problematic. In general this has not been a desirable policy outcome due to the adverse impact they have had on surrounding residents. The potential for noise, traffic, smells and unkempt premises and gardens are some of the likely longer term issues Council will need to take into account when assessing the merits of granting planning permit for 5 Glendon Drive. These same issues will be exacerbated if permits are granted for the other four sites.

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<u> </u>	
	As a resident of the nearby Glendon Drive, I am of the view that any new land developments must reflect existing patterns of development in that vicinity and not adversely affect them in any dramatic way. The nearby geographical community comprising Glendon Drive, The Backwater and Flynns Road will be impacted adversely due to the large number of community emergency housing in the one street. As previously noted clusters of short term community housing in other geographical areas has been seen as government policy failures.
۲ .ز	To copy the Covid -19 message, "we must all be in it together", I will be affected in the same way as existing residents in Glendon Drive. I will witness the development of changing and undesirable impacts on a streetscape in my neighbourhood which I could no way condone.

If you need more space for any part of this form please attach another sheet.

Signature: 6.9 Baing							
Name:	CAROLE	IRENE	BAIRD	Date: 261 4 1 20			
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Office Us	se Only:	<u>.</u>	······				
Objection	Received by:			Date Received: //			

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Planning officer responsible:

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Date Received:

From: SeamlessCMS@seamless.com.au Sent: Thursday, 9 April 2020 11:59:14 AM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 09 Apr 2020 11:59 AM				
Name	Steven Barry			
Email address	mfrick1@bigpond.com			
Postal address	22 Glendon Drive Eastwood			
Home				
Work				
Mobile	0488051050			
Fax				
Planning permit number	91 - 94/2020P			
What has been proposed?	4 Planning permits for multiple dwellings on 4 sites in 1 street.			
What is the address to be used or developed?	4, 5, 8, 13, and 17 Glendon Drive Eastwood Victoria 3875.			
Who has applied for the permit?	Clement-Stone Town Planners			
What are the reasons for your <u>objection</u> ?	Concerns that there are a large concentration of low income housing in 1 street. There is already a proposal for crisis accommodation to be built in another vacant block in this same street by DHHS also. This street has undergone significant development and investment in existing housing and will be financially affected by such a large concentration of low income housing. There is also an issue of safety and security of tenants of the area. These are just some of our concerns and we are formally objecting to the construction of these dwellings.			
How would you be affected by the granting of this permit?	Financially affecting the value of our homes as such a large concentration of DHHS dwellings in this street. Safety concerns for our young family. Increased traffic to the area also causing safety concerns. This development should not have been the last development in the area but the first so it was known when purchasing properties in the area. We did try initially to investigate the proposal of vacant blocks but were unable to get any information of intentions to develop.			
Additional information	No file attached			

Kerry Stow

From:	SeamlessCMS@seamless.com.au
Sent:	Wednesday, 22 April 2020 1:31 PM
То:	Planning Department
Subject:	Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 22 Apr 2020 01:30 PM

Name	Amy Baxter
Email address	amymaree1904@gmail.com
Postal address	30 Balmoral Crescent, Bairnsdale
Home	51523716
Work	
Mobile	0429099382
Fax	
Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood.
What has been proposed?	5×3 Bedroom Duplex units on 5 lots.
What is the address to be used or developed?	30 Balmoral Crescent, Bairnsdale
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	Fear for our saftey and a concern for the property value near where these units are suppose to be built.
How would you be affected by the granting of this permit?	I would be severely affected as i feel everyones saftey must come first.
Additional information	No file attached

Kerry Stow

From:	SeamlessCMS@seamless.com.au
Sent:	Wednesday, 22 April 2020 12:13 PM
То:	Planning Department
Subject:	Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 22 Apr 2020 12:13 PM

Name	Katie
Email address	Kateann1992@gmail.com
Postal address	30 Balmoral crescent
Home	
Work	
Mobile	0492902233
Fax	
Planning permit number	4,5,8,13,17 glendon drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?	4,5,8,13,17 glendon drive eastwood
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	I strongly object to ths development due to already seeing the effect commission housing and similiar of value on properties, potentional property damage, I see eastwood becoming an area that willbe avoided if this was to go through being the lack of respect and peace already a problem from tenants. The safety rates would severely drop if this is the case making it an unsafe area for the elderly
How would you be affected by the granting of this permit?	I feel it will effect the property of our homes due to the nature and impact this development will create
Additional information	No file attached

Online Form Submitted

Date Submitted: 22 Apr 2020 11:01 AM

Name	Kimberly Baxter
Email address	kimbaxter96@bigpond.com
Postal address	30 Balmoral Crescent Eastwood
Home	
Work	
Mobile	0400597663
Fax	
Planning permit number	4, 5, 8, 13, 17 Glendon Drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?)
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	Placing this sort of housing in Eastwood will have a huge impact on surrounding houses and property value. Which is not fair at all. If these go ahead many will put there houses on the market due to this and fears for safety.
How would you be affected by the granting of this permit?	I personally fear for the safety of not only mayself but family, and everyone in the Eastwood community! They dont need to be put in this area. I understand they are needed but come on??? Whould you like them put right near your house
Additional information	No file attached

Online Form Submitted

Date Submitted: 22 Apr 2020 11:12 AM				
Name	Melissa Baxter			
Email address	Jackorankin@hotmail.com			
Postal address	11 Mistana Court, Eastwood			
Home				
Work				
Mobile	0437555227			
Fax				
Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood			
What has been proposed?	5 x 3 bedroom duplex units on 5 lots			
What is the address to be				
used or developed?				
Who has applied for the permit?				
What are the reasons for your <u>objection</u> ?	I do not understand how you can honestly build so many of these low-income houses to be built in one street! Yes i understand the need for them but why put more than 1 in the same street. This will have a huge impact on property prices (including ours) and we will be looking at seeing a huge decrease which is an absolute shame for all the hard-work and money people have put into these properties. If the Approval goes ahead it will affect us financially as well as future safety concerns for families and neighbours. The proposed planning does not keep up with the character profile of the area and is not complimentary to the existing housing in the area.			
•	As stated above this will affect us financially with our existing property as the value will decrease as the houses will be so close. This really concerns my safety as these houses will be so close to where I currently live. The houses will have direct access to our street through the reserve. This will extend my concerns for our belongings that we have worked extremely hard for! I by no means would like these permits to go ahead and to think that putting 5 on one street is a good idea!? Think again! You know these points are valid and just think, how would you like this proposal to be so closed to your home and your loved ones.			
Additional information	No file attached			

From: SeamlessCMS@seamless.com.au Sent: Wednesday, 22 April 2020 11:24:49 AM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 22 Apr 2020 11:24 AM

Name	stephen baxter
Email address	michelle.baxter3@bigpond.com
Postal address	30 balmoral crescent eastwood vic 3875
Home	0351523716
Work	0487739464
Mobile	0487739464
Fax	
Planning permit number	4,5,813,17 glendon drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?	4,5,8,13,17 glendon drive eastwood
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	i strongly object to this development due to having seen already the effects of housing commission or similar housing here in eastwood attracting or being tenanted by people who do not desire to fit in with what our estate desires to be which is a peaceful and attractive area for families and retirees we already have too many over here now that cause problems without having anymorei can see eastwood becoming an undesirable area if this development is allowed. putting two and two together i can see abusive exes attempting to access ex partners etc and do not wish to see this occur where i live.
How would you be affected by the granting of this permit?	i beleive that the eastwood eastate as a whole will be impacted by this development as i feel it will affect the property values of our homes due to the very nature of the proposal.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

- <u>-</u>					
Name: Activey & Eilit	a Ric	ckley			
Postal address: 64 Morton	Driv	e			
Eastwood	Vic	- V 0 9 U		Postcode	35
Phone number: Home:	Work:	Eese	Mobile:		
Email address:		2 7 137 2921	Fax:		
Permit Details:		INFORMATIC MANAGEMEI	NN NT		
Planning permit number: Unkno	wh			0	
What has been proposed?	tob	uild 10 ur	whs	for M	sblic
Housing				0	
What is the address to be used or developed		8,13417	Gle	ndan	Drive
Eastwood Vic 38	375		,		
	- (
Who has applied for the permit?	nent-	-Stone To	ωn	Plan	20

Objection Details:

1đ What are the reasons for your objection? 10

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How would you be affected by the granting of this permit? /]

If you need more space for any part of this form please attach another sheet.

Signature: Date: 🗢 Name:

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: ANNA - JONANNES BOEK	
Postal address: 13 MIJTANA CRT	
EASTWOOD	Postcode 3 87 5
Phone number: Home: (03) 51 5 2 2113 Work:	Mobile: 0407725588
Email address: Q. boex Cbigpond.com	Fax:
Permit Details:	
Planning permit number: 95/2020/P, 94 /2020/P, 92 /2020/P, 91/	2020/P, 93/2020/P.
What has been proposed? Building of 5x3 bedroom duplex	
LOTS COJERED BY THE ABOVE PLANNING APPLICATIONS ON	GLENDON DRIVE
What is the address to be used or developed? 4, 5, 8, 13 9 17 . Gi	ENDON DRIVE
EASTWODD. 3875	
Who has applied for the permit? <u>LEMENT - STONE TOWN</u>	LANNERS ON
BEHALF OF DIRECTOR OF PUBLIC HOUS	ι N G'

Objection Details:

Vhat are the rea	asons for your obje	ection?	
	PLEASE	REFER	TO ATTACHED SHEET
		FOR	DETAILS.
			EGSC
	<u>.</u>		Z 8 APR 7070
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			MANAGENT

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How would you be affected b	y the granting o	f this permit?			
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If you need more space for any part of this form please attach another sheet.

Signature: _____ JOHANNER BOEK Name: ANNA- R. BOE 271 4 12020. Date:

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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ANNA R. BOEK & JOHANNES BOEK 13 Mistana Crt., EASTWOOD. VIC. 3875 27TH April 2020

Phone: (03) 5152 2313

Mobile: 0407725588

E-Mail: a.boek@bigpond.com

OBJECTION TO PLANNING PERMITS FOR

LOT 4, LOT 5, LOT 8, LOT 13 & LOT 17

GLENDON DRIVE,

EASTWOOD

3875

OBJECTION DETAILS

We are opposed to the proposal to build a number of dwellings on each lot.

The Eastwood Estate was developed with its purpose to provide single dwellings of a certain calibre on each block, with only a few exceptions. In real life these exceptions have occurred on corner blocks only and then with just 2 units per block.

The proposal by the Department of Housing for Glendon Drive will change the whole character of this area. The number of occupants on each block will increase way out of proportion to the current ambience of the area.

This estate was not build with the idea of providing social housing in this area. However over time a few social dwellings have been provided to some people and the dwellings have a habit of changing the pristine area of Eastwood to a bit of a tip on occasions. We want to avoid this happening in Glendon Drive.

Further with the building of all these units the traffic in the area will increase. At this stage each building block may on most occasions have only 2 cars parked on site. Building the proposed number of units will increase the vehicle traffic way out of current usage. Glendon Drive is one of only 2 exits out of this area at this stage and the increase of traffic in Glendon Drive and its immediate surroundings will affect all those persons living on the Backwater and the other adjoining streets, courts and drives with increased noise levels and congestion of traffic.

We are also concerned about parking in Glendon Drive. Increase visitations from trades people, support staff etc. in this street will see a number of cars parked on the street itself blocking the thorough fare. This will cause traffic hazards in this area and could affect the safety of children playing or just using the street.

How would we be affected if these permits are granted?

We live right behind the building blocks on which the units are proposed to be built.

With the increase in population we expect that the noise levels will go up way out of what is currently a very nice quite area. The traffic changes will also affect us as Glendon Drive is the exit for us to drive to Flinns road and thus exiting the Estate.

The change of the character of this part of the Estate will have an economical impact on the remaining housing stock. As the house owners in this area have not been given the opportunity to discuss this matter between themselves due to firstly, the short period of advise and secondly the covid 19 virus restrictions we feel that we should be given some consideration prior to granting these permits to evaluate the proposal and its affect on the area.

Mach

Anna R. Boek

Jho. h.

Johannes B. Boek

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Your Details:

Name: MILTON BOND			
Postal address: 11 BIRCH COURT			
EASTWOOD		Postcode	3875
Phone number: Home: 0351553487 Work:	Mobile:	042763	1253
Email address: mibord 39 @live.com.au	Fax:		
Permit Details:			
Planning permit number: 92 2020 P		· · · · · · · · · · · · · · · · · · ·	
What has been proposed? CONSTRUCTION OF TWO (Z) NEW	DWELI	NGS	
5 GLENDON DRV EASTWOOD	· · · · · · · · · · · · · · · · · · ·		
What is the address to be used or developed? 5 GLENDON	DR	EASTW	<u> 400</u>
			<u></u>
Who has applied for the permit? <u>CLEMENT-STONE</u> TOUN	PLAN	NERS	

Objection Details:

What are the reasons for your objection?	See attrached
	EGSC
	2 3 APR 2020
	MANAGEMENT

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How would you be affected by the granting of this permit?	see attached.	
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If you need more space for any part of this form please attach another sheet.

Signatur	e: Milta	R Band			
Name:	MILTON	REGINALD	BOND	•	Date: <u>22 / 04 / 2020</u>

Office Use Only:			
Objection Received by:	Date Received:		_/
Planning officer responsible:	Date Received:	_/	_/

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The East Gippsiand Shire Council asks for details about you to collect rates, approve permits and licences, and run a range of community services. The information you

 Duplex houses are out of character for the area. Almost all homes in Eastwood are free standing homes. This is not a medium density area. We are not in Melbourne and there is no need to cram more people in. There is also very limited public transport in Eastwood and a small shopping centre that does not cater to all needs. Reading the below quote from the planning application it would appear to apply to Melbourne not Bairnsdale.

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"ASSESSMENT PLANNING POLICY FRAMEWORK Clause 11 Settlement

This proposal meets the objectives of Clause 11.02-1S, allowing for increased land supply that is available for residential uses and intensification in an existing urban area whilst still remaining sensitive to the predominant neighbourhood character. Housing consolidation in the form of two dwellings on a lot in an established urban area responds to State and local policy which plans to accommodate projected population growth over at least a 15 year period and provide clear direction on locations where growth should occur .The population of Greater Melbourne is projected to increase from 4.5 million in 2015 to 8.0 million in 2051. Making some allowance for vacancy rates, an additional 2.2 million dwellings are expected to be required to accommodate the projected population by 2051

2. The proposal says that it "allows for a respectful increase in density of the site that will not unreasonably impact on the amenity of adjacent dwellings." However if this permit is granted and the permits are granted for the other currently proposed duplex's in Glendon Drive this leaves the way open for the other blocks of land owned by Dhhs in Glendon Drive to be developed in the same way. Having this many social housing units in one small street would not be a good thing. Each 3 bedroom unit could have two cars (provision made on plans for parking for 2 cars) this would mean a huge increase in traffic in the street. Potentially 10 blocks of land with 2 units each with two cars for each unit would be 20 families with 40 cars in a very small street. This would lead to a huge traffic increase in the street and associated noise issues as well.

- 3. Our house is set to the back of the block with 2 of our bedrooms at the back. Having two units at the back with 2 outdoor areas adjacent could lead to a noise issue.
- 4. I have spoken to a Real Estate Agent and he said that the value of our property will decrease and be harder to sell with that volume of units in the street behind our house.



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From: SeamlessCMS@seamless.com.au Sent: Thursday, 16 April 2020 1:17:30 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 01:17 PM

Name	MIke Bradley
Email address	mike@lecbairnsdale.com.au
Postal address	16 Kooralbyn Court, Eastwood. VIC. 3875.
Home	
Work	0351525636
Mobile	0412269402
Fax	
Planning permit number	91/2020/P
What has been proposed?	Building of 10 units
What is the address to be used or developed?	4,5,8,13 & 17 Glendon Drive Eastwood
Who has applied for the permit?	Clement-Sone Town Planners
What are the reasons for your <u>objection</u> ?	The development is not keeping with the character profile of the area given that no streets in Eastwood have more than 2 multi dwelling sites.
How would you be affected by the granting of this permit?	I feel that this project would have social, aesthetic and financial impacts on my neighbourhood which I believe would introduce an unreasonable burden to current residents.
Additional information	No file attached

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: GLENN CALVERT	
Postal address: 2 THE BACKWATER	
EASTWOOD	Postcode 3875
Phone number: Home: Work:	Mobile: 0418 311 051
Email address: glennicalvert@bigpoind.com	Fax:
Permit Details:	
Planning permit number: 92/2020 P	· · · ·
What has been proposed? development of land f	or 2 dwellings.
What is the address to be used or developed? <u>S</u> Glendon	Drive
Eas	twood
Who has applied for the permit? <u>Clement - stone</u> Town	Planners
Objection Details:	
What are the reasons for your objection? <u>Referent ac</u>	Led Tetter
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How would you be affected by the granting of this permit?	Refer	attached	letter
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		——, <u></u>	
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If you need more space for any part of this form please attach another sheet.

Signature:	Clot	
Name:	GLENN CALVERT	Date: 261 41 2020

Office Use Only:		
Objection Received by:	Date Received:/	
Planning officer responsible:	_ Date Received:/_	/

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This is an overall development of 12 duplexes/24 houses when the whole project is finished. Only doing 5 duplexes/10 houses now. While it may tick the boxes of 1 permit, it has to be looked at in it's entirety.

- This development is not in character with the Eastwood profile
- Low socio-economic housing not good in a cluster development in any area.
- If there is a need, it must be spread throughout the community
- There are already at least 3 Public Housing properties in close proximity. Despite numerous complaints from neighbours, unfortunately these dwellings are not kept neat, with visual rubbish problems and tenants allegedly vandalising and spraying graffiti, and not acting in a normal community spirit.

92/2020/2

- Blocks were originally sold on the proviso that each block was to be built on by an individual not one person having 12 blocks and building potentially 24 houses
- The Department of Health and Human Services are applying for permits for 4, 5, 8, 13 & 17 Glendon. And they still have 1, 6, 7, and 11 in the same parcels of land. They also own the land at 12, 14 & 16 Glendon, which was the area of a previous application.
- Surely a planning department has to be responsible in protecting the values of the existing homeowners properties
- Clause 32.08 of General Residential Zoning To encourage diversity Yes, 1 duplex is diversity, but NOT 12 duplex/24 houses in the same street (72% of houses in street)

How would you be affected by the granting of this permit?

- The land at 12, 14 & 16 Glendon was the area of the original application. Was this application refused? or withdrawn? If you add that to the other lots, that's 24 houses in one street
- As home owners, we bought and developed our properties without the knowledge that 24 Emergency housing properties would be built on our doorstep
- Cluster housing like this causes ghettos (for the want of a better word). Spread them out to lessen the community impact.
- Council and VCAT have already refused 3 permit applications for subdivision on the adjacent Backwater. It wasn't exactly spelt out on 2 of those applications, but it was proposed to sneakily develop a high density living block which VCAT three out and then rejected the new application later.
- I read somewhere that high fences and security cameras will be installed. That has alarm bells ringing already 10 houses followed by a further 14. This is a serious safety concern implying the need for Security in the area, putting our possible health and well being at risk.
- I was told a planning department person said each application is judged on its merits. Surely that can't be the case here? If you are planning for the future and big picture – take your blinkers off and look at the big picture – 24 houses – seriously – would you like to live here?
- When the entire project is complete there will be 24 community houses and 9 "normal" houses in the street
 that's not acceptable with today's planning. 72% in one street is not an even spread across the town.
- In regards to traffic and parking Glendon is the main through street to the Backwater, which would cause congestion and danger to the residents. It is also a key linking pedestrian route for school children attending Lucknow Primary School.
- Adjacent to Glendon is the Backwater, which is arguably one of the best streets in Bairnsdale. Houses and blocks are expensive, but this would bring property values down, both in the Backwater, and in Glendon, and othersurrounding streets. You wouldn't do this in Toorak!

Glenn Calvert

2 The Backwater Eastwood Ph: 0418 311051

East Gippsland Shire Council

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

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Name: Laurel Calvert		
Postal address: 2 The Backwo	ter Eastwood	<u></u>
		Postcode 3875
Phone number: Home:	Work:	Mobile:048595740
Email address: laurel- calverte	bigpond.com	Fax:
Permit Details:		
	2020 8	· · · ·
What has been proposed? Developm	estof the fand t	or 2 dwellings
	ر 	
What is the address to be used or developed	? S. Glendon !	Drive Eastwood
		ī
Who has applied for the permit?	not-stone Tow.	n Planners-
Objection Details:		

Objection Details:

What are the reasons for your objection?	
Refer the attached lette	~
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	INFORMATION
	MANAGEMENT
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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?					
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If you need more space for any part of this form please attach another sheet.

Signature: Date: 261 12020 Name: aurei alve

Office Use Only:	· ·		
Objection Received by:	Date Received:	_!	
Planning officer responsible:	Date Received:	_/	

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OBJECTION TO PLANNING PERMIT S GLENDON DRIVE EASTWOOD What are the reasons for your objection?

2

This is an overall development of 12 duplexes/24 houses when the whole project is finished. Only doing 5 duplexes/10 houses now. While it may tick the boxes of 1 permit, it has to be looked at in it's entirety.

- This development is not in character with the Eastwood profile
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- There are already at least 3 Public Housing properties in close proximity. Despite numerous complaints from neighbours, unfortunately these dwellings are not kept neat, with visual rubbish problems and tenants allegedly vandalising and spraying graffiti, and not acting in a normal community spirit.

92/2020/P

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- Surely a planning department has to be responsible in protecting the values of the existing homeowners properties
- Clause 32.08 of General Residential Zoning To encourage diversity Yes, 1 duplex is diversity, but NOT 12 duplex/24 houses in the same street (72% of houses in street)

How would you be affected by the granting of this permit?

- The land at 12, 14 & 16 Glendon was the area of the original application. Was this application refused? or withdrawn? If you add that to the other lots, that's 24 houses in one street
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- Adjacent to Glendon is the Backwater, which is arguably one of the best streets in Bairnsdale. Houses and blocks are expensive, but this would bring property values down, both in the Backwater, and in Glendon, and other surrounding streets. You wouldn't do this in Toorak!

101 Laurel Calvert

2 The Backwater Eastwood Ph: 0418 595740 From: Ted Campbell [] Sent: Wednesday, 22 April 2020 1:48:08 PM To: Feedback Address For Web Page Subject: Planning Objection

Please find attached completed objection form.

E Campbell

273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: EDWARD CAMPSCHL	and the second second
Postal address: PO Box SOO BAIRNSOME	the second second
	Postcode 3875
Phone number: Home: 51532940 Work:	Mobile:
Email address: orrcamp@big pond- com	Fax:
Permit Details:	M. Same and
Planning permit number:	
What has been proposed? BUILD 10 UNITS - 5 X 3	BEDROOM DUPLEY
UNITS ON 5 1940 LOTS IN GLONDON DU CASTNON	D. Lots 4,5,8,13+17
What is the address to be used or developed?	
1075 4,5,8, 13+17 GLENDON DR	IVE CASTWOOD
Who has applied for the permit? CLEMENT STONG TOWN	PLANNERS
ON BEHALF OF THE DIRECTOR OF PU	

Objection Details:

What are the reasons for your objection? is not in keeping with the character proj 76 Fastwood epts area quue 00 evelopmen ı D ar

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit? TRAFFIC FLOW IN THE AREA 1 INCREASED STREET 1HA7 INCREBISED 15 2 ON STREE PARKING 7 ONLL C WITTER non CAUSE OMG-C AND 199 199 SERANCES 29 4

If you need more space for any part of this form please attach another sheet.

Signature: Date: 22/04/2020 Name: mPBGU

Office Use Only:	A to spanne land	State 1	State A	-
Objection Received by:	Date Received:	1	1	
Planning officer responsible:	Date Received:		1	-

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

ÉSSO

Name: BRIAN COTTAM		2 7 473 7920
	ON DRIVE, EASTWO	NFORMATION
······································		WiAWAG Postcode 3 8 7 5
Phone number: Home:	Work:	Mobile: 0434433186
Email address: WENDY. COTTATION	HUTMAIL COM	Fax:

Permit Details:

Planning permit number: 92	12020/P
What has been proposed?	LOPMENT OF LAND FOR TWO NEW DWELLINGS
What is the address to be used or d	
	ENST WOOD.
Who has applied for the permit?	CLEMENT- STONE TOWN PLANNERS
who has applied for the permit?	CELIENI-STONE LOON LANNELS

Objection Details:

What are the reasons for your objection?	·····
SER ATTACHED SHEET	
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How would you be affected by the granting of this permit?	
SER ATTACHED SHEET	

If you need more space for any part of this form please attach another sheet.

Signature: -Date: <u>2610412020</u> B D Name: STTAM

Office Use Only:	
Objection Received by:	Date Received:/
Planning officer responsible:	Date Received: / /

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BRIAN & WENDY COTTAH, 2. GLENDON DRIVE EASTWOOD 3875 PHONE OH34433186 ATTACHED SHEET. OBJECTION AND IMPACT, PERMIT NUMBER. P92/2020/P

Reasons for my Objection

2.1

- a. The proposed development is not in keeping with the character profile of the area, given that no streets in Eastwood have more than two multi dwelling sites.
- b. The proposed development is not complementary to the existing housing stock.
- c. The original purpose of the land has been changed from single residences for low income families to the current proposal.

How I would be affected

The proposed development will adversely impact on the social composition and on my personal enjoyment of living in Eastwood, for the following reasons.

- a. Glendon drive is a residential street of about two hundred metres in length. The proposed development in this small street will create a type of neighbourhood that historically used to be called "ghetto".
- b. I do not object to the spirit of providing assistance to homeless people or to families in crisis.
 I do, however, object to a plan that the residents of the surrounding properties ought to carry the social burden of providing such assistance. In the interests of fairness, such burden should be spread more equitably across the whole of Bairnsdale, or of East Gippsland.
- c. Even before any building work has commenced, the property values in this area have already dropped by 20%.
- d. This drop in property value is likely to spread to other residential properties within an estimated radius of at least three hundred meters. To date, no compensation has been offered to property owners directly impacted on by this planned development.
- e. I am concerned about security implications of the proposed plan on myself and my immediate neighbourhood. At greatest risk will be aged residents and families with children who live in the surrounding properties on Glendon Drive and on Flinns Road.
- f. No Social Impact Statement, as per East Gippsland Planning Scheme, has been distributed to residents who are directly impacted by the proposed planning. Such impact statement needs to be provided as a matter of urgency.
- g. The proposed developments for Glendon Drive are only the tip of the iceberg. The proposed development for the land on 4, 5, 8, 13 and 17 Glendon Drive excludes what is being planned for the land on number 3 Glendon Drive. This is located directly behind my property. Current knowledge has it that there is a plan to build a high-security crisis centre, which has not yet been declared to residents. Withholding information on what is being proposed for the whole of Glendon Drive smacks of lack of transparency.
- h. The proposed planning permit also flies in the face of the Mission Statement of the 2017-2021 Council Plan (Year 2, Revised March 2018). East Gippsland Shire Council endeavours to make East Gippsland "the most liveable region in Australia. A place of natural beauty, enviable lifestyles, and opportunities". The proposed development, if successful, would exclude me and my neighbours from the benefits of this mission statement.

From: SeamlessCMS@seamless.com.au Sent: Thursday, 16 April 2020 8:48:43 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 08:48 PM

Name Mal Dalton Email address mal.dalton2@gmail.com Postal address 32 The Backwater Eastwood Vic Home Work Mobile 0419716550 Fax Planning permit 91 to 95/2020/P number What has been Construction of 5 multi site units in Glendon Drive proposed? What is the address to be 4,4,8,13 & 17 Glendon Drive Eastwood used or developed? Who has applied Clement Stone Town Planners on behalf of DHHS for the permit? The development of these properties is not in keeping with the character profile of the area given that no other streets in Eastwood have more than 2 What are the multi site dwellings. The proposed development is not complimentary to the reasons for your existing housing stick. The original purpose of the land was for single site objection? residences for low income families - this has now been amended without consultation to the community and adjoining landholders. How would you The whole of the immediate area will be affected by the potential issues this be affected by the type of DHHS cluster housing can cause and will certainly affect the values of granting of this nearby properties. permit? Additional No file attached information

Kerry Stow

From:	SeamlessCMS@seamless.com.au
Sent:	Thursday, 23 April 2020 8:13 PM
То:	Planning Department
Subject:	Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 23 Apr 2020 08:12 PM

Name	Linda Daniel
Email address	Lmdaniel@bigpond.com
Postal address	16 Mistana Court, Eastwood 3875
Home	
Work	
Mobile	0403404030
Fax	
Planning permit number	91,92,93,94 & 95/2020/P
What has been proposed?	10 units. 5x3 bedroom duplex units on 5 lots, close together in Glendon Drive Eastwood
What is the address to be used or developed?	4, 5, 8, 13 & 17 Glendon Drive, Eastwood
Who has applied for the permit?	Clement-Stone Town planners for Director of Public Housing
What are the reasons for your <u>objection</u> ?	This is not in line with the character profile of the area as no streets in Eastwood have more than 2 multi dwelling sites, it is not complimentary to the existing houses and the original purpose of the land is being changed from single residences to the current proposal.
How would you be affected by the granting of this permit?	I live at the back of this street and construction of so many units in such a small area behind where I live will create much more noise and traffic congestion. This is a very quiet area now with single houses on blocks, not numerous units squashed into the same size blocks. I believe having so many of these units together will reduce the value of my property and make it less attractive to families when I need to sell.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

7 0 APR 7070

Name: SANDRA & LED DONLING	MANAGEM
Postal address: 17 KOORALBYN CRT EASTWOOD	VIC
	Postcode 3875
Phone number: Home 03) 51 53 1875 Work: Mobile:	0417 157 057
Email address: dowlings 63@ gmail.com Fax:	

Permit Details:

Planning permit number: 91/2020/P, 92/2020/P 93/2020/P 95/2020/P 94/2020/F
Planning permit number: 91/2020/P, 92/2020/P, 93/2020/P, 95/2020/P, 94/2020/F What has been proposed? The building of 10 Dupley units on 5 Lots
in Glendon Onve Eastwood.
What is the address to be used or developed?
Street Numbers: 4, 5, 8, 13 + 17 Glendon Drive Easthour
Vic. 3875
Who has applied for the permit? Clement - Shone Town Planners on behalf
of the director of Public Housing.

Objection Details:

What are the reasons for your objection?
1) The development 15 not in Keeping with the Character profile of the
area, given that no streets in Eastwood have more than 2.
Mutti dwelling oiles.
2) The proposed development is not complimentary to existing housing
Głock.
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residences for low income families to current proposal
thus satting a precedence.

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How would you be affected by the granting of this permit? Hy husband & L reside very close to the davelopment being proposed. Ne chose to live in Eastwood ause excellent planning of mostly single residences & open particiand spaces offe life In Researching thich gives us a worderful quality of before rehasin land in the current proposal Las . designated he were informed that the to be eingle dwellings only feel great concern for the change of single to multip do ne duellings, we also feel that this change would then set a repedence <u> Higher</u> densily Øf Each living in other areas reside in Eastwood and th prvileged to is mash planning that has gone feel to the great inho reed to object to the current proposal have a great Je Øf dwelli the higher densily <u>Ne</u> concerned the ven living <u>keside</u> Ill Change the Otreetsca pe forever d no Lay complime in -ex OUN Stock all take Such prode in pousing of which Ne If you need more space for any part of this form please attach another sheet.

Signature:	3 Dalla	
Name: SANDRA DOWLING	L.F. DOWLING	Date: <u>20/ 4 / 2020</u>

Office Use Only:	, <u>u</u> u		
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

EGSC

Your Deens:		2 7 453 7970
Manne: BARRY AND MAR	LENE FORMA	RD INFORMATION
	VATER EASTWOOD	D. VIC WANAGAMENT
		Postcode 3875
Phone number: Home: 🦯	Work:	Mobile: 0400-537-619
Email address:		Fax: NA
Permiti Details:		
Planning pennik number 91/2020/	P	
What has been proposed? 2×1	Wellings on one a	Motment.
What is the address to be used or deve	Moped? LOT 218	No5 Glendon Dr. Eastwood.
		·
Who has applied for the pannit? Dep	t. of Health and i	tuman Sorvices (D.H.H.S)
1	•••••	
		//////////////////////////////////////

Objection Details:

What are the reasons for your at ector ? (a) The development is not in keeping with the
existing streetscape and neighbourhood. D.H.H.S has envership of the remainder
of blocks in Glendon Drive and already has simultaeneously four other blocks
applying for the same planning permits for those, And local neighbours believe
the remaining blocks will be planned for similar duplex ef dwellings in the
future, based on the dubious and untimely (CORONA VIRUS RESTRICTIONS) Way D.H.H.S
have gove about this 92 /2020/P) proposal planning officers would have to be
naive indeed to think that D.H.H.S is only planning to develope Nº5 Blendoe
Prive (and simultaneasly N 5, 8, 13 × 17 seperate applications) and the remaining block
Frimacy Statement (Wey OWN: - Lots 202, 205, 206, 207, 213, 215, 216, 217, 219. What Aweet scafe The East Gippsland Shire Council ests for details about you to collect rates, approve permits and ficences, and run a range of community services. The information you
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only if we are allowed by law, or to protect someone or property. When information is given cuit. Opproxil will always my to make sure your privacy in protected in line. with the Aniency and Date Anatonica. Act 2014, "Your new ask for more
information about Grundline Fivery Policy by contacting our information Fivery Officer of 05.5753 9500 or e-mail <u>Research George Viscon au</u>
would Glenden Irive house 21/2 the sventrally Radie adopted object of thort 200m Street?

273 Mein Street (PC Box 1615) Bairnsdale Vic 3875 Website wwa exclosico and a pour Email teo Roloa usion Taitter Wegat



Генсилине, (03; 5163 950) Fax, (03) 5153 9578 National Relay Service: 133 677 Rescents полнетон _ те (200 675 985 АБХ 21 957 967 708

Dense in	How would you be affected by the granting of this permit? Increased vehicles in Glenclon Prive
н Ц	could make a short strat especially for children in the street if unsupervised
	If "economically disachentaged" families occupy the dwellings,
	they may fall into disrepair because of less maintenance, and as
	noticed in other DHHS properties in the local vicinity, property values
	can suffer in the vicinity.
ļ	

If you need more space for any part of this form please attach another sheet.

Signature: 4 7 ouraid. MARLENE FERLIGRD. Date: 27/04/1020 Names FORWARD

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Objection Received by:	Date Received	d:	/	
Planning afficer responsible:	Date Receive	œ <u>'</u>		:

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From: SeamlessCMS@seamless.com.au Sent: Monday, 20 April 2020 8:09:45 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 20 Apr 2020 08:09 PM

Name	Carl Freshwater
Email address	carlfreshwater@gmail.com
Postal address	9 Mistana Court Eastwood VIC 3875
Home	
Work	
Mobile	0408569392
Fax	
Planning permit number	94/2020/P
What has been proposed?	10 units, 5 x 3 bedroom duplex units on 5 lots
What is the address to be used or developed?	Glendon Drive Eastwood, Lots 4,5,8,13 & 17
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your objection?	The proposed development is not complimentary to the existing housing stock. Further it does not keep with the Character profile of the area given that no streets in Eastwood have more than 2 multi dwelling sites.
How would you be affected	This will put downward housing pressure on existing dwelling valuations within the immediate area. I believe the social ramifications will impact the appeal to the estate for future potential buyers. This will effect our ability to draw on built up house equity as housing prices depreciate, it will also restrict our potential to refinance loans and drive prices up on general insurances. While Bushfires and Covid 19 will have an immediate impact to housing prices locally over the next 12-24 months. These plans have the potential to significantly impact current property prices over the long term which the local economy cannot afford.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

ÉESC Your Details: 27 488 2523 HALL Name: ONARD 16FORMATION Postal address: EASTWOO NDON Postcode Phone number: Home: < Work: Mobile: 10 5 6556 Email address: Fax: Permit Details: Planning permit number: INPPLICATION REFERENCE NUME What has been proposed? Proposed Construction

What is the address to be used or developed? Сн ENDON RIVE 218 be erggad Or STONE Who has applied for the permit? CLEMENT TOWN ANNERS

Objection Details:

What are the reasons for your objection?
ITTRE development is NOT complimentary to the existing
housing stock.
2) The original purpose of the land has been changed
from single residences to the current proposal
3) The development is not in keeping with the Character
profile of the area given that no streets in Eastwood
pare more than 2 multi dwelling sites.
that the second se

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How wou	ild you be affect	ed by the gra	inting a	of this permit?			
	PLEASE	refer	10	DERCHED	SHEET		-
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If you need more space for any part of this form please attach another sheet.

Signature: Name: GEONHRD . A. HALL. Date: **Z**.0

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Objection Received by:	Date Received://
Planning officer responsible:	Date Received://

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Disruption

Glendon drive and the adjoining "The Backwater" street are a community of medium to high socio economic professionals from Business, Teaching, Nursing and the Building professions.

Inhabitants have created a respectable and high quality neighbourhood culture. This is a highly desirable address.

The disruption to this idyllic neighbourhood street vista and street scene of injecting HIGHLY CONCENTRATED crisis housing structures will be profound and ascetic values will plummet.

This huge development of at least 11 domicile structures and buildings is almost beyond comprehension.

Security. By day and particularly night apprehension of personal safety is clear.

We use the street and nearby walking tracks regularly and express concern that this free access will be compromised and rendered less safe.

The free movement of local's vehicles because of the high density of inmates in this concentrated street position will be unfair and was unanticipated.

Equity issue In Glendon Drive there are currently 10 houses of 23 Adults excluding children.

The adjoining "The Backwater" street some 200 metres from the proposed crisis centre address is a premier residential Baimsdale address.

The proposed crisis buildings of 10 units and a crisis centre at the least will drastically alter the mix of middle to upper class professional residents by at 100% with the lower socio economic inmates coming in.

Therefore as a basic equity issue, why is this proposal so concentrated in one street and not spread over the whole Bairnsdale community?

High security walls and constant security personnel will render this premier address

as institutional, imposing and creating considerable apprehension and have a huge impact on health and wellbeing of residents in the area.

J.A. Kall.

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Rick & Nicole Arnold							
Postal address:			-				
Eastwood			Postcode	3	8	7	5
Phone number: Home:	Work:	Mobile:					ĺ.
Email address:		Fax:					

Permit Details:

What has been proposed? Development of	and for 2 dwellings X 5
What is the address to be used or develop Eastwood, 8-lot 203 Glendon Drive Eastw	ed? <u>4-lot 201 Glendon Drive Eastwood</u> , 5-lot 218 Glendon Drive
17-lot 212 Glendon Drive Eastwood	
Who has applied for the permit? Clement-S	one Town Planners

Objection Details:

What are the reasons for your objection?

1. Increase in traffic

2. The potential for more dwellings for similar purpose

3. Decrease in market value of our property

4. Increase in noise levels

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 How would you be affected by the granting of this permit?

 We have school children that have to cross Glendon Drive to ride to school, and we feel that this

 proposal, will increase the traffic in the area exposing more risk to our children.

 The increase of potential noise levels in close proximity to us.

 The possibility of our area being less desirable for living/buying, therefore lowering the market value of our

 property - this has been confirmed by speaking with real estate agents.

 We also feel that if these dwellings are approved, it will set a precedent for more construction of a similar

 nature, only adding to our already exsiting concerns.

 If you need more space for any part of this form please attach another sheet.

Signatu			
Name:	RICK ARNOLD	NICOLE ARNOLD.	Date: 23/04/2020

Office Use Only:			
Objection Received by:	Date Received:	1	_1
Planning officer responsible:	Date Received:	1	<u>i</u>

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Good afternoon,

Please find attached our objection to a proposed planning permit. Thank you.

Kind Regards,

Rick and Nicole Arnold

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: ALAN BAIRD			
Postal address:	EASTWOOD		
·.	ين. ين		Postcode 3 8 7 5
Phone number: Home:	Work:	Mobile:	
Email address:	·	Fax:	
Permit Details:	V	• .	
Planning permit number: 93/2020	12		•
What has been proposed? <u>Developmen</u>		so dwe	ullings
What is the address to be used or developed	? 8 Glendon Drive	EAST	4000
Who has applied for the permit? Departy	nent of Health and	Human	Services
Objection Details:			
What are the reasons for your objection?			·····
PLEASE REFER T	O ATTACHED SHEET	·" -	
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information about Council's Privacy Policy by concerning and information Physics (Officer Birles 153 9500 m 6 met tatal and the second automatic and the second and the second and the second at the s

What are the reasons for your objection ?

East Gippsland Planning Scheme requires new developments and land use be subject to social impacts on the surrounding community. The impact on the proposed development at 8 Glendon Drive, Eastwood, is of serious concern to many residents.

Whilst this objection is firmly directed to the development of two dwellings at 8 Glendon Drive, the consequences of Council approving this application are far reaching and cannot be made in isolation without regard to the geographical community surrounding this street. Five applications in the same street from the same land owner (Department of Health and Human Services) have simultaneously been put forward with the same development proposed in each application. Assessment of the merits of each individual application should be made in the context of the wider implications which are required to be taken into account under the Council's Planning Scheme.

I, along with the numerous objectors to the proposed development at 8 Glendon Drive, forsee negative social impacts arising if the proposal is endorsed by Council. The existing streetscape will be adversely affected and the neighbourhood character will be compromised. Two dwellings on the same block in Glendon Drive will be the catalyst for similar proposals in this beautiful street and the start of an avalanche of similar developments from the same land owner who owns other sites in the same street. When considered with the other proposed developments the visual bulk of the developments will be overwhelming and totally uncharacteristic of the already established street character. On its own, the land use proposed for 8 Glendon Drive will be at odds with all the existing houses.

In assessing the merits of the proposed development at 8 Glendon Drive, Council's attention is drawn to the fact that the adjoining property at 6 Glendon Drive is also owned by the Minister of Health and Human Services. 6 Glendon Drive is situated between the two blocks of land each currently seeking permits for the development of two dwellings. Whilst no planning permit is currently sought for the development of 6 Glendon Drive, it takes little imagination as to what the future plans for this development might be.

Council's Planning Scheme requires land developments to consider the social impacts on communities. Council's planning, therefore, must then be strategic. The application for two dwellings at 8 Glendon Drive and the number of subsequent residents these two dwellings might contain, could hardly be considered a "community", but five simultaneous and identical planning applications for similar developments in the same street will potentially generate five times the number of residents. Thus the whole street will be transformed into a mecca of blocks containing two dwellings, the existing streetscape will be destroyed, and the surrounding community severely and adversely affected.

It is understood the two dwellings at 8 Glendon Drive will be for short term emergency accommodation as will the other sites requiring permit assessment. The ultimate increase in the total number of residents living in these ten dwellings will constitute a " sizeable community" and thus will have impacts on the immediate geographical community. Multiple dwellings in the same area for housing short term emergency accommodation have been shown to be problematic. In general this has not been a desirable policy outcome due to the adverse impact they have had on surrounding residents. The potential for noise, traffic, smells and unkempt premises and gardens are some of the likely longer term issues Council will need to take into account when assessing the merits of granting planning permit for 8 Glendon. Drive. These same issues will be exacerbated if permits are granted for the other four sites.

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As a resident of the nearby Glendon Drive Lam of the view that any new lest development of
As a resident of the nearby Glendon Drive, I am of the view that any new land developments must
reflect existing patterns of development in that vicinity and not adversely affect them in any dramatic
way. The nearby geographical community comprising Glendon Drive, The Backwater and Flynns Road
will be impacted adversely due to the large number of community emergency housing in the one stree
As previously noted clusters of short term community housing in other geographical areas has been
seen as government policy failures.
To copy the Covid -19 message, "we must all be in it together", I will be affected in the same way as
existing residents in Glendon Drive. I will witness the development of changing and undesirable impact
on a streetscape in my neighbourhood which I could no way condone.
an a

If you need more space for any part of this form please attach another sheet.

Signature:			-			
Name:	ALAN	BAIRD		[Date: <u>26 1 4</u>	120

Office Use Only:		,	-	
Objection Received by:	Date Received:		·]	
Planning officer responsible:	Date Received:	_/	<u> </u>	

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: CAROLE BAIRD	>	
Postal address:	EASTWOO	Ð
··-	No. Contraction of the second s	Postcode 3 8 7 5
Phone number: Home:	Work:	Mobile:
Email address:	·	Fax:
Permit Details:		•••••••••••••••••••••••••••••••••••••••
Planning permit number: 0	3/2020/P	
What has been proposed? Dev	colpment of the lan	a for two dwellings
What is the address to be used or o	leveloped? 8 Glendo	N Drive Ensidod
· · · · · · · · · · · · · · · · · · ·	·	
Who has applied for the permit?	Department of Health	s and Human Serviceg
Objection Details:		
What are the reasons for your object	ction?	
PLEASE REFET	R TO THE ATTACHE	D SHEET
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	· · · · · · · · · · · · · · · · · · ·	EGSC
		27 APR 2020
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What are the reasons for your objection ?

East Gippsland Planning Scheme requires new developments and land use be subject to social impacts on the surrounding community. The impact on the proposed development at 8 Glendon Drive, Eastwood, is of serious concern to many residents.

Whilst this objection is firmly directed to the development of two dwellings at 8 Glendon Drive, the consequences of Council approving this application are far reaching and cannot be made in isolation without regard to the geographical community surrounding this street. Five applications in the same street from the same land owner (Department of Health and Human Services) have simultaneously been put forward with the same development proposed in each application. Assessment of the merits of each individual application should be made in the context of the wider implications which are required to be taken into account under the Council's Planning Scheme .

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In assessing the merits of the proposed development at 8 Glendon Drive, Council's attention is drawn to the fact that the adjoining property at 6 Glendon Drive is also owned by the Minister of Health and Human Services. 6 Glendon Drive is situated between the two blocks of land each currently seeking permits for the development of two dwellings. Whilst no planning permit is currently sought for the development of 6 Glendon Drive, it takes little imagination as to what the future plans for this development might be.

Council's Planning Scheme requires land developments to consider the social impacts on communities. Council's planning, therefore, must then be strategic. The application for two dwellings at 8 Glendon Drive and the number of subsequent residents these two dwellings might contain, could hardly be considered a "community", but five simultaneous and identical planning applications for similar developments in the same street will potentially generate five times the number of residents. Thus the whole street will be transformed into a mecca of blocks containing two dwellings, the existing streetscape will be destroyed, and the surrounding community severely and adversely affected.

It is understood the two dwellings at 8 Glendon Drive will be for short term emergency accommodation as will the other sites requiring permit assessment. The ultimate increase in the total number of residents living in these ten dwellings will constitute a "sizeable community" and thus will have impacts on the immediate geographical community. Multiple dwellings in the same area for housing short term emergency accommodation have been shown to be problematic. In general this has not been a desirable policy outcome due to the adverse impact they have had on surrounding residents. The potential for noise, traffic, smells and unkempt premises and gardens are some of the likely longer term issues Council will need to take into account when assessing the merits of granting planning permit for 8 Glendon Drive. These same issues will be exacerbated if permits are granted for the other four sites.

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	As a resident of the nearby Glendon Drive, I am of the view that any new land developments must reflect existing patterns of development in that vicinity and not adversely affect them in any dramatic way. The nearby geographical community comprising Glendon Drive, The Backwater and Flynns Road will be impacted adversely due to the large number of community emergency housing in the one street. As previously noted clusters of short term community housing in other geographical areas has been seen as government policy failures.
0 	To copy the Covid -19 message, "we must all be in it together", I will be affected in the same way as existing residents in Glendon Drive. I will witness the development of changing and undesirable impacts on a streetscape in my neighbourhood which I could no way condone.

Signatu	re:		· · · · · · · · · · · · · · · · · · ·	·	•	
Name:	CAROLE	IRENE	BAIRD		Date:_	26/4/20

· · · · · · · · · · · · · · · · · · ·				
Office Use Only:				
Objection Received by:	Date Received:			
Planning officer responsible:	Date Received	:/	<u> </u>	

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information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@ecipps.vic.gov.au

Online Form Submitted

Date Submitted: 09 Apr 2020 11:59 AM

Name	Steven Barry
Email address	
Postal address	Eastwood
Home	
Work	
Mobile	
Fax	
Planning permit number	91 - 94/2020P
What has been proposed?	4 Planning permits for multiple dwellings on 4 sites in 1 street.
What is the address to be used or developed?	4, 5, 8, 13, and 17 Glendon Drive Eastwood Victoria 3875.
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	Concerns that there are a large concentration of low income housing in 1 street. There is already a proposal for crisis accommodation to be built in another vacant block in this same street by DHHS also. This street has undergone significant development and investment in existing housing and will be financially affected by such a large concentration of low income housing. There is also an issue of safety and security of tenants of the area. These are just some of our concerns and we are formally objecting to the construction of these dwellings.
How would you be affected by the granting of this permit?	Financially affecting the value of our homes as such a large concentration of DHHS dwellings in this street. Safety concerns for our young family. Increased traffic to the area also causing safety concerns. This development should not have been the last development in the area but the first so it was known when purchasing properties in the area. We did try initially to investigate the proposal of vacant blocks but were unable to get any information of intentions to develop.
Additional information	No file attached

Kerry Stow

From:	SeamlessCMS@seamless.com.au
Sent:	Wednesday, 22 April 2020 1:31 PM
То:	Planning Department
Subject:	Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 22 Apr 2020 01:30 PM

Name	Amy Baxter
Email address	. 1001 '' m
Postal address	, Bairnsdale
Home	
Work	
Mobile	
Fax	
Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood.
What has been proposed?	5×3 Bedroom Duplex units on 5 lots.
What is the address to be used or developed?	30 Balmoral Crescent, Bairnsdale
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	Fear for our saftey and a concern for the property value near where these units are suppose to be built.
How would you be affected by the granting of this permit?	I would be severely affected as i feel everyones saftey must come first.
Additional information	No file attached

Kerry Stow

From:	SeamlessCMS@seamless.com.au
Sent:	Wednesday, 22 April 2020 12:13 PM
То:	Planning Department
Subject:	Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 22 Apr 2020 12:13 PM

Name	Katie
Email address	I
Postal address	
Home	
Work	
Mobile	U 152502200
Fax	
Planning permit number	4,5,8,13,17 glendon drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?	4,5,8,13,17 glendon drive eastwood
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	I strongly object to ths development due to already seeing the effect commission housing and similiar of value on properties, potentional property damage, I see eastwood becoming an area that willbe avoided if this was to go through being the lack of respect and peace already a problem from tenants. The safety rates would severely drop if this is the case making it an unsafe area for the elderly
How would you be affected by the granting of this permit?	I feel it will effect the property of our homes due to the nature and impact this development will create
Additional information	No file attached

Online Form Submitted

Date Submitted: 22 Apr 2020 11:01 AM

Name	Kimberly Baxter
Email address	····
Postal address	Eastwood
Home	
Work	
Mobile	
Fax	
Planning permit number	4, 5, 8, 13, 17 Glendon Drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?)
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	Placing this sort of housing in Eastwood will have a huge impact on surrounding houses and property value. Which is not fair at all. If these go ahead many will put there houses on the market due to this and fears for safety.
How would you be affected by the granting of this permit?	I personally fear for the safety of not only mayself but family, and everyone in the Eastwood community! They dont need to be put in this area. I understand they are needed but come on??? Whould you like them put right near your house
Additional information	No file attached

Online Form Submitted

Date Submitted: 22 Apr 2020 11:12 AM

Name	Melissa Baxter
Email address Postal address Home	Eastwood
Work Mobile	
Fax	
Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood
What has been proposed?	5 x 3 bedroom duplex units on 5 lots
What is the address to be used or developed?	
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	I do not understand how you can honestly build so many of these low-income houses to be built in one street! Yes i understand the need for them but why put more than 1 in the same street. This will have a huge impact on property prices (including ours) and we will be looking at seeing a huge decrease which is an absolute shame for all the hard-work and money people have put into these properties. If the Approval goes ahead it will affect us financially as well as future safety concerns for families and neighbours. The proposed planning does not keep up with the character profile of the area and is not complimentary to the existing housing in the area.
by the granting	As stated above this will affect us financially with our existing property as the value will decrease as the houses will be so close. This really concerns my safety as these houses will be so close to where I currently live. The houses will have direct access to our street through the reserve. This will extend my concerns for our belongings that we have worked extremely hard for! I by no means would like these permits to go ahead and to think that putting 5 on one street is a good idea!? Think again! You know these points are valid and just think, how would you like this proposal to be so closed to your home and your loved ones.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au Sent: Wednesday, 22 April 2020 11:24:49 AM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 22 Apr 2020 11:24 AM

Name	stephen baxter
Email address	monone.ouxers.@oiBpone.com
Postal address	20 halfender i astwood vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	4,5,813,17 glendon drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?	4,5,8,13,17 glendon drive eastwood
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	i strongly object to this development due to having seen already the effects of housing commission or similar housing here in eastwood attracting or being tenanted by people who do not desire to fit in with what our estate desires to be which is a peaceful and attractive area for families and retirees we already have too many over here now that cause problems without having anymorei can see eastwood becoming an undesirable area if this development is allowed. putting two and two together i can see abusive exes attempting to access ex partners etc and do not wish to see this occur where i live.
How would you be affected by the granting of this permit?	i beleive that the eastwood eastate as a whole will be impacted by this development as i feel it will affect the property values of our homes due to the very nature of the proposal.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: Activey & Eilite	Ri	aklar		· · ·	
		<u>Crey</u>			
Postal address:	<u> </u>				
Eastwood	Vic			Postcode	<u>3875</u>
Phone number: Home:	Work:	EGSC	Mobile:		
Email address:		2.7 1.78 2921	Fax:		
Permit Details:		INFORMATIC	N		
		MANAGEMEN	VT.		
Planning permit number: Unkho	wh		r	0 0	
What has been proposed?	tob	uild 10 ur	whs	for M	sblic
Housing			(
What is the address to be used or developed	? 4,5	5,8,13417	Gle	ndon	Drive
Eastwood Vic 38	75		,		
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Who has applied for the permit?	nent-	-Stone To	ωn	Plan	20

Objection Details:

1 Å What are the reasons for your objection? 10

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1



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How would you be affected by the granting of this permit?
The proposed buildings being built would increase
the traffic and condense that traffic in
my grea. The roads and parking in that area
would find it hard to cope.
I also would be concerned for the safety of
young children that every play on those
roods

If you need more space for any part of this form please attach another sheet.

n2 Signature: Date: Name:

Office Use Only:			
Objection Received by:	Date Received:	_/	
Planning officer responsible:	Date Received:	_/	

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: ANNA - JONANNES BOEK		······································
Postal address:		
EASTWOOD		Postcode 3 875
Phone number: Home: Work: -	Mobile:	(
Email address:	Fax:	
Permit Details:		
Planning permit number: 95/2020/P, 94 /2020/P, 92 /2020/P, 91	12020/1	, 93%/2020/P.
What has been proposed? Building of 5x3 bedroom duple	K UNIT	S ON THE 5
LOTS CONFRED BY THE ABOVE PLANNING APPLICATIONS ON	GLENI	ON DRIVE
What is the address to be used or developed? 4, 5, 8, 13 9 17 . 6	LENDO	EASTWOOD.
EASTWODD. 3873		
	-	
Who has applied for the permit? <u>LEMENT - STONE</u> TOWN	L ANNE	X25 ON
REMARE OF DIRECTOR OF PUBLIC HOU.	SING	
Objection Details:		
What are the reasons for your objection?		
PLEASE REFER TO ATTACHED	7 She	ET
FOR DETAILS.		
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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected b	y the granting o	f this permit?			
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		FOR D	ETAILS		
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	TOWANDER POEK Date: 27/4 12020.
Name: A mon // Xoc	TALL - DAGE UALE: WILH INUL DE
I TONNIA K IS CE	JUNAWNE DUER
Name: ANNA- R.BOE	JOHANNER BOEK Date: 27/4 12020.

Office Use Only:	
Objection Received by:	Date Received:///
Planning officer responsible:	Date Received://

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ANNA R. BOEK &

JOHANNES BOEK

Phone:

Mobile:

E-Mail:

EASTWOOD. VIC. 3875

27TH April 2020

OBJECTION TO PLANNING PERMITS FOR

LOT 4, LOT 5, LOT 8, LOT 13 & LOT 17

GLENDON DRIVE,

EASTWOOD

3875

OBJECTION DETAILS

We are opposed to the proposal to build a number of dwellings on each lot.

The Eastwood Estate was developed with its purpose to provide single dwellings of a certain calibre on each block, with only a few exceptions. In real life these exceptions have occurred on corner blocks only and then with just 2 units per block.

The proposal by the Department of Housing for Glendon Drive will change the whole character of this area. The number of occupants on each block will increase way out of proportion to the current ambience of the area.

This estate was not build with the idea of providing social housing in this area. However over time a few social dwellings have been provided to some people and the dwellings have a habit of changing the pristine area of Eastwood to a bit of a tip on occasions. We want to avoid this happening in Glendon Drive.

Further with the building of all these units the traffic in the area will increase. At this stage each building block may on most occasions have only 2 cars parked on site. Building the proposed number of units will increase the vehicle traffic way out of current usage. Glendon Drive is one of only 2 exits out of this area at this stage and the increase of traffic in Glendon Drive and its immediate surroundings will affect all those persons living on the Backwater and the other adjoining streets, courts and drives with increased noise levels and congestion of traffic.

We are also concerned about parking in Glendon Drive. Increase visitations from trades people, support staff etc. in this street will see a number of cars parked on the street itself blocking the thorough fare. This will cause traffic hazards in this area and could affect the safety of children playing or just using the street.

How would we be affected if these permits are granted?

We live right behind the building blocks on which the units are proposed to be built.

With the increase in population we expect that the noise levels will go up way out of what is currently a very nice quite area. The traffic changes will also affect us as Glendon Drive is the exit for us to drive to Flinns road and thus exiting the Estate.

The change of the character of this part of the Estate will have an economical impact on the remaining housing stock. As the house owners in this area have not been given the opportunity to discuss this matter between themselves due to firstly, the short period of advise and secondly the covid 19 virus restrictions we feel that we should be given some consideration prior to granting these permits to evaluate the proposal and its affect on the area.

Anna R. Boek

Johannes B. Boek

From: SeamlessCMS@seamless.com.au Sent: Thursday, 16 April 2020 1:17:30 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 01:17 PM

Name	MIke Bradley
Email address	1111201120000111100010.00111.00
Postal address	Eastwood. VIC. 3875.
Home	
Work	
Mobile	
Fax	
Planning permit number	91/2020/P
What has been proposed?	Building of 10 units
What is the address to be used or developed?	4,5,8,13 & 17 Glendon Drive Eastwood
Who has applied for the permit?	Clement-Sone Town Planners
What are the reasons for your <u>objection</u> ?	The development is not keeping with the character profile of the area given that no streets in Eastwood have more than 2 multi dwelling sites.
How would you be affected by the granting of this permit?	I feel that this project would have social, aesthetic and financial impacts on my neighbourhood which I believe would introduce an unreasonable burden to current residents.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: GLENN CALVERT			· · · · · · · · · · · · · · · · · · ·
Postal address:			
EASTWOOD			Postcode 3875
Phone number: Home:	Work:	Mobile:	ستهليد بساعيد الأاب سيامنان ويسهد والابري
Email address:		Fax:	······
Permit Details:		•,	<u></u>
Planning permit number: 93 202	oP		·
What has been proposed? <u>develop</u>	nent of land fe	<u>x</u> 2	dwellings.
What is the address to be used or developed?	2 8 Glendon East	Drive	
Who has applied for the permit? <u>Clem</u>	ent-stone Town	Plan	iners
What are the reasons for your objection?	Refer attack	.ec	Tetter
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	EG	SC	
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East Gi	ppsland Shire	e Council	
273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc	EAST GIPPSLAND	National Relay Sen Residents' Information Line:	3) 5153 9576 vice: 133 677
How would you be affected by the granting	of this permit?	lefer attached	letter
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· · · · · · · · · · · · · · · · · · ·			
			<u></u>
,		·	. <u></u>

If you need more space for any part of this form please attach another sheet.

Signature:		
Name:	GLENN CALVERT	Date: 261 41 2020

Office Use Only:	
Objection Received by:	Date Received:/ //
Planning officer responsible:	Date Received://

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OBJECTION TO PLANNING PERMIT \mathscr{D} GLENDON DRIVE EASTWOOD What are the reasons for your objection?

. . "

This is an overall development of 12 duplexes/24 houses when the whole project is finished. Only doing 5 duplexes/10 houses now. While it may tick the boxes of 1 permit, it has to be looked at in it's entirety.

- This development is not in character with the Eastwood profile
- Low socio-economic housing not good in a cluster development in any area.
- If there is a need, it must be spread throughout the community
- There are already at least 3 Public Housing properties in close proximity. Despite numerous complaints from neighbours, unfortunately these dwellings are not kept neat, with visual rubbish problems and tenants allegedly vandalising and spraying graffiti, and not acting in a normal community spirit.

93/2020/P

- Blocks were originally sold on the proviso that each block was to be built on by an individual not one person having 12 blocks and building potentially 24 houses
- The Department of Health and Human Services are applying for permits for 4, 5, 8, 13 & 17 Glendon. And they still have 1, 6, 7, and 11 in the same parcels of land. They also own the land at 12, 14 & 16 Glendon, which was the area of a previous application.
- Surely a planning department has to be responsible in protecting the values of the existing homeowners properties
- Clause 32.08 of General Residential Zoning To encourage diversity Yes, 1 duplex is diversity, but NOT
 12 duplex/24 houses in the same street (72% of houses in street)

How would you be affected by the granting of this permit?

- The land at 12, 14 & 16 Glendon was the area of the original application. Was this application refused? or withdrawn? If you add that to the other lots, that's 24 houses in one street
- As home owners, we bought and developed our properties without the knowledge that 24 Emergency
 housing properties would be built on our doorstep
- Cluster housing like this causes ghettos (for the want of a better word). Spread them out to lessen the community impact.
- Council and VCAT have already refused 3 permit applications for subdivision on the adjacent Backwater. It
 wasn't exactly spelt out on 2 of those applications, but it was proposed to sneakily develop a high density
 living block which VCAT threw out and then rejected the new application later.
- I read somewhere that high fences and security cameras will be installed. That has alarm bells ringing
 already 10 houses followed by a further 14. This is a serious safety concern implying the need for Security
 in the area, putting our possible health and well being at risk.
- I was told a planning department person said each application is judged on its merits. Surely that can't be the case here? If you are planning for the future and big picture – take your blinkers off and look at the big picture – 24 houses – seriously – would you like to live here?
- When the entire project is complete there will be 24 community houses and 9 "normal" houses in the street
 that's not acceptable with today's planning. 72% in one street is not an even spread across the town.
- In regards to traffic and parking Glendon is the main through street to the Backwater, which would cause congestion and danger to the residents. It is also a key linking pedestrian route for school children attending Lucknow Primary School.
- Adjacent to Glendon is the Backwater, which is arguably one of the best streets in Bairnsdale. Houses and blocks are expensive, but this would bring property values down, both in the Backwater, and in Glendon, and other surrounding streets. You wouldn't do this in Toorak!

Gienn Caivert

Eastwood

East Gippsland Shire Council

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Planning and Environment Act 1987

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Your Details:

Name: Laurel Calve			
Postal address:	East	twood	
		Postcode 3	878
Phone number: Home:	Work:	Mobile:	
Email address:		Fax:	
Permit Details:			
Planning permit number:	93 2020 P	2	
What has been proposed?	dopmentofthe	- land for 2 dwellings	Σ
	J	•	
What is the address to be used or o	developed? 8 (Jendon Drive Eastwood	1
		(Lot 203)	
		····	
	Character Char	Tayla Planace	
Who has applied for the permit?	Clement - SIVA	ie rouri rightiers	
Objection Details:			
What are the reasons for your obje	ction?		
Refer the at	tached lette		_
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•			·······
	·····	27 APH 2020	
/		INFORMATION	 .
		MANAGEMENT	
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Privacy Statement

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273 Main Street (PO Box 1618) Baimsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affect	cted by the granting of this per the attached	ermit?	
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If you need more space for any part of this form please attach another sheet.

Signature: Date: 2614 12020 Name: aurel Calvert

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received: / /

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This is an overall development of 12 duplexes/24 houses when the whole project is finished. Only doing 5 duplexes/10 houses now. While it may tick the boxes of 1 permit, it has to be looked at in it's entirety.

- This development is not in character with the Eastwood profile
- Low socio-economic housing not good in a cluster development in any area.
- If there is a need, it must be spread throughout the community
- There are already at least 3 Public Housing properties in close proximity. Despite numerous complaints from neighbours, unfortunately these dwellings are not kept neat, with visual rubbish problems and tenants allegedly vandalising and spraying graffiti, and not acting in a normal community spirit.

93/2020/P.

- Blocks were originally sold on the proviso that each block was to be built on by an individual not one person having 12 blocks and building potentially 24 houses
- The Department of Health and Human Services are applying for permits for 4, 5, 8, 13 & 17 Glendon. And they still have 1, 6, 7, and 11 in the same parcels of land. They also own the land at 12, 14 & 16 Glendon, which was the area of a previous application.
- Surely a planning department has to be responsible in protecting the values of the existing homeowners properties
- Clause 32.08 of General Residential Zoning To encourage diversity Yes, 1 duplex is diversity, but NOT 12 duplex/24 houses in the same street (72% of houses in street)

How would you be affected by the granting of this permit?

- The land at 12, 14 & 16 Glendon was the area of the original application. Was this application refused? or withdrawn? If you add that to the other lots, that's 24 houses in one street
- As home owners, we bought and developed our properties without the knowledge that 24 Emergency housing properties would be built on our doorstep
- Cluster housing like this causes ghettos (for the want of a better word). Spread them out to lessen the community impact.
- Council and VCAT have already refused 3 permit applications for subdivision on the adjacent Backwater. It wasn't exactly spelt out on 2 of those applications, but it was proposed to sneakily develop a high density living block which VCAT threw out and then rejected the new application later.
- I read somewhere that high fences and security cameras will be installed. That has alarm bells ringing already 10 houses followed by a further 14. This is a serious safety concern implying the need for Security in the area, putting our possible health and well being at risk.
- I was told a planning department person said each application is judged on its merits. Surely that can't be the case here? If you are planning for the future and big picture – take your blinkers off and look at the big picture – 24 houses – seriously – would you like to live here?
- When the entire project is complete there will be 24 community houses and 9 "normal" houses in the street
 that's not acceptable with today's planning. 72% in one street is not an even spread across the town.
- In regards to traffic and parking Glendon is the main through street to the Backwater, which would cause congestion and danger to the residents. It is also a key linking pedestrian route for school children attending Lucknow Primary School.
- Adjacent to Glendon is the Backwater, which is arguably one of the best streets in Bairnsdale. Houses and blocks are expensive, but this would bring property values down, both in the Backwater, and in Glendon, and other surrounding streets. You wouldn't do this in Toorak!

Laurel Calvert

2 me buckmann Eastwood

From: Ted Campbell [] Sent: Wednesday, 22 April 2020 1:48:08 PM To: Feedback Address For Web Page Subject: Planning Objection

Please find attached completed objection form.

E Campbell

273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: EDWARD CAMPISE	u	and and an and a state of the
Postal address: PO Box SOC	BAIRNSDALE	a la mana
		Postcode 3875
Phone number: Home:	Work:	Mobile:
Email address:		Fax:
Permit Details:	a section press	De caspit by
Planning permit number:		
What has been proposed? BUILD	10 UNITS - 5X	3 BEDROOM DUPLEY
UNITS ON 5 14 LOTS	IN GLENYOW DU CASTUL	900. Lots 4,5,8,13+17
What is the address to be used or develop	bed?	
2075 4,5,8, 13+1	7 GLENDON DI	RIVE CASTWOOD
Who has applied for the permit?	MENT STONG TOWN	PLANNERS
ON BEHART OF TH	E DIRECTOR OF P	UBLIC HOUSING.

Objection Details:

What are the reasons for your objection? is not in keeping with the character proj troote in Eachwood have more than tw Eastwood epts area quue 00 evelopmen ı D ar

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit? TRAFFIC FLOW IN THE AREA 1 INCREASED STREET 1HA7 INCREBISED 15 2 ON STREE PARRING ONLL ES WITTER non ONG AND 199 199 SERVICES Pg 4

If you need more space for any part of this form please attach another sheet.

Signature: Date: 22/04/2020 Name: n RGU

Office Use Only:	and amares of the	N-	110
Objection Received by:	Date Received:		_/
Planning officer responsible:	Date Received:		

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

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	INFORMATION
EASTW	MANAGEMENT
	Postcode 3875
Work:	Mobile:
·	Fax:
/2020/P	· · · · · · · · · · · · · · · · · · ·
	Work:

t is the address to be used or devel	oped? 8. GLENDON DRIVE
	EAST WOOD

Objection Details:

What are the reasons for your objection?	
SEE ATTACHED SHELT	
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How would you be aff	ected by the g	ranting of this p	ermit?			
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If you need more space for any part of this form please attach another sheet.

Signature: BRIAN. P. COTTAN Date: 26 104 12020 Name:

Office Use Only:			
Objection Received by:	Date Received:		_/
Planning officer responsible:	Date Received:	_/	_/

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BRIAN & WENDY COTTAN, A. MNENDUN INTE EASTWOOD 3875 PHONE _____ ATTACHED SHEET. OBJECTION AND IMPACT, PRAMIT NUMBER. P 93/2020/P

Reasons for my Objection

- a. The proposed development is not in keeping with the character profile of the area, given that no streets in Eastwood have more than two multi dwelling sites.
- b. The proposed development is not complementary to the existing housing stock.
- c. The original purpose of the land has been changed from single residences for low income families to the current proposal.

How I would be affected

The proposed development will adversely impact on the social composition and on my personal enjoyment of living in Eastwood, for the following reasons.

- a. Glendon drive is a residential street of about two hundred metres in length. The proposed development in this small street will create a type of neighbourhood that historically used to be called "ghetto".
- b. I do not object to the spirit of providing assistance to homeless people or to families in crisis. I do, however, object to a plan that the residents of the surrounding properties ought to carry the social burden of providing such assistance. In the interests of fairness, such burden should be spread more equitably across the whole of Bairnsdale, or of East Gippsland.
- c. Even before any building work has commenced, the property values in this area have already dropped by 20%.
- d. This drop in property value is likely to spread to other residential properties within an estimated radius of at least three hundred meters. To date, no compensation has been offered to property owners directly impacted on by this planned development.
- e. I am concerned about security implications of the proposed plan on myself and my immediate neighbourhood. At greatest risk will be aged residents and families with children who live in the surrounding properties on Glendon Drive and on Flinns Road.
- f. No Social Impact Statement, as per East Gippsland Planning Scheme, has been distributed to residents who are directly impacted by the proposed planning. Such impact statement needs to be provided as a matter of urgency.
- g. The proposed developments for Glendon Drive are only the tip of the iceberg. The proposed development for the land on 4, 5, 8, 13 and 17 Glendon Drive excludes what is being planned for the land on number 3 Glendon Drive. This is located directly behind my property. Current knowledge has it that there is a plan to build a high-security crisis centre, which has not yet been declared to residents. Withholding information on what is being proposed for the whole of Glendon Drive smacks of lack of transparency.
- h. The proposed planning permit also flies in the face of the Mission Statement of the 2017-2021 Council Plan (Year 2, Revised March 2018). East Gippsland Shire Council endeavours to make East Gippsland "the most liveable region in Australia. A place of natural beauty, enviable lifestyles, and opportunities". The proposed development, if successful, would exclude me and my neighbours from the benefits of this mission statement.

Online Form Submitted

Date Submitted: 16 Apr 2020 08:48 PM

Name	Mal Dalton
Email address	
Postal address	Eastwood Vic
Home	
Work	
Mobile	
Fax	
Planning permit number	91 to 95/2020/P
What has been proposed?	Construction of 5 multi site units in Glendon Drive
What is the address to be used or developed?	4,4,8,13 & 17 Glendon Drive Eastwood
Who has applied for the permit?	Clement Stone Town Planners on behalf of DHHS
What are the reasons for your <u>objection</u> ?	The development of these properties is not in keeping with the character profile of the area given that no other streets in Eastwood have more than 2 multi site dwellings. The proposed development is not complimentary to the existing housing stick. The original purpose of the land was for single site residences for low income families - this has now been amended without consultation to the community and adjoining landholders.
How would you be affected by the granting of this permit?	The whole of the immediate area will be affected by the potential issues this type of DHHS cluster housing can cause and will certainly affect the values of nearby properties.
Additional information	No file attached

Kerry Stow

From:	SeamlessCMS@seamless.com.au
Sent:	Thursday, 23 April 2020 8:13 PM
То:	Planning Department
Subject:	Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 23 Apr 2020 08:12 PM

Name	Linda Daniel
Email address	
Postal address	, Eastwood 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	91,92,93,94 & 95/2020/P
What has been proposed?	10 units. 5x3 bedroom duplex units on 5 lots, close together in Glendon Drive Eastwood
What is the address to be used or developed?	4, 5, 8, 13 & 17 Glendon Drive, Eastwood
Who has applied for the permit?	Clement-Stone Town planners for Director of Public Housing
What are the reasons for your <u>objection</u> ?	This is not in line with the character profile of the area as no streets in Eastwood have more than 2 multi dwelling sites, it is not complimentary to the existing houses and the original purpose of the land is being changed from single residences to the current proposal.
How would you be affected by the granting of this permit?	I live at the back of this street and construction of so many units in such a small area behind where I live will create much more noise and traffic congestion. This is a very quiet area now with single houses on blocks, not numerous units squashed into the same size blocks. I believe having so many of these units together will reduce the value of my property and make it less attractive to families when I need to sell.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

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							-INFORM	1 <u>4(1)</u>
Name:	SANDRA	h f	LEO	Do	NLING		MANAG	
Postal ad	ddress:				EA	STUDOD	V	IC
							Postcode	3875
Phone n	umber: Home	-, -, -, -		Work:		Mobile:	•	
Email ad	Idress:				-	Fax:		
Permit De	etails:	U						
i					•			

Planning permit number: 91/2020/P, 92/2020/P, 93/2020/P, 95/2020/P, 94/2020/F
What has been proposed? The building of 10 Dupley units on 5 Lots
in Glendon Onve Eastwood.
What is the address to be used or developed?
Street Numbers: 4, 5, 8, 13 + 17 Glendon Drive Eashbox
Vic. 3875
Who has applied for the permit? Clement - Stone Town Planners on behalf
of the director of Public Housing.

Objection Details:

What are the reasons for your objection?
1) The development 15 not in Keeping with the character profile of the
area, given that no streets in Eastwood have more than 2.
Mutti dwelling siles.
2) The proposed development is not complimentary to existing housing
Stock.
3) The original purpose of the land has been changed from ongle
residences for low income families to current proposal
-thus setting a precedence.

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit? Hy husband & L reside very close to the dardopment being proposed. We chose to live in Eastwood because excellent planning of mostly single residences a open particiand spaces offe hich gives us a worderful quality of life In Researching before rehasin He were informed that the land in the current proposal was designated to be eingle dwellings only feel great concern for the change of single to multip Notaly do ne duellings, we also feel that this change would then set a meredana Figher density living in other areas of Each prvileged to reside in Eashwood and that feel IS most. that has gone to the great planning into feel reed to object the the current proposal have a great Ne Øf dud the higher densily living concerned that Ne ven keside Il change the streetscape forever a in no Lay compliment OUN -ex housing stock of which all take Such pride in Ne If you need more space for any part of this form please attach another sheet.

Signature:						
Name: SANDRA	DOWLING	1 E	MOWL (MG	- Da	ite: <u>20/</u> 4	1 2020

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	_ Date Received:	_/	_/

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273 Main Street (PO Bar, 1518) Bain solale Wic 3875 Website www.eastgippsiand.vio.gov.au Email feedback (eg.pps vio.gov.au Follow us.or Twitter @egac.

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Telephone (03) 5153 9509 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 686 AGN, 21 357 367 755

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in Sile. You can read what they mean on page 3.

27 422 2020 Your Details: NECONATION AND MARLENE Name: BARRY RWARD MANAGENT Postal address: VIC. STWOOD. Postcode Work: Phone number: Home: Mobile Email address: Fax Permit Details: Planning penmit number 9/h 2010/P × Dwellings on one cullotment. What has been proposed? 408 Glendon Dr. Eastwood LOT 10% What is the address to be used or developed? Who has applied for the permit? Dept. of Hearth and HUMAN Solvices DHHS

Objection Details:

What are the reasons for your an action ? (a) The development is not in keeping with the
Existing street scape and neighbourhood. D.H.H.S has ewnership of the romander
of blocks in Glandon Drive and already has simultaineously four other blocks
applying for the same planning permits for those, And local neighbours pelieve
the remaining blocks will be planned for similar duplex efailings in the
future, bared on the dubious and untimely (CORONA VIRUS RESTRICTIONS) Way D.H.H.S
have gove about this 93/1020/P) proposal planning officers would have to be
naive indeed to think that D.H.H.S is only planning to develope NOB sendar
Prive (and simultanearly NO 4, 5, 13 × 17 seperate applications) and the remaining block
Environment EVELY OWN: - LOUR 202, 205, 206, 207, 213, 215, 216, 217, 219. Where Alvert scape The East Gippsland Shire Council areas for details about you to collect rates, approve permits and licences, and run a range of community services. The information you
The East Gippstand Shire Council asks for details about you to collect rates, approve permits and ficences, and run a range of community services. The information you
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When information is given and Council will always by to nake sure your privacy is protected in the Milegy and Date Protector Act 2014 . Your may salk for more
informationational Connecting Provide State of the second
would Glendien Irwe house of this eventually have ned on a short 200m Street?

273 Mars Street (PC Box 1616) Baimsdale Vic 3875 Website Vic 4 eutrophoto vico position Emeri (Annual Control Control position Follow Leven Texter (Kegisti



Telephone, (03, 5165 9300) Fax: (03) 5153 9578 National Relay Service: 133 677 Resperts Information Line: 1300 516 566 AGN 21 957 957 935

How would you be affected by the granting of this permit? Increased vehicles in Glandon Drive
could make a short strack especially for children in the street if unsupervise
Heconomically disadiantaged " families occupy the dwellings,
they may fall into disrepair because of less maintenance, and as
could make a short stræt lipecially for children in the street if unsuperviser <u>If "economically disadremtaged</u> " formilies occupy the dwellings, <u>they may fall into disrepair because of less maintenance</u> , and as noticed in other DHHS properties in the local vicinity, property values
can suffer in the vicinity.
If you need more space for any part of this form please attach another sheet.

Signature BARR FORWARD 2) MARLERE FERMARD. Date: 27 1 04 1 2020 Name

Office Use Only:				
Objection Received by:	Date Received:	1	_/	
Planning afficer responsible:	Date Received:			

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crifed we are allowed by law, or to protect someone or processy. When allowed by law, or to protect someone or processy. When allowed and the frequencies of the some of the some your protected in line with the Frequencial Act 2014. Submey and the frequencies of the source of the so

From: SeamlessCMS@seamless.com.au Sent: Monday, 20 April 2020 8:09:45 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 20 Apr 2020 08:09 PM

Name	Carl Freshwater
Email address	
Postal address	Eastwood VIC 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	94/2020/P
What has been proposed?	10 units, 5 x 3 bedroom duplex units on 5 lots
What is the address to be used or developed?	Glendon Drive Eastwood, Lots 4,5,8,13 & 17
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	The proposed development is not complimentary to the existing housing stock. Further it does not keep with the Character profile of the area given that no streets in Eastwood have more than 2 multi dwelling sites.
	This will put downward housing pressure on existing dwelling valuations within the immediate area. I believe the social ramifications will impact the appeal to the estate for future potential buyers. This will effect our ability to draw on built up house equity as housing prices depreciate, it will also restrict our potential to refinance loans and drive prices up on general insurances. While Bushfires and Covid 19 will have an immediate impact to housing prices locally over the next 12-24 months. These plans have the potential to significantly impact current property prices over the long term which the local economy cannot afford.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

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Email address:			Fax:			
Phone number: Home:	Work	¢	Mobile:	(
·				Postcode	387	5
Postal address:	<u> </u>	EASTWOOD		EMENT		
Name: LEONARD A. HALL	۷	····	INFOSA			
			771	11' 79		

Permit Details:

Objection Details:

What are the reasons for your objection?
ITTLE development is NOT complimentary to the existing
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2) The original purpose of the land has been changed
From single residences to the current proposal
3) The development is not in keeping with the Character
profile of the over query that no streets in Eastwood
have more than 2 multi dwelling sites.
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273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How wo	uld you be a	iffected by	the granting of this pe	ermit?		l
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If you need more space for any part of this form please attach another sheet.

Signature: Name: LEONARD. A. HALL Date: Z

Office Use Only:	
Objection Received by:	Date Received:///
Planning officer responsible:	Date Received://

Privacy Statement

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93.2020.P 8 Glendon Redacted Objections

JUL15

Disruption

Glendon drive and the adjoining "The Backwater" street are a community of medium to high socio economic professionals from Business, Teaching, Nursing and the Building professions.

Inhabitants have created a respectable and high quality neighbourhood culture. This is a highly desirable address.

The disruption to this idyllic neighbourhood street vista and street scene of injecting HIGHLY CONCENTRATED crisis housing structures will be profound and ascetic values will plummet.

This huge development of at least 11 domicile structures and buildings is almost beyond comprehension.

Security. By day and particularly night apprehension of personal safety is clear.

We use the street and nearby walking tracks regularly and express concern that this free access will be compromised and rendered less safe.

The free movement of local's vehicles because of the high density of inmates in this concentrated street position will be unfair and was unanticipated.

Equity issue In Glendon Drive there are currently 10 houses of 23 Adults excluding children.

The adjoining "The Backwater" street some 200 metres from the proposed crisis centre address is a premier residential Bairnsdale address.

The proposed crisis buildings of 10 units and a crisis centre at the least will drastically alter the mix of middle to upper class professional residents by at 100% with the lower socio economic inmates coming in.

Therefore as a basic equity issue, why is this proposal so concentrated in one street and not spread over the whole Bairnsdale community?

High security walls and constant security personnel will render this premier address

as institutional, imposing and creating considerable apprehension and have a huge impact on health and wellbeing of residents in the area.

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

GHR

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only if we are allowed by law, or to protect someone or property.

Name: Darren	Hine	1	· ·
Postal address:	Song.	feild	
Vic	······································	• .	Postcode 3575
Phone number: Home:	Work:	Mobile	9:
Email address:		Fax:	
Permit Details:	~		
Planning permit number: 03	12020/P		•
What has been proposed?	Develop land for	- two di	Uellings
	· · · · · · · · · · · · · · · · · · ·		
What is the address to be used o <u>8</u> Glendon d	r developed?	· · · · · · · · · · · · · · · · · · ·	
Who has applied for the permit? $Clemen+$	Stone Town P	anners	
Objection Details:			
What are the reasons for your ob	jection?		
			·····
There is e	zight propertus	on this	street
to be deve	Kood. I Feel	16 house	es to be
used for.	OHHS residents	is to 1	nuch for

Privacy Statement INFORMATIO: The East Gippstand Shire Council asks for details about you to collect rates, approve permits and licences, and run a range procommunity services. The information you give to us on this form is used only for the reasons set out in the form and is not given to anybody else. Sometimes we may supply details about you to someone else, but

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2 2 MAY 2020

JUL15

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
The value of my land would decrease aroumaticly and a possibility of an increase in the crime rate in the area
increase vin the crime rate if the area

If you need more space for any part of this form please attach another sheet.

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Signature:	-	
Name: Darren	Hine	Date: 19 / 5 /2020

Office Use Only:	
Objection Received by:	Date Received:/
Planning officer responsible:	Date Received://

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IDEPIRATE. (UN) UTUU UNUU Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 888 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

EGSC

		<u>27_APR</u>	7971	
Name: Bill & Mary Je	hason		TION	
Postal address:	Eastwa	MANAGE	MENT	
			Postcode	
Phone number: Home:	Work: NA	Mobile:		
Email address:		Fax:	NA	

Permit Details:

Planning permit number: Application reference number 93/2020/P
What has been proposed? proposed Construction of two Dew
Duclungs
What is the address to be used or developed? 3 Greenpor Deline
EASTWOOD, 3875
Who has applied for the permit? <u>CLEMENT-STONE</u> TOWN PLANNERS

Objection Details:

What are the reasons for your objection?
ITTRE development is NOT complimentary to the existing
housing stock.
2) The obiginal purpose of the land has been changed
from single residences to the current proposal
3) The development is not in keeping with the Character
profile of the aver given that no streets in Eastwood
have more than 2 multi dwelling sites.

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

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Signature: 1202 Date: 2 1 1 Name: ZA. boson

Office Use Only:			
Objection Received by:	Date Received:		
Planning officer responsible:	Date Received:	/	

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Reasons for my Objection

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- a. The proposed development is not in keeping with the character profile of the area, given that no streets in Eastwood have more than two multi dwelling sites.
- b. The proposed development is not complementary to the existing housing stock.
- c. The original purpose of the land has been changed from single residences for low income families to the current proposal.

How I would be affected

The proposed development will adversely impact on the social composition and on my personal enjoyment of living in Eastwood, for the following reasons.

- a. Glendon drive is a residential street of about two hundred metres in length. The proposed development in this small street will create a type of neighbourhood that historically used to be called "ghetto".
- b. I do not object to the spirit of providing assistance to homeless people or to families in crisis.
 I do, however, object to a plan that the residents of the surrounding properties ought to carry the social burden of providing such assistance. In the interests of fairness, such burden should be spread more equitably across the whole of Bairnsdale, or of East Gippsland.
- c. Even before any building work has commenced, the property values in this area have already dropped by 20%.
- d. This drop in property value is likely to spread to other residential properties within an estimated radius of at least three hundred meters. To date, no compensation has been offered to property owners directly impacted on by this planned development.
- e. I am concerned about security implications of the proposed plan on myself and my immediate neighbourhood. At greatest risk will be aged residents and families with children who live in the surrounding properties on Glendon Drive and on Flinns Road.
- f. No Social Impact Statement, as per *East Gippsland Planning Scheme*, has been distributed to residents who are directly impacted by the proposed planning. Such impact statement needs to be provided as a matter of urgency.
- g. The proposed developments for Glendon Drive are only the tip of the iceberg. The proposed development for the land on 4, 5, 8, 13 and 17 Glendon Drive excludes what is being planned for the land on number 3 Glendon Drive. This is located directly behind my property. Current knowledge has it that there is a plan to build a high-security crisis centre, which has not yet been declared to residents. Withholding information on what is being proposed for the whole of Glendon Drive smacks of lack of transparency.
- h. The proposed planning permit also flies in the face of the Mission Statement of the 2017-2021 Council Plan (Year 2, Revised March 2018). East Gippsland Shire Council endeavours to make East Gippsland "the most liveable region in Australia. A place of natural beauty, enviable lifestyles, and opportunities". The proposed development, if successful, would exclude me and my neighbours from the benefits of this mission statement.

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East Gippsland Shire Council



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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

ecsc

		2 3 7.128 2320	
Name: Kellie Johnston		INFORMATION	_
Postal address:	Bairr	nsdale MANAGEMENT	
		Postcode 3 8 7	5
Phone number: Home:	Work:	Mobile:	
Email address:		Fax:	
Permit Details:		-92/2020/P	ì
Planning permit number: 🥦 9	14 2020 P - 95/201	29P-93/2020P-91/2020P	
What has been proposed?	nstruction of 11	o units	
What is the address to be used or	developed? 4,5,8, 1?	3 E 17 Glendon drive	
Eastwood			
Who has applied for the permit?	Clement - Stone	town planners.	
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Objection Details:			
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* The original purpose of this long has been
changed from single residences for low income families
to this current multi have proposal.
* Other people in air one a have had multidwellings rejected

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If you need more space for any part of this form please attach another sheet.

Signature:			 			
Name:	Ikellie	Johnston		 Date: 1	5141	20

Office Use Only:			
Objection Received by:	Date Received:	_/	/
Planning officer responsible:	Date Received:	_/	/

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LIS WANT SUCOL (FU DUA 1010) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

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			3**
Name: CHEREN +	Shine KADO	INEORNAT	
Postal address:		MANAGEM	
EAST	have		Postcode 3875
Phone number: Home:	Work:	Mobile	:
Email address:		Fax:	······································
Permit Details:			
Planning permit number: Applica	ation reference	number 9	3/2020/P
What has been proposed? prop	osen construct	tion of two	o Dew
Dwellings		·····	
What is the address to be used or o	leveloped? S GLC	noon Drive	
EASTWOOD, 3875			·····
	· 		
Who has applied for the permit?	CLEMENT - STO	NE TOWN P	Lanners
Objection Details:	- ·		
What are the reasons for your object	ction?		
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How would you be a	affected by the	e granting of this per	nit?			
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If you need more space for any part of this form please attach another sheet.

Signature: Date: S 80 Name:

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	_ Date Received://

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Disruption

, **S**.

Glendon drive and the adjoining "The Backwater" street are a community of medium to high socio economic professionals from Business, Teaching, Nursing and the Building professions.

Inhabitants have created a respectable and high quality neighbourhood culture. This is a highly desirable address.

The disruption to this idyllic neighbourhood street vista and street scene of injecting HIGHLY CONCENTRATED crisis housing structures will be profound and ascetic values will plummet.

This huge development of at least 11 domicile structures and buildings is almost beyond comprehension.

Security. By day and particularly night apprehension of personal safety is clear.

We use the street and nearby walking tracks regularly and express concern that this free access will be compromised and rendered less safe.

The free movement of local's vehicles because of the high density of inmates in this concentrated street position will be unfair and was unanticipated.

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The proposed crisis buildings of 10 units and a crisis centre at the least will drastically alter the mix of middle to upper class professional residents by at 100% with the lower socio economic inmates coming in.

Therefore as a basic equity issue, why is this proposal so concentrated in one street and not spread over the whole Baimsdale community?

High security walls and constant security personnel will render this premier address

as institutional, imposing and creating considerable apprehension and have a huge impact on health and wellbeing of residents in the area.

From: SeamlessCMS@seamless.com.au Sent: Thursday, 16 April 2020 4:47:59 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 04:47 PM Name Justin Kellow **Email address** Postal address Eastwood Vic 3875 Home Work Mobile Fax Planning permit number 91/2020/P What has been Building of 10 Units proposed? What is the address to be 4,5,8,13 & 17 Glendon Drive Eastwood used or developed? Who has applied for the **Clement-Stone Town Planners** permit? The proposed development is not complimentary to the current area What are the reasons for and is not keeping with the profile of the area in that no streets have your objection? more than 2 multi dwelling sites.

How would you be
affected by the granting
of this permit?This project would have social and financial impacts on the direct
neighborhood and for the wider Eastwood area with a precedent set for
other future multi dwelling sites to proceed.Additional informationNo file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

2 2 APR 2020

Name: JOHN + HELEN LE	ACH	MANAGEMENT		
Postal address:		EASTWOOD VIC		
· · · · · · · · · · · · · · · · · · ·			Postcode 3875	
Phone number: Home:	Work: 🗥	i/A	Mobile:	
Email address:		1	Fax:	
Permit Details:			94/2020/19 5	
Planning permit number: $91/2020/P$.	-92/202	0/P,- 93/20	20/P-95/2020/P +	
What has been proposed? 10 UN(T3 -	5X3 B	EBROOM DU	PLEX UNITS ON	
5 6075	·			
What is the address to be used or developed	? LOTS 4	4,58,13	+17 GEENDON	
DRIVE EASTWOOD		· · · ·		
Who has applied for the permit? CLEM.	ENT-ST	ONE TOWN	PLANNERS ON	
BEHALF OF DIRECTOR	OF PUBL	IC HOUSAN	5	
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Objection Details:

What are the reasons for your objection?
1. The development is not in Keeping musi the characte profile
of the area given that no streets in Eastwood have more
then 2 multi dwelling sites.
2. The proposed divelopment is not complimentary to the
existing having stock.
3. The original purpose of the land has been changed
from single residences for low income for elles to
the current proposal

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How would you be affected by the granting of this permit? least 6 peonle at 60 20 (Ås HEZEN Has 1 me el robbed 0 ago a

If you need more space for any part of this form please attach another sheet.

۸ Signature: Date: 2/1 4 12020 LEACH Name: HELEN LEACH JOHN

Office Use Only:	·
Objection Received by:	Date Received://
Planning officer responsible:	Date Received://

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From: Carol McAuliffe [] Sent: Wednesday, 22 April 2020 7:33:26 AM To: Feedback Address For Web Page Subject: Planning permit objection

Hi

I wish to lodge the attached planning permit

Kind regards

Carol McAuliffe

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Postal address:				
Eastwood	10		Postcode	3875
Phone number: Home:	Work:	Mobile		
Email address:	-	Fax:		
Permit Details:	-0		95/2	9/06012
Planning permit number: 90/2<	alle gilacaole gala	020/19 93/2020		
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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit? a

If you need more space for any part of this form please attach another sheet.

Signature: Name: Date: 17/ 4120

Office Use Only:	
Objection Received by:	Date Received:/ /
Planning officer responsible:	Date Received: / /

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2 8 APR 2020

INFORMATION

MANAGEMENT

Postcode

8

5

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

 Your Details:
 2

 Name:
 ALAN
 FAYE
 M°Cormack
 INFO

 Postal address:
 MAN

 Phone number: Home:
 Work:
 Mobile: G

 Email address:
 Fax:

Permit Details:

Planning permit number:
What has been proposed? 10 - SX3 DUPLEX UNITS
What is the address to be used or developed? 5 Lots $4 \cdot 58 \cdot 13 \cdot 17$
GLENDON DRIVE ENSTWOOD
Who has applied for the permit? <u>CLEMENT - STONE TOWN PLANNER</u>
ON BEHALF OF DIRECTUR OF PUBLIC HOUSING

Objection Details:

THE PROPOSED DEVEOPMENT IS NOT
COMPLIMENTARY TO NOTHE EXISTING HOUSING STOCK
SUBERY THIS DOES NOT MAKE LOGICAL SEASE
TO HAVE 10 UNITS IN ONE STREET OF
GLENDON DRIVE ? WHAT ADDOT THE
EXTRA MOVEMENT IN THE AREA? ANY ONE HAD A THOMAN ABOUT THAT?

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
THE AMOUNT OF COMMUNITY HOUSING IN ONE
STREET OF. EASTNOOD GLENDON DRIVE
f you need mote space for any part of this form please attach another sheet.
Signature:
Name: ALAN M'CORMACK Date: 16/9/2020

Office Use Only:			
Objection Received by:	 Date Received:	/	_/
Planning officer responsible:	Date Received:	/	_/

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

EGSC

Tour Details.			2 0 APR 7020		
Name: CHRISTO	PHER NASH		INFORMATION		
Postal address:			MANAGEMENT		
EABTIN	KOOD	· ·	Postcode 3785		
Phone number: Home:	Work:	· []	Mobile:		
Email address:			Fax:		
· · · -	1/92/93/94/95 10 UNITS - 5X IN GLENDON DE	/2020/Pi 3 BEDROOM EASTWOOD, 10	DURIOX UNITS 154,5,8,13\$17		
What is the address to be use LOTS 4, 5, 8,	13 \$ 17, Gut	NDON DRIVE,	EABTWOOD 3875		
Who has applied for the perm	iit? CLEMENT - STOI	NE JONN F	LANNERS		
ON BEHALF (OF THE DREGTOR	2 OF PUBLIC	HOUSING		
Objection Datailes					

Objection Details:

What are the reasons for your objection?
I . THE DEVELOPMENT IS NOT IN KEEPING WITH THE CHARACTER
PROFILE OF THE AREA - THERE ARE NO STREETS IN BASTWOOD
WITH MORE THAN 2 MULTI DWELLING STES
2. THE PROPOSED DEVELOPMENT IS NOT COMPUMENTARY TO
THE EXISTING HOUSING
3. THE CRIGINAL RUADSE OF THE LAND HAS BEEN CHANGED
FROM SINGLE RESIDENCES FOR LOW INCOME FAMILIES TO
THE CURRENT PROPOSAL.

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How wo	uld you be affected	by the granting	of this per	mit?			•	
*	ADDITIONAL	TRAFIC	IN	Acer	-			
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	CAUSING C	engesnen	AND	HIGHOR	WILL OF	DANS	ER	
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	To comme	RUA	USE	OF	PLOPERTIE	es on	THE 5	tors.
	IN GUN	DON AVE	. EAS	TWOOD	•	-		
*	24 Hour	ACTIVIT	M IN	AREA	PROMPT	to B	y the	
	PROPOSED	USE	8F	THE	Phopher	ies .		

If you need more space for any part of this form please attach another sheet.

16, 4, 2020

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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when information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au

From: Trudi Stubbs [TrudiS@egipps.vic.gov.au] on behalf of Planning Unit Administration
Sent: Monday, 11 May 2020 7:44:59 AM
To: Planning Unit Administration
Subject: 93/2020/P Objection to Planning Permit Submitted

Trudi Stubbs Team Leader Land Use Administration

Please consider the environment before printing this e-mail.

From: SeamlessCMS@seamless.com.au <SeamlessCMS@seamless.com.au> Sent: Monday, 27 April 2020 7:03 PM To: Planning Department <Planning@egipps.vic.gov.au> Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 27 Apr 2020 07:02 PM

Name	Jessie Ng
Email address	
Postal address	
Home	
Work	
Mobile	
Fax	
Planning permit number	93/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	8 Glendon Drive Eastwood Lot 203 PS542289
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is not beneficial to the neighbouring residents or the tenants themselves 4> Current cluster of public housing on Gree Kulluk Pl is frequently left unkempt 5> Children living in public housing on Gree Kulluk Pl are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and increases social impact across the neighbourhood.

How would
you be1> Clustering of emergency housing in one street is likely to affect the safety of the
neighbourhood. 2> There has been multiple episodes of vandalism and theft likely
affected by the
granting of thisresulting from public housing being clustered on Gree Kulluk Pl and concerns about
crime will rise if the permit is granted, potentially placing the community on surrounding
streets at higher risk.

Additional No file attached

From: Trudi Stubbs [TrudiS@egipps.vic.gov.au] on behalf of Planning Unit Administration
Sent: Monday, 11 May 2020 7:31:15 AM
To: Planning Unit Administration
Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 27 Apr 2020 06:59 PM

Name	Poh Ng
Email address	
Postal address	
Home	
Work	
Mobile	
Fax	
Planning permit number	93/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	8 Glendon Drive Eastwood Lot 203 PS542289
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is not beneficial to the neighbouring residents or the tenants themselves 4> Current cluster of public housing on Gree Kulluk Pl is frequently left unkempt 5> Children living in public housing on Gree Kulluk Pl are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and increases social impact across the neighbourhood.
-	1> Clustering of emergency housing in one street is likely to affect the safety of the neighbourhood. 2> There has been multiple episodes of vandalism and theft likely resulting from public housing being clustered on Gree Kulluk PI and concerns about crime will rise if the permit is granted, potentially placing the community on surrounding streets at higher risk.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Ruth Rye			
Postal address:	EASTWO	000	
/	EGSC		Postcode 3875
Phone number: Home:	Work:	Mobile:	
Email address:	2 3 APR 2020	Fax:	
Permit Details:	INFORMATION MANACEMENT		
Planning permit number: 9%2020 /P, 9//20	2018 92/202018, 4	93/2020/p. 9	14/2020/ 95/2020/
Planning permit number: 90/2020 /P, 91/20 What has been proposed?	5 - 5 x 3 bac	droom a	uplet units
on 5 lots in Clandon	DRIVE EAS	TWOOD	3875
What is the address to be used or developed			Gelendon
Drive Eastwood 38	75	·	
		N 100 F	
Who has applied for the permit? <u>Clem</u> Public Housing	ent-Stone T	own Pla	inners for

Objection Details:

What are the reasons for your objection? development 15 not Keeping . that no streets the charac given cirea 01 cn. masi mol 10 11 monta ζ n of ъ 0 has the land Deen SINA one

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-How would you be affected by the granting of this permit?
As I refired to a quiet + secure area. As
I had emergeoncy short term readence close by
in South Eastern Suburb in Melbourne. A had
a few incidents near myhome with residente
of these housing situations and do not wan;
to live through incidents again a TVOF to
Say that the value of my property would
decrease with this type of development going
ahead in this estate

If you need more space for any part of this form please attach another sheet.

Signature:	
Name: Ruth Pye	Date: 2014 12020

	•
Office Use Only:	
Objection Received by:	Date Received:/ //
Planning officer responsible:	Date Received: / /

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

22

Name: SUSAN QUIGU	54.		
Postal address:			•
EASTWOOD			Postcode 3875
Phone number: Home:	Work:	Mobile:	
Email address:	с н	Fax:	
Permit Details:			``
Planning permit number: 93 2020	ρ.		
What has been proposed?	· - · 1	Jex 1	units on
5 lots in Glendon	Drive Eastwood	· · · · · · · · · · · · · · · · · · ·	
What is the address to be used or developed?			·
4, 5, 8, 13 = 17 6	lendon Due East	twood	•
· · · · · · · · · · · · · · · · · · ·			
Who has applied for the permit?	nt-stone Town P	haver	B.
Objection Details:			EGSC
			7 7 APR 2020
What are the reasons for your objection?		•	INFORMATION
	levelopmont becau		
Xets a precedent	for multiduelli	25 o/)
	which has not b		
	It will encourage		. 0.
demographic of	resters which will	be d	letrimental
to the area	as we know it	tv	nis isa
quiet area at	the moment. p	Jot f	Br long !
The sentor of care		his do	issuid

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-3



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
It will lower prices of houses inthis area It is well documented that rentals encourage more it interest persons.
It is well documented that rentals encourage
more it interest persons.
- I would feel casefe being a single woman on my own I actually back on to the reserve
_ on my own I actually back on to the reserve
and can't imagine feeling safe during the night
· 0 0 1 0 0

If you need more space for any part of this form please attach another sheet.

Signature:		
Name:	SULAN QUIGUEY	Date: 16/4/20

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:		_/

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: Carmel Quint	ton				
Postal address:		Eastwoor	<u>+</u>		
(J .			Postcode	3875
Phone number: Home: (Work:		Mobile:		A
Email address:	· · · · · · · · · · · · · · · · · · ·		Fax:	,	
Permit Details:					
Planning permit number: 91/2020/P What has been proposed? To bui duplex units on	la jo uni	<u>93 2020 P-</u> 5 - 5 × 3	-95 /2 bed	020/9-9 100m	"4 2=20/P
What is the address to be used or develo		on Drive.	East	wood .	
_No's - 4, 5, 8, 13 + 1					
Who has applied for the permit?	ement-Sto	he Town		EGSC	
Who has applied for the permit? <u>Cle</u>	ement-Sto	ne Town		2 2 APR	2020
		ne Town		2 2 APR	2020
Objection Details: What are the reasons for your objection? The proposed develop	pment is			2 2 APR INFORMA MANAGEN	2020 TION 1ENT
Objection Details: What are the reasons for your objection? <u>The Proposed develo</u>	pment is ite. pment we	in no wa	unsig	22 APR INFORMA MANAGEN Suitable	2020 TION 1ENT
Objection Details: What are the reasons for your objection? <u>The proposed develo</u> <u>for the proposed s</u> <u>The proposed develo</u>	pment is ite. pment we	in no wa	unsig	22 APR INFORMA MANAGEN Suitable	2020 TION 1ENT
Objection Details: What are the reasons for your objection? <u>The proposed develo</u> <u>for the proposed s</u> <u>The proposed develo</u>	pment is ite. pment we	in no wa	unsig	22 APR INFORMA MANAGEN Suitable	2020 TION 1ENT

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East Gippsland Shire Council

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How would you be affected by the granting of this permit?
My husband al furchased out our home in
Eastwood & years ago due to the appealing look
Fastwood & years ago due to the appealing look, paths + close to shops. But mostly it felt safe
+ Secure to us.
1 am now a widow in my To's and the
lam now a widow in my To's and the proposed development would eliminate that
secure/ safe feeling in a huge way
1 strongly object to this proposal.

If you need more space for any part of this form please attach another sheet.

Signature: Carmel Quinton Date: 201 4 1 2020 Name:

Office Use Only:			
Objection Received by:	 Date Received:	_/	_/
Planning officer responsible:	 Date Received:	_/	_/

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From: SeamlessCMS@seamless.com.au Sent: Thursday, 16 April 2020 5:26:16 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 05:26 PM

Name Jackson Rankin Email address Postal address :, Eastwood Home Work Mobile Fax Planning permit 4,5,8,13 & 17 Glendon Drive, Eastwood number What has been 5 X 3 Bedroom Duplex Units on 5 Lots proposed? What is the address to be Stated Above used or developed? Who has applied for the permit? Having these houses so close to us will directly impact property prices in neighbouring areas, including ours. the proposed planning does not keep with What are the the character profile of the area and its not complimenting to the existing reasons for housing in the area. Such a dense population of low income housing is a horrible your objection? idea by any means. The approval of such will effect us financially, as well as future safety concerns for families and neighbours. As stated previously, we will be financially affected with our property value decreasing. i have further concerns for our safety with these houses so close, and How would you with direct access to our to our street through the reserve. I also have great be affected by concerns for our belongings we have worked extremely hard for. Unless you have been living with you head in the sand you know these points are valid. the granting of this permit? How would you like this proposal to be so close to you and your families home? Please Note: I know there is a need for housing like this, but why in gods name would you put more than 1 in a street like that? Additional No file attached information

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

egsc Your Details: 77 APR 2920 Name: DENISE + ARTHUR ROBERTS INFORMATION Postal address: VICTORIA BAIRNSDALE MANALINENT Postcode VICTORIA 5 EAST WOOD Phone number: Home: 5153 Work: Mobile: Email address: Fax: Permit Details: Planning permit number: What has been proposed? BUILD IOUNITS (DUPLEX 5 X 3 BEDROOM UNITS ON FIVE LOFF GLENDON DRIVE EASTWOOD. STREET NUMBERS OF LOTS 4,5,8, What is the address to be used or developed? LOTS 4, 5 8, 13 17 GLENDON DRIVE EASTWOOD VICTORIA 3875. Who has applied for the permit? CLEMENT-STONE TOWN PLANNERS ON BEHALF DE THE DIRECTOR OF PUBLIC HOUSING Objection Details: What are the reasons for your objection? ______ 80 and 84 years of

tastwood from Nucholson years ago as years out of lown after spending f.ind suiled_ OWN Some which s suil and and rection 4 ecausi arid about pregenal NUN

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How would you be affected by the granting of this permit? 2/2 both track significant
health problems. Arthur has macular degeneration and al ready
has lost sight completely in one eye. His poor healty is aggrainated
by heart to roblems a a recent dragnosis of diabetes. Cy own
health is not good. And to severe pheumatoid on thinkis I rely
on the use of a malber and at ling is a whilehair. In recent years
I was diagnosed with a severy heart problem.
The poregoing is to help you under cland the need we
have to walk outdoors. after having many years of good healthy
we wave become uncomfident and incours outdoons. He fear
having so many people moving into our nighbourhoods and are
any ious for our safety. If you need more space for any part of this form please attach another sheet.

Signature: Date: 23 / 4 / 2020 Name:

Arthur Roberts + Derive Roberts This objection relates to each block in Lots 4, 5,8, 13 - 14.

Office Use Only:			
Objection Received by:	Date Received:	/	_/
Planning officer responsible:	Date Received:	_/	_/

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:		27 1414 2320		
			SMATION	
Name: Barbara Rogalla		MANAULMENT		
Postal address:	-			
EAST WOOD	······		Postcode 3 P 7 5	
Phone number: Home:	Work:	Mobile):	
Email address:		Fax:		
	ENT OF TH DO JWELLIN			
What is the address to be used or developed		ON DRIU	<u>ک</u>	
	ENT - CTINI	TOWN	PLANNING	
Who has applied for the permit? <u>C</u> LEN				

Objection Details:

What are the reasons for your objection?	
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Reasons for my Objection

¥.

- a. The proposed development is not in keeping with the character profile of the area, given that no streets in Eastwood have more than two multi dwelling sites.
- b. The proposed development is not complementary to the existing housing stock.
- c. The original purpose of the land has been changed from single residences for low income families to the current proposal.

How I would be affected

The proposed development will adversely impact on the social composition and on my personal enjoyment of living in Eastwood, for the following reasons.

- a. Glendon drive is a residential street of about two hundred metres in length. The proposed development in this small street will create a type of neighbourhood that historically used to be called "ghetto".
- b. I do not object to the spirit of providing assistance to homeless people or to families in crisis. I do, however, object to a plan that the residents of the surrounding properties ought to carry the social burden of providing such assistance. In the interests of fairness, such burden should be spread more equitably across the whole of Bairnsdale, or of East Gippsland.
- c. Even before any building work has commenced, the property values in this area have already dropped by 20%.
- d. This drop in property value is likely to spread to other residential properties within an estimated radius of at least three hundred meters. To date, no compensation has been offered to property owners directly impacted on by this planned development.
- e. I am concerned about security implications of the proposed plan on myself and my immediate neighbourhood. At greatest risk will be aged residents and families with children who live in the surrounding properties on Glendon Drive and on Flinns Road.
- f. No Social Impact Statement, as per *East Gippsland Planning Scheme*, has been distributed to residents who are directly impacted by the proposed planning. Such impact statement needs to be provided as a matter of urgency.
- g. The proposed developments for Glendon Drive are only the tip of the iceberg. The proposed development for the land on 4, 5, 8, 13 and 17 Glendon Drive excludes what is being planned for the land on number 3 Glendon Drive. This is located directly behind my property. Current knowledge has it that there is a plan to build a high-security crisis centre, which has not yet been declared to residents. Withholding information on what is being proposed for the whole of Glendon Drive smacks of lack of transparency.
- h. The proposed planning permit also flies in the face of the Mission Statement of the 2017-2021 Council Plan (Year 2, Revised March 2018). East Gippsland Shire Council endeavours to make East Gippsland "the most liveable region in Australia. A place of natural beauty, enviable lifestyles, and opportunities". The proposed development, if successful, would exclude me and my neighbours from the benefits of this mission statement.



Objections. Planning Permit (93/2020/P).

Glendon Drive Eastwood.

(a) This proposed development by the DEPT. of HEALTH and HUMAN SERVICES is not in keeping with the character and existing streetscape, of this short 200 meter street, which is used by residents who live in THE BACKWATER and their families and friends as well as those wanting to get to the Backwater walking track or river.

Glendon Drive currently has eight (8) existing single dwellings :- Nos.!,2, 9, 10,11, 18, 19,20.

DHHS has the remaining 12 undeveloped blocks :- Nos.3, 4, 5, 6, 7, 8,12, 13, 14, 15, 16, & 17. Therefore 60% of Glendon Drive (200 meters long) could be occupied by 24 dwellings (Duplexes) which the concerned residents and neighbours feel is definitely not in character with the overall Eastwood neighbourhood, except for the Eastwood Retirement Village, which of course was purpose built with all required facilities included. If Glendon Drive is eventually developed by DHHS in the manner mentioned (12 Duplexes = 24 dwellings in a street of 200 meters) would council require proportional facilities to a small Retirement Village ?

(b) Concerningly, The Dept. of Health and Human Services (DHHS) has applied for four (4) other identical duplex dwellings simultaeously:- (91/2020/P), (92/2020/P), (94/2020/P), (95/2020/P), which seem to have been somewhat strategically placed amongst the remainder of the OHHS undeveloped blocks so as to not have any immediate side neighbours.

(c) Also concerningly an earlier letter from the DHHS dated 30/10/2019 advising of a "family housing" development occupying three (3) adjoining blocks 12, 14 &16, seems to have been "shelved" while the present Permit applications are in progress. Local concerned residents who expressed written concerns to DHHS have to this date have had no replies.

(d) In view of the current COVID-19 and subsequent "social restrictions" and the concerning time frame in which this development was advised to the immediate neighbours (Thursday before Easter,9/4/20) we have little confidence in the "transparency" of how DHHS has allowed concerned residents in the area the opportunity to gather and discuss and exchange information in any sort of forum that would allow us to feel confident we were being given a "fair and Just" amount of time to present our concerns properly. For example was the original planning of "Eastwood" designed for clusters of Duplex dwellings as a prerequisite of council planners? Were there "covenants" on any areas that disallowed clusters of Duplexes in certain areas ie. The south side of "The Backwater" where three attempts to subdivide, have recently ended up in VCAT, at much expense to all concerned.

(e) Several concerned residents are not aware of the East Gippsland Planning schemes that relate to "Proposals for new developments" and social impact guidelines and therefore don't know if they can validly object on these grounds.

(e) If this development were to be granted permission to proceed I feel the neighbouring property values would suffer depreciation and the "ripple effect" would be likewise felt into adjoining streets in

the vicinity.

(e) Increased vehicle traffic and children's outdoor activity in the street, particularly if not parentally supervised could increase risk of injury.

Wayne Stagg

,Eastwood.3875.

From: wayne stagg [] Sent: Sunday, 26 April 2020 3:04:19 PM To: Feedback Address For Web Page Subject: Glendon Drive Eastwood planning permit OBJECTION

Pleas find attached my objections to this development Wayne Stagg

Eastwood.3875. M. W.





Virus-free. www.avg.com

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: JAN & JENNI STAN	NIFORTH			
Postal address:				
EASTWOOD			Postcode	3875
Phone number: Home:	Work:	Mobile:		
Email address:		Fax:		
Permit Details:				
Planning permit number: Nog 91,92,0	13,94,95/2020/P			
What has been proposed? <u>5 X 3 be</u> -Clendon	droom duplex units Drive, Eastwood.		iots in	
What is the address to be used or develope	Eastwood 38		don Dri	<u>ve</u>
Who has applied for the permit? <u>Cleme</u>	ent-Stone Town Pla	inners	· · · · · · · · · · · · · · · · · · ·	
Objection Details:	1. "			
What are the reasons for your objection?				
See	attached sheets			
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How would you be affected by the granting of this permit?	See attoched sheet
	· · · · · · · · · · · · · · · · · · ·
	· · · · ·
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If you need more space for any part of this form please attach another sheet.

Signature:		_	
Name:	Jennifer Staniforth	IAN STANIFORTH	Date: 27 /04 / 2020

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Office Use Only:			
Objection Received by:	Date Received:/	' /	
Planning officer responsible:	Date Received:/	/ <u> </u>	

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carpet layers, tilers and police etc) periodically visiting one or more of those 10 dwellings and also very young unsupervised children playing in the street, thus further obstructing passage through to Bairnsdale.

We believe perhaps one Duplex could be absorbed within the surrounding housing 'picture'. Possibly two, particularly if they are on opposite sides of the road and opposite ends of Glendon Drive, but 5 duplexes will become a visual feature/eyesore and detract from the amenity of the area and increases the housing density beyond residents reasonable expectations.

As stated in the reason for objection the proposed development of 5 duplex blocks will affect the amenity of the area in terms of:

a) Traffic

9

- b) Noise
- c) Appearance
- d) Reasonable expectations of development occurring in the immediate area.
- e) Restricted passage for motor vehicles

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I M Staniforth.

27/04/2020

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1 J A Staniforth

27/04/2020

Possible Letter to the East Gippsland Town Planner

I am concerned about the timing of this planning application and wonder if it satisfies the planning laws in that, due to restrictions of movement imposed by the State Government: -

- 1. The proposals have not been visible to all those affected as passage along that street has been severely diminished due to travel restrictions.
- 2. There has been no social interaction during the time that the proposals have been advertised thus an awareness of the proposals has not be communicated by word of mouth to affected parties.
- 3. The community have been denied the opportunity to meet and discuss the proposals as was possible in the past with proposals, three times rejected by VCAT, relating to 3 applications to build 2 dwellings on each of three blocks in the nearby Backwater.

Surely the planning laws require people to have the opportunity to be informed and due to the Conavirus this has not happened.

Finally, please note that in our objections we have pointed out some glaring errors in the submissions all which make the location of these units more attractive than they would be in reality. We have not had the time, nor do we have the town planning knowledge to examine all aspects of these applications but since there are some simple basic details incorrect, we believe the rest of the submission needs questioning and examining by someone with the necessary town planning knowledge – yourself, perhaps?

The Town Planner

East Gippsland Shire

27/04/2020

Dear Sir

Re : Planning permit Applications Nos. 91,92,93,94,95/2020/P

I am concerned about the timing of this planning application and wonder if it satisfies the planning laws in that, due to restrictions of movement imposed by the State Government: -

- 1. The proposals have not been visible to all those affected as passage along that street has been severely diminished due to travel restrictions.
- 2. There has been no social interaction during the time that the proposals have been advertised thus an awareness of the proposals has not be communicated by word of mouth to affected parties.
- 3. The community have been denied the opportunity to meet and discuss the proposals as was possible in the past with proposals, three times rejected by VCAT, relating to 3 applications to build 2 dwellings on each of three blocks in the nearby Backwater.

Surely the planning laws require people to have the opportunity to be informed and due to the Corona Virus this has not happened.

Additionally, please note that in our objections we have pointed out some glaring errors in the submissions all which make the location of these units more attractive than they would be in reality. I have not had the time, nor do I have the town planning knowledge to examine all aspects of these applications to determine if there are further inaccuracies, but since there are some simple basic details incorrect, I believe the rest of the submission needs questioning and examining by someone with the necessary town planning knowledge – yourself, perhaps?

Yours faithfully

I M Staniforth

egsc

2 6 APR 2920 INFORMATION MANAGEMENT

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details: 20 APR 2020 Name: eter <u>(ew</u>iv 2 **INFORMATION** MANAGEMENT Postal address: Postcode zastwoo \mathcal{O} Work: Mobile: Phone number: Home: Email address: Fax: Permit Details: 1020 2020 Planning permit number: 9 2020 What has been proposed? UY What is the address to be used or developed? 04 Who has applied for the permit? $\,\mathbb{C}\,$ anners isir bn **Objection Details:** What are the reasons for your objection νď 0 0D QY 0X1 Ń na C oS セヒイ oSa \cap ۲ 0 0055 e;

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How would you be affected by the granting of this permit? Multiduelling sites will cause realestate
prices to drop.
Bacquater residents will experience
Queater traffic in Glendon Drive Single residences would not produce
this problem,
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If you need more space for any part of this form please attach another sheet.

ĥ Signature::: Date: 15/04/2020 Name: New

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Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	_ Date Received:	_/	_/

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

				EGSC			
Name:	KERRY	WEBSOAN	J.	2 8 APR 293	<u> </u>		
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Planning	permit number:	91/92/93/94/	95/09/140	+ 141 /2020			
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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit? WHEN WE PURCHASED AND
BUILT OUR HOME AT 7 BIRCH COURT (THE WALLLATION INCORPECTIV LIST OUR
PEOPERTY AS VALANT) WE WEEE WOEE THE IMPESSION THAT THE SUBJECT
LOTS WERE TO BE WED TO ARTELD! WOINIAWAL HOMES USING A GROUP SUF BUILD
MODEL. THAT WOULD HAVE GIVEN WE US THE HOME ASTONIAL OUR
POPERTY AT THE BEAK, WHITE THE PROPOSAL THIS COULD DOUBLE.
THE STANDARD AND DENSITY OF DEVELOIMENT IS NOT IN TEEPING
WITH THE NEIGHBOURHOOD AND MAY NOWE AN IMPACT ON THE
HUEROILITY AND VALUE OF OUR PROPERTY.

If you need more space for any part of this form please attach another sheet.

Signature: Websdde 261 20. Name: Date: Serry

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Rick & Nicole Arnold					
Postal address:					
Eastwood			Postcode	3 8	7 5
Phone number: Home: (Work: Mobile: (4.9.4 -	
Email address		Fax:			
Permit Details:					
Planning permit number: 91/2020/P	92/2020/P 93/2020/P 94	/2020/P 95/2020/P			
What has been proposed? Developm	ent of land for 2 dwellings X 5				
				_	
What is the address to be used or de	veloped? 4-lot 201 Glendon	Drive Eastwood, 5-I	ot 218 Glenc	lon D	rive
Eastwood, 8-lot 203 Glendon Drive I	Eastwood, 13-lot 214 Glendo	on Drive Eastwood,			
17-lot 212 Glendon Drive Eastwood				_	
Who has applied for the permit? Clen	nent-Stone Town Planners				
					_
Objection Details:					
What are the reasons for your object	ion?				
1. Increase in traffic					

2. The potential for more dwellings for similar purpose

3. Decrease in market value of our property

4. Increase in noise levels

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If you need more space for any part of this form please attach another sheet.

Signature: NICOLE ARNOLD. Date: 23/04/2020 RICK ARNOLD Name:

Office Use Only:			
Objection Received by:	Date Received:	1	_/
Planning officer responsible:	Date Received:	1	1

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When information is given out, Council will always try to make sure your privacy is protected in line with the Privacy and Data Protection Act 2014. You may ask for more

Good afternoon,

Please find attached our objection to a proposed planning permit. Thank you.

Kind Regards,

Rick and Nicole Arnold

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Telephonis: (03) 5163 9500 Fax: (03) 5153 9578 National Relay Service: 133 677 Residents' Information Line: 1300 555 888 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

		· · · · · · · · · · · · · · · · · · ·	
Name: ALAN BAIRD			
Postal address:	EASTWO	COD	
·.	<i>. م</i> ين مين		Postcode 3 8 7 5
Phone number: Home:	Work:	Mobile:	
Email address:		Fax:	· · · · ·
Permit Details:	~ ~ ~	·	
Planning permit number: 93	1202017		
What has been proposed? Devel		d for two dw	ellings
What is the address to be used or de	veloped? <u>8</u> cilend	on Drive East	400D
Who has applied for the permit?	epartment of Hea	the and Human	Services
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Objection Details:		· · ·	
What are the reasons for your objecti	on?		
PLEASE RET	FER TO ATTACHED	SHEET	·
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	27 AFR		
	INFORM/ MANAGE	MENT	

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What are the reasons for your objection ?

East Gippsland Planning Scheme requires new developments and land use be subject to social impacts on the surrounding community. The impact on the proposed development at 8 Glendon Drive, Eastwood, is of serious concern to many residents.

Whilst this objection is firmly directed to the development of two dwellings at 8 Glendon Drive, the consequences of Council approving this application are far reaching and cannot be made in isolation without regard to the geographical community surrounding this street. Five applications in the same street from the same land owner (Department of Health and Human Services) have simultaneously been put forward with the same development proposed in each application. Assessment of the merits of each individual application should be made in the context of the wider implications which are required to be taken into account under the Council's Planning Scheme.

I, along with the numerous objectors to the proposed development at 8 Glendon Drive, forsee negative social impacts arising if the proposal is endorsed by Council. The existing streetscape will be adversely affected and the neighbourhood character will be compromised. Two dwellings on the same block in Glendon Drive will be the catalyst for similar proposals in this beautiful street and the start of an avalanche of similar developments from the same land owner who owns other sites in the same street. When considered with the other proposed developments the visual bulk of the developments will be overwhelming and totally uncharacteristic of the already established street character. On its own, the land use proposed for 8 Glendon Drive will be at odds with all the existing houses.

In assessing the merits of the proposed development at 8 Glendon Drive, Council's attention is drawn to the fact that the adjoining property at 6 Glendon Drive is also owned by the Minister of Health and Human Services. 6 Glendon Drive is situated between the two blocks of land each currently seeking permits for the development of two dwellings. Whilst no planning permit is currently sought for the development of 6 Glendon Drive, it takes little imagination as to what the future plans for this development might be.

Council's Planning Scheme requires land developments to consider the social impacts on communities. Council's planning, therefore, must then be strategic. The application for two dwellings at 8 Glendon Drive and the number of subsequent residents these two dwellings might contain, could hardly be considered a "community", but five simultaneous and identical planning applications for similar developments in the same street will potentially generate five times the number of residents. Thus the whole street will be transformed into a mecca of blocks containing two dwellings, the existing streetscape will be destroyed, and the surrounding community severely and adversely affected.

It is understood the two dwellings at 8 Glendon Drive will be for short term emergency accommodation as will the other sites requiring permit assessment. The ultimate increase in the total number of residents living in these ten dwellings will constitute a " sizeable community" and thus will have impacts on the immediate geographical community. Multiple dwellings in the same area for housing short term emergency accommodation have been shown to be problematic. In general this has not been a desirable policy outcome due to the adverse impact they have had on surrounding residents. The potential for noise, traffic, smells and unkempt premises and gardens are some of the likely longer term issues Council will need to take into account when assessing the merits of granting planning permit for 8 Glendon. Drive. These same issues will be exacerbated if permits are granted for the other four sites.

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	As a resident of the nearby Clauder Drive Lange (the size of the s
	As a resident of the nearby Glendon Drive, I am of the view that any new land developments must
	reflect existing patterns of development in that vicinity and not adversely affect them in any dramatic
	way. The nearby geographical community comprising Glendon Drive, The Backwater and Flynns Road
	will be impacted adversely due to the large number of community emergency housing in the one stree
	As previously noted clusters of short term community housing in other geographical areas has been
	seen as government policy failures.
	To copy the Covid -19 message, "we must all be in it together", I will be affected in the same way as
	existing residents in Glendon Drive. I will witness the development of changing and undesirable impact
	on a streetscape in my neighbourhood which I could no way condone.
	on a streetscape in my heighbourhood which i could no way collable.
<u>.</u>	

If you need more space for any part of this form please attach another sheet.

Signature:		-	 •	·		
Name:	ALAN	BAIRD	 		 Date: 14	14 120

Office Use Only:			-	
Objection Received by:	Date Received:	<u></u>	<u> </u>	
Planning officer responsible:	Date Received:	_/	<u> </u>	

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: CAROLE BAIRD	· · · · · · · · · · · · · · · · · · ·	
Postal address:	EASTWOOD	>
	1. AND	Postcode 3875
Phone number: Home:	Work:	Mobile:
Email address:	· · · · · · · · · · · · · · · · · · ·	Fax:
Permit Detalls:		•
Planning permit number:	3/2020/P	·
What has been proposed? Dev	olpment of the land	for two dwellings
What is the address to be used or d	leveloped? 8 Glendon	U Drive Ensidod
Who has applied for the permit?	Department of Health	and Human Services
Objection Details:		
What are the reasons for your object	tion?	
PLEASE REFET	TO THE ATTACHET	SHEET
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		EGSC
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What are the reasons for your objection ?

East Gippsland Planning Scheme requires new developments and land use be subject to social impacts on the surrounding community. The impact on the proposed development at 8 Glendon Drive, Eastwood, is of serious concern to many residents.

Whilst this objection is firmly directed to the development of two dwellings at 8 Glendon Drive, the consequences of Council approving this application are far reaching and cannot be made in isolation without regard to the geographical community surrounding this street. Five applications in the same street from the same land owner (Department of Health and Human Services) have simultaneously been put forward with the same development proposed in each application. Assessment of the merits of each individual application should be made in the context of the wider implications which are required to be taken into account under the Council's Planning Scheme .

I, along with the numerous objectors to the proposed development at 8 Glendon Drive, forsee negative social impacts arising if the proposal is endorsed by Council. The existing streetscape will be adversely affected and the neighbourhood character will be compromised. Two dwellings on the same block in Glendon Drive will be the catalyst for similar proposals in this beautiful street and the start of an avalanche of similar developments from the same land owner who owns other sites in the same street. When considered with the other proposed developments the visual bulk of the developments will be overwhelming and totally uncharacteristic of the already established street character. On its own, the land use proposed for 8 Glendon Drive will be at odds with all the existing houses.

In assessing the merits of the proposed development at 8 Glendon Drive, Council's attention is drawn to the fact that the adjoining property at 6 Glendon Drive is also owned by the Minister of Health and Human Services. 6 Glendon Drive is situated between the two blocks of land each currently seeking permits for the development of two dwellings. Whilst no planning permit is currently sought for the development of 6 Glendon Drive, it takes little imagination as to what the future plans for this development might be.

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As a resident of the nearby Glendon Drive, I am of the view that any new land developments must reflect existing patterns of development in that vicinity and not adversely affect them in any dramat way. The nearby geographical community comprising Glendon Drive, The Backwater and Flynns Ro will be impacted adversely due to the large number of community emergency housing in the one sti As previously noted clusters of short term community housing in other geographical areas has been seen as government policy failures.
To copy the Covid -19 message, "we must all be in it together", I will be affected in the same way as existing residents in Glendon Drive. I will witness the development of changing and undesirable imp on a streetscape in my neighbourhood which I could no way condone.

Signatu	re:			·	· .			
Name:	CAROLE	IRENE	BAIRD		Da	ate: 26	41	20

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received: / /

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information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 8500 or e-mell feedback@edicos.vic.gov.au

مبر

From: SeamlessCMS@seamless.com.au Sent: Thursday, 9 April 2020 11:59:14 AM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 09 Apr 2020 11:59 AM

Name	Steven Barry
Email address	l.com
Postal address	Eastwood
Home	
Work	
Mobile	
Fax	
Planning permit number	91 - 94/2020P
What has been proposed?	4 Planning permits for multiple dwellings on 4 sites in 1 street.
What is the address to be used or developed?	4, 5, 8, 13, and 17 Glendon Drive Eastwood Victoria 3875.
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	Concerns that there are a large concentration of low income housing in 1 street. There is already a proposal for crisis accommodation to be built in another vacant block in this same street by DHHS also. This street has undergone significant development and investment in existing housing and will be financially affected by such a large concentration of low income housing. There is also an issue of safety and security of tenants of the area. These are just some of our concerns and we are formally objecting to the construction of these dwellings.
How would you be affected by the granting of this permit?	Financially affecting the value of our homes as such a large concentration of DHHS dwellings in this street. Safety concerns for our young family. Increased traffic to the area also causing safety concerns. This development should not have been the last development in the area but the first so it was known when purchasing properties in the area. We did try initially to investigate the proposal of vacant blocks but were unable to get any information of intentions to develop.
Additional information	No file attached

Kerry Stow

From:	SeamlessCMS@seamless.com.au		
Sent:	Wednesday, 22 April 2020 1:31 PM		
То:	Planning Department		
Subject:	Objection to Planning Permit Submitted		

Online Form Submitted

Date Submitted: 22 Apr 2020 01:30 PM

Name	Amy Baxter
Email address	ail.com
Postal address	, Bairnsdale
Home	
Work	
Mobile	
Fax	
Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood.
What has been proposed?	5×3 Bedroom Duplex units on 5 lots.
What is the address to be used or developed?	30 Balmoral Crescent, Bairnsdale
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	Fear for our saftey and a concern for the property value near where these units are suppose to be built.
How would you be affected by the granting of this permit?	I would be severely affected as i feel everyones saftey must come first.
Additional information	No file attached

Kerry Stow

From:	SeamlessCMS@seamless.com.au		
Sent:	Wednesday, 22 April 2020 12:13 PM		
То:	Planning Department		
Subject:	Objection to Planning Permit Submitted		

Online Form Submitted

Date Submitted: 22 Apr 2020 12:13 PM

Name	Katie
Email address	
Postal address	
Home	
Work	
Mobile	
Fax	
Planning permit number	4,5,8,13,17 glendon drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?	4,5,8,13,17 glendon drive eastwood
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	I strongly object to ths development due to already seeing the effect commission housing and similiar of value on properties, potentional property damage, I see eastwood becoming an area that willbe avoided if this was to go through being the lack of respect and peace already a problem from tenants. The safety rates would severely drop if this is the case making it an unsafe area for the elderly
How would you be affected by the granting of this permit?	I feel it will effect the property of our homes due to the nature and impact this development will create
Additional information	No file attached

Online Form Submitted

Date Submitted: 22 Apr 2020 11:01 AM

Name	Kimberly Baxter
Email address	d.com
Postal address	Eastwood
Home	
Work	
Mobile	
Fax	
Planning permit number	4, 5, 8, 13, 17 Glendon Drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?	
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	Placing this sort of housing in Eastwood will have a huge impact on surrounding houses and property value. Which is not fair at all. If these go ahead many will put there houses on the market due to this and fears for safety.
How would you be affected by the granting of this permit?	I personally fear for the safety of not only mayself but family, and everyone in the Eastwood community! They dont need to be put in this area. I understand they are needed but come on??? Whould you like them put right near your house
Additional information	No file attached

Online Form Submitted

Date Submitted: 22 Apr 2020 11:12 AM

Name	Melissa Baxter
Email address Postal address	Eastwood
Home	Lastwood
Work	
Mobile	
Fax	
Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood
What has been proposed?	5 x 3 bedroom duplex units on 5 lots
What is the address to be used or	
developed?	
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	I do not understand how you can honestly build so many of these low-income houses to be built in one street! Yes i understand the need for them but why put more than 1 in the same street. This will have a huge impact on property prices (including ours) and we will be looking at seeing a huge decrease which is an absolute shame for all the hard-work and money people have put into these properties. If the Approval goes ahead it will affect us financially as well as future safety concerns for families and neighbours. The proposed planning does not keep up with the character profile of the area and is not complimentary to the existing housing in the area.
by the granting	As stated above this will affect us financially with our existing property as the value will decrease as the houses will be so close. This really concerns my safety as these houses will be so close to where I currently live. The houses will have direct access to our street through the reserve. This will extend my concerns for our belongings that we have worked extremely hard for! I by no means would like these permits to go ahead and to think that putting 5 on one street is a good idea!? Think again! You know these points are valid and just think, how would you like this proposal to be so closed to your home and your loved ones.
Additional information	No file attached

Online Form Submitted

Date Submitted: 22 Apr 2020 11:24 AM

Name	stephen baxter
Email address	
Postal address	eastwood vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	4,5,813,17 glendon drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?	4,5,8,13,17 glendon drive eastwood
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	i strongly object to this development due to having seen already the effects of housing commission or similar housing here in eastwood attracting or being tenanted by people who do not desire to fit in with what our estate desires to be which is a peaceful and attractive area for families and retirees we already have too many over here now that cause problems without having anymorei can see eastwood becoming an undesirable area if this development is allowed. putting two and two together i can see abusive exes attempting to access ex partners etc and do not wish to see this occur where i live.
How would you be affected by the granting of this permit?	i beleive that the eastwood eastate as a whole will be impacted by this development as i feel it will affect the property values of our homes due to the very nature of the proposal.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: JEARPH & EILI	to Rici	kley			
Postal address:		9			
Eastwood	1 Vich	OMA		Postcode	3875
Phone number: Home:	Work:	EGSC	Mobile:		
Email address:	•	27 1.78 2921	Fax:		
Permit Details:		INFORMATIC MANAGEMEI)N VT		
Planning permit number: Unkr	nown			0	
What has been proposed?	s to but	10 10 Ur	whs.	for A	ublic
Housing			(
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Eastwood Vic .	3875'		,		
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Who has applied for the permit?	ement-s	Store To	ωn	Plan	<i>v</i> 0

Objection Details:

1 Å What are the reasons for your objection? 10

Privacy Statement

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1



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
The proposed buildings being built would increase
the traffic and condense that traffic in
my grea. The roads and parking in that area
would find it hard to cope.
1 also would be concerned for the safety of
yoing children that every play on those
roods
······································

If you need more space for any part of this form please attach another sheet.

 \mathcal{A} Signature: Date: 🗢 Name:

Office Use Only:			
Objection Received by:	Date Received:	_/	
Planning officer responsible:	Date Received:	_/	

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

· · · · · · · · · · · · · · · · · · ·			
Name: ANNA - JOHANNES	BOEK		
Postal address:	—		
EASTWOOD			Postcode 3 875
Phone number: Home:(Work: 🔶	Mobile	
Email address:		Fax:	·
Permit Details:		ł	
Planning permit number: 95/2020/P, c	14 /2020/8, 92 /202	0/1,91/2020/1	, 931/2020/P.
What has been proposed? Building a	F 5x3 bedroom	duplex UNIT	S ON THE 5
LOTS COJERED BY THE ABOVE P	LANNING APPLICATIO	NS ON GLENI	DN DRIVE
What is the address to be used or develope	d? 4, 5, 8, 13 a	17 GLENDO	EASTWOOD. N PRIVE
	STWODD.		
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Who has applied for the permit?	ENT-STONE TO	WN PLANNE	rs · ON
BENALF OF DIRECT	OR OF JUBLIC	HOUSING	
Objection Details:			
What are the reasons for your objection?			
PLEASE REF	ER TO ATTA	CHED SHE	ET
	OR DETAILS		
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How would you be affected by the granting of this permit?						
PLEASE	REFER TO	ATTACHED	Sheet			
	FOR DETA	TLS				
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	PLEASE	PLEASE REFER TO	y the granting of this permit? <u>PLEASE REFER TO ATTACHED</u> FOR DETRILS			

If you need more space for any part of this form please attach another sheet.

Signature:	
Signature:	
Signature	
, eignature.	
Name: ANNA-RBOE JOHANNER BOEK Date: 27/4/2020	
Name: ANNA-RBOE JOHANNER BOEK Date: 27/4/2020).

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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ANNA R. BOEK &

JOHANNES BOEK

Phone:

Mobile

E-Mail:

EASTWOOD. VIC. 3875

27TH April 2020

OBJECTION TO PLANNING PERMITS FOR

LOT 4, LOT 5, LOT 8, LOT 13 & LOT 17

GLENDON DRIVE,

EASTWOOD

3875

OBJECTION DETAILS

We are opposed to the proposal to build a number of dwellings on each lot.

The Eastwood Estate was developed with its purpose to provide single dwellings of a certain calibre on each block, with only a few exceptions. In real life these exceptions have occurred on corner blocks only and then with just 2 units per block.

The proposal by the Department of Housing for Glendon Drive will change the whole character of this area. The number of occupants on each block will increase way out of proportion to the current ambience of the area.

This estate was not build with the idea of providing social housing in this area. However over time a few social dwellings have been provided to some people and the dwellings have a habit of changing the pristine area of Eastwood to a bit of a tip on occasions. We want to avoid this happening in Glendon Drive.

Further with the building of all these units the traffic in the area will increase. At this stage each building block may on most occasions have only 2 cars parked on site. Building the proposed number of units will increase the vehicle traffic way out of current usage. Glendon Drive is one of only 2 exits out of this area at this stage and the increase of traffic in Glendon Drive and its immediate surroundings will affect all those persons living on the Backwater and the other adjoining streets, courts and drives with increased noise levels and congestion of traffic.

We are also concerned about parking in Glendon Drive. Increase visitations from trades people, support staff etc. in this street will see a number of cars parked on the street itself blocking the thorough fare. This will cause traffic hazards in this area and could affect the safety of children playing or just using the street.

How would we be affected if these permits are granted?

We live right behind the building blocks on which the units are proposed to be built.

With the increase in population we expect that the noise levels will go up way out of what is currently a very nice quite area. The traffic changes will also affect us as Glendon Drive is the exit for us to drive to Flinns road and thus exiting the Estate.

The change of the character of this part of the Estate will have an economical impact on the remaining housing stock. As the house owners in this area have not been given the opportunity to discuss this matter between themselves due to firstly, the short period of advise and secondly the covid 19 virus restrictions we feel that we should be given some consideration prior to granting these permits to evaluate the proposal and its affect on the area.

1 - 1

Anna R. Boek

Johannes B. Boek

From: SeamlessCMS@seamless.com.au Sent: Thursday, 16 April 2020 1:17:30 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 01:17 PM

Name	MIke Bradley
Email address	111150/0/100001111/0/0/10.00111.00
Postal address	Eastwood. VIC. 3875.
Home	
Work	
Mobile	
Fax	
Planning permit number	91/2020/P
What has been proposed?	P Building of 10 units
What is the address to be used or developed?	4,5,8,13 & 17 Glendon Drive Eastwood
Who has applied for the permit?	Clement-Sone Town Planners
What are the reasons for your <u>objection</u> ?	The development is not keeping with the character profile of the area given that no streets in Eastwood have more than 2 multi dwelling sites.
How would you be affected by the granting of this permit?	I feel that this project would have social, aesthetic and financial impacts on my neighbourhood which I believe would introduce an unreasonable burden to current residents.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

		······································	
Name: GLENN CALVER7	~ 		
Postal address:	- · ·		
EASTWOOD			Postcode 3875
Phone number: Home:	Work:	- Mobile:	
Email address:	<i>I</i> .	Fax:	
Permit Details:		· · · · · · · · · · · · · · · · · · ·	
Planning permit number: 93 202	LOP	· · · · · · · · · · · · · · · · · · ·	
What has been proposed? <u>develop</u>	ment of	land for 2	dwellings.
	<u> </u>		
What is the address to be used or developed	d? <u>8</u>	Glendon Driv	7
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Who has applied for the permit?	nent-ston	e Town Pla-	iners
- <u></u>			
Objection Details:		*.	
What are the reasons for your objection?	Refer	attached	Tetter
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273 Main Street (PO Box 1618) Baimsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc	EAST GIPPSLAND	Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 987 765
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If you need more space for any part of this form please attach another sheet.

Signature:		
Name:	GLENN CALVERT	Date: 261 41 2020

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received://

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OBJECTION TO PLANNING PERMIT \mathscr{D} GLENDON DRIVE EASTWOOD What are the reasons for your objection?

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This is an overall development of 12 duplexes/24 houses when the whole project is finished. Only doing 5 duplexes/10 houses now. While it may tick the boxes of 1 permit, it has to be looked at in it's entirety.

- This development is not in character with the Eastwood profile
- Low socio-economic housing not good in a cluster development in any area.
- If there is a need, it must be spread throughout the community
- There are already at least 3 Public Housing properties in close proximity. Despite numerous complaints from neighbours, unfortunately these dwellings are not kept neat, with visual rubbish problems and tenants allegedly vandalising and spraying graffiti, and not acting in a normal community spirit.

93/2020/P

- Blocks were originally sold on the proviso that each block was to be built on by an individual not one person having 12 blocks and building potentially 24 houses
- The Department of Health and Human Services are applying for permits for 4, 5, 8, 13 & 17 Glendon. And they still have 1, 6, 7, and 11 in the same parcels of land. They also own the land at 12, 14 & 16 Glendon, which was the area of a previous application.
- Surely a planning department has to be responsible in protecting the values of the existing homeowners properties
- Clause 32.08 of General Residential Zoning To encourage diversity Yes, 1 duplex is diversity, but NOT
 12 duplex/24 houses in the same street (72% of houses in street)

How would you be affected by the granting of this permit?

- The land at 12, 14 & 16 Glendon was the area of the original application. Was this application refused? or withdrawn? If you add that to the other lots, that's 24 houses in one street
- As home owners, we bought and developed our properties without the knowledge that 24 Emergency
 housing properties would be built on our doorstep
- Cluster housing like this causes ghettos (for the want of a better word). Spread them out to lessen the community impact.
- Council and VCAT have already refused 3 permit applications for subdivision on the adjacent Backwater. It
 wasn't exactly spelt out on 2 of those applications, but it was proposed to sneakily develop a high density
 living block which VCAT threw out and then rejected the new application later.
- I read somewhere that high fences and security cameras will be installed. That has alarm bells ringing
 already 10 houses followed by a further 14. This is a serious safety concern implying the need for Security
 in the area, putting our possible health and well being at risk.
- I was told a planning department person said each application is judged on its merits. Surely that can't be the case here? If you are planning for the future and big picture – take your blinkers off and look at the big picture – 24 houses – seriously – would you like to live here?
- When the entire project is complete there will be 24 community houses and 9 "normal" houses in the street
 that's not acceptable with today's planning. 72% in one street is not an even spread across the town.
- In regards to traffic and parking Glendon is the main through street to the Backwater, which would cause congestion and danger to the residents. It is also a key linking pedestrian route for school children attending Lucknow Primary School.
- Adjacent to Glendon is the Backwater, which is arguably one of the best streets in Bairnsdale. Houses and blocks are expensive, but this would bring property values down, both in the Backwater, and in Glendon, and other-surrounding streets. You wouldn't do this in Toorak!

۰, Glenn Calvert

r Eastwood

East Gippsland Shire Council

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: Laurel Calvert		
Postal address:	Eastwood	·
		Postcode 3875
Phone number: Home:	Work:	Mobile:
Email address:	<u> </u>	Fax:
Permit Details:		
	13/2020 P	
What has been proposed?	estepthe land 7	èr 2 dwellings
What is the address to be used or developed	? 8 Werdon	Drive Eastwood
	(Lot	
Who has applied for the permit?	nat-stone Tow	n Planners
Objection Details:		· · · · · · · · · · · · · · · · · · ·
What are the reasons for your objection?		
Refer the attach	ed letter	
		27 APH 2020
	1	NECRIMENT

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	E.coo
	27 APR 2020
	INFORMATION MANAGEMENT

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low would you be affected by the granting of this permit?
Refer the attached letter

If you need more space for any part of this form please attach another sheet.

Signatur	8:					
		Calvert	 	Date: 261	4120	20

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received: / /

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Laurel Calvert

C i Eastwood

Ph: (

From: Ted Campbell [] Sent: Wednesday, 22 April 2020 1:48:08 PM To: Feedback Address For Web Page Subject: Planning Objection

Please find attached completed objection form.

E Campbell

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: EDWARD CAMPISCIL	and a state of the
Postal address: PO Box SOO BAIRNSDALE	a la musica
	Postcode 3875
Phone number: Home:	Mobile:
Email address:	Fax:
Permit Details:	122 caupited by
Planning permit number:	
What has been proposed? BUILD 10 UNITS - 5 X	3 BEDROOM DUPLEY
UNITS ON 5 1410 LOTS IN GLONDOW DU CASTUR	900. Lots 4,5,8,13+17
What is the address to be used or developed?	
2075 4,5,8,13+17 GLENDON DI	RIVE CASTWOOD
Who has applied for the permit? CLEMENT STONG TOWN	PLANNERS
ON BEHALF OF THE DIRECTOR OF PO	

Objection Details:

What are the reasons for your objection? is not in keeping with the character proj Eastwood area quue 00 evelopmen ı D ar

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How would you be affected by the granting of this permit?
I INCREASED TRAFFIC, FLOW IN THE PAREM
201 STREET PARKING INCRESSED IN a STREET THAT IS
A ONE OF ONLY TWO ETITS PROUTES FROM
THE BACKWATER, THIS OWN CAUSE CONGESTION AND
ROAD SAFETY 199 CHES.
3. PRESSURE ON LOCAL SERVICES EQ Water, Seweige.
4. While not directly affecting me, putting two units
on the each block can highlight that thes homes
4. While not directly affecting me, putting two units on the each block can highlight that thes homes are occupied by people living in social housing.

If you need more space for any part of this form please attach another sheet.

Signature: Date: 22/04/2020 Name: AMP BGU

Office Use Only:	and the season of land	her	-22
Objection Received by:	Date Received:	_/	
Planning officer responsible:	Date Received:		

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Your Details:

7 2 477 2929

		· · · · · · · · · · · · · · · · · · ·				
Name: BRIAN COTTAM		INFORMATION				
Postal address:	, EASTING	MANAGEMENT				
			Postcode 3875			
Phone number: Home:	Work:	Mobile:				
Email address:		Fax:				
Permit Details:						
Planning permit number: 9	3/2020/P					
What has been proposed? Dr.Vel		2 Two NEW Du	JELLINGS			
What is the address to be used or de	eveloped? <u>8, GLENDO</u>	N DRIVE	· · · · · · · · · · · · · · · · · · ·			
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Objection Details:

What are the reasons for your ob	jection?				
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East Gippsland Shire Council

273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

F

How would you be affected by the granting of this permit?						
	SEE	ATTACHED	SHEET			<u></u>
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If you need more space for any part of this form please attach another sheet.

Signature: _____ BRIAN. P. COTTAN Date: 26 104 12020 Name:

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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BRIAN & WENDY COTTAN, EASTWOOD 3875 PHONE ATTACHED SHEET. OBJECTION AND IMPACT. PRAMIT NUMBER. P 93/2020/P

Reasons for my Objection

- a. The proposed development is not in keeping with the character profile of the area, given that no streets in Eastwood have more than two multi dwelling sites.
- b. The proposed development is not complementary to the existing housing stock.
- c. The original purpose of the land has been changed from single residences for low income families to the current proposal.

How I would be affected

The proposed development will adversely impact on the social composition and on my personal enjoyment of living in Eastwood, for the following reasons.

- a. Glendon drive is a residential street of about two hundred metres in length. The proposed development in this small street will create a type of neighbourhood that historically used to be called "ghetto".
- b. I do not object to the spirit of providing assistance to homeless people or to families in crisis. I do, however, object to a plan that the residents of the surrounding properties ought to carry the social burden of providing such assistance. In the interests of fairness, such burden should be spread more equitably across the whole of Bairnsdale, or of East Gippsland.
- c. Even before any building work has commenced, the property values in this area have already dropped by 20%.
- d. This drop in property value is likely to spread to other residential properties within an estimated radius of at least three hundred meters. To date, no compensation has been offered to property owners directly impacted on by this planned development.
- e. I am concerned about security implications of the proposed plan on myself and my immediate neighbourhood. At greatest risk will be aged residents and families with children who live in the surrounding properties on Glendon Drive and on Flinns Road.
- f. No Social Impact Statement, as per East Gippsland Planning Scheme, has been distributed to residents who are directly impacted by the proposed planning. Such impact statement needs to be provided as a matter of urgency.
- g. The proposed developments for Glendon Drive are only the tip of the iceberg. The proposed development for the land on 4, 5, 8, 13 and 17 Glendon Drive excludes what is being planned for the land on number 3 Glendon Drive. This is located directly behind my property. Current knowledge has it that there is a plan to build a high-security crisis centre, which has not yet been declared to residents. Withholding information on what is being proposed for the whole of Glendon Drive smacks of lack of transparency.
- h. The proposed planning permit also flies in the face of the Mission Statement of the 2017-2021 Council Plan (Year 2, Revised March 2018). East Gippsland Shire Council endeavours to make East Gippsland "the most liveable region in Australia. A place of natural beauty, enviable lifestyles, and opportunities". The proposed development, if successful, would exclude me and my neighbours from the benefits of this mission statement.

Online Form Submitted

Date Submitted: 16 Apr 2020 08:48 PM

ľ	Name	Mal Dalton
F	Email address	
F	ostal address	Eastwood Vic
H	Iome	
V	Work	
N	Aobile	
F	⁷ ax	
	lanning permit number	91 to 95/2020/P
	What has been proposed?	Construction of 5 multi site units in Glendon Drive
a u	What is the address to be used or leveloped?	4,4,8,13 & 17 Glendon Drive Eastwood
	Who has applied or the permit?	Clement Stone Town Planners on behalf of DHHS
r	What are the easons for your bbjection?	The development of these properties is not in keeping with the character profile of the area given that no other streets in Eastwood have more than 2 multi site dwellings. The proposed development is not complimentary to the existing housing stick. The original purpose of the land was for single site residences for low income families - this has now been amended without consultation to the community and adjoining landholders.
t g	How would you be affected by the granting of this bermit?	The whole of the immediate area will be affected by the potential issues this type of DHHS cluster housing can cause and will certainly affect the values of nearby properties.
	Additional nformation	No file attached

Kerry Stow

From:	SeamlessCMS@seamless.com.au
Sent:	Thursday, 23 April 2020 8:13 PM
То:	Planning Department
Subject:	Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 23 Apr 2020 08:12 PM

Name	Linda Daniel		
Email address	F		
Postal address Home	Eastwood 3875		
Work			
Mobile			
Fax			
Planning permit number	91,92,93,94 & 95/2020/P		
What has been proposed?	10 units. 5x3 bedroom duplex units on 5 lots, close together in Glendon Drive Eastwood		
What is the address to be used or developed?	4, 5, 8, 13 & 17 Glendon Drive, Eastwood		
Who has applied for the permit?	r Clement-Stone Town planners for Director of Public Housing		
What are the reasons for your <u>objection</u> ?	This is not in line with the character profile of the area as no streets in Eastwood have more than 2 multi dwelling sites, it is not complimentary to the existing houses and the original purpose of the land is being changed from single residences to the current proposal.		
How would you be affected by the granting of this permit?	I live at the back of this street and construction of so many units in such a small area behin where I live will create much more noise and traffic congestion. This is a very quiet area no with single houses on blocks, not numerous units squashed into the same size blocks. I believe having so many of these units together will reduce the value of my property and make it less attractive to families when I need to sell.		
Additional information	No file attached		

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

2 0 APR 7070

Name: SANDRA N LED	DONLIN	G	INFORMATION MANAGEMENT
Postal address:	1	EASTUDO	D VIC
			Postcode 3875
Phone number: Home	Work:	M	obile:
Email address:		- Fa	ax:
Planning permit number: 91/2020/P,9 What has been proposed? The build	ling of 10	3/2020/P_9 	5/2000/P, 94/2000/
What is the address to be used or develope	d?	······································	
Street Numbers: 4, 5, Vic. 3875	8, 13 4 1-] Glena	ton Drive Eastho
Who has applied for the permit? Clemer	nt - Stone T	ōwn Plan	ners on behalf
of the director of Publi	c Housing	•	

Objection Details:

What are the reasons for your objection?
1) The development 15 not in Keeping with the Character profile of the
area, given that no streets in Eastwood have more than 2
Mutti dwelling oiles.
2) The proposed development is not complimentary to existing housing
Stock.
3) The original purpose of the land has been changed from ongle
residences for low income families to current proposal
thus satting a precedence.

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How would you be affected by the granting of this permit? Hy husband & L reside very close to the davelopment being proposed. We chose to live in Eastwood aus excellent planning of mostly single residences a open particiand spaces the hich gives us a worderful quality of life In Researching before chash land in the current proposal Jas . designated we were informed that the to be single dwellings only great concern for the change of single to multip feel do ne جر، الص 5, we also bel that this change would then set a meredena <u>Ligher</u> densily Øf living in other areas reside in Eastwood a prvileged to 15 masil feel that has gone to the great planning into reed to object to the current have a great proposal Ne Øf du the higher densily concerned the ININO re. ven keside Il change the Streetsca pe forever LAY complime đ no OUN -ex Gth pride in Stock all take Such housing Nhich Ne If you need more space for any part of this form please attach another sheet.

Signature:			
Name: SANDRA	DOWLING	1.F. DOWLING	Date: <u>20/ 4 / 2020</u>

Office Use Only:	· · ·		
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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273 Man Street (PO Scr. 1518) Baimediale Vic 3675 Website www.eastgipps'and.vio.gov.au Email feedback deg pps vic gov au Follow Ls of Thilter Regard

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Telephone (03) 5153 9500 Fex: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 AGN, 21 367 367 755

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in 5124. You can read what they mean on page 3.

27 422 2020 Your Details: NECONATION AND MARLENE Name: BARRY RWARD MANAGENT Postal address: VIC. TWOOD Postcode Work: Phone number: Home: Mobile: Email address: Fax: N Permit Details: Planning penmit number 9/h 2010/P × Dwellings on one cullotment. What has been proposed? 1/08 Glendon Dr. Eastwood LOT 10% What is the address to be used or developed?

Who has applied for the permit? Dept. of Hearth and HUMAN Solvices D.H.H.S

Objection Details:

273 Mars Street (PC Box 1616) Baimsdale Vic 3875 Website Vic 4 eutrophoto vico position Emeri (Annual Control Control position Follow Leven Texter (Kegisti



Telephone, (03, 5153 9300) Fax: (03) 5153 9578 National Relay Service: 133 677 Resperts Information Line: 1300 516 666 AGN 21 957 957 935

How would you be affected by the granting of this permit? Increased vehicles in Olendon Prive could make a short street expectally for children in the street if unsupervise If "economically disaduantaged" formilies occupy the dwellings, they may fall into disrepair because of less maintenance, and as noticed in other DHHS properties in the local vicinity, property values
could make a short street lipecially for children in the street if unsupervise
Heconomically disaduantaged " families occupy the dwellings,
they may fall into divergain because of less maintenance, and as
noticed in other DHHS properties in the local vicinity, property values
can suffer in the vicinity.

If you need more space for any part of this form please attach another sheet.

Signature / BARR Date: 27/04/1020 Name MARLENE FERWARD. FORWARD

Office Use Only:				
Objection Received by:	Date Received:	1	_/	·····
Planning afficer responsible:	Date Received:	//		:

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From: SeamlessCMS@seamless.com.au Sent: Monday, 20 April 2020 8:09:45 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 20 Apr 2020 08:09 PM

Name	Carl Freshwater
Email address	
Postal address	Eastwood VIC 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	94/2020/P
What has been proposed?	10 units, 5 x 3 bedroom duplex units on 5 lots
What is the address to be used or developed?	Glendon Drive Eastwood, Lots 4,5,8,13 & 17
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	The proposed development is not complimentary to the existing housing stock. Further it does not keep with the Character profile of the area given that no streets in Eastwood have more than 2 multi dwelling sites.
	This will put downward housing pressure on existing dwelling valuations within the immediate area. I believe the social ramifications will impact the appeal to the estate for future potential buyers. This will effect our ability to draw on built up house equity as housing prices depreciate, it will also restrict our potential to refinance loans and drive prices up on general insurances. While Bushfires and Covid 19 will have an immediate impact to housing prices locally over the next 12-24 months. These plans have the potential to significantly impact current property prices over the long term which the local economy cannot afford.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

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		<u>27 / 2 40%</u>		
Name: LEONARD A	· HALL.	INECEMATION		
Postal address:		- EASTWOOD MANAGEMENT		
		Postcode 3875		
Phone number: Home:	Work:	Mobile		
Email address:		Fax:		

Permit Details:

Planning permit number: Application Televence number 93/2020/P What has been proposed? <u>proposed Construction of two Dew</u> <u>Dwellings</u> What is the address to be used or developed? <u>S Glendon Delive</u>
What is the address to be used or developed? <u>S GLENDON DRING</u>
EASTWOOD 3875
Who has applied for the permit? <u>CLEMENT-STONE</u> TOWN PLANNERS

Objection Details:

What are the reasons for your objection?
ITTLE development is NOT complimentary to the existing
housing stock.
2) The original purpose of the land has been changed
From single residences to the current proposal
3) The development is but in keeping with the Character
profile of the area given that no streets in Eastwood
have more than 2 multi dwelling sites.
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PLENGE	<u>566</u>	PITACHED	Sheets	·	
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If you need more space for any part of this form please attach another sheet.

Signature: Name: LEONARD. A. HALL Date: 🖌

Office Use Only:	
Objection Received by:	Date Received:///
Planning officer responsible:	Date Received://

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Disruption

Glendon drive and the adjoining "The Backwater" street are a community of medium to high socio economic professionals from Business, Teaching, Nursing and the Building professions.

Inhabitants have created a respectable and high quality neighbourhood culture. This is a highly desirable address.

The disruption to this idyllic neighbourhood street vista and street scene of injecting HIGHLY CONCENTRATED crisis housing structures will be profound and ascetic values will plummet.

This huge development of at least 11 domicile structures and buildings is almost beyond comprehension.

Security. By day and particularly night apprehension of personal safety is clear.

We use the street and nearby walking tracks regularly and express concern that this free access will be compromised and rendered less safe.

The free movement of local's vehicles because of the high density of inmates in this concentrated street position will be unfair and was unanticipated.

Equity issue In Glendon Drive there are currently 10 houses of 23 Adults excluding children.

The adjoining "The Backwater" street some 200 metres from the proposed crisis centre address is a premier residential Bairnsdale address.

The proposed crisis buildings of 10 units and a crisis centre at the least will drastically alter the mix of middle to upper class professional residents by at 100% with the lower socio economic inmates coming in.

Therefore as a basic equity issue, why is this proposal so concentrated in one street and not spread over the whole Bairnsdale community?

High security walls and constant security personnel will render this premier address

as institutional, imposing and creating considerable apprehension and have a huge impact on health and wellbeing of residents in the area.

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<u>____</u>

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: OGMEN	Hine	1
Postal address:	Song	feild
Vic		Postcode 3575
Phone number: Home:	Work:	Mobile:
Email address:		, Fax:

Planning permit number: 2020 tw/1 What has been proposed? What is the address to be used or developed? Eactw Who has applied for the permit? Planners clement Stone Town

Objection Details:

Vhat are the reasons for your objection?	
There is eight propertus	on this street
At to be developed. I Feel	16 house's to be
used for DHHS residents	is to much for
one small area	
	5 0.0.0
	EGSC
	2 2 MAY 2020
	INFORMATIO

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JUL15

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
The value of my land would decrease aromaticly and a possibility of an increase in the crime rate in the area

If you need more space for any part of this form please attach another sheet.

Signature:			
Name: Darren	Hine	Date: 19 1 5 12020	

Office Use Only:		
Objection Received by:	Date Received:	//
Planning officer responsible:	Date Received	:/

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: TEGAN JEAKINS					
Postal address	EASTWOO	Ð	VIC		
			Postcode	387	25
Phone number: Home:	Work:	Mobile:			_
Email address		Fax:			
Permit Details:					
Planning permit number: 94 2020	P				
What has been proposed?	HOPE-TOWARD	PORL			
Daelopment of the land	for two dwell,	nas.		. <u>-</u>	
What is the address to be used or developed	? 17 Glendon Di	nue	Fasture	$b \propto$	
10t 212 PS 542289	· · · · · · · · · · · · · · · · · · ·				
Who has applied for the permit? Clamon	t-stone Taun	Plar	ner		
	<u>.</u> .				<u> </u>

Objection Details:

What are the reasons for your objection?	
- General Safety	<u> </u>
- Street traffic	
- value of air home	EGSC
- Rublic Auisance	2 0 APR 2020
· · · · · · · · · · · · · · · · · · ·	INFORMATION
	MANAGEMENT
	·

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
-safety of my children around home =
-safety of my children around home = walking inding to z from school
- street haffic
- decreasing value of an home
- public puisance
· · · · · · · · · · · · · · · · · · ·

If you need more space for any part of this form please attach another sheet.

Signature:	
Name: TEGON Jenkins	Date: 2 / 04/2020
	,

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

			2.7. APR	2020
Name: Bill & Mary Jo.	hason	IN	FORMA	TION
Postal address:	Easta	1000M	ANAGE	MENT
				Postcode
Phone number: Home:	Work: N/A		Mobile:	
Email address:			Fax:	NA
Permit Details:				
Planning permit number: Application	refevence r	umber	99	3/2020/12
What has been proposed? propose h	Construction	on of	tus	5 Dews
Duckings				
What is the address to be used or developed	? S Glen	yon Dr	SILE	
EASTWOOD 3875				
Who has applied for the permit?	ENT- STON	e Town	J PI	anniers
Objection Details :				· · · · · · · · · · · · · · · · · · ·
What are the reasons for your objection?	elel Bo	K PAY	7e	
ITTRE development is NO	T Complim	entary	to +	the existing
housing stock.				
2) The original purpose	of the la	nel has	beer	changed_
From single residences	to the Cu	went q	xope	seal.
3) The development is i				
profile of the aver given	that no	etroote	<u>cri</u>	Eastwood
have more than 2 r				

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273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egiops.vic.gov.au Follow us on Twitter @egsc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?				
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If you need more space for any part of this form please attach another sheet.

Signature: 1202 Date: 2 1 1 Name: TA. boson

Office Use Only:				
Objection Received by:	Date Received: _	/	_/	<u></u>
Planning officer responsible:	Date Received:			

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Reasons for my Objection

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- a. The proposed development is not in keeping with the character profile of the area, given that no streets in Eastwood have more than two multi dwelling sites.
- b. The proposed development is not complementary to the existing housing stock.
- c. The original purpose of the land has been changed from single residences for low income families to the current proposal.

How I would be affected

The proposed development will adversely impact on the social composition and on my personal enjoyment of living in Eastwood, for the following reasons.

- a. Glendon drive is a residential street of about two hundred metres in length. The proposed development in this small street will create a type of neighbourhood that historically used to be called "ghetto".
- b. I do not object to the spirit of providing assistance to homeless people or to families in crisis.
 I do, however, object to a plan that the residents of the surrounding properties ought to carry the social burden of providing such assistance. In the interests of fairness, such burden should be spread more equitably across the whole of Bairnsdale, or of East Gippsland.
- c. Even before any building work has commenced, the property values in this area have already dropped by 20%.
- d. This drop in property value is likely to spread to other residential properties within an estimated radius of at least three hundred meters. To date, no compensation has been offered to property owners directly impacted on by this planned development.
- e. I am concerned about security implications of the proposed plan on myself and my immediate neighbourhood. At greatest risk will be aged residents and families with children who live in the surrounding properties on Glendon Drive and on Flinns Road.
- f. No Social Impact Statement, as per *East Gippsland Planning Scheme*, has been distributed to residents who are directly impacted by the proposed planning. Such impact statement needs to be provided as a matter of urgency.
- g. The proposed developments for Glendon Drive are only the tip of the iceberg. The proposed development for the land on 4, 5, 8, 13 and 17 Glendon Drive excludes what is being planned for the land on number 3 Glendon Drive. This is located directly behind my property. Current knowledge has it that there is a plan to build a high-security crisis centre, which has not yet been declared to residents. Withholding information on what is being proposed for the whole of Glendon Drive smacks of lack of transparency.
- h. The proposed planning permit also flies in the face of the Mission Statement of the 2017-2021 Council Plan (Year 2, Revised March 2018). East Gippsland Shire Council endeavours to make East Gippsland "the most liveable region in Australia. A place of natural beauty, enviable lifestyles, and opportunities". The proposed development, if successful, would exclude me and my neighbours from the benefits of this mission statement.

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East Gippsland Shire Council



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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

ecsc

is not complimentary to

		2 3 APR 2920
Name: Kellie Johnston		INFORMATION
Postal address:	Bair	nsdale MANAGEMENT
		Postcode 3 8 7 5
Phone number: Home:	Work:	Mobile:
Email address:		Fax:
Permit Details:		-92/2020/P
Planning permit number: 🧏 9	4 2020 P - 95/20	2010-93/2020/P-91/2020/P
What has been proposed?	struction of 1	10 units
What is the address to be used or	developed? 4,5,8,1	3 & 17 Glendon drive
Eastwood		•
Who has applied for the permit?	Clement - Stone	town planners.
Objection Details:		······································
What are the reasons for your obje	ction? The 10	units is not in
	character profile a	
no streets in Eas	twood have mo	ve than 2 multi dwellings

the existing housing in the street or onecl.
* The original purpose of this long has been
changed from single residences for low income families
to this current multi have proposal.
* Other people in air one a have had multidwellings rejected

* The proposed dayslooment

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If you need more space for any part of this form please attach another sheet.

Signature:	•	-		
Name:	Kellie	Johnston	 Date:	15/4/20

Office Use Only:			
Objection Received by:	Date Received:	_/	/
Planning officer responsible:	Date Received:	_/	/

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information about Council's Privacy Policy by contacting our Information Privacy Officer on 03,5153,9500 or e-mail feedback@egipps.vic.gov.au 94.2020.P 17 Grendon Redacted Objections JUL15

LIO WIGHT GUEDE (FU DUA TUTO) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



CICULULIS. INVITUU OUU Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

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ÉCEC Your Details: Name: CR. ADD INCORNEATION Postal address: MANAGEMENT Postcode Phone number: Home: Work: Mobile: Email address: Fax: Permit Details: Planning permit number: Application refevence number What has been proposed? proposed action Juckings S Dense What is the address to be used or developed? િત્ત ennon 28-- nstucce Who has applied for the permit? <u>CLEMENT-STONE</u> PLANNERS Town **Objection Details:** What are the reasons for your objection? Complim development is NOT. ousing STOC DUVDOSE Æ H-e. has ren ences 10 Keedin <u>onv</u>er CTV20

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How would you be aff	ected by the	granting of this per	nit?		
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If you need more space for any part of this form please attach another sheet.

Signature: 80 Date: Name:

Office Use Only:	، بر
Objection Received by:	Date Received: / /
Planning officer responsible:	_ Date Received://

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Disruption

28.

Glendon drive and the adjoining "The Backwater" street are a community of medium to high socio economic professionals from Business, Teaching, Nursing and the Building professions.

Inhabitants have created a respectable and high quality neighbourhood culture. This is a highly desirable address.

The disruption to this idyllic neighbourhood street vista and street scene of injecting HIGHLY CONCENTRATED crisis housing structures will be profound and ascetic values will plummet.

This huge development of at least 11 domicile structures and buildings is almost beyond comprehension.

Security. By day and particularly night apprehension of personal safety is clear.

We use the street and nearby walking tracks regularly and express concern that this free access will be compromised and rendered less safe.

The free movement of local's vehicles because of the high density of inmates in this concentrated street position will be unfair and was unanticipated.

Equity issue In Glendon Drive there are currently 10 houses of 23 Adults excluding children.

The adjoining "The Backwater" street some 200 metres from the proposed crisis centre address is a premier residential Baimsdale address.

The proposed crisis buildings of 10 units and a crisis centre at the least will drastically alter the mix of middle to upper class professional residents by at 100% with the lower socio economic inmates coming in.

Therefore as a basic equity issue, why is this proposal so concentrated in one street and not spread over the whole Baimsdale community?

High security walls and constant security personnel will render this premier address

as institutional, imposing and creating considerable apprehension and have a huge impact on health and wellbeing of residents in the area.

Online Form Submitted

Date Submitted: 16 Apr 2020 04:47 PM

Name	Justin Kellow		
Email address	m.au		
Postal address	, Eastwood Vic 3875		
Home			
Work			
Mobile			
Fax			
Planning permit number	91/2020/P		
What has been proposed?	Building of 10 Units		
What is the address to be used or developed?	4,5,8,13 & 17 Glendon Drive Eastwood		
Who has applied for the permit?	Clement-Stone Town Planners		
What are the reasons for your <u>objection</u> ?	The proposed development is not complimentary to the current area and is not keeping with the profile of the area in that no streets have more than 2 multi dwelling sites.		
How would you be affected by the granting of this permit?	This project would have social and financial impacts on the direct neighborhood and for the wider Eastwood area with a precedent set for other future multi dwelling sites to proceed.		
Additional information	No file attached		

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

2 2 APR 2020

-	
Name: JOHN + HELEN LEACH	MANAGEMENT
Postal address: EAST	VOOD VIC
	Postcode 3875
Phone number: Home: Work: N/A	Mobile:
Email address:	Fax:
Permit Details:	94/2020/P 5
Planning permit number: $\frac{91}{2020}P - \frac{92}{2020}P - \frac{93}{20}20$	020/P-95/2020/P +
What has been proposed? 10 UN(T3 - 5X 3 BEBROOM DO	PREX UNITS ON
5 6075	
What is the address to be used or developed? LOTS 4, 5, 8, 13	+17 GEENDON
DRIVE EASTWOOD	
Who has applied for the permit? CLEMENT - STONE TOWN	PLANNERS ON
BETHALF OF DIRECTOR OF PUBLIC HOUSIN	6-

Objection Details:

What are the reasons for your objection?	
1. The development is not in Keeping a	with the character profile
of the onea given that no streets	
than 2 multi dwelling sites.	
2. The proposed divelopment is a	not complimentary to the
existing houring stock.	
3. The original purpose of the la	and has been changed
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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit? least 6 at peonle 60 20 (Ås HEZEN Has 1 me el ago a

If you need more space for any part of this form please attach another sheet.

Signature: Date: 2/1 4 12020 Name: HELEN LEACH LEACH JOHN

Office Use Only:		
Objection Received by:	Date Received:/	/
Planning officer responsible:	Date Received:/	/

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From: Carol McAuliffe [] Sent: Wednesday, 22 April 2020 7:33:26 AM To: Feedback Address For Web Page Subject: Planning permit objection

Hi

I wish to lodge the attached planning permit

Kind regards

Carol McAuliffe

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Postal address:				
Eastwood	10.		Postcode	3875
Phone number: Home:	Work:	Mobile:	1	
Email address: ,		Fax:		
Permit Details:	V		95/2	9/0601
Planning permit number: 40/2<	020/P 91/2020/P. 92/2	020/19 93/2020		
What has been proposed? (O	Units - 5×3Bec	woom duole	x Units	
Who has applied for the permit? _ <u>con behat of Puk</u> Objection Details:	Clement -Stone - olic Housing	town planne	7S .	
What are the reasons for your obje	ection?			
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How would you be affected by the granting of this permit? a

If you need more space for any part of this form please attach another sheet.

Signature: Name: Date: 11/ 4120 M

Office Use Only:	
Objection Received by:	Date Received:/ //
Planning officer responsible:	Date Received: / /

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Vour Detaile

EGSC

Your Details:		7 8 APR 2020
Name: ALAN & FAY	E M'CORN	
Postal address:	1	MANAGEMENT
		Postcode 3 8 7 5
Phone number: Home:	Work:	Mobile: (
Email address:		Fax:
Permit Details:		
Planning permit number:		
What has been proposed? 10 -	SX3 DUPLEX	UNITS
What is the address to be used or de	veloped? 5 Lots	4.58 13 17
G	LENDON DRIVE	ENSTWOOD
Who has applied for the permit?	CLEMENT -	STONE TOWN PLANNERS
		F PUBLIC HOUSING
Objection Details:		
What are the reasons for your object		
THE PROPOS	ED DEVEOFME	Not Is Not
COMPLIMENTARY -	TO NOTHE E	XISTING HOUSING STOCK
SURENY THIS	DOES NOT MA	KE LOGICAL SEASE
,		ONE STREET OF
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EXTEN MOVEMENT	T IN THE	AREA ? ANY ONE HAD

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ABOUT

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
THE AMOUNT OF COMMUNITY HOUSING IN ONE STREET OF, EASTNOOD GLENDON DRIVE
·
If you need motorspace for any part of this form please attach another sheet.
Name: ALAN M'CORMACK Date: 16 1 9 12020

Office Use Only:				
Objection Received by:	 	_ Date Received:	_/	/
Planning officer responsible:	 <u>.</u>	_ Date Received:	 1	

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

EGSC

rour Details.		2 0 APR 7020
Name: CHRISTOPHER	NASH	INFORMATION
Postal address:		MANAGEMENT
EASTINGOD		Postcode 3785
Phone number: Home:	Work:	Mobile:
Email address	· · · ·	Fax:
Permit Details:	, , , , , , , , , , , , , , , , , , ,	,
Planning permit number: $91/92/93$	6/94/95/2020	P
What has been proposed? 0 UNITS		Reom DURIOX UNITS
ON 5 LOTS IN GLENI	DON DUE, EASTW	100 D, 1015 4,5,8, 13 \$ 17
What is the address to be used or develop	ed?	
LOTS 4, 5, 8, 13 \$17	, GLENDON	DRIVE, EABTWOOD 3875
·	<i>I</i>	
Who has applied for the permit?	ENT-STONE TO	NN PLANNERS
ON BEHALF OF THE	DRECTOR OF	PUBLIC HOUSING
Objection Details:		

What are the reasons for your objection?
I. THE DEVELOPMENT IS NOT IN KEEPING WITH THE CHARACTER
PROFILE OF THE AREA - THERE ARE NO STREETS IN EASTWOOD
WITH MORE THAN 2 MULTI DWELLING SITES
2. THE PROPOSED DEVELOPMENT IS NOT COMPUMENTARY TO
the Bassing Housing
3. THE CRIGINAL RUADOSE OF THE LAND HAS BOON CHANGED
FROM SINGLE RESIDENCES FOR LOW INCOME FAMILIES TO
THE CURRENT PROPOSAL.

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How wo	uld you be affected I	by the granting of t	his permit?			•
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	IN GUNS	on ave.	EASTWOOD	N		
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If you need more space for any part of this form please attach another sheet.

Signature: Date: Name:

Office Use Only:			i
Objection Received by:	_ Date Received:	_/	_/
Planning officer responsible:	_ Date Received:	_/	_/

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From: Trudi Stubbs on behalf of Sent: Monday, 11 May 2020 7:44:59 AM To: Planning Unit Administration Subject: 93/2020/P Objection to Planning Permit Submitted

on behalf of Planning Unit Administration

Trudi Stubbs Team Leader Land Use Administration

A Please consider the environment before printing this e-mail.

From: SeamlessCMS@seamless.com.au <SeamlessCMS@seamless.com.au> Sent: Monday, 27 April 2020 7:03 PM To: Planning Department <Planning@egipps.vic.gov.au> Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 27 Apr 2020 07:02 PM

Name	Jessie Ng
Email address	
Postal address	S and Carrierado
Home	
Work	
Mobile	
Fax	
Planning permit number	93/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	8 Glendon Drive Eastwood Lot 203 PS542289
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is not beneficial to the neighbouring residents or the tenants themselves 4> Current cluster of public housing on Gree Kulluk PI is frequently left unkempt 5> Children living in public housing on Gree Kulluk PI are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and increases social impact across the neighbourhood.

How would
you be1> Clustering of emergency housing in one street is likely to affect the safety of the
neighbourhood. 2> There has been multiple episodes of vandalism and theft likely
affected by the
granting of thisresulting from public housing being clustered on Gree Kulluk Pl and concerns about
crime will rise if the permit is granted, potentially placing the community on surrounding
streets at higher risk.

Additional No file attached

From: Trudi Stubbs [TrudiS@egipps.vic.gov.au] on behalf of Planning Unit Administration
Sent: Monday, 11 May 2020 7:31:15 AM
To: Planning Unit Administration
Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 27 Apr 2020 06:59 PM

Name	Poh Ng
Email address	
Postal address	
Home	
Work	
Mobile	
Fax	
Planning permit number	93/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	8 Glendon Drive Eastwood Lot 203 PS542289
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is not beneficial to the neighbouring residents or the tenants themselves 4> Current cluster of public housing on Gree Kulluk PI is frequently left unkempt 5> Children living in public housing on Gree Kulluk PI are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and increases social impact across the neighbourhood.
-	1> Clustering of emergency housing in one street is likely to affect the safety of the neighbourhood. 2> There has been multiple episodes of vandalism and theft likely resulting from public housing being clustered on Gree Kulluk PI and concerns about crime will rise if the permit is granted, potentially placing the community on surrounding streets at higher risk.
Additional information	No file attached

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Ruth Rye					
Postal address:	EASTWOOD				
/	EGSC		Postcode 3875		
Phone number: Home:	Work:	Mobile:			
Email address:	2 3 APR 2020	Fax:			
Permit Details:	INFORMATION MANALEMENT				
Planning permit number: 9% 2020 1P, 91/20	20/P 92/2020/P	93/20201P. 9	1+1202018 95/20201		
Planning permit number: 90/2020 /P, 91/20 What has been proposed?/O um/f	5 - 5 x 3 bac	droom a	luple + ilmits		
on 5 lots in Clandon	DRIVIE EAS	TWOOD	3875		
What is the address to be used or developed			Colendon		
Drive Eastwood 38	75	•			
		a 1977			
Who has applied for the permit? <u>Clem</u> Public Housing	ent-Stone T	own Pla	inners for		

Objection Details:

What are the reasons for your objection? development 15 not Keeping . that no streets the charac given cirea 01 cn. mosi mol 10 11 monta ζ n of ъ 0 has the land Deen SINA one

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-How would you be affected by the granting of this permit?
As I refired to a quiet + secure area. As
I had emergeoncy short term recidence close by
in South Eastern Subuch in Melbourne. I had
a few incidents near myhome with residents
of these housing situations and do not want
to live through incidents again a TVOF to
Say that the value of my property would
decrease with this type of development going
ahead in this estate

If you need more space for any part of this form please attach another sheet.

Signature:	1 // ··· I	
Name:	Ruth Ryce	Date: 2014 12020
	<u> </u>	

Office Use Only:			
Objection Received by:	Date Received:	<u> </u>	_/
Planning officer responsible:	Date Received:	_/	

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

22

Name: SUSAN QUIG	LEY.			
Postal address:				·
EASTWOOD				Postcode 3 875
Phone number: Home:	Work:		Mobile	
Email address:	· · · ·		Fax:	-
Permit Details:				`````
Planning permit number: 93 2020	p.			
What has been proposed? 10 Units 5 lots in Glendon	ts - 5x.	3 bed duy)ex_	units on
		Custive,		
What is the address to be used or develope				
4, 5, 8, 13 = 17	6[endon	Dre Das	twood	•
· · · · · · · · · · · · · · · · · · ·				
Who has applied for the permit?	ent-stone	Town F	have	By
	_			
				EGSC
Objection Details:				7 7 APR 2020
What are the reasons for your objection? _				INFORMATION
object to this	developm	ort becau	se it	MANA TRALAT
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How would you be affected by the granting of this permit?
It will have trices of h was hold it and
It will lower prices of houses inthis area It is well documented that rentals encourage more it interest persons.
more it inerant persons.
- I would feel onselfe being a single woman on my own I actually back on to the reserve
on my own lactually back on to the reserve
and can't imagine feeling safe during the night.

If you need more space for any part of this form please attach another sheet.

Signature:	~ ~ ~ ~	
Name:	SUIDN QUIGUEY	Date: 16/4/20

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: Carmel Quinton	
Postal address: Eastwood	
	Postcode 3875
Phone number: Home: Work:	Mobile:
Email address:	Fax:
Permit Details:	
Planning permit number: 91/2020/P-92/2020/P-93/2020/P- What has been proposed? To build 10 units - 5×3 duplex units on 5 lots.	95/2020/P-94/2020/P bedroom
What is the address to be used or developed? <u>GLEndon Drive</u> ,	Factwood.
$\frac{OSS - 4, 5, 8, 13 + 17}{17}$	
Who has applied for the permit? <u>Clement-Stone Town</u>	2 2 APR 2020
Who has applied for the permit? <u>Clement - Stone Town</u> Objection Details:	
	2 2 APR 2020
Objection Details: What are the reasons for your objection?	2 2 APR 2020 INFORMATION MANAGEMENT
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Wa</u>	2 2 APR 2020 INFORMATION MANAGEMENT
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Wa</u>	2.2 APR 2020 INFORMATION MANAGEMENT Y Suitable
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Wa</u> for the proposed site.	22 APR 2020 INFORMATION MANAGEMENT y Suitable unsightly and
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Wa</u> <u>For the proposed site</u> . <u>The proposed development would be</u>	22 APR 2020 INFORMATION MANAGEMENT y Suitable unsightly and
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Wa</u> <u>For the proposed site</u> . <u>The proposed development would be</u>	22 APR 2020 INFORMATION MANAGEMENT y Suitable unsightly and
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Wa</u> <u>For the proposed site</u> . <u>The proposed development would be</u>	22 APR 2020 INFORMATION MANAGEMENT y Suitable unsightly and

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East Gippsland Shire Council

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How would you be affected by the granting of this permit?
my husband al furchased out our home in
Eastwood & years ago due to the appealing look
Fastwood & years ago due to the appealing look, faiths + close to shops. But mostly it felt safe
+ Secure to us.
1 am now a widow in my To's and the
lam now a widow in my To's and the proposed development would eliminate that
secure/safe feeling in a huge way.
Secure/Safe feeling in a huge way. 1 strongly object to this proposal.

If you need more space for any part of this form please attach another sheet.

Signature: Carmel Quinton Date: 201 4 1 2020 Name:

Office Use Only:			
Objection Received by:	 Date Received:	_/	_/
Planning officer responsible:	 Date Received:	_/	_/

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From: SeamlessCMS@seamless.com.au Sent: Thursday, 16 April 2020 5:26:16 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 05:26 PM

Name	Jackson Rankin
Email address	
Postal address	Eastwood
Home	
Work	
Mobile	
Fax	
Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood
What has been proposed?	5 X 3 Bedroom Duplex Units on 5 Lots
What is the address to be used or developed?	Stated Above
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	Having these houses so close to us will directly impact property prices in neighbouring areas, including ours. the proposed planning does not keep with the character profile of the area and its not complimenting to the existing housing in the area. Such a dense population of low income housing is a horrible idea by any means. The approval of such will effect us financially, as well as future safety concerns for families and neighbours.
How would you be affected by the granting of this permit?	As stated previously, we will be financially affected with our property value decreasing. i have further concerns for our safety with these houses so close, and with direct access to our to our street through the reserve. I also have great concerns for our belongings we have worked extremely hard for. Unless you have been living with you head in the sand you know these points are valid. How would you like this proposal to be so close to you and your families home? Please Note: I know there is a need for housing like this, but why in gods name would you put more than 1 in a street like that?
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

EGSC Your Details: 77 APR 2920 Name: DENISE + ARTHUR ROBERTS INFORMATION Postal address: R.O. Box 2023 BAIRNSDALE VICTORIA MANALSCHENT EASTWOOD VICTORIA Postcode 8 75 Phone number: Home: Mobile: Email address: Fax: Permit Details: Planning permit number: What has been proposed? BUILD IOUNITS (DUPLEX 5 X 3 BEDROOM UNITS ON FIVE LOFE IN GLENDON DRIVE EASTWOOD. STREET NUMBERS OF LOTS 458, 13, 17. What is the address to be used or developed? LOTS 4, 5 8, 13 17 GLEMODA DRIVE EASTWOOD VICTORIA 3875. Who has applied for the permit? CLEMENT-STONE TOWN PLANNERS ON BEHALF OF THE DIRECTOR OF PUBLIC HOUSING Objection Details:

What are the reasons for your objection? When ARE 80 and 84 years of age. He
mould to tastwood from Nicholson about 10 years ago as it was
time to down-size. after spending thirty odd years out of town we
were anciens to find a home which suited our peeds. He have
been so bucky - the area is quick and the locals look out for each
other. He lodge this objection because we believe the newcomen
will meate point problems with morse and the ageunable troubles
that seem to always occur when introusing the numbers of residents
over and above the prequired plan.

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How would you be affected by the granting of this permit? 2/2 both trave significant
health problems. Arthur has macular degeneration and al ready
has lost sight completely in one eye. His poor healty is aggrainated
by heart to no bloms a a recent diagnosis of diabeties. Hy own
health is not good. And to severe shermatoid on thinkis I rely
on the use of a malber and at ling is a whilehair. In recent years
I was diagnosed with a sever heart problem.
The porcosing is to help you under land the need we
trave to walf out deors. after having many years of good healthy
we wave become uncomfident and insecure autdoons. He fear
having so many people moving into our neighbourhoods and are
any io w for our safety.

Signature: Arthur Roberts - Denie Roberts This objection relation to each block is Lots 4, 5,8, 13 = 14. Date: 23 / 4 / 2020 Name:

ER

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:		11	Arti ZIZI
		INFO9	MATION
Name: Barbara Roga	11 2		ALMENT .
Postal address:			
EASTWOOD			Postcode 3 P 7 5
Phone number: Home:	Work:	Mobile:	0
Email address:	· · · · · · · · · · · · · · · · · · ·	Fax:	
	ENT OF THE DO DWELLING		
What is the address to be used or developed	? BELENIO EASTWOOJ		<u>ج</u>
Who has applied for the permit? <u>CLE</u> N	ENT - STONE	TOWN	PLANNING

Objection Details:

What are the reasons for your objection?	
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If you need more space for any part of this form please attach another sheet.

	•
Signature:	
Name: B. ROGALLA:	Date: <u>26 /04 / 2020</u>

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Office Use Only:	· · · · · · · · · · · · · · · · · · ·
Objection Received by:	Date Received://
Planning officer responsible:	Date Received://

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Reasons for my Objection

- a. The proposed development is not in keeping with the character profile of the area, given that no streets in Eastwood have more than two multi dwelling sites.
- b. The proposed development is not complementary to the existing housing stock.
- c. The original purpose of the land has been changed from single residences for low income families to the current proposal.

How I would be affected

The proposed development will adversely impact on the social composition and on my personal enjoyment of living in Eastwood, for the following reasons.

- a. Glendon drive is a residential street of about two hundred metres in length. The proposed development in this small street will create a type of neighbourhood that historically used to be called "ghetto".
- b. I do not object to the spirit of providing assistance to homeless people or to families in crisis. I do, however, object to a plan that the residents of the surrounding properties ought to carry the social burden of providing such assistance. In the interests of fairness, such burden should be spread more equitably across the whole of Bairnsdale, or of East Gippsland.
- c. Even before any building work has commenced, the property values in this area have already dropped by 20%.
- d. This drop in property value is likely to spread to other residential properties within an estimated radius of at least three hundred meters. To date, no compensation has been offered to property owners directly impacted on by this planned development.
- e. I am concerned about security implications of the proposed plan on myself and my immediate neighbourhood. At greatest risk will be aged residents and families with children who live in the surrounding properties on Glendon Drive and on Flinns Road.
- f. No Social Impact Statement, as per *East Gippsland Planning Scheme*, has been distributed to residents who are directly impacted by the proposed planning. Such impact statement needs to be provided as a matter of urgency.
- g. The proposed developments for Glendon Drive are only the tip of the iceberg. The proposed development for the land on 4, 5, 8, 13 and 17 Glendon Drive excludes what is being planned for the land on number 3 Glendon Drive. This is located directly behind my property. Current knowledge has it that there is a plan to build a high-security crisis centre, which has not yet been declared to residents. Withholding information on what is being proposed for the whole of Glendon Drive smacks of lack of transparency.
- h. The proposed planning permit also flies in the face of the Mission Statement of the 2017-2021 Council Plan (Year 2, Revised March 2018). East Gippsland Shire Council endeavours to make East Gippsland "the most liveable region in Australia. A place of natural beauty, enviable lifestyles, and opportunities". The proposed development, if successful, would exclude me and my neighbours from the benefits of this mission statement.

From: wayne stagg [s 1] Sent: Sunday, 26 April 2020 3:04:19 PM To: Feedback Address For Web Page Subject: Glendon Drive Eastwood planning permit OBJECTION

Pleas find attached my objections to this development Wayne Stagg

Eastwood.3875. M. (W.]

HELP DRIVING SCHOOL



Virus-free. www.avg.com

Objections. Planning Permit (94/2020/P).

Glendon Drive Eastwood.

(a) This proposed development by the DEPT. of HEALTH and HUMAN SERVICES is not in keeping with the character and existing streetscape, of this short 200 meter street, which is used by residents who live in THE BACKWATER and their families and friends as well as those wanting to get to the Backwater walking track or river.

Glendon Drive currently has eight (8) existing single dwellings :- Nos.!,2, 9, 10,11, 18, 19,20.

DHHS has the remaining 12 undeveloped blocks :- Nos.3, 4, 5, 6, 7, 8,12, 13, 14, 15, 16, & 17. Therefore 60% of Glendon Drive (200 meters long) could be occupied by 24 dwellings (Duplexes) which the concerned residents and neighbours feel is definitely not in character with the overall Eastwood neighbourhood, except for the Eastwood Retirement Village, which of course was purpose built with all required facilities included. If Glendon Drive is eventually developed by DHHS in the manner mentioned (12 Duplexes = 24 dwellings in a street of 200 meters) would council require proportional facilities to a small Retirement Village ?

(b) Concerningly, The Dept. of Health and Human Services (DHHS) has applied for four (4) other identical duplex dwellings simultaeously:- (91/2020/P), (92/2020/P), (94/2020/P), (95/2020/P), which seem to have been somewhat strategically placed amongst the remainder of the OHHS undeveloped blocks so as to not have any immediate side neighbours.

(c) Also concerningly an earlier letter from the DHHS dated 30/10/2019 advising of a "family housing" development occupying three (3) adjoining blocks 12, 14 &16, seems to have been "shelved" while the present Permit applications are in progress. Local concerned residents who expressed written concerns to DHHS have to this date have had no replies.

(d) In view of the current COVID-19 and subsequent "social restrictions" and the concerning time frame in which this development was advised to the immediate neighbours (Thursday before Easter,9/4/20) we have little confidence in the "transparency" of how DHHS has allowed concerned residents in the area the opportunity to gather and discuss and exchange information in any sort of forum that would allow us to feel confident we were being given a "fair and Just" amount of time to present our concerns properly. For example was the original planning of "Eastwood" designed for clusters of Duplex dwellings as a prerequisite of council planners? Were there "covenants" on any areas that disallowed clusters of Duplexes in certain areas ie. The south side of "The Backwater" where three attempts to subdivide, have recently ended up in VCAT, at much expense to all concerned.

(e) Several concerned residents are not aware of the East Gippsland Planning schemes that relate to "Proposals for new developments" and social impact guidelines and therefore don't know if they can validly object on these grounds.

(e) If this development were to be granted permission to proceed I feel the neighbouring property values would suffer depreciation and the "ripple effect" would be likewise felt into adjoining streets in

the vicinity.

(e) Increased vehicle traffic and children's outdoor activity in the street, particularly if not parentally supervised could increase risk of injury.

Wayne Stagg

,Eastwood.3875.

273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: JAN & JENNI STANIFORTH	
Postal address:	······
EASTWOOD	Postcode 3875
Phone number: Home: 5152 2509 Work:	Mobile: 7
Email address:	Fax:
Permit Details:	
Planning permit number: Nog 91, 92, 93, 94, 95/2	2020/p
What has been proposed? 5x3 bedroom du	
What is the address to be used or developed? <u>No5</u>	4,5,8, BEA Glendon Drive
	stwood 3875
Who has applied for the permit? Clement-Ston	e Town Planners
Objection Details:	
What are the reasons for your objection?	
S to the t	

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·	 INFORMATION MANAGEMENT
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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?	See attached sheet
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If you need more space for any part of this form please attach another sheet.

Signature:				
Name:	Jennifer Staniforth	IAN	STANIFORTH	Date: 27 / 04 / 2020

· · · · · · · · · · · · · · · · · · ·		
Office Use Only:		
Objection Received by:	Date Received:/	
Planning officer responsible:	_ Date Received:/	/

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We believe perhaps one Duplex could be absorbed within the surrounding housing 'picture'. Possibly two, particularly if they are on opposite sides of the road and opposite ends of Glendon Drive, but 5 duplexes will become a visual feature/eyesore and detract from the amenity of the area and increases the housing density beyond residents reasonable expectations.

As stated in the reason for objection the proposed development of 5 duplex blocks will affect the amenity of the area in terms of:

a) Traffic

9

- b) Noise
- c) Appearance

- d) Reasonable expectations of development occurring in the immediate area.
- e) Restricted passage for motor vehicles

I M Staniforth.

1

27/04/2020

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J A Staniforth

27/04/2020

Possible Letter to the East Gippsland Town Planner

I am concerned about the timing of this planning application and wonder if it satisfies the planning laws in that, due to restrictions of movement imposed by the State Government: -

- 1. The proposals have not been visible to all those affected as passage along that street has been severely diminished due to travel restrictions.
- 2. There has been no social interaction during the time that the proposals have been advertised thus an awareness of the proposals has not be communicated by word of mouth to affected parties.
- 3. The community have been denied the opportunity to meet and discuss the proposals as was possible in the past with proposals, three times rejected by VCAT, relating to 3 applications to build 2 dwellings on each of three blocks in the nearby Backwater.

Surely the planning laws require people to have the opportunity to be informed and due to the Conavirus this has not happened.

Finally, please note that in our objections we have pointed out some glaring errors in the submissions all which make the location of these units more attractive than they would be in reality. We have not had the time, nor do we have the town planning knowledge to examine all aspects of these applications but since there are some simple basic details incorrect, we believe the rest of the submission needs questioning and examining by someone with the necessary town planning knowledge – yourself, perhaps?

I M Staniforth

Eastwood 3875

The Town Planner

East Gippsland Shire

27/04/2020

Dear Sir

Re : Planning permit Applications Nos. 91,92,93,94,95/2020/P

I am concerned about the timing of this planning application and wonder if it satisfies the planning laws in that, due to restrictions of movement imposed by the State Government: -

- 1. The proposals have not been visible to all those affected as passage along that street has been severely diminished due to travel restrictions.
- 2. There has been no social interaction during the time that the proposals have been advertised thus an awareness of the proposals has not be communicated by word of mouth to affected parties.
- 3. The community have been denied the opportunity to meet and discuss the proposals as was possible in the past with proposals, three times rejected by VCAT, relating to 3 applications to build 2 dwellings on each of three blocks in the nearby Backwater.

Surely the planning laws require people to have the opportunity to be informed and due to the Corona Virus this has not happened.

Additionally, please note that in our objections we have pointed out some glaring errors in the submissions all which make the location of these units more attractive than they would be in reality. I have not had the time, nor do I have the town planning knowledge to examine all aspects of these applications to determine if there are further inaccuracies, but since there are some simple basic details incorrect, I believe the rest of the submission needs questioning and examining by someone with the necessary town planning knowledge – yourself, perhaps?

Yours faithfully

I M Staniforth

essc

2 6 APR 2920 INFORMATION MANAGEMENT

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details: 20 APR 2020 Name: <u>vew</u>iv **INFORMATION** MANAGEMENT Postal address: Postcode zast wor C Work: Mobile: Phone number: Home: Email address: Fax: Permit Details: 2020 2020 Planning permit number: 9 2020 What has been proposed? UY What is the address to be used or developed? 04 Who has applied for the permit? $\,\mathbb{C}\,$ anners isir bn **Objection Details:** What are the reasons for your objection νď in 0 D QY Ń na NO. C oS セヒイ oSa \cap 0 0055 e;

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XX

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....)



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How would you be affected by the granting of this permit? Multiduelling sites will cause realestate
prices to drop.
Bacquater residents will experience
Queater traffic in Glendon Drive Single residences would not produce
this problem,
· · · · · · · · · · · · · · · · · · ·

If you need more space for any part of this form please attach another sheet.

Signature Date: 15/04/2020 Name: rewir

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Planning permit number: 91/92/93/94/95/09/140 + 141 /2020
Postal address: INFORMATION EASWOOD MANAGEMENT Postcode 3 87 Phone number: Home: Work: Mobile: Email address: Fax: Permit Details: Planning permit number: 91/92/93/94/95/091/140 \$ 141/2020
FASWOOD MANAGEMENT Postcode 3 87 Phone number: Home: Work: Mobile: Email address: Fax: Permit Details: Planning permit number: 91/92/93/94/95/09/140 \$ 191/2020
Phone number: Home: Work: Mobile: Email address: Fax: Permit Details: Planning permit number: 91/92/93/99/95/091/140 \$ 191/2020
Permit Details: Planning permit number: 91/92/93/94/95/099/140 \$ 191/2020
Planning permit number: 91/92/93/94/95/09/140 + 141 /2020
What has been proposed? ATT THIS' STAGE, & 16 DULEX WITD NE PROPOSED ON
& NOTS ON CHENDON PRIVE ENSTWOOD.
What is the address to be used or developed? 4, 8, 12, 14, 16, 5, 13 9 17 CLENARN DRIVE
EASTWOOD
Who has applied for the permit? CLEMENT- STONE TOWN PLANNERS of BEHAL
OF THE DEPARTMENT OF AGAILTH & HUMAN SERVICES
Objection Details:
What are the reasons for your objection? THE DELARINENT HAVE APLIED FOR 16 UNITS
ON 8 LOTS. AS THEY HLSO OWN MOTHER 4 LOD IN THE SAME STREET
DUREX INTO N ONE STREET. IF BERNITO WERE TO ISSUE IT WOULD:
· COMPLETELY CHANCE THE NEICHBOURHOOD CHARACTER
· ONE OR TWO DUPLEX'S IN ONT STREET (AS ANS BEEN SUMORIZED IN THE PASE) W
• ONE ORTHO DUPLEX'S IN ONE STREET (AS ANS BEEN SUMORIED IN THE PAST) WI DE HAVE HERS WANT BUT 16 (OR POTENTIALY 24) IS NOT IN RECEIVE WITH THE
• ONE ORTWO DUPLEX'S IN ONE SIGEET (AD AND BEEN SUMORIED IN THE PAST) WI BE HAVE LESS IMALT BUT ID (OR POTENTIALY 24) ID NOT IN REEPINC WITH THE OVERALL ENDINGED OF DECOMENT. IN FACT, THE ORIGINAL DEVELOSMENT DID NOT

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THERE IS A DIMUETE LACK OF STEEFISCARE DESIGN WITH ALL UNITS HAVING THE SAME PARADES AND BUILT FROM THE SAME MATERIALS THE DEVELOPMENT WILL NORENSE THE WELL OF DENSITY FROM THAT CRICINALY PROPOSED AND 17 IS MY INDERSTANDING THAT HAD THE OUGRALL DEVELOPMENT BEEN THE SUBJECT OF ONE PLANWING APPLICATION, ENJT. GIRSLAND STREE WOULD HAVE REQUIRED A SOCIAL INPACT ASSESSMENT. THIS WOULD HAVE ALLOWED FOR A TRANSPACENT PROCESS TO CONSIDER BROADER COMMUNITY ISSUES 94.2020.P 17 Glendon Redacted Objections

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How would you be affected by the granting of this permit? WHEN WE PLACED AND
BUILT OUR HOME AT 7 BIRCH COURT (THE WALLLATION INCORPECTIV LIST OUR
PEOPERTY AS VALANT) WE WEER WORR THE IMPRESSION THAT THE SUBJECT
LOTS WERE TO BE WED TO RETELD! WOINIGNAL HOMES USING A GROUP SUF BUILD
MOREL. THAT WOULD HAVE GIVEN WE US THE HOME ASTONING OUR
POPERTY AT THE BEAK. WHER THE PROPOSAL THIS COULD DOUBLE.
THE STANDARD AND DENSITY OF DEVELOPMENT IS NOT IN TOEPING
WITH THE NEIGHBOURHOOD AND MAY NOTE AN IMACT ON THE
HUERDILITY AND VALUE OF OUR PROPERTY.

If you need more space for any part of this form please attach another sheet.

Signature: ے Websdde 261 20. Name: Date: Serry

Office Use Only:		_	
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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From: Sent: Wednesday, 15 April 2020 2:06:51 PM To: Feedback Address For Web Page Subject: PLANNING PERMIT 94/2020/P

Re: East Gippsland Shire Council Planning Permit Application 94/2020/P Construction of Two (2) New Dwellings 17 Glendon Drive Eastwood Vic 3875

Please find attached 'Objection to Planning Permit Application'

Regards Keith White K & C White Pty Ltd

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Ka C WH	ITE PAY LTD	
Postal address: 1. 0. Be	x 1295	
BAIKNSOF	ne	Postcode 3875
Phone number: Home:	Work: '	Mobile:
Email address:		Fax:
Permit Details:	0	
Planning permit number:	+(2020/P	
0	VELORMENT OF LIND ELLINGS	FOR TWO
What is the address to be used or d	eveloped? 1 GLENDON) ORIVE
	ENSTWOOD	
Who has applied for the permit?	CLEMENT - STONE TO	WN PLANNERS

Objection Details:

What are the reasons for your objection?
WE STRONGLY OBJECT TO THE CONSTRUCTION AS
PLANNED AT 17 GLENDON DRIVE EASTWOOD
THE PROPOSE WOULD RESULT IN THE VALUE OF THE
PROPERTY AT 19 GLENDON DRIVE DROPPING DRAMATICALLY.
THIS AREA IS CONSIDERED AS A QUIET FAMILY
ESTATE AND OCCULANTS OF THE PLANNED DWELLING
WOULD OBVIOUSLY BE TRANSITORY UPSETTING THE
HARMONY OF THE AREA

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How would you be affected by the granting of this permit?
ALL THE OCCUPIERS OF PROPERTY IN GLENDON
DRIVE WOULD BE AFFECTED AS THERE APPEARS TO
BE FIVE PERMIT APPLICATIONS IN GLENDON DRIVE
WITHIN A SHOKT DISTANCE 5 OF THESE SOLTS OF
DWELLINGS IN CLOSE PROXIMITY WOULD NOT BE A
GOOD IDEA
THIS WILL DROP PROPERTY VALUES AND MAKE THIS
ONCE DESIRED AREA NOT THE BEST PLACE TO
RAISE A FAMILY WITH LOTS OF DIFFERENT RESIDENTS
AT ANY GIVEN TIME
1

If you need more space for any part of this form please attach another sheet.

Signature: KEITH R. WHITE 151041 2020 Date: Name:

Office Use Only:			
Objection Received by:	Date Received:	1	_/
Planning officer responsible:	Date Received:	1	1

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From: Nicole Arnold | Sent: Thursday, 23 April 2020 4:26:04 PM To: Feedback Address For Web Page Subject: Objection to Planning Permit

Good afternoon,

Please find attached our objection to a proposed planning permit. Thank you.

Kind Regards,

Rick and Nicole Arnold

273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vio.gov.au Follow us on Twitter @egsc



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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Rick & Nicole Arnold				
Postal address:				
Eastwood			Postcode	3 8 7 5
Phone number: Home: (Work:	Mobile: (
Email address:		Fax:		
Permit Details:				
Planning permit number: 91/2020/P 9		20/P 95/2020/P		
What has been proposed? Developmen	t of land for 2 dwellings X 5			
What is the address to be used or deve Eastwood, 8-lot 203 Glendon Drive Ea			ot 218 Gleno	don Drive
17-lot 212 Glendon Drive Eastwood				
Who has applied for the permit? Cleme	nt-Stone Town Planners			

Objection Details:

What are the reasons for your objection? _

1. Increase in traffic

2. The potential for more dwellings for similar purpose

3. Decrease in market value of our property

4. Increase in noise levels

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If you need more space for any part of this form please attach another sheet.

1110 Signature: NICOLE ARNOLD. Date: 23/04/2020 RICK ARNOLD Name:

Office Use Only:			
Objection Received by:	Date Received:	1	_/
Planning officer responsible:	Date Received:	1	<u>i</u>

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When information is given out, Council will always try to make sure your privacy is protected in line with the Privacy and Data Protection Act 2014. You may ask for more

Date Submitted: 09 Apr 2020 11:59 AM

Name	Steven Barry
Email address	
Postal address	Eastwood
Home	
Work	
Mobile	
Fax	
Planning permit number	91 - 94/2020P
What has been proposed?	4 Planning permits for multiple dwellings on 4 sites in 1 street.
What is the address to be used or developed?	4, 5, 8, 13, and 17 Glendon Drive Eastwood Victoria 3875.
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	Concerns that there are a large concentration of low income housing in 1 street. There is already a proposal for crisis accommodation to be built in another vacant block in this same street by DHHS also. This street has undergone significant development and investment in existing housing and will be financially affected by such a large concentration of low income housing. There is also an issue of safety and security of tenants of the area. These are just some of our concerns and we are formally objecting to the construction of these dwellings.
How would you be affected by the granting of this permit?	Financially affecting the value of our homes as such a large concentration of DHHS dwellings in this street. Safety concerns for our young family. Increased traffic to the area also causing safety concerns. This development should not have been the last development in the area but the first so it was known when purchasing properties in the area. We did try initially to investigate the proposal of vacant blocks but were unable to get any information of intentions to develop.
Additional information	No file attached

Kerry Stow

From:	SeamlessCMS@seamless.com.au
Sent:	Wednesday, 22 April 2020 1:31 PM
То:	Planning Department
Subject:	Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 22 Apr 2020 01:30 PM

Name	Amy Baxter
Email address	ail.com
Postal address	Bairnsdale
Home	
Work	
Mobile	
Fax	
Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood.
What has been proposed?	5×3 Bedroom Duplex units on 5 lots.
What is the address to be used or developed?	30 Balmoral Crescent, Bairnsdale
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	Fear for our saftey and a concern for the property value near where these units are suppose to be built.
How would you be affected by the granting of this permit?	I would be severely affected as i feel everyones saftey must come first.
Additional information	No file attached

Kerry Stow

From:	SeamlessCMS@seamless.com.au
Sent:	Wednesday, 22 April 2020 12:13 PM
То:	Planning Department
Subject:	Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 22 Apr 2020 12:13 PM

Name	Katie
Email address	2@gmail.com
Postal address	crescent
Home	
Work	
Mobile	
Fax	
Planning permit number	4,5,8,13,17 glendon drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?	4,5,8,13,17 glendon drive eastwood
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	I strongly object to ths development due to already seeing the effect commission housing and similiar of value on properties, potentional property damage, I see eastwood becoming an area that willbe avoided if this was to go through being the lack of respect and peace already a problem from tenants. The safety rates would severely drop if this is the case making it an unsafe area for the elderly
How would you be affected by the granting of this permit?	I feel it will effect the property of our homes due to the nature and impact this development will create
Additional information	No file attached

Date Submitted: 22 Apr 2020 11:01 AM

Name	Kimberly Baxter
Email address	d.com
Postal address	Eastwood
Home	
Work	
Mobile	
Fax	
Planning permit number	4, 5, 8, 13, 17 Glendon Drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?	
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	Placing this sort of housing in Eastwood will have a huge impact on surrounding houses and property value. Which is not fair at all. If these go ahead many will put there houses on the market due to this and fears for safety.
How would you be affected by the granting of this permit?	I personally fear for the safety of not only mayself but family, and everyone in the Eastwood community! They dont need to be put in this area. I understand they are needed but come on??? Whould you like them put right near your house
Additional information	No file attached

Date Submitted: 22 Apr 2020 11:12 AM

Name Email address Postal address Home Work Mobile	Melissa Baxter @hotmail.com Eastwood
Fax Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood
What has been proposed?	5 x 3 bedroom duplex units on 5 lots
What is the address to be used or developed?	
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	I do not understand how you can honestly build so many of these low-income houses to be built in one street! Yes i understand the need for them but why put more than 1 in the same street. This will have a huge impact on property prices (including ours) and we will be looking at seeing a huge decrease which is an absolute shame for all the hard-work and money people have put into these properties. If the Approval goes ahead it will affect us financially as well as future safety concerns for families and neighbours. The proposed planning does not keep up with the character profile of the area and is not complimentary to the existing housing in the area.
by the granting	As stated above this will affect us financially with our existing property as the value will decrease as the houses will be so close. This really concerns my safety as these houses will be so close to where I currently live. The houses will have direct access to our street through the reserve. This will extend my concerns for our belongings that we have worked extremely hard for! I by no means would like these permits to go ahead and to think that putting 5 on one street is a good idea!? Think again! You know these points are valid and just think, how would you like this proposal to be so closed to your home and your loved ones.
Additional information	No file attached

Date Submitted: 22 Apr 2020 11:24 AM

Name	stephen baxter
Email address	1 gpond.com
Postal address	: eastwood vic 3875
Home	(
Work	(
Mobile	1
Fax	
Planning permit number	4,5,813,17 glendon drive
What has been proposed?	5x3 bedroom duplex units on 5 lots
What is the address to be used or developed?	4,5,8,13,17 glendon drive eastwood
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	i strongly object to this development due to having seen already the effects of housing commission or similar housing here in eastwood attracting or being tenanted by people who do not desire to fit in with what our estate desires to be which is a peaceful and attractive area for families and retirees we already have too many over here now that cause problems without having anymorei can see eastwood becoming an undesirable area if this development is allowed. putting two and two together i can see abusive exes attempting to access ex partners etc and do not wish to see this occur where i live.
How would you be affected by the granting of this permit?	i beleive that the eastwood eastate as a whole will be impacted by this development as i feel it will affect the property values of our homes due to the
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

		1.1			
Name: Activey & Eilit	a Ki	ckley			
Postal address:					
Eastwood	Vic			Postcode	3875
Phone number: Home:	Work:	Fesc	Mobile:		
Email address:		2 7 7.27 2521	Fax:		
Permit Details:		INFORMATIO MANAGEMEN	N VT		
Planning permit number: Unkho	wh		,	0	
What has been proposed?	70 b	uild 10 ur	its	for M	ublic
Housing					
What is the address to be used or developed	d? 4,5	8,13417	Gle	ndon	Drive
Eastwood Vic 30	875		•		•
	(
Who has applied for the permit?	nent-	-Stone To	ωn	Plan	20

Objection Details:

1 Å What are the reasons for your objection? 10

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1



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How would you be affected by the granting of this permit?
The proposed buildings being built would increase
the traffic and condense that traffic in
my grea. The roads and parking in that area
would find it hard to cope.
1 also would be concerned for the safety of
yoing children that every play on those
roods
······································

If you need more space for any part of this form please attach another sheet.

On-Signature: Date: 29 Name:

Office Use Only:			
Objection Received by:	Date Received:	_/	
Planning officer responsible:	Date Received:	_/	

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: ANNA - JOHANNES	BOEL	<		
Postal address:				
EASTWOOD				Postcode 3 875
Phone number: Home:	Work:)	Mobile	
Email address:			Fax:	
Permit Details:	•			
Planning permit number: 95/2020/P	94 /2020/+	, 92 /2020	1,91/2020/1	", 93 / 2020/P.
What has been proposed? BoiLPiNG	OF 5×3	bedroom a	tuplex unit	TS ON THE 5
LOTS COJERED BY THE ABOVE	PLANNING	APPLICATION	S ON GLENI	20N DRIVE
What is the address to be used or develo	ped? 4, 5	8 13 9 1	7 GLENDO	EASTWOOD. N ORIVE
	ASTWOD			
Who has applied for the permit?	MENT-S	TONE TO.	IN PLANNE	Rs · ON
BENALF OF DIRE	CTOR DF	PUBLIC	HOUSING	
Objection Details:				
What are the reasons for your objection?				
PLEASE RE	FER T	O ATTAC	MED SHE	ÆT
	FOR D			
	·		EGSC	
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Z 8 APR 2020

MANAGEMENT

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by	y the granting o	of this permit?			
· ·	PLEASE	REFER	TO	ATTACHED	Sheet
		FOR	DETA	ils	
	<u>.</u>	·		·····	
				·	
·····					

If you need more space for any part of this form please attach another sheet.

Signature: 🦿			•	
Name: ANNA- R. BOE	JOHANNE	BOEK	Date:	271 4 12020.

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received://

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ANNA R. BOEK &

JOHANNES BOEK

Phone:

Mobile:

E-Mail:

EASTWOOD. VIC. 3875

27TH April 2020

OBJECTION TO PLANNING PERMITS FOR

LOT 4, LOT 5, LOT 8, LOT 13 & LOT 17

GLENDON DRIVE,

EASTWOOD

3875

OBJECTION DETAILS

We are opposed to the proposal to build a number of dwellings on each lot.

The Eastwood Estate was developed with its purpose to provide single dwellings of a certain calibre on each block, with only a few exceptions. In real life these exceptions have occurred on corner blocks only and then with just 2 units per block.

The proposal by the Department of Housing for Glendon Drive will change the whole character of this area. The number of occupants on each block will increase way out of proportion to the current ambience of the area.

This estate was not build with the idea of providing social housing in this area. However over time a few social dwellings have been provided to some people and the dwellings have a habit of changing the pristine area of Eastwood to a bit of a tip on occasions. We want to avoid this happening in Glendon Drive.

Further with the building of all these units the traffic in the area will increase. At this stage each building block may on most occasions have only 2 cars parked on site. Building the proposed number of units will increase the vehicle traffic way out of current usage. Glendon Drive is one of only 2 exits out of this area at this stage and the increase of traffic in Glendon Drive and its immediate surroundings will affect all those persons living on the Backwater and the other adjoining streets, courts and drives with increased noise levels and congestion of traffic.

We are also concerned about parking in Glendon Drive. Increase visitations from trades people, support staff etc. in this street will see a number of cars parked on the street itself blocking the thorough fare. This will cause traffic hazards in this area and could affect the safety of children playing or just using the street.

How would we be affected if these permits are granted?

We live right behind the building blocks on which the units are proposed to be built.

With the increase in population we expect that the noise levels will go up way out of what is currently a very nice quite area. The traffic changes will also affect us as Glendon Drive is the exit for us to drive to Flinns road and thus exiting the Estate.

The change of the character of this part of the Estate will have an economical impact on the remaining housing stock. As the house owners in this area have not been given the opportunity to discuss this matter between themselves due to firstly, the short period of advise and secondly the covid 19 virus restrictions we feel that we should be given some consideration prior to granting these permits to evaluate the proposal and its affect on the area.

11.11

Anna R. Boek

Johannes B. Boek

Online Form Submitted

Date Submitted: 16 Apr 2020 01:17 PM

Name	MIke Bradley
Email address	.com.au
Postal address	Eastwood. VIC. 3875.
Home	
Work	
Mobile	
Fax	
Planning permit number	91/2020/P
What has been proposed?	Building of 10 units
What is the address to be used or developed?	4,5,8,13 & 17 Glendon Drive Eastwood
Who has applied for the permit?	Clement-Sone Town Planners
What are the reasons for your <u>objection</u> ?	The development is not keeping with the character profile of the area given that no streets in Eastwood have more than 2 multi dwelling sites.
How would you be affected by the granting of this permit?	I feel that this project would have social, aesthetic and financial impacts on my neighbourhood which I believe would introduce an unreasonable burden to current residents.
Additional information	No file attached

From: Ted Campbell [] Sent: Wednesday, 22 April 2020 1:48:08 PM To: Feedback Address For Web Page Subject: Planning Objection

Please find attached completed objection form.

E Campbell

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: EDWARD CAMPSCAL	and a state of the
Postal address: PO Box SOO BAIRNSOMLE	The market of
	Postcode 3875
Phone number: Home: Work:	Mobile:
Email address:	Fax:
Permit Details:	De caspin by
Planning permit number:	
What has been proposed? BUILD 10 UNITS - 5 X 3	BEDROOM DUPLEY
UNITS ON 5 141 LOTS IN GLENDON DU CASTNOC	D. Lots 4,5,8,13+17
What is the address to be used or developed?	
1075 4,5,8,13+17 GLENDON DR	IUG CASTWOOD
Who has applied for the permit? CLEMENT STONG TOWN	PLANNERS
ON BEHARF OF THE DIRECTOR OF PU	

Objection Details:

What are the reasons for your objection? is not in keeping with the character proj Eastwood area quue 00 evelopmen ı D ar

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How would you be affected by the granting of this permit?
I INCREASED TRAFFIC FLOW IN THE AREA
20N STREET PARKING INCREASED IN a STREET THAT IS
A ONE OF ONLY TWO ETITS PROUTES FROM
THE BACKWATER, THIS OWN CAUSE CONGESTION AND
ROAD SAFETY 195 CHES.
3. PRESSURE ON LOCAL SERVICES EQ Water, Sewerge.
4. While not directly affecting me, putting two units
on the each block can highlight that thes homes
4. While not directly affecting me, putting two units on the each block can highlight that thes homes are occupied by people living in social housing.

If you need more space for any part of this form please attach another sheet.

Signature: Date: 22/04/2020 Name: mi GU

Office Use Only:	anal anarase of the l	- Ala	-2.
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	1	

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From: SeamlessCMS@seamless.com.au Sent: Thursday, 16 April 2020 8:48:43 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 08:48 PM

Name	Mal Dalton
Email address	il.com
Postal address	Eastwood Vic
Home	
Work	
Mobile	
Fax	
Planning permit number	91 to 95/2020/P
What has been proposed?	Construction of 5 multi site units in Glendon Drive
What is the address to be used or developed?	4,4,8,13 & 17 Glendon Drive Eastwood
Who has applied for the permit?	Clement Stone Town Planners on behalf of DHHS
What are the reasons for your <u>objection</u> ?	The development of these properties is not in keeping with the character profile of the area given that no other streets in Eastwood have more than 2 multi site dwellings. The proposed development is not complimentary to the existing housing stick. The original purpose of the land was for single site residences for low income families - this has now been amended without consultation to the community and adjoining landholders.
How would you be affected by the granting of this permit?	The whole of the immediate area will be affected by the potential issues this type of DHHS cluster housing can cause and will certainly affect the values of nearby properties.
Additional information	No file attached

Kerry Stow

From:	SeamlessCMS@seamless.com.au
Sent:	Thursday, 23 April 2020 8:13 PM
То:	Planning Department
Subject:	Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 23 Apr 2020 08:12 PM

Name	Linda Daniel	
Email address	d.com	
Postal address	Eastwood 3875	
Home		
Work		
Mobile		
Fax		
Planning permit number	91,92,93,94 & 95/2020/P	
What has been proposed?	10 units. 5x3 bedroom duplex units on 5 lots, close together in Glendon Drive Eastwood	
What is the address to be used or developed?	4, 5, 8, 13 & 17 Glendon Drive, Eastwood	
Who has applied for the permit?	Clement-Stone Town planners for Director of Public Housing	
What are the reason: for your <u>objection</u> ?	This is not in line with the character profile of the area as no streets in Eastwood have more than 2 multi dwelling sites, it is not complimentary to the existing houses and the original purpose of the land is being changed from single residences to the current proposal.	
How would you be affected by the granting of this permit?	I live at the back of this street and construction of so many units in such a small area behind where I live will create much more noise and traffic congestion. This is a very quiet area now with single houses on blocks, not numerous units squashed into the same size blocks. I believe having so many of these units together will reduce the value of my property and make it less attractive to families when I need to sell.	
Additional information	No file attached	

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

2 0 APR 7070

Name: SANDRA N LED	DON	JLING			MATION
Postal address:			ISTUDOD		IC
				Postcode	3875
Phone number: Home	Work:		Mobi	ile:	· · · · · · · · · · · · · · · · · · ·
Email address:			Fax:		
Permit Details:					
Planning permit number: 91/2020/P, 93 What has been proposed? The build.	<u>g e</u> f	1 <u>e 93/2</u> 2 10		2000 p	
in Glendon Onve Eastw					
What is the address to be used or developed	-		<u>Ci</u>		
Street Numbers: 4, 5, Vic. 3875	8,13	<u> </u>	Glendo	in Driv	e Eashion

Who has applied for the permit? Clement - Stone Town Planners on behalf

of the director of Public Housing

Objection Details:

What are the reasons for your objection?
1) The development 15 not in Keeping with the Character pople of the
area, given that no streets in Eastwood have more than 2
Mutti dwelling oiles.
2) The proposed development is not complimentary to existing housing
Stock.
3) The original purpose of the land has been changed from Single
residences for low income families to current proposal
thus satting a precedence.

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit? Hy husband & L reside very close to the davelopment being proposed. We chose to live in Eastwood ause excellent planning of mostly single residences & open particiand spaces the hich gives us a worderful quality of life In Researching before chash land in the current proposal Jas . designated we were informed that the to be single dwellings only great concern for the change of single to multip feel do ne جر، الص 5, we also bel that this change would then set a recence <u>Ligher</u> density Øf living in other areas reside in Eastwood a prvileged to 15 masil feel that has gone to the great planning into reed to object to the current have a great proposal Ne Øf du the higher densily concerned the ININO re. ven keside Il change the Otreetsca pe forever Lay complime đ in no -ex OUN pride in Stock of which all take Such housing Ne If you need more space for any part of this form please attach another sheet.

Signature:			
Name: SANDRA	DOWLING	1.F. DOWLING	Date: <u>20/ 4 / 2020</u>

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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Telephone: (E3) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABM 21 953 967 768

Objection to Planning Permit Application

Plenning and Environment Act 1987

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Your Details:

Your Details:		ÉGSC
NETTE: BARRY AND MARLEI	VE FORWARD	2 7 4/2 2020
Postal address:	EASTWOOD.	VLOEC: MATION
		MANAL Pristicode 3875
Phone number: Home: 🥢	Work:	Mobile:
Email address:		Fax: N/A
Penmit Detzils:		
Planning penmit number 95/2010/P		
What has been proposed? 2 × Dwel	lings on one alloth	lenk.
		<u></u>
What is the address to be used or develope	d? LOT 212 / N	1017 Flendon Dr. Easterbood.
-	,	
Witho thes applied for the permit? Dept. o	Heatth and Huma	m. Services (D.H.H.S)
		······································

Objection Details:

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What are the reasons for your acceptor? (a) The development is not in Keeping with the
existing street scape and neighbour hood. D. H. H.S. has evenership of the remainder
of blocks in Glendon Drive and already has symultaeneously four other blocks
applying for the same planning permits for those, And local neighbours pelieve
the remaining blocks will be planned for similar duplex epowellings in the
Future, bared on the dubious and untimely (CORONA VIRIS RESTRICTIONS) Way D.H.H.S
have gove about this 95/2020/P) proposal. planning officers would have to be
naive indeed to think that D.H. 115 is only planning to develope Nº 17 sender
Prive (and Ammeltanearly Nº 4, 5, 8 & 13 _ reperate applications) and the remaining block
Frivacy Statement (Wey OWN: - LOW 202, 205, 206, 207, 213, 215, 216, 117, 219. What street staffe The East Gippstand Shire Council acts for details about you to collect rates, approve permits and licences, and run a range of community services. The information you
glive to us an utils form is used only for the manone set cut in the form and is not given to anybody else. So resimes we may supply details about you to some of set, but
only if we are allowed by law, or to protect someone or property. When information is given out. Council will always my to make sure your privacy is protected in line with the <i>Privacy and Date Protection Act 2014</i> . You may ask for more
information stand Council's Privacy Policy to constant to constitution control for the Privacy Offices on Michigan State Stat
vould Glenden Trive how if this eventually have ned in a short 200m street?

273 Main Street (PC Box 1618) Bairmsdale Vic 3875 Website Maily easily both and a house Email the counter for a strength Follow using Twitter Segar

1.



7elephone, (03, 5163 9300) Fax: (03) 5153 9576 National Relay Service: 133 677 Residents Information Line, 1300 576 686 AGN, 21 953 967 735

1	How would you be affected by the granting of this permit? Increased vehicles in Glendon Drive
1	could make a short street, especially for children in the street if unsupervised
-	If "economically disadiantaged" families occupy the dwellings,
1.000	they may fall into divergin because of less maintenance), and as
	they may fall into disrepair because of less maintenance, and as noticed in other DHHS properties in the local vicinity, property values
	can suffer in the vicinity.
1	

If you need more space for any part of this form please attach another sheet.

Signeture MARLENE FERMARD. Date: 27/04/1020 Names BARR. FORWARD

Office Use Only:				
Objection Received by:	Date Received:	1	1	
Planning officer responsible:	Date Received	li	11	

Philosopy Stationent

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when informations given out. Connols will always thy to make sure your privacy is protected in the with the Privacy and Data Protection Act 2014. You may ask for more information anon Councils Privacy Policy by contacting our information Privacy Officer on GS 5155 5100 or e-nail <u>the discription account</u>

From: SeamlessCMS@seamless.com.au Sent: Monday, 20 April 2020 8:09:45 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 20 Apr 2020 08:09 PM

Name	Carl Freshwater	
Email address	;mail.com	
Postal address	Eastwood VIC 3875	
Home		
Work		
Mobile		
Fax		
Planning permit number	94/2020/P	
What has been proposed?	10 units, 5 x 3 bedroom duplex units on 5 lots	
What is the address to be used or developed?	Glendon Drive Eastwood, Lots 4,5,8,13 & 17	
Who has applied for the permit?	Clement-Stone Town Planners	
What are the reasons for your objection?	The proposed development is not complimentary to the existing housing stock. Further it does not keep with the Character profile of the area given that no streets in Eastwood have more than 2 multi dwelling sites.	
How would you be affected	This will put downward housing pressure on existing dwelling valuations within the immediate area. I believe the social ramifications will impact the appeal to the estate for future potential buyers. This will effect our ability to draw on built up house equity as housing prices depreciate, it will also restrict our potential to refinance loans and drive prices up on general insurances. While Bushfires and Covid 19 will have an immediate impact to housing prices locally over the next 12-24 months. These plans have the potential to significantly impact current property prices over the long term which the local economy cannot afford.	
Additional information	No file attached	

Baimsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



1000 100 000 0 100 0000 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 987 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on Eesc page 3.

Email address:		Fax:
Phone number: Home:	Work:	Mobile
		Postcode 387
Postal address:		EASTWOOD.
Name: LEONARD . A	HALL.	INFORMATION
Your Details:		2.7 APR 7929

Permit Details:

Planning permit number: REFERENCE Number 95/2020/P				
Planning permit number: REFERENCE NUMBER 95/2020/P What has been proposed? <u>ProposeD</u> CONSTRUCTION of TWO NEW				
DUSCILINGS-				
What is the address to be used or developed? 13 Grendon DRIDE				
EASTWOOD, 2875 - LOT 214 PS 542289				
Who has applied for the permit? <u>CLEMENT-STONE</u> , TOWN PLANNERS				

Objection Details:

What are the reasons for your objection?
ITTLE development is NOT complimentary to the existing
housing stock.
2) The original purpose of the land has been changed
From single residences to the current proposed
3) The development is not in keeping with the Character
profile of the area given that no streets in Eastwood
have more than 2 multi dwelling sites.

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rnvacy summern The East Gippsland Shire Council asks for details about you to collect rates, approve permits and ficences, and run a range of community services. The information you give to us on this form is used only for the reasons set out in the form and is not given to anybody else. Sometimes we may supply details about you to someone else, but only if we are allowed by law, or to protect someone or property. When information is given out, Council will always by to make sure your privacy is protected in fine with the Privacy and Data Protection Act 2014. You may ask for more information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5163 9500 or e-mail <u>feedback@edipps.vic.ooy.84</u> 111 15

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?						
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If you need more space for any part of this form please attach another sheet.

Signature: HALL L Date: 2514 Name: ONARD A

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received://

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Disruption

Glendon drive and the adjoining "The Backwater" street are a community of medium to high socio economic professionals from Business, Teaching, Nursing and the Building professions.

Inhabitants have created a respectable and high quality neighbourhood culture. This is a highly desirable address.

The disruption to this idyllic neighbourhood street vista and street scene of injecting HIGHLY CONCENTRATED crisis housing structures will be profound and ascetic values will plummet.

This huge development of at least 11 domicile structures and buildings is almost beyond comprehension.

Security. By day and particularly night apprehension of personal safety is clear.

We use the street and nearby walking tracks regularly and express concern that this free access will be compromised and rendered less safe.

The free movement of local's vehicles because of the high density of inmates in this concentrated street position will be unfair and was unanticipated.

Equity issue In Glendon Drive there are currently 10 houses of 23 Adults excluding children.

The adjoining "The Backwater" street some 200 metres from the proposed crisis centre address is a premier residential Bairnsdale address.

The proposed crisis buildings of 10 units and a crisis centre at the least will drastically alter the mix of middle to upper class professional residents by at 100% with the lower socio economic inmates coming in.

Therefore as a basic equity issue, why is this proposal so concentrated in one street and not spread over the whole Bairnsdale community?

High security walls and constant security personnel will render this premier address

as institutional, imposing and creating considerable apprehension and have a huge impact on health and wellbeing of residents in the area.

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East Gippsland Shire Council

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Objection to Planning Permit Application

Planning and Environment Act 1987

EGSC

There are some hard words in this form. The hard words are in blue. You can read what they mean bard bard page 3.

Your Details:

INFORMATION MANAGEMENT

Name: Ochren	Hine				
Postal address:		•	Sors feild		
VÍC	-				Postcode 3575
Phone number: Home: <		Work:	· . • * *	Mobile:	-
Email address:				Fax:	

Permit Details:

Planning permit number: What has been proposed? What is the address to be used or developed? Factul Who has applied for the permit? PLANNERS Clement Stone Town

Objection Details:

What are the reasons for your objection?
There is eight propertys on this street
At to be developed. I feel 16 houses to be
used for DHHS residents is to much for
one small area
· ·

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How would you be affected by the granting of this permit?
The value of my land would decrease
increase in the crime rate in the area
· · · · · · · · · · · · · · · · · · ·

If you need more space for any part of this form please attach another sheet.

Signature:		
Name: Dorren	Hine	Date: 19 / 5 /2020

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received://

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Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:			27	7 APR 7920
Name: 31/ \$ 174	ny Johnso	N	INFO	SMATION
Postal address:		Easter	WIANVI	AGLMENT
				Postcode 3975
Phone number: Home:	Work:	NA	Mobile:	1
Email address:	,,,	·	Fax:	NA
Permit Details:				
Planning permit number: Ref	Ference N	umber	95/202	.0/P
What has been proposed?		•		TWO NEW
DUCUNGS-	· · · · · · · · · · · · · · · · · · ·			
What is the address to be used	or developed? 13 (Jendon	DRIDE	
EASTWOOD, 38	75 - LOT 2	4 PS 5	422.89	·····
Who has applied for the permit?	CLEMENT-	STONE T	OWN P	LANNERS
Objection Details:	6			2
What are the reasons for your of	bjection	A BAC	R PA	-9 <u></u>
)The development	t IS NOT COD	aplimente	ary to t	the existing
housing stock.		·		
2) The original	purpose of t	he land	has been	changed_
From single tes	•			v
3) The development	nt is bot in	Keepine	with t	to Character
profile of the ave	a quer that	no str	ects in	Eastwood
pare more than				
	_{┙╋╋} ╪╪┿┙ ╴╧ ╪╪╬ <mark>╴╶╷╖╸╷╖╋╪╧╧╵╘╕╺╧╴╧╪┿╬╖╞┯┙</mark>	7	<u> </u>	

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
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If you need more space for any part of this form please attach another sheet.

Signature: Date: ACIH 12 ale Name: lind Toplason

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received: / /

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Reasons for my Objection

~7

- a. The proposed development is not in keeping with the character profile of the area, given that no streets in Eastwood have more than two multi dwelling sites.
- b. The proposed development is not complementary to the existing housing stock.
- c. The original purpose of the land has been changed from single residences for low income families to the current proposal.

How I would be affected

The proposed development will adversely impact on the social composition and on my personal enjoyment of living in Eastwood, for the following reasons.

- a. Glendon drive is a residential street of about two hundred metres in length. The proposed development in this small street will create a type of neighbourhood that historically used to be called "ghetto".
- b. I do not object to the spirit of providing assistance to homeless people or to families in crisis.
 I do, however, object to a plan that the residents of the surrounding properties ought to carry the social burden of providing such assistance. In the interests of fairness, such burden should be spread more equitably across the whole of Bairnsdale, or of East Gippsland.
- c. Even before any building work has commenced, the property values in this area have already dropped by 20%.
- d. This drop in property value is likely to spread to other residential properties within an estimated radius of at least three hundred meters. To date, no compensation has been offered to property owners directly impacted on by this planned development.
- e. I am concerned about security implications of the proposed plan on myself and my immediate neighbourhood. At greatest risk will be aged residents and families with children who live in the surrounding properties on Glendon Drive and on Flinns Road.
- f. No Social Impact Statement, as per *East Gippsland Planning Scheme*, has been distributed to residents who are directly impacted by the proposed planning. Such impact statement needs to be provided as a matter of urgency.
- g. The proposed developments for Glendon Drive are only the tip of the iceberg. The proposed development for the land on 4, 5, 8, 13 and 17 Glendon Drive excludes what is being planned for the land on number 3 Glendon Drive. This is located directly behind my property. Current knowledge has it that there is a plan to build a high-security crisis centre, which has not yet been declared to residents. Withholding information on what is being proposed for the whole of Glendon Drive smacks of lack of transparency.
- h. The proposed planning permit also flies in the face of the Mission Statement of the 2017-2021 Council Plan (Year 2, Revised March 2018). East Gippsland Shire Council endeavours to make East Gippsland "the most liveable region in Australia. A place of natural beauty, enviable lifestyles, and opportunities". The proposed development, if successful, would exclude me and my neighbours from the benefits of this mission statement.

Jent 26/14/2020

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

ecsc

	<u>2 3 APR 2320</u>	
Name: Kellie Johnston		INFORMATION
Postal address:	Baire	nsdale MANAGEMENT
		Postcode 3 8 7 5
Phone number: Home:	Work:	Mobile:
Email address:		Fax:
Permit Details:		-92/2020/P
Planning permit number: 🉀 9	4 2020 P - 95/20	20p-93/2020/p-91/2020/p
What has been proposed?	struction of 1	o units
What is the address to be used or East wood	developed? 4,5,8,13	3 & 17 Glendon drive
Who has applied for the permit?	Clement - Stone	town planners.
Objection Details :		
What are the reasons for your obje	ction? The IO	units is not in

What are the reasons for your objection? The 10 wits is not in
* keeping with the character profile of the oned given that
no streets in Eastwood have more than 2 multi dwellings.
* The proposed development is not complimentary to
the existing housing in the street or onea.
* The original purpose of this lond has been
changed from single residences for low income families
to this current multi have proposal.
* Other people in air one a have had multiduellings rejected

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If you need more space for any part of this form please attach another sheet.

Signature:	~~~~~~			· · · · ·
Name:	Kellie	Johnston	 Date:	1514120

Office Use Only:		
Objection Received by:	Date Received://	
Planning officer responsible:	Date Received:/_/	

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information about Council's Privacy Policy by contacting our Information Privacy Officer on 03,5153,9500 or e-mail feedback@egipps.vic.gov.au 95.2020.P 13 GTENDON Redacted Objections JUL15

Online Form Submitted

Date Submitted: 16 Apr 2020 04:47 PM

Name	Justin Kellow
Email address	m.au
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	91/2020/P
What has been proposed?	Building of 10 Units
What is the address to be used or developed?	4,5,8,13 & 17 Glendon Drive Eastwood
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	The proposed development is not complimentary to the current area and is not keeping with the profile of the area in that no streets have more than 2 multi dwelling sites.
How would you be affected by the granting of this permit? Additional information	This project would have social and financial impacts on the direct neighborhood and for the wider Eastwood area with a precedent set for other future multi dwelling sites to proceed. No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

2 2 APR 2020

Name: JOHN + HELEN LE	ACH		MANAGEMENT
Postal address:		EAST	VOOD VIC
			Postcode 3875
Phone number: Home:	Work: N/	A	Mobile:
Email address:		4	Fax:
Permit Details:			94/2020/P 5
Planning permit number: 91/2020/P.	-92/2020/	P, - 93/20	20/P-95/2020/P +
What has been proposed? 10 UN(TS -	5X3 Be	BROOM DU	PLEX UNITS ON
5 LOTS	·		
What is the address to be used or developed	<u>, Lots 4</u>	58,13	+17 GEENDON
DRIVE EASTWOOD	,		
Who has applied for the permit?CLEM.	ENT-STOP	VE TOWA	PLANNERS ON
BEHALF OF DIRECTOR	of PUBUL	Housin	6

Objection Details:

What are the reasons for your objection?
1. The development is not in Keeping mith the character prope
of the area given that no streets in Eastwood have more
than 2 multi dwelling sites.
2. The proposed divelopment is not complimentary to to
existing houring stock.
3. The original purpose of the land has been changed
from single sendences for low income formilies to
the current proposal

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How would you be affected by the granting of this permit? least 6 at peonle 60 20 (Ås HEZEN Has 1 me el e el ago a

If you need more space for any part of this form please attach another sheet.

Signature: Date: 2/1 4 12020 JOHN LEACH LEACH Name: HELEN

Office Use Only:		
Objection Received by:	Date Received://	
Planning officer responsible:	Date Received://	_

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From: Carol McAuliffe [] Sent: Wednesday, 22 April 2020 7:33:26 AM To: Feedback Address For Web Page Subject: Planning permit objection

Hi

I wish to lodge the attached planning permit

Kind regards

Carol McAuliffe

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Eastwood	d O E	Postcode 387
Phone number: Home:	Work:	Mobile:
Email address:		Fax:
Permit Details:	-0	95/2020/2
Planning permit number: 90/2	ale glocole gloco	02019,93/202019 94/2020/9
What has been proposed? (O	Units - 5×3Ber	VOOM duoles voits
Eastwood		3817 Glendon Drive
	Clement -Stone.	
Eastwood	Clement -Stone.	
Eastwood Who has applied for the permit?_ ton behalf of Put	Clement-Shone. blic Hoursing	
Eastwood Who has applied for the permit? <u>on behalf of Pol</u> Objection Details: What are the reasons for your obj	<u>Clement -Stone</u> <u>blic Housing</u> jection?	town planners.
Eastwood Who has applied for the permit? <u>on behalf of Pul</u> Objection Details: What are the reasons for your obj	<u>clement</u> - <u>Shone</u> <u>blic</u> <u>Hoursing</u> jection? <u>of the Land</u>	town planners.
Eastwood Who has applied for the permit? <u>on behalf of Pul</u> Objection Details: What are the reasons for your obj	clement - Stone blic Hoursing jection? of the Land L sidences for lo	town planners.

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit? a 2

If you need more space for any part of this form please attach another sheet.

Signature: Name: Date: M1 4120

Office Use Only:		
Objection Received by:	Date Received:/	/
Planning officer responsible:	Date Received: /	1

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

EGSC Your Details: 2 8 APR 2020 & FAYE Name: ALA INFORMATION MANAGEMENT Postal address: Postcode 8 7 5 Mobile: Phone number: Home: Work: Fax: Email address: Permit Details: Planning permit number: What has been proposed? $10 - 5 \times 3$ DUPLEX UNITS What is the address to be used or developed? 5 LOTS **4** · 5 ጽ GLENDON DRIVE ENSTWOOD Who has applied for the permit? CLEMENT - CSTONE TOWN ANNERS PUBLIC HOUSINE BEHALF OF DIRECTUR OF ON

Objection Details:

What are the reasons for your objection?
THE PROPOSED DEVEOPMENT IS NOT
COMPLIMENTARY TO NOTHE EXISTING HOUSING STOCK
SUBERY THIS DOES NOT MAKE LOGICAL SEASE
TO HAVE TO UNITS IN ONE STREET OF
ELENDON DRIVE ? LANT PROT THE
EXTEN MOVEMENT IN THE AREA ? ANY ONE HOD
A THORE H ABOUT THAT?

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would yo	ou be affe	cted by the g	ranting of this pern	nit?			
		THI	ERE IS	No	JUSTIFIC	TION	FOR
THE _	Amov	NT O	F Comm	UNITY	HOUSING	IN	ONE
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<u>.</u>		<u> </u>					
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f you need mo	aspace	for any part of	of this form please	attach anoth	ner sheet.		
Signature:							····
Name:	ν	ALAN -	Miller	. k	Date	: 16 1 4	9 12020

Office Use Only:	 <u></u>		
Objection Received by:	 Date Received: _		/
Planning officer responsible:	 Date Received:_	 1	1

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

EGSC

Tour Details.			20	APR 7020
Name:	CHRISTOPHER	NASH	INFO!	RMATION
Postal address:	A		MAN/	AGEMENT
	EASTINGOD	•		Postcode 3785
Phone number:	Home:	Work:	Mobile	
Email address:			Fax:	
Permit Details: Planning permit What has been ON 5	proposed? 10 UNITS	- 5×3 BEDRED		20× UNITS 15,8,13\$17
	Iress to be used or developed			~~~~
LOTS	4, 5, 8, 13 \$ 17,	GUNDON DRI	Ve, EA	STW000 3875
	the permit? CLEMEN	T-STONE JOWN	Planin Buc Ho	

Objection Details:

What are th	he reasons for your objection?
10	THE DEVELOPMENT IS NOT IN KEEPING WITH THE CHARACTER
	PROFILE OF THE AREA - THERE ARE NO STREETS IN EASTWOOD
	WITH MORE THAN 2 MULTI DWELLING STES
2.	THE PROPOSED DEVELOPMENT IS NOT COMPLIMENTARY TO
	THE EXISTING HOUSING
3.	THE CRIGHNAL RUADSE OF THE LAND HAS BEEN CHANGED
	FROM SINGLE RESIDENCES FOR LOW INCOME FAMILIES TO
	THE CURRENT PROPOSAL.

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How would you be affected by the granting of this permit?								
*	ADDITION	AL TRAF	TC IN	AREA	- -			
	VEHICUS	PARLED	ON NA	TURE S	TRIP AS	ROAD	ARE NO	1223W
	CAUSING	CONGEST	on And	HIGHOR	love of	DANE	SER	
*	DE- VAL	VATION	9F B	XISTING	PROPERT	165-	DUE	
	To com	MERCIAL	USE	OF	PLOPERTIE	is on	WHE 5	brs.
	IN GI	the Dorn R	NE. EN	STWOOD	•			
*	24 16	UR ACTI	vity IN	ALEA	PROMPT	to f	54 the	
	Proposes	o Use	8F	THE	Phopeer	ies .		
_								

If you need more space for any part of this form please attach another sheet.

Signature:	
Name: C. NASA .	Date: 6/ 4/ 2020-

Office Use Only:		_	
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	_/

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when information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au

From: Trudi Stubbs] on behalf of Planning Unit AdministrationSent: Monday, 11 May 2020 7:44:41 AMTo: Planning Unit AdministrationSubject: 95/2020/P Objection to Planning Permit Submitted

From: SeamlessCMS@seamless.com.au <SeamlessCMS@seamless.com.au> Sent: Monday, 27 April 2020 7:02 PM To: Planning Department <Planning@egipps.vic.gov.au> Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 27 Apr 2020 07:01 PM

Name	Jessie Ng
Email address	
Postal address	
Home	
Work	
Mobile	
Fax	
Planning permit number	95/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	13 Glendon Drive Eastwood Lot 214 PS542289
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is not beneficial to the neighbouring residents or the tenants themselves 4> Current cluster of public housing on Gree Kulluk PI is frequently left unkempt 5> Children living in public housing on Gree Kulluk PI are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and increases social impact across the neighbourhood.
•	1> Clustering of emergency housing in one street is likely to affect the safety of the neighbourhood. 2> There has been multiple episodes of vandalism and theft likely resulting from public housing being clustered on Gree Kulluk PI and concerns about crime will rise if the permit is granted, potentially placing the community on surrounding streets at higher risk.

Additional No file attached information

From: SeamlessCMS@seamless.com.au Sent: Monday, 27 April 2020 7:00:04 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 27 Apr 2020 07:00 PM

Name Email address	Poh Ng
Postal address	
Home	
Work	
Mobile	
Fax	
Planning permit number	95/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	13 Glendon Drive Eastwood Lot 214 PS542289
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is not beneficial to the neighbouring residents or the tenants themselves 4> Current cluster of public housing on Gree Kulluk Pl is frequently left unkempt 5> Children living in public housing on Gree Kulluk Pl are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and increases social impact across the neighbourhood.
granting of this permit?	1> Clustering of emergency housing in one street is likely to affect the safety of the neighbourhood. 2> There has been multiple episodes of vandalism and theft likely resulting from public housing being clustered on Gree Kulluk Pl and concerns about crime will rise if the permit is granted, potentially placing the community on surrounding streets at higher risk.
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Ruth Rye				
Postal address:	EASTR	1000		
	EGSC		Postcode	3875
Phone number: Home:	Work:	Mobile:		-
Email address:	2 3 APR 2020	Fax:		, -
Permit Details:	INFORMATION MANACE MEET			
Planning permit number: 9% 2020 /P, 91/20 What has been proposed?/O um/	20/P 92/2020/P,	93/2020/p.9	14/2020/P	95/20201
What has been proposed?/O unit	5 - 5 x 3 ba	adroom a	luple +	units
on 5 lots in Clandon	DRIVE EA:	ST WOOD	3875	
What is the address to be used or developed	? Lots 4,5 8.	13+17	Gelen	don
Drive Eastwood 38	75 ,	·		
Who has applied for the permit? <u>Chem</u> Public Housing	ent-Stone -	Town Pla	inners	for

Objection Details:

What are the reasons for your objection? development 15 not Keeping . that no streets the charac given cirea 01 cn. mosi mol 10 11 monta ζ n of ъ 0 has the land Deen SINA one

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-How would you be affected by the granting of this permit?
As I refired to a quiet + secure area. As
I had emergeoncy short term recidence close by
in South Eastern Subuch in Melbourne. I had
a few incidents near myhome with residents
of these housing situations and do not want
to live through incidents again a TVOF to
Say that the value of my property would
decrease with this type of development going
ahead in this estate

If you need more space for any part of this form please attach another sheet.

Signature):		
Name:	Ruth	Pye	Date: 2014 12020
		-)	

	•
Office Use Only:	
Objection Received by:	Date Received:/ //
Planning officer responsible:	Date Received: / /

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

22

Name: SUSAN QUIGL	64.		
Postal address:			•
EASTWOOD			Postcode 3875
Phone number: Home:	Work:	Mobile:	(
Email address:	il, com	Fax:	
Permit Details:	ر ر		X
Planning permit number: 93 2020	ρ.		
What has been proposed? 10 Units 5 lots in Glendon		stex_1	units on
What is the address to be used or developed	?		
4, 5, 8, 13 = 17 (Stendon Due Eas	twood	•
Who has applied for the permit?	nt-stone: Town P	honer	ß.
			EGSC
Objection Details:			7 7 APR 2020
What are the reasons for your objection?			INFORMATION
object to this a	levelopmost becau	se it	MANA TRALINT
xets a precedo	t for multi dwelli	25 D/	<u>م</u> ــــــــــــــــــــــــــــــــــــ
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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
It will lower prices of houses inthis area It is well documented that rentals encourage more it interest persons.
It is well documented that rentals encourage
more it interest persons.
- I would feel casefe being a single woman on my own I actually back on to the reserve
_ on my own I actually back on to the reserve
and can't imagine feeling safe during the night
· 0 0 1 0 0

If you need more space for any part of this form please attach another sheet.

Signature:				
Name:	SUIAN	QUIGUEY	Date: 16 1 4	20

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: Carmel Quinton	
Postal address: Eastwood	
	Postcode 3875
Phone number: Home: (Work: M	obile:
Email address: Fa	ax:
Permit Details:	
Planning permit number: $91/2020/P - 92/2020/P - 93/2020/P - 9$	5 1202019 -94/20201P
What has been proposed? To build 10 units - 5×3	bedroom
duplex units on 5 lots.	·
What is the address to be used or developed? <u>GLEndon Drive</u> , E	astwood.
No's - 4, 5, 8, 13 + 17	
Who has applied for the permit? UPMENT - STONE LOWN	TERSC .
Who has applied for the permit? <u>Clement-Stone Town</u>	EGSC
Who has applied for the permit? <u>CIEMENT - STONE TOWN</u>	2 2 APR 2020
Who has applied for the permit? CIEMENT - STONE_TOWH Objection Details: Objection Details:	2 2 APR 2020
Objection Details:	2-2-APR 2020
Objection Details: What are the reasons for your objection?	2 2 APR 2020 INFORMATION MANAGEMENT
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Way</u>	2 2 APR 2020 INFORMATION MANAGEMENT
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Way</u> for the proposed site.	2.2 APR 2020 INFORMATION MANAGEMENT Suite ble
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Way</u> for the proposed site. <u>The proposed development would be un</u>	22 APR 2020 INFORMATION MANAGEMENT Suitable sightly and
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Way</u> for the proposed site.	22 APR 2020 INFORMATION MANAGEMENT Suitable sightly and
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Way</u> for the proposed site. <u>The proposed development would be un</u>	22 APR 2020 INFORMATION MANAGEMENT Suitable sightly and
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Way</u> for the proposed site. <u>The proposed development would be un</u>	22 APR 2020 INFORMATION MANAGEMENT Suitable sightly and
Objection Details: What are the reasons for your objection? <u>The proposed development is in no Way</u> for the proposed site. <u>The proposed development would be un</u>	22 APR 2020 INFORMATION MANAGEMENT Suitable sightly and

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East Gippsland Shire Council

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How would you be affected by the granting of this permit?
My husband al furchased out our home in
Eastwood scients ago due to the appealing look
Fastwood & years ago due to the appealing look, faiths + close to shops. But mostly it felt safe
+ Secure to us
1 am now a widow in my To's and the
lam now a widow in my To's and the proposed development would eliminate that
Secure/Safe feeling in a huge way. 1 strongly object to this proposal.

If you need more space for any part of this form please attach another sheet.

Signature: Carmel Quinton Date: 201 4 1 2020 Name:

Office Use Only:			
Objection Received by:	 Date Received:	_/	_/
Planning officer responsible:	 _ Date Received:	_/	_/

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From: SeamlessCMS@seamless.com.au Sent: Thursday, 16 April 2020 5:26:16 PM To: Planning Department Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 16 Apr 2020 05:26 PM

Name	Jackson Rankin
Email address	
Postal address	Eastwood
Home	
Work	
Mobile	
Fax	
Planning permit number	4,5,8,13 & 17 Glendon Drive, Eastwood
What has been proposed?	5 X 3 Bedroom Duplex Units on 5 Lots
What is the address to be used or developed?	Stated Above
Who has applied for the permit?	
What are the reasons for your <u>objection</u> ?	Having these houses so close to us will directly impact property prices in neighbouring areas, including ours. the proposed planning does not keep with the character profile of the area and its not complimenting to the existing housing in the area. Such a dense population of low income housing is a horrible idea by any means. The approval of such will effect us financially, as well as future safety concerns for families and neighbours.
How would you be affected by the granting of this permit?	As stated previously, we will be financially affected with our property value decreasing. i have further concerns for our safety with these houses so close, and with direct access to our to our street through the reserve. I also have great concerns for our belongings we have worked extremely hard for. Unless you have been living with you head in the sand you know these points are valid. How would you like this proposal to be so close to you and your families home? Please Note: I know there is a need for housing like this, but why in gods name would you put more than 1 in a street like that?
Additional information	No file attached

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

. .

egsc

Name: DENISE + ARTHUR	ROBERTS	2.7 APR 2020
Postal address: P. O. Box 202		
עטט האהוציני ואינגע בעיט	RT EASTWOOD VICTOR	
Phone number: Home:	Work:	Mobile:
Email address:	, <u> </u>	Fax:
Permit Details:		
Planning permit number:		
What has been proposed? Build	OUNITS (DUPLEX 5×3	BEDROOM UNITS ON FIVE LOFS
IN GLENDON DRIVE EAS	TWOOD. STREET NUMBE	RS OF LOTS 4 5 8, 13, 17.
What is the address to be used or o	developed? <u>Lots 4, 5</u> 8	13 17 GLENDON DRIVE
EASTWOOD VICTORIA	3875	
Who has applied for the permit?	PLEASENT CTOME TOUL	Production and Detune and
		PLANNERS ON BEHALF OF
THE DIRECTOR OF PUBLI	IC MOUSING	

Objection Details:

What are the reasons for your objection? <u>Use ARE 80 arrel 84 years of Age. He</u>
mould to tastwood from Nicholson about 10 years ago as it was
time to down-size . after spending thirty odd years out of town, we
were anciens to find a home which suited our perch. He have
been so lucky - the area is quick and the locals look out for each other. He lodge this objection because we believe the newcomen
will meate social problems with moise and the inevitable troubles
that seem to always occur when increasing the numbers of residents
over and above the original plan.

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How would you be affected by the granting of this permit? 2/2 both track significant
health problems. Anthur has macular degeneration and already
has lost sight completely in one eye. His poor healty is aggrainated
by heart to no bloms a a recent dragnosis of diabetes. Hy own
health is not good. And to severe pheumatoid on thinkis I rely
on the use of a malber and at ling is a which air. In recent years
I was diagnosed with a sever heart problem.
The poregoing is to help you under cland the need we
trave to walf out dears. After having many years of good healthy
we wave become uncomfident and insecure subdoons. He fear
having so many people moving into our nighbourhoods and are
any io in for our safety. If you need more space for any part of this form please attach another sheet.

Signature: Date: Name: 23 1 4 12020

Arthur Roberts - Derive Roberts This objection relater to each block in Lots 4, 5,8, 13 = 17.

Office Use Only:			
Objection Received by:	Date Received:	/	_/
Planning officer responsible:	Date Received:	_/	_/

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From: wayne stagg Sent: Sunday, 26 April 2020 3:04:19 PM To: Feedback Address For Web Page Subject: Glendon Drive Eastwood planning permit OBJECTION

Pleas find attached my objections to this development Wayne Stagg

Eastwood.3875. M, (W,]





Virus-free. www.avg.com

Objections. Planning Permit (95/2020/P).

Glendon Drive Eastwood.

(a) This proposed development by the DEPT. of HEALTH and HUMAN SERVICES is not in keeping with the character and existing streetscape, of this short 200 meter street, which is used by residents who live in THE BACKWATER and their families and friends as well as those wanting to get to the Backwater walking track or river.

Glendon Drive currently has eight (8) existing single dwellings :- Nos.!,2, 9, 10,11, 18, 19,20.

DHHS has the remaining 12 undeveloped blocks :- Nos.3, 4, 5, 6, 7, 8,12, 13, 14, 15, 16, & 17. Therefore 60% of Glendon Drive (200 meters long) could be occupied by 24 dwellings (Duplexes) which the concerned residents and neighbours feel is definitely not in character with the overall Eastwood neighbourhood, except for the Eastwood Retirement Village, which of course was purpose built with all required facilities included. If Glendon Drive is eventually developed by DHHS in the manner mentioned (12 Duplexes = 24 dwellings in a street of 200 meters) would council require proportional facilities to a small Retirement Village ?

(b) Concerningly, The Dept. of Health and Human Services (DHHS) has applied for four (4) other identical duplex dwellings simultaeously:- (92/2020/P), (93/2020/P), (94/2020/P), (91/2020/P), which seem to have been somewhat strategically placed amongst the remainder of the DHHS undeveloped blocks so as to not have any immediate side neighbours.

(c) Also concerningly an earlier letter from the DHHS dated 30/10/2019 advising of a "family housing" development occupying three (3) adjoining blocks 12, 14 &16, seems to have been "shelved" while the present Permit applications are in progress. Local concerned residents who expressed written concerns to DHHS have to this date have had no replies.

(d) In view of the current COVID-19 and subsequent "social restrictions" and the concerning time frame in which this development was advised to the immediate neighbours (Thursday before Easter,9/4/20) we have little confidence in the "transparency" of how DHHS has allowed concerned residents in the area the opportunity to gather and discuss and exchange information in any sort of forum that would allow us to feel confident we were being given a "fair and Just" amount of time to present our concerns properly. For example was the original planning of "Eastwood" designed for clusters of Duplex dwellings as a prerequisite of council planners? Were there "covenants" on any areas that disallowed clusters of Duplexes in certain areas ie. The south side of "The Backwater" where three attempts to subdivide, have recently ended up in VCAT, at much expense to all concerned.

(e) Several concerned residents are not aware of the East Gippsland Planning schemes that relate to "Proposals for new developments" and social impact guidelines and therefore don't know if they can validly object on these grounds.

(e) If this development were to be granted permission to proceed I feel the neighbouring property values would suffer depreciation and the "ripple effect" would be likewise felt into adjoining streets in

the vicinity.

(e) Increased vehicle traffic and children's outdoor activity in the street, particularly if not parentally supervised could increase risk of injury.

Wayne Stagg

,Eastwood.3875.

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: INN & FNAI	STANICODIU			
Name: IAN & JENNI Postal address:	DIANIFURIA	· · · · · · · · · · · · · · · · · · ·	<u></u>	
	0		Postcode	3875
EASTWOO Phone number: Home:	Work:	Mobile:	1	
Email address:	VVOIR.			
Permit Details:				
Planning permit number: Nog 9	1,92,93,94,95/2020/0			
What has been proposed? 5χ	3 bedroom duplex un	its on 51	ots in	
	don Drive, Eastwood			. ** *
What is the address to be used or d	eveloped? Nos 4,5,8,	BETT Glen	don Dri	ve
	Eastwood			
Who has applied for the permit?(rement-stone lown	righners		
Dbjection Details:	4.			
What are the reasons for your object				
• •	See attached shee	45		
	see unaction stille		·	
·		7 8 APE 2	1670	
			<i>u</i>	

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How would you be affected by the granting of this permit?	See attoched sheet
	· · · · · · · · · · · · · · · · · · ·
	· · · · ·
•	

If you need more space for any part of this form please attach another sheet.

Signature:			
Name:	Jennifer Staniforth	IAN STANIFORTH	Date: 27 /04 /2020

			· · · · -
Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	Date Received:	_/	1

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Information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@eqipps.vic.gov.au 95.2020.P 13 Glendon Redacted Objections JUL15 carpet layers, tilers and police etc) periodically visiting one or more of those 10 dwellings and also very young unsupervised children playing in the street, thus further obstructing passage through to Bairnsdale.

We believe perhaps one Duplex could be absorbed within the surrounding housing 'picture'. Possibly two, particularly if they are on opposite sides of the road and opposite ends of Glendon Drive, but 5 duplexes will become a visual feature/eyesore and detract from the amenity of the area and increases the housing density beyond residents reasonable expectations.

As stated in the reason for objection the proposed development of 5 duplex blocks will affect the amenity of the area in terms of:

a) Traffic

9

- b) Noise
- c) Appearance

× . .

- d) Reasonable expectations of development occurring in the immediate area.
- e) Restricted passage for motor vehicles

I M Staniforth.

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27/04/2020

J A Staniforth

27/04/2020

Possible Letter to the East Gippsland Town Planner

I am concerned about the timing of this planning application and wonder if it satisfies the planning laws in that, due to restrictions of movement imposed by the State Government: -

- 1. The proposals have not been visible to all those affected as passage along that street has been severely diminished due to travel restrictions.
- 2. There has been no social interaction during the time that the proposals have been advertised thus an awareness of the proposals has not be communicated by word of mouth to affected parties.
- 3. The community have been denied the opportunity to meet and discuss the proposals as was possible in the past with proposals, three times rejected by VCAT, relating to 3 applications to build 2 dwellings on each of three blocks in the nearby Backwater.

Surely the planning laws require people to have the opportunity to be informed and due to the Conavirus this has not happened.

Finally, please note that in our objections we have pointed out some glaring errors in the submissions all which make the location of these units more attractive than they would be in reality. We have not had the time, nor do we have the town planning knowledge to examine all aspects of these applications but since there are some simple basic details incorrect, we believe the rest of the submission needs questioning and examining by someone with the necessary town planning knowledge – yourself, perhaps?

Eastwood 3875

The Town Planner

East Gippsland Shire

27/04/2020

Dear Sir

Re : Planning permit Applications Nos. 91,92,93,94,95/2020/P

I am concerned about the timing of this planning application and wonder if it satisfies the planning laws in that, due to restrictions of movement imposed by the State Government: -

- 1. The proposals have not been visible to all those affected as passage along that street has been severely diminished due to travel restrictions.
- 2. There has been no social interaction during the time that the proposals have been advertised thus an awareness of the proposals has not be communicated by word of mouth to affected parties.
- 3. The community have been denied the opportunity to meet and discuss the proposals as was possible in the past with proposals, three times rejected by VCAT, relating to 3 applications to build 2 dwellings on each of three blocks in the nearby Backwater.

Surely the planning laws require people to have the opportunity to be informed and due to the Corona Virus this has not happened.

Additionally, please note that in our objections we have pointed out some glaring errors in the submissions all which make the location of these units more attractive than they would be in reality. I have not had the time, nor do I have the town planning knowledge to examine all aspects of these applications to determine if there are further inaccuracies, but since there are some simple basic details incorrect, I believe the rest of the submission needs questioning and examining by someone with the necessary town planning knowledge – yourself, perhaps?

Yours faithfully

I M Staniforth

essc

2 6 APR 2920 INFORMATION MANAGEMENT

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details: 20 APR 2020 Julio -Name: eter Veniv and **INFORMATION** MANAGEMENT Postal address: Postcode zastwood C Mobile: Phone number: Home: Work: Email address: Fax: Permit Details: 2020 1020 a Planning permit number: 9 2020 What has been proposed? UY Uni What is the address to be used or developed? 04 Who has applied for the permit? \mathbb{C} anners nusir on **Objection Details:** What are the reasons for your objection? νď Dino D ۲ QY 0X1 Ń na C oS CCY oSa \cap ۲ 0 10055 e;

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How would you be affected by the granting of this permit? Multiduelling sites will cause realestate
prices to drop.
Backwater residents will experience
Queater traffic in Glendon Drive Single residences would not produce
this problem,
·

If you need more space for any part of this form please attach another sheet.

AAK Signature Date: 15/04/2020 Name: ບພັບ

Office Use Only:			
Objection Received by:	Date Received:	_/	
Planning officer responsible:	Date Received:	_/	_/

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Objection to Planning Permit Application

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Your Details:

	EGSU	
Name: HEREY WEBSOALE	2 8 APR 2020	
Postal address:		
FASWOOD	MANAGEMENT	Postcode 3875
Phone number: Home: Work:	Mob	ile:
Email address:	Fax:	
Permit Details:		
Planning permit number: 91/92/93/94/95/09/140	+ 141 /2020	
What has been proposed? AT THIS STAGE, &		te peolosed on
& LOTS ON CHENDON PRIVE ENSTWOOD.		
What is the address to be used or developed? 4, 8, 12	46,5,3917	CLENDEN PRIVE
EAS[W000		
Who has applied for the permit? CLEMENT- 510NE	TOWN PLANNE	es on Tehauf
	1	
OF THE DEPARTMENT OF AGAUTH P	Human Seulic	
Objection Details:		
What are the reasons for your objection? THE DELACIN	ENT HAVE APLIES	FR_ 16 UNITS
ON 8 LOTS. AS THEY HLSO OWN MOTH	,	HE SAME STREET
17 IS ASSUMED THE SAME DEJELDALLY WIL		ABOUTING N 24
	NTO WARE TO ISS	NG I WOWD .
· COMPLETELY CHANCE THE NEICHBOURHOOD		
· ONE RIND DUPLEX'S NOVE SIGET (AS		
BRE HAVE KEES WANT BUT 16 (CR POTENTIALY.	24) 15 NOT IN RE	EPINC WITH THE
OUBRALL ENFILLOOD OFUELDEMENT. IN FACT, THE	ORIGINAL DELEVI	HENT DID NOT
ALLOW DUTEX'S AT ALL. (SEE ATTACHT		

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THERE IS A DIMUETE LACK OF STEEFISCARE DESIGN WITH ALL UNITS HAVING THE SAME PACADE'S AND BUILT FROM THE SAME MATERIALS THE DEVELOPMENT WILL NORENSE THE WELL OF DENSITY FROM THAT CRICINALY PROPOSED AND 17 IS MY INDERSTANDING THAT HAD THE OUGRALL DEVELOPMENT BEEN THE SUBJECT OF ONE PLANWING APPLICATION, ENJT. GIRSLAND STREE WOULD HAVE REQUIRED A SOCIAL INPACT ASSESSMENT. THIS WOULD HAVE ALLOWED FOR A TRANSPACENT PROCESS TO CONSIDER BROADER COMMUNITY ISSUES 95.2020.P 13 Glendon Redacted Objections

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How would you be affected by the granting of this permit? WHEN WE PLACED AND				
PULL OUR HOME AT 7 BIRCH COURT (THE WALLARIAN INCORPECTIVY LIST OUR				
PEOPERTY AS VALANT) WE WEER WORR THE IMPRESSION THAT THE SUBJECT				
LOTS WERE TO BE WED TO RETELD! WOINIGNAL HOMES USING A GROUP SUF BUILD				
MOREL. THAT WOULD HAVE GIVEN WE US THE HOME ASTONING OUR				
POPERTY AT THE BEAK. WHER THE PROPOSAL THIS COULD DOUBLE.				
THE STANDARD AND DENSITY OF DEVELOPMENT IS NOT IN TOEPING				
WITH THE NEIGHBOURHOOD AND MAY NOTE AN IMACT ON THE				
HUERDILITY AND VALUE OF OUR PROPERTY.				

If you need more space for any part of this form please attach another sheet.

Signature:			
Name:	Kerry	Websdule	Date: 26/ 4 / 20.
	\mathcal{I}		

Office Use Only:					
Objection Received by:	Date Received: _	/		<u> </u>	_
Planning officer responsible:	Date Received:_		I	<u> </u>	_

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: ALAN BAIRD						
Postal address:	EASTWOOD					
	······································		Postcode	3	87	7 5-
Phone number: Home:	Work:	Mobile:		<u> </u>		
Email address:		Fax:				

Permit Details:

Planning permit number:	139/20/20
What has been proposed?	Devolopment of Duplex
What is the address to be u	used or developed? 12 GIERAON Drive EASTWOOD
Who has applied for the per	ermit? <u>Clement</u> Stone Town Planner

Objection Details:

/hat are the reasons for your objection?		
Please see attached.		
	······································	
	EGSC	
	2 5 MAY 2020	
	INFORMATION	
	MANAGEMENT	

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What are the reasons for your objection ?

East Gippsland Planning Scheme requires new developments and land use be subject to social impacts on the surrounding community. The impact on the proposed development at 12 Glendon Drive, Eastwood, is of serious concern to many residents.

Whilst this objection is firmly directed to the development of two dwellings at 12 Glendon Drive, the consequences of Council approving this application are far reaching and cannot be made in isolation without regard to the geographical community surrounding this street. Eight applications in the same street from the same land owner (Department of Health and Human Services) have now been put forward with the same development proposed in each application. Assessment of the merits of each individual application should be made in the context of the wider implications which are required to be taken into account under the Council's Planning Scheme.

I, along with the numerous objectors to the proposed development at 12 Glendon Drive, forsee adverse and negative social impacts arising if the proposal is endorsed by Council. The existing streetscape will be adversely affected and the neighbourhood character will be compromised. Two dwellings on the one block in Glendon Drive will be the catalyst for similar proposals in this beautiful street and the start of an avalanche of similar developments from the same land owner. Earlier applications for similar developments from the same owner clearly demonstrates this proposed avalanche of developments. When considered with all the other proposed developments the visual bulk of the developments will be overwhelming and totally uncharacteristic of the already established street character. On its own, the land use proposed for 12 Glendon Drive will still be at odds with all the existing houses.

Council's Planning Scheme requires land developments to consider the social impacts on communities. Council's planning, therefore, must then be strategic. The application for two dwellings at 12 Glendon Drive and the number of subsequent residents these two dwellings might contain, could hardly be considered a "community", but with eight simultaneous and identical planning applications for similar developments in the same street will potentially generate eight times the number of residents. Thus the whole street will be transformed into a mecca of blocks containing two dwellings, the existing streetscape will be destroyed, and the surrounding community severely and adversely affected.

It is understood the two dwellings at 12 Glendon Drive will be for short term emergency accommodation as will the other sites requiring permit assessment. The ultimate increase in the total number of residents living in these sixteen dwellings will constitute a " sizeable community" and thus will have impacts on the immediate geographical community. Multiple dwellings in the same area for housing short term emergency accommodation have been shown to be problematic. In general this has not been a desirable policy outcome due to the adverse impact they have had on surrounding residents. The potential for noise, traffic, smells and unkempt premises and gardens are some of the likely longer term issues Council will need to take into account when assessing the merits of granting planning permit for 12 Glendon Drive. These same issues will be exacerbated if permits are granted for the other **fea**r sites.

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As a resident of the nearby Gler	don Drive, I am of the view that any new land developments must
reflect existing patterns of deve	lopment in that vicinity and not adversely affect them in any dramatic
way. The nearby geographical o	ommunity comprising Glendon Drive, The Backwater and Flynns Road
	to the large number of community emergency housing in the one stree
	hort term community housing in other geographical areas has been
seen as government policy failu	res.
To copy the Covid -19 message,	"we must all be in it together", I will be affected in the same way as
existing residents in Glendon Dr	ive. I will witness the development of changing and undesirable impac
on a streetscape in my neighbo	urhood which I could no way condone.

If you need more space for any part of this form please attach another sheet.

Signature:	mpm · ····	
Name:	ALIAN BAIRD	Date: 23 / 5 / 20

Office Use Only:			
Objection Received by:	Date Received:		/
Planning officer responsible:	Date Received:	_/	/

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: CAROLE BAIRD		
Postal address:	FATTWOOD	
	· ·	Postcode 3 8 7 5
Phone number: Home:	Work:	Mobile:
Email address:	· · · · · · · · · · · · · · · · · · ·	Fax:
Permit Details:		· ·
Planning permit number: (39)2.	>20	
What has been proposed?	4 opment of duplax	s
	·····	
What is the address to be used or de	veloped? 12 Glendon	1 Drive, Ensiboon
		· · · · · · · · · · · · · · · · · · ·
Who has applied for the permit?	clement Stone Town	Planner

Objection Details:

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	EGSC
	2 5 MAY 2020
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What are the reasons for your objection ?

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No. 1

East Gippsland Planning Scheme requires new developments and land use be subject to social impacts on the surrounding community. The impact on the proposed development at 12 Glendon Drive, Eastwood, is of serious concern to many residents.

Whilst this objection is firmly directed to the development of two dwellings at 12 Glendon Drive, the consequences of Council approving this application are far reaching and cannot be made in isolation without regard to the geographical community surrounding this street. Eight applications in the same street from the same land owner (Department of Health and Human Services) have now been put forward with the same development proposed in each application. Assessment of the merits of each individual application should be made in the context of the wider implications which are required to be taken into account under the Council's Planning Scheme .

I, along with the numerous objectors to the proposed development at 12 Glendon Drive, forsee adverse and negative social impacts arising if the proposal is endorsed by Council. The existing streetscape will be adversely affected and the neighbourhood character will be compromised. Two dwellings on the one block in Glendon Drive will be the catalyst for similar proposals in this beautiful street and the start of an avalanche of similar developments from the same land owner. Earlier applications for similar developments from the same owner clearly demonstrates this proposed avalanche of developments. When considered with all the other proposed developments the visual bulk of the developments will be overwhelming and totally uncharacteristic of the already established street character. On its own, the land use proposed for 12 Glendon Drive will still be at odds with all the existing houses.

Council's Planning Scheme requires land developments to consider the social impacts on communities. Council's planning, therefore, must then be strategic. The application for two dwellings at 12 Glendon Drive and the number of subsequent residents these two dwellings might contain, could hardly be considered a "community", but with eight simultaneous and identical planning applications for similar developments in the same street will potentially generate eight times the number of residents. Thus the whole street will be transformed into a mecca of blocks containing two dwellings, the existing streetscape will be destroyed, and the surrounding community severely and adversely affected.

It is understood the two dwellings at 12 Glendon Drive will be for short term emergency accommodation as will the other sites requiring permit assessment. The ultimate increase in the total number of residents living in these sixteen dwellings will constitute a "sizeable community" and thus will have impacts on the immediate geographical community. Multiple dwellings in the same area for housing short term emergency accommodation have been shown to be problematic. In general this has not been a desirable policy outcome due to the adverse impact they have had on surrounding residents. The potential for noise, traffic, smells and unkempt premises and gardens are some of the likely longer term issues Council will need to take into account when assessing the merits of granting planning permit for 12 Glendon Drive. These same issues will be exacerbated if permits are granted for the other **four** sites.

seven

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	As a resident of the nearby Glendon Drive, I am of the view that any new land developments must reflect existing patterns of development in that vicinity and not adversely affect them in any dramatic way. The nearby geographical community comprising Glendon Drive, The Backwater and Flynns Road will be impacted adversely due to the large number of community emergency housing in the one street. As previously noted clusters of short term community housing in other geographical areas has been seen as government policy failures.
-	To copy the Covid -19 message, "we must all be in it together", I will be affected in the same way as existing residents in Glendon Drive. I will witness the development of changing and undesirable impacts on a streetscape in my neighbourhood which I could no way condone.

If you need more space for any part of this form please attach another sheet.

Signature:	/b · /. »	
Name:	Carole Irene BAIRD	Date: 23 1 5 12020

Office Use Only:	
Objection Received by:	_ Date Received://
Planning officer responsible:	_ Date Received://

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From: SeamlessCMS@seamless.com.au Sent: Saturday, 23 May 2020 10:36:55 AM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 23 May 2020 10:36 AM

Name	Steven Barry
Email address	
Postal address	Eastwood
Home	
Work	
Mobile	
Fax	
Planning permit number	139/2020/P
What has been proposed?	Development of the land for two dwellings.
What is the address to be used or developed?	12 Glendon Drive Eastwood
Who has applied for the permit?	Clement Stone Town Planners
What are the reasons for your <u>objection</u> ?	Concerns that there are a large concentration of low income housing in 1 street. There are already proposals for 5 sites to undergo similar developments in this street. This street has undergone significant development and investment in existing housing and will be financially affected by such a large concentration of low income housing. There is also an issue of safety and security of tenants of the area. These are just some of our concerns and we are formally objecting to the construction of these dwellings.
How would you be affected by the granting of this permit?	Safety concerns for our young family. Increased traffic to the area also causing safety concerns. This development should not have been the last development in the area but the first so it was known when purchasing properties in the area. We did try initially to investigate the proposal of vacant blocks but were unable to get any information of intentions to develop. Also concerns that this may create a hot spot of criminal activity and anti social behaviors affecting all of the Eastwood Community. We had been informed in November 2019 that this proposed land was to be developed into a crisis accommodation center development by DHHS, now the proposal has been changed yet again. Such a large concentration of this sort of housing seems to be unprecedented, especially in a rural area where there are many alternative options for such housing developments.
Additional information	No file attached

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East Gippsland Shire Council

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Objection to Planning Permit Application

Planning and Environment Act 1987

INFORMATION MANAGEMENT

2 2 MAY 2020

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: ANNA + JOHANNE	5 BOEK			
Postal address:				-
EASTWOOD			Postcode	3875
Phone number: Home: (03) 51522313 Work:		Mobile:		
Email address:		Fax:		

Permit Details:

Planning permit number: NO'S 139/140/141/2020/P
Planning permit number: NO'S 139/140/141/2020/P What has been proposed? 3x3 BEDROOM UNITS ON 3 BOCKS IN
GLEWDON DEN. EASTWODD.
What is the address to be used or developed?
NOIS 12, 14 416 GLENDON DRIVE EASTWOOD 3875
Who has applied for the permit? CLEMENT - STONE TOWN PLANNERS
PN BEMALF DE DIRECTOR DE PUBLIC HOUSING.

Objection Details:

What are the reaso	ons for your objection	n?			
	PLEASE	REFER	To	ATTACHED	SHEETS
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				hat has been proposed?

If you need more space for any part of this form please attach another sheet.

Signature:	Commune	
Name:	ANNA R. BREK	Date: <u>201 5120</u>

JOUANNES & F. BOER

Office Use Only:			
Objection Received by:	Date Received:		_/
Planning officer responsible:	Date Received:	1	1

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20. 5-20

ANNA R. BOEK &

6.3

JOHANNES BOEK

Phone: Mobile E-Mail:

EASTWOOD. VIC. 3875

21st May 2020

OBJECTION TO PLANNING PERMITS FOR LOT 12, LOT 14, AND LOT 16 GLENDON DRIVE, EASTWOOD 3875

OBJECTION DETAILS

We are strongly opposed to the proposal to build a number of dwellings each on Lot 12, Lot 14 and Lot 16 Glendon Drive, Eastwood. 3875.

These buildings will be in addition to the buildings proposed for Lots 4,5,8,13 and 17 on Glendon Drive Eastwood. The development of all these lots will create a community on Glendon Drive, totally out of character of what the Eastwood Estate represents.

The Eastwood Estate was developed with its purpose to provide single dwellings of a certain calibre on each block, with only a few exceptions. In real life these exceptions have occurred on corner blocks only and then with just 2 units per block.

The proposal by the Department of Housing for Glendon Drive will change the whole character of this area. The number of occupants on each block will increase way out of proportion to the current ambience of the area.

This estate was not build with the idea of providing social housing in this area. However over time a few social dwellings have been provided to some people and the dwellings have a habit of changing the pristine area of Eastwood to a bit of a tip on occasions. Nowhere in the Estate do we have such a density of buildings on such few blocks, resulting in an increase in population. We want to avoid this happening in Glendon Drive in order to keep the current appearance of this area.

Further with the building of all these units the traffic in the area will increase. At this stage each building block may on most occasions have only 2 cars parked on site. Building the proposed number of units will increase the vehicle traffic way out of current usage. Glendon Drive is one of only 2 exits out of this area at this stage and the increase of traffic in Glendon Drive and its immediate surroundings will affect all those persons living on the Backwater and the other adjoining streets, courts and drives with increased noise levels and congestion of traffic.

We are also concerned about parking in Glendon Drive. Increase visitations from trades people, support staff etc. in this street will see a number of cars parked on the street itself blocking the thorough fare. This will cause traffic hazards in this area and could affect the safety of children playing or just using the street.

The increase in habitation will force an increase on services currently provided to the area. As at no time such a density of housing was proposed to this area it may affect the supply of water, electricity and internet etc.

How would we be affected if these permits are granted?

We live right behind the building blocks on which the units are proposed to be built.

With the increase in population we expect that the noise levels will go up way out of what is currently a very nice quite area. The traffic changes will also affect us as Drive is the exit for us to drive to Flinns road and thus exiting the Estate.

The change of the character of this part of the Estate will have an economical impact on the remaining housing stock. As the house owners in this area have not been given the opportunity to discuss this matter between themselves due to firstly, the short period of advise and secondly the covid 19 virus restrictions we feel that we should be given some consideration prior to granting these permits to evaluate the proposal and its affect on the area.

Anna R. Boek

Johannes B. Boek 20/5/20

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: GLENN CALVER	1			
Postal address: f.o Box 40				
BATRNSDALE				Postcode 7875
Phone number: Home:	Work:		Mobile:	
Email address:	: .	-	Fax:	· · · · · · · · · · · · · · · · · · ·
Permit Details:	<u> </u>			
	L0201P	······		
What has been proposed? <u>Developme</u>	ent of le	and for 2	dwell	igr
What is the address to be used or developed	?	Glena	10n D	VIVE
		East	vood	
Who has applied for the permit?	ent-str	one town	plann	ers -
Objection Details:	••••••••••••••••••••••••••••••••••••••			· · ·
What are the reasons for your objection?	Refer	attached !	ette	· · · · · · · · · · · · · · · · · · ·
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How would you be affected by the granting of this permit? _	Refor attached letter
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If you need more space for any part of this form please attach another sheet.

Signature:		~	
Name:	GLETIN	CALVERT	 Date: 221 512020

Office Use Only:	`
Objection Received by:	Date Received:///
Planning officer responsible:	Date Received://

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OBJECTION TO PLANNING PERMIT GLENDON DRIVE EASTWOOD What are the reasons for your objection?

This is an overall development of 12 duplexes/24 houses when the whole project is finished. Refer our previous objection for 4, 5, 8, 13 & 17 Glendon (Permit numbers 91-95/2020/P). While it may tick the boxes of 1 permit, it has to be looked at in it's entirety.

139/2020/P

- This development is not in character with the Eastwood profile
- Low socio-economic housing not good in a cluster development in any area.
- If there is a need, it must be spread throughout the community
- There are already at least 3 Public Housing properties in close proximity. Despite numerous complaints from neighbours, unfortunately these dwellings are not kept neat, with visual rubbish problems and tenants allegedly vandalising and spraying graffiti, and not acting in a normal community spirit.
- Blocks were originally sold on the proviso that each block was to be built on by an individual not one person having 12 blocks and building potentially 24 houses
- The Department of Health and Human Services have applied for permits for 4, 5, 8, 13 & 17 Glendon. And they still have 1, 6, 7, and 11 in the same parcels of land. Now they are applying for developments at 12, 14 & 16 Glendon.
- Surely a planning department has to be responsible in protecting the values of the existing homeowners properties
- Clause 32.08 of General Residential Zoning To encourage diversity Yes, 1 duplex is diversity, but NOT 12 duplex/24 houses in the same street (72% of houses in street)

How would you be affected by the granting of this permit?

- The land at 12, 14 & 16 Glendon was the area of the original application. Was this application refused? or withdrawn? If you add that to the other lots, that's 24 houses in one street
- As home owners, we bought and developed our properties without the knowledge that 24 Emergency housing properties would be built on our doorstep
- Cluster housing like this causes ghettos (for the want of a better word). Spread them out to lessen the community impact.
- Council and VCAT have already refused 3 permit applications for subdivision on the adjacent Backwater. It wasn't exactly spelt out on 2 of those applications, but it was proposed to sneakily develop a high density living block which VCAT threw out and then rejected the new application later.
- I read somewhere that high fences and security cameras will be installed. That has alarm bells ringing
 already 10 houses followed by a further 14. This is a serious safety concern implying the need for Security
 in the area, putting our possible health and well being at risk.
- I was told a planning department person said each application is judged on its merits. Surely that can't be the case here? If you are planning for the future and big picture – take your blinkers off and look at the big picture – 24 houses – seriously – would you like to live here?
- When the entire project is complete there will be 24 community houses and 9 "normal" houses in the street
 that's not acceptable with today's planning. 72% in one street is not an even spread across the town.
- In regards to traffic and parking Glendon is the main through street to the Backwater, which would cause congestion and danger to the residents. It is also a key linking pedestrian route for school children attending Lucknow Primary School.
- Adjacent to Glendon is the Backwater, which is arguably one of the best streets in Bairnsdale. Houses and blocks are expensive, but this would bring property values down, both in the Backwater, and in Glendon, and other surrounding streets. You wouldn't do this in Toorak!

Glenn Calvert

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Ph:

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Objection to Planning Permit Application

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Your Details:

Name: LAUREL CA	WERT			
Postal address: P.O. Rox 4	fab			
BAIRNSDAU				Postcode 3875
Phone number: Home:	Work:		Mobile:	· · · · · · · · · · · · · · · · · · ·
Email address:	·		Fax:	
Permit Details:				
	020 P			
What has been proposed? <u>Developm</u>	nex of land	for 2	-dwa	elling
What is the address to be used or develope	id?	GLEN	DON	DVE.
		EASTV	vooD	
Who has applied for the permit?	ent-stone	town	plany	
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East Gippsland Shire Council 273 Main Street (PO Box 1618) Telephone: (03) 5153 95(Fax: (03) 5153 9576 Bairnsdale Vic 3875 National Relay Service: 133 677 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Residents' Information Line: 1300 555 886 ABN: 81 957 967 765 Follow us on Twitter @egsc R ached How would you be affected by the granting of this permit?

If you need more space for any part of this form please attach another sheet.

Signature:		
Name:	LAYROL CALVERT	Date: 224 51 2020

Office Use Only:		
Objection Received by:	Date Received:	_//
Planning officer responsible:	Date Received:	_//

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139 2020 P

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- When the entire project is complete there will be 24 community houses and 9 "normal" houses in the street
 that's not acceptable with today's planning. 72% in one street is not an even spread across the town.
- In regards to traffic and parking Glendon is the main through street to the Backwater, which would cause congestion and danger to the residents. It is also a key linking pedestrian route for school children attending Lucknow Primary School.
- Adjacent to Glendon is the Backwater, which is arguably one of the best streets in Bairnsdale. Houses and blocks are expensive, but this would bring property values down, both in the Backwater, and in Glendon, and other surrounding streets. You wouldn't do this in Toorak!

Laurel Calvert

From: SeamlessCMS@seamless.com.au **Sent:** Friday, 15 May 2020 4:35:23 PM **To:** Planning Unit Administration **Subject:** Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 15 May 2020 04:35 PM

Name	Ashley Dalton
Email address	\sim
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139 to 141 /2020 / P
What has been proposed?	Construction of 2 units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also e de-value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not a overcrowded multi dwelling development that is totally out of character with the area.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au Sent: Monday, 18 May 2020 8:39:47 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 18 May 2020 08:39 PM

Name	Daniel Dalton
Email address	upunis (19110 111 11.00111
Postal address	Mount Taylor
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141/2020/P
What has been proposed?	Construction of numerous double occupancy sites in the street.
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clement Stone
What are the reasons for your <u>objection</u> ?	The development in out of character with the whole of the Eastwood residential area
How would you be affected by the granting of this permit?	The increase in traffic will be a concern / danger when I take my young children walking and on their scooters in the area which is close to my parents property.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au Sent: Friday, 15 May 2020 4:09:18 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 15 May 2020 04:09 PM

Name **Denise Dalton** Email address Postal address Eastwood Vic 3875 Home Work Mobile Fax Planning permit 139-141 / 2020 /P number What has been Construction of 2 public housing units on each allotment proposed? What is the address to be 12,14 & 16 Glendon Drive Eastwood Vic 3875 used or developed? Who has applied Clemment Stone Town Planners on behalf of DHS for the permit? This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in What are the Eastwood will have this concentration of dual occupancy sites. The proposal is reasons for your also not complimentary to the existing housing stock and will devalue the objection? properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area. How would you The proposed development will increase traffic flow and noise and will also be affected by the de-value properties in the area. The residents bought properties on the basis granting of this that it would be a quiet housing estate not overcrowded with an unsightly permit? cluster of units in the one street. Additional No file attached information

From: SeamlessCMS@seamless.com.au Sent: Sunday, 10 May 2020 4:53:23 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 10 May 2020 04:53 PM

Name	Malc
Email address	
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139 to 141/2020/P
What has been proposed?	Construction 2 units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also de-value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not a overcrowded slum.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au **Sent:** Friday, 15 May 2020 4:44:53 PM **To:** Planning Unit Administration **Subject:** Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 15 May 2020 04:44 PM

Name	Matt Dalton
Email address	
Postal address	er Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141 / 2020 /P
What has been proposed?	Construction 2 units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also de-value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not overcrowded with a cluster unit development totally out of character with the area
Additional information	No file attached

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Your Details:		EGSC				
Name: Unida Daniel		2 5 MAY 2020				
Postal address:	-	INFORMATION	1			
Eastwood		MANAGEMEN)	Postcode	38	375
Phone number: Home:	Work:		Mobile:	•		
Email address:	<u></u>	· ··· ·	Fax:			
Permit Details:						

Planning permit number: 140 2020 P 139 2020 P 140 2020 P
What has been proposed? Construction of 2 New dwellings on each block
= Construction of 6 dwellings
What is the address to be used or developed? 12, 14 + 16 Glendon Drive
Eastwood 3875. This is additional to applications in
place for 2 new dwellings on each block at 4,5,8,13+17 Elendon Drive
Who has applied for the permit? <u>Clement Store Town Planners</u>

Objection Details:

What are the reasons for your objection?
- Noise + traffic congestion, increased traffic risk
- Estate was not intended for multiple dwelling properties
- Extent of scale of developments - 8 single blocks used to
build 16 new dwellings in one porart Street-Glendon Drive.
- Please see attached firther detail
- Friancial implications for neighboring properties
- Reduction in atractiveness of area and less appealing

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only if we are allowed by law, or to protect someone or property. When information is given out, Council will always try to make sure your privacy is protected in line with the Privacy and Data Protection Act 2014. You may ask for more information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au

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How would you be affected by the granting of this permit?
- financial impact due to devaluation of my property
-quality of life - privacy, noise
- Please see attached

If you need more space for any part of this form please attach another sheet.

Signature:

Name:

Linda Daniel

Date: 21 / 5 / 2020.

Additional Page Attacked.

Office Use Only:			
Objection Received by:	Date Received:	_/	_/
Planning officer responsible:	_ Date Received:	_/	

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only if we are allowed by law, or to protect someone or property. When information is given out, Council will always try to make sure your privacy is protected in line with the Privacy and Data Protection Act 2014. You may ask for more information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au Attachment - Objection to Planning Permit Applications 139/2020/P, 140/2020/P,141/2020/P at

12, 14 & 16 Glendon Drive, Eastwood

In addition to previous objection for applications affecting neighbouring properties at 4, 5, 8, 13 & 17 Glendon Drive, Eastwood.

The original intent of the land and development of the Eastwood area was for the building of single dwelling houses, not multiple dwellings on what are standard size house blocks. The Eastwood estate is a family friendly, guiet area with pleasant surroundings and was not designed for over development of blocks with multiple dwellings squeezed into one very small street. There are planning applications for multiple dwellings across 8 blocks in this small section of Glendon Drive which will result in 16 x 3 bedroom dwellings in the space of a few hundred metres. Cramming so many residents into such a small area will result in much higher noise levels, more congestion and more traffic which will detract from the current, family friendly, quiet neighborhood it is. These multiple dwellings are out of character with all other parts of Eastwood and will detract from the value of my neighbouring property, and other neighbouring properties. Creating a street full of public housing properties in the middle of Eastwood will decrease values across the whole estate, and will create a whole different atmosphere in the neighbourhood. Glendon Drive is not designed for high levels of traffic and will be further impacted with cars driving and parking along the street, causing increased traffic risks for drivers and pedestrians, including children. It is not a very wide street with no safe street parking available. Multiple public housing properties neighbouring each other will impact on the character and attractiveness of the area. These developments will be visually less appealing than single dwelling properties, as the estate was originally meant for. I believe these multiple developments in this one small section of Eastwood will impact on my privacy and quality of life and will affect me financially due to the expected drop in value of my property. People enjoy living in Eastwood because of the peaceful and appropriate atmosphere which will be disrupted by so many multiple dwellings developed together. To fit two dwellings on each block they will need to be built right to each fence line which will impact on all bordering properties, including my own. I already experience noise from neighbours with single dwelling houses next door so this will be double the impact when there are two dwellings on each block, and they will be built closer to the property borders. I am very disappointed that a developer or the East Gippsland Shire Council would consider such a congested development plan of this density, with this number of dwellings in one small area to be appropriate for the East Gippsland Community. I moved back to the country many years ago to live in a less urbanised environment, and was able to find the right balance in Eastwood, but this development would certainly detract from the quality of life I experience living in this neighbourhood.

A national research study revealed that homes next door to public housing can cost significantly less than other local properties. Analysis by property valuation website ripehouse.com.au found that on streets where 18% of properties are public housing, properties are valued 20% below the average rate of other streets with a lower proportion.

Ref: https://www.domain.com.au/news/social-housing-has-dramatic-effect-on-house-prices-analysis-20160209-gmpyn7/

Linda Daniel Ph. 21/5/2020

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EGSC

Objection to Planning Permit Application

Planning and Environment Act 1987

IN URMATION

7 Z MAY 2020

There are some hard words in this form. The hard words are in blue. You can read what they freah on page 3.

Your Details:

УЬ

Name: LEONARD . A A	HALL MARGARE	+ HALL	
Postal address:	<u>EASTWO</u>		
	·····		Postcode 3 8 7
Phone number: Home:	Work:	Mobile:	
Email address:		Fax:	
Permit Details:			
Planning permit number: Applica	ation reference r	number 139	12020/P
What has been proposed? prop			o deus
Duckings			
What is the address to be used or o	developed? 12 Grlen	Don Drive	······································
EASTWOOD 3875	5 LOT 205 P	5 54 228	9
		· · · · · · · · · · · · · · · · · · ·	
Who has applied for the permit?	PLEMENT - STON	e Town Pl	ANDERS
Objection Details:			
What are the reasons for your object	ction?		
ITTHE development	IS NOT Complia	entary to t	the existing
housing stock.	•		~
2) The original pu	woose of the La	nel has been	changed
From single reside	•		· • •
3) The development	,		
profile of the aver			
have more than	lesub alum C	ino sites.	
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The East Gippstand Shire Council asks for datails about you to collect rates, approve permits and ficences, and run a range of community services. The information you to collect rates, approve permits and ficences, and run a range of community services. The information you to collect rates, approve permits and ficences, and run a range of community services. The information you to collect rates, approve permits and ficences, and run a range of community services. The information you to collect rates, approve permits and ficences, and run a range of community services. The information you to collect rates, approve permits and for any supply details about you to connecting the rates and run and is not given to anybody else. Sometimes we may supply details about you to connecting the rates and run and is not given to anybody else.

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How would you be affected by the granting of this permit?					
	Plenes	REFER	+0	attached	Letter
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		·			

If you need more space for any part of this form please attach another sheet.

Signature: A SONARD A SHALL	
Name: LEONARD . A. HALL	Date: 2/1 5120

2

Margared Hall

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received://

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Dear Councillors/CEO EGSC & Tim Bull MP/Planning Minister Richard Wynne WiF,

I strongly object to the proposed construction to be located on Glendon Drive Eastwood Victoria 3875 in close proximity to the Lucknow Primary school, Kindergartens, Eastwood childcare facility and the retirement village. I object on the following grounds;

- This is a serious safety concern for me and other residents as "Safety" is referenced in the overarching vision/intent of settlements with the key direction for "planning to recognise the need for and as far as practically possible Health, wellbeing and safety". Further to support this concern, Glendon Drive is in close proximity to elderly residents at BUPA, the two kindergartens and the school, also noting that Glendon Drive is a key linking pedestrian route for school children to attend the Lucknow Primary School.
- I would like to note that there is some serious concerns from residents, schools, kindergartens, and
 retirement villages for this type of development and use to occur within close proximity. Not only is
 safety a concern, but this is a fairly newly established part of Bairnsdale and risks the capital value of
 adjacent properties.

I strongly object to all of the proposed development in Glendon Drive as the Department of Health, Human Services is now proposing to build an extra 6 units adding to the 10 units that I have already objected to for low income or common equity housing, ALL LOCATED IN GLENDON Drive!!! This will be 16 community housing units in one street!! (THIS WILL MEAN OVER 80% of the properties in Glendon Drive will be community housing!!!!) in fact the crisis individuals will be greater than the current residents occupying this street. Keeping in mind that this is in close proximity to the Lucknow Primary school, Kindergartens, Eastwood childcare facility and the retirement village and the only thoroughfare to the prestigious Backwater development Councillors, I direct your attention to the purpose of the East Gippsland's Planning Scheme:

PURPOSES OF THIS PLANNING SCHEME

- To provide a clear and consistent framework within which decisions about the use and development of land can be made.
- To express state, regional, local and community expectations for areas and land uses.
- To provide for the implementation of State, regional and local policies affecting land use and development.
- East Gippsland Planning Scheme Under 21.07-3, 31/03/2016, C127 Sustainable Development Proposals for new development and land use the following considerations must be applied;
 - Strategy 1.1 Ensure new development and land use applications consider potential positive and negative social impacts on the community &
 - Strategy 1.2 Require proposals for new development, land use, infrastructure and changes in
 policy to consider social impact through the preparation of social impact comments and/or
 assessments as identified in the East Gippsland Shire Council Social Impact Assessment

EGSC

2 2 MAY 2020 INFORMATION MANAGEMENT From the above, as a rates payer of East Gippsland Shire Council, I would like East Gippsland Shire Council and Tim Bull MP to review the proposal and contact the State Government and Planning Minister to:

- Reconsider the location of this proposed crisis centre and conduct an options analysis, which
 considers risk to our community (vulnerable people) and supported by a Social Impact
 Assessment in accordance with the East Gippsland Shire Council Planning Scheme to determine
 the level of negative social impact on Glendon Drive and the adjacent communities.
- Undertake a formal Public Consultation process with the community (via a public submission process) in relation to this development and type of land use and its proximity to vulnerable people (Kindergartens, Schools, and Elderly.
- Provide evidence based decision making around Glendon Drive being the chosen location, including what risk assessment process has been conducted in making this decision.

Councillors, I direct your attention to the purpose of the East Gippsland's Planning Scheme:

PURPOSES OF THE PLANNING SCHEME

To provide a clear and consistent framework within which decisions about the use and development of land can be made.

Further to this:

East Gippsland Planning Scheme - Under 21.07-3, 31/03/2016, C127 Sustainable Development – Proposals for new development and land use the following considerations must be applied;

Strategy 1.1 Ensure new development and land use applications consider potential positive and negative social impacts on the community.

Strategy 1.2 Require proposals for new development, land use, infrastructure and changes in policy to consider social impact through the preparation of social impact comments and/or assessments as identified in the East Gippsland Shire Council Social Impact Assessment Guidelines for Development.

East Gippsland Planning Scheme - Under 21.08-1, 31/03/2016, C127 Residential Development – Proposals for new development and land use the following considerations must be applied;

I request the Department of Human Services complete an independent Social Impact Assessment in accordance with the East Gippsland Shire Council Planning Scheme to determine the level of negative social impact on Glendon Drive residences and the adjacent communities for both types of

development proposed in Glendon Drive (a family in Crisis centre and now up to 16 Community housing units in the one single street).

• Provide evidence based decision making around Glendon Drive being the chosen location, including an independent Financial Impact Assessment on the property values along Glendon drive from a certified and qualified property valuer.

 Request that both assessments are made publicly available for a public submission process from the residents to make further comments on. I am sure that we are all aware that the timing of this announcement,

Councillors surely this does not make logical sense to have 80% of the properties, (16 units!) and that if this is a allowed then the planning system of East Gippsland Shire Council is fundamentally flawed!!

Please put yourselves in our shoes, there was no way of knowing when we purchased this property many years ago, in a new estate and area of Bairnsdale known as Eastwood, that we would be faced with having a mass development of community housing in our street. I truly believe if any of you have this happen to you, you would be truly upset with this poor community, social and economic outcome!!

There is no justification for the amount of community housing in one street in a regional township (this is Bairnsdale, not Melbourne!), I recommend that the EGSC CEO, councillors and Tim Bull MP reconsider alternative options to re-distribute these developments to other areas around the Bairnsdale residential areas (evenly), so that these developments do not disadvantage one single street in all the ways listed above, including huge financial impact.

I look forward to a response to my request, and what actions EGSC and Tim Bull MP WILL take to address this important issue for our community. I also note, ALL of the current residents in Glendon Drive are NOT HAPPY with this proposal.

I hereby object to the planning permits for the multiple dwellings on Glendon drive Eastwood Victoria 3875 including the following application reference numbers;

12 Glendon Drive Lot 205 PS 542289 reference number 139/2020/P

14 Glendon Drive Lot 206 PS 5542289 application reference number 140/2020/P

16 Glendon Drive Eastwood Lot 207 PS 542289 application reference number 141/2020/P

V OR EASTWOOD

DR EASTWOO

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2 Z MAY 2020

Objection to Planning Permit Application

INFORMATION MANAGEMENT

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Planning and Environment Act 1987

Your Details:

Name: Kellie John	nstan	
Postal address:	-	
Bair	nsdale -	Postcode 3875
Phone number: Home:	Work:	Mobile:
Email address:	· · · ·	Fax:
Permit Details:		
Planning permit number: 141	2020 1401	1020 P 139/2020 P
What has been proposed?	Block of 2	units (6 altogether)
What is the address to be used or	developed? 12, 1 Eastwo	14, 16 Glandon drive
· · · · · · · · · · · · · · · · · · ·		
Who has applied for the permit?	Clement Star	re Town Planners
Objection Details:		

What are the reasons for your objection? derelapmon (r pro the racter YCI CANP 3 ٥ MAGA 65ec RADANA ÓD РÜ Υ nas ിനസ് IΥ to E

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How would you be affected by the granting of this permit? This would affect
our area as there will be a lot of cars and
alot more traffic in this small street that
a lot of people cise to access The Baclewater.
to our onea will be impacted by this amount
of dwellings in such a small street ralang
with the proposed double dwellings on lot 4,5,8,
BER AS it would add 16 dwellingstn
a tiny area. to much traffic and does not
match the other dwellings in that street, malany
it difficult for those neede to sell.

If you need more space for any part of this form please attach another sheet.

Signature:		· · ·		
Name:	Kellie Johns	itan	Date: 1815	120

Office Use Only:	
Objection Received by:	_ Date Received:///
Planning officer responsible:	_ Date Received://

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EGSC

Objection to Planning Permit Application

Planning and Environment Act 1987

2 2 MAY 2020

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: CHERY! KAPP + R	hine kapp	
Postal address:		
EASTWOOD	VIC 3875	Postcode 3875
Phone number: Home:	Work:	Mobile:
Email address:		Fax:
Permit Details:		
Planning permit number: Application	reference number	1139/2020/P
What has been proposed? proposed	Construction of	two Dens
Duckings		
What is the address to be used or developed	121 Glenpon D	RINE
Enstwood, 3875 Lo	T205 PS 54	2289
Who has applied for the permit?	ENT - STONE TOW	~ PLANDERS
		·
Objection Details:	· · · · · · · · · · · · · · · · · · ·	
What are the reasons for your objection?	· · · · · · · · · · · · · · · · · · ·	
DThe development is NO	E complementary	to the existing
housing stock.	·	
2) The original purpose	of the land has	been changed
From single residences		· · · · · · · · · · · · · · · · · · ·
3) The development is i	i •	
profile of the aver given		
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How would you be affected by the granting of this permit?				
	PLENSE	Refer to	ATTACHED	Letter
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				·····
. <u> </u>				

If you need more space for any part of this form please attach another sheet.

\$ · \$ Signature: Date: 21/05/20 Name:

Office Use Only:			
Objection Received by:	Date Received:	/	_/
Planning officer responsible:	_ Date Received:	_/	_/

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EGSC

2 2 MAY 2020

INFORMATION MANAGEMENT

Dear Councillors/CEO EGSC & Tim Bull MP/Planning Minister Richard Wynne MP,

I strongly object to the proposed construction to be located on Glendon Drive Eastwood Victoria 3875 in close proximity to the Lucknow Primary school, Kindergartens, Eastwood childcare facility and the retirement village. I object on the following grounds;

- This is a serious safety concern for me and other residents as "Safety" is referenced in the
 overarching vision/intent of settlements with the key direction for "planning to recognise the need for
 and as far as practically possible Health, wellbeing and safety". Further to support this concern,
 Glendon Drive is in close proximity to elderly residents at BUPA, the two kindergartens and the
 school, also noting that Glendon Drive is a key linking pedestrian route for school children to attend
 the Lucknow Primary School.
- I would like to note that there is some serious concerns from residents, schools, kindergartens, and
 retirement villages for this type of development and use to occur within close proximity. Not only is
 safety a concern, but this is a fairly newly established part of Baimsdale and risks the capital value of
 adjacent properties.

I strongly object to all of the proposed development in Glendon Drive as the Department of Health, Human Services is now proposing to build an extra 6 units adding to the 10 units that I have already objected to for low income or common equity housing, ALL LOCATED IN GLENDON Drive!!! This will be 16 community housing units in one street!! (THIS WILL MEAN OVER 80% of the properties in Glendon Drive will be community housing!!!) in fact the crisis individuals will be greater than the current residents occupying this street. Keeping in mind that this is in close proximity to the Lucknow Primary school, Kindergartens, Eastwood childcare facility and the retirement village and the only thoroughfare to the prestigious Backwater development Councillors, I direct your attention to the purpose of the East Gippsland's Planning Scheme:

PURPOSES OF THIS PLANNING SCHEME

- To provide a clear and consistent framework within which decisions about the use and development of land can be made.
- To express state, regional, local and community expectations for areas and land uses.
- To provide for the implementation of State, regional and local policies affecting land use and development.
- East Gippsland Planning Scheme Under 21.07-3, 31/03/2016, C127 Sustainable Development Proposals for new development and land use the following considerations must be applied;
 - Strategy 1.1 Ensure new development and land use applications consider potential positive and negative social impacts on the community &
 - Strategy 1.2 Require proposals for new development, land use, infrastructure and changes in
 policy to consider social impact through the preparation of social impact comments and/or
 assessments as identified in the East Gippsland Shire Council Social Impact Assessment

From the above, as a rates payer of East Gippsland Shire Council, I would like East Gippsland Shire Council and Tim Bull MP to review the proposal and contact the State Government and Planning Minister to:

- Reconsider the location of this proposed crisis centre and conduct an options analysis, which
 considers risk to our community (vulnerable people) and supported by a Social Impact
 Assessment in accordance with the East Gippsland Shire Council Planning Scheme to determine
 the level of negative social impact on Glendon Drive and the adjacent communities.
- Undertake a formal Public Consultation process with the community (via a public submission process) in relation to this development and type of land use and its proximity to vulnerable people (Kindergartens, Schools, and Elderly.
- Provide evidence based decision making around Glendon Drive being the chosen location, including what risk assessment process has been conducted in making this decision.

Councillors, I direct your attention to the purpose of the East Gippsland's Planning Scheme:

PURPOSES OF THE PLANNING SCHEME

To provide a clear and consistent framework within which decisions about the use and development of land can be made.

Further to this:

East Gippsland Planning Scheme - Under 21.07-3, 31/03/2016, C127 Sustainable Development – Proposals for new development and land use the following considerations must be applied;

Strategy 1.1 Ensure new development and land use applications consider potential positive and negative social impacts on the community.

Strategy 1.2 Require proposals for new development, land use, infrastructure and changes in policy to consider social impact through the preparation of social impact comments and/or assessments as identified in the East Gippsland Shire Council Social Impact Assessment Guidelines for Development.

East Gippsland Planning Scheme - Under 21.08-1, 31/03/2016, C127 Residential Development -- Proposals for new development and land use the following considerations must be applied;

I request the Department of Human Services complete an independent Social Impact Assessment in accordance with the East Gippsland Shire Council Planning Scheme to determine the level of negative social impact on Glendon Drive residences and the adjacent communities for both types of

EGSC

2 2 MAY 2020

INFORMATION MANAGEMENT development proposed in Glendon Drive (a family in Crisis centre and now up to 16 Community housing units in the one single street).

• Provide evidence based decision making around Glendon Drive being the chosen location, including an independent Financial Impact Assessment on the property values along Glendon drive from a certified and qualified property valuer.

• Request that both assessments are made publicly available for a public submission process from the residents to make further comments on. I am sure that we are all aware that the timing of this announcement,

Councillors surely this does not make logical sense to have 80% of the properties, (16 units!) and that if this is a allowed then the planning system of East Gippsland Shire Council is fundamentally flawed!!

Please put yourselves in our shoes, there was no way of knowing when we purchased this property many years ago, in a new estate and area of Baimsdale known as Eastwood, that we would be faced with having a mass development of community housing in our street. I truly believe if any of you have this happen to you, you would be truly upset with this poor community, social and economic outcome!!

There is no justification for the amount of community housing in one street in a regional township (this is Bairnsdale, not Melbourne!), I recommend that the EGSC CEO, councillors and Tim Bull MP reconsider alternative options to re-distribute these developments to other areas around the Bairnsdale residential areas (evenly), so that these developments do not disadvantage one single street in all the ways listed above, including huge financial impact.

I look forward to a response to my request, and what actions EGSC and Tim Bull MP WILL take to address this important issue for our community. I also note, ALL of the current residents in Glendon Drive are NOT HAPPY with this proposal.

I hereby object to the planning permits for the multiple dwellings on Glendon drive Eastwood Victoria 3875 including the following application reference numbers;

12 Glendon Drive Lot 205 PS 542289 reference number 139/2020/P

14 Glendon Drive Lot 206 PS 5542289 application reference number 140/2020/P

16 Glendon Drive Eastwood Lot 207 PS 542289 application reference number 141/2020/P

Epstwood Nr. 38

Rhine Kapp

M

From: SeamlessCMS@seamless.com.au Sent: Monday, 18 May 2020 8:31:17 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 18 May 2020 08:31 PM

Bradley Morrison
Eastwood Vic 3875
139-141/2020/P
Construction of numerous units in the one street
12,14 & 16 Glendon Drive Eastwood vic 3875
Clement Stone
The proposed development in completely out of character with the area and existing properties.
I will be relocating to a new house close to Glendon Drive and will be affected by the increased traffic flow, noise and overall unsightliness of the proposed development. No file attached
•

From: SeamlessCMS@seamless.com.au Sent: Monday, 18 May 2020 8:19:07 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 18 May 2020 08:19 PM

Name	Daniel Morrison
Email address	
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141 /2020/P
What has been proposed?	Construction of multiple multi dwelling units in the one street.
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clement Stone Town Planners
What are the reasons for your <u>objection</u> ?	The proposed buildings along with another 6 locations in Glendon Drive are totally out of character with the other buildings in the area.
How would you be affected by the granting of this permit?	I will be building a new house close to Glendon Drive and will be affected by the increased traffic flow, noise and overall unsightliness of the proposed development.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au Sent: Monday, 18 May 2020 8:24:32 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 18 May 2020 08:24 PM

Name	Roslyn Morrison
Email address	· · · - ··
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141/2020/P
What has been proposed?	Construction of numerous dual occupancy residences
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clement Stone
What are the reasons for your <u>objection</u> ?	The development is not in keeping with not only this street but the whole of the Eastwood area.
How would you be affected by the granting of this permit?	I will be building a new house close to Glendon Drive and will be f affected by the increased traffic flow, noise and overall unsightliness of the proposed development.
Additional information	No file attached

From: Trudi Stubbs on behalf of Planning Unit Administration Sent: Thursday, 28 May 2020 2:55:40 PM To: Planning Unit Administration Subject: 139/2020/P Objection to Planning Permit Submitted

■ Trudi Stubbs ■ Team Leader Land Use Administration

Please consider the environment before printing this e-mail.

From: SeamlessCMS@seamless.com.au <SeamlessCMS@seamless.com.au> Sent: Saturday, 23 May 2020 9:46 AM To: Planning Unit Administration <Planning@egipps.vic.gov.au> Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 23 May 2020 09:46 AM

Name	Jessie Ng
Email address	
Postal address	Bairnsdale
Home	
Work	
Mobile	
Fax	
Planning permit number	39/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	12 Glendon Drive
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is detrimental to neighbouring residents and tenants themselves 4> Current cluster of public housing on Gree Kulluk PI is frequently left unkempt 5> Children living in public housing on Gree Kulluk PI are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and leads to socio-economic decline across the neighbourhood.

How would1> Clustering of emergency housing in one street is likely to affect the safety of the
neighbourhood. 2> There has been multiple episodes of vandalism and theft likely
affected by the
resulting from public housing being clustered on Gree Kulluk Pl. 3> Concerns about crime
granting of this
will rise if the permit is granted, potentially placing the community on surrounding
streets at higher risk.

Additional No file attached

From: SeamlessCMS@seamless.com.au Sent: Saturday, 23 May 2020 9:43:54 AM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 23 May 2020 09:43 AM

Name	Poh Ng
Email address	.com
Postal address	Bairnsdale
Home	
Work	
Mobile	
Fax	
Planning permit number	39/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	12 Glendon Drive
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is detrimental to neighbouring residents and tenants themselves 4> Current cluster of public housing on Gree Kulluk Pl is frequently left unkempt 5> Children living in public housing on Gree Kulluk Pl are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and leads to socio-economic decline across the neighbourhood.
you be affected by the granting of this permit?	1> Clustering of emergency housing in one street is likely to affect the safety of the neighbourhood. 2> There has been multiple episodes of vandalism and theft likely resulting from public housing being clustered on Gree Kulluk Pl. 3> Concerns about crime will rise if the permit is granted, potentially placing the community on surrounding streets at higher risk.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au **Sent:** Friday, 15 May 2020 4:53:31 PM **To:** Planning Unit Administration **Subject:** Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 15 May 2020 04:53 PM

Name	Emily Robinson
Email address	j@gmail.com
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139 to 141/2020/P
What has been proposed?	Construction 2 units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also de- value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not be overcrowded with this out of character unit development.
Additional information	No file attached

From: wayne stagg Sent: Wednesday, 20 May 2020 8:04:03 PM To: Feedback Address For Web Page Subject: Ojection to 12 Glendon Drive EastwoodPlanning permit.

Please find attached my objection to the above planning permit. Wayne Stagg M. W.



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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: WAYNE and MAREE STAGG	
	STWOOD
	Postcode 3875
Phone number: Home: Work:	Mobile:
Email address:	Fax:
Permit Details:	
Planning permit number: 139/2010/P	
What has been proposed? CLEMENT STONE TOU	UN PLANNERS
What is the address to be used or developed? 12 CIEND	ON DRIVE EASTWOOD.
LOT 205 PS542289	(3875)
Who has applied for the permit? DEPARTMENT OF H	EALTH AND HOUSING
SERVICES (VIC.) D.H.H.S.	
Objection Details:	
What are the reasons for your objection	
STREET WITH DUPLEX DWELLINGS WHER	
BE MORE SUITABLE, ASTIKE SXISTING SI	
2) INCREASED TRAFFIC/PARKING AND CHIL	DRAN IN APSTHORT ACCESS
to "THE BACKWATER" RESIDENCES.	
3. HISTORICALLY D.H.H.S. HOUSING DEVELO	DMEMENTS TEND TO
HE OCCUPIED / TENANTED BY OCCUPAN	
RESPONSIBLE CARE OF THEIR RESIDENCE	
ACCEPTABLE NEICHBOR RITORD BETTALIONE	

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: IAN STANIFORTH	& JENNIFER S	STANIFORTH	
Postal address:			
EASTWOOD		Postcode	3875
Phone number: Home:	Work:	Mobile:	
Email address:		Fax:	
Permit Details:			
Planning permit number: NOS 139/140	2/141		
What has been proposed? <u>3 X 3</u> Be	droom Units on :	3 lots in Glendon) Dr
	astwood	·	
What is the address to be used or developed	?		· · · · · · · · · · · · · · · · · · ·
- NOS 12, 14 8-16 G	LENDON DRIVE,	EASTWOOD 387	5
		~	
Who has applied for the permit? <u>Cleme</u>	nt-Stone Town.	Planners	······
	· •	-	

Objection Details:

What are the reasons for your objection?		
	See attached sheets	
· · ·		
	EGSC	
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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765 **`**...

How would you be affected	by the granting of this permit?	•	. 3
. (-ached sheet	•
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If you need more space for any part of this form please attach another sheet.

Signature:		-in.		2.4		-
Name:	JENNIFER	STANIFORTH	•	. / / Date	<u>: 19 1 5</u>	120
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Planning officer responsible:	_ Date Received://

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some are at least 4 times greater and outside reasonable walking distance. They clearly chose to ignore the obstacles of the river and the backwater.

HOW WOULD WE BE AFFECTED BY THE GRANTING OF THIS PERMIT

Our passageway to Bairnsdale via Glendon Drive will be impacted by a consequential increase in vehicles, particularly the likelihood of obstruction due to street parking and children playing in the street and insufficient parking spa for the anticipated number of vehicles owned by some the residents of these proposed duplexes'.

There will be an increase in traffic and associated noise in the immediate area beyond what would be expected had the development of this street not been disallowed by the responsible government department years ago buying many of the blocks in the street then sitting on them for years, thus obstructing orderly residential development.

The disproportionate increase in the development of dwelling in this street, when compared with other parts of the estate will be to the detriment of the ambiance of the area and clearly conflicts with the way the estate has developed.

The proposed multiple duplexes will alter the amenity of the area in a detrimental manner that impacting on the both Glendon Drive and the immediate surrounding area.

CONCLUSION

The proposal to increase the number of potential dwelling in this one small street is totally out of character with the adjacent area and will not meet one of the objectives of community housing which is to assimilate community housing into the surrounding community. It is likely that if all these proposed 16 duplexes are allowed then a small separate conclave, not integrated into the local community, will develop and the street will become visually guite different to the surrounding streets.

We support the provision of community housing and recognise that it is necessary. We believe this street could perhaps support one or even two well-spaced blocks being developed as duplexes and with a small number of community houses in one street there is every possibility that the residents would become integrated into the community. However, should the street become one where there is a majority of community houses we believe assimilation into the surrounding community is unlikely and an enclave of both buildings and residents will result, separated from the surrounding community.

I M Staniforth.....

J A Staniforth.....

THREE PLANNING PERMIT APLICATIONS Nos 139/140/141/2020/P – STREET NO 12, 14, & 16 (GLENDON DRIVE). – OBJECTIONS BY IM & JA STANIFORTH. REASON FOR OBJECTION.

The proposals, should they be approved conflict with the amenity of the area as follows.

These three planning applications need considering alongside the previously identical planning applications for 5 other blocks in the same street. (PA 91,92,93,94/&95/2020/P) The sum total of which, should they all, or a majority of them be approved, will create an enclave of different types of houses and land use when compared to the surrounding streets.

The Street comprises 21 blocks, 9 of which have a single residence on them. Should all these ' permits be approved 8 of the remaining blocks would each containing two dwellings, outnumbering the existing houses 2 to 1 and as a consequence will completely alter the street scape and make it quite different to the surrounding streets.

These blocks are available due entirely to the responsible government department inhibiting the normal development of this street as one would reasonable expect. The Government department has simply sat on these blocks for years to the detriment of orderly development in this small part of the estate by denying the residents of Bairnsdale the opportunity of purchasing them.

Additionally, there also exists a number of public housing properties near this locality and flooding this small area with an additional 16 public housing units is in conflict with the objectives of assimilating public housing into the community. This small area will develop its own individual character in conflict with to the surrounding neighbourhood.

The proposed dwellings, although three bedrooms, only provide off street parking opportunities for two vehicles. It is common for the residences in Eastwood to have more than two vehicles and the majority of developed blocks are of sufficient size to accommodate them all withing these properties. This will not possible on any of the 16 proposed duplexes and passage through Glendon Drive is likely to be continually obstructed with some of the proposes 18 duplexes having no alternative but to part excess vehicles on the street.

The increase in density will also affect the traffic in the area (Glendon drive is one of only two routs from the Backwater and Mistana Court to the town of Bairnsdale). There is the very real likelihood of vehicles having to negotiate children playing in the street as occurs with existing public housing particularly as Glendon Drive is a through street servicing the Backwater and another street.

It is disappointing to note that the Town Planners who made these and the previous 5 applications still continue to 'gild the lily' by understating distances from the town & railway station etc. The distance they quoted from the town and other places are 'as the crow flies' and by road or walking

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: ALAN BAIRD			
Postal address:	EATIWOUD		
	· · · · · · · · · · · · · · · · · · ·		Postcode 3 275
Phone number: Home:	Work:	Mobile:	
Email address:		Fax:	
Permit Details:			
Planning permit number: 140/2020			
What has been proposed?	ent of Duplax		
		· · · · · · · · · · · · · · · · · · ·	
What is the address to be used or developed	1? 14 Glendon Drive	EASTI	Geoch
· · ·			
Who has applied for the permit?	1 Stone Town Planner		

Objection Details:

What are the reason	ns for your objection?
	Please see atlached
	EGSC
	2 5 MAY 2020
	INFORMATION MANAGEMENT
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What are the reasons for your objection ?

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East Gippsland Planning Scheme requires new developments and land use be subject to social impacts on the surrounding community. The impact on the proposed development at 14 Glendon Drive, Eastwood, is of serious concern to many residents.

Whilst this objection is firmly directed to the development of two dwellings at 14 Glendon Drive, the consequences of Council approving this application are far reaching and cannot be made in isolation without regard to the geographical community surrounding this street. Eight applications in the same street from the same land owner (Department of Health and Human Services) have now been put forward with the same development proposed in each application. Assessment of the merits of each individual application should be made in the context of the wider implications which are required to be taken into account under the Council's Planning Scheme .

I, along with the numerous objectors to the proposed development at 14 Glendon Drive, forsee adverse and negative social impacts arising if the proposal is endorsed by Council. The existing streetscape will be adversely affected and the neighbourhood character will be compromised. Two dwellings on the one block in Glendon Drive will be the catalyst for similar proposals in this beautiful street and the start of an avalanche of similar developments from the same land owner. Earlier applications for similar developments from the same owner clearly demonstrates this proposed avalanche of developments. When considered with all the other proposed developments the visual bulk of the developments will be overwhelming and totally uncharacteristic of the already established street character. On its own, the land use proposed for 14 Glendon Drive will still be at odds with all the existing houses.

Council's Planning Scheme requires land developments to consider the social impacts on communities. Council's planning, therefore, must then be strategic. The application for two dwellings at 14 Glendon Drive and the number of subsequent residents these two dwellings might contain, could hardly be considered a "community", but with eight simultaneous and identical planning applications for similar developments in the same street will potentially generate eight times the number of residents. Thus the whole street will be transformed into a mecca of blocks containing two dwellings, the existing streetscape will be destroyed, and the surrounding community severely and adversely affected.

It is understood the two dwellings at 14 Glendon Drive will be for short term emergency accommodation as will the other sites requiring permit assessment. The ultimate increase in the total number of residents living in these sixteen dwellings will constitute a " sizeable community" and thus will have impacts on the immediate geographical community. Multiple dwellings in the same area for housing short term emergency accommodation have been shown to be problematic. In general this has not been a desirable policy outcome due to the adverse impact they have had on surrounding residents. The potential for noise, traffic, smells and unkempt premises and gardens are some of the likely longer term issues Council will need to take into account when assessing the merits of granting planning permit for 14 Glendon Drive. These same issues will be exacerbated if permits are granted for the other seven sites.

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· 4

To copy the Covid -19 message, "we must all be in it together", I will be affected in the same way as existing residents in Glendon Drive. I will witness the development of changing and undesirable impacts on a streetscape in my neighbourhood which I could no way condone.		As a resident of the nearby Glendon Drive, I am of the view that any new land developments must reflect existing patterns of development in that vicinity and not adversely affect them in any dramatic way. The nearby geographical community comprising Glendon Drive, The Backwater and Flynns Road will be impacted adversely due to the large number of community emergency housing in the one street. As previously noted clusters of short term community housing in other geographical areas has been seen as government policy failures.	
	_	To copy the Covid -19 message, "we must all be in it together", I will be affected in the same way as existing residents in Glendon Drive. I will witness the development of changing and undesirable impacts	

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Name:	AZ AN BAIRD	Date: <u>23 / (/ 20 –</u>

Office Use Only:	<u> </u>		
Objection Received by:	Date Received:	<u> </u>	/
Planning officer responsible:	Date Received:	_/	/

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: CAROLE BAIRD				
Postal address:	WILL EATIDOD			
	· · · · · · · · · · · · · · · · · · ·		Postcode 2	371-
Phone number: Home:	_ Work:	Mobile:		
Email address:		Fax:		
Permit Details:				
Planning permit number: 140/	2020			
What has been proposed?	relopment of duples	×		
What is the address to be used or d	leveloped? 14 Glendon	VDrive, EAMUR	- <u>ζ</u> ατ	
Who has applied for the permit?	Clement Stone Town	~ Plancev		

Objection Details:

What are the reasons for your objection?		
Reye see attached	EGSC	
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	MANAGEMENT	
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What are the reasons for your objection ?

East Gippsland Planning Scheme requires new developments and land use be subject to social impacts on the surrounding community. The impact on the proposed development at 14 Glendon Drive, Eastwood, is of serious concern to many residents.

Whilst this objection is firmly directed to the development of two dwellings at 14 Glendon Drive, the consequences of Council approving this application are far reaching and cannot be made in isolation without regard to the geographical community surrounding this street. Eight applications in the same street from the same land owner (Department of Health and Human Services) have now been put forward with the same development proposed in each application. Assessment of the merits of each individual application should be made in the context of the wider implications which are required to be taken into account under the Council's Planning Scheme.

I, along with the numerous objectors to the proposed development at 14 Glendon Drive, forsee adverse and negative social impacts arising if the proposal is endorsed by Council. The existing streetscape will be adversely affected and the neighbourhood character will be compromised. Two dwellings on the one block in Glendon Drive will be the catalyst for similar proposals in this beautiful street and the start of an avalanche of similar developments from the same land owner. Earlier applications for similar developments from the same owner clearly demonstrates this proposed avalanche of developments. When considered with all the other proposed developments the visual bulk of the developments will be overwhelming and totally uncharacteristic of the already established street character. On its own, the land use proposed for 14 Glendon Drive will still be at odds with all the existing houses.

Council's Planning Scheme requires land developments to consider the social impacts on communities. Council's planning, therefore, must then be strategic. The application for two dwellings at 14 Glendon Drive and the number of subsequent residents these two dwellings might contain, could hardly be considered a "community", but with eight simultaneous and identical planning applications for similar developments in the same street will potentially generate eight times the number of residents. Thus the whole street will be transformed into a mecca of blocks containing two dwellings, the existing streetscape will be destroyed, and the surrounding community severely and adversely affected.

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How would	you be affected by the granting of this permit?
	As a resident of the nearby Glendon Drive, I am of the view that any new land developments must reflect existing patterns of development in that vicinity and not adversely affect them in any dramatic way. The nearby geographical community comprising Glendon Drive, The Backwater and Flynns Road will be impacted adversely due to the large number of community emergency housing in the one street. As previously noted clusters of short term community housing in other geographical areas has been seen as government policy failures.
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·····	

If you need more space for any part of this form please attach another sheet.

Signatur	e:			
Name:	Carole	Irene	Baird	Date: <u>231512020</u>

Office Use Only:			
Objection Received by:	Date Received:	1	
Planning officer responsible:	Date Received:	1	

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From: SeamlessCMS@seamless.com.au Sent: Saturday, 23 May 2020 10:39:54 AM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 23 May 2020 10:39 AM Name Steven Barry Email address Postal address 2 Home Work Mobile Fax Planning permit number 140/2020/P What has been Development of the land for two dwellings proposed? What is the address to be 14 Glendon Drive Eastwood used or developed? Who has applied for the Clement Stone Town Planners permit? Concerns that there are a large concentration of low income housing in 1 street. There are already proposals for 5 sites to undergo similar developments in this What are the street. This street has undergone significant development and investment in reasons for existing housing and will be financially affected by such a large concentration of your low income housing. There is also an issue of safety and security of tenants of the objection? area. These are just some of our concerns and we are formally objecting to the construction of these dwellings. Safety concerns for our young family. Increased traffic to the area also causing safety concerns. This development should not have been the last development in the area but the first so it was known when purchasing properties in the area. We How would did try initially to investigate the proposal of vacant blocks but were unable to get any information of intentions to develop. Also concerns that this may create a hot you be affected by the spot of criminal activity and anti social behaviors affecting all of the Eastwood granting of Community. We had been informed in November 2019 that this proposed land this permit? was to be developed into a crisis accommodation center development by DHHS,

now the proposal has been changed yet again. Such a large concentration of this sort of housing seems to be unprecedented, especially in a rural area where there are many alternative options for such housing developments.

Additional No file attached



2.4

East Gippsland Shire Council

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Objection to Planning Permit Application

Planning and Environment Act 1987

INFORMATION MANAGEMENT

2 2 MAY 2020

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: ANNA + JOHA	NNES BO	EK			
Postal address:					
EASTWOOD				Postcode	3875
Phone number: Home	Work:	1	Mobile:		
Email address:			Fax:		
Permit Details: Planning permit number: NO'_S	139/140/	141/20	1.018		
What has been proposed? 3 ×	3 BEDROOM Dev. EAS	UNITS	ON 3 Br	ocics in	
What is the address to be used or de $NO^{1}S$ 12, 14 416		PRIVE	EASTWO	000 38	75

Who has	applied for the permit?	CLEMEN	- 7.	STONE	TOWN	PLANNERS
PN	BENGLE DE	DIRECTOR	OF	Public	Housi	NG.

Objection Details:

What are the reaso	ons for your objection	n?		
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PLEASE	REFER TO ATTACHED SHEETS
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If you need more space for any part of this form please attach another sheet.

Signature:		
Name: 4	ANNAR. BREK	Date: 20/ 5/20

JOUANNES & F. BOER

Office Use Only:			
Objection Received by:	Date Received:		
Planning officer responsible:	Date Received:	1	1

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20. 5-20

ANNA R. BOEK &

6.3

JOHANNES BOEK

Phone: Mobile E-Mail:

EASTWOOD. VIC. 3875

21st May 2020

OBJECTION TO PLANNING PERMITS FOR LOT 12, LOT 14, AND LOT 16 GLENDON DRIVE, EASTWOOD 3875

OBJECTION DETAILS

We are strongly opposed to the proposal to build a number of dwellings each on Lot 12, Lot 14 and Lot 16 Glendon Drive, Eastwood. 3875.

These buildings will be in addition to the buildings proposed for Lots 4,5,8,13 and 17 on Glendon Drive Eastwood. The development of all these lots will create a community on Glendon Drive, totally out of character of what the Eastwood Estate represents.

The Eastwood Estate was developed with its purpose to provide single dwellings of a certain calibre on each block, with only a few exceptions. In real life these exceptions have occurred on corner blocks only and then with just 2 units per block.

The proposal by the Department of Housing for Glendon Drive will change the whole character of this area. The number of occupants on each block will increase way out of proportion to the current ambience of the area.

This estate was not build with the idea of providing social housing in this area. However over time a few social dwellings have been provided to some people and the dwellings have a habit of changing the pristine area of Eastwood to a bit of a tip on occasions. Nowhere in the Estate do we have such a density of buildings on such few blocks, resulting in an increase in population. We want to avoid this happening in Glendon Drive in order to keep the current appearance of this area.

Further with the building of all these units the traffic in the area will increase. At this stage each building block may on most occasions have only 2 cars parked on site. Building the proposed number of units will increase the vehicle traffic way out of current usage. Glendon Drive is one of only 2 exits out of this area at this stage and the increase of traffic in Glendon Drive and its immediate surroundings will affect all those persons living on the Backwater and the other adjoining streets, courts and drives with increased noise levels and congestion of traffic.

We are also concerned about parking in Glendon Drive. Increase visitations from trades people, support staff etc. in this street will see a number of cars parked on the street itself blocking the thorough fare. This will cause traffic hazards in this area and could affect the safety of children playing or just using the street.

The increase in habitation will force an increase on services currently provided to the area. As at no time such a density of housing was proposed to this area it may affect the supply of water, electricity and internet etc.

How would we be affected if these permits are granted?

We live right behind the building blocks on which the units are proposed to be built.

With the increase in population we expect that the noise levels will go up way out of what is currently a very nice quite area. The traffic changes will also affect us as Drive is the exit for us to drive to Flinns road and thus exiting the Estate.

The change of the character of this part of the Estate will have an economical impact on the remaining housing stock. As the house owners in this area have not been given the opportunity to discuss this matter between themselves due to firstly, the short period of advise and secondly the covid 19 virus restrictions we feel that we should be given some consideration prior to granting these permits to evaluate the proposal and its affect on the area.

Anna R. Boek 20/5/20

UIN--

11 Johannes B. Boek 20/5/20

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: GLENN CALVER	ī —		
Postal address: f.o Box 40			
BATRNSDALE			Postcode 7875
Phone number: Home:	Work:	Mobile:	
Email address:	· · ·	Fax:	
Permit Details:	· · · · · · · · · · · · · · · · · · ·		
	020 P		
What has been proposed? <u>Developme</u>	ent of land for 2	dwell	ingr
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		stwood	
Who has applied for the permit? <u>Clem</u>	ent-stone ton	in plann	ies
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Objection Details:			
What are the reasons for your objection?	Refer attached	letter	·
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How would you be affected by the granting of this permit?	Refor	attached	letter
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If you need more space for any part of this form please attach another sheet.

Signature:		
Name:	GLENN CALVERT	Date: 22/5 12020

Office Use Only:	<u></u>			
Objection Received by:		Date Received:	/	/
Planning officer responsible:		Date Received:	<u></u>	1

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140/2020/P

OBJECTION TO PLANNING PERMIT GLENDON DRIVE EASTWOOD What are the reasons for your objection?

2000 2011

This is an overall development of 12 duplexes/24 houses when the whole project is finished. Refer our previous objection for 4, 5, 8, 13 & 17 Glendon (Permit numbers 91-95/2020/P). While it may tick the boxes of 1 permit, it has to be looked at in it's entirety.

- This development is not in character with the Eastwood profile
- Low socio-economic housing not good in a cluster development in any area.
- If there is a need, it must be spread throughout the community
- There are already at least 3 Public Housing properties in close proximity. Despite numerous complaints from neighbours, unfortunately these dwellings are not kept neat, with visual rubbish problems and tenants allegedly vandalising and spraying graffiti, and not acting in a normal community spirit.
- Blocks were originally sold on the proviso that each block was to be built on by an individual not one person having 12 blocks and building potentially 24 houses
- The Department of Health and Human Services have applied for permits for 4, 5, 8, 13 & 17 Glendon. And they still have 1, 6, 7, and 11 in the same parcels of land. Now they are applying for developments at 12, 14 & 16 Glendon.
- Surely a planning department has to be responsible in protecting the values of the existing homeowners properties
- Clause 32.08 of General Residential Zoning To encourage diversity Yes, 1 duplex is diversity, but NOT 12 duplex/24 houses in the same street (72% of houses in street)

How would you be affected by the granting of this permit?

- The land at 12, 14 & 16 Glendon was the area of the original application. Was this application refused? or withdrawn? If you add that to the other lots, that's 24 houses in one street
- As home owners, we bought and developed our properties without the knowledge that 24 Emergency housing properties would be built on our doorstep
- Cluster housing like this causes ghettos (for the want of a better word). Spread them out to lessen the community impact.
- Council and VCAT have already refused 3 permit applications for subdivision on the adjacent Backwater. It
 wasn't exactly spelt out on 2 of those applications, but it was proposed to sneakily develop a high density
 living block which VCAT threw out and then rejected the new application later.
- I read somewhere that high fences and security cameras will be installed. That has alarm bells ringing
 already 10 houses followed by a further 14. This is a serious safety concern implying the need for Security
 in the area, putting our possible health and well being at risk.
- I was told a planning department person said each application is judged on its merits. Surely that can't be the case here? If you are planning for the future and big picture – take your blinkers off and look at the big picture – 24 houses – seriously – would you like to live here?
- When the entire project is complete there will be 24 community houses and 9 "normal" houses in the street
 that's not acceptable with today's planning. 72% in one street is not an even spread across the town.
- In regards to traffic and parking Glendon is the main through street to the Backwater, which would cause congestion and danger to the residents. It is also a key linking pedestrian route for school children attending Lucknow Primary School.
- Adjacent to Glendon is the Backwater, which is arguably one of the best streets in Bairnsdale. Houses and blocks are expensive, but this would bring property values down, both in the Backwater, and in Glendon, and other surrounding streets. You wouldn't do this in Toorak!

Glenn Calvert

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

	CALVERT	· <u> </u>	<u></u>
Postal address: P.O. R.	ox yab		
BATRN.	SDALE		Postcode 3 8 7 3
Phone number: Home:	Work:	M	obile:
Email address:	·	Fa	ax:
Permit Details:	<i></i>		
Planning permit number:	60 2020 P		
What has been proposed? <u>Dev</u>		nd for 2 a	Awelling
What is the address to be used or o	leveloped?	GLENDO	DN DVE
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Who has applied for the permit?	CIEVERI -> IVER	- juns pi	
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How would you be affected by the granting of this permit?	Refer attached letter
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If you need more space for any part of this form please attach another sheet.

Signature: Date: 24 5 Name: 202 AURA CALVERT

Office Use Only:			
Objection Received by:	Date Received:	/	
Planning officer responsible:	Date Received:	<u>/</u>	<u> </u>

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1402020/12

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- Low socio-economic housing not good in a cluster development in any area.
- If there is a need, it must be spread throughout the community
- There are already at least 3 Public Housing properties in close proximity. Despite numerous complaints from neighbours, unfortunately these dwellings are not kept neat, with visual rubbish problems and tenants allegedly vandalising and spraying graffiti, and not acting in a normal community spirit.
- Blocks were originally sold on the proviso that each block was to be built on by an individual not one person having 12 blocks and building potentially 24 houses
- The Department of Health and Human Services have applied for permits for 4, 5, 8, 13 & 17 Glendon. And they still have 1, 6, 7, and 11 in the same parcels of land. Now they are applying for developments at 12, 14 & 16 Glendon.
- Surely a planning department has to be responsible in protecting the values of the existing homeowners properties
- Clause 32.08 of General Residential Zoning To encourage diversity Yes, 1 duplex is diversity, but NOT 12 duplex/24 houses in the same street (72% of houses in street)

How would you be affected by the granting of this permit?

- The land at 12, 14 & 16 Glendon was the area of the original application. Was this application refused? or withdrawn? If you add that to the other lots, that's 24 houses in one street
- As home owners, we bought and developed our properties without the knowledge that 24 Emergency housing properties would be built on our doorstep
- Cluster housing like this causes ghettos (for the want of a better word). Spread them out to lessen the community impact.
- Council and VCAT have already refused 3 permit applications for subdivision on the adjacent Backwater. It wasn't exactly spelt out on 2 of those applications, but it was proposed to sneakily develop a high density living block which VCAT threw out and then rejected the new application later.
- I read somewhere that high fences and security cameras will be installed. That has alarm bells ringing
 already 10 houses followed by a further 14. This is a serious safety concern implying the need for Security
 in the area, putting our possible health and well being at risk.
- I was told a planning department person said each application is judged on its merits. Surely that can't be the case here? If you are planning for the future and big picture – take your blinkers off and look at the big picture – 24 houses – seriously – would you like to live here?
- When the entire project is complete there will be 24 community houses and 9 "normal" houses in the street
 that's not acceptable with today's planning. 72% in one street is not an even spread across the town.
- In regards to traffic and parking Glendon is the main through street to the Backwater, which would cause congestion and danger to the residents. It is also a key linking pedestrian route for school children attending Lucknow Primary School.
- Adjacent to Glendon is the Backwater, which is arguably one of the best streets in Bairnsdale. Houses and blocks are expensive, but this would bring property values down, both in the Backwater, and in Glendon, and other surrounding streets. You wouldn't do this in Toorak!

Laurel Calvert

· Eastwood

Ph:

From: SeamlessCMS@seamless.com.au Sent: Friday, 15 May 2020 4:35:23 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 15 May 2020 04:35 PM

Name	Ashley Dalton
Email address	
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139 to 141 /2020 / P
What has been proposed?	Construction of 2 units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also e de-value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not a overcrowded multi dwelling development that is totally out of character with the area.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au Sent: Monday, 18 May 2020 8:39:47 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 18 May 2020 08:39 PM

Name	Daniel Dalton
Email address	
Postal address	Mount Taylor
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141/2020/P
What has been proposed?	Construction of numerous double occupancy sites in the street.
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clement Stone
What are the reasons for your <u>objection</u> ?	The development in out of character with the whole of the Eastwood residential area
How would you be affected by the granting of this permit?	The increase in traffic will be a concern / danger when I take my young children walking and on their scooters in the area which is close to my parents property.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au Sent: Friday, 15 May 2020 4:09:18 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 15 May 2020 04:09 PM

Name	Denise Dalton
Email address	-
Postal address	22 The Dealersteen Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141 / 2020 /P
What has been proposed?	Construction of 2 public housing units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners on behalf of DHS
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also e de-value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not overcrowded with an unsightly cluster of units in the one street.
Additional information	No file attached

Online Form Submitted

Date Submitted: 10 May 2020 04:53 PM

Name	Malc
Email address	
Postal address	Eastwood Vic 3875
Home	0.110E17EE00
Work	
Mobile	
Fax	
Planning permit number	139 to 141/2020/P
What has been proposed?	Construction 2 units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also de-value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not a overcrowded slum.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au **Sent:** Friday, 15 May 2020 4:44:53 PM **To:** Planning Unit Administration **Subject:** Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 15 May 2020 04:44 PM

Name	Matt Dalton
Email address	_
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	6
Fax	
Planning permit number	139-141 / 2020 /P
What has been proposed?	Construction 2 units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also de-value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not overcrowded with a cluster unit development totally out of character with the area
Additional information	No file attached

273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @easc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

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Your Details:		EGSC				
Name: Unida Daniel		2 5 MAY 2020		<u> </u>		
Postal address:		INFORMATION	1			
Eastwood		MANAGEMEN)	Postcode	38	375
Phone number: Home:	Work:		Mobile:			
Email address:		· · · ·	Fax:			-
Permit Details:						

ermit Details:
Planning permit number: 140 2020 P 139 2020 P 140 2020 P
What has been proposed? Construction of 2 New dwellings on each block
= Construction of 6 dwellings
What is the address to be used or developed? 12, 14 + 16 Glendon Drive
Eastwood 3875. This is additional to applications in
place for 2 new dwellings on each block at 4,5,8,13+17 Glendon Dnu
Who has applied for the permit? <u>Clement Store Town Planners</u>

Objection Details:

What are the reasons for your objection?
- Noise + traffic congestion, increased traffic risk
- Estate was not intended for multiple dwelling properties
- Extent of scale of developments - 8 single blocks used to
build 16 new dwellings in one Borant Street-Glandon Drive.
- Please see attached firther detail
- Friancial implications for neighboring properties
- Reduction in atractive ress of area and less appealing

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only if we are allowed by law, or to protect someone or property. When information is given out, Council will always try to make sure your privacy is protected in line with the Privacy and Data Protection Act 2014. You may ask for more information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au

140.2020.P 14 Glendon Redacted Objections

atword

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How would you be affected by the granting of this permit?
- financial impact due to devaluation of my property - quality of life - privacy, noise,
-quality of life - privacy, noise,
- Please see attached

If you need more space for any part of this form please attach another sheet.

Signature:		
Name:	Linda Daniel	Date: 21 / 5 / 2020.

Additional Page Attacked.

Office Use Only:	
Objection Received by:	_Date Received://
Planning officer responsible:	Date Received: / /

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only if we are allowed by law, or to protect someone or property. When information is given out, Council will always try to make sure your privacy is protected in line with the *Privacy and Data Protection Act* 2014. You may ask for more information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au Attachment - Objection to Planning Permit Applications 139/2020/P, 140/2020/P,141/2020/P at

12, 14 & 16 Glendon Drive, Eastwood

In addition to previous objection for applications affecting neighbouring properties at 4, 5, 8, 13 & 17 Glendon Drive, Eastwood.

The original intent of the land and development of the Eastwood area was for the building of single dwelling houses, not multiple dwellings on what are standard size house blocks. The Eastwood estate is a family friendly, guiet area with pleasant surroundings and was not designed for over development of blocks with multiple dwellings squeezed into one very small street. There are planning applications for multiple dwellings across 8 blocks in this small section of Glendon Drive which will result in 16 x 3 bedroom dwellings in the space of a few hundred metres. Cramming so many residents into such a small area will result in much higher noise levels, more congestion and more traffic which will detract from the current, family friendly, quiet neighborhood it is. These multiple dwellings are out of character with all other parts of Eastwood and will detract from the value of my neighbouring property, and other neighbouring properties. Creating a street full of public housing properties in the middle of Eastwood will decrease values across the whole estate, and will create a whole different atmosphere in the neighbourhood. Glendon Drive is not designed for high levels of traffic and will be further impacted with cars driving and parking along the street, causing increased traffic risks for drivers and pedestrians, including children. It is not a very wide street with no safe street parking available. Multiple public housing properties neighbouring each other will impact on the character and attractiveness of the area. These developments will be visually less appealing than single dwelling properties, as the estate was originally meant for. I believe these multiple developments in this one small section of Eastwood will impact on my privacy and quality of life and will affect me financially due to the expected drop in value of my property. People enjoy living in Eastwood because of the peaceful and appropriate atmosphere which will be disrupted by so many multiple dwellings developed together. To fit two dwellings on each block they will need to be built right to each fence line which will impact on all bordering properties, including my own. I already experience noise from neighbours with single dwelling houses next door so this will be double the impact when there are two dwellings on each block, and they will be built closer to the property borders. I am very disappointed that a developer or the East Gippsland Shire Council would consider such a congested development plan of this density, with this number of dwellings in one small area to be appropriate for the East Gippsland Community. I moved back to the country many years ago to live in a less urbanised environment, and was able to find the right balance in Eastwood, but this development would certainly detract from the quality of life I experience living in this neighbourhood.

A national research study revealed that homes next door to public housing can cost significantly less than other local properties. Analysis by property valuation website ripehouse.com.au found that on streets where 18% of properties are public housing, properties are valued 20% below the average rate of other streets with a lower proportion.

Ref: https://www.domain.com.au/news/social-housing-has-dramatic-effect-on-house-prices-analysis-20160209-gmpyn7/

Linida Daniel Ph.

2115 2020

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: LEONARD. A.HA	LL' MARGARET	HALL	
Postal address:	EASTWOOL		-
			Postcode 3875
Phone number: Home:	Work	Mobile	
Email address:		Fax:	
Permit Details:			
Planning permit number: Applica	tion reference i	number_14	0 20201 P
What has been proposed? prope	seep construct	ion of two	s Dew"
Duckings	·		٠
What is the address to be used or de	veloped? 14 Giler	DON DRIVE	
EASTWOOD 3875	Lot 206 F	5 542289	<u></u>
		• • • • • • • • • • • • • • • • • • • •	
Who has applied for the permit?	CEMENT - STON	VE TOWN PI	ANDERS

Objection Details:

What are the reasons for your objection?
ITTRE development is NOT complimentary to the existing
housing stock.
2) The exerginal purpose of the land has been changed
From single residences to the current proposal
3) The development is not in keeping with the Character
profile of the area given that no streets in Eastwood
pare more than 2 multi dwelling sites.
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How would you b	e affected by the g	ranting of this per	mit? _	· · · · · · · · · · · · · · · · · · ·			
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If you need more space for any part of this form please attach another sheet.

Signature: Name: LEONAAD: A HALL Date: X MARGARET HALL MO Hall

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received://

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Dear Councillors/CEO EGSC & Tim Bull MP/Planning Minister Richard Wynne Ivir.

I strongly object to the proposed construction to be located on Glendon Drive Eastwood Victoria 3875 in close proximity to the Lucknow Primary school, Kindergartens, Eastwood childcare facility and the retirement village. I object on the following grounds;

- This is a serious safety concern for me and other residents as "Safety" is referenced in the
 overarching vision/intent of settlements with the key direction for "planning to recognise the need for
 and as far as practically possible Health, wellbeing and safety". Further to support this concern,
 Glendon Drive is in close proximity to elderly residents at BUPA, the two kindergartens and the
 school, also noting that Glendon Drive is a key linking pedestrian route for school children to attend
 the Lucknow Primary School.
- I would like to note that there is some serious concerns from residents, schools, kindergartens, and
 retirement villages for this type of development and use to occur within close proximity. Not only is
 safety a concern, but this is a fairly newly established part of Bairnsdale and risks the capital value of
 adjacent properties.

I strongly object to all of the proposed development in Glendon Drive as the Department of Health, Human Services is now proposing to build an extra 6 units adding to the 10 units that I have already objected to for low income or common equity housing, ALL LOCATED IN GLENDON Drive!!! This will be 16 community housing units in one street!! (THIS WILL MEAN OVER 80% of the properties in Glendon Drive will be community housing!!!!) in fact the crisis individuals will be greater than the current residents occupying this street. Keeping in mind that this is in close proximity to the Lucknow Primary school, Kindergartens, Eastwood childcare facility and the retirement village and the only thoroughfare to the prestigious Backwater development Councillors, I direct your attention to the purpose of the East Gippsland's Planning Scheme:

PURPOSES OF THIS PLANNING SCHEME

- To provide a clear and consistent framework within which decisions about the use and development of land can be made.
- To express state, regional, local and community expectations for areas and land uses.
- To provide for the implementation of State, regional and local policies affecting land use and development.
- East Gippsland Planning Scheme Under 21.07-3, 31/03/2016, C127 Sustainable Development -Proposals for new development and land use the following considerations must be applied;
 - Strategy 1.1 Ensure new development and land use applications consider potential positive and negative social impacts on the community &
 - Strategy 1.2 Require proposals for new development, land use, infrastructure and changes in
 policy to consider social impact through the preparation of social impact comments and/or
 assessments as identified in the East Gippsland Shire Council Social Impact Assessment

EGSC

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2 2 MAY 2020

INFORMATION MANAGEMENT From the above, as a rates payer of East Gippsland Shire Council, I would like East Gippsland Shire Council and Tim Bull MP to review the proposal and contact the State Government and Planning Minister to:

- Reconsider the location of this proposed crisis centre and conduct an options analysis, which
 considers risk to our community (vulnerable people) and supported by a Social Impact
 Assessment in accordance with the East Gippsland Shire Council Planning Scheme to determine
 the level of negative social impact on Glendon Drive and the adjacent communities.
- Undertake a formal Public Consultation process with the community (via a public submission process) in relation to this development and type of land use and its proximity to vulnerable people (Kindergartens, Schools, and Elderly.
- Provide evidence based decision making around Glendon Drive being the chosen location, including what risk assessment process has been conducted in making this decision.

Councillors, I direct your attention to the purpose of the East Gippsland's Planning Scheme:

PURPOSES OF THE PLANNING SCHEME

To provide a clear and consistent framework within which decisions about the use and development of land can be made.

Further to this:

East Gippsland Planning Scheme - Under 21.07-3, 31/03/2016, C127 Sustainable Development – Proposals for new development and land use the following considerations must be applied;

Strategy 1.1 Ensure new development and land use applications consider potential positive and negative social impacts on the community.

Strategy 1.2 Require proposals for new development, land use, infrastructure and changes in policy to consider social impact through the preparation of social impact comments and/or assessments as identified in the East Gippsland Shire Council Social Impact Assessment Guidelines for Development.

East Gippsland Planning Scheme - Under 21.08-1, 31/03/2016, C127 Residential Development - Proposals for new development and land use the following considerations must be applied;

I request the Department of Human Services complete an independent Social Impact Assessment in accordance with the East Gippsland Shire Council Planning Scheme to determine the level of negative social impact on Glendon Drive residences and the adjacent communities for both types of development proposed in Glendon Drive (a family in Crisis centre and now up to 16 Community housing units in the one single street).

• Provide evidence based decision making around Glendon Drive being the chosen location, including an independent Financial Impact Assessment on the property values along Glendon drive from a certified and qualified property valuer.

Request that both assessments are made publicly available for a public submission process from the
residents to make further comments on. I am sure that we are all aware that the timing of this announcement,

Councillors surely this does not make logical sense to have 80% of the properties, (16 units!) and that if this is a allowed then the planning system of East Gippsland Shire Council is fundamentally flawed!!

Please put yourselves in our shoes, there was no way of knowing when we purchased this property many years ago, in a new estate and area of Baimsdale known as Eastwood, that we would be faced with having a mass development of community housing in our street. I truly believe if any of you have this happen to you, you would be truly upset with this poor community, social and economic outcome!!

There is no justification for the amount of community housing in one street in a regional township (this is Bairnsdale, not Melbourne!), I recommend that the EGSC CEO, councillors and Tim Bull MP reconsider alternative options to re-distribute these developments to other areas around the Bairnsdale residential areas (evenly), so that these developments do not disadvantage one single street in all the ways listed above, including huge financial impact.

I look forward to a response to my request, and what actions EGSC and Tim Bull MP WILL take to address this important issue for our community. I also note, ALL of the current residents in Glendon Drive are NOT HAPPY with this proposal.

I hereby object to the planning permits for the multiple dwellings on Glendon drive Eastwood Victoria 3875 including the following application reference numbers;

12 Glendon Drive Lot 205 PS 542289 reference number 139/2020/P

14 Glendon Drive Lot 206 PS 5542289 application reference number 140/2020/P

16 Glendon Drive Eastwood Lot 207 PS 542289 application reference number 141/2020/P

2 EASTWOOD.

EASTWOOL

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Oarren H	line	
Postal address:	Song f	feild
VIC		Postcode 3875
Phone number: Home:	Work:	Mobile:
Email address:		Fax:
Permit Details:	0	
Discrimentary 1/10	10000D	······································

Planning permit number: 1) elling +WOland ł0' What has been proposed? What is the address to be used or developed? Eastwoon ndon EGSC 2 Z MAY 2020 Who has applied for the permit? Planners clement Stone Town INFORMATION MANAGEMENT

Objection Details:

What are the reasons for your objection?
There is eight propertus on this street
At to be developed. I Feel 16 house's to be
used for DHHS residents is to much for
one small area

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How would you be affected by the granting of this permit?
The value of my land would decrease aromaticly and a possibility of an
increase in the crime rate in the area
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If you need more space for any part of this form please attach another sheet.

Signature:		
Name: Darren	Hine	Date: 191512020

Office Use Only:	
Objection Received by:	Date Received:/ //
Planning officer responsible:	Date Received: / /

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Planning and Environment Act 1987

Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765 EGSC

2 Z MAY 2020

Objection to Planning Permit Application

INFORMATION MANAGEMENT

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Kellie Johnston		
Postal address:		
Bairneda	le	Postcode 3875
Phone number: Home:	Work:	Mobile:
Email address:	····· ·····	Fax:
Permit Details:		
Planning permit number: 1412026	0 140/2020/p	139/2020P
	hof 2 units	(6 gitogethe)
What is the address to be used or developed	? 12, 14, 1 Eastwood	6 Glandon drive
Who has applied for the permit? <u>CIAM</u>	ent Stare Toc	un Planners
Objection Details:		

What are the reasons for your objection? derelapment racter prof tho PC CAINE ρ 650 UR100Mg ÓD ma $\boldsymbol{\alpha}$ nas C ിനസ് LΥ to 6

Privacy Statement

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273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit? This would affect
our area as there will be a lot of cars and
alot more traffic in this small street that
a lot of people cise to access The Baclewater.
to our onea will be impacted by this amount
of dwellings in such a small street ralang
with the proposed double dwellings on lot 4,5,8,
BER As it would add 16 dwellings in
a tiny area. to much traffic and does not
match the other dwellings in that street, malony
it difficult for those negle to sell.

If you need more space for any part of this form please attach another sheet.

Signature:		· · · · · · · · · · · · · · · · · · ·	
Name:	Kellie Johnsto	$\hat{\mathbf{v}}$	Date: 18/5/20

Office Use Only:		.	
Objection Received by:	_ Date Received:	_/	_/
Planning officer responsible:	_ Date Received:	_/	/

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2 2 MAY 2020

Objection to Planning Permit Application

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Planning and Environment Act 1987

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Your Details:

	2		<u></u>
Name: CHERY KAPP + +	Chine KAPP.		
Postal address:			
Eastwood			Postcode 8875
Phone number: Home:	Work:	Mobile:	
Email address:		Fax:	
Permit Details:	,		
Planning permit number: Application	reference number	114	0/2020/P]
What has been proposed? propose to	Construction of	tus	o Dew
Duckings			
What is the address to be used or developed	? 14) Glendon D	PILE	
Ensrund 3875 La	+ 206 PS S	5428	289
			,
Who has applied for the permit? CLEME	ENT - STONE TOW	v Pl	anners "
Objection Details:	میں بی میں ہوتا ہے۔ اور ایک میں میں ایک ہوتا ہے ہیں ہے۔ ایک میں میں میں ایک میں ایک میں ایک میں ایک میں ایک می	*****	

What are the reasons for your objection? DTFNE development is NOT complianentary to the existing housing stock. D) The creasing purpose of the land has been changed from single residences to the current proposal. 3) The development is bot in keeping with the Character profile of the area given that no streets in Eastwood have more than 2 multi dwelling sites.

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140.2020.P 14 Glendon Redacted Objections

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. 3.



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How v	vould you be affected	by the granting of th	is permit	?			
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If you need more space for any part of this form please attach another sheet.

Signature: \mathcal{D} Date: 105 ſ Name: K AFF

Office Use Only:	
Objection Received by:	Date Received:/ //
Planning officer responsible:	Date Received: / /

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140.2020.P 14 Glendon Redacted Objections

EGSC

2 Z MAY 2020

INFORMATION MANAGEMENT

Dear Councillors/CEO EGSC & Tim Bull MP/Planning Minister Richard Wynne MP,

I strongly object to the proposed construction to be located on Glendon Drive Eastwood Victoria 3875 in close proximity to the Lucknow Primary school, Kindergartens, Eastwood childcare facility and the retirement village. I object on the following grounds;

- This is a serious safety concern for me and other residents es "Safety" is referenced in the
 overarching vision/intent of settlements with the key direction for "planning to recognise the need for
 end as far as practically possible Health, wellbeing and safety". Further to support this concern,
 Glendon Drive is in close proximity to elderly residents at BUPA, the two kindergartens and the
 school, also noting that Glendon Drive is a key linking pedestrian route for school children to attend
 the Lucknow Primary School.
- I would like to note that there is some serious concerns from residents, schools, kindergartens, and
 retirement villages for this type of development and use to occur within close proximity. Not only is
 safety a concern, but this is a fairly newly established part of Bairnsdale and risks the capital value of
 adjacent properties.

I strongly object to all of the proposed development in Glendon Drive as the Department of Health, Human Services is now proposing to build an extra 6 units adding to the 10 units that I have already objected to for low income or common equity housing, ALL LOCATED IN GLENDON Drive!!! This will be 16 community housing units in one street!! (THIS WILL MEAN OVER 80% of the properties in Glendon Drive will be community housing!!!!) in fact the crisis individuals will be greater than the current residents occupying this street. Keeping in mind that this is in close proximity to the Lucknow Primary school, Kindergartens, Eastwood childcare facility and the retirement village and the only thoroughfare to the prestigious Backwater development Councillors, I direct your attention to the purpose of the East Gippsland's Planning Scheme:

PURPOSES OF THIS PLANNING SCHEME

- To provide a clear and consistent framework within which decisions about the use and development of land can be made.
- To express state, regional, local and community expectations for areas and land uses.
- To provide for the implementation of State, regional and local policies affecting land use and development.
- East Gippsland Planning Scheme Under 21.07-3, 31/03/2016, C127 Sustainable Development Proposals for new development and land use the following considerations must be applied;
 - Strategy 1.1 Ensure new development and land use applications consider potential positive and negative social impacts on the community &
 - Strategy 1.2 Require proposals for new development, land use, infrastructure and changes in
 policy to consider social impact through the preparation of social impact comments and/or
 assessments as identified in the East Gippsland Shire Council Social Impact Assessment

From the above, as a rates payer of East Gippsland Shire Council, I would like East Gippsland Shire Council and Tim Bull MP to review the proposal and contact the State Government and Planning Minister to:

- Reconsider the location of this proposed crisis centre and conduct an options analysis, which
 considers risk to our community (vulnerable people) and supported by a Social Impact
 Assessment in accordance with the East Gippsland Shire Council Planning Scheme to determine
 the level of negative social impact on Glendon Drive and the adjacent communities.
- Undertake a formal Public Consultation process with the community (via a public submission process) in relation to this development and type of land use and its proximity to vulnerable people (Kindergartens, Schools, and Elderly.
- Provide evidence based decision making around Glendon Drive being the chosen location, including what risk assessment process has been conducted in making this decision.

Councillors, I direct your attention to the purpose of the East Gippsland's Planning Scheme:

PURPOSES OF THE PLANNING SCHEME

To provide a clear and consistent framework within which decisions about the use and development of land can be made.

Further to this:

East Gippsland Planning Scheme - Under 21.07-3, 31/03/2016, C127 Sustainable Development - Proposals for new development and land use the following considerations must be applied:

Strategy 1.1 Ensure new development and land use applications consider potential positive and negative social impacts on the community.

Strategy 1.2 Require proposals for new development, land use, infrastructure and changes in policy to consider social impact through the preparation of social impact comments and/or assessments as identified in the East Gippsland Shire Council Social Impact Assessment Guidelines for Development.

East Gippsland Planning Scheme - Under 21.08-1, 31/03/2016, C127 Residential Development – Proposals for new development and land use the following considerations must be applied;

I request the Department of Human Services complete an independent Social Impact Assessment in accordance with the East Gippsland Shire Council Planning Scheme to determine the level of negative social impact on Glendon Drive residences and the adjacent communities for both types of

EGSC

2 2 MAY 2020 INFORMATION MANAGEMET development proposed in Glendon Drive (a family in Crisis centre and now up to 16 Community housing units in the one single street).

• Provide evidence based decision making around Glendon Drive being the chosen location, including an independent Financial Impact Assessment on the property values along Glendon drive from a certified and gualified property valuer.

Request that both assessments are made publicly available for a public submission process from the
residents to make further comments on. I am sure that we are all aware that the timing of this announcement,

Councillors surely this does not make logical sense to have 80% of the properties, (16 units!) and that if this is a allowed then the planning system of East Gippsland Shire Council is fundamentally flawed!!

Please put yourselves in our shoes, there was no way of knowing when we purchased this property many years ago, in a new estate and area of Baimsdale known as Eastwood, that we would be faced with having a mass development of community housing in our street. I truly believe if any of you have this happen to you, you would be truly upset with this poor community, social and economic outcome!!

There is no justification for the amount of community housing in one street in a regional township (this is Bairnsdale, not Melbourne!), I recommend that the EGSC CEO, councillors and Tim Bull MP reconsider alternative options to re-distribute these developments to other areas around the Bairnsdale residential areas (evenly), so that these developments do not disadvantage one single street in all the ways listed above, including huge financial impact.

I look forward to a response to my request, and what actions EGSC and Tim Bull MP WILL take to address this important issue for our community. I also note, ALL of the current residents in Glendon Drive are NOT HAPPY with this proposal.

I hereby object to the planning permits for the multiple dwellings on Glendon drive Eastwood Victoria 3875 including the following application reference numbers;

12 Glendon Drive Lot 205 PS 542289 reference number 139/2020/P

14 Glendon Drive Lot 206 PS 5542289 application reference number 140/2020/P

16 Glendon Drive Eastwood Lot 207 PS 542289 application reference number 141/2020/P

CHERREYI KAPP

Epstwood Vic 3875

Rhune Kapp &

From: SeamlessCMS@seamless.com.au Sent: Monday, 18 May 2020 8:31:17 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 18 May 2020 08:31 PM

Name	Bradley Morrison
Email address	01441110111001121WJ41100.00111.44
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141/2020/P
What has been proposed?	Construction of numerous units in the one street
What is the address to be used or developed?	2 12,14 & 16 Glendon Drive Eastwood vic 3875
Who has applied for the permit?	Clement Stone
What are the reasons for your <u>objection</u> ?	The proposed development in completely out of character with the area and existing properties.
How would you be affected by the granting of this permit? Additional information	I will be relocating to a new house close to Glendon Drive and will be affected by the increased traffic flow, noise and overall unsightliness of the proposed development. No file attached
·····	

From: SeamlessCMS@seamless.com.au Sent: Monday, 18 May 2020 8:19:07 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 18 May 2020 08:19 PM

Name	Daniel Morrison
Email address)m
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141 /2020/P
What has been proposed?	Construction of multiple multi dwelling units in the one street.
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clement Stone Town Planners
What are the reasons for your <u>objection</u> ?	The proposed buildings along with another 6 locations in Glendon Drive are totally out of character with the other buildings in the area.
How would you be affected by the granting of this permit?	I will be building a new house close to Glendon Drive and will be affected by the increased traffic flow, noise and overall unsightliness of the proposed development.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au Sent: Monday, 18 May 2020 8:24:32 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 18 May 2020 08:24 PM

Name	Roslyn Morrison
Email address	
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141/2020/P
What has been proposed?	Construction of numerous dual occupancy residences
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clement Stone
What are the reasons for your <u>objection</u> ?	The development is not in keeping with not only this street but the whole of the Eastwood area.
How would you be affected by the granting of this permit?	I will be building a new house close to Glendon Drive and will be f affected by the increased traffic flow, noise and overall unsightliness of the proposed development.
Additional information	No file attached

From: Trudi Stubbs on behalf of Planning Unit Administration Sent: Thursday, 28 May 2020 2:55:12 PM To: Planning Unit Administration Subject: 140/2020/P Objection to Planning Permit Submitted

■ Trudi Stubbs ■ Team Leader Land Use Administration

A Please consider the environment before printing this e-mail.

From: SeamlessCMS@seamless.com.au <SeamlessCMS@seamless.com.au> Sent: Saturday, 23 May 2020 9:46 AM To: Planning Unit Administration <Planning@egipps.vic.gov.au> Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 23 May 2020 09:45 AM

Name	Jessie Ng
Email address	
Postal address	Bairnsdale
Home	
Work	
Mobile	
Fax	
Planning permit number	40/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	14 Glendon Drive
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is detrimental to neighbouring residents and tenants themselves 4> Current cluster of public housing on Gree Kulluk PI is frequently left unkempt 5> Children living in public housing on Gree Kulluk PI are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and leads to socio-economic decline across the neighbourhood.

How would
you be1> Clustering of emergency housing in one street is likely to affect the safety of the
neighbourhood. 2> There has been multiple episodes of vandalism and theft likely
affected by the
granting of this
permit?Clustering from public housing being clustered on Gree Kulluk Pl. 3> Concerns about crime
streets at higher risk.

Additional No file attached

From: Trudi Stubbs [] on behalf of Planning Unit Administration Sent: Thursday, 28 May 2020 2:35:47 PM To: Planning Unit Administration Subject: 140/2020/P Objection to Planning Permit Submitted

Trudi Stubbs Team Leader Land Use Administration

A Please consider the environment before printing this e-mail.

From: SeamlessCMS@seamless.com.au <SeamlessCMS@seamless.com.au> Sent: Saturday, 23 May 2020 9:44 AM To: Planning Unit Administration <Planning@egipps.vic.gov.au> Subject: (DWS Doc No 8512572) Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 23 May 2020 09:44 AM

Name	Poh Ng
Email address	
Postal address	Bairnsdale
Home	
Work	
Mobile	
Fax	
Planning permit number	40/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	14 Glendon Drive
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your <u>objection</u> ?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is detrimental to neighbouring residents and tenants themselves 4> Current cluster of public housing on Gree Kulluk PI is frequently left unkempt 5> Children living in public housing on Gree Kulluk PI are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and leads to socio-economic decline across the neighbourhood.

How would
you be1> Clustering of emergency housing in one street is likely to affect the safety of the
neighbourhood. 2> There has been multiple episodes of vandalism and theft likely
affected by the
resulting from public housing being clustered on Gree Kulluk Pl. 3> Concerns about crime
granting of this
will rise if the permit is granted, potentially placing the community on surrounding
streets at higher risk.

Additional No file attached information

From: SeamlessCMS@seamless.com.au Sent: Friday, 15 May 2020 4:53:31 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 15 May 2020 04:53 PM

Name	Emily Robinson
Email address	
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139 to 141/2020/P
What has been proposed?	Construction 2 units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also de- value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not be overcrowded with this out of character unit development.
Additional information	No file attached

From: wayne stagg [:] Sent: Wednesday, 20 May 2020 7:52:33 PM To: Feedback Address For Web Page Subject: Objection to 14 Glendon Drive Eastwood planning permit

Please find attached my objection to the above planning permit. Wayne Stagg M. W.



140.2020.P 14 Glendon Redacted Objections

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: WAYNE and	MAREE :	STAGG		
Postal address:		EAS	TWOOD	
				Postcode 3875
Phone number: Home:	Work		Mobile	
Email address:	· · · · ·	1.	Fax:	
Permit Details:				
Planning permit number: 140	/2010/1	2		
What has been proposed? CLE	MENT STO	NE TOW	V PLANNE	RS
What is the address to be used or	developed? 4	GLENDO	IN DRIVE	EASTWOOD.
LOT 200 PS5	42289			(3875)
Who has applied for the permit?	DEDARTME	NT OF HE	ALTH AND	HOUSING
SERVICES (Vic				-i
Objection Dataile:				
Objection Details:				
What are the reasons for your obje				and the second se
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2) INCREASED TRAFFIC	> PARKING	ANDCHUD	REN IN AP	STHORT ACCESS
to "THE BACKWATER"	RESIDENCE	6.		
3. HISTORICALLY D.H.H.	S. HOUSING	ZEVELODI	MAMENTS	TEND TO
BE OCCUPIED / TELA				
RESPONSIBLE CARE				
ACCEPTABLE NELGHE				

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Objection to Planning Permit Application

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Your Details:

Name: IAN STANIFORTH	& JENNIFER S	STANIFOR	ZTH ·	
Postal address:	· · · · -			
EASTWOOD			Postcode	3875
Phone number: Home:	Work:	Mobile:		
Email address:		Fax:	/	
Permit Details:				
Planning permit number: Nos 139/140	> 141		, *	
What has been proposed? 3 X 3 Be	droom Units on ;	3 lots in	Glendo	n Dr
	astwood			
What is the address to be used or developed	?			
- NOS 12, 14 E16 G	LENDON DRIVE,	EASTWOO	0 387	5 👘
Who has applied for the permit? <u>Cleme</u>	nt-Stone Town	Planner	<u>`.</u> S	

Objection Details:

What are the reasons for your objection?		
	See attached sheets	
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	EGSC	
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How would you be affected b	y the granting of this permit?		• 3**
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Signature:		• ` ^.		11	
Name:	JENINIPER	STANIFORTH	•	. / / Date: <u>/</u>	915120
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TAN STANIFONTH 19/5/2020

Office Use Only:	
Objection Received by:	Date Received:///
Planning officer responsible:	Date Received://

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s. +* *

some are at least 4 times greater and outside reasonable walking distance. They clearly chose to ignore the obstacles of the river and the backwater.

HOW WOULD WE BE AFFECTED BY THE GRANTING OF THIS PERMIT

Our passageway to Bairnsdale via Glendon Drive will be impacted by a consequential increase in vehicles, particularly the likelihood of obstruction due to street parking and children playing in the street and insufficient parking spa for the anticipated number of vehicles owned by some the residents of these proposed duplexes'.

There will be an increase in traffic and associated noise in the immediate area beyond what would be expected had the development of this street not been disallowed by the responsible government department years ago buying many of the blocks in the street then sitting on them for years, thus obstructing orderly residential development.

The disproportionate increase in the development of dwelling in this street, when compared with other parts of the estate will be to the detriment of the ambiance of the area and clearly conflicts with the way the estate has developed.

The proposed multiple duplexes will alter the amenity of the area in a detrimental manner that impacting on the both Glendon Drive and the immediate surrounding area.

CONCLUSION

The proposal to increase the number of potential dwelling in this one small street is totally out of character with the adjacent area and will not meet one of the objectives of community housing which is to assimilate community housing into the surrounding community. It is likely that if all these proposed 16 duplexes are allowed then a small separate conclave, not integrated into the local community, will develop and the street will become visually guite different to the surrounding streets.

We support the provision of community housing and recognise that it is necessary. We believe this street could perhaps support one or even two well-spaced blocks being developed as duplexes and with a small number of community houses in one street there is every possibility that the residents would become integrated into the community. However, should the street become one where there is a majority of community houses we believe assimilation into the surrounding community is unlikely and an enclave of both buildings and residents will result, separated from the surrounding community.

I M Staniforth...

J A Staniforth...

THREE PLANNING PERMIT APLICATIONS Nos 139/140/141/2020/P – STREET NO 12, 14, & 16 (GLENDON DRIVE). – OBJECTIONS BY IM & JA STANIFORTH. REASON FOR OBJECTION.

The proposals, should they be approved conflict with the amenity of the area as follows.

These three planning applications need considering alongside the previously identical planning applications for 5 other blocks in the same street. (PA 91,92,93,94/&95/2020/P) The sum total of which, should they all, or a majority of them be approved, will create an enclave of different types of houses and land use when compared to the surrounding streets.

The Street comprises 21 blocks, 9 of which have a single residence on them. Should all these ' permits be approved 8 of the remaining blocks would each containing two dwellings, outnumbering the existing houses 2 to 1 and as a consequence will completely alter the street scape and make it quite different to the surrounding streets.

These blocks are available due entirely to the responsible government department inhibiting the normal development of this street as one would reasonable expect. The Government department has simply sat on these blocks for years to the detriment of orderly development in this small part of the estate by denying the residents of Bairnsdale the opportunity of purchasing them.

Additionally, there also exists a number of public housing properties near this locality and flooding this small area with an additional 16 public housing units is in conflict with the objectives of assimilating public housing into the community. This small area will develop its own individual character in conflict with to the surrounding neighbourhood.

The proposed dwellings, although three bedrooms, only provide off street parking opportunities for two vehicles. It is common for the residences in Eastwood to have more than two vehicles and the majority of developed blocks are of sufficient size to accommodate them all withing these properties. This will not possible on any of the 16 proposed duplexes and passage through Glendon Drive is likely to be continually obstructed with some of the proposes 18 duplexes having no alternative but to part excess vehicles on the street.

The increase in density will also affect the traffic in the area (Glendon drive is one of only two routs from the Backwater and Mistana Court to the town of Bairnsdale). There is the very real likelihood of vehicles having to negotiate children playing in the street as occurs with existing public housing particularly as Glendon Drive is a through street servicing the Backwater and another street.

It is disappointing to note that the Town Planners who made these and the previous 5 applications still continue to 'gild the lily' by understating distances from the town & railway station etc. The distance they quoted from the town and other places are 'as the crow flies' and by road or walking

Please find attached Objection to Planning Permit 141/2020/P

14 Glendon Drive Eastwood

Regards

KEITH WHITE K&C WHITE PTY LTD

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

Name: KIC WH	ITE (M	LTD			
Postal address: 1.0.	x 129	5				
BAILNSOM	E				Postcode	2875
Phone number: Home:		Work:		Mobile	9: (
Email address:			10	Fax:		
Permit Details:)					
Planning permit number:	1401	2020	IP			
What has been proposed?	EVELO	PMEN	IT OF	LAND		
F	ion T	wo	AUELIN	JGS		
What is the address to be used or d	eveloped?	_				
(H C)	LENDO	C	DRIVE	EASTW	0000	
Who has applied for the permit?	CLEMI	ENT	STONE	TOWN	PLANA	JERS

Objection Details:

What are the reasons for your objection?
WE STRONGLY Obstect to THE CONSTRUCTION AS
PLANNED AT 14 GLENDON DRIVE EASTWOOD
THIS PROPOSED WOULD RESULT IN THE VALUE OF
THE PROPERTY AT 19 CLENDON DRIVE DROPPING
DRAMATICALLY - THIS AREA IS CONSIDERED AS A
QUIET FAMILY ESTATE AND OCCURANTS OF THE PLANNED
DWELLING WOLLD OBVIOUSLY BE TRANSITORY UPSETTING
THE HARMONY OF THE AREA

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How would you be affected by the granting of this permit?
ALL THE OCCUPIERS OF PROPERTY IN CLENDON
DRIVE WOULD BE AFFECTED AS THERE APPEARLY TO
THE DECUPTIERS OF PROPERTY IN CLENDON RIVE WOLD BE AFFECTED AS THERE APPEARLS TO SE FIVE PERMIT APPLICATIONS IN GLENDON DRIVE DITHIN A SHORT DISTANCE. FIVE (S) OF THESE SORTS OF DWELLINGS IN CLOSE PROXIMITY WOULD NOT BE A GOOD IDEA! (HIS WILL DROPPRATY VALUES AND MAKE (HIS ONCE DESIRED AREA NOT THE BEST PLACE (D RAISE A FAMILY WITH LOTS OF DIFFERENT
WITHIN A SHORT DISTANCE.
FIVE (S) OF THESE SOLTS OF DWELLINGS IN
CLOSE PROXIMITY WOULD NOT BE A GOOD IDEA!
THIS WILL DROP PROPERTY VALUES AND MAKE
THIS ONCE DESIRED AREA NOT THE BEST PLACE
TO RAISE A FAMILY WITH LOTS OF DIFFERENT
RESIDENTS AT ANY CIVEN TIME

If you need more space for any part of this form please attach another sheet.

ame: KETTH WHITE	Date: <u>8 / 5 / 20,</u>
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Office Use Only:		
Objection Received by:	Date Received:	 1
Planning officer responsible:	Date Received:	 1

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

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Postal address:	EASTWOOD	EASTWOOD					
. <u> </u>	+		Postcode 3875				
Phone number: Home:	Work:	Mobile:					
Email address:		Fax:					
Permit Details:							
Planning permit number: (A-()2	.02J		·····				
What has been proposed?	elopment of duple-						
What is the address to be used or o	developed? 16 Glendow	Drive Enterwood	D				
		······					
Who has applied for the permit?	Clement Stone Today	Planner					

Objection Details:

What are the reasons for your objection?	
Please see attached	EGSC
	2.5 MAY 2020
	INFORMATION
	MANAGEMENT
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141.2020.P 16 Glendon Redacted Objections

What are the reasons for your objection ?

2

East Gippsland Planning Scheme requires new developments and land use be subject to social impacts on the surrounding community. The impact on the proposed development at 16 Glendon Drive, Eastwood, is of serious concern to many residents.

Whilst this objection is firmly directed to the development of two dwellings at 16 Glendon Drive, the consequences of Council approving this application are far reaching and cannot be made in isolation without regard to the geographical community surrounding this street. Eight applications in the same street from the same land owner (Department of Health and Human Services) have now been put forward with the same development proposed in each application. Assessment of the merits of each individual application should be made in the context of the wider implications which are required to be taken into account under the Council's Planning Scheme .

I, along with the numerous objectors to the proposed development at 16 Glendon Drive, forsee adverse and negative social impacts arising if the proposal is endorsed by Council. The existing streetscape will be adversely affected and the neighbourhood character will be compromised. Two dwellings on the one block in Glendon Drive will be the catalyst for similar proposals in this beautiful street and the start of an avalanche of similar developments from the same land owner. Earlier applications for similar developments from the same owner clearly demonstrates this proposed avalanche of developments. When considered with all the other proposed developments the visual bulk of the developments will be overwhelming and totally uncharacteristic of the already established street character. On its own, the land use proposed for 16 Glendon Drive will still be at odds with all the existing houses.

Council's Planning Scheme requires land developments to consider the social impacts on communities. Council's planning, therefore, must then be strategic. The application for two dwellings at 16 Glendon Drive and the number of subsequent residents these two dwellings might contain, could hardly be considered a "community", but with eight simultaneous and identical planning applications for similar developments in the same street will potentially generate eight times the number of residents. Thus the whole street will be transformed into a mecca of blocks containing two dwellings, the existing streetscape will be destroyed, and the surrounding community severely and adversely affected.

It is understood the two dwellings at 16 Glendon Drive will be for short term emergency accommodation as will the other sites requiring permit assessment. The ultimate increase in the total number of residents living in these sixteen dwellings will constitute a " sizeable community" and thus will have impacts on the immediate geographical community. Multiple dwellings in the same area for housing short term emergency accommodation have been shown to be problematic. In general this has not been a desirable policy outcome due to the adverse impact they have had on surrounding residents. The potential for noise, traffic, smells and unkempt premises and gardens are some of the likely longer term issues Council will need to take into account when assessing the merits of granting planning permit for 16 Glendon Drive. These same issues will be exacerbated if permits are granted for the other seven sites.

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How would y	you be affected by the granting of this permit?
,	As a resident of the nearby Glendon Drive, I am of the view that any new land developments must reflect existing patterns of development in that vicinity and not adversely affect them in any dramatic way. The nearby geographical community comprising Glendon Drive, The Backwater and Flynns Road will be impacted adversely due to the large number of community emergency housing in the one street. As previously noted clusters of short term community housing in other geographical areas has been seen as government policy failures.
	To copy the Covid -19 message, "we must all be in it together", I will be affected in the same way as existing residents in Glendon Drive. I will witness the development of changing and undesirable impacts on a streetscape in my neighbourhood which I could no way condone.

If you need more space for any part of this form please attach another sheet.

Signature:		7						
Name:	ALAN	BAAD		C	Date: 2	515	120	

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Objection Received by:	Date Received://
Planning officer responsible:	Date Received://

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Objection to Planning Permit Application

Planning and Environment Act 1987

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Your Details:

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EASTWOOD		
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Work:	Mobile:	
Fax:		
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12020		
evelopment of Suplex		
developed? 16 Glendow	Drive, EATINODO	
Clement Stone Town	Plannér	
	Work: /2020 evelopment of Suplex	

Objection Details:

What are the reasons for your objection?		
Please see attached		
	EGSC	
	2 5 MAY 2020	
	INFORMATION	
	MANAGEMENT	
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What are the reasons for your objection ?

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To copy the Covid -19 message, "we must all be in it together", I will be affected in the same way as existing residents in Glendon Drive. I will witness the development of changing and undesirable impacts on a streetscape in my neighbourhood which I could no way condone.

If you need more space for any part of this form please attach another sheet.

Signatu	re:					
Name:	Carole	Irene	BAIRD	C) Date: <u>אן א</u>	12020

Office Use Only:	<u> </u>	
Objection Received by:	Date Received:/	J
Planning officer responsible:	Date Received:/	/

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141.2020.P 16 Glendon Redacted Objections

Online Form Submitted

Date Submitted: 23 May 2020 10:42 AM

Name	Steven Barry
Email address	
Postal address	Eastwood
Home	
Work	
Mobile	
Fax	
Planning permit number	141/2020/P
What has been proposed?	Development of the land for two dwellings
What is the address to be used or developed?	16 Glendon Drive Eastwood
Who has applied for the permit?	Clement Stone Town Planners
What are the reasons for your <u>objection</u> ?	Concerns that there are a large concentration of low income housing in 1 street. There are already proposals for 5 sites to undergo similar developments in this street. This street has undergone significant development and investment in existing housing and will be financially affected by such a large concentration of low income housing. There is also an issue of safety and security of tenants of the area. These are just some of our concerns and we are formally objecting to the construction of these dwellings.
How would you be affected by the granting of this permit?	Safety concerns for our young family. Increased traffic to the area also causing safety concerns. This development should not have been the last development in the area but the first so it was known when purchasing properties in the area. We did try initially to investigate the proposal of vacant blocks but were unable to get any information of intentions to develop. Also concerns that this may create a hot spot of criminal activity and anti social behaviors affecting all of the Eastwood Community. We had been informed in November 2019 that this proposed land was to be developed into a crisis accommodation center development by DHHS, now the proposal has been changed yet again. Such a large concentration of this sort of housing seems to be unprecedented, especially in a rural area where there are many alternative options for such housing developments.
Additional information	No file attached

XX

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East Gippsland Shire Council

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Objection to Planning Permit Application

Planning and Environment Act 1987

INFORMATION MANAGEMENT

2 2 MAY 2020

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: ANNA + JOH	ANIALES BOEK	
Postal address:		
EASTWOOD		Postcode 3875
Phone number: Home:	Work:	Mobile:
Email address:		Fax:

Permit Details:

Planning permit number: NO'S 139/140/141/2020/P What has been proposed? 3x3 BEDROOM UNITS ON 3 BOCKS IN
What has been proposed? 3x3 BEORDOM UNITS ON 3 BOCILS IN
GLEWPON DEN. EASTWODD.
What is the address to be used or developed?
NOIS 12, 14 416 GLENDON DRIVE EASTWOOD 3875
Who has applied for the permit? CLEMENT - STONE TOWN PLANNERS
ON BEMALF DE DIRECTOR DE PUBLIC HOUSING.

Objection Details:

What are the reaso	ns for your objection	n?		
	PLEASE	REFER	To ATTACH	ED SHEETS
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	Date Ricci ed		-	aning officer responsible

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How would you be affected by the gr			ATTACHED	SHEETS
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Signature:	the state of the state of the state of the state of the
Name: ANNAR. BREK	Date: 20/ 5/20
JOUANNES BE BOEN	20. 5-20

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Objection Received by:	Date Received:			
Planning officer responsible:	Date Received:	1		

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ANNA R. BOEK &

6.3

JOHANNES BOEK

Phone: Mobile E-Mail:

EASTWOOD. VIC. 3875

21st May 2020

OBJECTION TO PLANNING PERMITS FOR LOT 12, LOT 14, AND LOT 16 GLENDON DRIVE, EASTWOOD 3875

OBJECTION DETAILS

We are strongly opposed to the proposal to build a number of dwellings each on Lot 12, Lot 14 and Lot 16 Glendon Drive, Eastwood. 3875.

These buildings will be in addition to the buildings proposed for Lots 4,5,8,13 and 17 on Glendon Drive Eastwood. The development of all these lots will create a community on Glendon Drive, totally out of character of what the Eastwood Estate represents.

The Eastwood Estate was developed with its purpose to provide single dwellings of a certain calibre on each block, with only a few exceptions. In real life these exceptions have occurred on corner blocks only and then with just 2 units per block.

The proposal by the Department of Housing for Glendon Drive will change the whole character of this area. The number of occupants on each block will increase way out of proportion to the current ambience of the area.

This estate was not build with the idea of providing social housing in this area. However over time a few social dwellings have been provided to some people and the dwellings have a habit of changing the pristine area of Eastwood to a bit of a tip on occasions. Nowhere in the Estate do we have such a density of buildings on such few blocks, resulting in an increase in population. We want to avoid this happening in Glendon Drive in order to keep the current appearance of this area.

Further with the building of all these units the traffic in the area will increase. At this stage each building block may on most occasions have only 2 cars parked on site. Building the proposed number of units will increase the vehicle traffic way out of current usage. Glendon Drive is one of only 2 exits out of this area at this stage and the increase of traffic in Glendon Drive and its immediate surroundings will affect all those persons living on the Backwater and the other adjoining streets, courts and drives with increased noise levels and congestion of traffic.

We are also concerned about parking in Glendon Drive. Increase visitations from trades people, support staff etc. in this street will see a number of cars parked on the street itself blocking the thorough fare. This will cause traffic hazards in this area and could affect the safety of children playing or just using the street.

The increase in habitation will force an increase on services currently provided to the area. As at no time such a density of housing was proposed to this area it may affect the supply of water, electricity and internet etc.

How would we be affected if these permits are granted?

We live right behind the building blocks on which the units are proposed to be built.

With the increase in population we expect that the noise levels will go up way out of what is currently a very nice quite area. The traffic changes will also affect us as Drive is the exit for us to drive to Flinns road and thus exiting the Estate.

The change of the character of this part of the Estate will have an economical impact on the remaining housing stock. As the house owners in this area have not been given the opportunity to discuss this matter between themselves due to firstly, the short period of advise and secondly the covid 19 virus restrictions we feel that we should be given some consideration prior to granting these permits to evaluate the proposal and its affect on the area.

Anna R. Boek

Johannes B. Boek

141.2020.P 16 Glendon Redacted Objections

273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: GLENN CALVER	<u> </u>		
Postal address: f.o Box 40			
BATRNSDALE			Postcode 7875
Phone number: Home:	Work:	Mobile:	
Email address:	····	Fax:	
Permit Details:			
Planning permit number: 14122	2011		
What has been proposed? <u>Developme</u>	ent of land for 2.	dwelli	<u>195</u>
What is the address to be used or developed	? Gleno	lon D	Drive
	East	vood	
Who has applied for the permit?	ent-stone town	plann	ers
		• 	
Objection Details:			
What are the reasons for your objection?	Refer attached le	tte	· · · · · · · · · · · · · · · · · · ·
	EG	Sc	
	2.5 MA	<u>Y 2020</u>	
	INFORM		
	MANAGE	MENT	
	<u></u>		
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rivacy Statement

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Inty if we are allowed by law, or to protect someone or property. When information is given out, Council will always try to make sure your privacy is protected in line with the *Privacy and Data Protection Act* 2014. You may ask for more iformation about Council's Privacy Policy by contacting our information Privacy Officer on 03 5153 9500 or e-mail <u>feedback@egipps.vic.gov.au</u> 273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?	Refer attached letter
·	
	<u></u>

If you need more space for any part of this form please attach another sheet. Δ

Signature:		, , , , , , , , , , , , , , , , , , ,	
Name:	GLENN	CALVERT	Date: 24512020

Office Use Only:			
Objection Received by:	Date Received:		/
Planning officer responsible:	Date Received:	1	/

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141202010

OBJECTION TO PLANNING PERMIT GLENDON DRIVE EASTWOOD What are the reasons for your objection?

This is an overall development of 12 duplexes/24 houses when the whole project is finished. Refer our previous objection for 4, 5, 8, 13 & 17 Glendon (Permit numbers 91-95/2020/P). While it may tick the boxes of 1 permit, it has to be looked at in it's entirety.

- This development is not in character with the Eastwood profile
- Low socio-economic housing not good in a cluster development in any area.
- If there is a need, it must be spread throughout the community
- There are already at least 3 Public Housing properties in close proximity. Despite numerous complaints from neighbours, unfortunately these dwellings are not kept neat, with visual rubbish problems and tenants allegedly vandalising and spraying graffiti, and not acting in a normal community spirit.
- Blocks were originally sold on the proviso that each block was to be built on by an individual not one person having 12 blocks and building potentially 24 houses
- The Department of Health and Human Services have applied for permits for 4, 5, 8, 13 & 17 Glendon. And they still have 1, 6, 7, and 11 in the same parcels of land. Now they are applying for developments at 12, 14 & 16 Glendon.
- Surely a planning department has to be responsible in protecting the values of the existing homeowners properties
- Clause 32.08 of General Residential Zoning To encourage diversity Yes, 1 duplex is diversity, but NOT 12 duplex/24 houses in the same street (72% of houses in street)

How would you be affected by the granting of this permit?

- The land at 12, 14 & 16 Glendon was the area of the original application. Was this application refused? or withdrawn? If you add that to the other lots, that's 24 houses in one street
- As home owners, we bought and developed our properties without the knowledge that 24 Emergency housing properties would be built on our doorstep
- Cluster housing like this causes ghettos (for the want of a better word). Spread them out to lessen the community impact.
- Council and VCAT have already refused 3 permit applications for subdivision on the adjacent Backwater. It wasn't exactly spelt out on 2 of those applications, but it was proposed to sneakily develop a high density living block which VCAT threw out and then rejected the new application later.
- I read somewhere that high fences and security cameras will be installed. That has alarm bells ringing
 already 10 houses followed by a further 14. This is a serious safety concern implying the need for Security
 in the area, putting our possible health and well being at risk.
- I was told a planning department person said each application is judged on its merits. Surely that can't be the case here? If you are planning for the future and big picture – take your blinkers off and look at the big picture – 24 houses – seriously – would you like to live here?
- When the entire project is complete there will be 24 community houses and 9 "normal" houses in the street
 that's not acceptable with today's planning. 72% in one street is not an even spread across the town.
- In regards to traffic and parking Glendon is the main through street to the Backwater, which would cause congestion and danger to the residents. It is also a key linking pedestrian route for school children attending Lucknow Primary School.
- Adjacent to Glendon is the Backwater, which is arguably one of the best streets in Bairnsdale. Houses and blocks are expensive, but this would bring property values down, both in the Backwater, and in Glendon, and other surrounding streets. You wouldn't do this in Toorak!

Glenn Calvert

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: LAUREL CALVERT		
Postal address: P.O Box 496		
BAIRNSDALE		Postcode 3875
Phone number: Home: Work:	Mob	ile
Email address:	Fax:	;
Permit Details:		
Planning permit number: 141 2020		
What has been proposed? Development of	and for 2 d	wellinge
What is the address to be used or developed?	GLENDON	Y DVE
	EASTWOO	»D
		·
Who has applied for the permit? <u>Clement-Stop</u>	ne templa	<u>nncr</u>
	cattached le	
	EGSC 2 5 MAY 2020	
	INFORMATION MANAGEMENT	

Privacy Statement

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?	Refer attached letter
	•
	· · · · · · · · · · · · · · · · · · ·

If you need more space for any part of this form please attach another sheet.

Signature: (Date: 24 Name: AURA 512020 CALVERT

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received://

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141/2020/p

OBJECTION TO PLANNING PERMIT GLENDON DRIVE EASTWOOD What are the reasons for your objection?

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- This development is not in character with the Eastwood profile
- Low socio-economic housing not good in a cluster development in any area.
- If there is a need, it must be spread throughout the community
- There are already at least 3 Public Housing properties in close proximity. Despite numerous complaints from neighbours, unfortunately these dwellings are not kept neat, with visual rubbish problems and tenants allegedly vandalising and spraying graffiti, and not acting in a normal community spirit.
- Blocks were originally sold on the proviso that each block was to be built on by an individual not one person having 12 blocks and building potentially 24 houses
- The Department of Health and Human Services have applied for permits for 4, 5, 8, 13 & 17 Glendon. And they still have 1, 6, 7, and 11 in the same parcels of land. Now they are applying for developments at 12, 14 & 16 Glendon.
- Surely a planning department has to be responsible in protecting the values of the existing homeowners properties
- Clause 32.08 of General Residential Zoning To encourage diversity Yes, 1 duplex is diversity, but NOT 12 duplex/24 houses in the same street (72% of houses in street)

How would you be affected by the granting of this permit?

- The land at 12, 14 & 16 Glendon was the area of the original application. Was this application refused? or withdrawn? If you add that to the other lots, that's 24 houses in one street
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- Cluster housing like this causes ghettos (for the want of a better word). Spread them out to lessen the community impact.
- Council and VCAT have already refused 3 permit applications for subdivision on the adjacent Backwater. It wasn't exactly spelt out on 2 of those applications, but it was proposed to sneakily develop a high density living block which VCAT threw out and then rejected the new application later.
- I read somewhere that high fences and security cameras will be installed. That has alarm bells ringing
 already 10 houses followed by a further 14. This is a serious safety concern implying the need for Security
 in the area, putting our possible health and well being at risk.
- I was told a planning department person said each application is judged on its merits. Surely that can't be the case here? If you are planning for the future and big picture – take your blinkers off and look at the big picture – 24 houses – seriously – would you like to live here?
- When the entire project is complete there will be 24 community houses and 9 "normal" houses in the street
 that's not acceptable with today's planning. 72% in one street is not an even spread across the town.
- In regards to traffic and parking Glendon is the main through street to the Backwater, which would cause congestion and danger to the residents. It is also a key linking pedestrian route for school children attending Lucknow Primary School.
- Adjacent to Glendon is the Backwater, which is arguably one of the best streets in Bairnsdale. Houses and blocks are expensive, but this would bring property values down, both in the Backwater, and in Glendon, and other surrounding streets. You wouldn't do this in Toorak!

Laurel Calvert

Eastwood

From: SeamlessCMS@seamless.com.au **Sent:** Friday, 15 May 2020 4:35:23 PM **To:** Planning Unit Administration **Subject:** Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 15 May 2020 04:35 PM

Name	Ashley Dalton
Email address	_
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139 to 141 /2020 / P
What has been proposed?	Construction of 2 units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also e de-value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not a overcrowded multi dwelling development that is totally out of character with the area.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au Sent: Monday, 18 May 2020 8:39:47 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 18 May 2020 08:39 PM

Name	Daniel Dalton
Email address	
Postal address	Mount Taylor
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141/2020/P
What has been proposed?	Construction of numerous double occupancy sites in the street.
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clement Stone
What are the reasons for your <u>objection</u> ?	The development in out of character with the whole of the Eastwood residential area
How would you be affected by the granting of this permit?	The increase in traffic will be a concern / danger when I take my young children walking and on their scooters in the area which is close to my parents property.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au Sent: Friday, 15 May 2020 4:09:18 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 15 May 2020 04:09 PM

Name	Denise Dalton
Email address	_
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	· · · · · · · · · · · · · · · · · · ·
Fax	
Planning permit number	139-141 / 2020 /P
What has been proposed?	Construction of 2 public housing units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners on behalf of DHS
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also e de-value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not overcrowded with an unsightly cluster of units in the one street.
Additional information	No file attached

Online Form Submitted

Date Submitted: 10 May 2020 04:53 PM

Name	Malc
Email address	
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139 to 141/2020/P
What has been proposed?	Construction 2 units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also de-value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not a overcrowded slum.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au Sent: Friday, 15 May 2020 4:44:53 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 15 May 2020 04:44 PM

Name	Matt Dalton
Email address	\smile
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141 / 2020 /P
What has been proposed?	Construction 2 units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also de-value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not overcrowded with a cluster unit development totally out of character with the area
Additional information	No file attached

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Objection to Planning Permit Application

Planning and Environment Act 1987

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There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

		EGSC			
Name: Unda Daniel		2 5 MAY 2020		· · · · · · · · · · · · · · · · · · ·	
Postal address:	-	INFORMATION			
Eastwood		MANAGEMENT		Postcode	3875
Phone number: Home:	Work:		Mobile:		1
Email address:			Fax:		
Permit Details: Planning permit number: 140 2020 P	139/20	201P 1401	2020	IP	
What has been proposed? Construction	,				lock_
= Construction of 6 di	wellings				
What is the address to be used or developed	12,14	+16 Glend	on Di	nrè	
Eastwood 3875.	This is	additional.	to ap	plication	is in
place for 2 new dwellings on ea	ach block	1 ar 4,5,8,	13+1-	7 Glend	on Drive
Who has applied for the permit? Cleme	int Store	Town Plan	news		

Objection Details:

What are the reasons for your objection?
- Noise traffic congestion, increased traffic risk
- Estate was not intended for multiple dwelling properties
- Extent of scale of developments - 8 single blocks used to
build 16 new dwellings in one porart Street-Glendon Drive.
- Please see attached firther detail
- Friancial implications for neighboring properties
- Reduction in atractiveness of area and less appealing

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
- financial impact due to devaluation of my property
-quality of life - privacy, noise,
- Please see attached

If you need more space for any part of this form please attach another sheet.

Signature: Linda Daniel Name: Date: 21 / 5 / 2020

Additional Page Attacked.

Office Use Only:	
Objection Received by:	_Date Received://
Planning officer responsible:	Date Received: / /

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only if we are allowed by law, or to protect someone or property. When information is given out, Council will always try to make sure your privacy is protected in line with the Privacy and Data Protection Act 2014. You may ask for more information about Council's Privacy Policy by contacting our Information Privacy Officer on 03 5153 9500 or e-mail feedback@egipps.vic.gov.au Attachment - Objection to Planning Permit Applications 139/2020/P, 140/2020/P,141/2020/P at

12, 14 & 16 Glendon Drive, Eastwood

In addition to previous objection for applications affecting neighbouring properties at 4, 5, 8, 13 & 17 Glendon Drive, Eastwood.

The original intent of the land and development of the Eastwood area was for the building of single dwelling houses, not multiple dwellings on what are standard size house blocks. The Eastwood estate is a family friendly, guiet area with pleasant surroundings and was not designed for over development of blocks with multiple dwellings squeezed into one very small street. There are planning applications for multiple dwellings across 8 blocks in this small section of Glendon Drive which will result in 16 x 3 bedroom dwellings in the space of a few hundred metres. Cramming so many residents into such a small area will result in much higher noise levels, more congestion and more traffic which will detract from the current, family friendly, quiet neighborhood it is. These multiple dwellings are out of character with all other parts of Eastwood and will detract from the value of my neighbouring property, and other neighbouring properties. Creating a street full of public housing properties in the middle of Eastwood will decrease values across the whole estate, and will create a whole different atmosphere in the neighbourhood. Glendon Drive is not designed for high levels of traffic and will be further impacted with cars driving and parking along the street, causing increased traffic risks for drivers and pedestrians, including children. It is not a very wide street with no safe street parking available. Multiple public housing properties neighbouring each other will impact on the character and attractiveness of the area. These developments will be visually less appealing than single dwelling properties, as the estate was originally meant for. I believe these multiple developments in this one small section of Eastwood will impact on my privacy and quality of life and will affect me financially due to the expected drop in value of my property. People enjoy living in Eastwood because of the peaceful and appropriate atmosphere which will be disrupted by so many multiple dwellings developed together. To fit two dwellings on each block they will need to be built right to each fence line which will impact on all bordering properties, including my own. I already experience noise from neighbours with single dwelling houses next door so this will be double the impact when there are two dwellings on each block, and they will be built closer to the property borders. I am very disappointed that a developer or the East Gippsland Shire Council would consider such a congested development plan of this density, with this number of dwellings in one small area to be appropriate for the East Gippsland Community. I moved back to the country many years ago to live in a less urbanised environment, and was able to find the right balance in Eastwood, but this development would certainly detract from the quality of life I experience living in this neighbourhood.

A national research study revealed that homes next door to public housing can cost significantly less than other local properties. Analysis by property valuation website ripehouse.com.au found that on streets where 18% of properties are public housing, properties are valued 20% below the average rate of other streets with a lower proportion.

Ref: https://www.domain.com.au/news/social-housing-has-dramatic-effect-on-house-prices-analysis-20160209-gmpyn7/

Linda Daniel Ph. 21/5/2020

----Baimsdale Vic 3875 Website waw.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc

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Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application EGSC

Planning and Environment Act 1987

2 2 MAY 2020

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3. MANAGEMENT

Your Details:

10		· · · · · · · · · · · · · · · · · · ·			
Name: LEONARD . A . A	HALL MARGARE	+ HALL			
Postal address:	EASTWOOD				
			Postcode		TT
Phone number: Home:	Work:	Mobile:		b	<u></u>
Email address:	······································	Fax			
Permit Details:	φ _η , , , , , , , , , , , , , , , , , , ,				<u></u>
Planning permit number: Applica	tion refevence n	umber 16	112020	VF	>
What has been proposed? DYOD	osed Construction	on of two	Den	4+	
Dwellings					
With at in the address to be used or d	leveloped? 16 Gilen	m Deling	······································		
EASTWOOD 3875					• <u>-</u>
EBSILLOCCI, 25 D	001 20 1 1	> >9222			
Who has applied for the permit?	CEMENT- STON	E TOWN PL	BOOVER	<u>'S</u>	
	······	·			
Objection Details:					
What are the reasons for your object	tion?				
STFRE development	is NOT compliant	entary to t	he exi	tim	<u>5</u> -
housing stock.					
2) The coesqual pu	rpase of the law	nel has been	char	<u>refe</u>	<u>L</u>
from sincle reside	•				
3) The development	•	_ • •		مدرور	ter
profile of the area					
		<i>2</i> 4		<u> </u>	<u> </u>
have more than	2 Multi dwelli	ing sites.			
		\sim			

Castement

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273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vlc.gov.au Follow us on Twitter @easc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Date: X/

How would you be	e affected by the gra	inting of this permi	t?		
	PLEASE	REFer	40	attached	letter
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If you need more space for any part of this form please attach another sheet.

Signature:

Name: LEONARD A. HALL

MARCARET HALL

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	_ Date Received://

Privacy Statement

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20

Dear Councillors/CEO EGSC & Tim Bull MP/Planning Minister Richard Wynne IniF,

I strongly object to the proposed construction to be located on Glendon Drive Eastwood Victoria 3875 in close proximity to the Lucknow Primary school, Kindergartens, Eastwood childcare facility and the retirement village. I object on the following grounds;

- This is a serious safety concern for me and other residents as "Safety" is referenced in the
 overarching vision/intent of settlements with the key direction for "planning to recognise the need for
 and as far as practically possible Health, wellbeing and safety". Further to support this concern,
 Glendon Drive is in close proximity to elderly residents at BUPA, the two kindergartens and the
 school, also noting that Glendon Drive is a key linking pedestrian route for school children to attend
 the Lucknow Primary School.
- I would like to note that there is some serious concerns from residents, schools, kindergartens, and
 retirement villages for this type of development and use to occur within close proximity. Not only is
 safety a concern, but this is a fairly newly established part of Bairnsdale and risks the capital value of
 adjacent properties.

I strongly object to all of the proposed development in Glendon Drive as the Department of Health, Human Services is now proposing to build an extra 6 units adding to the 10 units that I have already objected to for low income or common equity housing, ALL LOCATED IN GLENDON Drive!!! This will be 16 community housing units in one street!! (THIS WILL MEAN OVER 80% of the properties in Glendon Drive will be community housing!!!!) in fact the crisis individuals will be greater than the current residents occupying this street. Keeping in mind that this is in close proximity to the Lucknow Primary school, Kindergartens, Eastwood childcare facility and the retirement village and the only thoroughfare to the prestigious Backwater development Councillors, I direct your attention to the purpose of the East Gippsland's Planning Scheme:

PURPOSES OF THIS PLANNING SCHEME

- To provide a clear and consistent framework within which decisions about the use and development of land can be made.
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 - Strategy 1.2 Require proposals for new development, land use, infrastructure and changes in
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 assessments as identified in the East Gippsland Shire Council Social Impact Assessment

EGSC

ł

2 2 MAY 2020

INFORMATION MANAGEMENT From the above, as a rates payer of East Gippsland Shire Council, I would like East Gippsland Shire Council and Tim Bull MP to review the proposal and contact the State Government and Planning Minister to:

- Reconsider the location of this proposed crisis centre and conduct an options analysis, which
 considers risk to our community (vulnerable people) and supported by a Social Impact
 Assessment in accordance with the East Gippsland Shire Council Planning Scheme to determine
 the level of negative social impact on Glendon Drive and the adjacent communities.
- Undertake a formal Public Consultation process with the community (via a public submission process) in relation to this development and type of land use and its proximity to vulnerable people (Kindergartens, Schools, and Elderly.
- Provide evidence based decision making around Glendon Drive being the chosen location, including what risk assessment process has been conducted in making this decision.

Councillors, I direct your attention to the purpose of the East Gippsland's Planning Scheme:

PURPOSES OF THE PLANNING SCHEME

To provide a clear and consistent framework within which decisions about the use and development of land can be made.

Further to this:

East Gippsland Planning Scheme - Under 21.07-3, 31/03/2016, C127 Sustainable Development – Proposals for new development and land use the following considerations must be applied;

Strategy 1.1 Ensure new development and land use applications consider potential positive and negative social impacts on the community.

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East Gippsland Planning Scheme - Under 21.08-1, 31/03/2016, C127 Residential Development - Proposals for new development and land use the following considerations must be applied;

I request the Department of Human Services complete an independent Social Impact Assessment in accordance with the East Gippsland Shire Council Planning Scheme to determine the level of negative social impact on Glendon Drive residences and the adjacent communities for both types of

development proposed in Glendon Drive (a family in Crisis centre and now up to 16 Community housing units in the one single street).

• Provide evidence based decision making around Glendon Drive being the chosen location, including an independent Financial Impact Assessment on the property values along Glendon drive from a certified and qualified property valuer.

 Request that both assessments are made publicly available for a public submission process from the residents to make further comments on. I am sure that we are all aware that the timing of this announcement,

Councillors surely this does not make logical sense to have 80% of the properties, (16 units!) and that if this is a allowed then the planning system of East Gippsland Shire Council is fundamentally flawed!!

Please put yourselves in our shoes, there was no way of knowing when we purchased this property many years ago, in a new estate and area of Baimsdale known as Eastwood, that we would be faced with having a mass development of community housing in our street. I truty believe if any of you have this happen to you, you would be truly upset with this poor community, social and economic outcome!!

There is no justification for the amount of community housing in one street in a regional township (this is Bairnsdale, not Melbourne!), I recommend that the EGSC CEO, councillors and Tim Bull MP reconsider alternative options to re-distribute these developments to other areas around the Bairnsdale residential areas (evenly), so that these developments do not disadvantage one single street in all the ways listed above, including huge financial impact.

I look forward to a response to my request, and what actions EGSC and Tim Bull MP WILL take to address this important issue for our community. I also note, ALL of the current residents in Glendon Drive are NOT HAPPY with this proposal.

I hereby object to the planning permits for the multiple dwellings on Glendon drive Eastwood Victoria 3875 including the following application reference numbers;

12 Glendon Drive Lot 205 PS 542289 reference number 139/2020/P

14 Glendon Drive Lot 206 PS 5542289 application reference number 140/2020/P

16 Glendon Drive Eastwood Lot 207 PS 542289 application reference number 141/2020/P

EASTWOOD.

EASTWOOL

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Darren Hine	· · · · · /		· · ·
Postal address:	Sons feild	_	
Vic		-	Postcode 3375
Phone number: Home:	Work:	Mobile:	•
Email address:)	Fax:	
Permit Details:			
Planning permit number: 14120-20	# 141/202	20/P	
What has been proposed? Develo	pland for two		ellings
	1		<u> </u>
What is the address to be used or developed	?		
Glendon drive E	astwood		EGSC
·			2 7 MAY 2020
Who has applied for the permit?			NFORMATION
clement Stone	Town Planner	2 I	MANAGEMENT
Objection Details :			
What are the reasons for your objection?	·····		
· · · · · · · · · · · · · · · · · · ·	-		
There is eight	propertus on	this	street
- to be developed	· 1 Feel 16 1	house	s to be
			wh for
one small area			
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JUL15

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
The value of my land would decrease
increase in the crime rate in the area

If you need more space for any part of this form please attach another sheet.

Signature:	·
Name: Darren Iti	

Office Use Only:	
Objection Received by:	Date Received://
Planning officer responsible:	Date Received:/_/

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JUL15

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Planning and Environment Act 1987

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2 Z MAY 2020

Objection to Planning Permit Application

INFORMATION MANAGEMENT

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: Kellie Johnston				
Postal address:	-			_
Dairnsda	ile		Postcode	3875
Phone number: Home:	Work:	Mobile		
Email address:		Fax:		
Permit Details:				
Planning permit number: 1412626	0 140/2020 P	ľ	2912022	P
	chof 2 units	6	altoget	ho)
			0	/
What is the address to be used or developed	1? 12, 14, 1	6 G	len don	drive
	Eastwood.			
Who has applied for the permit? Clew	ent Stare Tac	un I	Plann	ers_
Objection Details:	<u></u>	e e		

What are the reasons for your objection? The development is not in
beeping with the Character profile of the area given
that to streets in Eastwood have more than 2 multi
dwelling sites.
The proposed development is not complimentary
to the existing housing in the street/orea.
The original purpose for this, lond has been
changed from single dwelling for law income families
to the current pronogal.

Privacy Statement

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit? This would affect
our area as there will be a lot of cars and
alot more traffic in this small street that
a lot of people cise to access The Baclewater.
to our onea will be impacted by this amount
of dwellings in such a small street ralang
with the proposed double dwellings on lot 4,5,8,
BER As it would add 16 dwellings in
a tiny area. to much traffic and does not
match the other dwellings in that street, malony
it difficult for those negle to sell.

If you need more space for any part of this form please attach another sheet.

Signature:		· .
Name:	Kellie Johnston	Date: 1815120

Office Use Only:			
Objection Received by:	_ Date Received:	/	_/
Planning officer responsible:	Date Received:	/	_/

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Baimsdale Vic 3875 Website www.eastgippsiand.vic.gov.au Email feedback@egipps.vic.gov.au Follow.us.on Twitter @egsc



ICICULIUNC. (W) JIUU AUUU Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

2 2 MAY 2020

Objection to Planning Permit Application

INFORMATION MANAGEMENT

Planning and Environment Act 1987

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Your Details:

		The second se	the second s			
Name: CH	IGREN K	ADD +	Rhir	ie Kapr),	
Postal address	*					
	 	petwe	bod			Postcode 3875
Phone number	: Home:		Work:		Mobile:	
Email address:					Fax:	
Permit Details:		\ \	2	· .		
Planning permi	t number: PP	dication	Teterena	e number	14	1/2020/P
What has been	proposed? p	coposer	, Constru	iction of	2 tus	5 DEW
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What is the add	iress to be use	d or developed	17_16_G1	enpon (Delite	
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						•
Who has applie	d for the permi	1? CLEM	ENT-ST	Tone Tou	on Pl	ANNERS
Objection Details	s:					
What are the re	asons for your	objection?	······································			······································
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How would you be affected by the granting of this permit?
please refer to attached letter:

If you need more space for any part of this form please attach another sheet.

Signature: Date: A Э 051 Name: nime Ka

Office Use Only:							
Objection Received by:		 C	ate Receiv	ed:	_/	_/	
Planning officer responsible:	 	 [Date Receiv	ved:	_!	_/	

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EGSC

2 2 MAY 2020

INFORMATION MANAGEMENT

Dear Councillors/CEO EGSC & Tim Bull MP/Planning Minister Richard Wynne MP,

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- This is a serious safety concern for me and other residents as "Safety" is referenced in the
 overarching vision/intent of settlements with the key direction for "planning to recognise the need for
 and as far as practically possible Health, wellbeing and safety". Further to support this concern,
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I strongly object to all of the proposed development in Glendon Drive as the Department of Health, Human Services is now proposing to build an extra 6 units adding to the 10 units that I have already objected to for low income or common equity housing, ALL LOCATED IN GLENDON Drive!!! This will be 16 community housing units in one street!! (THIS WILL MEAN OVER 80% of the properties in Glendon Drive will be community housing!!!!) in fact the crisis individuals will be greater than the current residents occupying this street. Keeping in mind that this is in close proximity to the Lucknow Primary school, Kindergartens, Eastwood childcare facility and the retirement village and the only thoroughfare to the prestigious Backwater development Councillors, I direct your attention to the purpose of the East Gippsland's Planning Scheme:

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 assessments as identified in the East Gippsland Shire Council Social Impact Assessment

From the above, as a rates payer of East Gippsland Shire Council, I would like East Gippsland Shire Council and Tim Bull MP to review the proposal and contact the State Government and Planning Minister to:

- Reconsider the location of this proposed crisis centre and conduct an options analysis, which
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 Assessment in accordance with the East Gippsland Shire Council Planning Scheme to determine
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Further to this:

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EGSC

2 2 MAY 2020

INFORMATION MANAGEMEN development proposed in Glendon Drive (a family in Crisis centre and now up to 16 Community housing units in the one single street).

• Provide evidence based decision making around Glendon Drive being the chosen location, including an independent Financial Impact Assessment on the property values along Glendon drive from a certified and qualified property valuer.

 Request that both assessments are made publicly available for a public submission process from the residents to make further comments on. I am sure that we are all aware that the timing of this announcement,

Councillors surely this does not make logical sense to have 80% of the properties, (16 units!) and that if this is a allowed then the planning system of East Gippsland Shire Council is fundamentally flawed!!

Please put yourselves in our shoes, there was no way of knowing when we purchased this property many years ago, in a new estate and area of Baimsdale known as Eastwood, that we would be faced with having a mass development of community housing in our street. I truly believe if any of you have this happen to you, you would be truly upset with this poor community, social and economic outcome!!

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I look forward to a response to my request, and what actions EGSC and Tim Bull MP WILL take to address this important issue for our community. I also note, ALL of the current residents in Glendon Drive are NOT HAPPY with this proposal.

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I hereby object to the planning permits for the multiple dwellings on Glendon drive Eastwood Victoria 3875 including the following application reference numbers;

12 Glendon Drive Lot 205 PS 542289 reference number 139/2020/P

14 Glendon Drive Lot 206 PS 5542289 application reference number 140/2020/P

16 Glendon Drive Eastwood Lot 207 PS 542289 application reference number 141/2020/P

Epstwood Vic 38

me Kapp

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From: SeamlessCMS@seamless.com.au Sent: Monday, 18 May 2020 8:31:17 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 18 May 2020 08:31 PM

Name	Bradley Morrison
Email address	
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141/2020/P
What has been proposed?	Construction of numerous units in the one street
What is the address to be used or developed?	2 12,14 & 16 Glendon Drive Eastwood vic 3875
Who has applied for the permit?	Clement Stone
What are the reasons for your <u>objection</u> ?	The proposed development in completely out of character with the area and existing properties.
How would you be affected by the granting of this permit? Additional information	I will be relocating to a new house close to Glendon Drive and will be affected by the increased traffic flow, noise and overall unsightliness of the proposed development. No file attached

From: SeamlessCMS@seamless.com.au Sent: Monday, 18 May 2020 8:19:07 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 18 May 2020 08:19 PM

Name	Daniel Morrison
Email address	
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141 /2020/P
What has been proposed?	Construction of multiple multi dwelling units in the one street.
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clement Stone Town Planners
What are the reasons for your <u>objection</u> ?	The proposed buildings along with another 6 locations in Glendon Drive are totally out of character with the other buildings in the area.
How would you be affected by the granting of this permit?	I will be building a new house close to Glendon Drive and will be affected by the increased traffic flow, noise and overall unsightliness of the proposed development.
Additional information	No file attached

From: SeamlessCMS@seamless.com.au Sent: Monday, 18 May 2020 8:24:32 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 18 May 2020 08:24 PM

Name	Roslyn Morrison
Email address	
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	
Fax	
Planning permit number	139-141/2020/P
What has been proposed?	Construction of numerous dual occupancy residences
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clement Stone
What are the reasons for your <u>objection</u> ?	The development is not in keeping with not only this street but the whole of the Eastwood area.
How would you be affected by the granting of this permit?	I will be building a new house close to Glendon Drive and will be f affected by the increased traffic flow, noise and overall unsightliness of the proposed development.
Additional information	No file attached

Online Form Submitted

Date Submitted: 23 May 2020 09:45 AM

Name	Jessie Ng
Email address	
Postal address	Bairnsdale
Home	
Work	
Mobile	
Fax	
Planning permit number	41/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	16 Glendon Drive
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your objection?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is detrimental to neighbouring residents and tenants themselves 4> Current cluster of public housing on Gree Kulluk Pl is frequently left unkempt 5> Children living in public housing on Gree Kulluk Pl are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and leads to socio-economic decline across the neighbourhood.
you be affected by the granting of this permit?	1> Clustering of emergency housing in one street is likely to affect the safety of the neighbourhood. 2> There has been multiple episodes of vandalism and theft likely resulting from public housing being clustered on Gree Kulluk Pl. 3> Concerns about crime will rise if the permit is granted, potentially placing the community on surrounding streets at higher risk.
Additional information	No file attached

Online Form Submitted

Date Submitted: 23 May 2020 09:44 AM

Name	Poh Ng
Email address	
Postal address	Bairnsdale
Home	
Work	
Mobile	
Fax	
permit number	41/2020/P
What has been proposed?	Duplex
What is the address to be used or developed?	16 Glendon Drive
Who has applied for the permit?	Clement-Stone Town Planners
What are the reasons for your objection?	1> Duplex development is not in keeping with Eastwood Community profile 2> High density duplexing is not in character to our neighbourhood 3> Clustering of emergency public housing is detrimental to neighbouring residents and tenants themselves 4> Current cluster of public housing on Gree Kulluk Pl is frequently left unkempt 5> Children living in public housing on Gree Kulluk Pl are frequently on the street day and night and are not supervised and are unsafe. 6> Increased housing density increases the risk of viral transmission especially in this era of social distancing and pandemics. 7> Placement of large numbers of emergency public housing clients will likely cause social disruption to the residents on Glendon Drive and adjacent streets. 8> Duplexing is not required in a rural area and leads to socio-economic decline across the neighbourhood.
you be	1> Clustering of emergency housing in one street is likely to affect the safety of the neighbourhood. 2> There has been multiple episodes of vandalism and theft likely resulting from public housing being clustered on Gree Kulluk Pl. 3> Concerns about crime will rise if the permit is granted, potentially placing the community on surrounding streets at higher risk.
information	No file attached

From: SeamlessCMS@seamless.com.au Sent: Friday, 15 May 2020 4:53:31 PM To: Planning Unit Administration Subject: Objection to Planning Permit Submitted

Online Form Submitted

Date Submitted: 15 May 2020 04:53 PM

Name	Emily Robinson
Email address	
Postal address	Eastwood Vic 3875
Home	
Work	
Mobile	;
Fax	
Planning permit number	139 to 141/2020/P
What has been proposed?	Construction 2 units on each allotment
What is the address to be used or developed?	12,14 & 16 Glendon Drive Eastwood Vic 3875
Who has applied for the permit?	Clemment Stone Town Planners
What are the reasons for your <u>objection</u> ?	This development along with the other 5 Lots being applied for - 16 units in total is not in keeping with the character profile of the area. No other street in Eastwood will have this concentration of dual occupancy sites. The proposal is also not complimentary to the existing housing stock and will devalue the properties in the immediate area. The original purpose of this land has been changed without consultation with the affected residents in the area.
How would you be affected by the granting of this permit?	The proposed development will increase traffic flow and noise and will also de- value properties in the area. The residents bought properties on the basis that it would be a quiet housing estate not be overcrowded with this out of character unit development.
Additional information	No file attached

From: wayne stagg [s Sent: Wednesday, 20 May 2020 7:39:22 PM To: Feedback Address For Web Page Subject: Objection of Planning permit for 16 Glendon Dr.Eastwood.3875.

Please find attached my objection to the above proposal. Wayne Stagg M. W



273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: WAYNE and A	NAREE STAGG	
Postal address:		ASTWOOD
		Postcode 3875
Phone number: Home:	Work: «	Mobile:
Email address: 🗧	<u>.</u> .	Fax:
Permit Details:		
Planning permit number: 140	/2010/P	
What has been proposed? CLEM		WN PLANNERS
		-
What is the address to be used or de	eveloped? 16 GLENT	DON DRIVE EASTWOOD.
LOT 207 PS54	-2289	(3875)
		0
Who has applied for the permit? D	EDAR TMENT OF F	KEALTH AND HOUSING
SERVICES (VIC.)		terent the teresting
	9.1 1.1.2.	
Objection Details:		
What are the reasons for your objecti	ion Daverbevelopm.	ENT OF A SHORT 200METRE
		re single dwellings war
		IN THE DWELLINGS DEMONST
-		UDREN IN APSTHORT ACCESS
to "THE BACKWATER"		
HISTORICALLY D.H.H.S	,	A
BE OCCUPIED/TENAN		- AND ANAT SHOW LESS

ACCEPTABLE NELGHBOURHOOD BETHVIOUR,

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Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: IAN STANIFORTH	& JENNIFE	R STANIFO	RTH	
Postal address:				
EASTWOOD			Postcode	3875
Phone number: Home	Work:	Mobile		-
Email address:	-	Fax:	/	
Permit Details:	-			
Planning permit number: Nos 139/10	10/141			
What has been proposed? 3 X 3 Be	edroom Units	on 3 lots in	Glendo	n Ir
	Eastwood	····		
What is the address to be used or develope	ed?			
- NOS 12, 14 E 16 GLENDON DRIVE, EASTWOOD 3875				
		`		
Who has applied for the permit? <u>Clem</u>	ent-Stone To	wn Planne	r.s	
	· `		·	

Objection Details:

What are the reasons for your objection?		
	See attached sheets	
	EGSC	
	2 0 MAY 2020	
······································	INFORMATION MANAGEMENT	'
· · ·		

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How would you be affected b	y the granting of this permit?		• 3*
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Signature:		* ' n .		11				-	
Name:	IENINIFER S	STAN/FORTH		_	. / / Date	: <u>19</u>	51	20	
			ţf.						

TAN STADIIFONTH 19/5/2020

Office Use Only:	
Objection Received by:	Date Received:///
Planning officer responsible:	Date Received: / / /

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some are at least 4 times greater and outside reasonable walking distance. They clearly chose to ignore the obstacles of the river and the backwater.

HOW WOULD WE BE AFFECTED BY THE GRANTING OF THIS PERMIT

Our passageway to Bairnsdale via Glendon Drive will be impacted by a consequential increase in vehicles, particularly the likelihood of obstruction due to street parking and children playing in the street and insufficient parking spa for the anticipated number of vehicles owned by some the residents of these proposed duplexes'.

There will be an increase in traffic and associated noise in the immediate area beyond what would be expected had the development of this street not been disallowed by the responsible government department years ago buying many of the blocks in the street then sitting on them for years, thus obstructing orderly residential development.

The disproportionate increase in the development of dwelling in this street, when compared with other parts of the estate will be to the detriment of the ambiance of the area and clearly conflicts with the way the estate has developed.

The proposed multiple duplexes will alter the amenity of the area in a detrimental manner that impacting on the both Glendon Drive and the immediate surrounding area.

CONCLUSION

The proposal to increase the number of potential dwelling in this one small street is totally out of character with the adjacent area and will not meet one of the objectives of community housing which is to assimilate community housing into the surrounding community. It is likely that if all these proposed 16 duplexes are allowed then a small separate conclave, not integrated into the local community, will develop and the street will become visually guite different to the surrounding streets.

We support the provision of community housing and recognise that it is necessary. We believe this street could perhaps support one or even two well-spaced blocks being developed as duplexes and with a small number of community houses in one street there is every possibility that the residents would become integrated into the community. However, should the street become one where there is a majority of community houses we believe assimilation into the surrounding community is unlikely and an enclave of both buildings and residents will result, separated from the surrounding community.

I M Staniforth.....!

J A Staniforth.....

THREE PLANNING PERMIT APLICATIONS Nos 139/140/141/2020/P – STREET NO 12, 14, & 16 (GLENDON DRIVE). – OBJECTIONS BY IM & JA STANIFORTH. REASON FOR OBJECTION.

The proposals, should they be approved conflict with the amenity of the area as follows.

These three planning applications need considering alongside the previously identical planning applications for 5 other blocks in the same street. (PA 91,92,93,94/&95/2020/P) The sum total of which, should they all, or a majority of them be approved, will create an enclave of different types of houses and land use when compared to the surrounding streets.

The Street comprises 21 blocks, 9 of which have a single residence on them. Should all these ' permits be approved 8 of the remaining blocks would each containing two dwellings, outnumbering the existing houses 2 to 1 and as a consequence will completely alter the street scape and make it quite different to the surrounding streets.

These blocks are available due entirely to the responsible government department inhibiting the normal development of this street as one would reasonable expect. The Government department has simply sat on these blocks for years to the detriment of orderly development in this small part of the estate by denying the residents of Bairnsdale the opportunity of purchasing them.

Additionally, there also exists a number of public housing properties near this locality and flooding this small area with an additional 16 public housing units is in conflict with the objectives of assimilating public housing into the community. This small area will develop its own individual character in conflict with to the surrounding neighbourhood.

The proposed dwellings, although three bedrooms, only provide off street parking opportunities for two vehicles. It is common for the residences in Eastwood to have more than two vehicles and the majority of developed blocks are of sufficient size to accommodate them all withing these properties. This will not possible on any of the 16 proposed duplexes and passage through Glendon Drive is likely to be continually obstructed with some of the proposes 18 duplexes having no alternative but to part excess vehicles on the street.

The increase in density will also affect the traffic in the area (Glendon drive is one of only two routs from the Backwater and Mistana Court to the town of Bairnsdale). There is the very real likelihood of vehicles having to negotiate children playing in the street as occurs with existing public housing particularly as Glendon Drive is a through street servicing the Backwater and another street.

It is disappointing to note that the Town Planners who made these and the previous 5 applications still continue to 'gild the lily' by understating distances from the town & railway station etc. The distance they quoted from the town and other places are 'as the crow flies' and by road or walking

From: Sent: Monday, 11 May 2020 4:50:57 PM To: Feedback Address For Web Page Subject: OBJECTION TO PLANNING PERMIT 141/2020/P

Please find attached Objection to Planning Permit 141/2020/P 16 Glendon Drive Eastwood

Regards

KEITH WHITE K&C WHITE PTY LTD

East Gippsland Shire Council

273 Main Street (PO Box 1618) Bairnsdale Vic 3875 Website www.eastgippsland.vic.gov.au Email feedback@egipps.vic.gov.au Follow us on Twitter @egsc



Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

Objection to Planning Permit Application

Planning and Environment Act 1987

There are some hard words in this form. The hard words are in blue. You can read what they mean on page 3.

Your Details:

Name: KIC	WHITE	(TY	LTD			
Postal address: (, o	, Kox 1.	295				
BANK	NSORLE		_		Postcode	3875
Phone number: Home:		Vork:		Mobile:		
Email address:				Fax:		
Permit Details:	- 4		-			
Planning permit number:	141/2	02018				
D	VELOPME		LAND	FOR	TWO	
What is the address to be used of	or developed? _	16 0	LENDON	DRIL	Æ	
		EAST	NOOD			
Who has applied for the permit?	CLEME	and Ste	one To	UN I	LANNE	ks

Objection Details:

What are the reasons for your objection?
WE STRONGLY DISCHET TO THE CONSTRUCTION AS
LANNED AT IL GLENDON DRIVE EASTWOOD
THIS PROPOSED WOULD RESULT IN THE VALUE OF THE
PROPERTY AT 19 CLEMPON DRIVE DROPPING DRAMATICALLY
THIS AREA IS CONSIDERED A QUIET FAMILY ESTATE
MUD OCCULANTS OF THE PLANNED DWELLING
WOULD OBVIOUSLY BE TRANSITORY UPSETTING THE
HARMONY OF THE AREA

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Telephone: (03) 5153 9500 Fax: (03) 5153 9576 National Relay Service: 133 677 Residents' Information Line: 1300 555 886 ABN: 81 957 967 765

How would you be affected by the granting of this permit?
ALL THE OCCUPIERS OF PROPERTY IN CLENDON
DRIVE WOULD BE AFFECTED AS THERE APPEARS
TO BE FIVE PERMIT AMILICATIONS IN GLENDON
DRIVE WITHIN A SHORT DISTANCE
FIVE (S) OF THESE PLANNED DWELLINGS IN CLOSE
PROXIMITY WOULD NOT BE A GOOD IDEA
THIS WILL DROP PROPERTY VALUES AND MAKE
THIS ONCE DESIRED AREA NOT THE BEST PLACE
TO RATSE A FAMILY WITH LOTS OF DIFFERENT
RESIDENTS AT ANY ONE TIME

If you need more space for any part of this form please attach another sheet.

Signature:	
Name: KRITH R WHITE	Date: 8 / 5 / 20
	and the second s
l	-

Office Use Only:			
Objection Received by:	Date Received:		
Planning officer responsible:	Date Received:	1	 _

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13 July 2020

Councillor John White Mayor, East Gippsland Shire Council

Dear Mr Mayor,

Re: Objections to Department of Health Applications for Planning Permits

We have received an invitation to participate in Council's PCM via the Skype for Business web site on 21 July. Unfortunately we are unable to participate via this medium but would like to record our objections to the eight planning applications for development of land on Glendon Drive by the Department of Health and Human Services. Our objections are contained in the following statement.

Received

Timelo: 44 and prov

. A.

1 3 JUL 2020

Corporate Centre

"Council is responsible for the delivery of a wide range of services and infrastructure required by the community they serve. In doing so, a principal role of Council is to act as an informed and responsible decision maker representing the interests of local communities and to the wider community under Council's jurisdiction.

The proposed planning applications have an impact on the immediate community of Glendon Drive and the wider community which could, in this case, cover the area known as Eastwood. The impact on these communities will be negative because:

- 1. The existing streetscape will be markedly changed and the neighbourhood character compromised.
- The nature of the development will be at odds with the current housing stock of one house per block in Glendon Drive.
- 3. The visual bulk of the eight lots for development will undermine Council's orderly planning scheme for housing development.

We wish to put on record that we have no objection to the Department of Health and Human Services providing much needed accommodation for the deserving members of our community. What we do object to is the Department's total disregard for the impact such a massive development, all in the one small street, will have on the current residents of Glendon Drive and neighbouring streets. The repercussions of building so many dwellings, all within a "stone's throw" of one another, will be largely negative and the social impacts likely to be painfully stressful for many residents.

It is to be noted that the Department of Health and Human Services is not known for its ability to give correct and timely advice as witness to it's involvement in the recent Melbourne hotel quarantine saga. The decision of the Department to purchase eight blocks of land for the construction of 16 dwellings for short term housing in the one street appears to ignore East Gippsland Council's requirements for new developments and land use be subject to the social impacts on the local community.

As Council is required to represent the interest of the Glendon Street residents, including the wider community, we would hope Council rejects all planning applications currently before it from the Department of Health and Human Services. "

Yours sincerely

Alan Baird and Carole Baird

EGSC

1 4 JUL 2020

INFORMATION MANAGEMENT Subject: Wayne Stagg re Glendon drive Eastwood proposed Duplex developments.

Mayor White and fellow councillors, Thanks the Skype meeting last week. Amid the technical challenges I feel it was a good forum and showed genuine effort by all stakeholders.

Like many of the concerned residents in the vicinity, and especially those residents in Glendon Drive, I'm also concerned that even if the present planning applications for the eight duplexes is declined by a majority of councillors, the matter will either progress to VCAT or Minister Wynne will use his ministerial power to approve the development. Several have said they wouldn't have bought in this neighbourhood if they'd know DHHS owned that many adjoining blocks in one street.

The general consensus of those concerned is that the neighbourhood character of the Eastwood Estate will suffer because of this cluster of duplexes in this short (200 metre) street.

I would appreciate any councillors having a further conversation with me, either by phone or email. Some concerned residents have already started getting signatures for a Petition which Tim Bull will hopefully present to Minister Wynne, when and if the time comes to do so.

Regards, Wavne Stagg

, Eastwood. 3875.

Sent from Mail for Windows 10



Virus-free. www.avg.com

18/08/2020

From: wayne stagg] Sent: Thursday, 6 August 2020 2:12:06 PM To: Tim Bull; Cr. Colin Toohey; Bob Yeates; Mayor CC: Councillor Admin Use Only Subject: Glendon Drive, Eastwood Social Housing project.

Tim, thanks for assisting to get a petition prepared for and when it might be needed to present to Minister Wynne.

Several of us in the Glendon Drive neighborhood are still communicating on ways that we might influence our local councilors to vote against the above proposal.

I have attached a (draft) flyer that some of us are happy to deliver around the area...on our one hour (5km) exercise, in the hope that as many of the local Eastwood community are aware of this proposal.

In your experience do you think this is an acceptable activity?

I've also spoken to Bob Yeates about a photo and story in the local paper. Bob said he would be amenable to that too.

Any advice that you think might stop this project would be gratefully appreciated before councilors vote on it.

Best regards

Wayne Stagg (The Grim Reaper) M.

W.

Social Housing in Glendon Drive

The State Government (DHHS) has 16 Duplexes planned for Glendon Drive plus four more empty blocks. THIS IS 60% OF THIS 200 Metre STREET!

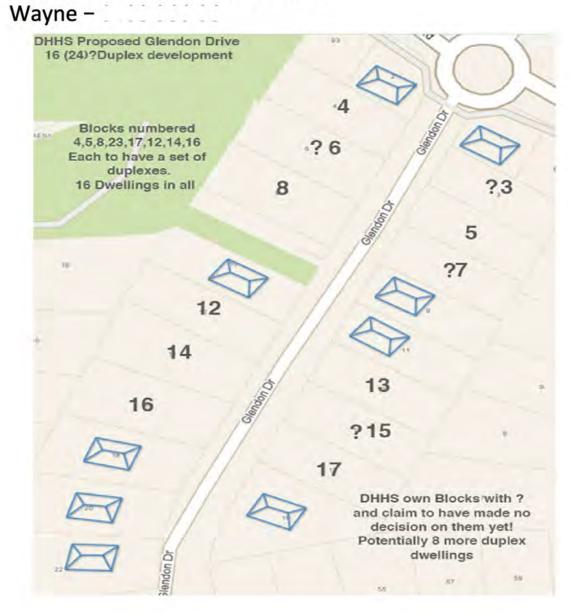
Objections against this "CLUSTER" development can still be made to the East Gippsland Shire Council.

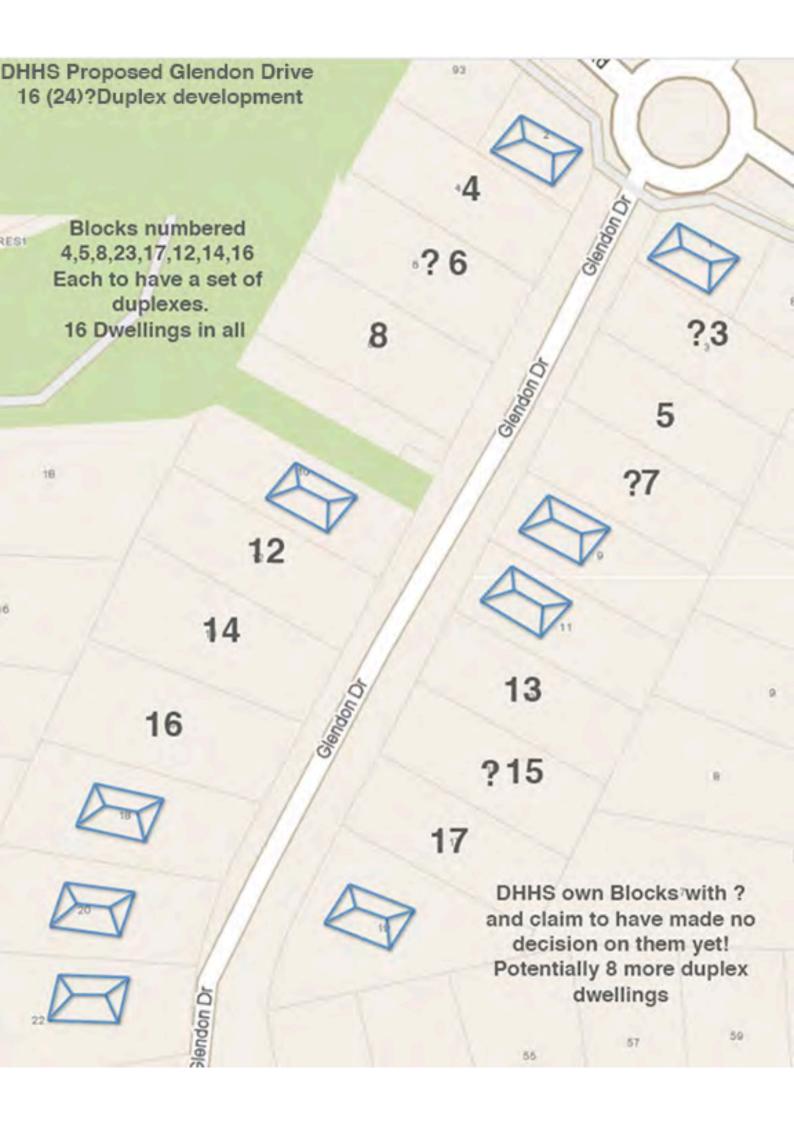
You can sign a petition going to:-

1. East Gippsland Shire Councilors

2. Tim Bull MLA to present to the Government Minister of DHHS, Minister Richard Wynne.

For further information contact :-







EAST GIPPSLAND SHIRE COUNCIL

PLANNING CONSULTATION MEETING

Planning Permit applications Glendon Drive Eastwood

Development of two dwellings on each of 8 lots

Meeting Minutes

Tuesday, 21 July 2020

INSTANTANOUS COMMUNICATION (SKYPE FOR BUSINESS & YOUTUBE CHANNEL)

COMMENCING AT 6:00 P.M.

Application Nos: 91/2020/P 92/2020/P 93/2020/P 94/2020/P 95/2020/P 139/2020/P 140/2020/P 141/2020/P Location: 4, 5, 8, 17, 13, 12, 14, & 16 Glendon Drive, EASTWOOD

1. Procedural

1.1 WELCOME AND INTRODUCTIONS, CR JOHN WHITE (MAYOR)

1.2 APOLOGIES

Councillors

Cr Joe Rettino

Objectors

Ricky Arnold Alan Baird Carole Baird Amy Baxter Katie Baxter Kimberly Baxter Melissa Baxter Stephen Baxter Jeffrey and Eilita Bickley Johannes and Anna Boek Milton Bond **Michael Bradley** Malcolm Dalton Matt Dalton Linda Daniel **Trevor Frogley** Leonard Hall Margaret and Leonard Hall

Darren Hine Tegan Jenkins Mary and William Johnson Kellie Johnston Faye and Alan McCormack Bradley Morrison Daniel Morrison **Roslyn Morrison** Christopher Nash Susan Quigley Carmel Quinton Jackson Rankin **Denise and Arthur Roberts** Emily Robinson Jennifer and Ian Staniforth Peter and Julie Trewin Kerry Websdale K & C White Pty Ltd (Keith White)

Officers

Anthony Basford, Chief Executive Officer

1.3 IN ATTENDANCE

Councillors

Cr John White (Mayor, Chair – in person) Cr Natalie O'Connell (via Skype) Cr Maryanne Pelz (via Skype) Cr Ben Buckley (in person) Cr Colin Toohey (via Skype) Cr Jackson Roberts (via Skype) Cr Richard Ellis (via Skype) Cr Mark Reeves (via Skype)

Applicant

Angela Mok, Associate, Clement Stone Town Planning

Objectors

The following is a list of Objectors who registered as attending:

Steven Barry* Michelle Barry Glenn Calvert* Laurel Calvert Edward Campbell* Brian Cottam* Wendy Cottam Ashley Dalton Daniel Dalton* Denise Dalton Sandra and Leo Dowling Marlene Forward Carl Freshwater* Rhine and Cheryl Kapp Justin Kellow John and Helen Leach Carol McAuliffe* Jessie Ng* Poh Ng* Ruth Pye Barbara Rogalla Wayne Stagg* Maria Stagg Barry Forward

It is noted that there were between 15 and 18 participants viewing the YouTube livestream during the meeting. Those marked with a * spoke at the meeting so were confirmed attendees.

Officers

Jodie Pitkin, General Manager Place & Community Nicole Reynolds, Acting Manager Planning Robert Pringle, Acting Senior Land Use Planner Ben Marchbank, Land Use Planner Kerry Stow, Land Use Planning Administration Officer Vicki Jerrett, Personal Assistant Place and Community (minute taker)

1.4 DECLARATIONS OF CONFLICT OF INTERESTS

Anthony Basford, Chief Executive Officer, declared a conflict of interest and did not attend.

2. Reports/Presentations

2.1 PLANNERS REPORT

Robert Pringle, Acting Senior Land Use Planner presented the application overview from the perspective of the responsible authority.

Question and Answer session for councillors

	Cr Toohey
Q	How many blocks? How many applications?
	Rob Pringle
А	12 lots, 8 applications.
	Cr Pelz
Q	Is the land owned by the Department of Housing?
	Rob Pringle
А	Yes, that is correct.
	Cr Pelz
Q	Do the planning regulations come under state government?
	Rob Pringle
А	There are government policies in place regulating social housing. The Vic
	Government has short term priorities to provide new social housing for underprivileged people.
	Cr Pelz

	Withink we will there is a summer to
Q	Which regulation is correct?
	Nicole Reynolds
Α	1000 homes for the homeless is the current state government initiative.
	Cr Pelz
Q	Is it an over-riding policy?
	Nicole Reynolds
Α	Yes
	Cr O'Connell
Q	Is this what you would call a "cluster"? What is the definition of a cluster?
	Nicole Reynolds
А	I am not sure of the definition of what constitutes a cluster.
	Cr O'Connell
Q	Can council ask for clarification on the definition of a cluster from the
	Department of Housing ?
	Rob Pringle
А	Yes, council's land use planners can contact the DoH for clarification.
	Cr O'Connell
Q	Is there any difference or distinction between metropolitan and regional areas?
	Cr Toohey
Q	Can council make the decision (to grant or refuse permit) or the minister?
	Robert Pringle
Α	It is a council decision now, but can be called in. It is not known if the minister
	will call in.
	Cr Toohey
Q	Can the minister over-ride council's decision ?
	Rob Pringle
Α	The minister is the responsible authority if it is called in.
	Cr Reeves
Q	Can council only make decisions on individual applications – not the cluster ?
	Rob Pringle
А	Applications have been lodged together, so should be considered together.
	Land Use Planners can't assess neighbourhood character until they are built.
	Character is currently 12 vacant lots.

2.2 APPLICANT PRESENTATION

The applicant was represented by Angela Mok of Clement Stone Town Planners.

Ms Mok gave an overview of the applications. She also stated that the Victorian State Government had made a pledge in 2018 to fight homelessness by building 1,000 social homes before 2022.

	Cr Toohey
Q	What is the minimum lot size ?
	Angela Mok
Α	728 square metres (for 2 houses)

2.3 OBJECTOR PRESENTATIONS

Stephen Barry Glenn Calvert Edward Campbell Brian Cottam Daniel Dalton Carl Freshwater Carol McAuliffe Jessie Ng Poh Ng Wayne Stagg

	Stephen Barry
1	Concerned with concentration of houses
2	Block sizes very small
3	He stated that he is not against low income housing
4	There will be 30 cars jammed into this area
5	It is a safety issue, with children walking through this area (so many cars)
6	He objects to the idea that it is for bushfire affected people.
7	Development will have a negative long-term impact on Eastwood.
8	Development will cram too much into one street.
	Glen Calvert
1	The land was originally an estate for people to build each others houses.
2	The 1000 homes project – Eastwood would have 2% of the total in one street.
	Should be spread around the community.
3	The development will create a ghetto.
4	There is no need to place low socio-economic people next door to each other.
5	There are not many other duplexes in Eastwood as yet.
6	This development will change the whole streetscape.
7	Would a cluster like this be allowed in a suburb such as Mont Albert ?
8	If the Dept of Housing want the houses in a cluster, they should find
	somewhere more appropriate to place them.
9	The development would bring on average, about 144 extra people and cars
	into the street, particularly if there are teenage children with cars.
	Edward (Ted) Campbell
1	Not opposed to social planning
2	Opposed to poor planning
3	Dept of Housing do not care about existing residents
4	There is a stigma with social housing
5	Dept of Housing do not care about property values in the vicinity
6	He is very interested in quality of life
7	Development could easily end up with 4 cars per house if they have older
	children.
8	Developer has picked and chosen government rules
9	These houses will be built to a price
10	There should be a maximum number of social houses in any street
11	Houses should look similar to other houses in the street
12	Houses should assimilate with surrounding (private) houses
13	Opposes government officials (Melbourne based) imposing their views on
	locals
	Brian Cottam
1	He has not objection to single houses put on the blocks.
2	Does not like the high density proposal (two houses per block)
	Devial Delfer
4	Daniel Dalton
1	There are very few multiple dwellings in Eastwood – but very high density in the Glenwood Drive proposal.

2 3	A duplex proposal for the Backwater was knocked back at VCAT.		
3			
	The Backwater has been developed and would be devalued if the Glendon		
	Drive development goes ahead		
4	There are only two access points to the Backwater.		
5	The development will effectively make the access points single lane due to		
	cars being parked in front of the Glendon Drive development. The will create		
	safety issues.		
	Carl Freshwater		
1	He does not believe the development is in the interests of the current residents		
	– social or financial.		
2	Resources for policing very limited		
3	Currently Eastwood is premium land, and is a premium estate		
4	The proposed development will impact property values		
5	Bairnsdale needs social housing, but it should not be in one big cluster		
	Carol McAuliffe		
1	Carol was quoting from a report on social housing.		
2	Public and private housing should be interspersed.		
3	Public housing is stigmatised		
4	Public housing tenants can be discriminated against.		
5	There is prejudice against public housing tenants		
6	Public housing should not be distinctive as public housing.		
7	Public housing tenants are often coming from a crisis		
8	DHHS cluster the public housing together to save money (economic reasons),		
	not for welfare reasons.		
	Jessie Ng		
1	Acknowledges the need for social housing.		
2	She lives on the Backwater near a few social houses. The problems she often		
	sees is;		
	Littering		
	Violence		
	Police visits		
3	The development is likely to have a detrimental effect on neighbouring houses.		
4	The social houses should be sensitively spread through the community.		
	Poh Ng		
1	Currently, Eastwood has character		
2	It is not good planning to cluster social housing		
3	The development will have a negative impact on nearby residents		
4	Social housing needs to be integrated with private housing		
5	Is this a hasty, quick fix prior to an election?		
6	Council should not support the development		
7	VCAT has not approved other Eastwood duplexes		
8	The people pushing the development are set to profit from it.		
	Wayne Stagg		
	Urges councillors to vote against the proposed development		
1			
1 2	There are VCAT precedents – against duplexes in Eastwood		

2.4 FUTURE ACTIONS SUMMARY

Robert Pringle, Acting Senior Land Use Planner presented the likely next steps for the applications. He advised that a council report will be prepared for the 8 September 2020 council meeting. A recommendation will be made on each application. All parties will be informed of all processes.

Cr Toohey stated that the councillors represent the community, and will advocate for what is best for the community. He summarised that most objectors were not opposed to social housing, but were opposed to clustering.

3. MEETING CLOSE

The meeting closed at 7:36 PM

DETAILED PLANNING REPORT

Permit Application: 91/2020/P

4 Glendon Drive EASTWOOD Lot 201 PS 542289

Development of the land for two dwellings

This report has been prepared to document the statutory planning assessment pursuant to the provisions of the *Planning and Environment Act 1987* and *Local Government Act 1989*.

KEY DETAILS

Subject address	4 Glendon Drive EASTWOOD
	Lot 201 PS 542289
Land owner	Office of Housing
Applicant	Clement-Stone Town Planners
Land area	805 sqm
Zone	General Residential Zone 1
Overlays	Nil
Cultural sensitivity	The land is not culturally sensitive
Site inspected	The site has been subject to several inspections by the reporting officer, including through the notice period to ensure the notices were in place and not vandalised or removed.
Restrictions on Title	There are restrictions on title which have been assessed and the proposal is compliant. Particularly, the proposal meets the intent of the covenant by being a duplex dwelling, being clad primarily in brick, and having an area of 114 sqm measured from the outer walls.

PROPOSAL DETAILS/DISCUSSION

The application currently before Council seeks approval for development of two (2) dwellings on a currently vacant allotment.

Site Analysis

The subject lot is 805 square metres, currently vacant with no vegetation. A very slight slope runs high at the front boundary down to the rear. There are two vacant lots to the southwest. Two dwellings are developed to the north. There are 12 total vacant lots in the street. A reserve borders the northwestern boundary and contains drainage infrastructure and a walking track. *Figure 1* demonstrates the site in neighbourhood context.



Figure 1: the subject land (highlighted red) in the neighbourhood context.

The lot is generally rectangular in shape and is provided with a standard frontage to Glendon Drive. Reticulated sewer, water, power, and natural gas are available. NBN Connection is available (fibre to the node). The northwestern boundary features a sewerage and drainage easement. Footpaths are constructed on both sides of the street, which is also provided with a 7.5m wide sealed road with kerb and channel drainage.

Glendon Drive connects to The Backwater to the South via a traffic calming Tintersection and Flinns Road to the north via a roundabout. The Backwater, especially lots to the south side of the street, is considered a premium development area due to the amenity and outlook to Bairnsdale CBD overlooking the Mitchell River and Mitchell River Backwater/Reserve. Flinns Road is a neighbourhood collector street, connecting from Great Alpine Road in the Southeast to Howitt Avenue in the North – with Howitt Avenue connecting to Bullumwaal Road in the west of Eastwood and servicing the commercial and school precinct in central Eastwood. On the corner of Flinns Road and Glendon Drive, the corner lots are approximately half the size of the average lot for the immediate area.

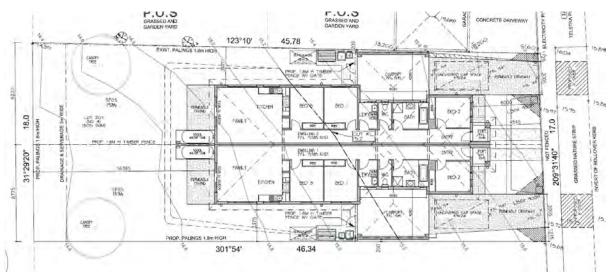
Schools, shops, and other amenities can be accessed on foot. Bairnsdale CBD is a five-minute drive.

Proposal

The proposed development includes:

- A duplex dwelling, each dwelling having 3 bedrooms, open plan living/dining/kitchen, central bathroom & laundry, central corridor and front entry on shared boundary wall;
- external carport, single crossover and driveway to each dwelling, with room for 'stacked' parking up to 2 vehicles off-street;
- a 5000-litre rainwater tank to each dwelling to promote water sensitive urban design principles;
- externally accessed store, bin storage area and clothes drying area, plus a standalone mailbox to each dwelling; and

• landscaping provision for 2 canopy trees (front and rear) and other plantings to each dwelling.



The proposed plan set is shown in *Figures 2 through 5*. Full development plans are attached to this report.

Figure 2: Proposed Site and Floor Plan

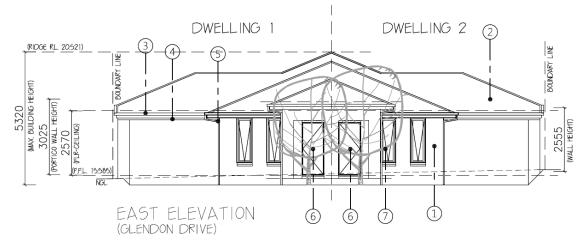


Figure 3: Proposed Street Elevation

IMBER.	SAMPLE	BRAND	COLOUR	DESC.
ţ.	and the second	SELKIRK	GOLDFIELD HAZE (OR SIMILAR)	DRICKS
2		COLORBOND	MONUMENT (OR 51M(LAR)	SHEET ROOF
3		COLORBOND	MONUMENT (OR SIM(LAR)	GUTTER
4		COLORBOND	MONUMENT (OR 5IM(LAR)	FASCIA.
Б		COLORBOND	EVENING HAZE (OR 5IMILAR)	DOWNFIPES

Figure 4: Proposed Materials Schedule



Figure 5: Proposed landscape plan

PLANNING CONTROLS

Control	Clause(s)	Consideration
General Residential Zone 1	32.08-6	Construct two dwellings on a lot
Two or more dwellings on a lot	55	Two dwelling ResCode assessment

Cultural sensitivity

Pursuant to the *Aboriginal Heritage Regulations 2018,* a Cultural Heritage Management Plan (CHMP) is not required as the land is not mapped as having values of cultural heritage.

REQUEST FOR FURTHER INFORMATION

Pursuant to Section 54 of the *Planning and Environment Act 1987*, additional information was sought by Council during the assessment of the application.

The information sought was:

• A Social Impact comment pursuant to Clause - 21.07-3 Sustainable Development, Strategy 1.2 in accordance with the *Social Impact Assessment Guidelines for Development Applications* (East Gippsland Shire Council May 2015)

The applicant submitted the required information and satisfied the request. No further social impact assessment is warranted.

REFERRAL AUTHORITIES

The application was not subject to mandatory external referrals.

INTERNAL ADVICE

DEPARTMENT	SCOPE OF ADVICE	OUTCOME
Senior Technical Officer -	Drainage, Access, Roads	Advice provided
Development	_	
Municipal Building	ResCode	Advice provided
Surveyor		

General Technical advice only was provided, as the Street is generally fully serviced, and the proposal meets the requirements for on-site services including drainage and car parking. More discussion is available in relation to the broader proposal for concurrently assessed proposals within the same street.

General Building Surveyor advice was provided in relation to ResCode issues, specifically the clarification regarding minor variations to street setback.

PUBLIC NOTIFICATION

Advertising Required:

Public notification was undertaken in the form of letters to adjoining landowners and a sign was placed on site in accordance with Section 52 of the Planning and Environment Act 1987.

44 objections have been received at the time of writing this report.

A statutory declaration has been provided that confirms notification was undertaken as directed and that the responsible authority will not decide on the application before 28 April 2020.

An assessment of the objections is provided within the General Provisions section of this report.

REPORT – PLANNING CONSIDERATION

Planning Policy Framework (PPF)

The assessment of the application before Council requires assessment against Planning Policy Framework.

The clauses that have an influence upon the assessment of this application include:

- 11 Settlement
 - Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing
- 15 Built Environment and Heritage

- Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.
- Planning should promote excellence in the built environment and create places that:
 - Are enjoyable, engaging and comfortable to be in.
 - Accommodate people of all abilities, ages and cultures.
 - Contribute positively to local character and sense of place.
 - Reflect the particular characteristics and cultural identity of the community.
 - Enhance the function, amenity and safety of the public realm.
- Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale and massing of new development.
- Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.
- Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.
- Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.
- Ensure development responds to cultural identity and contributes to existing or preferred neighbourhood character.

16 Housing

- Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.
- Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.
- Planning for housing should include the provision of land for affordable housing.
- Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.
- Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.
- Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.
- Facilitate the delivery of high quality social housing.
- Increase the proportion of new housing in designated locations within established urban areas and reduce the share of new dwellings in greenfield and dispersed development areas.
- Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.
- Ensure an adequate supply of redevelopment opportunities within established urban areas to reduce the pressure for fringe development.
- Facilitate residential development that is cost effective in infrastructure provision and use, energy efficient, water efficient and encourages public transport use.
- Identify opportunities for increased residential densities to help consolidate urban areas.
- Facilitate diverse housing that offers choice and meets changing household needs through:
 - A mix of housing types.
 - Adaptable internal dwelling design.

- o Universal design.
- Encourage the development of well-designed medium-density housing that:
 - Respects the neighbourhood character.
 - Improves housing choice.
 - Makes better use of existing infrastructure.
 - Improves energy efficiency of housing.
- Support opportunities for a range of income groups to choose housing in wellserviced locations.
- Increase the supply of well-located affordable housing by:
 - Facilitating a mix of private, affordable and social housing in suburbs, activity centres and urban renewal precincts.
 - Ensuring the redevelopment and renewal of public housing stock better meets community needs.
- Facilitate the delivery of social housing by identifying surplus government land suitable for housing.

Assessment:

11 Settlement: The application meets the objectives of this clause. The development allows for an increase in land that is for residential development. It also provides for growth in population, while preserving the natural resources of the land and remains sensitive to the surrounding character.

15 Built Environment and Heritage: The application meets the objectives of this clause. The building design and the urban design contribute to the character and cultural identity to the surrounding area. The applicant has made a clear effort to respond to the strategic and cultural context of the area.

16 Housing: The application meets the objectives of this clause. The development is considered favourable as it promotes a housing market that meets the community needs, by increasing the supply of housing. The site is situated in a location that is considered appropriate to increase the supply of housing. As per clause 16.01-3s, the proposal provides a greater range of housing types. As per clause 16.01-4s, the proposal also facilitates the proposal of social housing within the municipality. The proposal assists with providing additional housing needed to accommodate the population growth in the region.

Municipal Strategic Statement (MSS)

Council is required to consider Local Policy as a part of this assessment.

Local Policy clauses that are relevant include:

21.03 Settlement

- Ensure a range of lot sizes and dwelling types to provide diversity and choice in new residential areas.
- Support infill medium density housing close to Bairnsdale CBD to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.
- Support residential infill development within existing residential zones identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

21.07 Built Environment and Heritage

- Encourage high standards of design in all new developments, with special emphasis on urban areas, coastal and lakeside areas and other localities of high landscape quality, and land adjacent to parks and reserves.
- Ensure that future development contributes to the achievement of liveable, productive and sustainable communities in East Gippsland.
- Require proposals for new development, land use, infrastructure and changes in policy to consider social impact through the preparation of social impact comments and/or assessments as identified in the East Gippsland Shire Council Social Impact Assessment Guidelines for Development Applications.

21.08 Housing

- Cater for the housing needs and preferences of all segments of the community.
- Encourage the supply of elderly persons' housing in the main centres and facilitate development of community housing.
- Encourage the building and construction sector to provide a range of housing types and styles including higher density dwellings in town centres, to provide choice for consumers.
- Support infill medium density housing and a mix of housing types close to Bairnsdale CBD and key locations to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and on Plan 1 Housing Diversity.

21.12 Strategies for Sub-Regions, Towns and Localities

Lakes & Coastal

- Encouraging population growth and development in fully serviced residential land in the major towns
- Continue to encourage residential development within the urban areas already zoned residential.
- Future development should continue in [Brookfield] Lakes and Shannon Waters Estate (see Plan 3 Revitalisation and Growth Strategy).
- Support residential infill development within existing residential zones identified within the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

Assessment:

Settlement: The development allows for an increase in diverse housing types, and makes better use of the community's urban infrastructure. The proposal provides a land supply that attempts to accommodate the future population growth within Bairnsdale.

Housing: the proposal accommodates for the increase in Bairnsdale's future population growth. Catering for this increase in housing needs is a key objective of this clause, and the proposal addresses this successfully. Furthermore, the building of more social housing is likely to benefit those in the community that are most vulnerable, such as low income people, so the proposal addresses the social considerations that are needed when assessing an application. The proposal also promotes a greater diversity of housing types.

Strategies for Sub-Regions, Towns and Localities: the property is located in the "lakes and Coastal" area, and is considered to fulfill the objectives of this region. For example, it increases the housing supply in the area, taking advantage of the surrounding infrastructure and transport access, which caters for the changing needs of the area and increasing population of the area.

GENERAL RESIDENTIAL ZONE 1

Purpose:

To encourage development that respects the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

Key Decision Guidelines:

General issues

- The purpose of this zone.
- The objectives set out in a schedule to this zone.
- Any other decision guidelines specified in a schedule to this zone.
- The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.

Dwellings and residential buildings

• For the construction and extension of two or more dwellings on a lot,..., the objectives, standards and decision guidelines of Clause 55.

Assessment:

It is assessed that the proposal meets the requirements and objectives of the zone. The design of the proposed dwellings successfully responds to the neighbourhood character of the area through criteria such as the garden area and landscaping, building heights, materials used, form, and also the architectural design. Assessment is based on the existing conditions, including that 11 additional lots within the street are currently vacant.

The proposal is considered greenfield rather than infill development, as the lot has not been developed since being created by subdivision in 2006. The proposal can be considered housing growth due to its increased density. The proposal is located in reasonable walking distance of a range of shops and services, inclusive of retail, medical, dental, veterinary, child care, and primary school.

Clause 32.08-4 states that the minimum garden area for a lot greater than 650 sqm is 35%. The proposal meets this criteria with a garden area of 402 sqm or 49.9%.

Assessment of clause 55 in accordance with the requirements of Clause 32.08- is provided in the particular provision section of this report.

Clause 32.08-10 states that the maximum building height must not exceed 11 metres. The proposal has a maximum building height of 5.32 metres, and so meets the requirements of this criteria.

The proposal is suitable for approval in accordance with the provisions of the General Residential Zone 1.

PARTICULAR PROVISIONS

<u> Clause 52.06 - Car Parking</u>

The application complies with the requirement for a three bedroom dwelling to be provided with two car parking spaces, with at least one car parking space being under cover.

Clause 55 – Two or more dwellings on a lot

The primary assessment criteria of the application is with respect to Clause 55, which implements ResCode assessment for the proposal. Where a variation to ResCode is proposed, the planning permit is the statutory authority for approval of such variation.

All standards of clause 55 have been met, except for standard B6 (street setback), which has a minor non compliance. Although it is non-compliant, the responsible authority has assessed that it is so minor that the proposal can still be assessed as appropriate, as the proposed setback still respects the neighbourhood character, and there are examples of other dwellings in the area that have similar setbacks.

Standard Officer's Comment Β1 Neighbourhood character The application is compliant with The design response must be this standard, as it respects the appropriate to the neighbourhood and surrounding character and design the site. of surrounding dwellings. The proposed design must respect the For example, similar architectural existing or preferred neighbourhood style and materials such as Brick character and respond to the features and tiled roof. of the site. B2 Residential policy The applicant has complied with An application must be accompanied this standard. The proposal is by a written statement to the consistent with the relevant housing policy in the LPPF and the satisfaction of the responsible authority that describes how the SPPF. development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies. B3 Dwelling diversity Not applicable to this application. Developments of ten or more The application is for 2 dwellings. dwellings should provide a range of dwelling sizes and types, including: Dwellings with a different number of bedrooms. At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level. B4 Infrastructure The application complies with this Development should be connected to standard. reticulated services, including reticulated sewerage, drainage, A full suite of reticulated services electricity and gas, if available. are available, inclusive of nbn and Development should not unreasonably gas. exceed the capacity of utility services and infrastructure, including Since the proposal increases the reticulated services and roads. anticipated lot yield of dwellings by In areas where utility services or one, the capacity of the utility infrastructure have little or no spare services and infrastructure will capacity, developments should likely be unaffected.

The following is an assessment against the Clause 55 objectives and standards:

	Standard	Officer's Comment
	provide for upgrading or mitigation of the impact on services or infrastructure.	
B5	Integration with the street Development should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility. Dwellings should be oriented to front existing and proposed streets. High fencing in front of dwellings should be avoided if practicable. Development next to existing public open space should be laid out to complement the open space.	The development enhances accessibility, and has avoided high fences, and the orientation is to the front of the lot, with no front fences proposed. The development is adjacent to a reserve with drainage and a footpath link to the larger neighbourhood network. The proposed landscaping plan complements and continues the natural setting, inclusive of a
B6	 Street setback Walls of buildings should be set back from streets: At least the distance specified in the schedule to the zone, or If no distance is specified in the schedule to the zone, the distance specified in Table A1/B1. The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser. Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard. 	respect to this proposal:

	Standard	Officer's Comment
		development at 2 Glendon Drive when assessed against the standard.
		If the proposal was considered non-compliant with the standard, it would be reasonable for the responsible authority to grant a variation as it is so minor an encroachment that the proposal does not detract from the neighbourhood character. The encroachment is less than 10 square metres in total area, the proposed carport provides for open areas, and has a further increased setback from the main wall of the dwelling(s).
<u></u>		Furthermore, the incorporation of landscaping and canopy trees also assists in the incorporation of the proposal into the streetscape by reducing bulk.
Β7	Building height The maximum building height should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, 11 metres. Changes of building height between existing buildings and new buildings should be graduated.	The building height being proposed is 5.32 metres, demonstrating compliance with this standard.
B8	Site coverage The site area covered by buildings should not exceed: The maximum site coverage specified in the schedule to the zone, or If no maximum site coverage is specified in the schedule to the zone, 60 per cent.	Total site coverage is 36.1%, demonstrating compliance with this standard.
B9	Permeability At least 20 per cent of the site should not be covered by impervious surfaces.	The proposal complies with this standard.
B10	Energy efficiency Buildings should be: Orientated to make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. Living areas and private open space	The proposal complies with this standard. The living areas of the dwellings are oriented to the rear, which generally faces northwest. Significant private open space areas are also provided in this direction.

	Standard	Officer's Comment
	should be located on the north side of	
	the development, if practicable.	
	Developments should be designed so	
	that solar access to north-facing	
	windows is maximised.	
B11	Open space	Not applicable to this application.
	If any public or communal open space	
	is provided on site, it should:	
	Be substantially fronted by dwellings,	
	where appropriate.	
	Provide outlook for as many dwellings	
	as practicable.	
	Be designed to protect any natural	
	features on the site.	
	Be accessible and useable.	
B12	Safety	The proposal complies with this
	Entrances to dwellings and residential	standard.
	buildings should not be obscured or	
	isolated from the street and internal	Entries are provided facing the
	accessways.	street. Plantings are designed to
	Planting which creates unsafe spaces	retain passive street surveillance
	along streets and accessways should	and there are no proposed walls
	be avoided.	that will prevent clear vision from
	Developments should be designed to	the driveway through to the entry
	provide good lighting, visibility and	door.
	surveillance of car parks and internal accessways.	There is additionally direct access
	Private spaces within developments	available through the laundry to the
	should be protected from	carport.
	inappropriate use of public	
	thoroughfares.	
B13	Landscaping	The proposal complies with this
	The landscape layout and design	standard.
	should:	
	Protect any predominant landscape	The site and streetscape are
	features of the neighbourhood.	currently without vegetation.
	Take into account the soil type and	
	drainage patterns of the site.	The proposal contains landscaping
	Allow for intended vegetation growth	plans for the site, which provide
	and structural protection of buildings.	canopy trees to the front and rear
	In locations of habitat importance,	yards and border plantings.
	maintain existing habitat and provide	
	for new habitat for plants and animals.	The species are assessed as being
	Provide a safe, attractive and	appropriate for the land and
	functional environment for residents.	conditions.
	Development should provide for the	
	retention or planting of trees, where	
	these are part of the character of the	
	neighbourhood. Development should provide for the	
	replacement of any significant trees	
	that have been removed in the 12	
	months prior to the application being	
	made.	
	The landscape design should specify	

	Standard	Officer's Comment
	landscape themes, vegetation	
	(location and species), paving and	
	lighting.	
B14	Access	The proposal complies with this
	Accessways should:	standard.
	Be designed to allow convenient, safe	
	and efficient vehicle movements and	The impact of the driveway design
	connections within the development	is considered low impact on the
	and to the street network.	neighbourhood character, and the
	Be designed to ensure vehicles can	on street car parking.
	exit a development in a forwards	
	direction if the accessway serves five	The street frontage is 17 metres.
	or more car spaces, three or more	Driveway width is cumulatively 6
	dwellings, or connects to a road in a	metres or 35% of the frontage,
	Road Zone.	which complies with the
	Be at least 3 metres wide.	requirement.
	Have an internal radius of at least 4	
	metres at changes of direction.	One on-street car parking space
	Provide a passing area at the entrance that is at least 5 metres wide	could reasonably and safety be retained between the two
		crossovers (8.9m). On street car
	and 7 metres long if the accessway serves ten or more spaces and	parking is not considered to be
	connects to a road in a Road Zone.	ideal given the pavement width is
	The width of accessways or car	7.5m between kerbs. Further
	spaces should not exceed:	discussion is provided in relation to
	33 per cent of the street frontage, or	the grounds for objection.
	If the width of the street frontage is	
	less than 20 metres, 40 per cent of the	
	street frontage.	
	No more than one single-width	
	crossover should be provided for each	
	dwelling fronting a street.	
	The location of crossovers should	
	maximise the retention of on-street car	
	parking spaces.	
	The number of access points to a road in a Road Zone should be minimised.	
	Developments must provide for access for service, emergency and	
	delivery vehicles.	
B15	Parking location	The proposal complies with this
210	Car parking facilities should:	standard.
	Be reasonably close and convenient	
	to dwellings and residential buildings.	Car parking facilities are deigned
	Be secure.	reasonably and securely, and in
	Be designed to allow safe and efficient	
	movements within the development.	
	Be well ventilated if enclosed.	There are no shared accessways.
	Large parking areas should be broken	
	up with trees, buildings or different	
	surface treatments.	
	Shared accessways or car parks of	
	other dwellings and residential	
	buildings should be located at least	
	1.5 metres from the windows of	

	Standard	Officer's Comment
	habitable rooms. This setback may be	
	reduced by 1 metre whether there is a	
	fence of 1.5 metres high or where	
	window sills are at least 1.4 metres	
	above the accessway.	
B17	Side and rear setbacks	The proposal complies with this
211	A new building not on or within	standard.
	150mm of a boundary should be set	
	back from side or rear boundaries:	The carport wall adjacent to the
	At least the distance specified in the	boundary has a height of 3.0
	schedule to the zone, or	metres, which is under the rescode
	If no distance is specified in the	requirement of 3.2 metres average
	schedule to the zone, 1 metre, plus	and 3.6 metres maximum.
	0.3 metres for every metre in height	
	over 3.6 metres up to 6.9 metres, plus	The main dwelling is located a
	1 metre for every metre of height over	sufficient distance from the
	6.9 metres.	boundaries.
	Sunblinds, verandas, porches, eaves,	
	fascias, gutters, masonry chimneys,	
	flues, pipes, domestic fuel or water	
	tanks, and heating or cooling	
	equipment or other services may	
	encroach not more than 0.5 metres	
	into the setbacks of this standard.	
	Landings having an area of not more	
	than 2 square metres and less than 1	
	metre high, stairways, ramps	
	pergolas, shade sails and carports	
	may encroach into the setbacks of this	
	standard.	
B18	Walls on boundaries	The proposal complies with this
	A new wall constructed on or within	standard.
	150mm of a side or rear boundary of a	
	lot or a carport constructed on or	The carport wall is within 1 metre
	within 1 metre of a side or rear	of the side boundary but less than
	boundary of a lot should not abut the	10 metres in length. There are no
	boundary for a length of more than:	other walls on boundaries.
	10 metres plus 25 per cent of the	
	remaining length of the boundary of an	
	adjoining lot, or	
	Where there are existing or	
	simultaneously constructed walls or	
	carports abutting the boundary on an	
	abutting lot, the length of the existing	
	or simultaneously constructed walls or	
	carports,	
	whichever is greater.	
	A new wall or carport may fully abut a	
	side or rear boundary where the slope	
	and retaining walls or fences would	
	result in the effective height of the wall	
	or carport being less than 2 metres on	
	the abutting property boundary.	
	A building on a boundary includes a	
	building set back up to 150mm from a	

	Standard	Officer's Comment
	boundary.	
	The height of a new wall constructed	
	on or within 150mm of a side or rear	
	boundary or a carport constructed on	
	or within 1 metres of a side or rear	
	boundary should not exceed an	
	average of 3 metres with no part	
	higher than 3.6 metres unless abutting	
	a higher existing or simultaneously	
	constructed wall.	
B19	Daylight to existing windows	The proposal complies with this
	Buildings opposite an existing	standard.
	habitable room window should provide	
	for a light court to the existing window	There are no windows affected by
	that has a minimum area of 3 square	the siting and massing of the
	metres and a minimum dimension of 1	proposed dwellings.
	metre clear to the sky. The calculation	
	of the area may include land on the	
	abutting lot.	
	Walls or carports more than 3 metres	
	in height opposite an existing habitable room window should be set	
	back from the window at least 50 per	
	cent of the height of the new wall if the wall is within a 55 degree arc from the	
	centre of the existing window. The arc	
	may be swung to within 35 degrees of	
	the plane of the wall containing the	
	existing window.	
	Where the existing window is above	
	ground floor level, the wall height is	
	measured from the floor level of the	
	room containing the window.	
B20	North-facing windows	The proposal complies with this
-	If a north-facing habitable room	standard.
	window of an existing dwelling is	
	within 3 metres of a boundary on an	There are no north-facing windows
	abutting lot, a building should be	affected by the siting and massing
	setback from the boundary 1 metre,	of the proposed dwellings.
	plus 0.6 metre for every metre of	_
	height over 3.6 metres, plus 1 metre	
	for every metre of height over 6.9	
	metres, for a distance of 3 metres	
	from the edge of each side of the	
	window. A north-facing window is a	
	window with an axis perpendicular to	
	its surface oriented north 20 degrees	
	west to north 30 degrees east.	
B21	Overshadowing open space	The proposal complies with this
	Where sunlight to the secluded private	standard.
	open space of an existing dwelling is	
	reduced, at least 75 per cent, or 40	There is no established open
	square metres with a minimum	space affected by overshadowing
	dimension of 3 metres, whichever is	from the proposed dwellings.
	the lesser area, of the secluded	Overshadowing will largely be

	Standard	Officer's Comment
	private open space should receive a	contained within the lot.
	minimum of five hours of sunlight	
	between 9 am and 3 pm on 22	
	September.	
	If existing sunlight to the secluded	
	private open space of an existing	
	dwelling is less than the requirements	
	of this standard, the amount of	
	sunlight should not be further reduced.	
B22	Overlooking	The proposal complies with this
	A habitable room window, balcony,	standard.
	terrace, deck or patio should be	
	located and designed to avoid direct	The proposal and neighbouring
	views into the secluded private open	dwelling are single storey and
	space and habitable room windows of	there is not substantial
	an existing dwelling within a horizontal	
	distance of 9 metres (measured at	for overlooking.
	ground level) of the window, balcony,	
	terrace, deck or patio. Views should	
	be measured within a 45 degree angle	
	from the plane of the window or	
	perimeter of the balcony, terrace, deck	
	or patio, and from a height of 1.7 metres above the floor level.	
	A habitable room window, balcony,	
	terrace, deck or patio with a direct	
	view into a habitable room window of	
	an existing dwelling within a horizontal	
	distance of 9 metres (measured at	
	ground level) of the window, balcony,	
	terrace, deck or patio should be either:	
	Offset a minimum of 1.5 metres from	
	the edge of one window to the edge of	
	another, or	
	Have sill heights of at least 1.7 metres	
	above floor level, or	
	Have obscure glazing in any part of	
	the window below 1.7 metres above	
	floor level, or	
	Have permanently fixed external	
	screens to at least 1.7 metres above	
	floor level and be no more than 25 per	
	cent transparent.	
	Obscure glazing in any part of the	
	window below 1.7 metres above floor	
	level may be open able provided that	
	there are no direct views as specified	
	in the standards.	
	Screens used to obscure a view should be:	
	Perforated panels or trellis with a	
	maximum of 25 per cent openings or solid translucent panels.	
	Permanent, fixed and durable.	
	Designed and coloured to blend in	

	Standard	Officer's Comment
	with the development. This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier of at least 1.6 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.6 metres above ground level at the boundary.	
B23	Internal views Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.	The proposal complies with this standard. No windows are overlooking.
B24	Noise impacts Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.	The proposal complies with this standard. Services to the proposed dwelling will be located in close proximity to the outer walls, which are set back approx. 3 metres from a boundary, and a further 4-6 metres to habitable rooms on the adjacent property.
B25	Accessibility The ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.	The proposal complies with this standard. There would need to be modifications to the front entry to provide for all abilities access. The dwelling is ground floor only.
B26	Dwelling entry Entries to dwellings and residential buildings should: Be visible and easily identifiable from streets and other public areas. Provide shelter, a sense of personal address and a transitional space around the entry.	The proposal complies with this standard. Front entrance is identifiable from the street and easily visible. A footpath is provided to each dwelling. Shelter is provided.
B27	Daylight to new windows A window in a habitable room should be located to face: An outdoor space open to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot,	The proposal complies with this standard. All habitable rooms have windows open clear to the sky.

	Standard	Officer's Comment
	or A verandah provided it is open for at least one third of its perimeter, or A carport provided it has two or more open sides and is open for at least one third of its perimeter.	
B28	 Private open space A dwelling or residential building should have private open space of an area and dimensions specified in the schedule to the zone. If no area or dimensions is specified in the schedule to the zone, a dwelling should have private open space consisting of: An area of 40 square metres, with one part of the private open space to consist of secluded private open space to space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room. 	
B29	Solar access to open space The private open space should be located on the north side of a dwelling, if practicable. The southern boundary of secluded private open space should be set back from any wall on the north of the space at least (2 + 0.9h) metres, where 'h' is the height of the wall.	The private open space is located to the northwest of each dwelling.
B30	Storage Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.	The proposal complies with this standard. Storage is shown on the plans behind the carports of each dwelling.
B31	Design detail The design of buildings, including: Façade articulation and detailing, Window and door proportions, Roof form, and Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character.	The proposal complies with this standard. The proposal respects the surrounding character and design of neighbouring dwellings, mimicking roof pitch, front entry, and cladding.

	Standard	Officer's Comment
	Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.	Carports are setback of the main dwellings to be less visually dominant.
B32	Front fences The design of front fences should complement the design of the dwelling and any front fences on adjoining property. A front fence within 3 metres of a street should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, the maximum height specified in Table A2/B3.	The proposal complies with this standard, as no front fence is proposed.
B33	Common property Developments should clearly delineate public, communal and private areas. Common property, where provided, should be functional and capable of efficient management.	Not applicable as no common property is proposed.
B34	Site services The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically. Bins and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post.	The proposal complies with this standard. The dwellings will be able to access services equitably to the front and rear. A drainage and sewerage easement is provided at the rear of the property. Bin enclosures and mailboxes are considered reasonable and accessible for potential residents. Bin enclosures are screened from view at the rear of the proposed carports. Mailboxes are located alongside the footpath and adjacent to the driveway, being convenient for both residents and Australia Post.

GENERAL PROVISIONS

Objections

As previously stated, 44 objections have been received in relation to the proposal. It is critical to note that the objections substantially relate to concurrent planning permit applications for development of two dwellings on a lot in relation to 5, 8, 12, 13, 14, 16, and 17 Glendon Drive, Eastwood. The nature and content of the 44 objections is largely the same and has been summarised in this report.

The assessment of a single planning permit application for development of two dwellings on a lot by the responsible authority cannot address matters such as:

- Cumulative impact of the planning permit applications;
- The proposed tenancy of the dwellings to be constructed; that is, that they are owned by the Office for Housing and may be used for social housing; and
- Property valuation outcomes as a result of the above factors, nor even for the impact associated with the singular proposal.

1. Not in accordance with neighbourhood character, loss of streetscape

The assessment of the planning permit application must consider the impact of two dwellings on a lot. It is put that there may be an expectation that a single dwelling would be constructed on the lot as is the standard practice for the Eastwood Estate. That 12 lots are currently vacant on Glendon Drive out of 21 lots total means that the majority of the street character has not been established.

There are several existing examples of duplex dwelling development within the vicinity. Even the neighbouring properties at 2 Glendon Drive and 93 Flinns Road are of the same dwelling density, although not duplex construction. This is repeated on all four corners of this intersection.

In relation to the broader neighbourhood, there are further examples of similar dwelling density. Many of the objectors state that they would be satisfied with only one of the currently vacant lots in common ownership being developed with a duplex.

The proposal is not out-of-character for the neighbourhood or streetscape. There are 11 other lots to be developed in the street, which is more than half of the total properties on the street. As such, streetscape is emerging and can be altered.

2. Loss of property value

The majority of objectors raise this ground, which is an economic consideration, not a planning consideration. It is noted that the cost of development per dwelling might be significantly less than that of the surrounding dwellings, however this can be attributed to the economies of scale associated with duplex development. Economic valuation should be tenure blind, and normally takes into consideration market and sale values of surrounding property.

3. Traffic Impacts and street parking, road safety

Each dwelling is provided with two off-street car parking spaces, including one under cover space, which meets the car parking standards of the Scheme. For convenience purposes, the majority of traffic would make the direct connection to Flinns Road which is a neighbourhood connector street. The design capacity of this street is suitable to accommodate a traffic yield of 10 vehicle movements per day above what would be anticipated from a single dwelling being constructed on the subject lot.

Minimal provision of on-street car parking would result from the narrow bitumen seal 7.75 metres with kerb and channel. Footpaths are constructed adjacent to the property frontages. Crossover locations for each dwelling is adjacent to the side lot boundaries. There would be ability to park a maximum of one car in front of the lot on-street without blocking one of the proposed driveways.

Glendon Drive is the primary connection for The Backwater, being less circuitous than the other egress at Gree Keeluk Place. This already represents a significant volume of traffic, with further development to occur as a result of several lots remaining vacant. There will be negligible detriment as a result of the proposal assessed on its merit.

4. Social impacts, particularly the negative impacts from social housing

Valid concern is raised in relation to the social impact of the proposal in accordance with local planning policy. Additional information has been obtained in line with Council's Guidelines, however the nature of the Social Impact Comment rightly does not focus on the socioeconomic issues, as planning must be tenure blind in relation to proposals for residential development. As such, no further investigation is required.

5. General amenity and noise concerns

The issue of noise and general amenity is a discriminatory assumption based on the proposal being for social housing purposes. Planning must not consider this impact, especially in relation to proposals where the individual impact could reasonably be nil.

6. Use for crisis/emergency accommodation

It is considered that this concern is arose primarily in response to a past proposal for a 6 unit community care accommodation facility at 12-16 Glendon Drive. To some extent it has not been made clear from the proposal whether some aspect of that use will be transferred to the dwellings proposed, however that cannot be considered with respect to the assessment of this application, which relates to construction of two dwellings.

The planning scheme provides that places of community care accommodation, including shelters, refuges, and crisis accommodation should be exempt from planning consideration and afforded privacy and secrecy. As the individual planning applications are for two dwellings on a lot, Council should not further consider which of the dwellings, if any, would be used for community care accommodation.

7. Concerns regarding inability to organise, length of time to object

Adequate time has been afforded between the provision of notice and the determination. A public meeting was undertaken, following appropriate social distancing protocols and with ample assistance with relation to technology.

On balance of consideration of the objections, which largely relate to the broader impacts of cumulative development proposals and tenancy of the proposal, it is recommended that the responsible authority make its determination with respect to the East Gippsland Planning Scheme provisions, and resolve to issue a notice of decision to grant a planning permit.

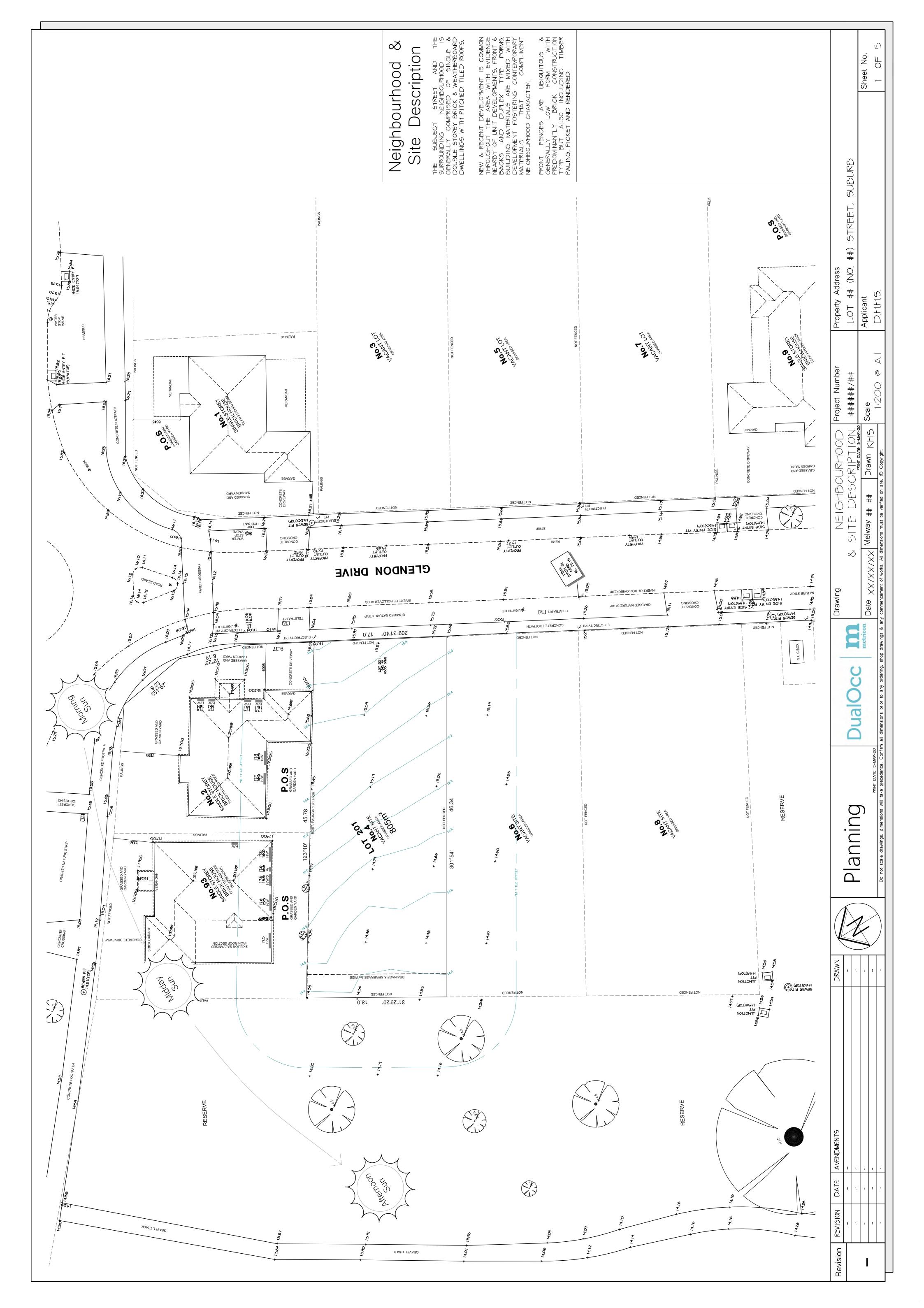
Section 60 and Clause 65

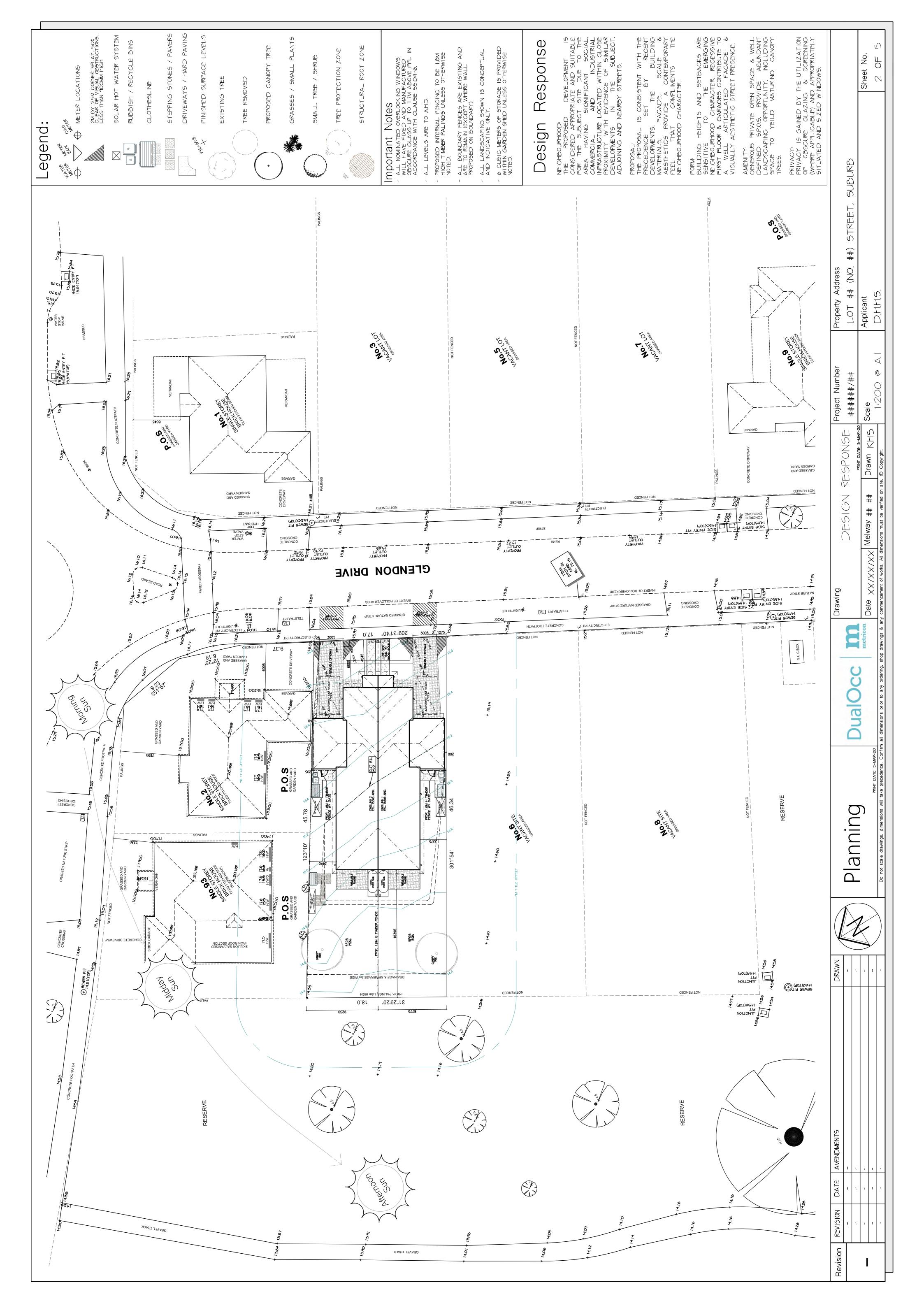
The application presents no detriment to the environmental values of the land or to the amenity of the area. The proposal is an acceptable planning outcome that is consistent with the objectives of planning in Victoria.

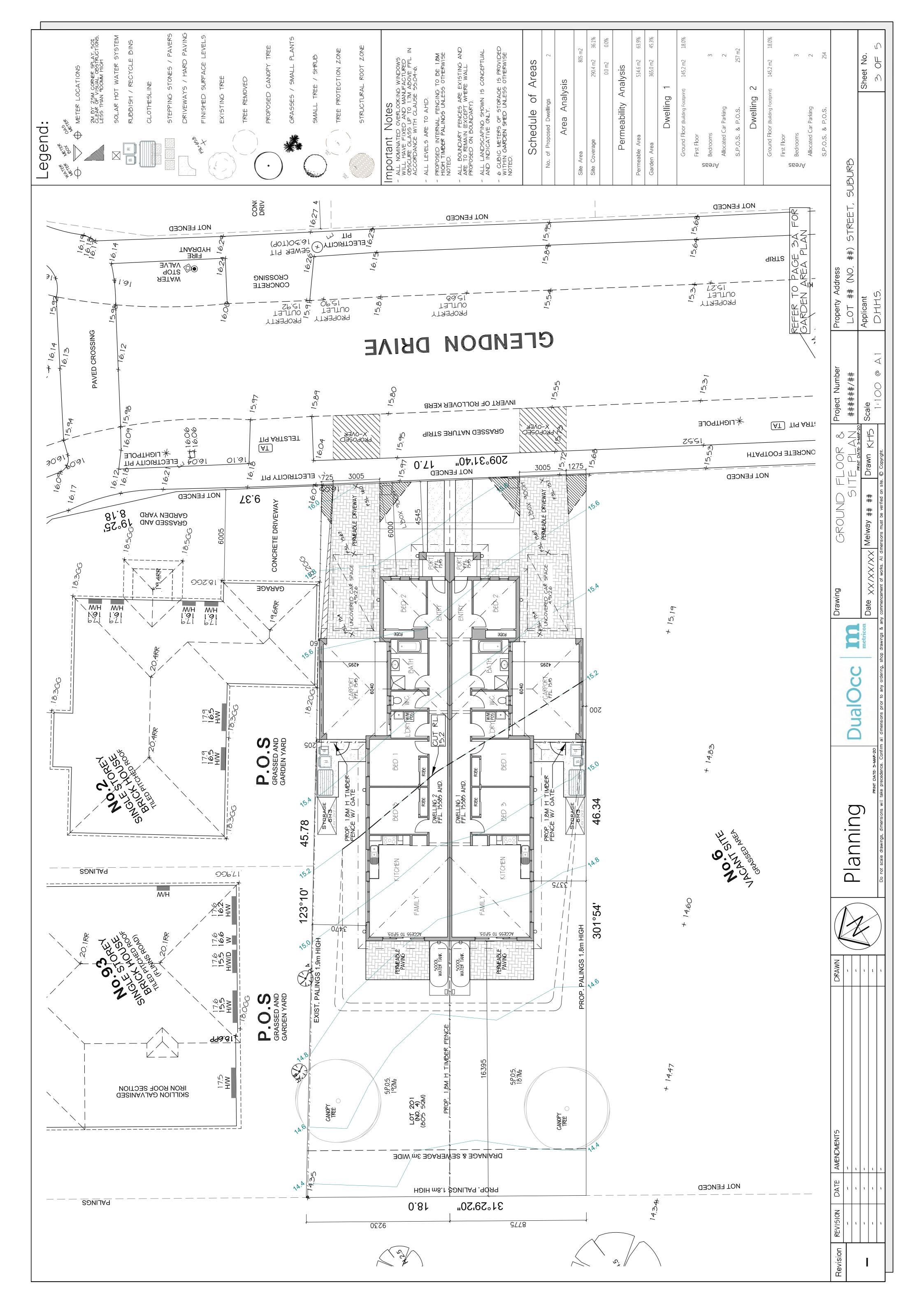
CONCLUSIONS & RECOMMENDATION

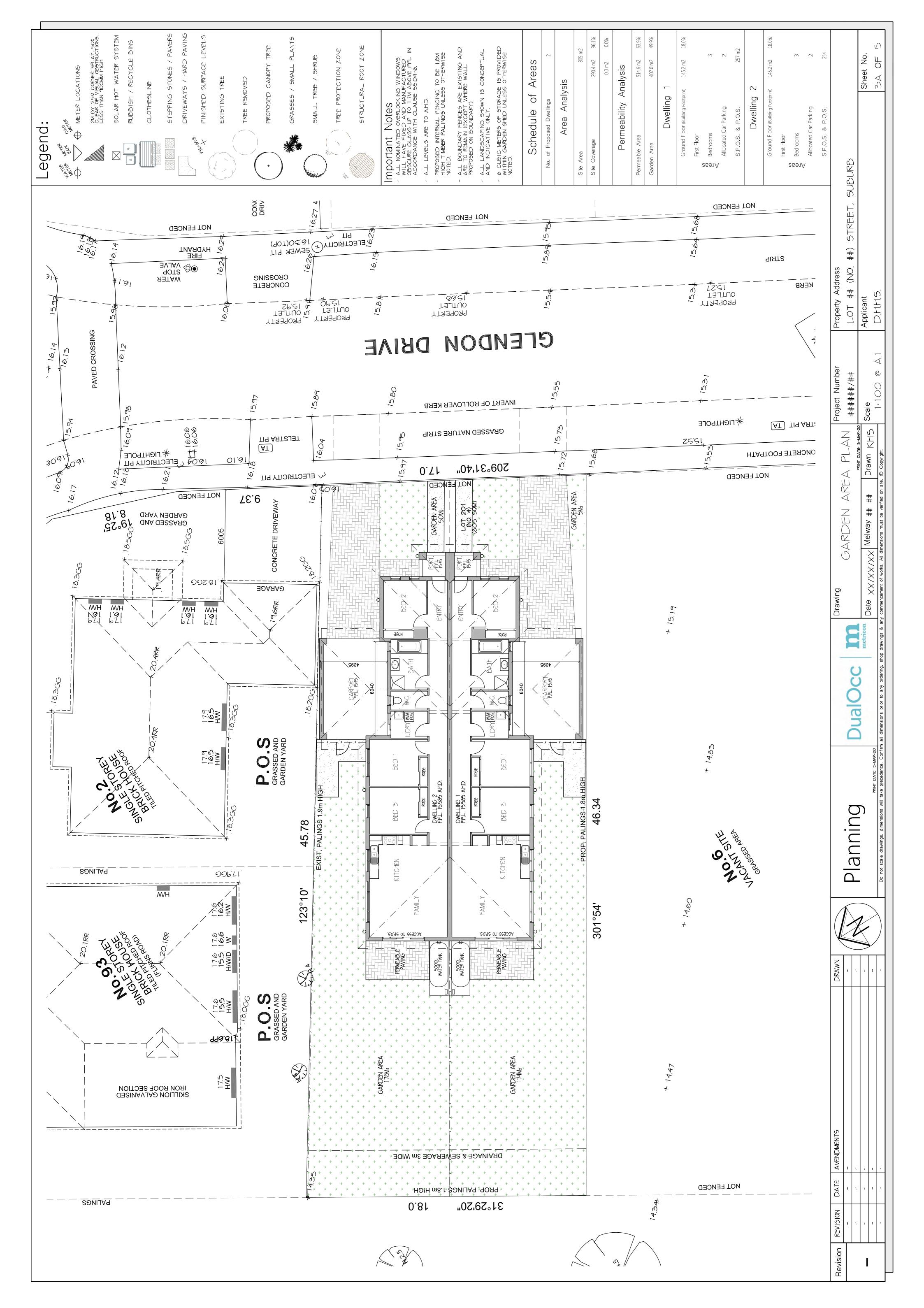
The application is consistent with the planning scheme and is suitable for Council support.

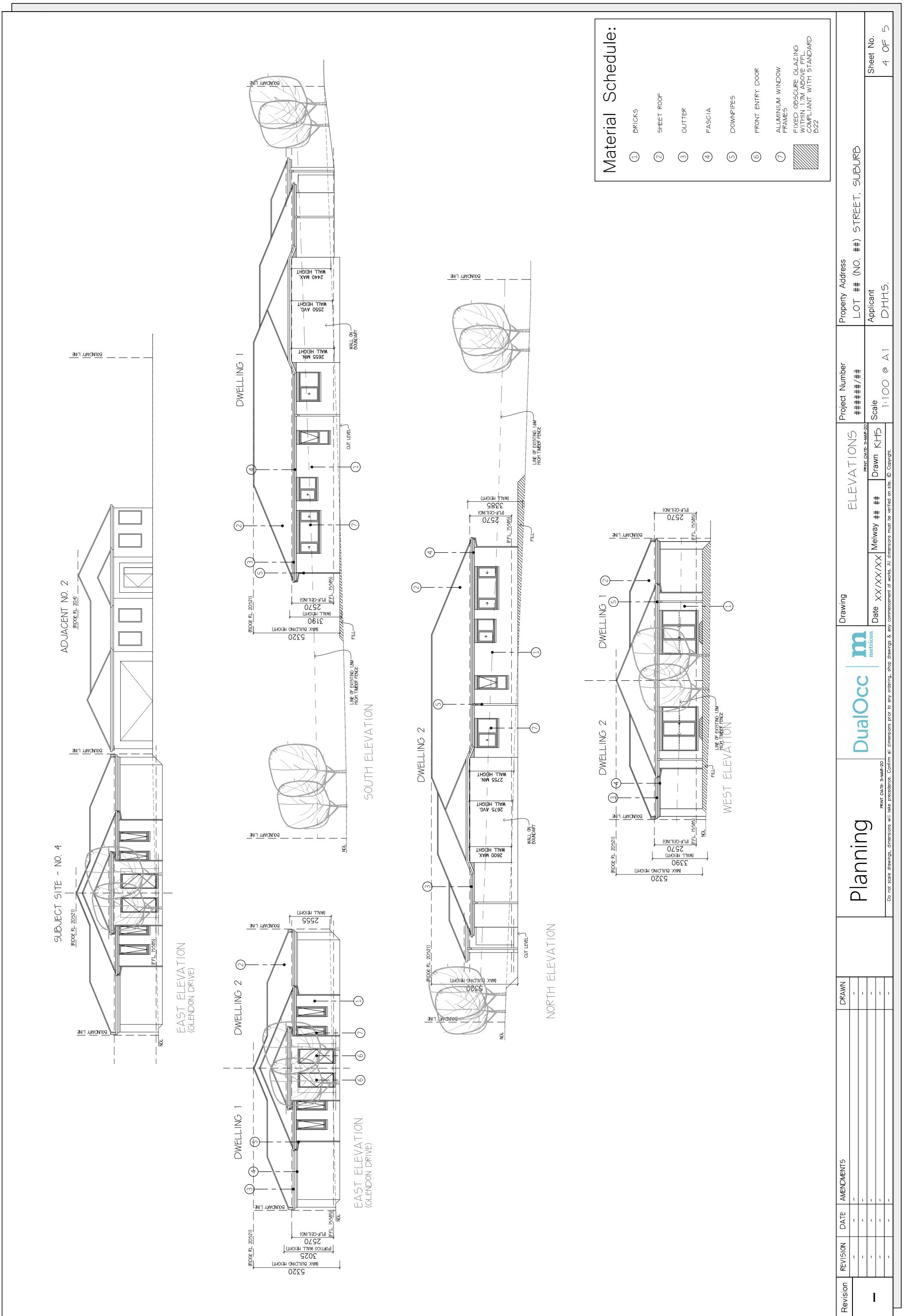
It is recommended that a notice of decision to grant a planning permit be issued subject to standard development conditions.



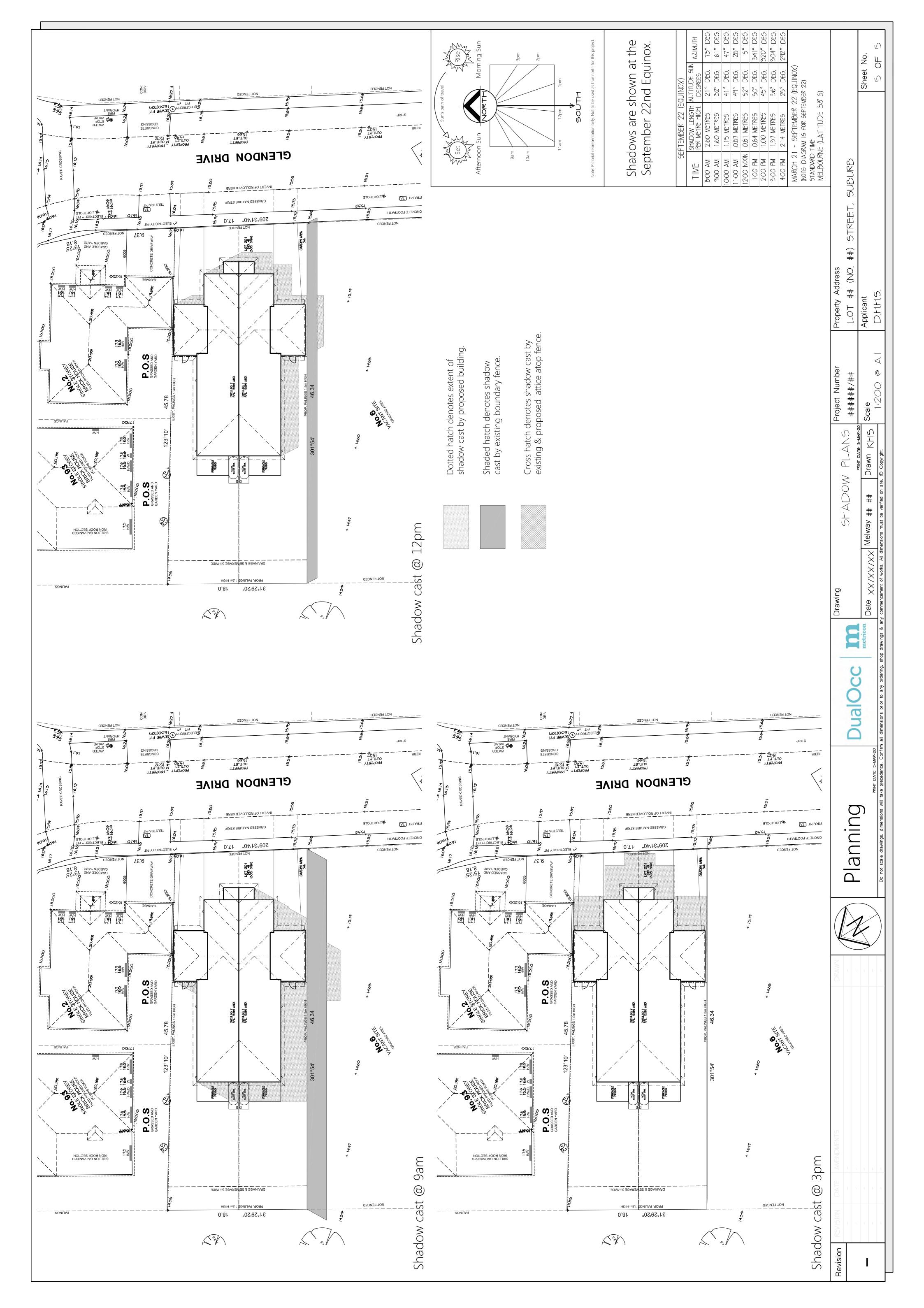


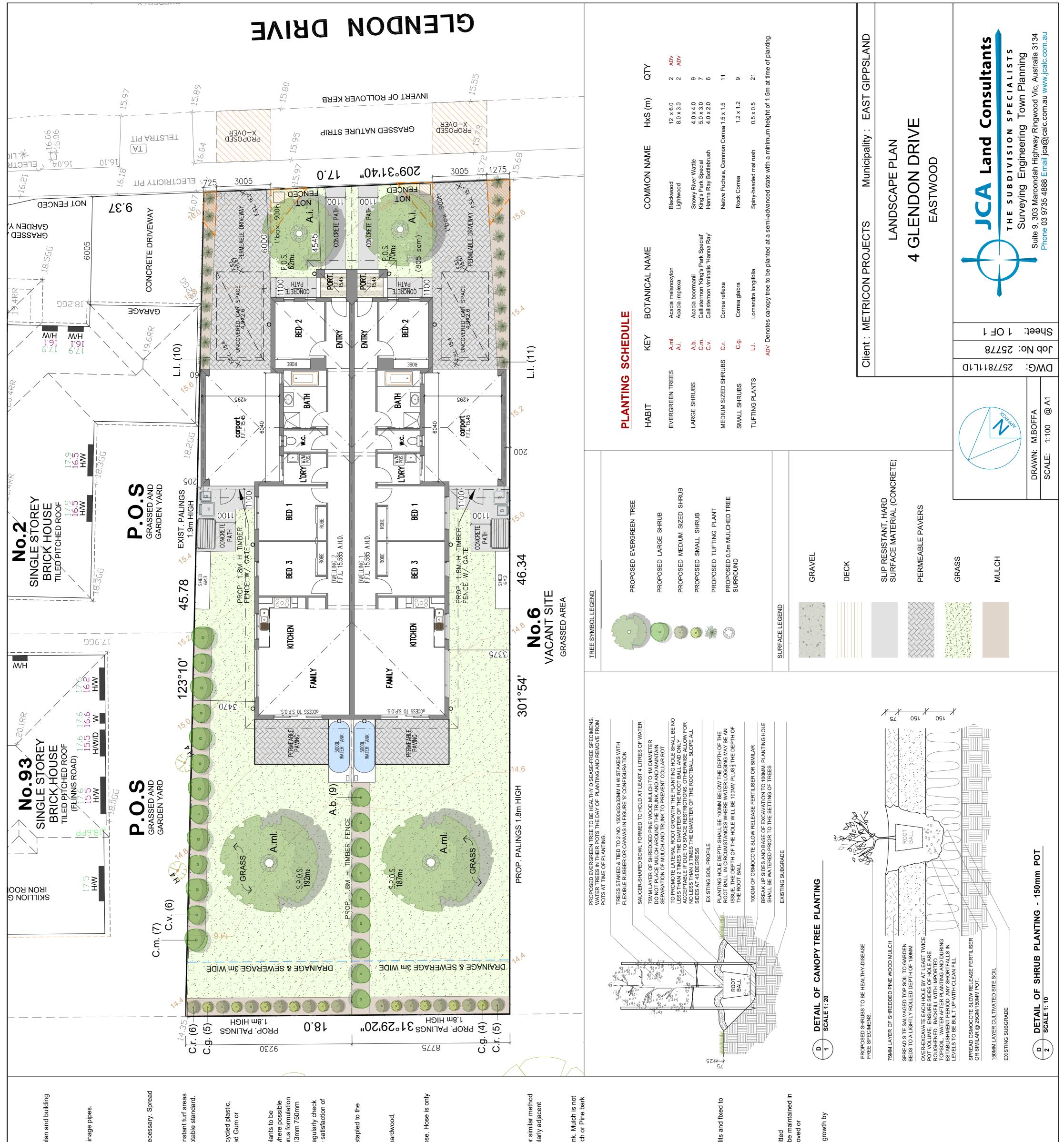






Planning Dualocc Image Drawing Print DATE: S-MAR-20 Dualocc Date X/X/X/X Drot scale drawings, dimensions will take precedence. Confirm all dimensions prior to any ordering, shop drawings & any commencement of works. All dimensions must be verified on
Planning Do not scale drawings, dimensions will





GENERAL NOTES

This plan has been generated as part of a development proposal and should be read in conjunction with site layout pla elevations plan.

VEGETATION:

Existing trees, shrubs and groups of trees as indicated thus are to retained and protected during site works Careful sitting of trees. It is inadvisable to plant them under power lines or electricity supply lines or over water or drair Existing vegetation protection to be carried out during construction in accordance with the relevant council authority. ated on the drawing are set out to scale. Contractor must insure that the plants are set out accurately. PLANT SETOUT: Plants indicated on

SOIL PREPARATION: Cultivate existing soil to 100mm depth and spread 150mm of good quality, weed free topsoil. Apply gypsum where ne 75mm bark or shredded wood mulch to garden beds.

Seed or instant turf on 75mm lawn mix topsoil. A noninvasive grass species is to be utilised. Ensure seed bed and ins are kept moist during the establishment period. A rye grass mix is usually best for producing hardy lawns of an accept Appropriate grass species include: Queensland blue grass, Weeping grass or Kentucky bluegrass. LAWNS: Seed or i

GARDEN EDGING: To define garden beds and lawn areas, garden edging is to be utilised. Acceptable products include: treated pine, recy molded concrete, plantation grown Sugar Gum, brick edging or local stone. Timber edging must not utilise Jarrah, Red Cypress Pine unless it can be demonstrated that they are a recycled product.

PLANTS & PLANTING

Prior to planting, areas will be sprayed with roundup herbicide twice with a period of 6-8 weeks between sprays. All plants to be healthy disease-free specimens. Plants are to be sourced from a supplier of locally-provenanced indigenous plants where possi (Contact: Locale nursery). Over excavate all plant holes by at least twice pot volume. Spread osmocote low-phosphorus formula fertiliser to each plant hole at the rate of 25 gms/Ea Install heavy duty plastic treeguard sleeves over heavy duty 11-13mm 750n bamboo stakes to all tubes except grasses. Mark grasses with a single 13mm bamboo stake. Immediately after planting water in all plants and maintain regular follow-up watering during establishment period. Regularly che planting to maintain treeguards sleeves and stakes. All plant deaths within the first 12 months will be replaced, to the satisfaction the responsible authority.

similar, sta Where climbing plants have been located adjacent to fencing, fix 100x100x2mm galvanised gardenmesh or fence with galvanised staples. CLIMBERS

STAKING:

Staking to be completed immediately after planting. Plants to stand plumb after staking. All stakes shall be durable har straight, free from knots and twists and pointed at the end. All staking to avoid hitting rootball.

IRRIGATION: Install tap points to front and rear garden areas of each unit to facilitate watering of front and rear garden areas by hos to be used if a trigger nozzle has been fitted.

DRAINAGE: Refer to architectural or engineering plans for stormwater and drainage pit locations. All paved areas in rear gardens are to have a grade of 2.5% minimum, away from buildings. All grades, levels and drainage to comply with relevant building codes and council planning requirements.

SERVICES:

Contractors are to determine the location of all underground and overhead services prior to construction.

BUILDING STRUCTURES: The use of this plan and planting of trees, shrubs, etc as specified may require the provision of root control barriers or sim of controlling root growth to avoid intrusion into adjacent areas or building foundations. Any areas of concern (particularly existing established buildings or structures) should be addressed by the recommendations of a structural engineer.

MULCH:

Spread 75mm bark or shredded wood mulch to garden beds. All trees to be mulched to a 500mm radius from the trunk. to be derived from threatened forest communities such as Jarrah and Red Gum (unless available on site). Eucy-mulch mulch to be used.

400x400mm concrete pavers on F.C.R. and sand base to areas indicated. (or similar substituted materials)

LILYDALE TOPPINGS OR PEBBLES: 75mm crushed rock base 50mm top layer of toppings or pebbles. (other materials as appropriate)

RETAINING WALLS: Refer to architectural plans if required.

BATTER: 1 in 1.5 ea

1 in 1.5 earth batter (fill) stabilised with boulders to 1m diameter and planting as per plan. Note that sections of batters that need additional stabilising are to be covered with geofabric provided with planting slits batter with galvanised steel stakes. Batters to be mulched with shredded wood rather than bark to ensure stability. Refer to architect or draftsmans instructions. Refer to section drawings if supplied.

MAINTENANCE PLAN:

The landscape works as shown on the endorsed plan must be carried out within 3 months of completion of the permitted development. The garden areas shown on the endorsed plan and schedule shall only be used as gardens and shall be m a proper, tidy and healthy condition to the satisfaction of the Responsible Authority. Should any tree or shrub be removed destroyed it may be required to be replaced by a tree or shrub of similar size and species.

any weed gi Regularly water garden beds and lawn areas during establishment period and during dry spells. Eradicate physical removal or spraying with glyphosate based herbicide.

A 12 month maintenance plan is required for: Weed control - regular control of environmental weeds to be carried out monthly. Irrigation - to be in accordance with the current government and local council regulations at the time of construction. Plant trimming - regular trimming is to be carried out in accordance with the individual requirements of each specie.

1:100 4 $\mathsf{A1}$ Driginal sheet size

IMPORTANT NOTE:
THIS PLAN IS INTENDED AS GUIDE ONLY.
ALL DIMENSIONS, LOCATIONS ETC ARE TO BE VEREIFIED ON SITE
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JCA LAND CONSULTANTS ACCEPTS NO RESPONSIBILITY OR LIABILITY AS A RESULT OF ERRORS OR OMISSIONS ON THIS PLAN.

Material Schedule:				
NUMBER	SAMPLE	BRAND	COLOUR	DESC.
1		SELKIRK	GOLDFIELD HAZE (OR SIMILAR)	BRICKS
2		COLORBOND	MONUMENT (OR SIMILAR)	SHEET ROOF
3		COLORBOND	MONUMENT (OR SIMILAR)	GUTTER
4		COLORBOND	MONUMENT (OR SIMILAR)	FASCIA
5		COLORBOND	EVENING HAZE (OR SIMILAR)	DOWNPIPES
ALUMINIUM WINDOW FRAMES				
FIXED OBSCURE GLAZING WITHIN 1.7M ABOVE F.F.L. COMPLIANT WITH STANDARD B22.				

DETAILED PLANNING REPORT

Permit Application: 92/2020/P

5 Glendon Drive EASTWOOD Lot 218 PS 542289

Development of the land for two dwellings

This report has been prepared to document the statutory planning assessment pursuant to the provisions of the *Planning and Environment Act 1987* and *Local Government Act 1989*.

KEY DETAILS

Subject address	5 Glendon Drive EASTWOOD
	Lot 218 PS 542289
Land owner	Office of Housing
Applicant	Clement-Stone Town Planners
Land area	728 sqm
Zone	General Residential Zone 1
Overlays	Nil
Cultural sensitivity	The land is not culturally sensitive
Site inspected	The site has been subject to several inspections by the reporting officer, including through the notice period to ensure the notices were in place and not vandalised or removed.
Restrictions on Title	There are restrictions on title which have been assessed and the proposal is compliant. Particularly, the proposal meets the intent of the covenant by being a duplex dwelling, being clad primarily in brick, and having an area of 114 sqm measured from the outer walls.

PROPOSAL DETAILS/DISCUSSION

The application currently before Council seeks approval for development of two (2) dwellings on a currently vacant allotment.

Site Analysis

The subject lot is 728 square metres, currently vacant with no vegetation. A very slight slope runs high at the rear boundary down to the front. There is a vacant lot on each side of the lot. Two dwellings are developed over the southeast (rear) boundary. There are 12 total vacant lots in the street. *Figure 1* demonstrates the site in neighbourhood context.



Figure 1: the subject land (highlighted red) in the neighbourhood context.

The lot is generally rectangular in shape and is provided with a standard frontage to Glendon Drive. Reticulated sewer, water, power, and natural gas are available. NBN Connection is available (fibre to the node). There are no registered easements on the lot. Footpaths are constructed on both sides of the street, which is also provided with a 7.5m wide sealed road with kerb and channel drainage.

Glendon Drive connects to The Backwater to the South via a traffic calming Tintersection and Flinns Road to the north via a roundabout. The Backwater, especially lots to the south side of the street, is considered a premium development area due to the amenity and outlook to Bairnsdale CBD overlooking the Mitchell River and Mitchell River Backwater/Reserve. Flinns Road is a neighbourhood collector street, connecting from Great Alpine Road in the Southeast to Howitt Avenue in the North – with Howitt Avenue connecting to Bullumwaal Road in the west of Eastwood and servicing the commercial and school precinct in central Eastwood. On the corner of Flinns Road and Glendon Drive, the corner lots are approximately half the size of the average lot for the immediate area.

Schools, shops, and other amenities can be accessed on foot. Bairnsdale CBD is a five-minute drive.

Proposal

The proposed development includes:

- A duplex dwelling, each dwelling having 3 bedrooms, open plan living/dining/kitchen, central bathroom & laundry, central corridor and front entry on shared boundary wall;
- external carport, single crossover and driveway to each dwelling, with room for 'stacked' parking up to 2 vehicles off-street;
- a 5000-litre rainwater tank to each dwelling to promote water sensitive urban design principles;

- externally accessed store, bin storage area and clothes drying area, plus a standalone mailbox to each dwelling; and
- landscaping provision for 2 canopy trees (front and rear) and other plantings to each dwelling.

The proposed plan set is shown in *Figures 2 through 5*. Full development plans are attached to this report.

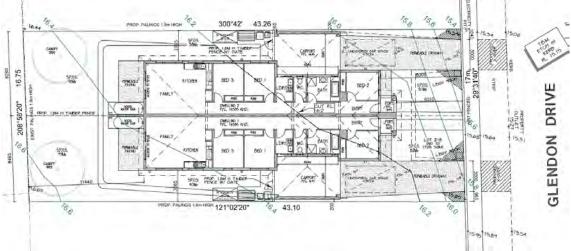


Figure 2: Proposed Site and Floor Plan

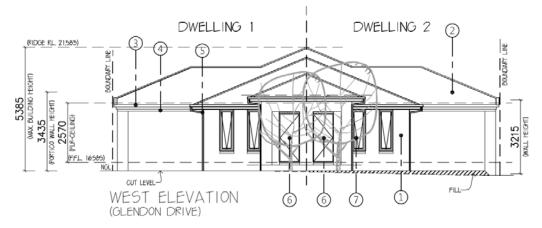


Figure 3: Proposed Street Elevation

UMBER	SAMPLE	BRAND	COLOUR	DESC.
1		PGH	INIRRAJONG (OR SIMILAR)	BRICKS
<u>z</u>		COLORBOND	MONUMENT (OR SIMILAR)	SHEET ROOF
111		COLORBOND	MONUMENT (OR SIMILAR)	GUTTER
4		COLOREOND	MONUMENT (OR SIMILAR)	FASCIA
- 19		COLORBOND	MONUMENT (OR SIMILAR)	DOWNFIPES

Figure 4: Proposed Materials Schedule

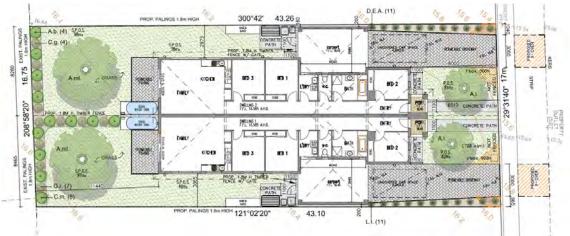


Figure 5: Proposed landscape plan

Control	Clause(s)	Consideration
General Residential Zone 1	32.08-6	Construct two dwellings on a lot
Two or more dwellings on a lot	55	Two dwelling ResCode assessment

Cultural sensitivity

Pursuant to the *Aboriginal Heritage Regulations 2018,* a Cultural Heritage Management Plan (CHMP) is not required as the land is not mapped as having values of cultural heritage.

REQUEST FOR FURTHER INFORMATION

Pursuant to Section 54 of the *Planning and Environment Act 1987*, additional information was sought by Council during the assessment of the application. The information sought was:

• A Social Impact comment pursuant to Clause - 21.07-3 Sustainable Development, Strategy 1.2 in accordance with the *Social Impact Assessment Guidelines for Development Applications* (East Gippsland Shire Council May 2015)

The applicant submitted the required information and satisfied the request. No further social impact assessment is warranted.

REFERRAL AUTHORITIES

The application was not subject to mandatory external referrals.

INTERNAL ADVICE

DEPARTMENT	SCOPE OF ADVICE	OUTCOME
Senior Technical Officer -	Drainage, Access, Roads	Advice provided
Development	_	
Municipal Building	ResCode	Advice provided
Surveyor		

General Technical advice only was provided, as the Street is generally fully serviced, and the proposal meets the requirements for on-site services including drainage and car parking. More discussion is available in relation to the broader proposal for concurrently assessed proposals within the same street.

General Building Surveyor advice was provided in relation to ResCode issues, specifically the clarification regarding minor variations to street setback.

PUBLIC NOTIFICATION

Advertising Required:

Public notification was undertaken in the form of letters to adjoining landowners and a sign was placed on site in accordance with Section 52 of the Planning and Environment Act 1987.

44 objections have been received at the time of writing this report.

A statutory declaration has been provided that confirms notification was undertaken as directed and that the responsible authority will not decide on the application before 28 April 2020.

An assessment of the objections is provided within the General Provisions section of this report.

REPORT – PLANNING CONSIDERATION

Planning Policy Framework (PPF)

The assessment of the application before Council requires assessment against Planning Policy Framework.

The clauses that have an influence upon the assessment of this application include:

- 11 Settlement
 - Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing
- 15 Built Environment and Heritage
 - Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.
 - Planning should promote excellence in the built environment and create places that:
 - Are enjoyable, engaging and comfortable to be in.
 - Accommodate people of all abilities, ages and cultures.
 - Contribute positively to local character and sense of place.
 - Reflect the particular characteristics and cultural identity of the community.
 - Enhance the function, amenity and safety of the public realm.
 - Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale and massing of new development.
 - Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.
 - Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.
 - Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.
 - Ensure development responds to cultural identity and contributes to existing or preferred neighbourhood character.

16 Housing

- Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.
- Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.
- Planning for housing should include the provision of land for affordable housing.
- Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.
- Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.
- Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.
- Facilitate the delivery of high quality social housing.
- Increase the proportion of new housing in designated locations within established urban areas and reduce the share of new dwellings in greenfield and dispersed development areas.

- Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.
- Ensure an adequate supply of redevelopment opportunities within established urban areas to reduce the pressure for fringe development.
- Facilitate residential development that is cost effective in infrastructure provision and use, energy efficient, water efficient and encourages public transport use.
- Identify opportunities for increased residential densities to help consolidate urban areas.
- Facilitate diverse housing that offers choice and meets changing household needs through:
 - A mix of housing types.
 - Adaptable internal dwelling design.
 - o Universal design.
- Encourage the development of well-designed medium-density housing that:
 - Respects the neighbourhood character.
 - o Improves housing choice.
 - Makes better use of existing infrastructure.
 - Improves energy efficiency of housing.
- Support opportunities for a range of income groups to choose housing in wellserviced locations.
- Increase the supply of well-located affordable housing by:
 - Facilitating a mix of private, affordable and social housing in suburbs, activity centres and urban renewal precincts.
 - Ensuring the redevelopment and renewal of public housing stock better meets community needs.
- Facilitate the delivery of social housing by identifying surplus government land suitable for housing.

Assessment:

11 Settlement: The application meets the objectives of this clause. The development allows for an increase in land that is for residential development. It also provides for growth in population, while preserving the natural resources of the land and remains sensitive to the surrounding character.

15 Built Environment and Heritage: The application meets the objectives of this clause. The building design and the urban design contribute to the character and cultural identity to the surrounding area. The applicant has made a clear effort to respond to the strategic and cultural context of the area.

16 Housing: The application meets the objectives of this clause. The development is considered favourable as it promotes a housing market that meets the community needs, by increasing the supply of housing. The site is situated in a location that is considered appropriate to increase the supply of housing. As per clause 16.01-3s, the proposal provides a greater range of housing types. As per clause 16.01-4s, the proposal also facilitates the proposal of social housing within the municipality. The proposal assists with providing additional housing needed to accommodate the population growth in the region.

Municipal Strategic Statement (MSS)

Council is required to consider Local Policy as a part of this assessment.

Local Policy clauses that are relevant include:

21.03 Settlement

• Ensure a range of lot sizes and dwelling types to provide diversity and choice in new residential areas.

- Support infill medium density housing close to Bairnsdale CBD to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.
- Support residential infill development within existing residential zones identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.
- 21.07 Built Environment and Heritage
 - Encourage high standards of design in all new developments, with special emphasis on urban areas, coastal and lakeside areas and other localities of high landscape quality, and land adjacent to parks and reserves.
 - Ensure that future development contributes to the achievement of liveable, productive and sustainable communities in East Gippsland.
 - Require proposals for new development, land use, infrastructure and changes in policy to consider social impact through the preparation of social impact comments and/or assessments as identified in the East Gippsland Shire Council Social Impact Assessment Guidelines for Development Applications.

21.08 Housing

- Cater for the housing needs and preferences of all segments of the community.
- Encourage the supply of elderly persons' housing in the main centres and facilitate development of community housing.
- Encourage the building and construction sector to provide a range of housing types and styles including higher density dwellings in town centres, to provide choice for consumers.
- Support infill medium density housing and a mix of housing types close to Bairnsdale CBD and key locations to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and on Plan 1 Housing Diversity.
- 21.12 Strategies for Sub-Regions, Towns and Localities

Lakes & Coastal

- Encouraging population growth and development in fully serviced residential land in the major towns
- Continue to encourage residential development within the urban areas already zoned residential.
- Future development should continue in [Brookfield] Lakes and Shannon Waters Estate (see Plan 3 Revitalisation and Growth Strategy).
- Support residential infill development within existing residential zones identified within the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

Assessment:

Settlement: The development allows for an increase in diverse housing types, and makes better use of the community's urban infrastructure. The proposal provides a land supply that attempts to accommodate the future population growth within Bairnsdale.

Housing: the proposal accommodates for the increase in Bairnsdale's future population growth. Catering for this increase in housing needs is a key objective of this clause, and the proposal addresses this successfully. Furthermore, the building of more social housing is likely to benefit those in the community that are most vulnerable, such as low income people, so the proposal addresses the social considerations that are

needed when assessing an application. The proposal also promotes a greater diversity of housing types.

Strategies for Sub-Regions, Towns and Localities: the property is located in the "lakes and Coastal" area, and is considered to fulfill the objectives of this region. For example, it increases the housing supply in the area, taking advantage of the surrounding infrastructure and transport access, which caters for the changing needs of the area and increasing population of the area.

GENERAL RESIDENTIAL ZONE 1

Purpose:

To encourage development that respects the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

Key Decision Guidelines:

General issues

- The purpose of this zone.
- The objectives set out in a schedule to this zone.
- Any other decision guidelines specified in a schedule to this zone.
- The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.

Dwellings and residential buildings

• For the construction and extension of two or more dwellings on a lot,..., the objectives, standards and decision guidelines of Clause 55.

Assessment:

It is assessed that the proposal meets the requirements and objectives of the zone. The design of the proposed dwellings successfully responds to the neighbourhood character of the area through criteria such as the garden area and landscaping, building heights, materials used, form, and also the architectural design. Assessment is based on the existing conditions, including that 11 additional lots within the street are currently vacant.

The proposal is considered greenfield rather than infill development, as the lot has not been developed since being created by subdivision in 2006. The proposal can be considered housing growth due to its increased density. The proposal is located in reasonable walking distance of a range of shops and services, inclusive of retail, medical, dental, veterinary, child care, and primary school.

Clause 32.08-4 states that the minimum garden area for a lot greater than 650 sqm is 35%. The proposal meets this criteria with a garden area of 310 sqm or 42.6%.

Assessment of clause 55 in accordance with the requirements of Clause 32.08- is provided in the particular provision section of this report.

Clause 32.08-10 states that the maximum building height must not exceed 11 metres. The proposal has a maximum building height of 5.32 metres, and so meets the requirements of this criteria.

The proposal is suitable for approval in accordance with the provisions of the General Residential Zone 1.

PARTICULAR PROVISIONS

Clause 52.06 - Car Parking

The application complies with the requirement for a three bedroom dwelling to be provided with two car parking spaces, with at least one car parking space being under cover.

Clause 55 – Two or more dwellings on a lot

The primary assessment criteria of the application is with respect to Clause 55, which implements ResCode assessment for the proposal. Where a variation to ResCode is proposed, the planning permit is the statutory authority for approval of such variation.

All standards of clause 55 have been met. As the dwelling has vacant land on either side, prevailing setback is flexible. The proposal provides for 6.51 metre setback to the covered entry and 8 metres to the front wall.

The following is an assessment against the Clause 55 objectives and standards:

	Standard	Officer's Comment
B1	Neighbourhood character The design response must be appropriate to the neighbourhood and the site. The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.	The application is compliant with this standard, as it respects the surrounding character and design of surrounding dwellings. For example, similar architectural style and materials such as Brick and tiled roof.
B2	Residential policy An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.	The applicant has complied with this standard. The proposal is consistent with the relevant housing policy in the LPPF and the SPPF.
B3	Dwelling diversity Developments of ten or more dwellings should provide a range of dwelling sizes and types, including: Dwellings with a different number of bedrooms. At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.	Not applicable to this application. The application is for 2 dwellings.
B4	Infrastructure	The application complies with this

	Standard	Officer's Comment
	Development should be connected to	standard.
	reticulated services, including	
	reticulated sewerage, drainage,	A full suite of reticulated services
	electricity and gas, if available.	are available, inclusive of nbn and
	Development should not unreasonably	
	exceed the capacity of utility services	5
	and infrastructure, including	Since the proposal increases the
	reticulated services and roads.	anticipated lot yield of dwellings by
	In areas where utility services or	one, the capacity of the utility
	infrastructure have little or no spare	services and infrastructure will
	capacity, developments should	likely be unaffected.
	provide for upgrading or mitigation of	
	the impact on services or	
	infrastructure.	
B5	Integration with the street	The proposal complies with this
55	Development should provide adequate	
	vehicle and pedestrian links that	Standard.
	maintain or enhance local	The development enhances
	accessibility.	The development enhances accessibility, and has avoided high
	Dwellings should be oriented to front	fences, and the orientation is to the
	existing and proposed streets.	front of the lot, with no front fences
	High fencing in front of dwellings	proposed.
	should be avoided if practicable.	proposed.
	Development next to existing public	
	open space should be laid out to	
B6	complement the open space. Street setback	The applicant propage a set heal
БО	Walls of buildings should be set back	The applicant proposes a set back of 6.51 metres to the front entry
	from streets:	and 8 metres to the main dwelling
	- At least the distance specified in	wall. There are no dwellings at 3
	the schedule to the zone, or	and 7 Glendon Drive.
	- If no distance is specified in the	
	schedule to the zone, the distance	The proposal is therefore
	specified in Table A1/B1.	
	specified in Table A1/D1.	appropriate.
	Porches, pergolas and verandahs that	
	are less than 3.6 metres high and	
	eaves may encroach not more than	
	2.5 metres into the setbacks of this	
	standard.	
B7	Building height	The building height being proposed
יט	The maximum building height should	is 5.32 metres, demonstrating
	not exceed:	compliance with this standard.
	The maximum height specified in the	
	schedule to the zone, or	
	If no maximum height is specified in	
	the schedule to the zone, 11 metres.	
	Changes of building height between	
	existing buildings and new buildings	
	should be graduated.	
		Total site coverage is 39.7%,
B8		1 oral site coverage is $33.1/0$,
B8	Site coverage	•
B8	The site area covered by buildings	demonstrating compliance with this
B8	The site area covered by buildings should not exceed:	•
B8	The site area covered by buildings	demonstrating compliance with this

	Standard	Officer's Comment
	If no maximum site coverage is	
	specified in the schedule to the zone,	
	60 per cent.	
B9	Permeability	The proposal complies with this
	At least 20 per cent of the site should	standard.
	not be covered by impervious	
	surfaces.	
B10	Energy efficiency	The proposal complies with this
	Buildings should be:	standard.
	Orientated to make appropriate use of	The Bring and a state should be up
	solar energy.	The living areas of the dwellings
	Sited and designed to ensure that the	are oriented to the rear, which
	energy efficiency of existing dwellings	generally faces southeast.
	on adjoining lots is not unreasonably reduced.	Significant private open space areas are also provided in this
	Living areas and private open space	direction, which will reasonably
	should be located on the north side of	obtain suitable solar access
	the development, if practicable.	without much compromise due to
	Developments should be designed so	the site cut and single storey
	that solar access to north-facing	design.
	windows is maximised.	
B11	Open space	Not applicable to this application.
	If any public or communal open space	
	is provided on site, it should:	
	Be substantially fronted by dwellings,	
	where appropriate.	
	Provide outlook for as many dwellings	
	as practicable.	
	Be designed to protect any natural	
	features on the site.	
B12	Be accessible and useable.	The proposal complian with this
DIZ	Safety Entrances to dwellings and residential	The proposal complies with this standard.
	buildings should not be obscured or	Standard.
	isolated from the street and internal	Entries are provided facing the
	accessways.	street. Plantings are designed to
	Planting which creates unsafe spaces	retain passive street surveillance
	along streets and accessways should	and there are no proposed walls
	be avoided.	that will prevent clear vision from
	Developments should be designed to	the driveway through to the entry
	provide good lighting, visibility and	door.
	surveillance of car parks and internal	
	accessways.	There is additionally direct access
	Private spaces within developments	available through the laundry to the
	should be protected from	carport.
	inappropriate use of public	
	thoroughfares.	
B13	Landscaping	The proposal complies with this
	The landscape layout and design	standard.
	should:	
	Protect any predominant landscape	The site and streetscape are
	features of the neighbourhood.	currently without vegetation.
	Take into account the soil type and	The proposal contains landscening
	drainage patterns of the site.	The proposal contains landscaping
	Allow for intended vegetation growth	plans for the site, which provide

	Standard	Officer's Comment
	Standard and structural protection of buildings. In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. Provide a safe, attractive and functional environment for residents. Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood. Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made. The landscape design should specify landscape themes, vegetation (location and species), paving and lighting	Officer's Comment canopy trees to the front and rear yards and border plantings. The species are assessed as being appropriate for the land and conditions.
B14	lighting. Access Accessways should:	The proposal complies with this standard.
	Be designed to allow convenient, safe and efficient vehicle movements and connections within the development and to the street network. Be designed to ensure vehicles can exit a development in a forwards direction if the accessway serves five or more car spaces, three or more dwellings, or connects to a road in a Road Zone. Be at least 3 metres wide. Have an internal radius of at least 4 metres at changes of direction. Provide a passing area at the entrance that is at least 5 metres wide and 7 metres long if the accessway serves ten or more spaces and connects to a road in a Road Zone. The width of accessways or car spaces should not exceed: 33 per cent of the street frontage, or If the width of the street frontage, or If the width of the street frontage is less than 20 metres, 40 per cent of the street frontage. No more than one single-width crossover should be provided for each dwelling fronting a street. The location of crossovers should maximise the retention of on-street car parking spaces. The number of access points to a road in a Road Zone should be minimised. Developments must provide for access for service, emergency and	The impact of the driveway design is considered low impact on the neighbourhood character, and the on street car parking. The street frontage is 17 metres. Driveway width is cumulatively 6 metres or 35% of the frontage, which complies with the requirement. One on-street car parking space could reasonably and safety be retained between the two crossovers (8.9m). On street car parking is not considered to be ideal given the pavement width is 7.5m between kerbs. Further discussion is provided in relation to the grounds for objection.

	Standard	Officer's Comment
	delivery vehicles.	
B15	Parking location Car parking facilities should: Be reasonably close and convenient to dwellings and residential buildings. Be secure. Be designed to allow safe and efficient movements within the development. Be well ventilated if enclosed. Large parking areas should be broken up with trees, buildings or different surface treatments. Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced by 1 metre whether there is a fence of 1.5 metres high or where window sills are at least 1.4 metres above the accessway.	There are no shared accessways.
B17	Side and rear setbacks A new building not on or within 150mm of a boundary should be set back from side or rear boundaries: At least the distance specified in the schedule to the zone, or If no distance is specified in the schedule to the zone, 1 metre, plus 0.3 metres for every metre in height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. Sunblinds, verandas, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard. Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps pergolas, shade sails and carports may encroach into the setbacks of this standard.	The proposal complies with this standard. The carport wall adjacent to the boundary has a height of 3.0 metres, which is under the rescode requirement of 3.2 metres average and 3.6 metres maximum. The main dwelling is located a sufficient distance from the boundaries.
B18	Walls on boundaries A new wall constructed on or within 150mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot should not abut the boundary for a length of more than: 10 metres plus 25 per cent of the remaining length of the boundary of an	The proposal complies with this standard. The carport wall is within 1 metre of the side boundary but less than 10 metres in length. There are no other walls on boundaries.

	Standard	Officer's Comment
	adjoining lot, or	
	Where there are existing or	
	simultaneously constructed walls or	
	carports abutting the boundary on an	
	abutting lot, the length of the existing	
	or simultaneously constructed walls or	
	carports,	
	whichever is greater.	
	A new wall or carport may fully abut a	
	side or rear boundary where the slope	
	and retaining walls or fences would	
	result in the effective height of the wall	
	or carport being less than 2 metres on	
	the abutting property boundary.	
	A building on a boundary includes a	
	building set back up to 150mm from a	
	boundary.	
	The height of a new wall constructed	
	on or within 150mm of a side or rear	
	boundary or a carport constructed on	
	or within 1 metres of a side or rear	
	boundary should not exceed an	
	average of 3 metres with no part	
	higher than 3.6 metres unless abutting	
	a higher existing or simultaneously	
	constructed wall.	
B19	Daylight to existing windows	The proposal complies with this
	Buildings opposite an existing	standard.
	habitable room window should provide	
	for a light court to the existing window	There are no windows affected by
	that has a minimum area of 3 square	the siting and massing of the
	metres and a minimum dimension of 1	proposed dwellings.
	metre clear to the sky. The calculation	
	of the area may include land on the	
	abutting lot.	
	Walls or carports more than 3 metres	
	in height opposite an existing	
	habitable room window should be set	
	back from the window at least 50 per	
	cent of the height of the new wall if the	
	wall is within a 55 degree arc from the	
	centre of the existing window. The arc	
	may be swung to within 35 degrees of	
	the plane of the wall containing the	
	existing window.	
	Where the existing window is above	
	ground floor level, the wall height is	
	measured from the floor level of the	
	room containing the window.	
B20	North-facing windows	The proposal complies with this
	If a north-facing habitable room	standard.
	window of an existing dwelling is	
	within 3 metres of a boundary on an	There are no north-facing windows
	abutting lot, a building should be	affected by the siting and massing
	setback from the boundary 1 metre,	of the proposed dwellings.

	Standard	Officer's Comment
	plus 0.6 metre for every metre of	
	height over 3.6 metres, plus 1 metre	
	for every metre of height over 6.9	
	metres, for a distance of 3 metres	
	from the edge of each side of the	
	window. A north-facing window is a	
	window with an axis perpendicular to	
	its surface oriented north 20 degrees	
	west to north 30 degrees east.	
B21	Overshadowing open space	The proposal complies with this
	Where sunlight to the secluded private	standard.
	open space of an existing dwelling is	
	reduced, at least 75 per cent, or 40	There is no established open
	square metres with a minimum	space affected by overshadowing
	dimension of 3 metres, whichever is	from the proposed dwellings.
	the lesser area, of the secluded	Overshadowing will largely be
	private open space should receive a	contained within the lot.
	minimum of five hours of sunlight	
	between 9 am and 3 pm on 22	
	September. If existing sunlight to the secluded	
	private open space of an existing	
	dwelling is less than the requirements	
	of this standard, the amount of	
	sunlight should not be further reduced.	
B22	Overlooking	The proposal complies with this
BLL	A habitable room window, balcony,	standard.
	terrace, deck or patio should be	
	located and designed to avoid direct	The proposal and neighbouring
	views into the secluded private open	dwelling are single storey and
	space and habitable room windows of	there is not substantial
	an existing dwelling within a horizontal	topographical changes to provide
	distance of 9 metres (measured at	for overlooking.
	ground level) of the window, balcony,	
	terrace, deck or patio. Views should	
	be measured within a 45 degree angle	
	from the plane of the window or	
	perimeter of the balcony, terrace, deck	
	or patio, and from a height of 1.7	
	metres above the floor level.	
	A habitable room window, balcony,	
	terrace, deck or patio with a direct view into a habitable room window of	
	an existing dwelling within a horizontal	
	distance of 9 metres (measured at	
	ground level) of the window, balcony,	
	terrace, deck or patio should be either:	
	Offset a minimum of 1.5 metres from	
	the edge of one window to the edge of	
	another, or	
	Have sill heights of at least 1.7 metres	
	above floor level, or	
	Have obscure glazing in any part of	
	the window below 1.7 metres above	
	floor level, or	
	· ·	

	Standard	Officer's Comment
	Have permanently fixed external	
	screens to at least 1.7 metres above	
	floor level and be no more than 25 per	
	cent transparent.	
	Obscure glazing in any part of the	
	window below 1.7 metres above floor	
	level may be open able provided that	
	there are no direct views as specified	
	in the standards.	
	Screens used to obscure a view	
	should be:	
	Perforated panels or trellis with a	
	maximum of 25 per cent openings or	
	solid translucent panels.	
	Permanent, fixed and durable.	
	Designed and coloured to blend in	
	with the development.	
	This standard does not apply to a new	
	habitable room window, balcony, terrace, deck or patio which faces a	
	property boundary where there is a	
	visual barrier of at least 1.6 metres	
	high and the floor level of the	
	habitable room, balcony, terrace, deck	
	or patio is less than 0.6 metres above	
	ground level at the boundary.	
B23	Internal views	The proposal complies with this
	Windows and balconies should be	standard.
	designed to prevent overlooking of	
	more than 50 per cent of the secluded	No windows are overlooking.
	private open space of a lower-level	
	dwelling or residential building directly	
	below and within the same	
	development.	
B24	Noise impacts	The proposal complies with this
	Noise sources, such as mechanical	standard.
	plant, should not be located near	
	bedrooms of immediately adjacent	Services to the proposed dwelling
	existing dwellings. Noise sensitive rooms and secluded	will be located in close proximity to
	private open spaces of new dwellings	the outer walls, which are set back approx. 3 metres from a boundary.
	and residential buildings should take	There are no adjacent dwellings at
	account of noise sources on	current, however the services are
	immediately adjacent properties.	reasonably sited.
	Dwellings and residential buildings	
	close to busy roads, railway lines or	
	industry should be designed to limit	
	noise levels in habitable rooms.	
B25	Accessibility	The proposal complies with this
	The ground floor of dwellings and	standard.
	residential buildings should be	
	accessible or able to be easily made	There would need to be
	accessible to people with limited	modifications to the front entry to
	mobility.	provide for all abilities access. The
		dwelling is ground floor only.
	accessible to people with limited	modifications to the front entry to provide for all abilities access. The

	Standard	Officer's Comment
B26	Dwelling entry	The proposal complies with this
820	Entries to dwellings and residential	standard.
	buildings should:	
	Be visible and easily identifiable from	Front entrance is identifiable from
	streets and other public areas.	the street and easily visible. A
	Provide shelter, a sense of personal	footpath is provided to each
	address and a transitional space	dwelling. Shelter is provided.
	around the entry.	
B27	Daylight to new windows	The proposal complies with this
	A window in a habitable room should	standard.
	be located to face:	All behiteble reems have windows
		All habitable rooms have windows open clear to the sky.
	light court with a minimum area of 3 square metres and minimum	open clear to the sky.
	dimension of 1 metre clear to the sky,	
	not including land on an abutting lot,	
	or	
	A verandah provided it is open for at	
	least one third of its perimeter, or	
	A carport provided it has two or more	
	open sides and is open for at least	
	one third of its perimeter.	
B28	Private open space	The proposal complies with this
	A dwelling or residential building	standard.
	should have private open space of an	Deiveta anon en ancia en evida d
	area and dimensions specified in the schedule to the zone.	Private open space is provided with adequate area dimensions to
	If no area or dimensions is specified in	•
	the schedule to the zone, a dwelling	and real of each dwelling.
	should have private open space	
	consisting of:	
	An area of 40 square metres, with one	
	part of the private open space to	
	consist of secluded private open	
	space at the side or rear of the	
	dwelling or residential building with a	
	minimum area of 25 square metres, a	
	minimum dimension of 3 metres and	
	convenient access from a living room,	
	or A balcony of 8 square metres with a	
	minimum width of 1.6 metres and	
	convenient access from a living room,	
	or	
	A roof-top area of 10 square metres	
	with a minimum width of 2 metres and	
	convenient access from a living room.	
B29	Solar access to open space	The proposal complies with this
	The private open space should be	standard.
	located on the north side of a dwelling,	
	if practicable.	The private open space is located
	The southern boundary of secluded	to the northwest of each dwelling.
	private open space should be set back	
	from any wall on the north of the space at least $(2 + 0.0b)$ metres	
	space at least (2 + 0.9h) metres,	<u> </u>

	Standard	Officer's Comment
	where 'h' is the height of the wall.	
B30	Storage Each dwelling should have convenient access to at least 6 cubic metres of	The proposal complies with this standard.
	externally accessible, secure storage space.	Storage is shown on the plans behind the carports of each dwelling.
B31	Design detail The design of buildings, including: Façade articulation and detailing,	The proposal complies with this standard.
	Window and door proportions, Roof form, and Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character. Garages and carports should be	The proposal respects the surrounding character and design of neighbouring dwellings, mimicking roof pitch, front entry, and cladding.
	visually compatible with the development and the existing or preferred neighbourhood character.	Carports are setback of the main dwellings to be less visually dominant.
B32	Front fences The design of front fences should complement the design of the dwelling and any front fences on adjoining property. A front fence within 3 metres of a street should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, the maximum height specified in Table A2/B3.	The proposal complies with this standard, as no front fence is proposed.
B33	Common property Developments should clearly delineate public, communal and private areas. Common property, where provided, should be functional and capable of efficient management.	Not applicable as no common property is proposed.
B34	Site services The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically. Bins and recycling enclosures,	The proposal complies with this standard. The dwellings will be able to access services to the front and rear or the lot. Sewer and drainage easements are available to the rear properties within Birch Ct. Bin enclosures and mailboxes are
	mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents.	Bin enclosures and maliboxes are considered reasonable and accessible for potential residents. Bin enclosures are screened from view at the rear of the proposed carports.

Standard	Officer's Comment
Mailboxes should be provided and located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post.	Mailboxes are located alongside the footpath and adjacent to the driveway, being convenient for both residents and Australia Post.

GENERAL PROVISIONS

Objections

As previously stated, 44 objections have been received in relation to the proposal. It is critical to note that the objections substantially relate to concurrent planning permit applications for development of two dwellings on a lot in relation to 4, 8, 12, 13, 14, 16, and 17 Glendon Drive, Eastwood. The nature and content of the 44 objections is largely the same and has been summarised in this report.

The assessment of a single planning permit application for development of two dwellings on a lot by the responsible authority cannot address matters such as:

- Cumulative impact of the planning permit applications;
- The proposed tenancy of the dwellings to be constructed; that is, that they are owned by the Office for Housing and may be used for social housing; and
- Property valuation outcomes as a result of the above factors, nor even for the impact associated with the singular proposal.

1. Not in accordance with neighbourhood character, loss of streetscape

The assessment of the planning permit application must consider the impact of two dwellings on a lot. It is put that there may be an expectation that a single dwelling would be constructed on the lot as is the standard practice for the Eastwood Estate. That 12 lots are currently vacant on Glendon Drive out of 21 lots total means that the majority of the street character has not been established.

There are several existing examples of duplex dwelling development within the vicinity. Even the neighbouring properties at 2 Glendon Drive and 93 Flinns Road are of the same dwelling density, although not duplex construction. This is repeated on all four corners of this intersection.

In relation to the broader neighbourhood, there are further examples of similar dwelling density. Many of the objectors state that they would be satisfied with only one of the currently vacant lots in common ownership being developed with a duplex.

The proposal is not out-of-character for the neighbourhood or streetscape. There are 11 other lots to be developed in the street, which is more than half of the total properties on the street. As such, streetscape is emerging and can be altered.

2. Loss of property value

The majority of objectors raise this ground, which is an economic consideration, not a planning consideration. It is noted that the cost of development per dwelling might be significantly less than that of the surrounding dwellings, however this can be attributed to the economies of scale associated with duplex development. Economic valuation should be tenure blind, and normally takes into consideration market and sale values of surrounding property.

3. Traffic Impacts and street parking, road safety

Each dwelling is provided with two off-street car parking spaces, including one under cover space, which meets the car parking standards of the Scheme. For convenience purposes, the majority of traffic would make the direct connection to Flinns Road which is a neighbourhood connector street. The design capacity of this street is suitable to accommodate a traffic yield of 10 vehicle movements per day above what would be anticipated from a single dwelling being constructed on the subject lot.

Minimal provision of on-street car parking would result from the narrow bitumen seal 7.75 metres with kerb and channel. Footpaths are constructed adjacent to the property frontages. Crossover locations for each dwelling is adjacent to the side lot boundaries. There would be ability to park a maximum of one car in front of the lot on-street without blocking one of the proposed driveways.

Glendon Drive is the primary connection for The Backwater, being less circuitous than the other egress at Gree Keeluk Place. This already represents a significant volume of traffic, with further development to occur as a result of several lots remaining vacant.

There will be negligible detriment as a result of the proposal assessed on its merit.

4. Social impacts, particularly the negative impacts from social housing

Valid concern is raised in relation to the social impact of the proposal in accordance with local planning policy. Additional information has been obtained in line with Council's Guidelines, however the nature of the Social Impact Comment rightly does not focus on the socioeconomic issues, as planning must be tenure blind in relation to proposals for residential development. As such, no further investigation is required.

5. General amenity and noise concerns

The issue of noise and general amenity is a discriminatory assumption based on the proposal being for social housing purposes. Planning must not consider this impact, especially in relation to proposals where the individual impact could reasonably be nil.

6. Use for crisis/emergency accommodation

It is considered that this concern is arose primarily in response to a past proposal for a 6 unit community care accommodation facility at 12-16 Glendon Drive. To some extent it has not been made clear from the proposal whether some aspect of that use will be transferred to the dwellings proposed, however that cannot be considered with respect to the assessment of this application, which relates to construction of two dwellings.

The planning scheme provides that places of community care accommodation, including shelters, refuges, and crisis accommodation should be exempt from planning consideration and afforded privacy and secrecy. As the individual planning applications are for two dwellings on a lot, Council should not further consider which of the dwellings, if any, would be used for community care accommodation.

7. Concerns regarding inability to organise, length of time to object

Adequate time has been afforded between the provision of notice and the determination. A public meeting was undertaken, following appropriate social distancing protocols and with ample assistance with relation to technology.

On balance of consideration of the objections, which largely relate to the broader impacts of cumulative development proposals and tenancy of the proposal, it is

recommended that the responsible authority make its determination with respect to the East Gippsland Planning Scheme provisions, and resolve to issue a notice of decision to grant a planning permit.

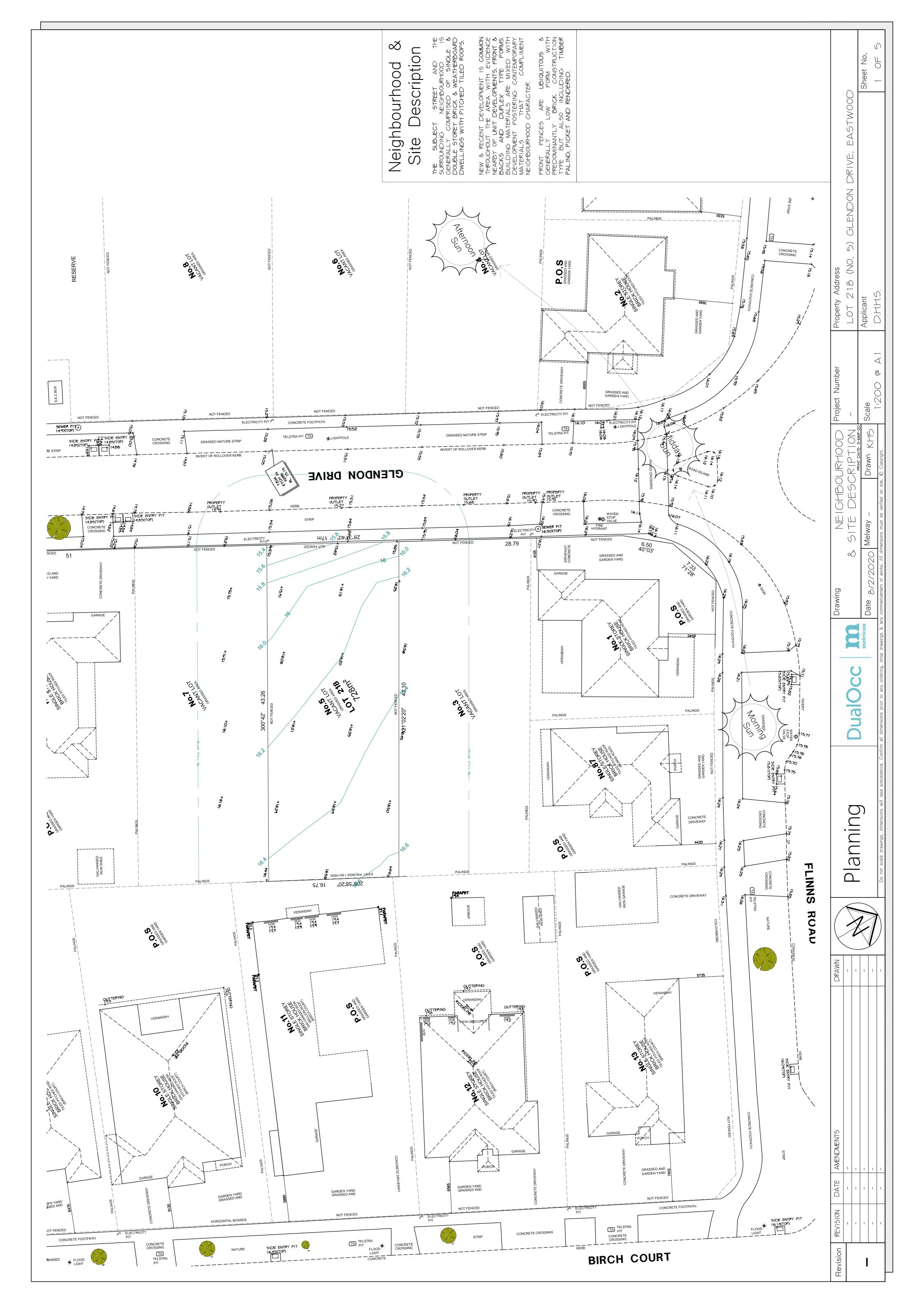
Section 60 and Clause 65

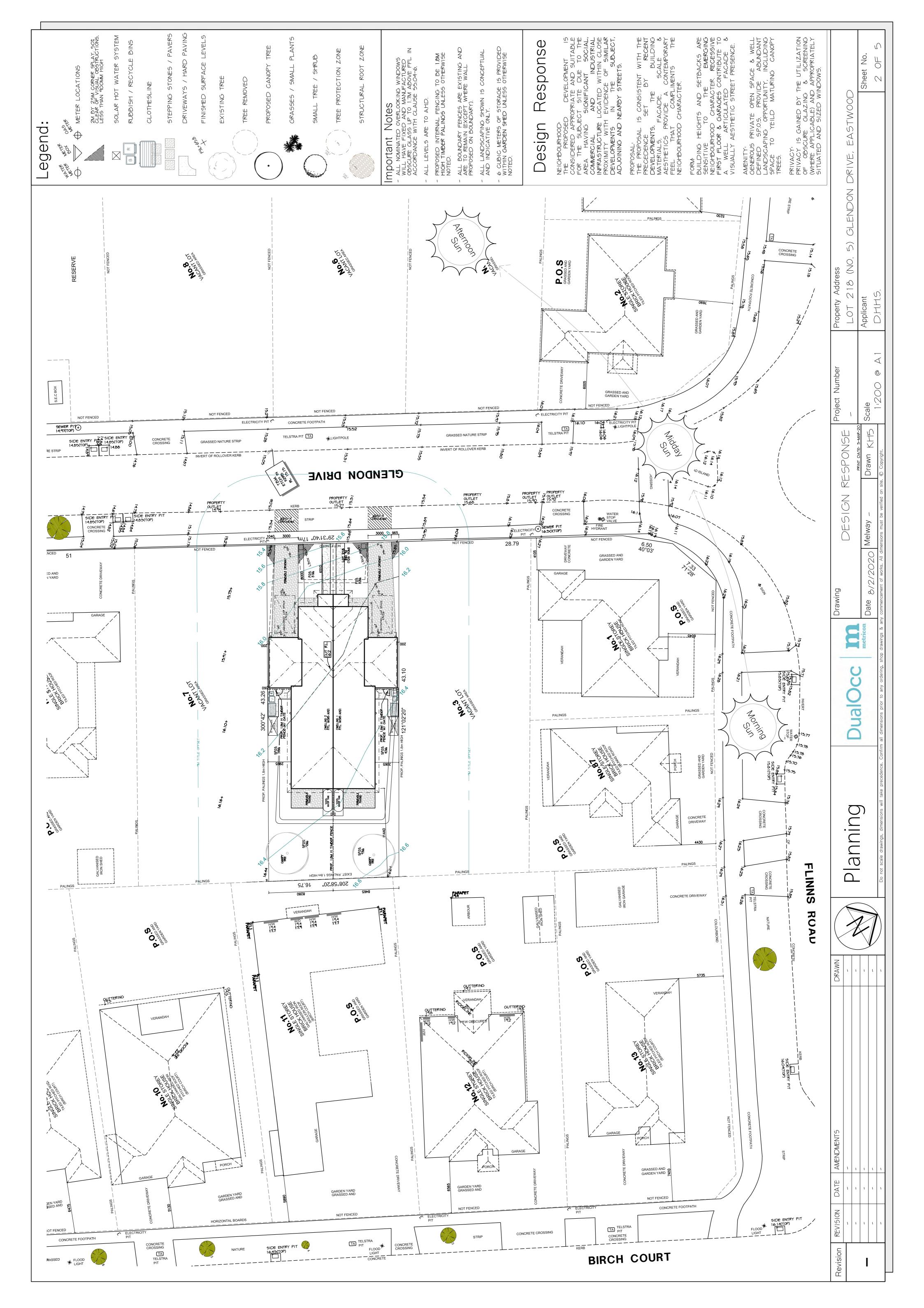
The application presents no detriment to the environmental values of the land or to the amenity of the area. The proposal is an acceptable planning outcome that is consistent with the objectives of planning in Victoria.

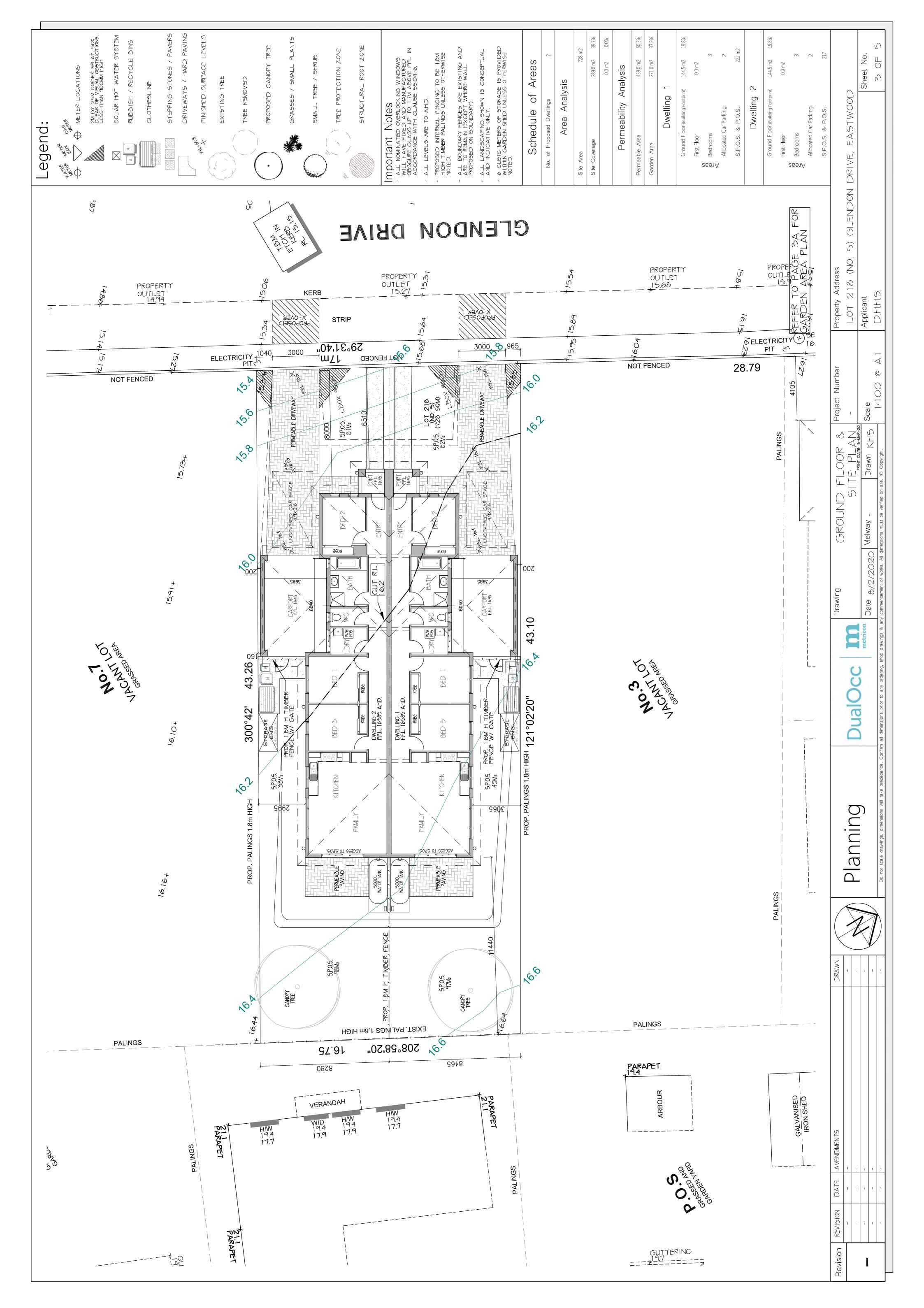
CONCLUSIONS & RECOMMENDATION

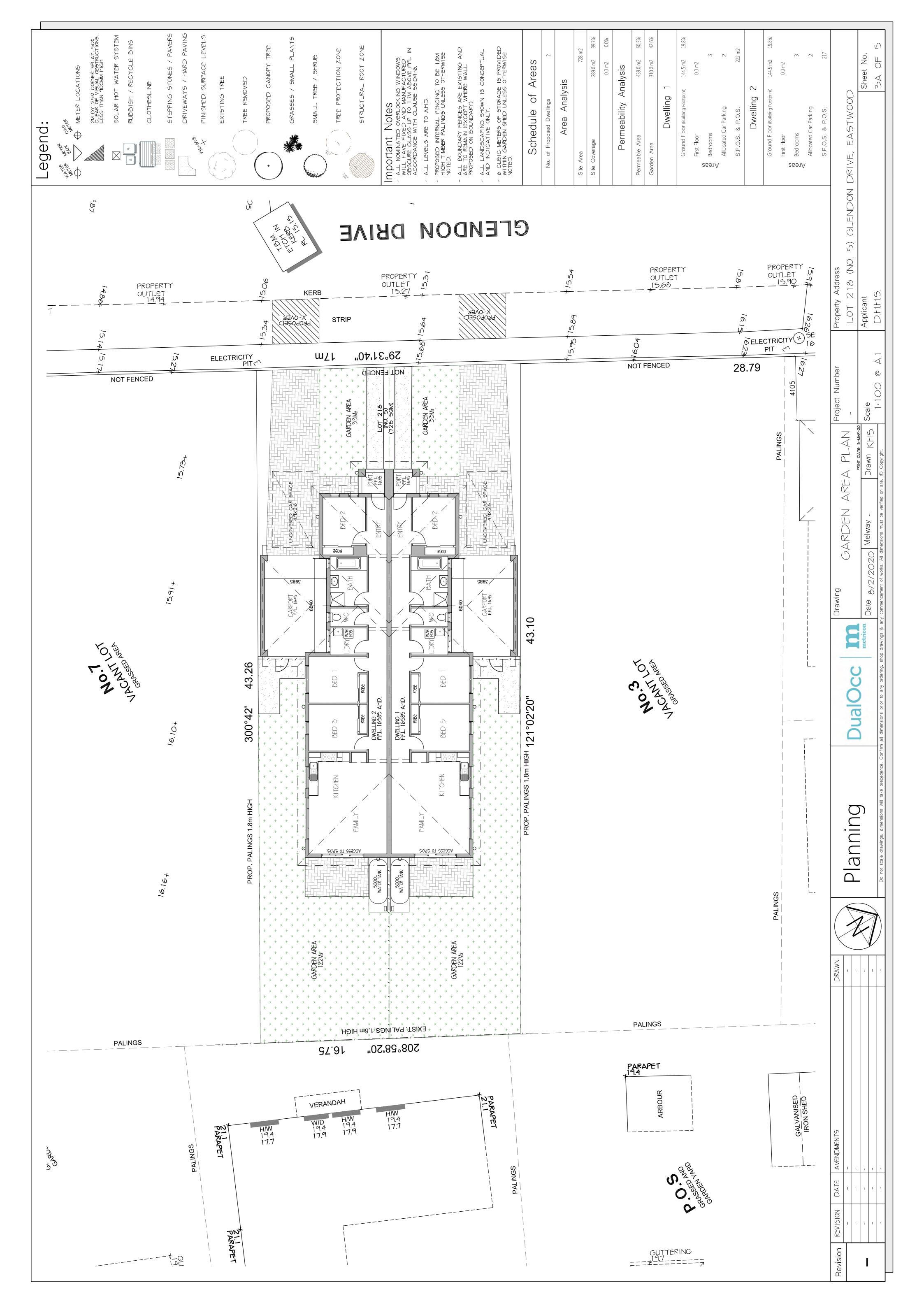
The application is consistent with the planning scheme and is suitable for Council support.

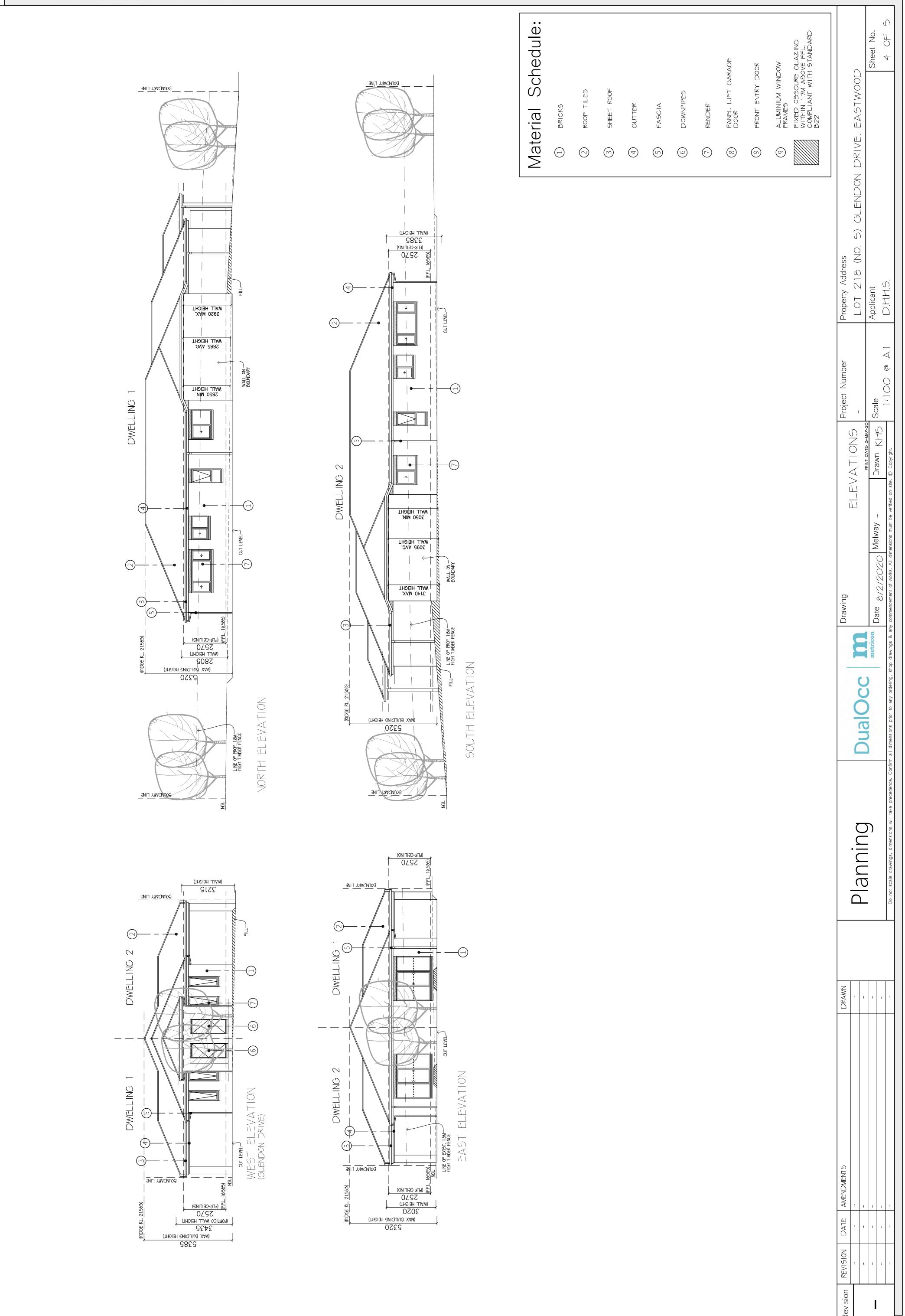
It is recommended that a notice of decision to grant a planning permit be issued subject to standard development conditions.



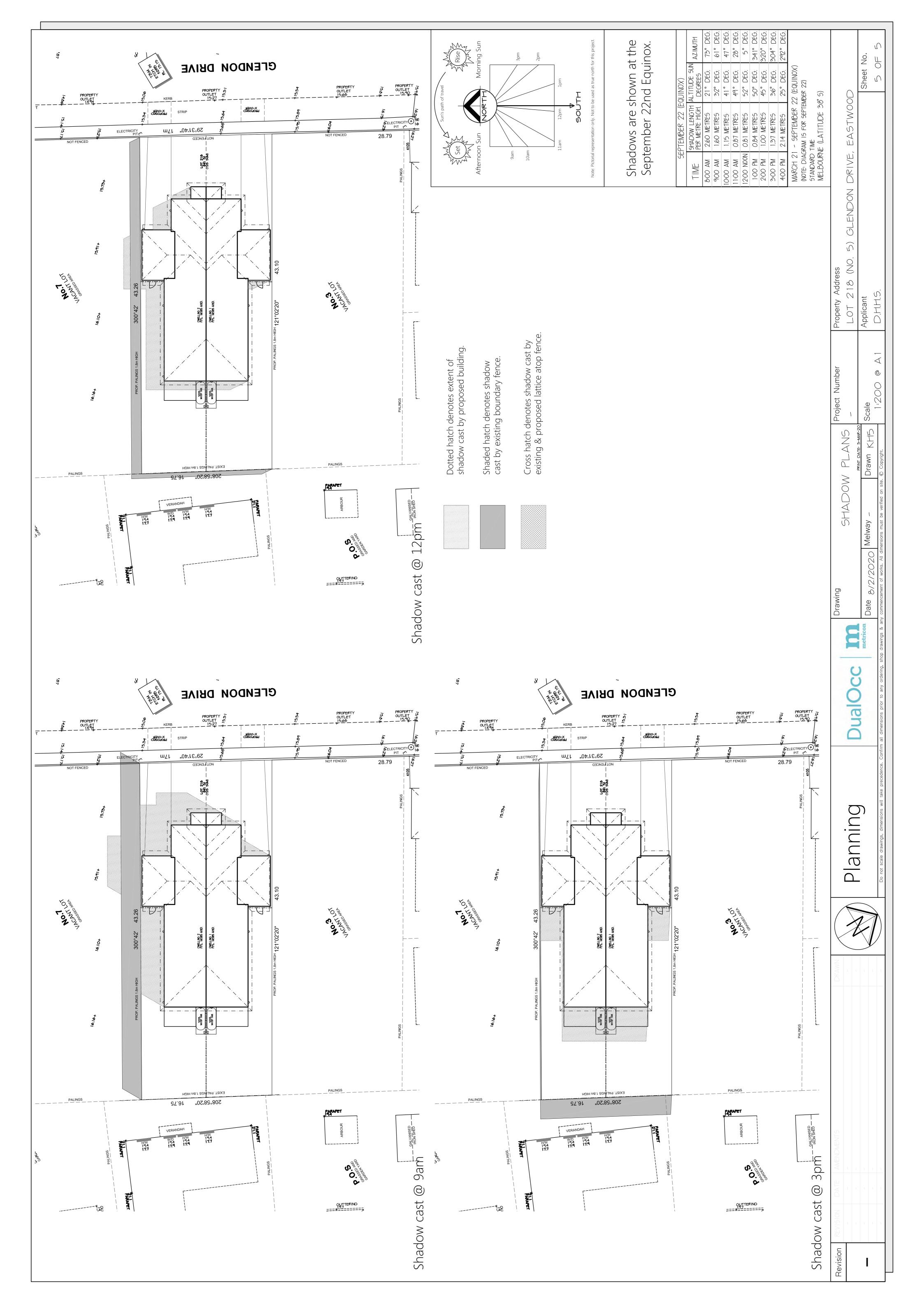


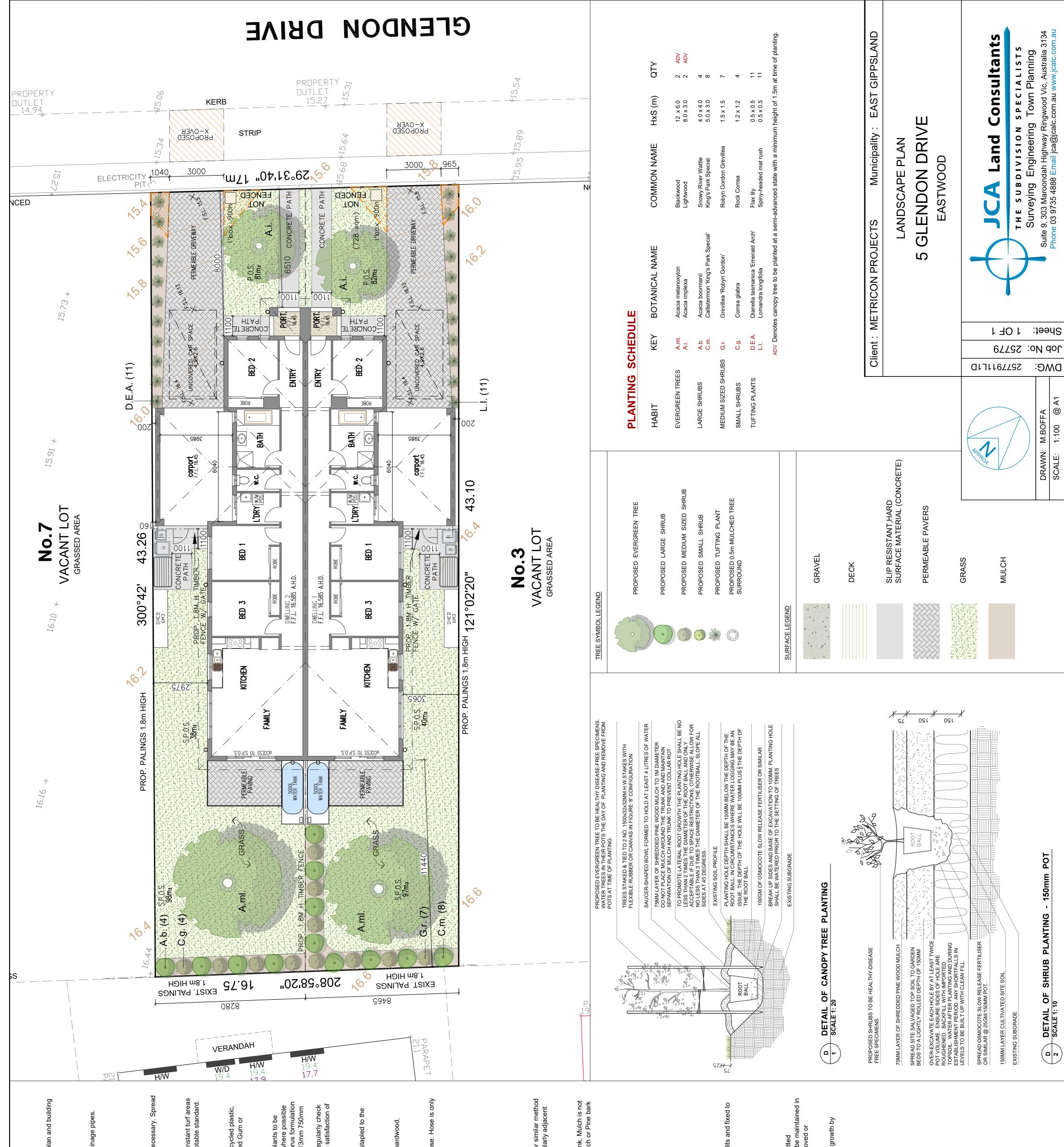






Revision





age pipes.

GENERAL NOTES

This plan has been generated as part of a development proposal and should be read in conjunction with site layout pla elevations plan.

VEGETATION:

Existing trees, shrubs and groups of trees as indicated thus are to retained and protected during site works Careful sitting of trees. It is inadvisable to plant them under power lines or electricity supply lines or over water or drair Existing vegetation protection to be carried out during construction in accordance with the relevant council authority. ated on the drawing are set out to scale. Contractor must insure that the plants are set out accurately. PLANT SETOUT: Plants indicated on

SOIL PREPARATION: Cultivate existing soil to 100mm depth and spread 150mm of good quality, weed free topsoil. Apply gypsum where ne 75mm bark or shredded wood mulch to garden beds.

Seed or instant turf on 75mm lawn mix topsoil. A noninvasive grass species is to be utilised. Ensure seed bed and instant turf areas are kept moist during the establishment period. A rye grass mix is usually best for producing hardy lawns of an acceptable standard. Appropriate grass species include: Queensland blue grass, Weeping grass or Kentucky bluegrass. LAWNS: Seed or i

GARDEN EDGING: To define garden beds and lawn areas, garden edging is to be utilised. Acceptable products include: treated pine, recy molded concrete, plantation grown Sugar Gum, brick edging or local stone. Timber edging must not utilise Jarrah, Red Cypress Pine unless it can be demonstrated that they are a recycled product.

PLANTS & PLANTING

Prior to planting, areas will be sprayed with roundup herbicide twice with a period of 6-8 weeks between sprays. All plants to be healthy disease-free specimens. Plants are to be sourced from a supplier of locally-provenanced indigenous plants where possible (Contact: Locale nursery). Over excavate all plant holes by at least twice pot volume. Spread osmocote low-phosphorus formulatio fertiliser to each plant hole at the rate of 25 gms/Ea Install heavy duty plastic treeguard sleeves over heavy duty 11-13mm 750mm bamboo stakes to all tubes except grasses. Mark grasses with a single 13mm bamboo stake. Immediately after planting water in all plants and maintain regular follow-up watering during establishment period. Regularly check planting to maintain treeguards sleeves and stakes. All plant deaths within the first 12 months will be replaced, to the satisfaction o the responsible authority.

similar, sta Where climbing plants have been located adjacent to fencing, fix 100x100x2mm galvanised gardenmesh or fence with galvanised staples. CLIMBERS

STAKING:

rdwood, Staking to be completed immediately after planting. Plants to stand plumb after staking. All stakes shall be durable har straight, free from knots and twists and pointed at the end. All staking to avoid hitting rootball.

IRRIGATION: Install tap points to front and rear garden areas of each unit to facilitate watering of front and rear garden areas by hos to be used if a trigger nozzle has been fitted.

DRAINAGE: Refer to architectural or engineering plans for stormwater and drainage pit locations. All paved areas in rear gardens are to have a grade of 2.5% minimum, away from buildings. All grades, levels and drainage to comply with relevant building codes and council planning requirements.

SERVICES:

Contractors are to determine the location of all underground and overhead services prior to construction.

BUILDING STRUCTURES: The use of this plan and planting of trees, shrubs, etc as specified may require the provision of root control barriers or similar r of controlling root growth to avoid intrusion into adjacent areas or building foundations. Any areas of concern (particularly adja existing established buildings or structures) should be addressed by the recommendations of a structural engineer.

MULCH:

Spread 75mm bark or shredded wood mulch to garden beds. All trees to be mulched to a 500mm radius from the trunk. to be derived from threatened forest communities such as Jarrah and Red Gum (unless available on site). Eucy-mulch mulch to be used.

400x400mm concrete pavers on F.C.R. and sand base to areas indicated. (or similar substituted materials)

LILYDALE TOPPINGS OR PEBBLES: 75mm crushed rock base 50mm top layer of toppings or pebbles. (other materials as appropriate)

RETAINING WALLS: Refer to architectural plans if required.

BATTER: 1 in 1.5 ea

1 in 1.5 earth batter (fill) stabilised with boulders to 1m diameter and planting as per plan. Note that sections of batters that need additional stabilising are to be covered with geofabric provided with planting slits and fixed to batter with galvanised steel stakes. Batters to be mulched with shredded wood rather than bark to ensure stability. Refer to architect or draftsmans instructions. Refer to section drawings if supplied.

MAINTENANCE PLAN:

e main /ed or The landscape works as shown on the endorsed plan must be carried out within 3 months of completion of the permitted development. The garden areas shown on the endorsed plan and schedule shall only be used as gardens and shall be m a proper, tidy and healthy condition to the satisfaction of the Responsible Authority. Should any tree or shrub be removed destroyed it may be required to be replaced by a tree or shrub of similar size and species.

any weed gi Regularly water garden beds and lawn areas during establishment period and during dry spells. Eradicate physical removal or spraying with glyphosate based herbicide.

A 12 month maintenance plan is required for: Weed control - regular control of environmental weeds to be carried out monthly. Irrigation - to be in accordance with the current government and local council regulations at the time of construction. Plant trimming - regular trimming is to be carried out in accordance with the individual requirements of each specie.

1:100 4 $\mathbb{A}1$ Driginal sheet size

IMPORTANT NOTE:
THIS PLAN IS INTENDED AS GUIDE ONLY.
ALL DIMENSIONS, LOCATIONS ETC ARE TO BE VEREIFIED ON SITE
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JCA LAND CONSULTANTS ACCEPTS NO RESPONSIBILITY OR LIABILITY AS A RESULT OF ERRORS OR OMISSIONS ON THIS PLAN.

Material Schedule:				
NUMBER	SAMPLE	BRAND	COLOUR	DESC.
1		PGH	KURRAJONG (OR SIMILAR)	BRICKS
2		COLORBOND	MONUMENT (OR SIMILAR)	SHEET ROOF
3		COLORBOND	MONUMENT (OR SIMILAR)	GUTTER
4		COLORBOND	MONUMENT (OR SIMILAR)	FASCIA
5		COLORBOND	MONUMENT (OR SIMILAR)	DOWNPIPES
ALUMINIUM WINDOW FRAMES				
FIXED OBSCURE GLAZING WITHIN 1.7M ABOVE F.F.L. COMPLIANT WITH STANDARD B22.				

DETAILED PLANNING REPORT

Permit Application: 93/2020/P

8 Glendon Drive EASTWOOD Lot 203 PS 542289

Development of the land for two dwellings

This report has been prepared to document the statutory planning assessment pursuant to the provisions of the *Planning and Environment Act 1987* and *Local Government Act 1989*.

KEY DETAILS

Subject address	8 Glendon Drive EASTWOOD
	Lot 203 PS 542289
Land owner	Office of Housing
Applicant	Clement-Stone Town Planners
Land area	1024 sqm
Zone	General Residential Zone 1
Overlays	Nil
Cultural sensitivity	The land is not culturally sensitive
Site inspected	The site has been subject to several inspections by the reporting officer, including through the notice period to ensure the notices were in place and not vandalised or removed.
Restrictions on Title	There are restrictions on title which have been assessed and the proposal is compliant. Particularly, the proposal meets the intent of the covenant by being a duplex dwelling, being clad primarily in brick, and having an area of 114 sqm measured from the outer walls.

PROPOSAL DETAILS/DISCUSSION

The application currently before Council seeks approval for development of two (2) dwellings on a currently vacant allotment.

Site Analysis

The subject lot is 1024 square metres, currently vacant with no vegetation. A very slight slope runs high at the front boundary down to the rear. There are two vacant lots to the northeast. There are 12 total vacant lots in the street. A reserve borders the northwestern and southwestern boundary and contains drainage infrastructure, a walking track, and a reserve for electrical services. Beyond the reserve to the southwest is a lot developed with a single dwelling. *Figure 1* demonstrates the site in neighbourhood context.



Figure 1: the subject land (highlighted red) in the neighbourhood context.

The lot is generally rectangular in shape and is provided with a standard frontage to Glendon Drive. Reticulated sewer, water, power, and natural gas are available. NBN Connection is available (fibre to the node). The northwestern boundary features a sewerage and drainage easement. Footpaths are constructed on both sides of the street, which is also provided with a 7.5m wide sealed road with kerb and channel drainage.

Glendon Drive connects to The Backwater to the South via a traffic calming Tintersection and Flinns Road to the north via a roundabout. The Backwater, especially lots to the south side of the street, is considered a premium development area due to the amenity and outlook to Bairnsdale CBD overlooking the Mitchell River and Mitchell River Backwater/Reserve. Flinns Road is a neighbourhood collector street, connecting from Great Alpine Road in the Southeast to Howitt Avenue in the North – with Howitt Avenue connecting to Bullumwaal Road in the west of Eastwood and servicing the commercial and school precinct in central Eastwood. On the corner of Flinns Road and Glendon Drive, the corner lots are approximately half the size of the average lot for the immediate area.

Schools, shops, and other amenities can be accessed on foot. Bairnsdale CBD is a five-minute drive.

Proposal

The proposed development includes:

- A duplex dwelling, each dwelling having 3 bedrooms, open plan living/dining/kitchen, central bathroom & laundry, central corridor and front entry on shared boundary wall;
- external carport, single crossover and widening to double driveway to each dwelling, with room for two undercover parking spaces;
- a 5000-litre rainwater tank to each dwelling to promote water sensitive urban design principles;

- externally accessed store, bin storage area and clothes drying area, plus a standalone mailbox to each dwelling; and
- landscaping provision for 3 canopy trees (1 front and 2 rear) and other plantings to each dwelling.

The proposed plan set is shown in *Figures 2 through 5*. Full development plans are attached to this report.

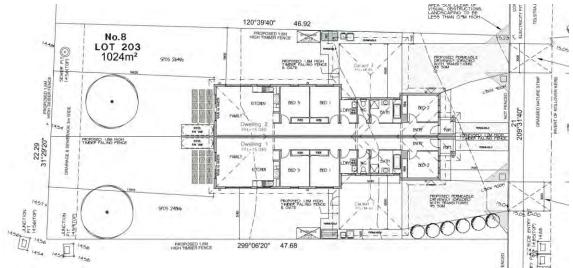
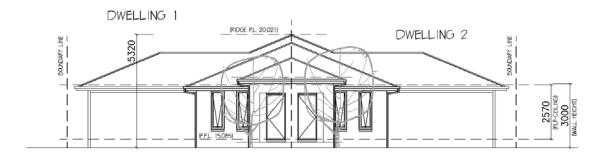


Figure 2: Proposed Site and Floor Plan



EAST ELEVATION GLENDON DRIVE VIEW

Figure 3: Proposed Street Elevation

INTER	SAMPLE	BRAND	COLOUR	DESC.
T		PSH	ELIERAJONG (OR SIMILAR)	DRUČKS
z			MONUMENT (OR SIMILAR)	SHEET ROOF
a		COLORBOND	MONUMENT (OR SIMILAR)	GLTIER
4		COLORBOND	MONUMENT (OR SIMILAR)	FASOA
5		COLORBOND	MONUMENT (OR SIMILAR)	DOWNFIFE5

Figure 4: Proposed Materials Schedule



Figure 5: Proposed landscape plan

PLANNING CONTROLS

Control	Clause(s)	Consideration
General Residential Zone 1	32.08-6	Construct two dwellings on a lot
Two or more dwellings on a lot	55	Two dwelling ResCode assessment

Cultural sensitivity

Pursuant to the *Aboriginal Heritage Regulations 2018,* a Cultural Heritage Management Plan (CHMP) is not required as the land is not mapped as having values of cultural heritage.

REQUEST FOR FURTHER INFORMATION

Pursuant to Section 54 of the *Planning and Environment Act 1987*, additional information was sought by Council during the assessment of the application. The information sought was:

 A Social Impact comment pursuant to Clause - 21.07-3 Sustainable Development, Strategy 1.2 in accordance with the Social Impact Assessment Guidelines for Development Applications (East Gippsland Shire Council May 2015)

The applicant submitted the required information and satisfied the request. No further social impact assessment is warranted.

REFERRAL AUTHORITIES

The application was not subject to mandatory external referrals.

INTERNAL ADVICE

DEPARTMENT	SCOPE OF ADVICE	OUTCOME
Senior Technical Officer -	Drainage, Access, Roads	Advice provided
Development	_	
Municipal Building	ResCode	Advice provided
Surveyor		

General Technical advice only was provided, as the Street is generally fully serviced, and the proposal meets the requirements for on-site services including drainage and car parking. More discussion is available in relation to the broader proposal for concurrently assessed proposals within the same street.

General Building Surveyor advice was provided in relation to ResCode issues, specifically the clarification regarding minor variations to street setback.

PUBLIC NOTIFICATION

Advertising Required:

Public notification was undertaken in the form of letters to adjoining landowners and a sign was placed on site in accordance with Section 52 of the Planning and Environment Act 1987.

43 objections have been received at the time of writing this report.

A statutory declaration has been provided that confirms notification was undertaken as directed and that the responsible authority will not decide on the application before 28 April 2020.

An assessment of the objections is provided within the General Provisions section of this report.

REPORT – PLANNING CONSIDERATION

Planning Policy Framework (PPF)

The assessment of the application before Council requires assessment against Planning Policy Framework.

The clauses that have an influence upon the assessment of this application include:

- 11 Settlement
 - Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing
- 15 Built Environment and Heritage
 - Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.
 - Planning should promote excellence in the built environment and create places that:
 - Are enjoyable, engaging and comfortable to be in.
 - Accommodate people of all abilities, ages and cultures.
 - Contribute positively to local character and sense of place.
 - Reflect the particular characteristics and cultural identity of the community.
 - Enhance the function, amenity and safety of the public realm.
 - Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale and massing of new development.
 - Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.
 - Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.
 - Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.
 - Ensure development responds to cultural identity and contributes to existing or preferred neighbourhood character.

16 Housing

- Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.
- Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.
- Planning for housing should include the provision of land for affordable housing.
- Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.
- Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.
- Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.
- Facilitate the delivery of high quality social housing.
- Increase the proportion of new housing in designated locations within established urban areas and reduce the share of new dwellings in greenfield and dispersed development areas.

- Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.
- Ensure an adequate supply of redevelopment opportunities within established urban areas to reduce the pressure for fringe development.
- Facilitate residential development that is cost effective in infrastructure provision and use, energy efficient, water efficient and encourages public transport use.
- Identify opportunities for increased residential densities to help consolidate urban areas.
- Facilitate diverse housing that offers choice and meets changing household needs through:
 - A mix of housing types.
 - Adaptable internal dwelling design.
 - o Universal design.
- Encourage the development of well-designed medium-density housing that:
 - Respects the neighbourhood character.
 - o Improves housing choice.
 - Makes better use of existing infrastructure.
 - Improves energy efficiency of housing.
- Support opportunities for a range of income groups to choose housing in wellserviced locations.
- Increase the supply of well-located affordable housing by:
 - Facilitating a mix of private, affordable and social housing in suburbs, activity centres and urban renewal precincts.
 - Ensuring the redevelopment and renewal of public housing stock better meets community needs.
- Facilitate the delivery of social housing by identifying surplus government land suitable for housing.

Assessment:

11 Settlement: The application meets the objectives of this clause. The development allows for an increase in land that is for residential development. It also provides for growth in population, while preserving the natural resources of the land and remains sensitive to the surrounding character.

15 Built Environment and Heritage: The application meets the objectives of this clause. The building design and the urban design contribute to the character and cultural identity to the surrounding area. The applicant has made a clear effort to respond to the strategic and cultural context of the area.

16 Housing: The application meets the objectives of this clause. The development is considered favourable as it promotes a housing market that meets the community needs, by increasing the supply of housing. The site is situated in a location that is considered appropriate to increase the supply of housing. As per clause 16.01-3s, the proposal provides a greater range of housing types. As per clause 16.01-4s, the proposal also facilitates the proposal of social housing within the municipality. The proposal assists with providing additional housing needed to accommodate the population growth in the region.

Municipal Strategic Statement (MSS)

Council is required to consider Local Policy as a part of this assessment.

Local Policy clauses that are relevant include:

21.03 Settlement

• Ensure a range of lot sizes and dwelling types to provide diversity and choice in new residential areas.

- Support infill medium density housing close to Bairnsdale CBD to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.
- Support residential infill development within existing residential zones identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.
- 21.07 Built Environment and Heritage
 - Encourage high standards of design in all new developments, with special emphasis on urban areas, coastal and lakeside areas and other localities of high landscape quality, and land adjacent to parks and reserves.
 - Ensure that future development contributes to the achievement of liveable, productive and sustainable communities in East Gippsland.
 - Require proposals for new development, land use, infrastructure and changes in policy to consider social impact through the preparation of social impact comments and/or assessments as identified in the East Gippsland Shire Council Social Impact Assessment Guidelines for Development Applications.

21.08 Housing

- Cater for the housing needs and preferences of all segments of the community.
- Encourage the supply of elderly persons' housing in the main centres and facilitate development of community housing.
- Encourage the building and construction sector to provide a range of housing types and styles including higher density dwellings in town centres, to provide choice for consumers.
- Support infill medium density housing and a mix of housing types close to Bairnsdale CBD and key locations to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and on Plan 1 Housing Diversity.
- 21.12 Strategies for Sub-Regions, Towns and Localities

Lakes & Coastal

- Encouraging population growth and development in fully serviced residential land in the major towns
- Continue to encourage residential development within the urban areas already zoned residential.
- Future development should continue in [Brookfield] Lakes and Shannon Waters Estate (see Plan 3 Revitalisation and Growth Strategy).
- Support residential infill development within existing residential zones identified within the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

Assessment:

Settlement: The development allows for an increase in diverse housing types, and makes better use of the community's urban infrastructure. The proposal provides a land supply that attempts to accommodate the future population growth within Bairnsdale.

Housing: the proposal accommodates for the increase in Bairnsdale's future population growth. Catering for this increase in housing needs is a key objective of this clause, and the proposal addresses this successfully. Furthermore, the building of more social housing is likely to benefit those in the community that are most vulnerable, such as low income people, so the proposal addresses the social considerations that are

needed when assessing an application. The proposal also promotes a greater diversity of housing types.

Strategies for Sub-Regions, Towns and Localities: the property is located in the "lakes and Coastal" area, and is considered to fulfill the objectives of this region. For example, it increases the housing supply in the area, taking advantage of the surrounding infrastructure and transport access, which caters for the changing needs of the area and increasing population of the area.

GENERAL RESIDENTIAL ZONE 1

Purpose:

To encourage development that respects the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

Key Decision Guidelines:

General issues

- The purpose of this zone.
- The objectives set out in a schedule to this zone.
- Any other decision guidelines specified in a schedule to this zone.
- The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.

Dwellings and residential buildings

• For the construction and extension of two or more dwellings on a lot,..., the objectives, standards and decision guidelines of Clause 55.

Assessment:

It is assessed that the proposal meets the requirements and objectives of the zone. The design of the proposed dwellings successfully responds to the neighbourhood character of the area through criteria such as the garden area and landscaping, building heights, materials used, form, and also the architectural design. Assessment is based on the existing conditions, including that 11 additional lots within the street are currently vacant.

The proposal is considered greenfield rather than infill development, as the lot has not been developed since being created by subdivision in 2006. The proposal can be considered housing growth due to its increased density. The proposal is located in reasonable walking distance of a range of shops and services, inclusive of retail, medical, dental, veterinary, child care, and primary school.

Clause 32.08-4 states that the minimum garden area for a lot greater than 650 sqm is 35%. The proposal meets this criteria with a garden area of 578 sqm or 56.4%.

Assessment of clause 55 in accordance with the requirements of Clause 32.08- is provided in the particular provision section of this report.

Clause 32.08-10 states that the maximum building height must not exceed 11 metres. The proposal has a maximum building height of 5.32 metres, and so meets the requirements of this criteria.

The proposal is suitable for approval in accordance with the provisions of the General Residential Zone 1.

PARTICULAR PROVISIONS

Clause 52.06 - Car Parking

The application complies with the requirement for a three bedroom dwelling to be provided with two car parking spaces, with at least one car parking space being under cover. Due to the wide lot frontage, this proposal is provided with space for two vehicles in the carport.

Clause 55 - Two or more dwellings on a lot

The primary assessment criteria of the application is with respect to Clause 55, which implements ResCode assessment for the proposal. Where a variation to ResCode is proposed, the planning permit is the statutory authority for approval of such variation.

All standards of clause 55 have been met.

The following is an assessment against the Clause 55 objectives and standards:

	Standard	Officer's Comment
B1	Neighbourhood character The design response must be appropriate to the neighbourhood and the site. The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.	The application is compliant with this standard, as it respects the surrounding character and design of surrounding dwellings.
B2	Residential policy An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.	The applicant has complied with this standard. The proposal is consistent with the relevant housing policy in the LPPF and the SPPF.
B3	Dwelling diversity Developments of ten or more dwellings should provide a range of dwelling sizes and types, including: Dwellings with a different number of bedrooms. At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.	Not applicable to this application. The application is for 2 dwellings.
B4	Infrastructure Development should be connected to	The application complies with this standard.

	Standard	Officer's Comment
	reticulated services, including	
	reticulated sewerage, drainage, electricity and gas, if available. Development should not unreasonably exceed the capacity of utility services	A full suite of reticulated services are available, inclusive of nbn and gas.
	and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no spare capacity, developments should provide for upgrading or mitigation of the impact on services or	Since the proposal increases the anticipated lot yield of dwellings by one, the capacity of the utility services and infrastructure will likely be unaffected.
	infrastructure.	
B5	Integration with the street Development should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility. Dwellings should be oriented to front existing and proposed streets. High fencing in front of dwellings should be avoided if practicable. Development next to existing public	The development enhances accessibility, and has avoided high fences, and the orientation is to the front of the lot, with no front fences proposed. The development is adjacent to a
<u>–––––––––––––––––––––––––––––––––––––</u>	open space should be laid out to complement the open space. Street setback	reserve with drainage and a footpath link to the larger neighbourhood network. The proposed landscaping plan complements and continues the natural setting, inclusive of a two canopy trees within each rear yard. The applicant proposes a set back
DU	 Walls of buildings should be set back from streets: At least the distance specified in the schedule to the zone, or If no distance is specified in the 	of 7 metres to the main dwelling wall. There is a reserve adjacent to the south and vacant land to the north. Given the vacant and reserve land adjacent, it is appropriate for the
	Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.	proposed setback, noting it is further reduced by the encroachment of the front entry portico which has a solid shared wall for fire rating purposes and is taller than 3.6m in height within the setback.
B7	Building height The maximum building height should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, 11 metres. Changes of building height between existing buildings and new buildings should be graduated.	The building height being proposed is 5.32 metres, demonstrating compliance with this standard.

	Standard	Officer's Comment
B8	Site coverage The site area covered by buildings	Total site coverage is 29%, demonstrating compliance with this
	should not exceed: The maximum site coverage specified	standard.
	in the schedule to the zone, or If no maximum site coverage is	
	specified in the schedule to the zone,	
B9	60 per cent.	The proposal complice with this
D9	Permeability At least 20 per cent of the site should not be covered by impervious	The proposal complies with this standard.
	surfaces.	
B10	Energy efficiency Buildings should be: Orientated to make appropriate use of	The proposal complies with this standard.
	solar energy. Sited and designed to ensure that the	The living areas of the dwellings are oriented to the rear, which
	energy efficiency of existing dwellings on adjoining lots is not unreasonably	generally faces northwest. Significant private open space
	reduced.	areas are also provided in this
	Living areas and private open space should be located on the north side of	direction.
	the development, if practicable. Developments should be designed so	
	that solar access to north-facing	
B11	windows is maximised. Open space	Not applicable to this application.
	If any public or communal open space	······
	is provided on site, it should: Be substantially fronted by dwellings,	
	where appropriate.	
	Provide outlook for as many dwellings as practicable.	
	Be designed to protect any natural features on the site.	
	Be accessible and useable.	
B12	Safety Entrances to dwellings and residential	The proposal complies with this standard.
	buildings should not be obscured or	stanuaru.
	isolated from the street and internal accessways.	Entries are provided facing the street. Plantings are designed to
	Planting which creates unsafe spaces	retain passive street surveillance
	along streets and accessways should be avoided.	and there are no proposed walls that will prevent clear vision from
	Developments should be designed to	the driveway through to the entry
	provide good lighting, visibility and surveillance of car parks and internal	door.
	accessways.	There is additionally direct access
	Private spaces within developments should be protected from	available through the laundry to the carport.
	inappropriate use of public	1
B13	thoroughfares. Landscaping	The proposal complies with this
•	The landscape layout and design	standard.
	should:	<u> </u>

	Standard	Officer's Comment
	Protect any predominant landscape	The site and streetscape are
	features of the neighbourhood.	currently without vegetation.
	Take into account the soil type and	, , ,
	drainage patterns of the site.	The proposal contains landscaping
	Allow for intended vegetation growth	plans for the site, which provide
	and structural protection of buildings.	canopy trees to the front and rear
	In locations of habitat importance,	yards and border plantings.
	maintain existing habitat and provide	
	for new habitat for plants and animals.	The species are assessed as being
	Provide a safe, attractive and	appropriate for the land and
	functional environment for residents.	conditions.
	Development should provide for the	
	retention or planting of trees, where	
	these are part of the character of the	
	neighbourhood.	
	Development should provide for the	
	replacement of any significant trees	
	that have been removed in the 12	
	months prior to the application being	
	made.	
	The landscape design should specify	
	landscape themes, vegetation	
	(location and species), paving and	
B14	lighting. Access	The proposal complies with this
D14	Accessways should:	The proposal complies with this standard.
	Be designed to allow convenient, safe	Standard.
	and efficient vehicle movements and	The impact of the driveway design
	connections within the development	is considered low impact on the
	and to the street network.	neighbourhood character, and the
	Be designed to ensure vehicles can	on street car parking.
	exit a development in a forwards	
	direction if the accessway serves five	The street frontage is 21 metres.
	or more car spaces, three or more	Driveway width is cumulatively 6
	dwellings, or connects to a road in a	metres or 28% of the frontage,
	Road Zone.	which complies with the
	Be at least 3 metres wide.	requirement.
	Have an internal radius of at least 4	
	metres at changes of direction.	Two on-street car parking spaces
	Provide a passing area at the	could reasonably and safety be
	entrance that is at least 5 metres wide	retained between the two
	and 7 metres long if the accessway	crossovers (11.25 metres). On
	serves ten or more spaces and	street car parking is not considered
	connects to a road in a Road Zone.	to be ideal given the pavement
	The width of accessways or car	width is 7.5m between kerbs. Further discussion is provided in
	spaces should not exceed: 33 per cent of the street frontage, or	relation to the grounds for
	If the width of the street frontage is	objection.
	less than 20 metres, 40 per cent of the	-
	street frontage.	
	No more than one single-width	
	crossover should be provided for each	
	dwelling fronting a street.	
	The location of crossovers should	
	maximise the retention of on-street car	
		I

	Standard	Officer's Comment
	parking spaces.	
	The number of access points to a road in a Road Zone should be minimised.	
	Developments must provide for access for service, emergency and	
	delivery vehicles.	
B15	Parking location Car parking facilities should:	The proposal complies with this standard.
	Be reasonably close and convenient to dwellings and residential buildings. Be secure. Be designed to allow safe and efficient movements within the development. Be well ventilated if enclosed.	Car parking facilities are deigned reasonably and securely, and in accordance with Clause 52.06. There are no shared accessways.
	Large parking areas should be broken up with trees, buildings or different surface treatments. Shared accessways or car parks of other dwellings and residential	
	buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced by 1 metre whether there is a fence of 1.5 metres high or where window sills are at least 1.4 metres	
D17	above the accessway.	The proposal compliant with this
B17	Side and rear setbacks A new building not on or within 150mm of a boundary should be set back from side or rear boundaries: At least the distance specified in the schedule to the zone, or	The proposal complies with this standard. Setbacks exceed 1 metre from boundaries.
	If no distance is specified in the schedule to the zone, 1 metre, plus 0.3 metres for every metre in height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.	The main dwelling is located a sufficient distance from the boundaries.
	Sunblinds, verandas, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling	
	equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.	
	Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps pergolas, shade sails and carports may encroach into the setbacks of this standard.	
B18	Walls on boundaries A new wall constructed on or within 150mm of a side or rear boundary of a lot or a carport constructed on or	The proposal complies with this standard.

	Standard	Officer's Comment
	within 1 metre of a side or rear	
	boundary of a lot should not abut the	
	boundary for a length of more than:	
	10 metres plus 25 per cent of the	
	remaining length of the boundary of an	
	adjoining lot, or	
	Where there are existing or	
	simultaneously constructed walls or	
	carports abutting the boundary on an	
	abutting lot, the length of the existing	
	or simultaneously constructed walls or	
	carports,	
	whichever is greater.	
	A new wall or carport may fully abut a	
	side or rear boundary where the slope	
	and retaining walls or fences would	
	result in the effective height of the wall or carport being less than 2 metres on	
	the abutting property boundary.	
	A building on a boundary includes a	
	building set back up to 150mm from a	
	boundary.	
	The height of a new wall constructed	
	on or within 150mm of a side or rear	
	boundary or a carport constructed on	
	or within 1 metres of a side or rear	
	boundary should not exceed an	
	average of 3 metres with no part	
	higher than 3.6 metres unless abutting	
	a higher existing or simultaneously	
	constructed wall.	
B19	Daylight to existing windows	The proposal complies with this
210	Buildings opposite an existing	standard.
	habitable room window should provide	
	for a light court to the existing window	There are no windows affected by
	that has a minimum area of 3 square	the siting and massing of the
	metres and a minimum dimension of 1	proposed dwellings.
	metre clear to the sky. The calculation	
	of the area may include land on the	
	abutting lot.	
	Walls or carports more than 3 metres	
	in height opposite an existing	
	habitable room window should be set	
	back from the window at least 50 per	
	cent of the height of the new wall if the	
	wall is within a 55 degree arc from the	
	centre of the existing window. The arc	
	may be swung to within 35 degrees of	
	the plane of the wall containing the	
	existing window.	
	Where the existing window is above	
	ground floor level, the wall height is	
	measured from the floor level of the	
	room containing the window.	
B20	North-facing windows	The proposal complies with this

	Standard	Officer's Comment
	If a north-facing habitable room	standard.
	window of an existing dwelling is	
	within 3 metres of a boundary on an	There are no north-facing windows
	abutting lot, a building should be	affected by the siting and massing
	setback from the boundary 1 metre,	of the proposed dwellings.
	plus 0.6 metre for every metre of	_
	height over 3.6 metres, plus 1 metre	
	for every metre of height over 6.9	
	metres, for a distance of 3 metres	
	from the edge of each side of the	
	window. A north-facing window is a	
	window with an axis perpendicular to	
	its surface oriented north 20 degrees	
<u></u>	west to north 30 degrees east.	-
B21	Overshadowing open space	The proposal complies with this
	Where sunlight to the secluded private	standard.
	open space of an existing dwelling is	There is no established area
	reduced, at least 75 per cent, or 40 square metres with a minimum	There is no established open
	dimension of 3 metres, whichever is	space affected by overshadowing from the proposed dwellings.
	the lesser area, of the secluded	Overshadowing will largely be
	private open space should receive a	contained within the lot.
	minimum of five hours of sunlight	
	between 9 am and 3 pm on 22	
	September.	
	If existing sunlight to the secluded	
	private open space of an existing	
	dwelling is less than the requirements	
	of this standard, the amount of	
	sunlight should not be further reduced.	
B22	Overlooking	The proposal complies with this
	A habitable room window, balcony,	standard.
	terrace, deck or patio should be	
	located and designed to avoid direct	The proposal is single storey and
	views into the secluded private open	there is not substantial
	•	topographical changes to provide
	an existing dwelling within a horizontal	for overlooking.
	distance of 9 metres (measured at	
	ground level) of the window, balcony,	
	terrace, deck or patio. Views should be measured within a 45 degree angle	
	from the plane of the window or	
	perimeter of the balcony, terrace, deck	
	or patio, and from a height of 1.7	
	metres above the floor level.	
	A habitable room window, balcony,	
	terrace, deck or patio with a direct	
	view into a habitable room window of	
	an existing dwelling within a horizontal	
	distance of 9 metres (measured at	
	ground level) of the window, balcony,	
	terrace, deck or patio should be either:	
	Offset a minimum of 1.5 metres from	
	the edge of one window to the edge of	
	another, or	<u> </u>

 Have sill heights of at least 1.7 metres above floor level, or Have obscure glazing in any part of the window below 1.7 metres above floor level, or Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent. Obscure glazing in any part of the window below 1.7 metres above floor level may be open able provided that there are no direct views as specified in the standards. Screens used to obscure a view should be: Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels. Permanent, fixed and durable. Designed and coloured to blend in with the development. This standard does not apply to a new habitable room window, balcony, terrace, deck or patio siles than 0.6 metres above ground level at the boundary. B23 Internal views Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development. B24 Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent properties. B24 Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should taka account of noise sources on immediately adjacent properties. 		Standard	Officer's Comment
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and residential buildings should take account of noise sources on immediately adjacent properties.		Noise sensitive rooms and secluded	the outer walls, which are set back
account of noise sources on adjacent the site.		private open spaces of new dwellings	approx. 4 metres from a boundary,
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		account of noise sources on	adjacent the site.
		immediately adjacent properties.	
Dwellings and residential buildings		Dwellings and residential buildings	
close to busy roads, railway lines or		close to busy roads, railway lines or	
industry should be designed to limit			
noise levels in habitable rooms.			
	B25		The proposal complies with this
The ground floor of dwellings and standard.		The ground floor of dwellings and	standard.

	Standard	Officer's Comment
	residential buildings should be	
	accessible or able to be easily made accessible to people with limited mobility.	There would need to be modifications to the front entry to provide for all abilities access. The dwelling is ground floor only.
B26	Dwelling entry Entries to dwellings and residential buildings should:	The proposal complies with this standard.
	Be visible and easily identifiable from streets and other public areas. Provide shelter, a sense of personal address and a transitional space around the entry.	Front entrance is identifiable from the street and easily visible. A footpath is provided to each dwelling. Shelter is provided.
B27	Daylight to new windows A window in a habitable room should be located to face:	The proposal complies with this standard.
	An outdoor space open to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot,	All habitable rooms have windows open clear to the sky.
	or A verandah provided it is open for at least one third of its perimeter, or A carport provided it has two or more open sides and is open for at least one third of its perimeter.	
B28	the schedule to the zone, a dwelling should have private open space	The proposal complies with this standard. Private open space is provided with adequate area dimensions to the side and rear of each dwelling.
	consisting of: An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room,	
	or A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.	
B29	Solar access to open space The private open space should be located on the north side of a dwelling,	The proposal complies with this standard.

	Standard	Officer's Comment
	if practicable. The southern boundary of secluded private open space should be set back from any wall on the north of the space at least (2 + 0.9h) metres, where 'h' is the height of the wall.	The private open space is located to the northwest of each dwelling.
B30	Storage Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.	The proposal complies with this standard. Storage is shown on the plans behind the carports of each dwelling.
B31	Design detail The design of buildings, including: Façade articulation and detailing, Window and door proportions, Roof form, and Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character. Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.	The proposal complies with this standard. The proposal respects the surrounding character and design of neighbouring dwellings, mimicking roof pitch, front entry, and cladding. Carports are setback of the main dwellings to be less visually dominant.
B32	Front fences The design of front fences should complement the design of the dwelling and any front fences on adjoining property. A front fence within 3 metres of a street should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, the maximum height specified in Table A2/B3.	The proposal complies with this standard, as no front fence is proposed.
B33	Common property Developments should clearly delineate public, communal and private areas. Common property, where provided, should be functional and capable of efficient management.	Not applicable as no common property is proposed.
B34	Site services The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically. Bins and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable,	The proposal complies with this standard. The dwellings will be able to access services equitably to the front and rear. A drainage and sewerage easement is provided at the rear of the property. Bin enclosures and mailboxes are considered reasonable and

Standard	Officer's Comment
waterproof and blend in with the development.	accessible for potential residents.
Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and	Bin enclosures are screened from view at the side of the proposed carports.
located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post.	Mailboxes are located alongside the footpath and adjacent to the driveway, being convenient for both residents and Australia Post.

GENERAL PROVISIONS

Objections

As previously stated, 43 objections have been received in relation to the proposal. It is critical to note that the objections substantially relate to concurrent planning permit applications for development of two dwellings on a lot in relation to 4, 5, 12, 13, 14, 16, and 17 Glendon Drive, Eastwood. The nature and content of the 43 objections is largely the same and has been summarised in this report.

The assessment of a single planning permit application for development of two dwellings on a lot by the responsible authority cannot address matters such as:

- Cumulative impact of the planning permit applications;
- The proposed tenancy of the dwellings to be constructed; that is, that they are owned by the Office for Housing and may be used for social housing; and
- Property valuation outcomes as a result of the above factors, nor even for the impact associated with the singular proposal.

1. Not in accordance with neighbourhood character, loss of streetscape

The assessment of the planning permit application must consider the impact of two dwellings on a lot. It is put that there may be an expectation that a single dwelling would be constructed on the lot as is the standard practice for the Eastwood Estate. That 12 lots are currently vacant on Glendon Drive out of 21 lots total means that the majority of the street character has not been established.

There are several existing examples of duplex dwelling development within the vicinity. Even the neighbouring properties at 2 Glendon Drive and 93 Flinns Road are of the same dwelling density, although not duplex construction. This is repeated on all four corners of this intersection.

In relation to the broader neighbourhood, there are further examples of similar dwelling density. Many of the objectors state that they would be satisfied with only one of the currently vacant lots in common ownership being developed with a duplex.

The proposal is not out-of-character for the neighbourhood or streetscape. There are 11 other lots to be developed in the street, which is more than half of the total properties on the street. As such, streetscape is emerging and can be altered.

2. Loss of property value

The majority of objectors raise this ground, which is an economic consideration, not a planning consideration. It is noted that the cost of development per dwelling might be significantly less than that of the surrounding dwellings, however this can be attributed

to the economies of scale associated with duplex development. Economic valuation should be tenure blind, and normally takes into consideration market and sale values of surrounding property.

3. Traffic Impacts and street parking, road safety

Each dwelling is provided with two off-street car parking spaces, including one under cover space, which meets the car parking standards of the Scheme. For convenience purposes, the majority of traffic would make the direct connection to Flinns Road which is a neighbourhood connector street. The design capacity of this street is suitable to accommodate a traffic yield of 10 vehicle movements per day above what would be anticipated from a single dwelling being constructed on the subject lot.

Minimal provision of on-street car parking would result from the narrow bitumen seal 7.75 metres with kerb and channel. Footpaths are constructed adjacent to the property frontages. Crossover locations for each dwelling is adjacent to the side lot boundaries. There would be ability to park a maximum of one car in front of the lot on-street without blocking one of the proposed driveways.

Glendon Drive is the primary connection for The Backwater, being less circuitous than the other egress at Gree Keeluk Place. This already represents a significant volume of traffic, with further development to occur as a result of several lots remaining vacant.

There will be negligible detriment as a result of the proposal assessed on its merit.

4. Social impacts, particularly the negative impacts from social housing

Valid concern is raised in relation to the social impact of the proposal in accordance with local planning policy. Additional information has been obtained in line with Council's Guidelines, however the nature of the Social Impact Comment rightly does not focus on the socioeconomic issues, as planning must be tenure blind in relation to proposals for residential development. As such, no further investigation is required.

5. General amenity and noise concerns

The issue of noise and general amenity is a discriminatory assumption based on the proposal being for social housing purposes. Planning must not consider this impact, especially in relation to proposals where the individual impact could reasonably be nil.

6. Use for crisis/emergency accommodation

It is considered that this concern is arose primarily in response to a past proposal for a 6 unit community care accommodation facility at 12-16 Glendon Drive. To some extent it has not been made clear from the proposal whether some aspect of that use will be transferred to the dwellings proposed, however that cannot be considered with respect to the assessment of this application, which relates to construction of two dwellings.

The planning scheme provides that places of community care accommodation, including shelters, refuges, and crisis accommodation should be exempt from planning consideration and afforded privacy and secrecy. As the individual planning applications are for two dwellings on a lot, Council should not further consider which of the dwellings, if any, would be used for community care accommodation.

7. Concerns regarding inability to organise, length of time to object

Adequate time has been afforded between the provision of notice and the determination. A public meeting was undertaken, following appropriate social distancing protocols and with ample assistance with relation to technology.

On balance of consideration of the objections, which largely relate to the broader impacts of cumulative development proposals and tenancy of the proposal, it is recommended that the responsible authority make its determination with respect to the East Gippsland Planning Scheme provisions, and resolve to issue a notice of decision to grant a planning permit.

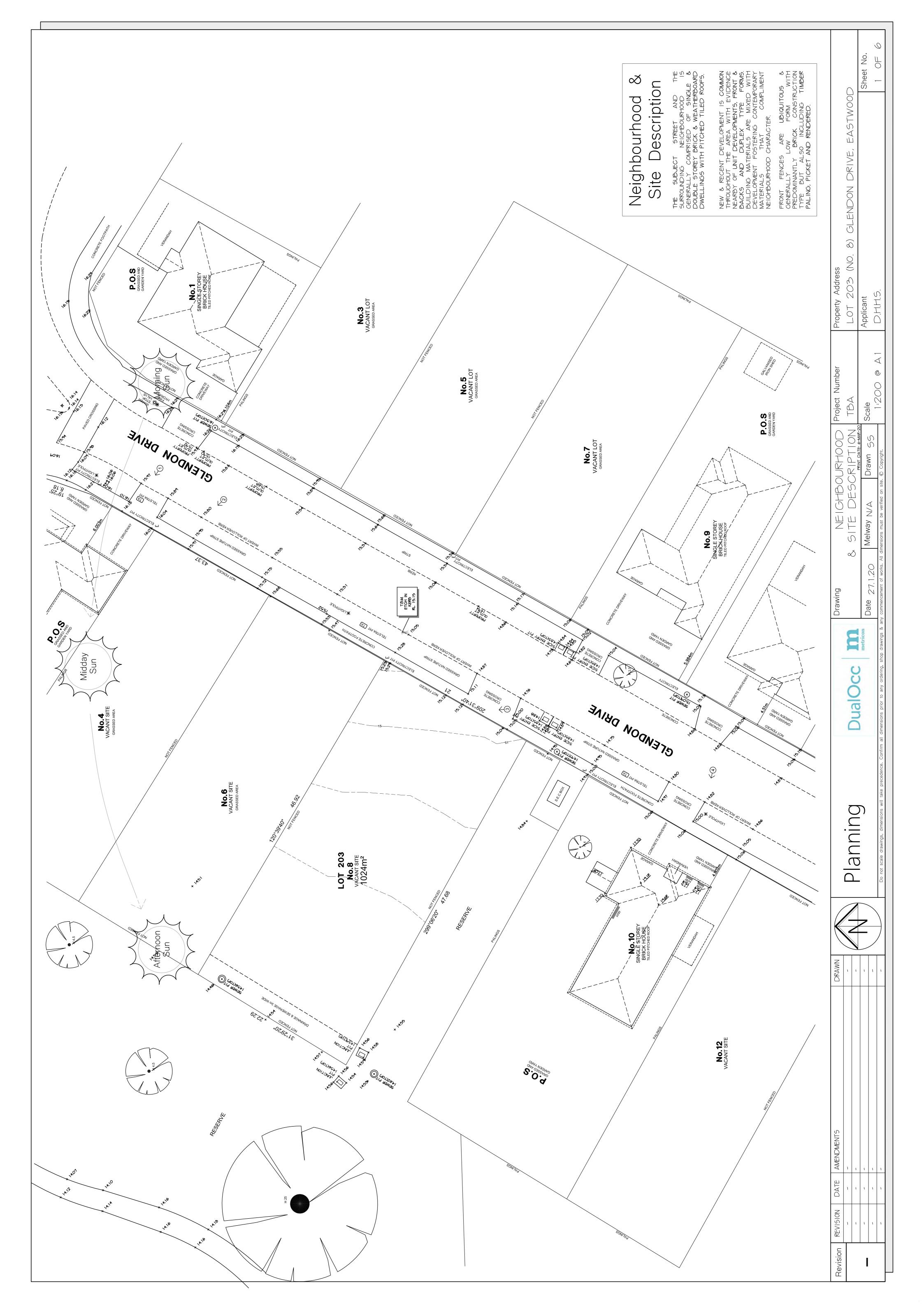
Section 60 and Clause 65

The application presents no detriment to the environmental values of the land or to the amenity of the area. The proposal is an acceptable planning outcome that is consistent with the objectives of planning in Victoria.

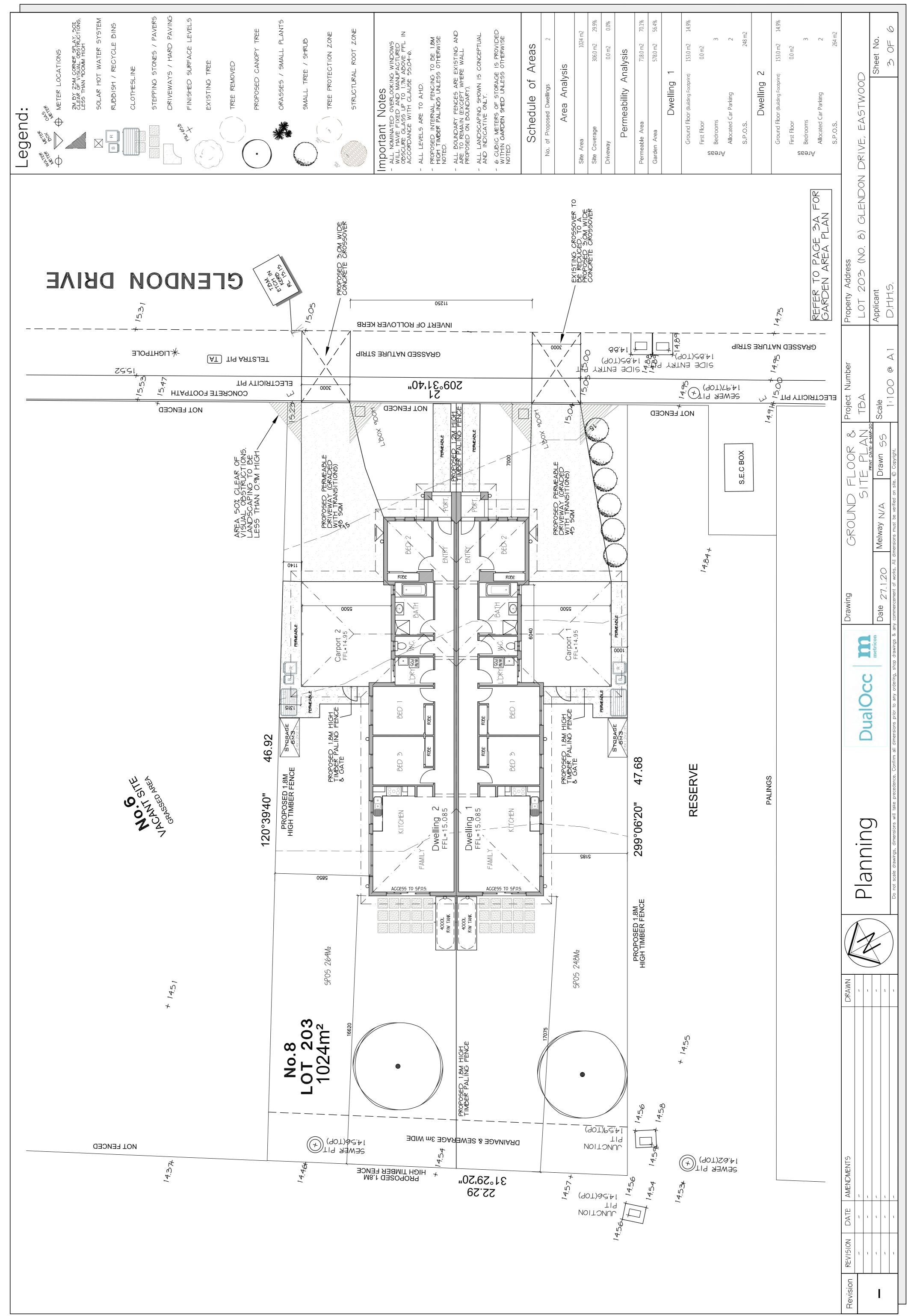
CONCLUSIONS & RECOMMENDATION

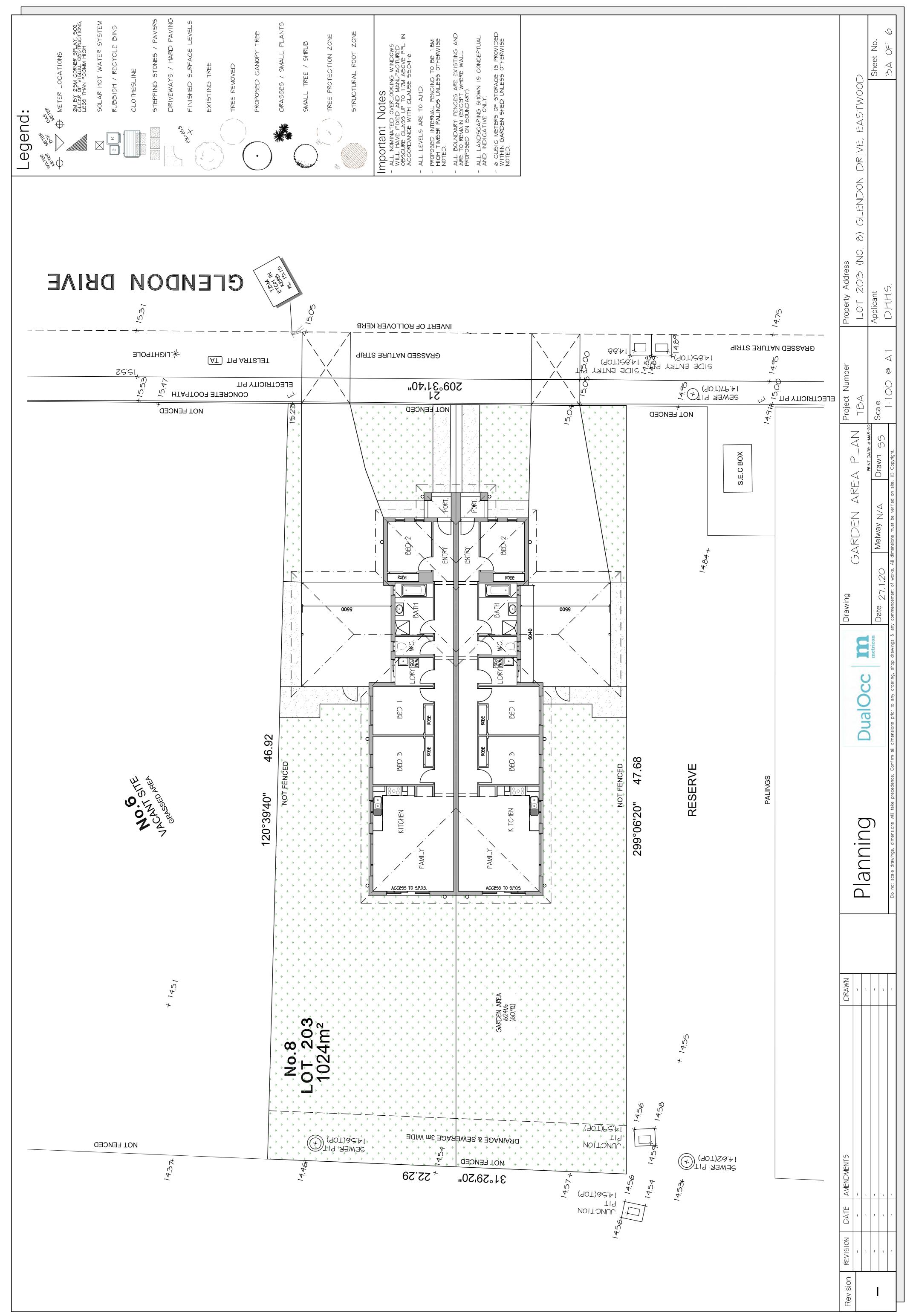
The application is consistent with the planning scheme and is suitable for Council support.

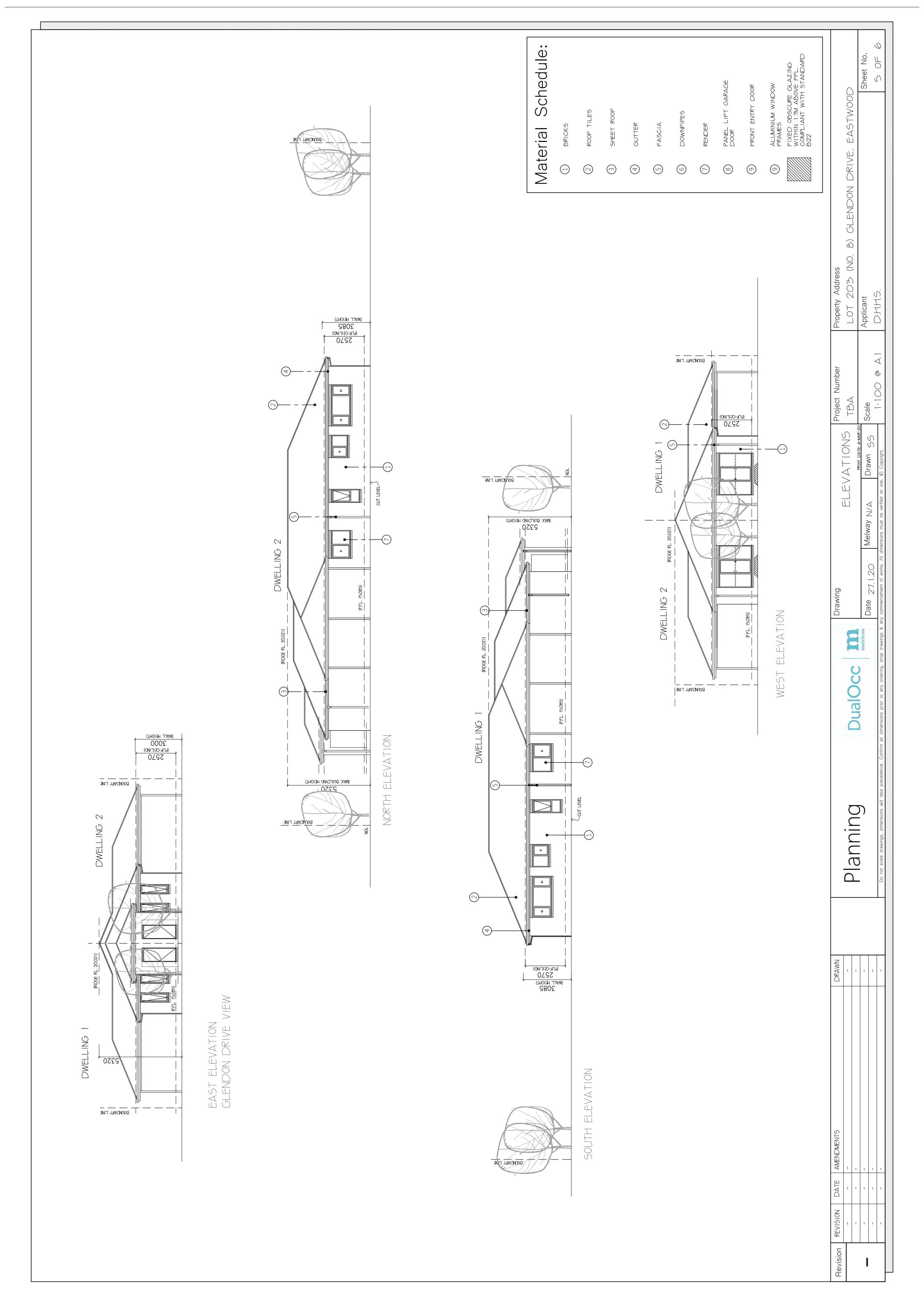
It is recommended that a notice of decision to grant a planning permit be issued subject to standard development conditions.

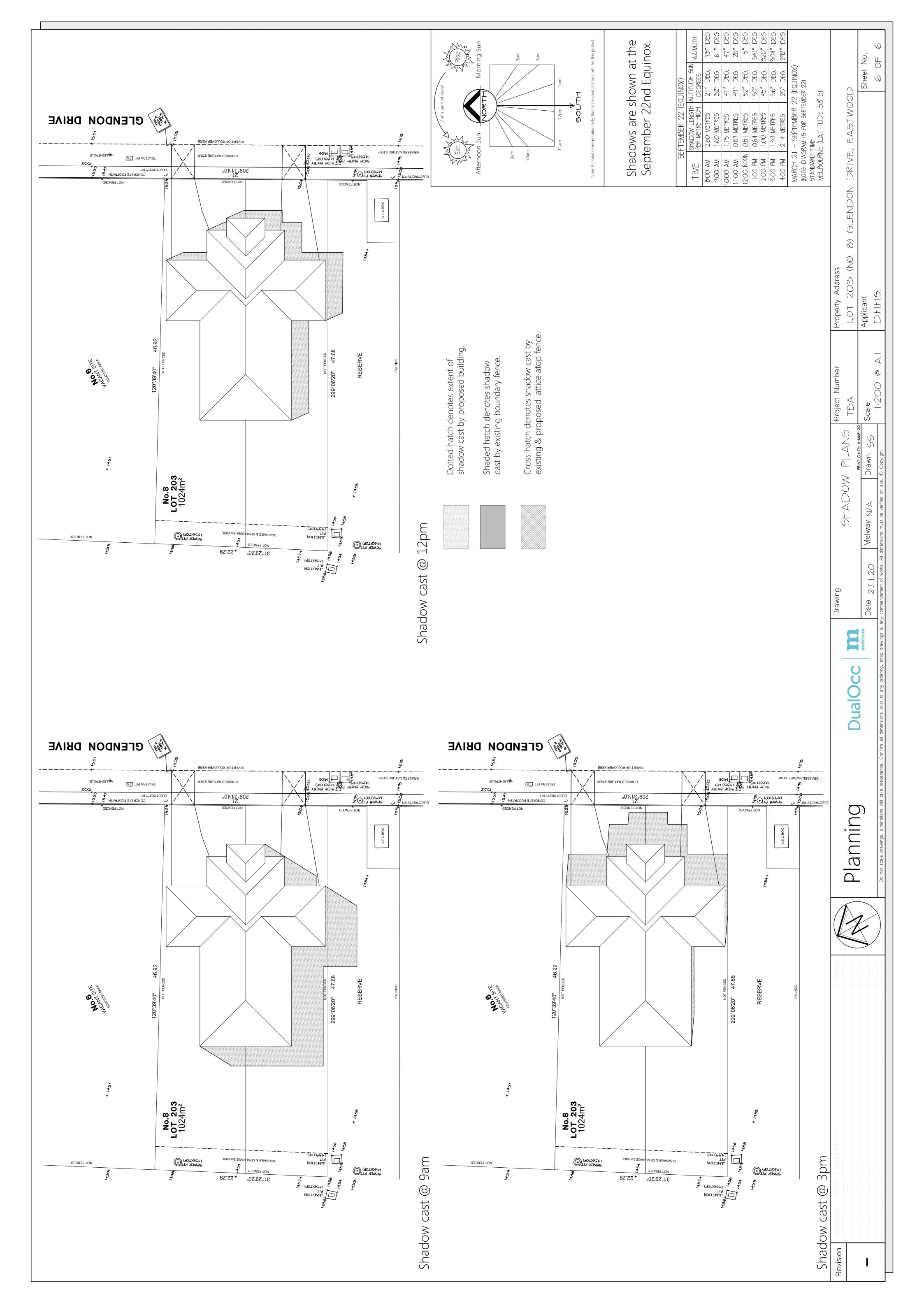












Material Schedule:				
NUMBER	SAMPLE	BRAND	COLOUR	DESC.
1		PGH	KURRAJONG (OR SIMILAR)	BRICKS
2		COLORBOND	MONUMENT (OR SIMILAR)	SHEET ROOF
3		COLORBOND	MONUMENT (OR SIMILAR)	GUTTER
4		COLORBOND	MONUMENT (OR SIMILAR)	FASCIA
5		COLORBOND	MONUMENT (OR SIMILAR)	DOWNPIPES
ALUMINIUM WINDOW FRAMES				
FIXED OBSCURE GLAZING WITHIN 1.7M ABOVE F.F.L. COMPLIANT WITH STANDARD B22.				

GENERAL NOTES

This plan has been generated as part of a development proposal and should be read in conjunction with site layout plan and building

elevations plan.

VEGETATION Existing trees, shrubs and groups of trees as indicated thus 🤍 are to retained and protected during site works Careful sitting of trees. It is inadvisable to plant them under power lines or electricity supply lines or over water or drainage pipes. Existing vegetation protection to be carried out during construction in accordance with the relevant council authority.

PLANT SETOUT:

Plants indicated on the drawing are set out to scale. Contractor must insure that the plants are set out accurately.

SOIL PREPARATION:

Cultivate existing soil to 100mm depth and spread 150mm of good quality, weed free topsoil. Apply gypsum where necessary. Spread 75mm bark or shredded wood mulch to garden beds.

LAWNS:

Seed or instant turf on 75mm lawn mix topsoil. A noninvasive grass species is to be utilised. Ensure seed bed and instant turf areas are kept moist during the establishment period. A rye grass mix is usually best for producing hardy lawns of an acceptable standard. Appropriate grass species include: Queensland blue grass, Weeping grass or Kentucky bluegrass.

GARDEN EDGING:

To define garden beds and lawn areas, garden edging is to be utilised. Acceptable products include: treated pine, recycled plastic, molded concrete, plantation grown Sugar Gum, brick edging or local stone. Timber edging must not utilise Jarrah, Red Gum or Cypress Pine unless it can be demonstrated that they are a recycled product.

PLANTS & PLANTING:

Prior to planting, areas will be sprayed with roundup herbicide twice with a period of 6-8 weeks between sprays. All plants to be healthy disease-free specimens. Plants are to be sourced from a supplier of locally-provenanced indigenous plants where possible (Contact: Locale nursery). Over excavate all plant holes by at least twice pot volume. Spread osmocote low-phosphorus formulation fertiliser to each plant hole at the rate of 25 gms/Ea Install heavy duty plastic treeguard sleeves over heavy duty 11-13mm 750mm bamboo stakes to all tubes except grasses. Mark grasses with a single 13mm bamboo stake. Immediately after planting water in all plants and maintain regular follow-up watering during establishment period. Regularly check planting to maintain treeguards sleeves and stakes. All plant deaths within the first 12 months will be replaced, to the satisfaction of the responsible authority.

CLIMBERS:

Where climbing plants have been located adjacent to fencing, fix 100x100x2mm galvanised gardenmesh or similar, stapled to the fence with galvanised staples.

STAKING

Staking to be completed immediately after planting. Plants to stand plumb after staking. All stakes shall be durable hardwood, straight, free from knots and twists and pointed at the end. All staking to avoid hitting rootball.

IRRIGATION:

Install tap points to front and rear garden areas of each unit to facilitate watering of front and rear garden areas by hose. Hose is only to be used if a trigger nozzle has been fitted.

DRAINAGE

Refer to architectural or engineering plans for stormwater and drainage pit locations. All paved areas in rear gardens are to have a grade of 2.5% minimum, away from buildings. All grades, levels and drainage to comply with relevant building codes and council planning requirements.

SERVICES:

Contractors are to determine the location of all underground and overhead services prior to construction.

BUILDING STRUCTURES:

The use of this plan and planting of trees, shrubs, etc as specified may require the provision of root control barriers or similar method of controlling root growth to avoid intrusion into adjacent areas or building foundations. Any areas of concern (particularly adjacent existing established buildings or structures) should be addressed by the recommendations of a structural engineer.

MULCH:

Spread 75mm bark or shredded wood mulch to garden beds. All trees to be mulched to a 500mm radius from the trunk. Mulch is not to be derived from threatened forest communities such as Jarrah and Red Gum (unless available on site). Eucy-mulch or Pine bark mulch to be used.

PAVING:

400x400mm concrete pavers on F.C.R. and sand base to areas indicated. (or similar substituted materials)

LILYDALE TOPPINGS OR PEBBLES:

75mm crushed rock base 50mm top layer of toppings or pebbles. (other materials as appropriate)

RETAINING WALLS:

Refer to architectural plans if required.

BATTER:

1 in 1.5 earth batter (fill) stabilised with boulders to 1m diameter and planting as per plan.

Note that sections of batters that need additional stabilising are to be covered with geofabric provided with planting slits and fixed to batter with galvanised steel stakes.

Batters to be mulched with shredded wood rather than bark to ensure stability. Refer to architect or draftsmans instructions.

Refer to section drawings if supplied.

MAINTENANCE PLAN:

The landscape works as shown on the endorsed plan must be carried out within 3 months of completion of the permitted development. The garden areas shown on the endorsed plan and schedule shall only be used as gardens and shall be maintained in a proper, tidy and healthy condition to the satisfaction of the Responsible Authority. Should any tree or shrub be removed or destroyed it may be required to be replaced by a tree or shrub of similar size and species.

Regularly water garden beds and lawn areas during establishment period and during dry spells. Eradicate any weed growth by physical removal or spraying with glyphosate based herbicide.

A 12 month maintenance plan is required for:

Weed control - regular control of environmental weeds to be carried out monthly. Irrigation - to be in accordance with the current government and local council regulations at the time of construction. Plant trimming - regular trimming is to be carried out in accordance with the individual requirements of each specie.

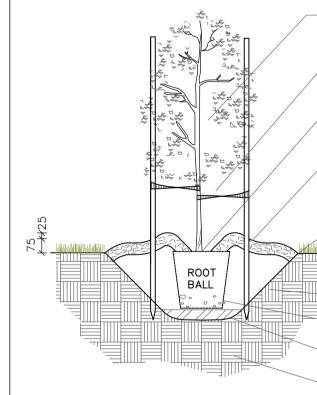


Original sheet size A1

IMPORTANT NOTE:

- THIS PLAN IS INTENDED AS GUIDE ONLY.
- ALL DIMENSIONS, LOCATIONS ETC ARE TO BE VEREIFIED ON SITE
- REFER TO ARCHITECTURAL AND ENGINEERING PLANS AND PERMIT CONDITIONS.
- JCA LAND CONSULTANTS ACCEPTS NO RESPONSIBILITY OR LIABILITY AS A RESULT OF ERRORS OR OMISSIONS ON THIS PLAN.







PROPOSED SHRUBS TO BE HEALTHY-DISEASE FREE SPECIMENS.

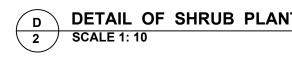
75MM LAYER OF SHREDDED PINE WOOD MULCH SPREAD SITE SALVAGED TOP SOIL TO GARDEN

BEDS TO A LIGHTLY ROLLED DEPTH OF 150MM OVER-EXCAVATE EACH HOLE BY AT LEAST TWICE POT VOLUME. ENSURE SIDES OF HOLE ARE

ROUGHENED. BACKFILL WITH IMPORTED TOPSOIL. WATER AFTER PLANTING AND DURING ESTABLISHMENT PERIOD. ANY SHORTFALLS IN LEVELS TO BE BUILT UP WITH CLEAN FILL

SPREAD OSMOCOTE SLOW RELEASE FERTILISER OR SIMILAR @ 25GM/150MM POT.

150MM LAYER CULTIVATED SITE SOIL EXISTING SUBGRADE





299°06'20" 47.68

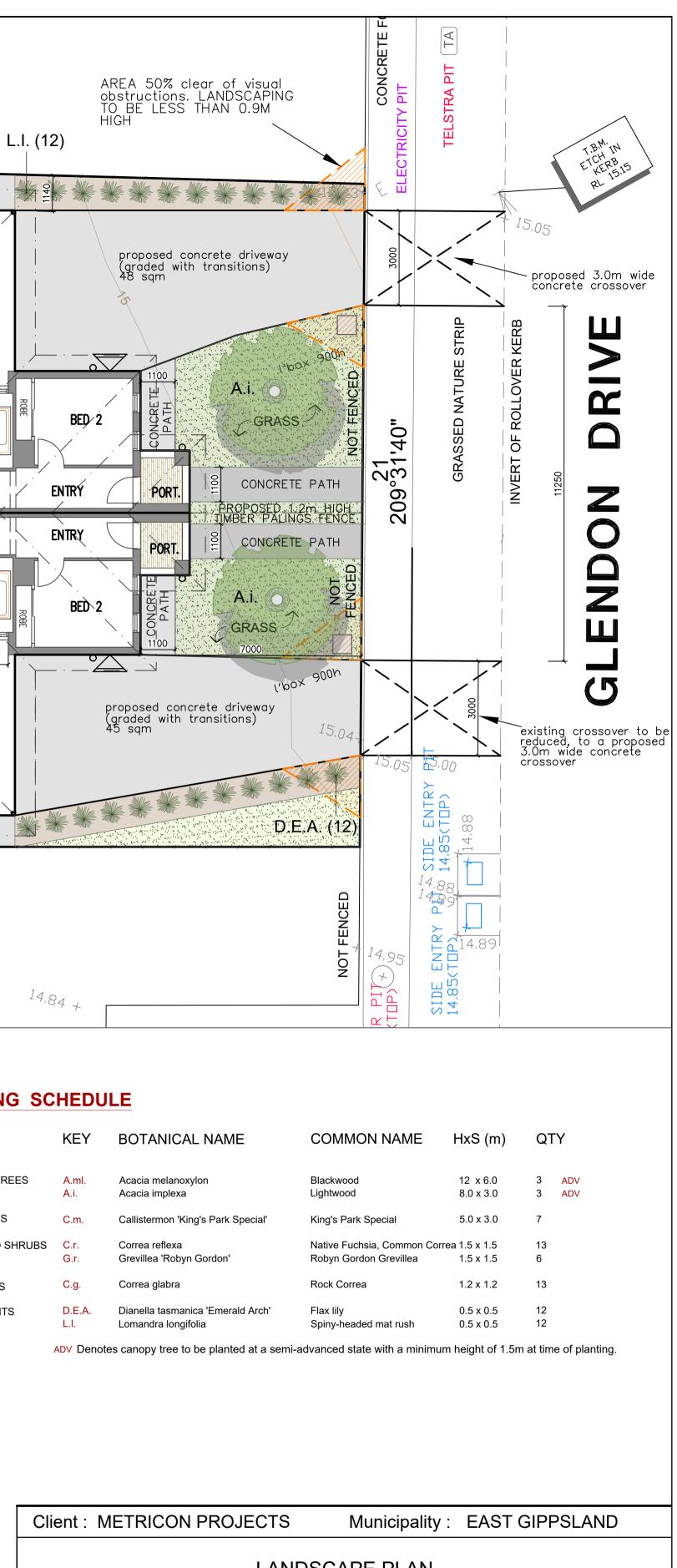
PROPOSED 1.8m HIGH PALINGS

+ 14,55

RESERVE

SHED 6M3

	PROPOSED EVERGREEN TREE TO BE HEALTHY DISEASE-FREE SPECIMENS. WATER TREES IN THEIR POTS THE DAY OF PLANTING AND REMOVE FROM POTS AT TIME OF PLANTING.	TREE SYMBOL LEGE	END			
	TREES STAKED & TIED TO 2 NO. 1500x32x32MM H.W.STAKES WITH FLEXIBLE RUBBER OR CANVAS IN FIGURE '8' CONFIGURATION	So the	PROPOSED EVERGREEN TREE		PLANTING	g so
/ _	SAUCER-SHAPED BOWL FORMED TO HOLD AT LEAST 4 LITRES OF WATER	a man				
	75MM LAYER OF SHREDDED PINE WOOD MULCH TO 1M DIAMETER DO NOT PLACE MULCH AROUND THE TRUNK AND AND MAINTAIN SEPARATION OF MULCH AND TRUNK TO PREVENT COLLAR ROT	0	PROPOSED LARGE SHRUB		HABIT	
	TO PROMOTE LATERAL ROOT GROWTH THE PLANTING HOLE SHALL BE NO LESS THAN 2 TIMES THE DIAMETER OF THE ROOT BALL AND ONLY ACCEPTABLE IF DUE TO SPACE RESTRICTIONS, OTHERWISE ALLOW FOR		PROPOSED MEDIUM SIZED SH	RUB	EVERGREEN TRE	ES
/	NO LESS THAN 3 TIMES THE DIAMETER OF THE ROOTBALL. SLOPE ALL SIDES AT 45 DEGRESS		PROPOSED SMALL SHRUB		LARGE SHRUBS	
	EXISTING SOIL PROFILE		PROPOSED TUFTING PLANT		MEDIUM SIZED SI	HRUBS
	PLANTING HOLE DEPTH SHALL BE 100MM BELOW THE DEPTH OF THE ROOT BALL, IN CIRCUMSTANCES WHERE WATER LOGGING MAY BE AN ISSUE, THE DEPTH OF THE HOLE WILL BE 100MM PLUS $\frac{2}{3}$ THE DEPTH OF THE ROOT BALL		PROPOSED 0.5m MULCHED TREI SURROUND	E	SMALL SHRUBS	
	100GM OF OSMOCOTE SLOW RELEASE FERTILISER OR SIMILAR				TUFTING PLANTS	6
	BREAK UP SIDES AND BASE OF EXCAVATION TO 100MM. PLANTING HOLE SHALL BE WATERED PRIOR TO THE SETTING OF TREES					
	EXISTING SUBGRADE	SURFACE LEGEND				
EE PL	LANTING		GRAVEL			
						С
			SLIP RESISTANT, HARD SURFACE MATERIAL (C			
			PERMEABLE PAVERS			
			GRASS			-1D
			MULCH		A PROT	2578011L1D
NTING	G - 150mm POT				M.BOFFA	DWG
				SCALE:	1:100 @ A1	



LANDSCAPE PLAN **8 GLENDON DRIVE**

EASTWOOD



DETAILED PLANNING REPORT

Permit Application: 94/2020/P

17 Glendon Drive EASTWOOD Lot 212 PS 542289

Development of the land for two dwellings

This report has been prepared to document the statutory planning assessment pursuant to the provisions of the *Planning and Environment Act 1987* and *Local Government Act 1989*.

KEY DETAILS

Subject address	17Glendon Drive EASTWOOD	
	Lot 212 PS 542289	
Land owner	Office of Housing	
Applicant	Clement-Stone Town Planners	
Land area	745 sqm	
Zone	General Residential Zone 1	
Overlays	Nil	
Cultural sensitivity	The land is not culturally sensitive	
Site inspected	The site has been subject to several inspections by the reporting officer, including through the notice period to ensure the notices were in place and not vandalised or removed.	
Restrictions on Title	There are restrictions on title which have been assessed and the proposal is compliant. Particularly, the proposal meets the intent of the covenant by being a duplex dwelling, being clad primarily in brick, and having an area of 114 sqm measured from the outer walls.	

PROPOSAL DETAILS/DISCUSSION

The application currently before Council seeks approval for development of two (2) dwellings on a currently vacant allotment.

Site Analysis

The subject lot is 745 square metres, currently vacant with no vegetation. A very slight slope runs high at the rear boundary down to the frontage. There are two vacant lots to the northeast. Dwellings are developed to the east and south. There are 12 total vacant lots in the street.. *Figure 1* demonstrates the site in neighbourhood context.



Figure 1: the subject land (highlighted red) in the neighbourhood context.

The lot is generally rectangular in shape and is provided with a standard frontage to Glendon Drive. Reticulated sewer, water, power, and natural gas are available. NBN Connection is available (fibre to the node). Footpaths are constructed on both sides of the street, which is also provided with a 7.5m wide sealed road with kerb and channel drainage.

Glendon Drive connects to The Backwater to the South via a traffic calming Tintersection and Flinns Road to the north via a roundabout. The Backwater, especially lots to the south side of the street, is considered a premium development area due to the amenity and outlook to Bairnsdale CBD overlooking the Mitchell River and Mitchell River Backwater/Reserve. Flinns Road is a neighbourhood collector street, connecting from Great Alpine Road in the Southeast to Howitt Avenue in the North – with Howitt Avenue connecting to Bullumwaal Road in the west of Eastwood and servicing the commercial and school precinct in central Eastwood. On the corner of Flinns Road and Glendon Drive, the corner lots are approximately half the size of the average lot for the immediate area.

Schools, shops, and other amenities can be accessed on foot. Bairnsdale CBD is a five-minute drive.

Proposal

The proposed development includes:

- A duplex dwelling, each dwelling having 3 bedrooms, open plan living/dining/kitchen, central bathroom & laundry, central corridor and front entry on shared boundary wall;
- external carport, single crossover and driveway to each dwelling, with room for 'stacked' parking up to 2 vehicles off-street;
- a 5000-litre rainwater tank to each dwelling to promote water sensitive urban design principles;
- externally accessed store, bin storage area and clothes drying area, plus a standalone mailbox to each dwelling; and

• landscaping provision for 2 canopy trees (front and rear) and other plantings to each dwelling.

The proposed plan set is shown in *Figures 2 through 5*. Full development plans are attached to this report.

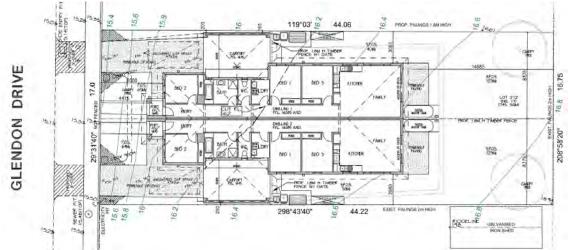


Figure 2: Proposed Site and Floor Plan

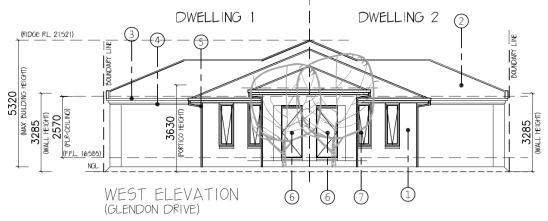


Figure 3: Proposed Street Elevation

NUMBER	SAMPLE	BRAND	COLOUR	DESC.
0		PGH	KURKAJONG (OR SIMILAR)	DRICKS
10		COLORBOND	MONUMENT (OR SIMILAR)	SHEET ROOM
а		COLORBOND	MONUMENT (OR SIMILAR)	GUTTER.
à		COLORBOND	MONDMENT (OR SIMILAR)	FASOA
Ľ.		COLORBOND	MONUMENT (OR SIMILAR)	DOWNPIPES

Figure 4: Proposed Materials Schedule

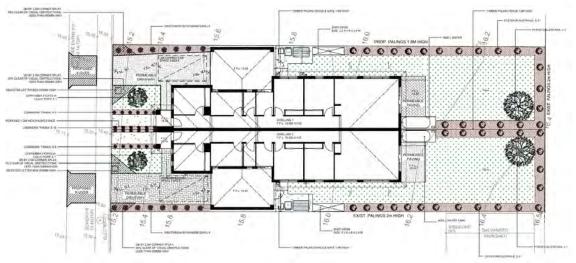


Figure 5: Proposed landscape plan

PLANNING CONTROLS

Control	Clause(s)	Consideration
General Residential Zone 1	32.08-6	Construct two dwellings on a lot
Two or more dwellings on a lot	55	Two dwelling ResCode assessment

Cultural sensitivity

Pursuant to the *Aboriginal Heritage Regulations 2018,* a Cultural Heritage Management Plan (CHMP) is not required as the land is not mapped as having values of cultural heritage.

REQUEST FOR FURTHER INFORMATION

Pursuant to Section 54 of the *Planning and Environment Act 1987*, additional information was sought by Council during the assessment of the application. The information sought was:

• A Social Impact comment pursuant to Clause - 21.07-3 Sustainable Development, Strategy 1.2 in accordance with the *Social Impact Assessment Guidelines for Development Applications* (East Gippsland Shire Council May 2015)

The applicant submitted the required information and satisfied the request. No further social impact assessment is warranted.

REFERRAL AUTHORITIES

The application was not subject to mandatory external referrals.

INTERNAL ADVICE

DEPARTMENT	SCOPE OF ADVICE	OUTCOME
Senior Technical Officer - Development	Drainage, Access, Roads	Advice provided
Municipal Building Surveyor	ResCode	Advice provided

General Technical advice only was provided, as the Street is generally fully serviced, and the proposal meets the requirements for on-site services including drainage and car parking. More discussion is available in relation to the broader proposal for concurrently assessed proposals within the same street.

General Building Surveyor advice was provided in relation to ResCode issues, specifically the clarification regarding minor variations to street setback.

PUBLIC NOTIFICATION

Advertising Required:

Public notification was undertaken in the form of letters to adjoining landowners and a sign was placed on site in accordance with Section 52 of the Planning and Environment Act 1987.

45 objections have been received at the time of writing this report.

A statutory declaration has been provided that confirms notification was undertaken as directed and that the responsible authority will not decide on the application before 28 April 2020.

An assessment of the objections is provided within the General Provisions section of this report.

REPORT – PLANNING CONSIDERATION

Planning Policy Framework (PPF)

The assessment of the application before Council requires assessment against Planning Policy Framework.

The clauses that have an influence upon the assessment of this application include:

- 11 Settlement
 - Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing
- 15 Built Environment and Heritage
 - Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.
 - Planning should promote excellence in the built environment and create places that:
 - Are enjoyable, engaging and comfortable to be in.
 - Accommodate people of all abilities, ages and cultures.
 - Contribute positively to local character and sense of place.
 - Reflect the particular characteristics and cultural identity of the community.
 - Enhance the function, amenity and safety of the public realm.
 - Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale and massing of new development.
 - Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.
 - Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.
 - Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.
 - Ensure development responds to cultural identity and contributes to existing or preferred neighbourhood character.
 - 16 Housing
 - Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.
 - Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.
 - Planning for housing should include the provision of land for affordable housing.
 - Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.
 - Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.
 - Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.
 - Facilitate the delivery of high quality social housing.
 - Increase the proportion of new housing in designated locations within established urban areas and reduce the share of new dwellings in greenfield and dispersed development areas.
 - Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.
 - Ensure an adequate supply of redevelopment opportunities within established urban areas to reduce the pressure for fringe development.

- Facilitate residential development that is cost effective in infrastructure provision and use, energy efficient, water efficient and encourages public transport use.
- Identify opportunities for increased residential densities to help consolidate urban areas.
- Facilitate diverse housing that offers choice and meets changing household needs through:
 - A mix of housing types.
 - Adaptable internal dwelling design.
 - Universal design.
- Encourage the development of well-designed medium-density housing that:
 - Respects the neighbourhood character.
 - Improves housing choice.
 - Makes better use of existing infrastructure.
 - Improves energy efficiency of housing.
- Support opportunities for a range of income groups to choose housing in wellserviced locations.
- Increase the supply of well-located affordable housing by:
 - Facilitating a mix of private, affordable and social housing in suburbs, activity centres and urban renewal precincts.
 - Ensuring the redevelopment and renewal of public housing stock better meets community needs.
- Facilitate the delivery of social housing by identifying surplus government land suitable for housing.

Assessment:

11 Settlement: The application meets the objectives of this clause. The development allows for an increase in land that is for residential development. It also provides for growth in population, while preserving the natural resources of the land and remains sensitive to the surrounding character.

15 Built Environment and Heritage: The application meets the objectives of this clause. The building design and the urban design contribute to the character and cultural identity to the surrounding area. The applicant has made a clear effort to respond to the strategic and cultural context of the area.

16 Housing: The application meets the objectives of this clause. The development is considered favourable as it promotes a housing market that meets the community needs, by increasing the supply of housing. The site is situated in a location that is considered appropriate to increase the supply of housing. As per clause 16.01-3s, the proposal provides a greater range of housing types. As per clause 16.01-4s, the proposal also facilitates the proposal of social housing within the municipality. The proposal assists with providing additional housing needed to accommodate the population growth in the region.

Municipal Strategic Statement (MSS)

Council is required to consider Local Policy as a part of this assessment.

Local Policy clauses that are relevant include:

21.03 Settlement

- Ensure a range of lot sizes and dwelling types to provide diversity and choice in new residential areas.
- Support infill medium density housing close to Bairnsdale CBD to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

• Support residential infill development within existing residential zones identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

21.07 Built Environment and Heritage

- Encourage high standards of design in all new developments, with special emphasis on urban areas, coastal and lakeside areas and other localities of high landscape quality, and land adjacent to parks and reserves.
- Ensure that future development contributes to the achievement of liveable, productive and sustainable communities in East Gippsland.
- Require proposals for new development, land use, infrastructure and changes in policy to consider social impact through the preparation of social impact comments and/or assessments as identified in the East Gippsland Shire Council Social Impact Assessment Guidelines for Development Applications.

21.08 Housing

- Cater for the housing needs and preferences of all segments of the community.
- Encourage the supply of elderly persons' housing in the main centres and facilitate development of community housing.
- Encourage the building and construction sector to provide a range of housing types and styles including higher density dwellings in town centres, to provide choice for consumers.
- Support infill medium density housing and a mix of housing types close to Bairnsdale CBD and key locations to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and on Plan 1 Housing Diversity.

21.12 Strategies for Sub-Regions, Towns and Localities

Lakes & Coastal

- Encouraging population growth and development in fully serviced residential land in the major towns
- Continue to encourage residential development within the urban areas already zoned residential.
- Future development should continue in [Brookfield] Lakes and Shannon Waters Estate (see Plan 3 Revitalisation and Growth Strategy).
- Support residential infill development within existing residential zones identified within the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

Assessment:

Settlement: The development allows for an increase in diverse housing types, and makes better use of the community's urban infrastructure. The proposal provides a land supply that attempts to accommodate the future population growth within Bairnsdale.

Housing: the proposal accommodates for the increase in Bairnsdale's future population growth. Catering for this increase in housing needs is a key objective of this clause, and the proposal addresses this successfully. Furthermore, the building of more social housing is likely to benefit those in the community that are most vulnerable, such as low income people, so the proposal addresses the social considerations that are needed when assessing an application. The proposal also promotes a greater diversity of housing types.

Strategies for Sub-Regions, Towns and Localities: the property is located in the "lakes and Coastal" area, and is considered to fulfill the objectives of this region. For example, it increases the housing supply in the area, taking advantage of the surrounding infrastructure and transport access, which caters for the changing needs of the area and increasing population of the area.

GENERAL RESIDENTIAL ZONE 1

Purpose:

To encourage development that respects the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

Key Decision Guidelines:

General issues

- The purpose of this zone.
- The objectives set out in a schedule to this zone.
- Any other decision guidelines specified in a schedule to this zone.
- The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.

Dwellings and residential buildings

• For the construction and extension of two or more dwellings on a lot,..., the objectives, standards and decision guidelines of Clause 55.

Assessment:

It is assessed that the proposal meets the requirements and objectives of the zone. The design of the proposed dwellings successfully responds to the neighbourhood character of the area through criteria such as the garden area and landscaping, building heights, materials used, form, and also the architectural design. Assessment is based on the existing conditions, including that 11 additional lots within the street are currently vacant.

The proposal is considered greenfield rather than infill development, as the lot has not been developed since being created by subdivision in 2006. The proposal can be considered housing growth due to its increased density. The proposal is located in reasonable walking distance of a range of shops and services, inclusive of retail, medical, dental, veterinary, child care, and primary school.

Clause 32.08-4 states that the minimum garden area for a lot greater than 650 sqm is 35%. The proposal meets this criteria with a garden area of 367 sqm or 49.3%.

Assessment of clause 55 in accordance with the requirements of Clause 32.08- is provided in the particular provision section of this report.

Clause 32.08-10 states that the maximum building height must not exceed 11 metres. The proposal has a maximum building height of 5.32 metres, and so meets the requirements of this criteria.

The proposal is suitable for approval in accordance with the provisions of the General Residential Zone 1.

PARTICULAR PROVISIONS

Clause 52.06 - Car Parking

The application complies with the requirement for a three bedroom dwelling to be provided with two car parking spaces, with at least one car parking space being under cover.

Clause 55 - Two or more dwellings on a lot

The primary assessment criteria of the application is with respect to Clause 55, which implements ResCode assessment for the proposal. Where a variation to ResCode is proposed, the planning permit is the statutory authority for approval of such variation.

All standards of clause 55 have been met, except for standard B6 (street setback), which has a minor non compliance. Although it is non-compliant, the responsible authority has assessed that it is so minor that the proposal can still be assessed as appropriate, as the proposed setback still respects the neighbourhood character, and there are examples of other dwellings in the area that have similar setbacks.

The following is an assessment against the Clause 55 objectives and standards:

	Standard	Officer's Comment
B1	Neighbourhood character The design response must be appropriate to the neighbourhood and the site. The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.	The application is compliant with this standard, as it respects the surrounding character and design of surrounding dwellings.
B2	Residential policy An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.	The applicant has complied with this standard. The proposal is consistent with the relevant housing policy in the LPPF and the SPPF.
B3	Dwelling diversity Developments of ten or more dwellings should provide a range of dwelling sizes and types, including: Dwellings with a different number of bedrooms. At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.	Not applicable to this application. The application is for 2 dwellings.
B4	Infrastructure Development should be connected to	The application complies with this standard.

	Standard	Officer's Comment
	reticulated services, including reticulated sewerage, drainage, electricity and gas, if available. Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no spare capacity, developments should provide for upgrading or mitigation of the impact on services or infrastructure.	A full suite of reticulated services are available, inclusive of nbn and
B5 B6	Integration with the street Development should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility. Dwellings should be oriented to front existing and proposed streets. High fencing in front of dwellings should be avoided if practicable. Development next to existing public open space should be laid out to complement the open space.	The proposal complies with this standard. The development enhances accessibility, and has avoided high fences, and the orientation is to the front of the lot, with no front fences proposed. The applicant proposes a set back
	 Walls of buildings should be set back from streets: At least the distance specified in the schedule to the zone, or If no distance is specified in the schedule to the zone, the distance specified in Table A1/B1. The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser. Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard. 	of 6 metres to the main dwelling wall. There is a dwelling at 19 Glendon Drive. The land at 15 Glendon Drive is vacant. There are two considerations with respect to this proposal:

	Standard	Officer's Comment
		so minor an encroachment that the proposal does not detract from the neighbourhood character. The encroachment is less than 10 square metres in total area, the proposed carport provides for open areas, and has a further increased setback from the main wall of the dwelling(s). Furthermore, the incorporation of landscaping and canopy trees also
		assists in the incorporation of the proposal into the streetscape by reducing bulk.
Β7	Building height The maximum building height should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, 11 metres. Changes of building height between existing buildings and new buildings should be graduated.	The building height being proposed is 5.32 metres, demonstrating compliance with this standard.
B8	Site coverage The site area covered by buildings should not exceed: The maximum site coverage specified in the schedule to the zone, or If no maximum site coverage is specified in the schedule to the zone, 60 per cent.	Total site coverage is 38.6%, demonstrating compliance with this standard.
B9	Permeability At least 20 per cent of the site should not be covered by impervious surfaces.	The proposal complies with this standard.
B10	 Energy efficiency Buildings should be: Orientated to make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. Living areas and private open space should be located on the north side of the development, if practicable. Developments should be designed so that solar access to north-facing windows is maximised. 	The proposal complies with this standard. The living areas of the dwellings are oriented to the rear, which generally faces southeast. Significant private open space areas are also provided in this direction, but which reasonably have solar access based on the single storey elevation.
B11	Open space If any public or communal open space is provided on site, it should: Be substantially fronted by dwellings,	Not applicable to this application.

	Standard	Officer's Comment
	where appropriate. Provide outlook for as many dwellings as practicable. Be designed to protect any natural features on the site. Be accessible and useable.	
B12	Safety Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways. Planting which creates unsafe spaces along streets and accessways should be avoided. Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways. Private spaces within developments should be protected from inappropriate use of public thoroughfares.	The proposal complies with this standard. Entries are provided facing the street. Plantings are designed to retain passive street surveillance and there are no proposed walls that will prevent clear vision from the driveway through to the entry door. There is additionally direct access available through the laundry to the carport.
B13	Landscaping The landscape layout and design should: Protect any predominant landscape features of the neighbourhood. Take into account the soil type and drainage patterns of the site. Allow for intended vegetation growth and structural protection of buildings. In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. Provide a safe, attractive and functional environment for residents. Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood. Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made. The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.	The proposal complies with this standard. The site and streetscape are currently without vegetation. The proposal contains landscaping plans for the site, which provide canopy trees to the front and rear yards and border plantings. The species are assessed as being appropriate for the land and conditions.
B14	Access Access Accessways should: Be designed to allow convenient, safe and efficient vehicle movements and connections within the development and to the street network.	The proposal complies with this standard. The impact of the driveway design is considered low impact on the neighbourhood character, and the

	Standard	Officer's Comment
	Be designed to ensure vehicles can	on street car parking.
	exit a development in a forwards	1 0
	direction if the accessway serves five	The street frontage is 17 metres.
	or more car spaces, three or more	Driveway width is cumulatively 6
	dwellings, or connects to a road in a	metres or 35% of the frontage,
	Road Zone.	which complies with the
	Be at least 3 metres wide.	requirement.
	Have an internal radius of at least 4	
	metres at changes of direction.	One on-street car parking space
	Provide a passing area at the	could reasonably and safety be
	entrance that is at least 5 metres wide	retained between the two
	and 7 metres long if the accessway	crossovers (8.9m). On street car
	serves ten or more spaces and	parking is not considered to be
	connects to a road in a Road Zone.	ideal given the pavement width is
	The width of accessways or car	7.5m between kerbs. Further
	spaces should not exceed:	discussion is provided in relation to
	33 per cent of the street frontage, or	the grounds for objection.
	If the width of the street frontage is	
	less than 20 metres, 40 per cent of the	
	street frontage. No more than one single-width	
	crossover should be provided for each	
	dwelling fronting a street.	
	The location of crossovers should	
	maximise the retention of on-street car	
	parking spaces.	
	The number of access points to a road	
	in a Road Zone should be minimised.	
	Developments must provide for	
	access for service, emergency and	
	delivery vehicles.	
B15	Parking location	The proposal complies with this
	Car parking facilities should:	standard.
	Be reasonably close and convenient	
	to dwellings and residential buildings.	Car parking facilities are deigned
	Be secure.	reasonably and securely, and in
	Be designed to allow safe and efficient	accordance with Clause 52.06.
	movements within the development.	_ , , ,
	Be well ventilated if enclosed.	There are no shared accessways.
	Large parking areas should be broken	
	up with trees, buildings or different surface treatments.	
	Shared accessways or car parks of	
	other dwellings and residential	
	buildings should be located at least	
	1.5 metres from the windows of	
	habitable rooms. This setback may be	
	reduced by 1 metre whether there is a	
	fence of 1.5 metres high or where	
	window sills are at least 1.4 metres	
	above the accessway.	
B17	Side and rear setbacks	The proposal complies with this
	A new building not on or within	standard.
	150mm of a boundary should be set	
	back from side or rear boundaries:	The carport wall adjacent to the
	·	· · · ·

	Standard	Officer's Comment
	Standard At least the distance specified in the schedule to the zone, or If no distance is specified in the schedule to the zone, 1 metre, plus 0.3 metres for every metre in height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. Sunblinds, verandas, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard. Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps pergolas, shade sails and carports may encroach into the setbacks of this standard.	Officer's Comment boundary has a height of 3.0 metres, which is under the rescode requirement of 3.2 metres average and 3.6 metres maximum. The main dwelling is located a sufficient distance from the boundaries.
B18	Walls on boundaries A new wall constructed on or within 150mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot should not abut the boundary for a length of more than: 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is greater. A new wall or carport may fully abut a side or rear boundary where the slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary. A building on a boundary includes a building set back up to 150mm from a boundary. The height of a new wall constructed on or within 150mm of a side or rear boundary or a carport constructed on or within 1 metres of a side or rear boundary should not exceed an average of 3 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously	The proposal complies with this standard. The carport wall is within 1 metre of the side boundary but less than 10 metres in length. There are no other walls on boundaries.

	Standard	Officer's Comment
	constructed wall.	
B19		Officer's Comment The proposal complies with this standard. There are no windows affected by the siting and massing of the proposed dwellings.
	measured from the floor level of the	
	room containing the window.	
B20	North-facing windows If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metre for every metre of height over 3.6 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.	The proposal complies with this standard. There are no north-facing windows affected by the siting and massing of the proposed dwellings.
B21	Overshadowing open space Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with a minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September. If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.	The proposal complies with this standard. There is no established open space affected by overshadowing from the proposed dwellings. Overshadowing will largely be contained within the lot.

	Standard	Officer's Comment
B22	Overlooking	The proposal complies with this
_	A habitable room window, balcony,	standard.
	terrace, deck or patio should be	
	located and designed to avoid direct	The proposal and neighbouring
	views into the secluded private open	dwellings are single storey and
	space and habitable room windows of	there is not substantial
	an existing dwelling within a horizontal	topographical changes to provide
	distance of 9 metres (measured at	for overlooking.
	ground level) of the window, balcony,	
	terrace, deck or patio. Views should	
	be measured within a 45 degree angle	
	from the plane of the window or	
	perimeter of the balcony, terrace, deck	
	or patio, and from a height of 1.7	
	metres above the floor level.	
	A habitable room window, balcony,	
	terrace, deck or patio with a direct	
	view into a habitable room window of	
	an existing dwelling within a horizontal	
	distance of 9 metres (measured at	
	ground level) of the window, balcony,	
	terrace, deck or patio should be either:	
	Offset a minimum of 1.5 metres from	
	the edge of one window to the edge of	
	another, or	
	Have sill heights of at least 1.7 metres	
	above floor level, or	
	Have obscure glazing in any part of	
	the window below 1.7 metres above	
	floor level, or	
	Have permanently fixed external screens to at least 1.7 metres above	
	floor level and be no more than 25 per	
	cent transparent.	
	Obscure glazing in any part of the	
	window below 1.7 metres above floor	
	level may be open able provided that	
	there are no direct views as specified	
	in the standards.	
	Screens used to obscure a view	
	should be:	
	Perforated panels or trellis with a	
	maximum of 25 per cent openings or	
	solid translucent panels.	
	Permanent, fixed and durable.	
	Designed and coloured to blend in	
	with the development.	
	This standard does not apply to a new	
	habitable room window, balcony,	
	terrace, deck or patio which faces a	
	property boundary where there is a	
	visual barrier of at least 1.6 metres	
	high and the floor level of the	
	habitable room, balcony, terrace, deck	
	or patio is less than 0.6 metres above	

	Standard	Officer's Comment
	ground level at the boundary.	
B23	Internal views Windows and balconies should be designed to prevent overlooking of	The proposal complies with this standard.
	more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.	No windows are overlooking.
B24	Noise impacts Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.	The proposal complies with this standard. Services to the proposed dwelling will be located in close proximity to the outer walls, which are set back approx. 3 metres from a boundary, and a further 4-6 metres to habitable rooms on the adjacent properties.
B25	Accessibility The ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.	The proposal complies with this standard. There would need to be modifications to the front entry to provide for all abilities access. The dwelling is ground floor only.
B26	Dwelling entry Entries to dwellings and residential buildings should: Be visible and easily identifiable from streets and other public areas. Provide shelter, a sense of personal address and a transitional space around the entry.	The proposal complies with this standard. Front entrance is identifiable from the street and easily visible. A footpath is provided to each dwelling. Shelter is provided.
B27	Daylight to new windows A window in a habitable room should be located to face: An outdoor space open to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or A verandah provided it is open for at least one third of its perimeter, or A carport provided it has two or more open sides and is open for at least one third of its perimeter.	The proposal complies with this standard. All habitable rooms have windows open clear to the sky.
B28	Private open space A dwelling or residential building should have private open space of an	The proposal complies with this standard.

	Standard	Officer's Comment
	area and dimensions specified in the	Private open space is provided
	schedule to the zone.	with adequate area dimensions to
	If no area or dimensions is specified in	the side and rear of each dwelling.
	the schedule to the zone, a dwelling	
	should have private open space	
	consisting of:	
	An area of 40 square metres, with one	
	part of the private open space to	
	consist of secluded private open	
	space at the side or rear of the	
	dwelling or residential building with a	
	minimum area of 25 square metres, a	
	minimum dimension of 3 metres and	
	convenient access from a living room,	
	or	
	A balcony of 8 square metres with a	
	minimum width of 1.6 metres and	
	convenient access from a living room,	
	or	
	A roof-top area of 10 square metres	
	with a minimum width of 2 metres and	
	convenient access from a living room.	
B29	Solar access to open space	The proposal complies with this
	The private open space should be	standard.
	located on the north side of a dwelling,	
	if practicable.	The private open space is located
	The southern boundary of secluded	to the northwest of each dwelling.
	private open space should be set back	
	from any wall on the north of the	
	space at least (2 + 0.9h) metres,	
<u></u>	where 'h' is the height of the wall.	
B30	Storage	The proposal complies with this
	5	standard.
	access to at least 6 cubic metres of	Starage is shown on the plane
	externally accessible, secure storage	Storage is shown on the plans
	space.	behind the carports of each
		dwelling.
B31	Design detail	The proposal complies with this
	The design of buildings, including:	standard.
	Façade articulation and detailing,	
	Window and door proportions,	The proposal respects the
	Roof form, and	surrounding character and design
	Verandahs, eaves and parapets,	of neighbouring dwellings,
	should respect the existing or	mimicking roof pitch, front entry,
	preferred neighbourhood character.	and cladding.
	Garages and carports should be	č
	visually compatible with the	Carports are setback of the main
	development and the existing or	dwellings to be less visually
	preferred neighbourhood character.	dominant.
B32	Front fences	The proposal complies with this
	The design of front fences should	standard, as no front fence is
	complement the design of the dwelling	proposed.
	and any front fences on adjoining	
	property.	
_		

	Standard A front fence within 3 metres of a street should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, the maximum height specified in Table A2/B3.	Officer's Comment
B33	Common property Developments should clearly delineate public, communal and private areas. Common property, where provided, should be functional and capable of efficient management.	
B34	Site services The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically. Bins and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post.	The proposal complies with this standard. The dwellings will be able to access services equitably to the front and rear. A drainage and sewerage easement is provided over the rear fence of the property, however the services to the site are likely in the road reasreve Bin enclosures and mailboxes are considered reasonable and accessible for potential residents. Bin enclosures are screened from view at the rear of the proposed carports. Mailboxes are located alongside the footpath and adjacent to the driveway, being convenient for both residents and Australia Post.

GENERAL PROVISIONS

Objections

As previously stated, 45 objections have been received in relation to the proposal. It is critical to note that the objections substantially relate to concurrent planning permit applications for development of two dwellings on a lot in relation to 4, 5, 8, 12, 13, 14, and 16 Glendon Drive, Eastwood. The nature and content of the 45 objections is largely the same and has been summarised in this report.

The assessment of a single planning permit application for development of two dwellings on a lot by the responsible authority cannot address matters such as:

- Cumulative impact of the planning permit applications;
- The proposed tenancy of the dwellings to be constructed; that is, that they are owned by the Office for Housing and may be used for social housing; and
- Property valuation outcomes as a result of the above factors, nor even for the impact associated with the singular proposal.

1. Not in accordance with neighbourhood character, loss of streetscape

The assessment of the planning permit application must consider the impact of two dwellings on a lot. It is put that there may be an expectation that a single dwelling would be constructed on the lot as is the standard practice for the Eastwood Estate. That 12 lots are currently vacant on Glendon Drive out of 21 lots total means that the majority of the street character has not been established.

There are several existing examples of duplex dwelling development within the vicinity. Even the neighbouring properties at 2 Glendon Drive and 93 Flinns Road are of the same dwelling density, although not duplex construction. This is repeated on all four corners of this intersection.

In relation to the broader neighbourhood, there are further examples of similar dwelling density. Many of the objectors state that they would be satisfied with only one of the currently vacant lots in common ownership being developed with a duplex.

The proposal is not out-of-character for the neighbourhood or streetscape. There are 11 other lots to be developed in the street, which is more than half of the total properties on the street. As such, streetscape is emerging and can be altered.

2. Loss of property value

The majority of objectors raise this ground, which is an economic consideration, not a planning consideration. It is noted that the cost of development per dwelling might be significantly less than that of the surrounding dwellings, however this can be attributed to the economies of scale associated with duplex development. Economic valuation should be tenure blind, and normally takes into consideration market and sale values of surrounding property.

3. Traffic Impacts and street parking, road safety

Each dwelling is provided with two off-street car parking spaces, including one under cover space, which meets the car parking standards of the Scheme. For convenience purposes, the majority of traffic would make the direct connection to Flinns Road which is a neighbourhood connector street. The design capacity of this street is suitable to accommodate a traffic yield of 10 vehicle movements per day above what would be anticipated from a single dwelling being constructed on the subject lot.

Minimal provision of on-street car parking would result from the narrow bitumen seal 7.75 metres with kerb and channel. Footpaths are constructed adjacent to the property frontages. Crossover locations for each dwelling is adjacent to the side lot boundaries. There would be ability to park a maximum of one car in front of the lot on-street without blocking one of the proposed driveways.

Glendon Drive is the primary connection for The Backwater, being less circuitous than the other egress at Gree Keeluk Place. This already represents a significant volume of traffic, with further development to occur as a result of several lots remaining vacant.

There will be negligible detriment as a result of the proposal assessed on its merit.

4. Social impacts, particularly the negative impacts from social housing

Valid concern is raised in relation to the social impact of the proposal in accordance with local planning policy. Additional information has been obtained in line with Council's Guidelines, however the nature of the Social Impact Comment rightly does not focus on the socioeconomic issues, as planning must be tenure blind in relation to proposals for residential development. As such, no further investigation is required.

5. General amenity and noise concerns

The issue of noise and general amenity is a discriminatory assumption based on the proposal being for social housing purposes. Planning must not consider this impact, especially in relation to proposals where the individual impact could reasonably be nil.

6. Use for crisis/emergency accommodation

It is considered that this concern is arose primarily in response to a past proposal for a 6 unit community care accommodation facility at 12-16 Glendon Drive. To some extent it has not been made clear from the proposal whether some aspect of that use will be transferred to the dwellings proposed, however that cannot be considered with respect to the assessment of this application, which relates to construction of two dwellings.

The planning scheme provides that places of community care accommodation, including shelters, refuges, and crisis accommodation should be exempt from planning consideration and afforded privacy and secrecy. As the individual planning applications are for two dwellings on a lot, Council should not further consider which of the dwellings, if any, would be used for community care accommodation.

7. Concerns regarding inability to organise, length of time to object

Adequate time has been afforded between the provision of notice and the determination. A public meeting was undertaken, following appropriate social distancing protocols and with ample assistance with relation to technology.

On balance of consideration of the objections, which largely relate to the broader impacts of cumulative development proposals and tenancy of the proposal, it is recommended that the responsible authority make its determination with respect to the East Gippsland Planning Scheme provisions, and resolve to issue a notice of decision to grant a planning permit.

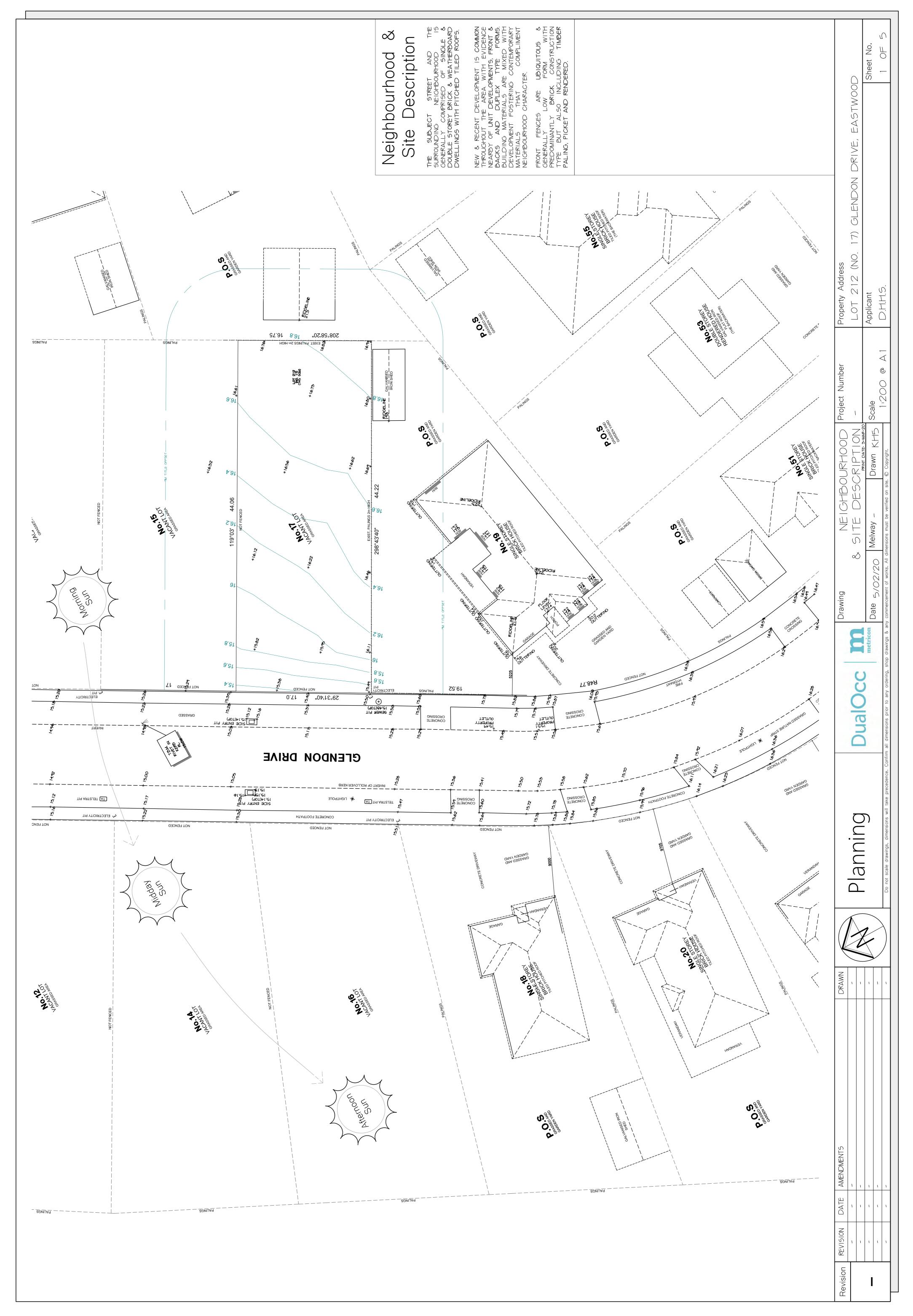
Section 60 and Clause 65

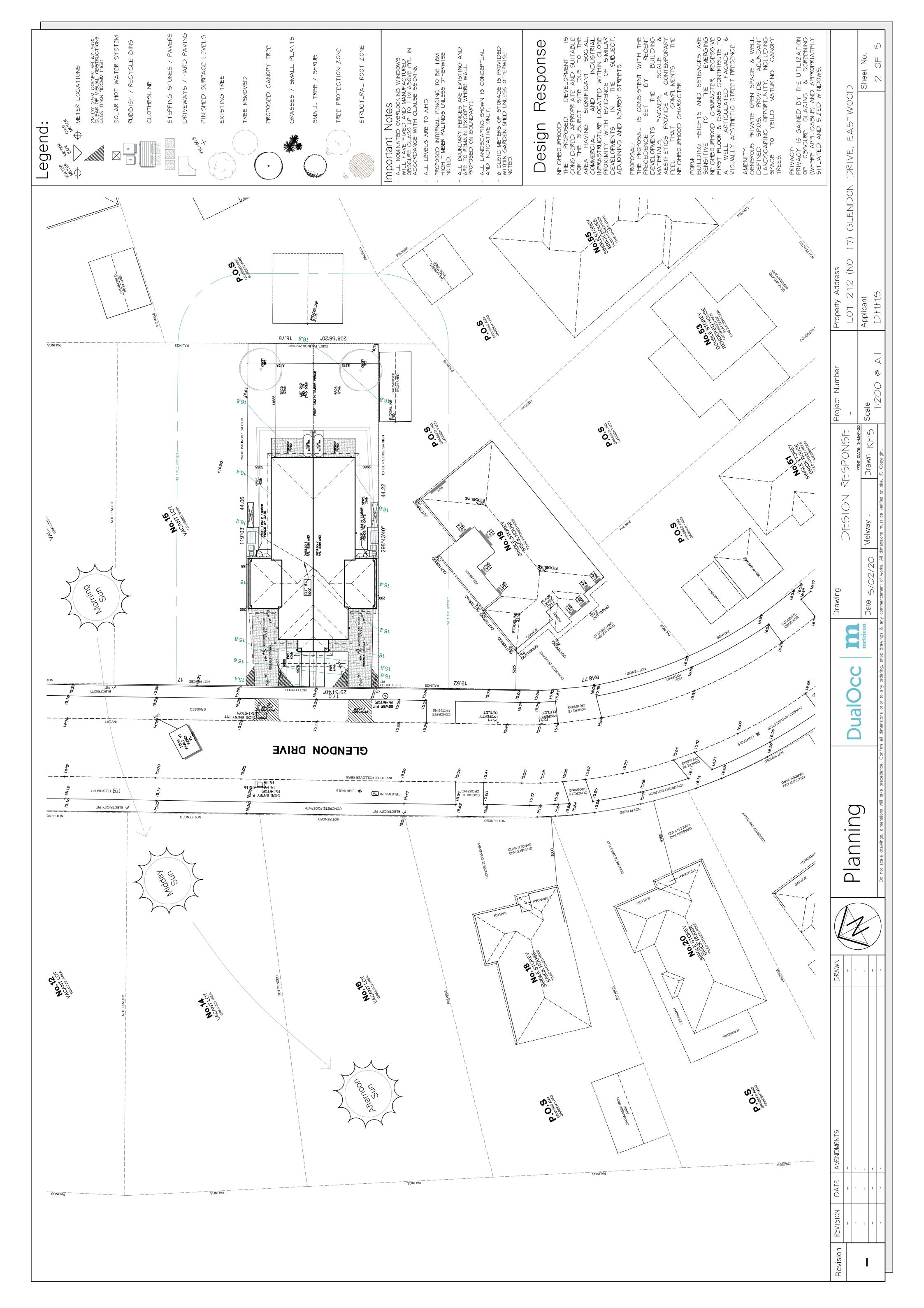
The application presents no detriment to the environmental values of the land or to the amenity of the area. The proposal is an acceptable planning outcome that is consistent with the objectives of planning in Victoria.

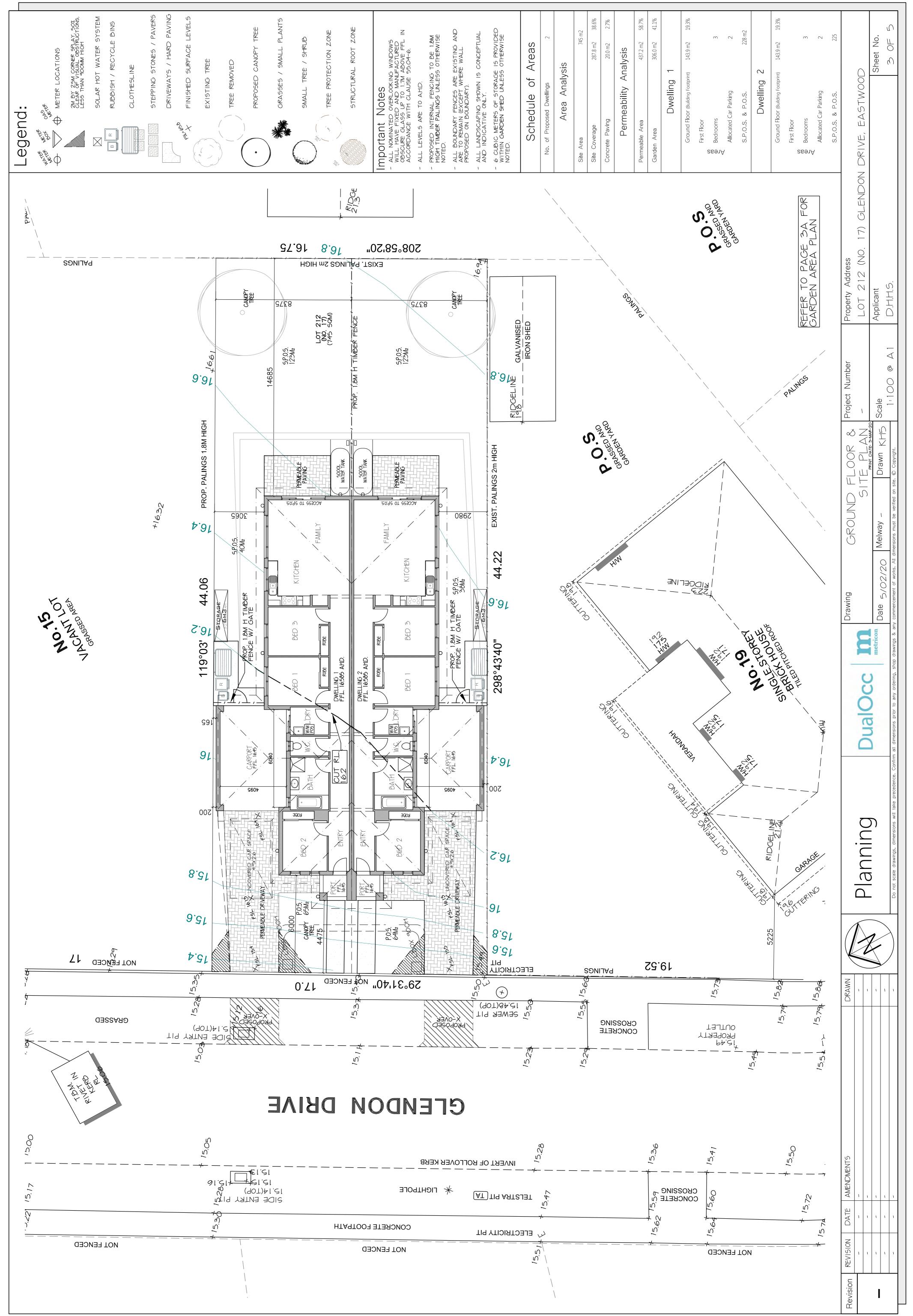
CONCLUSIONS & RECOMMENDATION

The application is consistent with the planning scheme and is suitable for Council support.

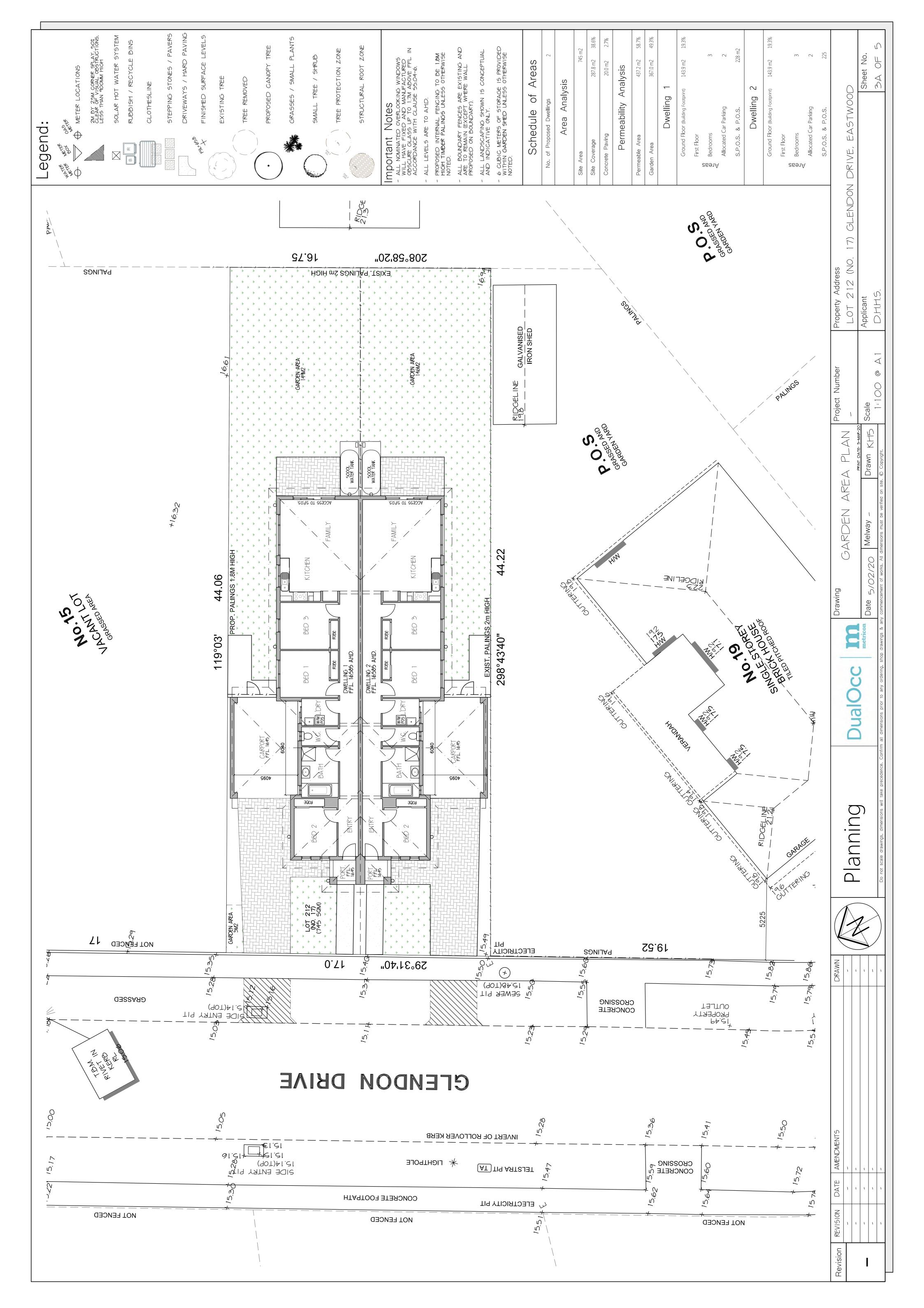
It is recommended that a notice of decision to grant a planning permit be issued subject to standard development conditions.

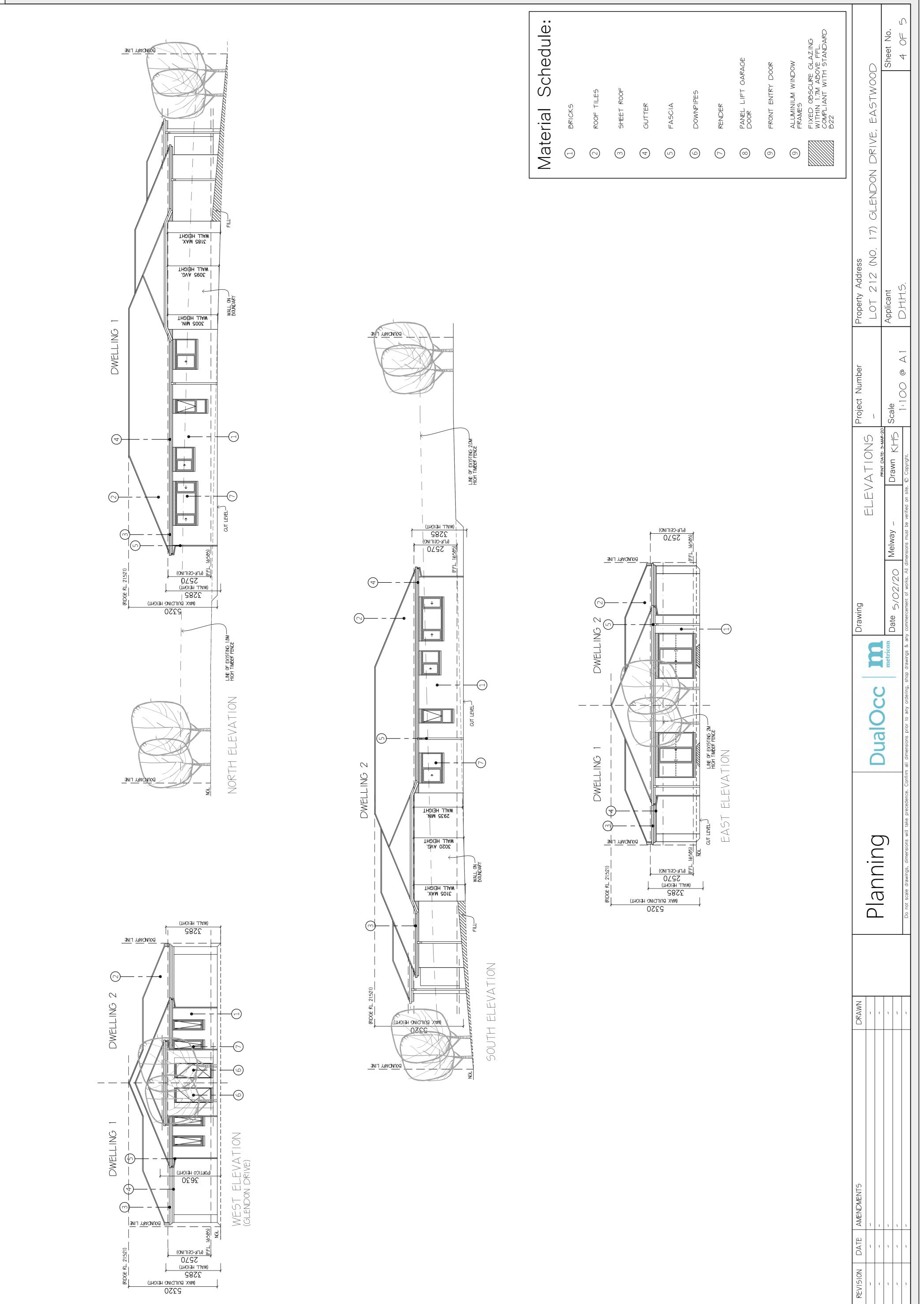


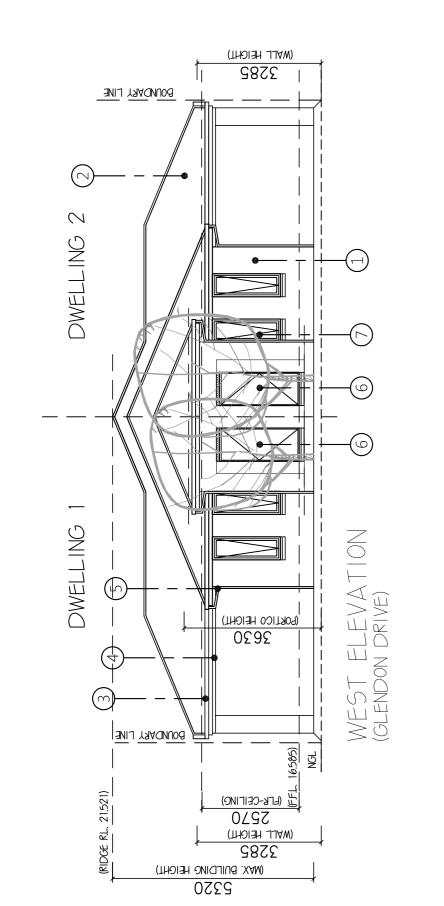






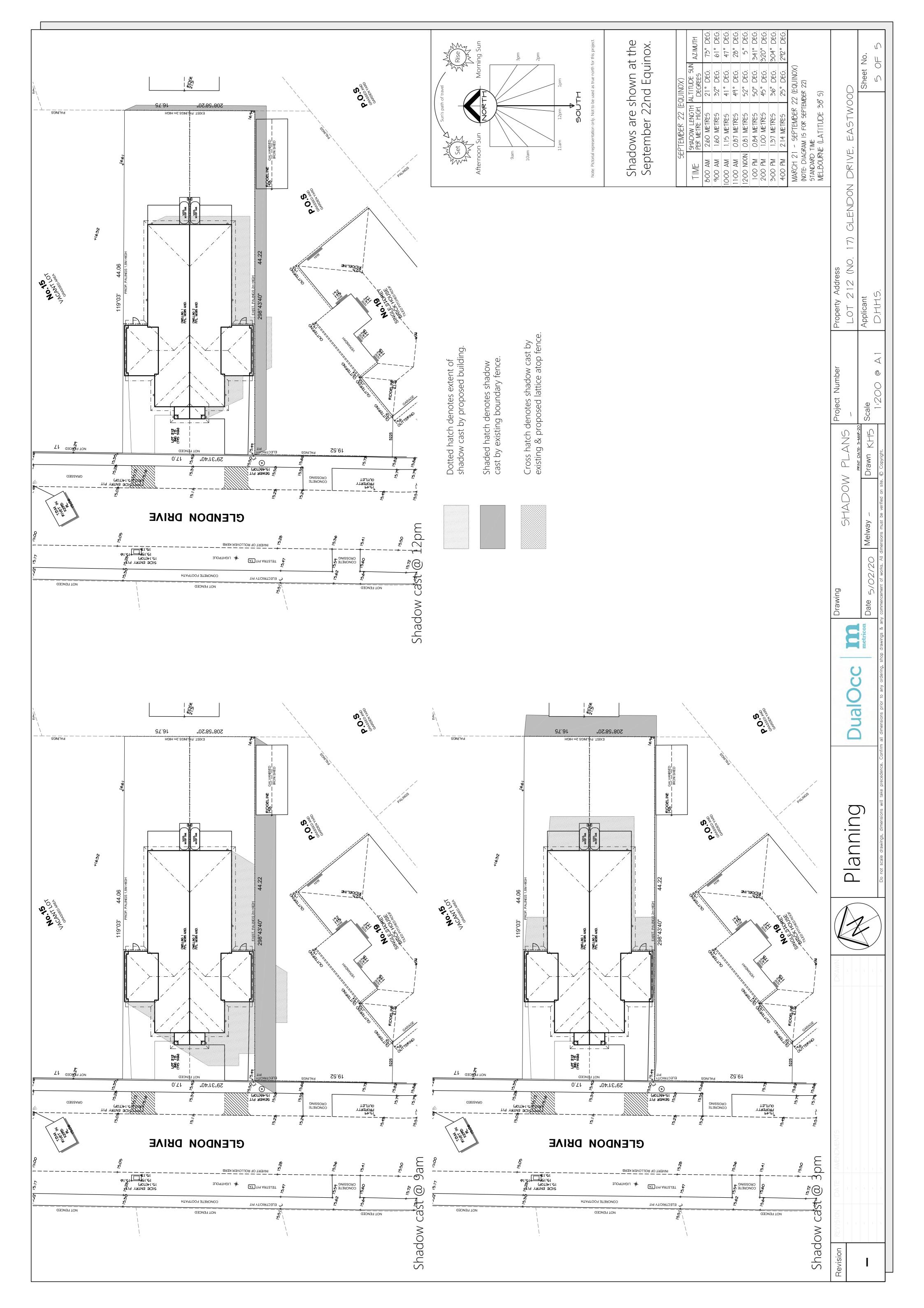


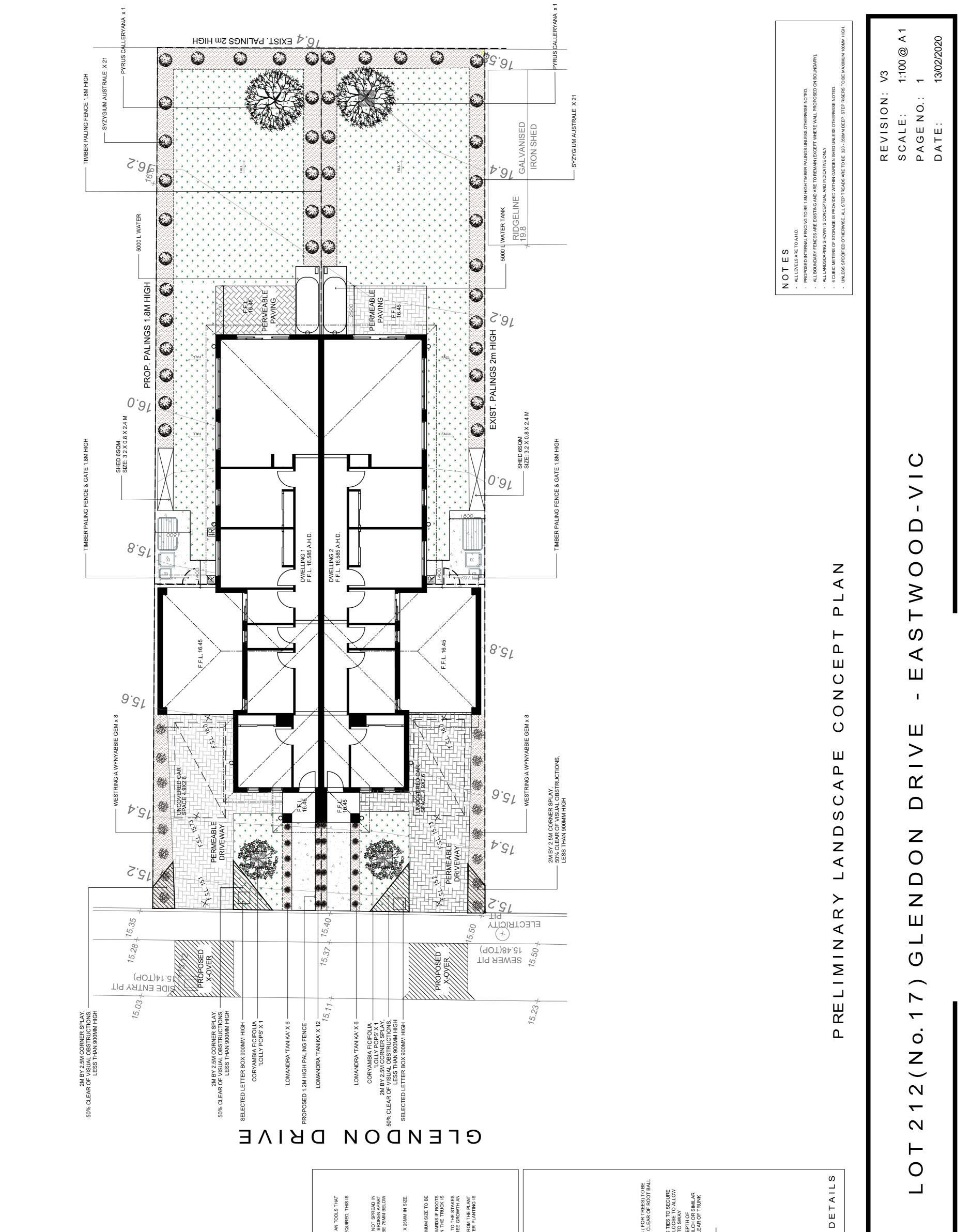




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Material Schedule:						
NUMBER	SAMPLE	BRAND	COLOUR	DESC.		
1		PGH	KURRAJONG (OR SIMILAR)	BRICKS		
2		COLORBOND	MONUMENT (OR SIMILAR)	SHEET ROOF		
3		COLORBOND	MONUMENT (OR SIMILAR)	GUTTER		
4		COLORBOND	MONUMENT (OR SIMILAR)	FASCIA		
5 COLORBOND MONUMENT (OR SIMILAR) DOWNPIPES						
ALUMINIUM W	ALUMINIUM WINDOW FRAMES					
FIXED OF	FIXED OBSCURE GLAZING WITHIN 1.7M ABOVE F.F.L. COMPLIANT WITH STANDARD B22.					

DETAILED PLANNING REPORT

Permit Application: 95/2020/P

13 Glendon Drive EASTWOOD Lot 214 PS 542289

Development of the land for two dwellings

This report has been prepared to document the statutory planning assessment pursuant to the provisions of the *Planning and Environment Act 1987* and *Local Government Act 1989*.

KEY DETAILS

Subject address	13 Glendon Drive EASTWOOD
	Lot 214 PS 542289
Land owner	Office of Housing
Applicant	Clement-Stone Town Planners
Land area	739 sqm
Zone	General Residential Zone 1
Overlays	Nil
Cultural sensitivity	The land is not culturally sensitive
Site inspected	The site has been subject to several inspections by the reporting officer, including through the notice period to ensure the notices were in place and not vandalised or removed.
Restrictions on Title	There are restrictions on title which have been assessed and the proposal is compliant. Particularly, the proposal meets the intent of the covenant by being a duplex dwelling, being clad primarily in brick, and having an area of 114 sqm measured from the outer walls.

PROPOSAL DETAILS/DISCUSSION

The application currently before Council seeks approval for development of two (2) dwellings on a currently vacant allotment.

Site Analysis

The subject lot is 739 square metres, currently vacant with no vegetation. A very slight slope runs high at the rear boundary down to the frontage. There are two vacant lots to the southwest. Two dwellings are developed to the north and east. There are 12 total vacant lots in the street. *Figure 1* demonstrates the site in neighbourhood context.



Figure 1: the subject land (highlighted red) in the neighbourhood context.

The lot is generally rectangular in shape and is provided with a standard frontage to Glendon Drive. Reticulated sewer, water, power, and natural gas are available. NBN Connection is available (fibre to the node). Footpaths are constructed on both sides of the street, which is also provided with a 7.5m wide sealed road with kerb and channel drainage.

Glendon Drive connects to The Backwater to the South via a traffic calming Tintersection and Flinns Road to the north via a roundabout. The Backwater, especially lots to the south side of the street, is considered a premium development area due to the amenity and outlook to Bairnsdale CBD overlooking the Mitchell River and Mitchell River Backwater/Reserve. Flinns Road is a neighbourhood collector street, connecting from Great Alpine Road in the Southeast to Howitt Avenue in the North – with Howitt Avenue connecting to Bullumwaal Road in the west of Eastwood and servicing the commercial and school precinct in central Eastwood. On the corner of Flinns Road and Glendon Drive, the corner lots are approximately half the size of the average lot for the immediate area.

Schools, shops, and other amenities can be accessed on foot. Bairnsdale CBD is a five-minute drive.

Proposal

The proposed development includes:

- A duplex dwelling, each dwelling having 3 bedrooms, open plan living/dining/kitchen, central bathroom & laundry, central corridor and front entry on shared boundary wall;
- external carport, single crossover and driveway to each dwelling, with room for 'stacked' parking up to 2 vehicles off-street;
- a 5000-litre rainwater tank to each dwelling to promote water sensitive urban design principles;

- externally accessed store, bin storage area and clothes drying area, plus a standalone mailbox to each dwelling; and
- landscaping provision for 2 canopy trees (front and rear) and other plantings to each dwelling.

The proposed plan set is shown in *Figures 2 through 5*. Full development plans are attached to this report.

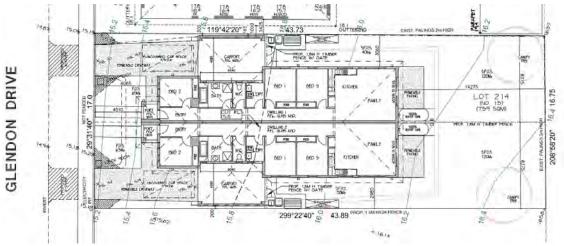


Figure 2: Proposed Site and Floor Plan

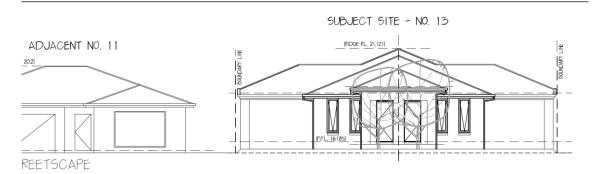


Figure 3: Proposed Street Elevation

IMBER	SAMPLE	BRAND	COLOUR	DESC.
1		PGH	NIRRAJONG (OR SIMILAR)	BRIGKS
Ϋ́.		COLORBOND	MONUMENT (OR SIMILAR)	SHEET RODA
iui		COLORBOND	MONUMENT (OR SHMILAR)	GUTTER
à		COLORBOND	NONUMEN'I (OR SIMILAR)	FABIC/A
5		COLORBOND	MONUMENT (OR SIMILAR)	DOWNPIPES

Figure 4: Proposed Materials Schedule

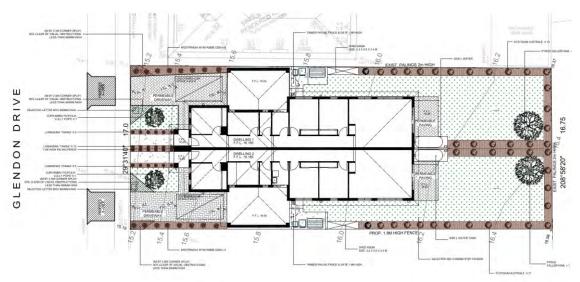


Figure 5: Proposed landscape plan

Control	Clause(s)	Consideration
General Residential Zone 1	32.08-6	Construct two dwellings on a lot
Two or more dwellings on a lot	55	Two dwelling ResCode assessment

Cultural sensitivity

Pursuant to the *Aboriginal Heritage Regulations 2018,* a Cultural Heritage Management Plan (CHMP) is not required as the land is not mapped as having values of cultural heritage.

REQUEST FOR FURTHER INFORMATION

Pursuant to Section 54 of the *Planning and Environment Act 1987*, additional information was sought by Council during the assessment of the application. The information sought was:

 A Social Impact comment pursuant to Clause - 21.07-3 Sustainable Development, Strategy 1.2 in accordance with the Social Impact Assessment Guidelines for Development Applications (East Gippsland Shire Council May 2015)

The applicant submitted the required information and satisfied the request. No further social impact assessment is warranted.

REFERRAL AUTHORITIES

The application was not subject to mandatory external referrals.

INTERNAL ADVICE

DEPARTMENT	SCOPE OF ADVICE	OUTCOME
Senior Technical Officer -	Drainage, Access, Roads	Advice provided
Development	_	
Municipal Building	ResCode	Advice provided
Surveyor		

General Technical advice only was provided, as the Street is generally fully serviced, and the proposal meets the requirements for on-site services including drainage and car parking. More discussion is available in relation to the broader proposal for concurrently assessed proposals within the same street.

General Building Surveyor advice was provided in relation to ResCode issues, specifically the clarification regarding minor variations to street setback.

PUBLIC NOTIFICATION

Advertising Required:

Public notification was undertaken in the form of letters to adjoining landowners and a sign was placed on site in accordance with Section 52 of the Planning and Environment Act 1987.

43 objections have been received at the time of writing this report.

A statutory declaration has been provided that confirms notification was undertaken as directed and that the responsible authority will not decide on the application before 28 April 2020.

An assessment of the objections is provided within the General Provisions section of this report.

REPORT – PLANNING CONSIDERATION

Planning Policy Framework (PPF)

The assessment of the application before Council requires assessment against Planning Policy Framework.

The clauses that have an influence upon the assessment of this application include:

- 11 Settlement
 - Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing
- 15 Built Environment and Heritage
 - Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.
 - Planning should promote excellence in the built environment and create places that:
 - Are enjoyable, engaging and comfortable to be in.
 - Accommodate people of all abilities, ages and cultures.
 - Contribute positively to local character and sense of place.
 - Reflect the particular characteristics and cultural identity of the community.
 - Enhance the function, amenity and safety of the public realm.
 - Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale and massing of new development.
 - Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.
 - Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.
 - Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.
 - Ensure development responds to cultural identity and contributes to existing or preferred neighbourhood character.

16 Housing

- Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.
- Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.
- Planning for housing should include the provision of land for affordable housing.
- Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.
- Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.
- Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.
- Facilitate the delivery of high quality social housing.
- Increase the proportion of new housing in designated locations within established urban areas and reduce the share of new dwellings in greenfield and dispersed development areas.

- Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.
- Ensure an adequate supply of redevelopment opportunities within established urban areas to reduce the pressure for fringe development.
- Facilitate residential development that is cost effective in infrastructure provision and use, energy efficient, water efficient and encourages public transport use.
- Identify opportunities for increased residential densities to help consolidate urban areas.
- Facilitate diverse housing that offers choice and meets changing household needs through:
 - A mix of housing types.
 - Adaptable internal dwelling design.
 - o Universal design.
- Encourage the development of well-designed medium-density housing that:
 - Respects the neighbourhood character.
 - o Improves housing choice.
 - Makes better use of existing infrastructure.
 - Improves energy efficiency of housing.
- Support opportunities for a range of income groups to choose housing in wellserviced locations.
- Increase the supply of well-located affordable housing by:
 - Facilitating a mix of private, affordable and social housing in suburbs, activity centres and urban renewal precincts.
 - Ensuring the redevelopment and renewal of public housing stock better meets community needs.
- Facilitate the delivery of social housing by identifying surplus government land suitable for housing.

Assessment:

11 Settlement: The application meets the objectives of this clause. The development allows for an increase in land that is for residential development. It also provides for growth in population, while preserving the natural resources of the land and remains sensitive to the surrounding character.

15 Built Environment and Heritage: The application meets the objectives of this clause. The building design and the urban design contribute to the character and cultural identity to the surrounding area. The applicant has made a clear effort to respond to the strategic and cultural context of the area.

16 Housing: The application meets the objectives of this clause. The development is considered favourable as it promotes a housing market that meets the community needs, by increasing the supply of housing. The site is situated in a location that is considered appropriate to increase the supply of housing. As per clause 16.01-3s, the proposal provides a greater range of housing types. As per clause 16.01-4s, the proposal also facilitates the proposal of social housing within the municipality. The proposal assists with providing additional housing needed to accommodate the population growth in the region.

Municipal Strategic Statement (MSS)

Council is required to consider Local Policy as a part of this assessment.

Local Policy clauses that are relevant include:

21.03 Settlement

• Ensure a range of lot sizes and dwelling types to provide diversity and choice in new residential areas.

- Support infill medium density housing close to Bairnsdale CBD to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.
- Support residential infill development within existing residential zones identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.
- 21.07 Built Environment and Heritage
 - Encourage high standards of design in all new developments, with special emphasis on urban areas, coastal and lakeside areas and other localities of high landscape quality, and land adjacent to parks and reserves.
 - Ensure that future development contributes to the achievement of liveable, productive and sustainable communities in East Gippsland.
 - Require proposals for new development, land use, infrastructure and changes in policy to consider social impact through the preparation of social impact comments and/or assessments as identified in the East Gippsland Shire Council Social Impact Assessment Guidelines for Development Applications.

21.08 Housing

- Cater for the housing needs and preferences of all segments of the community.
- Encourage the supply of elderly persons' housing in the main centres and facilitate development of community housing.
- Encourage the building and construction sector to provide a range of housing types and styles including higher density dwellings in town centres, to provide choice for consumers.
- Support infill medium density housing and a mix of housing types close to Bairnsdale CBD and key locations to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and on Plan 1 Housing Diversity.
- 21.12 Strategies for Sub-Regions, Towns and Localities

Lakes & Coastal

- Encouraging population growth and development in fully serviced residential land in the major towns
- Continue to encourage residential development within the urban areas already zoned residential.
- Future development should continue in [Brookfield] Lakes and Shannon Waters Estate (see Plan 3 Revitalisation and Growth Strategy).
- Support residential infill development within existing residential zones identified within the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

Assessment:

Settlement: The development allows for an increase in diverse housing types, and makes better use of the community's urban infrastructure. The proposal provides a land supply that attempts to accommodate the future population growth within Bairnsdale.

Housing: the proposal accommodates for the increase in Bairnsdale's future population growth. Catering for this increase in housing needs is a key objective of this clause, and the proposal addresses this successfully. Furthermore, the building of more social housing is likely to benefit those in the community that are most vulnerable, such as low income people, so the proposal addresses the social considerations that are

needed when assessing an application. The proposal also promotes a greater diversity of housing types.

Strategies for Sub-Regions, Towns and Localities: the property is located in the "lakes and Coastal" area, and is considered to fulfill the objectives of this region. For example, it increases the housing supply in the area, taking advantage of the surrounding infrastructure and transport access, which caters for the changing needs of the area and increasing population of the area.

GENERAL RESIDENTIAL ZONE 1

Purpose:

To encourage development that respects the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

Key Decision Guidelines:

General issues

- The purpose of this zone.
- The objectives set out in a schedule to this zone.
- Any other decision guidelines specified in a schedule to this zone.
- The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.

Dwellings and residential buildings

• For the construction and extension of two or more dwellings on a lot,..., the objectives, standards and decision guidelines of Clause 55.

Assessment:

It is assessed that the proposal meets the requirements and objectives of the zone. The design of the proposed dwellings successfully responds to the neighbourhood character of the area through criteria such as the garden area and landscaping, building heights, materials used, form, and also the architectural design. Assessment is based on the existing conditions, including that 11 additional lots within the street are currently vacant.

The proposal is considered greenfield rather than infill development, as the lot has not been developed since being created by subdivision in 2006. The proposal can be considered housing growth due to its increased density. The proposal is located in reasonable walking distance of a range of shops and services, inclusive of retail, medical, dental, veterinary, child care, and primary school.

Clause 32.08-4 states that the minimum garden area for a lot greater than 650 sqm is 35%. The proposal meets this criteria with a garden area of 306 sqm or 41.4%.

Assessment of clause 55 in accordance with the requirements of Clause 32.08- is provided in the particular provision section of this report.

Clause 32.08-10 states that the maximum building height must not exceed 11 metres. The proposal has a maximum building height of 5.32 metres, and so meets the requirements of this criteria.

The proposal is suitable for approval in accordance with the provisions of the General Residential Zone 1.

PARTICULAR PROVISIONS

Clause 52.06 - Car Parking

The application complies with the requirement for a three bedroom dwelling to be provided with two car parking spaces, with at least one car parking space being under cover.

Clause 55 – Two or more dwellings on a lot

The primary assessment criteria of the application is with respect to Clause 55, which implements ResCode assessment for the proposal. Where a variation to ResCode is proposed, the planning permit is the statutory authority for approval of such variation.

All standards of clause 55 have been met, except for standard B6 (street setback), which has a minor non compliance. Although it is non-compliant, the responsible authority has assessed that it is so minor that the proposal can still be assessed as appropriate, as the proposed setback still respects the neighbourhood character, and there are examples of other dwellings in the area that have similar setbacks.

	Standard	Officer's Comment
B1	Neighbourhood character The design response must be appropriate to the neighbourhood and the site. The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.	The application is compliant with this standard, as it respects the surrounding character and design of surrounding dwellings. For example, similar architectural style and materials such as Brick and peaked roof.
B2	Residential policy An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.	The applicant has complied with this standard. The proposal is consistent with the relevant housing policy in the LPPF and the SPPF.
B3	Dwelling diversity Developments of ten or more dwellings should provide a range of dwelling sizes and types, including: Dwellings with a different number of bedrooms. At least one dwelling that contains a	Not applicable to this application. The application is for 2 dwellings.

The following is an assessment against the Clause 55 objectives and standards:

	Standard	Officer's Comment
	kitchen, bath or shower, and a toilet	
	and wash basin at ground floor level.	
B4	Infrastructure Development should be connected to reticulated services, including	The application complies with this standard.
	reticulated sewerage, drainage, electricity and gas, if available. Development should not unreasonably exceed the capacity of utility services	A full suite of reticulated services are available, inclusive of nbn and gas.
	and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no spare capacity, developments should provide for upgrading or mitigation of the impact on services or infrastructure.	Since the proposal increases the anticipated lot yield of dwellings by one, the capacity of the utility services and infrastructure will likely be unaffected.
B5	Integration with the street Development should provide adequate vehicle and pedestrian links that	The proposal complies with this standard.
	maintain or enhance local accessibility. Dwellings should be oriented to front existing and proposed streets. High fencing in front of dwellings should be avoided if practicable. Development next to existing public open space should be laid out to complement the open space.	The development enhances accessibility, and has avoided high fences, and the orientation is to the front of the lot, with no front fences proposed.
B6	 Street setback Walls of buildings should be set back from streets: At least the distance specified in the schedule to the zone, or If no distance is specified in the schedule to the zone, the distance specified in Table A1/B1. The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser. Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard. 	 The applicant proposes a set back of 6 metres to the main dwelling and 4.5 metres to the front entry wall. There is a dwelling at 11 Glendon Drive. The land at 13 Glendon Drive is vacant. The proposal is consistent with the building code, as: 1) The front entry must provide for a fire wall. The fire wall, combined with the roof pitch makes the entry not a permitted encroachment, as the entry is also taller than 3.6m.and results in at 4.5 metre setback. 2) The dwelling at 11 Glendon Drive has a setback of approximately 4 metres. If the proposal was considered non-compliant with the standard, it would be reasonable for the responsible authority to grant a variation as it is so minor an

	Standard	Officer's Comment
		encroachment that the proposal does not detract from the neighbourhood character. The encroachment is less than 10 square metres in total area, the proposed carport provides for open areas, and has a further increased setback from the main wall of the dwelling(s). Furthermore, the incorporation of landscaping and canopy trees also assists in the incorporation of the
B7	Building height The maximum building height should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, 11 metres. Changes of building height between existing buildings and new buildings should be graduated.	proposal into the streetscape by reducing bulk. The building height being proposed is 5.32 metres, demonstrating compliance with this standard.
B8	Site coverage The site area covered by buildings should not exceed: The maximum site coverage specified in the schedule to the zone, or If no maximum site coverage is specified in the schedule to the zone, 60 per cent.	Total site coverage is 39.1%, demonstrating compliance with this standard.
B9	Permeability At least 20 per cent of the site should not be covered by impervious surfaces.	The proposal complies with this standard.
B10	Energy efficiency Buildings should be: Orientated to make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. Living areas and private open space should be located on the north side of the development, if practicable. Developments should be designed so that solar access to north-facing windows is maximised.	The proposal complies with this standard. The living areas of the dwellings are oriented to the rear, which generally faces southeast Significant private open space areas are also provided in this direction, but the open space has solar access by way of large areas benefitting from solar access due to proposed single storey construction.
B11	Open space If any public or communal open space is provided on site, it should: Be substantially fronted by dwellings,	Not applicable to this application.

	Standard	Officer's Comment
	where appropriate.	
	Provide outlook for as many dwellings	
	as practicable.	
	Be designed to protect any natural	
	features on the site.	
	Be accessible and useable.	
B12	Safety	The proposal complies with this
	Entrances to dwellings and residential	standard.
	buildings should not be obscured or	
	isolated from the street and internal	Entries are provided facing the
	accessways.	street. Plantings are designed to
	Planting which creates unsafe spaces	retain passive street surveillance
	along streets and accessways should	and there are no proposed walls
	be avoided.	that will prevent clear vision from
	Developments should be designed to	the driveway through to the entry
	provide good lighting, visibility and	door.
	surveillance of car parks and internal	
	accessways.	There is additionally direct access
	Private spaces within developments	available through the laundry to the
	should be protected from	carport.
	inappropriate use of public	
D 40	thoroughfares.	
B13	Landscaping	The proposal complies with this standard.
	The landscape layout and design should:	standard.
	Protect any predominant landscape	The site and streetscape are
	features of the neighbourhood.	currently without vegetation.
	Take into account the soil type and	currentity without vegetation.
	drainage patterns of the site.	The proposal contains landscaping
	Allow for intended vegetation growth	plans for the site, which provide
	and structural protection of buildings.	canopy trees to the front and rear
	In locations of habitat importance,	yards and border plantings.
	maintain existing habitat and provide	
	for new habitat for plants and animals.	The species are assessed as being
	Provide a safe, attractive and	appropriate for the land and
	functional environment for residents.	conditions.
	Development should provide for the	
	retention or planting of trees, where	
	these are part of the character of the	
	neighbourhood.	
	Development should provide for the	
	replacement of any significant trees	
	that have been removed in the 12	
	months prior to the application being	
	made.	
	The landscape design should specify	
	landscape themes, vegetation	
	(location and species), paving and	
D14	lighting.	The proposal compliant with this
B14	Access	The proposal complies with this
	Accessways should:	standard.
	Be designed to allow convenient, safe	The impact of the drivenues design
	and efficient vehicle movements and	The impact of the driveway design
	connections within the development and to the street network.	is considered low impact on the
	and to the Sheet Helwork.	neighbourhood character, and the

	Standard	Officer's Comment		
	Be designed to ensure vehicles can	on street car parking.		
	exit a development in a forwards			
	direction if the accessway serves five	The street frontage is 17 metres.		
	or more car spaces, three or more	Driveway width is cumulatively 6		
	dwellings, or connects to a road in a	metres or 35% of the frontage,		
	Road Zone.	which complies with the		
	Be at least 3 metres wide.	requirement.		
	Have an internal radius of at least 4			
	metres at changes of direction.	One on-street car parking space		
	Provide a passing area at the	could reasonably and safety be		
	entrance that is at least 5 metres wide	retained between the two		
	and 7 metres long if the accessway	crossovers (8.9m). On street car		
	serves ten or more spaces and	parking is not considered to be		
	connects to a road in a Road Zone.	ideal given the pavement width is		
	The width of accessways or car	7.5m between kerbs. Further		
	spaces should not exceed:	discussion is provided in relation to		
	33 per cent of the street frontage, or If the width of the street frontage is	the grounds for objection.		
	less than 20 metres, 40 per cent of the			
	street frontage.			
	No more than one single-width			
	crossover should be provided for each			
	dwelling fronting a street.			
	The location of crossovers should			
	maximise the retention of on-street car			
	parking spaces.			
	The number of access points to a road			
	in a Road Zone should be minimised.			
	Developments must provide for			
	access for service, emergency and			
	delivery vehicles.			
B15	Parking location	The proposal complies with this		
	Car parking facilities should:	standard.		
	Be reasonably close and convenient to dwellings and residential buildings.	Car parking facilities are deigned		
	Be secure.	reasonably and securely, and in		
	Be designed to allow safe and efficient			
	movements within the development.			
	Be well ventilated if enclosed.	There are no shared accessways.		
	Large parking areas should be broken			
	up with trees, buildings or different			
	surface treatments.			
	Shared accessways or car parks of			
	other dwellings and residential			
	buildings should be located at least			
	1.5 metres from the windows of			
	habitable rooms. This setback may be			
	reduced by 1 metre whether there is a			
	fence of 1.5 metres high or where			
	window sills are at least 1.4 metres			
D / -	above the accessway.			
B17	Side and rear setbacks	The proposal complies with this		
	A new building not on or within	standard.		
	150mm of a boundary should be set	The corport well adjacent to the		
	back from side or rear boundaries:	The carport wall adjacent to the		

	Standard	Officer's Comment
	Standard At least the distance specified in the schedule to the zone, or If no distance is specified in the schedule to the zone, 1 metre, plus 0.3 metres for every metre in height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. Sunblinds, verandas, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard. Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps pergolas, shade sails and carports may encroach into the setbacks of this standard.	Officer's Comment boundary has a height of 3.0 metres, which is under the rescode requirement of 3.2 metres average and 3.6 metres maximum. The main dwelling is located a sufficient distance from the boundaries.
B18	Walls on boundaries A new wall constructed on or within 150mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot should not abut the boundary for a length of more than: 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is greater. A new wall or carport may fully abut a side or rear boundary where the slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary. A building on a boundary includes a building set back up to 150mm from a boundary. The height of a new wall constructed on or within 150mm of a side or rear boundary or a carport constructed on or within 1 metres of a side or rear boundary should not exceed an average of 3 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously	The proposal complies with this standard. The carport wall is within 1 metre of the side boundary but less than 10 metres in length. There are no other walls on boundaries.

	Standard	Officer's Comment		
	constructed wall.			
B19	constructed wall. Daylight to existing windows Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and a minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot. Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window. Where the existing window is above ground floor level, the wall height is	Officer's Comment The proposal complies with this standard. There are no windows affected by the siting and massing of the proposed dwellings.		
	measured from the floor level of the room containing the window.			
B20	North-facing windows If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metre for every metre of height over 3.6 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.	The proposal complies with this standard. There are no north-facing windows affected by the siting and massing of the proposed dwellings.		
B21	Overshadowing open space	The proposal complies with this standard. There is no established open space affected by overshadowing from the proposed dwellings. Overshadowing will largely be contained within the lot.		

	Standard	Officer's Comment				
B22	Overlooking	The proposal complies with this				
	A habitable room window, balcony,	standard.				
	terrace, deck or patio should be					
	located and designed to avoid direct	The proposal and neighbouring				
	views into the secluded private open	dwelling are single storey and				
	space and habitable room windows of	there is not substantial				
	an existing dwelling within a horizontal					
	distance of 9 metres (measured at	for overlooking.				
	ground level) of the window, balcony,	3				
	terrace, deck or patio. Views should					
	be measured within a 45 degree angle					
	from the plane of the window or					
	perimeter of the balcony, terrace, deck					
	or patio, and from a height of 1.7					
	metres above the floor level.					
	A habitable room window, balcony,					
	terrace, deck or patio with a direct					
	view into a habitable room window of					
	an existing dwelling within a horizontal					
	distance of 9 metres (measured at					
	ground level) of the window, balcony,					
	terrace, deck or patio should be either:					
	Offset a minimum of 1.5 metres from					
	the edge of one window to the edge of					
	another, or					
	Have sill heights of at least 1.7 metres					
	above floor level, or					
	Have obscure glazing in any part of					
	the window below 1.7 metres above					
	floor level, or					
	Have permanently fixed external					
	screens to at least 1.7 metres above					
	floor level and be no more than 25 per					
	cent transparent.					
	Obscure glazing in any part of the					
	window below 1.7 metres above floor					
	level may be open able provided that					
	there are no direct views as specified					
	in the standards.					
	Screens used to obscure a view					
	should be:					
	Perforated panels or trellis with a					
	maximum of 25 per cent openings or					
	solid translucent panels.					
	Permanent, fixed and durable.					
	Designed and coloured to blend in					
	with the development.					
	This standard does not apply to a new					
	habitable room window, balcony,					
	terrace, deck or patio which faces a					
	property boundary where there is a					
	visual barrier of at least 1.6 metres					
	high and the floor level of the					
	habitable room, balcony, terrace, deck					
	or patio is less than 0.6 metres above					

	Standard	Officer's Comment
	ground level at the boundary.	
B23	Internal views Windows and balconies should be designed to prevent overlooking of	The proposal complies with this standard.
	more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.	No windows are overlooking.
B24	Noise impacts Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.	The proposal complies with this standard. Services to the proposed dwelling will be located in close proximity to the outer walls, which are set back approx. 3 metres from a boundary, and a further 4-6 metres to habitable rooms on the adjacent property.
B25	Accessibility The ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.	The proposal complies with this standard. There would need to be modifications to the front entry to provide for all abilities access. The dwelling is ground floor only.
B26	Dwelling entry Entries to dwellings and residential buildings should: Be visible and easily identifiable from streets and other public areas. Provide shelter, a sense of personal address and a transitional space around the entry.	The proposal complies with this standard. Front entrance is identifiable from the street and easily visible. A footpath is provided to each dwelling. Shelter is provided.
B27	 Daylight to new windows A window in a habitable room should be located to face: An outdoor space open to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or A verandah provided it is open for at least one third of its perimeter, or A carport provided it has two or more open sides and is open for at least one third of its perimeter. 	The proposal complies with this standard. All habitable rooms have windows open clear to the sky.
B28	Private open space A dwelling or residential building should have private open space of an	The proposal complies with this standard.

	Standard	Officer's Comment
	area and dimensions specified in the	Private open space is provided
	schedule to the zone.	with adequate area dimensions to
		the side and rear of each dwelling.
	the schedule to the zone, a dwelling	
	should have private open space	
	consisting of:	
	An area of 40 square metres, with one	
	part of the private open space to	
	consist of secluded private open	
	space at the side or rear of the	
	dwelling or residential building with a	
	minimum area of 25 square metres, a	
	minimum dimension of 3 metres and	
	convenient access from a living room,	
	or	
	A balcony of 8 square metres with a	
	minimum width of 1.6 metres and	
	convenient access from a living room,	
	or	
	A roof-top area of 10 square metres	
	with a minimum width of 2 metres and	
	convenient access from a living room.	
B29	Solar access to open space	The proposal complies with this
	The private open space should be	standard.
	located on the north side of a dwelling,	
	if practicable.	The private open space is located
	The southern boundary of secluded	to the northwest of each dwelling.
	private open space should be set back	
	from any wall on the north of the	
	space at least (2 + 0.9h) metres,	
<u></u>	where 'h' is the height of the wall.	
B30	Storage	The proposal complies with this
	5	standard.
	access to at least 6 cubic metres of	Storage is shown on the plane
	externally accessible, secure storage	Storage is shown on the plans
	space.	behind the carports of each
		dwelling.
B31	Design detail	The proposal complies with this
	The design of buildings, including:	standard.
	Façade articulation and detailing,	
	Window and door proportions,	The proposal respects the
	Roof form, and	surrounding character and design
	Verandahs, eaves and parapets,	of neighbouring dwellings,
	should respect the existing or	mimicking roof pitch, front entry,
	preferred neighbourhood character.	and cladding.
	Garages and carports should be	, č
	visually compatible with the	Carports are setback of the main
	development and the existing or	dwellings to be less visually
	preferred neighbourhood character.	dominant.
B32	Front fences	The proposal complies with this
	The design of front fences should	standard, as no front fence is
	complement the design of the dwelling	proposed.
	and any front fences on adjoining	
	property.	
-		

	Standard A front fence within 3 metres of a street should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, the	Officer's Comment
B33	Maximum height specified in Table A2/B3. Common property	Not applicable as no common
200	Developments should clearly delineate public, communal and private areas. Common property, where provided, should be functional and capable of efficient management.	
B34	Site services The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically. Bins and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents.	The proposal complies with this standard. The dwellings will be able to access services equitably to the front and rear. A drainage and sewerage easement is provided to the rear of the property on adjacent land. Bin enclosures and mailboxes are considered reasonable and accessible for potential residents. Bin enclosures are screened from view at the rear of the proposed
	Mailboxes should be provided and located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post.	Mailboxes are located alongside the footpath and adjacent to the driveway, being convenient for both residents and Australia Post.

GENERAL PROVISIONS

Objections

As previously stated, 43 objections have been received in relation to the proposal. It is critical to note that the objections substantially relate to concurrent planning permit applications for development of two dwellings on a lot in relation to 4, 5, 8, 12, 14, 16, 17, and 18 Glendon Drive, Eastwood. The nature and content of the 43 objections is largely the same and has been summarised in this report.

The assessment of a single planning permit application for development of two dwellings on a lot by the responsible authority cannot address matters such as:

- Cumulative impact of the planning permit applications;
- The proposed tenancy of the dwellings to be constructed; that is, that they are owned by the Office for Housing and may be used for social housing; and
- Property valuation outcomes as a result of the above factors, nor even for the impact associated with the singular proposal.
- 1. Not in accordance with neighbourhood character, loss of streetscape

The assessment of the planning permit application must consider the impact of two dwellings on a lot. It is put that there may be an expectation that a single dwelling would be constructed on the lot as is the standard practice for the Eastwood Estate. That 12 lots are currently vacant on Glendon Drive out of 21 lots total means that the majority of the street character has not been established.

There are several existing examples of duplex dwelling development within the vicinity. Even the neighbouring properties at 2 Glendon Drive and 93 Flinns Road are of the same dwelling density, although not duplex construction. This is repeated on all four corners of this intersection.

In relation to the broader neighbourhood, there are further examples of similar dwelling density. Many of the objectors state that they would be satisfied with only one of the currently vacant lots in common ownership being developed with a duplex.

The proposal is not out-of-character for the neighbourhood or streetscape. There are 11 other lots to be developed in the street, which is more than half of the total properties on the street. As such, streetscape is emerging and can be altered.

2. Loss of property value

The majority of objectors raise this ground, which is an economic consideration, not a planning consideration. It is noted that the cost of development per dwelling might be significantly less than that of the surrounding dwellings, however this can be attributed to the economies of scale associated with duplex development. Economic valuation should be tenure blind, and normally takes into consideration market and sale values of surrounding property.

3. Traffic Impacts and street parking, road safety

Each dwelling is provided with two off-street car parking spaces, including one under cover space, which meets the car parking standards of the Scheme. For convenience purposes, the majority of traffic would make the direct connection to Flinns Road which is a neighbourhood connector street. The design capacity of this street is suitable to accommodate a traffic yield of 10 vehicle movements per day above what would be anticipated from a single dwelling being constructed on the subject lot.

Minimal provision of on-street car parking would result from the narrow bitumen seal 7.75 metres with kerb and channel. Footpaths are constructed adjacent to the property frontages. Crossover locations for each dwelling is adjacent to the side lot boundaries. There would be ability to park a maximum of one car in front of the lot on-street without blocking one of the proposed driveways.

Glendon Drive is the primary connection for The Backwater, being less circuitous than the other egress at Gree Keeluk Place. This already represents a significant volume of traffic, with further development to occur as a result of several lots remaining vacant.

There will be negligible detriment as a result of the proposal assessed on its merit.

4. Social impacts, particularly the negative impacts from social housing

Valid concern is raised in relation to the social impact of the proposal in accordance with local planning policy. Additional information has been obtained in line with Council's Guidelines, however the nature of the Social Impact Comment rightly does not focus on the socioeconomic issues, as planning must be tenure blind in relation to proposals for residential development. As such, no further investigation is required.

5. General amenity and noise concerns

The issue of noise and general amenity is a discriminatory assumption based on the proposal being for social housing purposes. Planning must not consider this impact, especially in relation to proposals where the individual impact could reasonably be nil.

6. Use for crisis/emergency accommodation

It is considered that this concern is arose primarily in response to a past proposal for a 6 unit community care accommodation facility at 12-16 Glendon Drive. To some extent it has not been made clear from the proposal whether some aspect of that use will be transferred to the dwellings proposed, however that cannot be considered with respect to the assessment of this application, which relates to construction of two dwellings.

The planning scheme provides that places of community care accommodation, including shelters, refuges, and crisis accommodation should be exempt from planning consideration and afforded privacy and secrecy. As the individual planning applications are for two dwellings on a lot, Council should not further consider which of the dwellings, if any, would be used for community care accommodation.

7. Concerns regarding inability to organise, length of time to object

Adequate time has been afforded between the provision of notice and the determination. A public meeting was undertaken, following appropriate social distancing protocols and with ample assistance with relation to technology.

On balance of consideration of the objections, which largely relate to the broader impacts of cumulative development proposals and tenancy of the proposal, it is recommended that the responsible authority make its determination with respect to the East Gippsland Planning Scheme provisions, and resolve to issue a notice of decision to grant a planning permit.

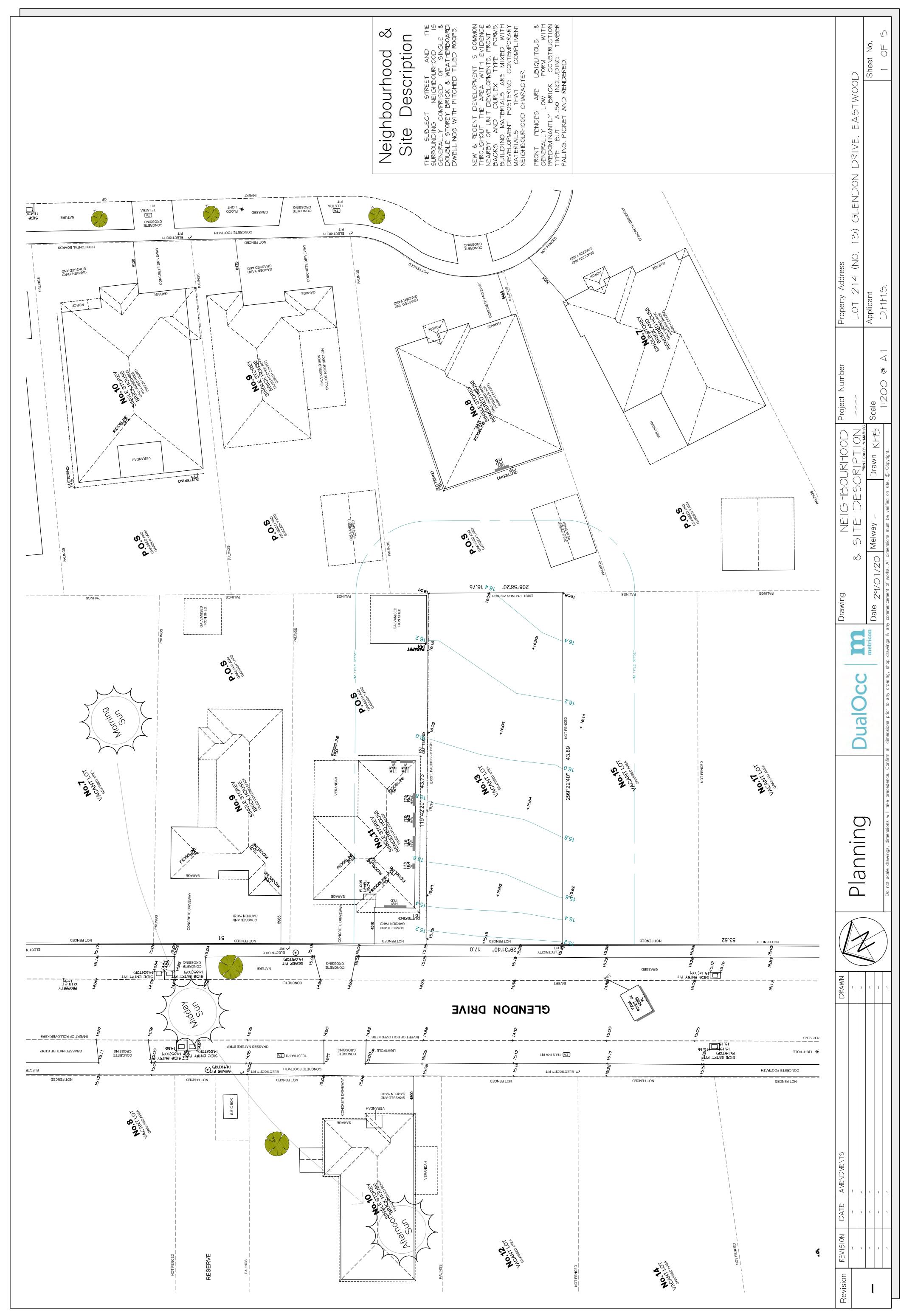
Section 60 and Clause 65

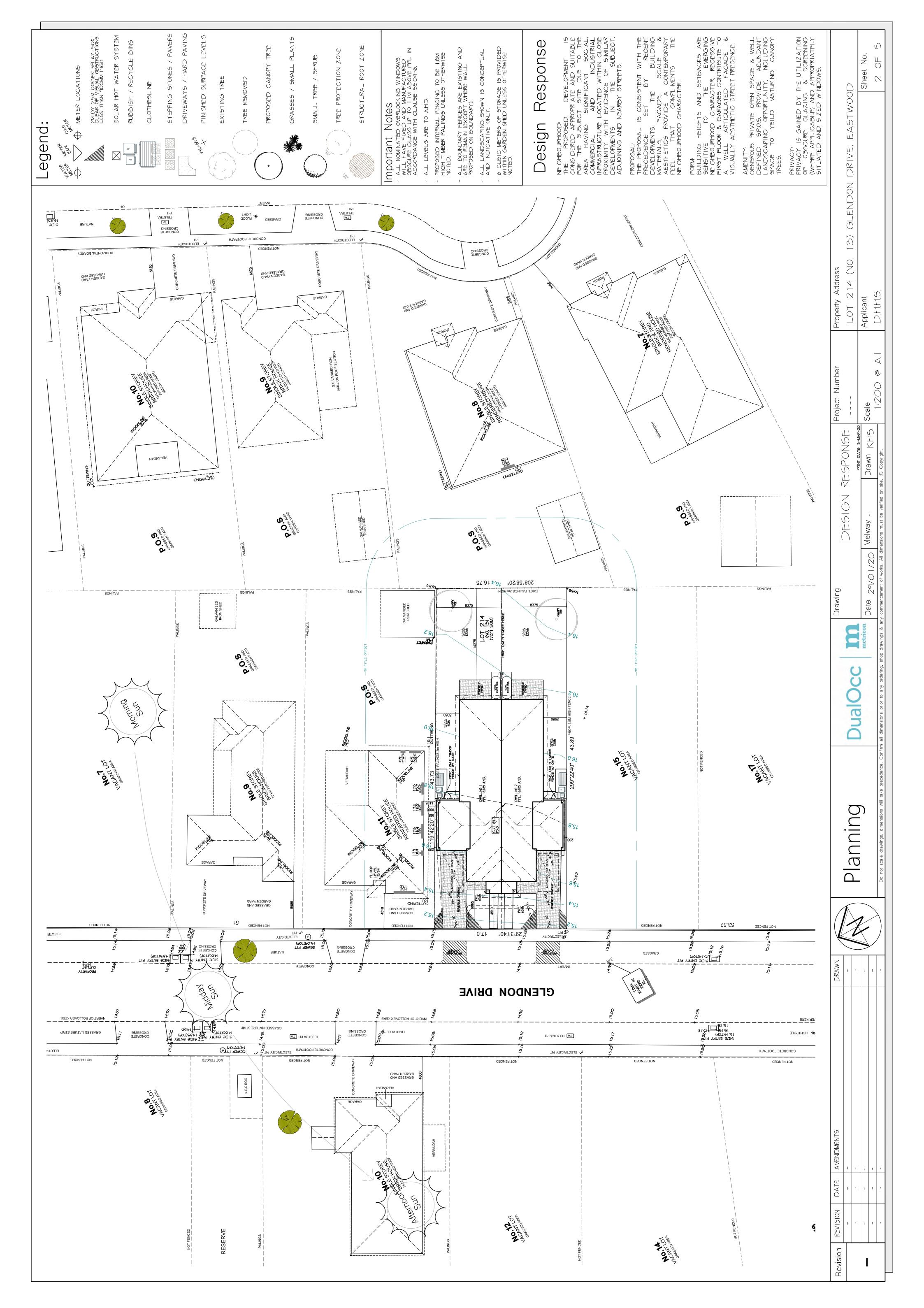
The application presents no detriment to the environmental values of the land or to the amenity of the area. The proposal is an acceptable planning outcome that is consistent with the objectives of planning in Victoria.

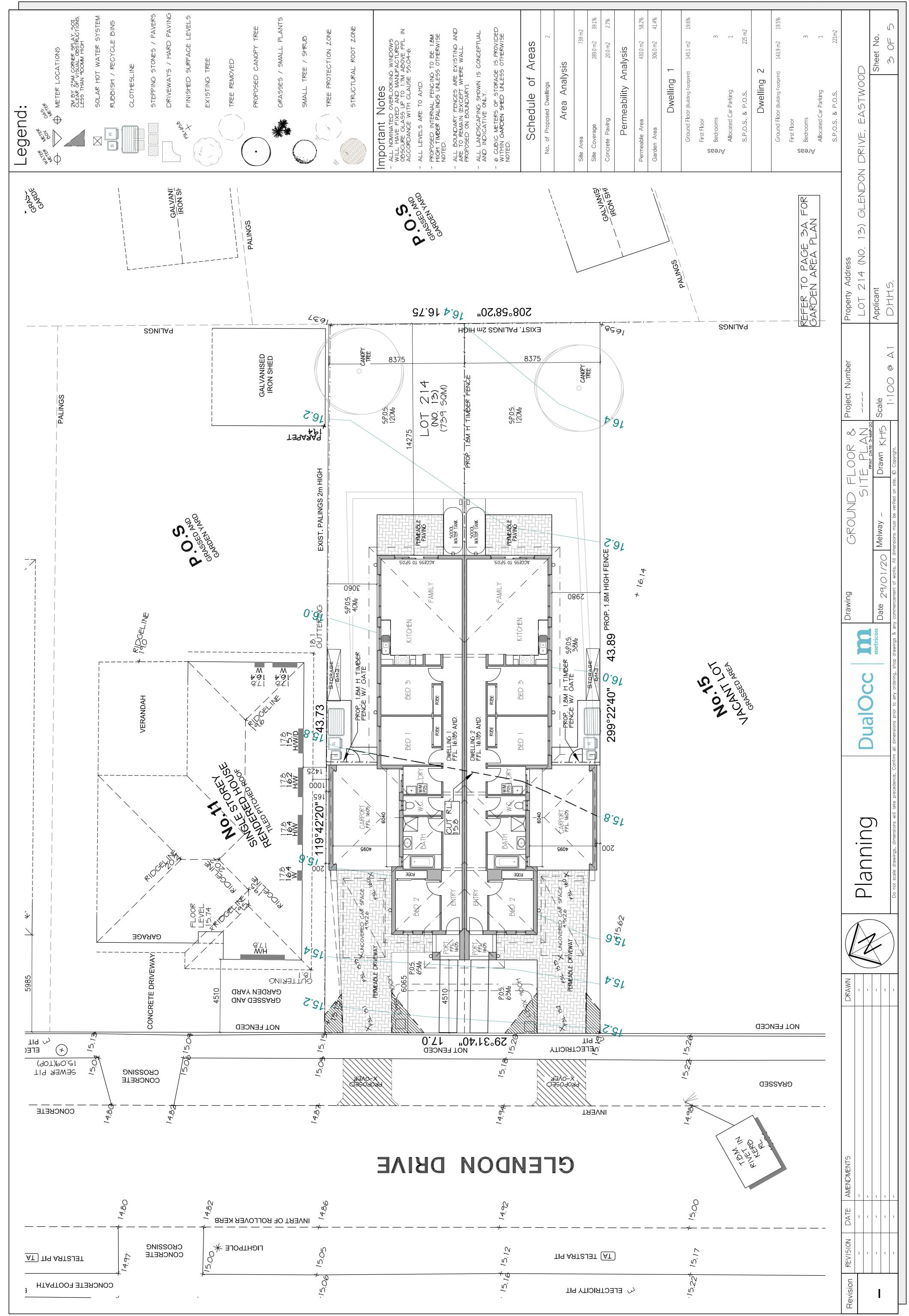
CONCLUSIONS & RECOMMENDATION

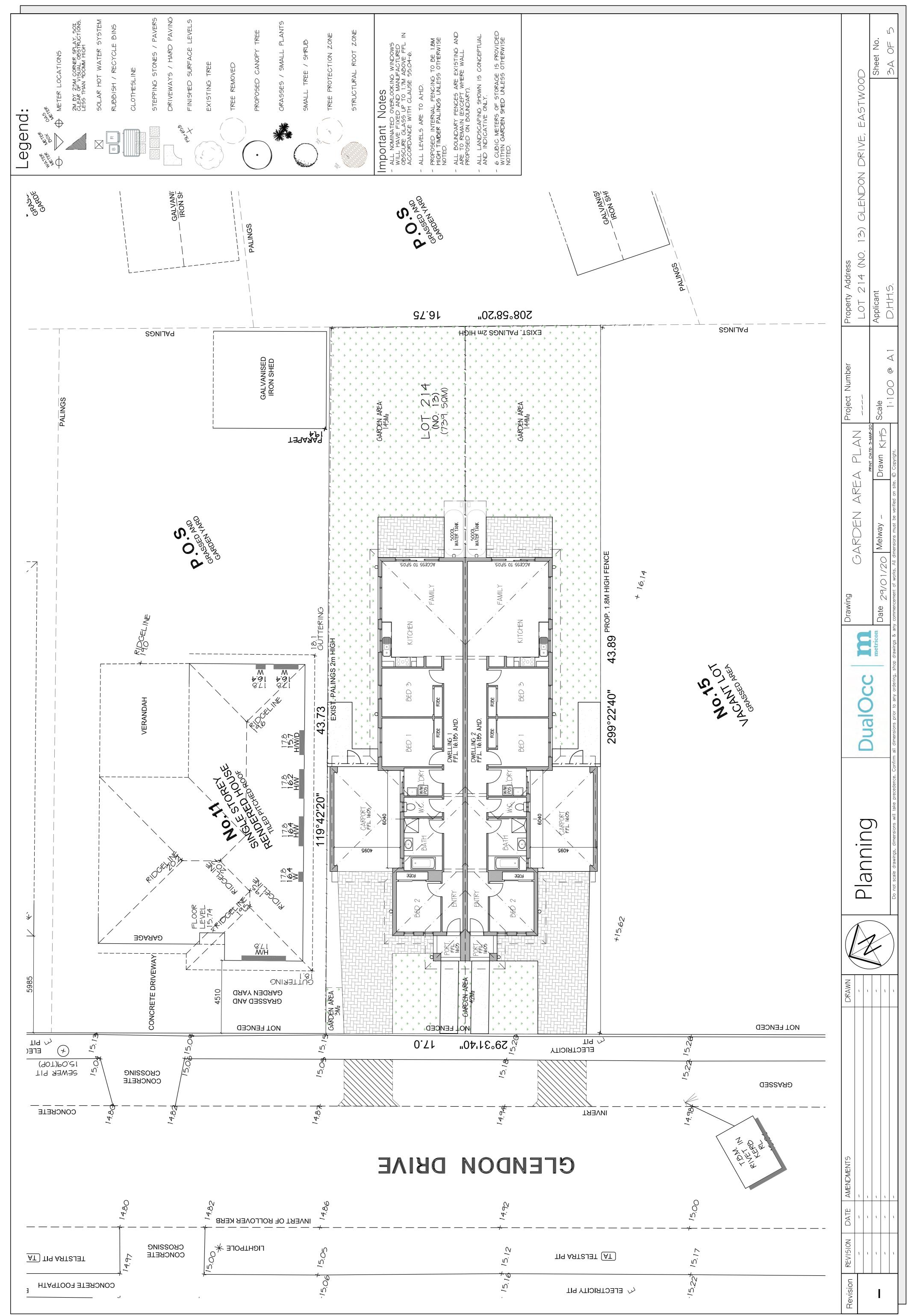
The application is consistent with the planning scheme and is suitable for Council support.

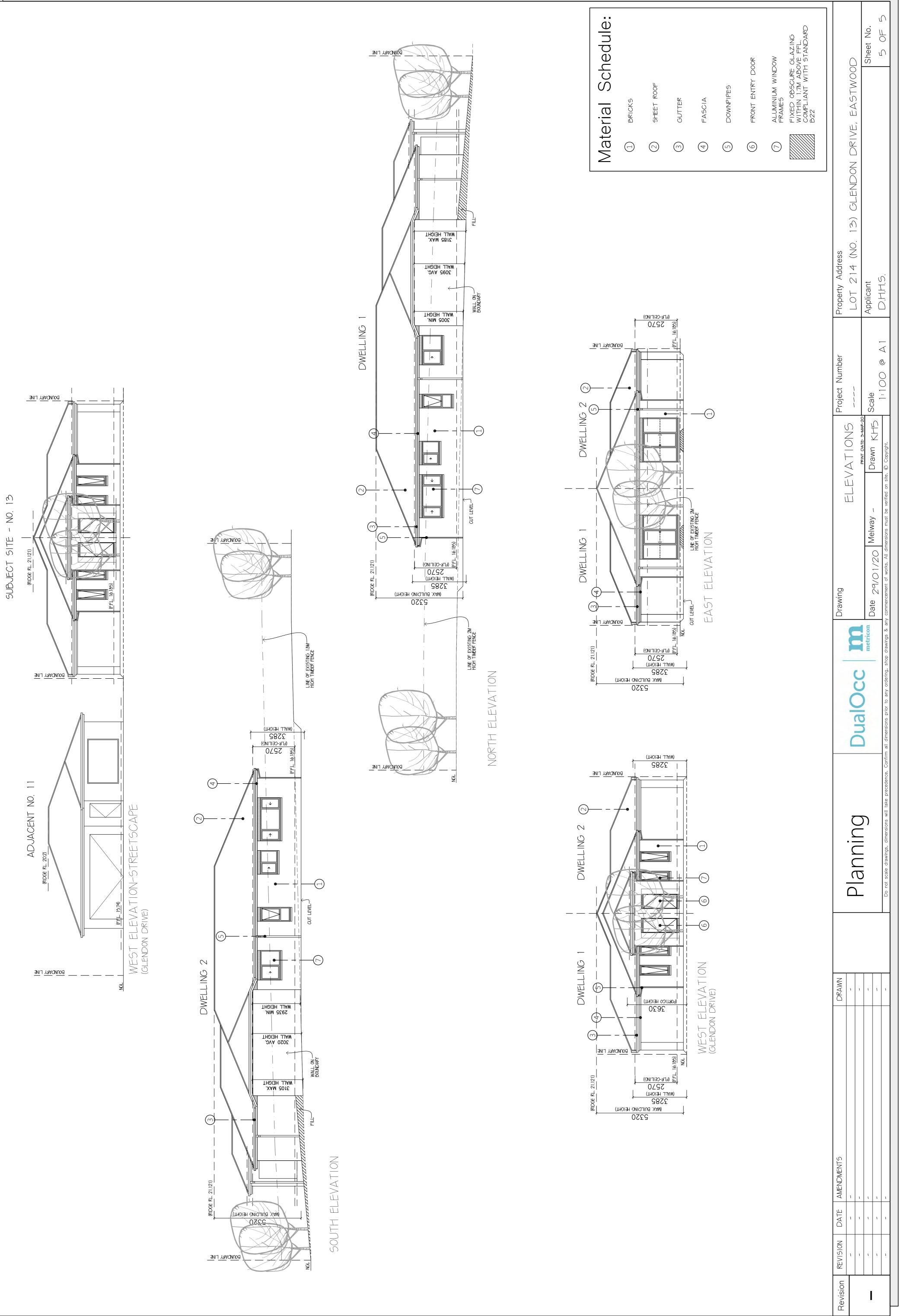
It is recommended that a notice of decision to grant a planning permit be issued subject to standard development conditions.



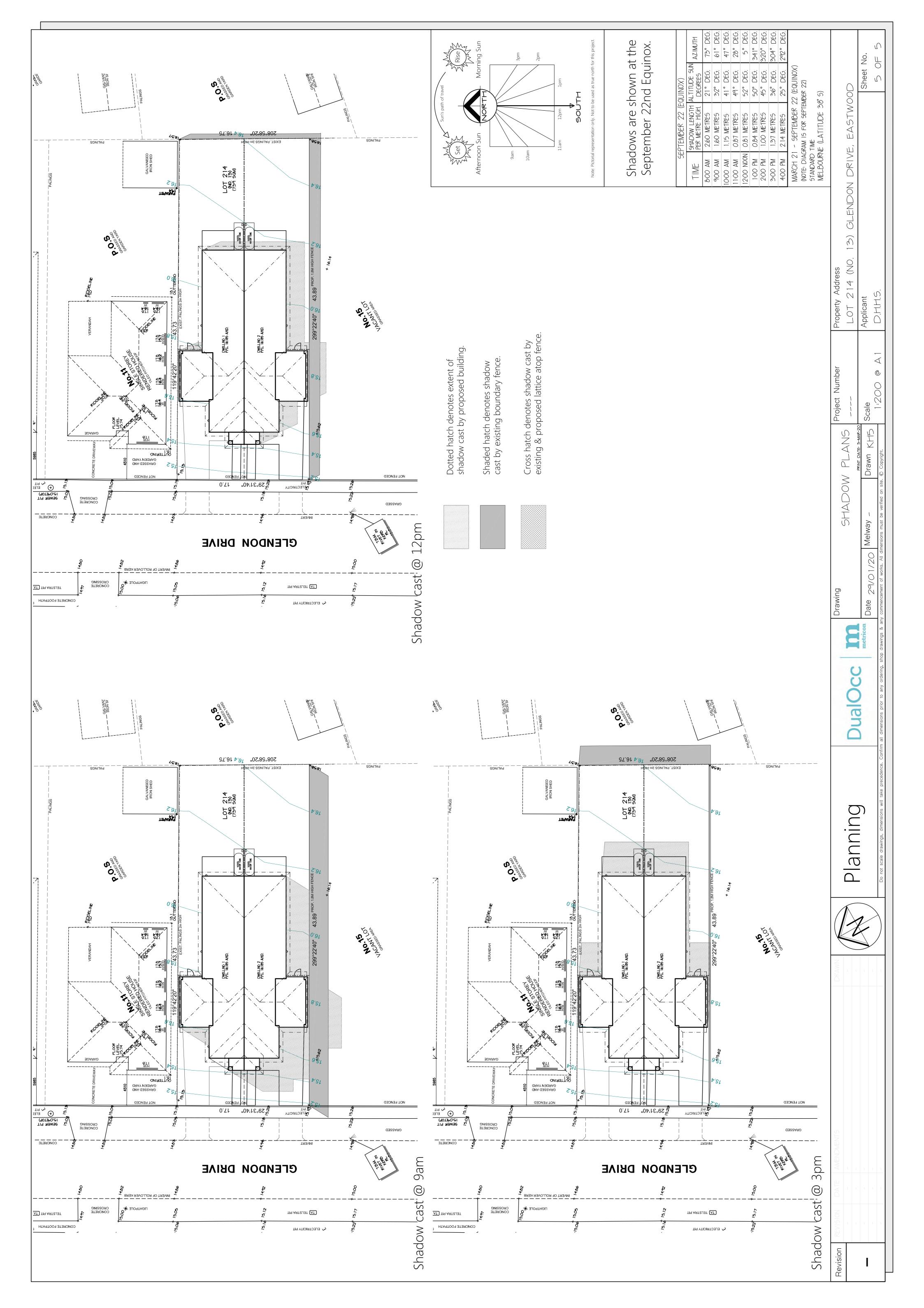


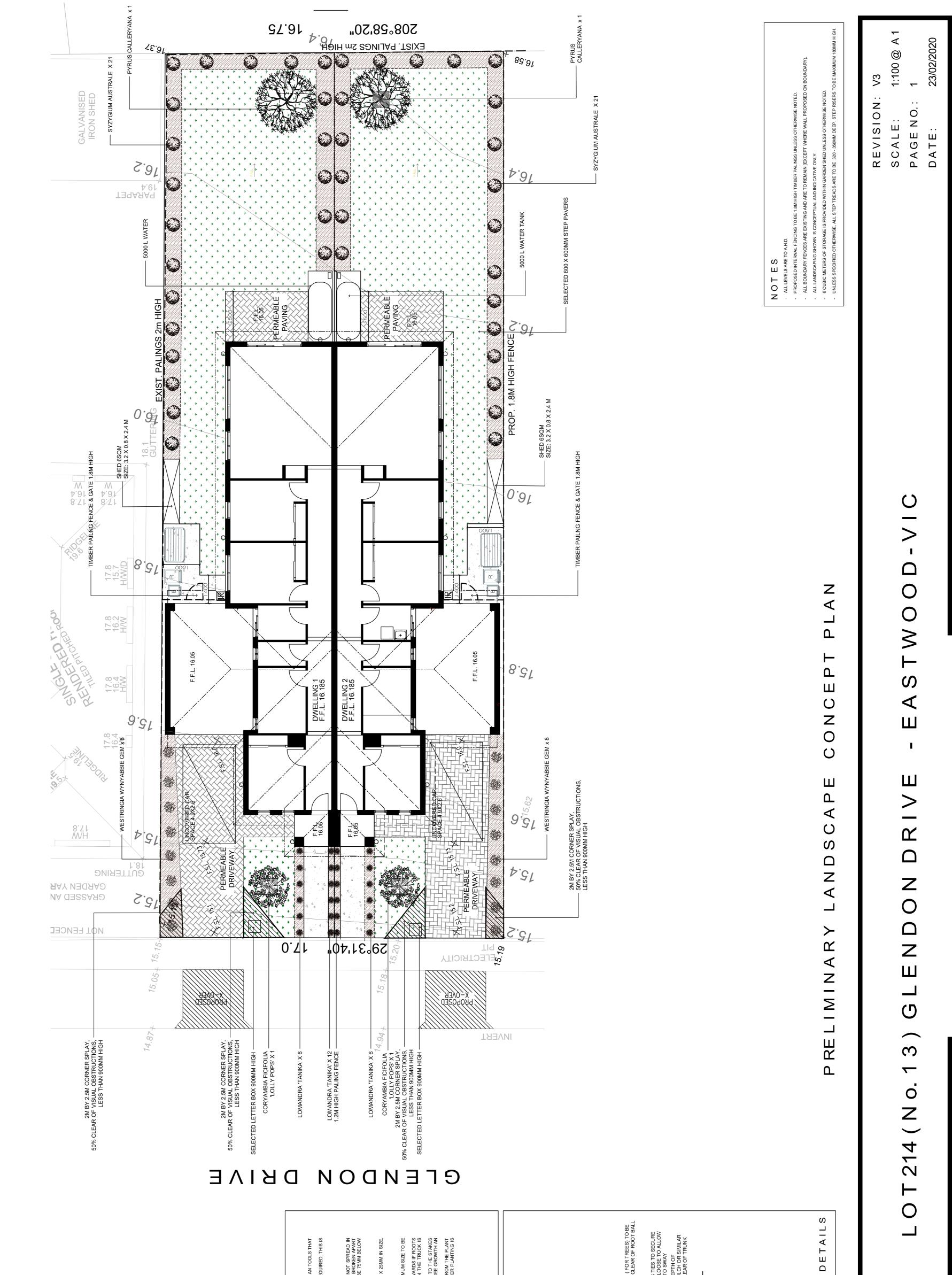






Drawing		Data Malway	29/01/20 (MCMM) =	dimensions prior to any ordering, shop drawings & any commencement of works. All dimensions must be verified on	
	Dual Occ	metricon			
)		Do not scale drawings, dimensions will take precedence. Confirm all	
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Material Schedule:				
NUMBER	SAMPLE	BRAND	COLOUR	DESC.
1		PGH	KURRAJONG (OR SIMILAR)	BRICKS
2		COLORBOND	MONUMENT (OR SIMILAR)	SHEET ROOF
3		COLORBOND	MONUMENT (OR SIMILAR)	GUTTER
4		COLORBOND	MONUMENT (OR SIMILAR)	FASCIA
5		COLORBOND	MONUMENT (OR SIMILAR)	DOWNPIPES
ALUMINIUM WINDOW FRAMES				
FIXED OBSCURE GLAZING WITHIN 1.7M ABOVE F.F.L. COMPLIANT WITH STANDARD B22.				

DETAILED PLANNING REPORT

Permit Application: 139/2020/P

12 Glendon Drive EASTWOOD Lot 205 PS 542289

Development of the land for two dwellings

This report has been prepared to document the statutory planning assessment pursuant to the provisions of the *Planning and Environment Act 1987* and *Local Government Act 1989*.

KEY DETAILS

Subject address	12 Glendon Drive EASTWOOD
	Lot 205 PS 542289
Land owner	Office of Housing
Applicant	Clement-Stone Town Planners
Land area	833 sqm
Zone	General Residential Zone 1
Overlays	Nil
Cultural sensitivity	The land is not culturally sensitive
Site inspected	The site has been subject to several inspections by the reporting officer, including through the notice period to ensure the notices were in place and not vandalised or removed.
Restrictions on Title	There are restrictions on title which have been assessed and the proposal is compliant. Particularly, the proposal meets the intent of the covenant by being a duplex dwelling, being clad primarily in brick, and having an area of 114 sqm measured from the outer walls.

PROPOSAL DETAILS/DISCUSSION

The application currently before Council seeks approval for development of two (2) dwellings on a currently vacant allotment.

Site Analysis

The subject lot is 833 square metres, currently vacant with no vegetation. A very slight slope runs high at the front boundary down to the rear. There are two vacant lots to the southwest. Dwellings are developed on lots to the north and west. There are 12 total vacant lots in the street. *Figure 1* demonstrates the site in neighbourhood context.



Figure 1: the subject land (highlighted red) in the neighbourhood context.

The lot is generally rectangular in shape and is provided with a standard frontage to Glendon Drive. Reticulated sewer, water, power, and natural gas are available. NBN Connection is available (fibre to the node). The northwestern boundary features a sewerage and drainage easement. Footpaths are constructed on both sides of the street, which is also provided with a 7.5m wide sealed road with kerb and channel drainage.

Glendon Drive connects to The Backwater to the South via a traffic calming Tintersection and Flinns Road to the north via a roundabout. The Backwater, especially lots to the south side of the street, is considered a premium development area due to the amenity and outlook to Bairnsdale CBD overlooking the Mitchell River and Mitchell River Backwater/Reserve. Flinns Road is a neighbourhood collector street, connecting from Great Alpine Road in the Southeast to Howitt Avenue in the North – with Howitt Avenue connecting to Bullumwaal Road in the west of Eastwood and servicing the commercial and school precinct in central Eastwood. On the corner of Flinns Road and Glendon Drive, the corner lots are approximately half the size of the average lot for the immediate area.

Schools, shops, and other amenities can be accessed on foot. Bairnsdale CBD is a five-minute drive.

<u>Proposal</u>

The proposed development includes:

- A duplex dwelling, each dwelling having 3 bedrooms, open plan living/dining/kitchen, central bathroom & laundry, central corridor and front entry on shared boundary wall;
- external carport, single crossover and driveway to each dwelling, with room for 'stacked' parking up to 2 vehicles off-street;
- a 5000-litre rainwater tank to each dwelling to promote water sensitive urban design principles;

- externally accessed store, bin storage area and clothes drying area, plus a standalone mailbox to each dwelling; and
- landscaping provision for 2 canopy trees (front and rear) and other plantings to each dwelling.

The proposed plan set is shown in *Figures 2 through 4*. Full development plans are attached to this report.

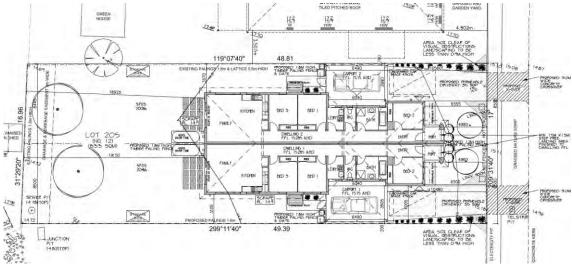
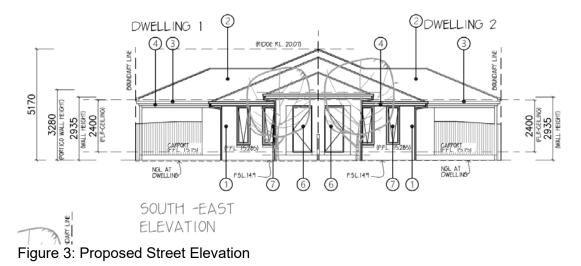


Figure 2: Proposed Site and Floor Plan



Kurrajong



BRICKWORK PGH Kurrajong Natural raked mortar



GUTTER, FASCIA, DOWNPIPES, WINDOWS & DOORS COLORBOND Monument



ROOF Colorbond Monument



Natural Grey





DULUX Ricochet



Figure 4: Proposed Materials Schedule

PLANNING CONTROLS

Control	Clause(s)	Consideration
General Residential Zone 1	32.08-6	Construct two dwellings on a lot
Two or more dwellings on a lot	55	Two dwelling ResCode assessment

Cultural sensitivity

Pursuant to the *Aboriginal Heritage Regulations 2018,* a Cultural Heritage Management Plan (CHMP) is not required as the land is not mapped as having values of cultural heritage.

REQUEST FOR FURTHER INFORMATION

Pursuant to Section 54 of the *Planning and Environment Act 1987*, additional information was sought by Council during the assessment of the application. The information sought was:

• A Social Impact comment pursuant to Clause - 21.07-3 Sustainable Development, Strategy 1.2 in accordance with the *Social Impact Assessment Guidelines for Development Applications* (East Gippsland Shire Council May 2015)

The applicant submitted the required information and satisfied the request. No further social impact assessment is warranted.

REFERRAL AUTHORITIES

The application was not subject to mandatory external referrals.

INTERNAL ADVICE

DEPARTMENT	SCOPE OF ADVICE	OUTCOME
Senior Technical Officer - Development	Drainage, Access, Roads	Advice provided
Municipal Building Surveyor	ResCode	Advice provided

General Technical advice only was provided, as the Street is generally fully serviced, and the proposal meets the requirements for on-site services including drainage and car parking. More discussion is available in relation to the broader proposal for concurrently assessed proposals within the same street.

General Building Surveyor advice was provided in relation to ResCode issues, specifically the clarification regarding minor variations to street setback.

PUBLIC NOTIFICATION

Advertising Required:

Public notification was undertaken in the form of letters to adjoining landowners and a sign was placed on site in accordance with Section 52 of the Planning and Environment Act 1987.

23 objections have been received at the time of writing this report.

A statutory declaration has been provided that confirms notification was undertaken as directed and that the responsible authority will not decide on the application before 23 May 2020.

An assessment of the objections is provided within the General Provisions section of this report.

REPORT – PLANNING CONSIDERATION

Planning Policy Framework (PPF)

The assessment of the application before Council requires assessment against Planning Policy Framework.

The clauses that have an influence upon the assessment of this application include:

- 11 Settlement
 - Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing
- 15 Built Environment and Heritage
 - Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.
 - Planning should promote excellence in the built environment and create places that:
 - Are enjoyable, engaging and comfortable to be in.
 - Accommodate people of all abilities, ages and cultures.
 - Contribute positively to local character and sense of place.
 - Reflect the particular characteristics and cultural identity of the community.
 - Enhance the function, amenity and safety of the public realm.
 - Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale and massing of new development.
 - Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.
 - Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.
 - Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.
 - Ensure development responds to cultural identity and contributes to existing or preferred neighbourhood character.
 - 16 Housing
 - Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.
 - Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.
 - Planning for housing should include the provision of land for affordable housing.
 - Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.
 - Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.
 - Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.
 - Facilitate the delivery of high quality social housing.
 - Increase the proportion of new housing in designated locations within established urban areas and reduce the share of new dwellings in greenfield and dispersed development areas.
 - Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.
 - Ensure an adequate supply of redevelopment opportunities within established urban areas to reduce the pressure for fringe development.

- Facilitate residential development that is cost effective in infrastructure provision and use, energy efficient, water efficient and encourages public transport use.
- Identify opportunities for increased residential densities to help consolidate urban areas.
- Facilitate diverse housing that offers choice and meets changing household needs through:
 - A mix of housing types.
 - Adaptable internal dwelling design.
 - Universal design.
- Encourage the development of well-designed medium-density housing that:
 - Respects the neighbourhood character.
 - Improves housing choice.
 - Makes better use of existing infrastructure.
 - Improves energy efficiency of housing.
- Support opportunities for a range of income groups to choose housing in wellserviced locations.
- Increase the supply of well-located affordable housing by:
 - Facilitating a mix of private, affordable and social housing in suburbs, activity centres and urban renewal precincts.
 - Ensuring the redevelopment and renewal of public housing stock better meets community needs.
- Facilitate the delivery of social housing by identifying surplus government land suitable for housing.

Assessment:

11 Settlement: The application meets the objectives of this clause. The development allows for an increase in land that is for residential development. It also provides for growth in population, while preserving the natural resources of the land and remains sensitive to the surrounding character.

15 Built Environment and Heritage: The application meets the objectives of this clause. The building design and the urban design contribute to the character and cultural identity to the surrounding area. The applicant has made a clear effort to respond to the strategic and cultural context of the area.

16 Housing: The application meets the objectives of this clause. The development is considered favourable as it promotes a housing market that meets the community needs, by increasing the supply of housing. The site is situated in a location that is considered appropriate to increase the supply of housing. As per clause 16.01-3s, the proposal provides a greater range of housing types. As per clause 16.01-4s, the proposal also facilitates the proposal of social housing within the municipality. The proposal assists with providing additional housing needed to accommodate the population growth in the region.

Municipal Strategic Statement (MSS)

Council is required to consider Local Policy as a part of this assessment.

Local Policy clauses that are relevant include:

21.03 Settlement

- Ensure a range of lot sizes and dwelling types to provide diversity and choice in new residential areas.
- Support infill medium density housing close to Bairnsdale CBD to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

• Support residential infill development within existing residential zones identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

21.07 Built Environment and Heritage

- Encourage high standards of design in all new developments, with special emphasis on urban areas, coastal and lakeside areas and other localities of high landscape quality, and land adjacent to parks and reserves.
- Ensure that future development contributes to the achievement of liveable, productive and sustainable communities in East Gippsland.
- Require proposals for new development, land use, infrastructure and changes in policy to consider social impact through the preparation of social impact comments and/or assessments as identified in the East Gippsland Shire Council Social Impact Assessment Guidelines for Development Applications.

21.08 Housing

- Cater for the housing needs and preferences of all segments of the community.
- Encourage the supply of elderly persons' housing in the main centres and facilitate development of community housing.
- Encourage the building and construction sector to provide a range of housing types and styles including higher density dwellings in town centres, to provide choice for consumers.
- Support infill medium density housing and a mix of housing types close to Bairnsdale CBD and key locations to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and on Plan 1 Housing Diversity.

21.12 Strategies for Sub-Regions, Towns and Localities

Lakes & Coastal

- Encouraging population growth and development in fully serviced residential land in the major towns
- Continue to encourage residential development within the urban areas already zoned residential.
- Future development should continue in [Brookfield] Lakes and Shannon Waters Estate (see Plan 3 Revitalisation and Growth Strategy).
- Support residential infill development within existing residential zones identified within the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

Assessment:

Settlement: The development allows for an increase in diverse housing types, and makes better use of the community's urban infrastructure. The proposal provides a land supply that attempts to accommodate the future population growth within Bairnsdale.

Housing: the proposal accommodates for the increase in Bairnsdale's future population growth. Catering for this increase in housing needs is a key objective of this clause, and the proposal addresses this successfully. Furthermore, the building of more social housing is likely to benefit those in the community that are most vulnerable, such as low income people, so the proposal addresses the social considerations that are needed when assessing an application. The proposal also promotes a greater diversity of housing types.

Strategies for Sub-Regions, Towns and Localities: the property is located in the "lakes and Coastal" area, and is considered to fulfill the objectives of this region. For example, it increases the housing supply in the area, taking advantage of the surrounding infrastructure and transport access, which caters for the changing needs of the area and increasing population of the area.

GENERAL RESIDENTIAL ZONE 1

Purpose:

To encourage development that respects the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

Key Decision Guidelines:

General issues

- The purpose of this zone.
- The objectives set out in a schedule to this zone.
- Any other decision guidelines specified in a schedule to this zone.
- The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.

Dwellings and residential buildings

• For the construction and extension of two or more dwellings on a lot,..., the objectives, standards and decision guidelines of Clause 55.

Assessment:

It is assessed that the proposal meets the requirements and objectives of the zone. The design of the proposed dwellings successfully responds to the neighbourhood character of the area through criteria such as the garden area and landscaping, building heights, materials used, form, and also the architectural design. Assessment is based on the existing conditions, including that 11 additional lots within the street are currently vacant.

The proposal is considered greenfield rather than infill development, as the lot has not been developed since being created by subdivision in 2006. The proposal can be considered housing growth due to its increased density. The proposal is located in reasonable walking distance of a range of shops and services, inclusive of retail, medical, dental, veterinary, child care, and primary school.

Clause 32.08-4 states that the minimum garden area for a lot greater than 650 sqm is 35%. The proposal meets this criteria with a garden area of 436 sqm or 52.3%.

Assessment of clause 55 in accordance with the requirements of Clause 32.08- is provided in the particular provision section of this report.

Clause 32.08-10 states that the maximum building height must not exceed 11 metres. The proposal has a maximum building height of 5.17 metres, and so meets the requirements of this criteria.

The proposal is suitable for approval in accordance with the provisions of the General Residential Zone 1.

PARTICULAR PROVISIONS

Clause 52.06 - Car Parking

The application complies with the requirement for a three bedroom dwelling to be provided with two car parking spaces, with at least one car parking space being under cover.

Clause 55 - Two or more dwellings on a lot

The primary assessment criteria of the application is with respect to Clause 55, which implements ResCode assessment for the proposal. Where a variation to ResCode is proposed, the planning permit is the statutory authority for approval of such variation.

All standards of clause 55 have been met.

The following is an assessment against the Clause 55 objectives and standards:

	Standard	Officer's Comment
B1	Neighbourhood character	The application is compliant with
	The design response must be	this standard, as it respects the
	appropriate to the neighbourhood and	surrounding character and design
	the site.	of surrounding dwellings.
	The proposed design must respect the	
	existing or preferred neighbourhood	style and materials such as Brick
	character and respond to the features	and peaked roof.
<u> </u>	of the site.	The explicent has complied with
B2	Residential policy An application must be accompanied	The applicant has complied with this standard. The proposal is
	by a written statement to the	consistent with the relevant
	satisfaction of the responsible	housing policy in the LPPF and the
	authority that describes how the	SPPF.
	development is consistent with any	
	relevant policy for housing in the State	
	Planning Policy Framework and the	
	Local Planning Policy Framework,	
	including the Municipal Strategic	
D 0	Statement and local planning policies.	
B3	Dwelling diversity	Not applicable to this application.
	Developments of ten or more dwellings should provide a range of	The application is for 2 dwellings.
	dwelling sizes and types, including:	
	Dwellings with a different number of	
	bedrooms.	
	At least one dwelling that contains a	
	kitchen, bath or shower, and a toilet	
	and wash basin at ground floor level.	
B4	Infrastructure	The application complies with this
	Development should be connected to	standard.
	reticulated services, including	
	reticulated sewerage, drainage,	A full suite of reticulated services
	electricity and gas, if available.	are available, inclusive of nbn and
	Development should not unreasonably exceed the capacity of utility services	yas.
	Texesed the capacity of utility services	

	Standard	Officer's Comment
B5	and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no spare capacity, developments should provide for upgrading or mitigation of the impact on services or infrastructure. Integration with the street	Since the proposal increases the anticipated lot yield of dwellings by one, the capacity of the utility services and infrastructure will likely be unaffected. The proposal complies with this
	Development should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility. Dwellings should be oriented to front existing and proposed streets. High fencing in front of dwellings should be avoided if practicable. Development next to existing public open space should be laid out to complement the open space.	The development enhances accessibility, and has avoided high fences, and the orientation is to the front of the lot, with no front fences proposed.
B6	 Street setback Walls of buildings should be set back from streets: At least the distance specified in the schedule to the zone, or If no distance is specified in the schedule to the zone, the distance specified in Table A1/B1. The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser. 	
	Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.	If the proposal was considered non-compliant with the standard, it would be reasonable for the responsible authority to grant a variation as it is so minor an encroachment that the proposal does not detract from the neighbourhood character. The encroachment is less than 10 square metres in total area, the proposed carport provides for open areas, and has a further increased setback from the main wall of the dwelling(s).
<u></u>	Building height	Furthermore, the incorporation of landscaping and canopy trees also assists in the incorporation of the proposal into the streetscape by reducing bulk. The building height being proposed

	Standard	Officer's Comment
	The maximum building height should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, 11 metres. Changes of building height between existing buildings and new buildings should be graduated.	is 5.17 metres, demonstrating compliance with this standard.
B8	Site coverage The site area covered by buildings should not exceed: The maximum site coverage specified in the schedule to the zone, or If no maximum site coverage is specified in the schedule to the zone, 60 per cent.	Total site coverage is 34.9%, demonstrating compliance with this standard.
B9	Permeability At least 20 per cent of the site should not be covered by impervious surfaces.	The proposal complies with this standard.
B10	 Energy efficiency Buildings should be: Orientated to make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. Living areas and private open space should be located on the north side of the development, if practicable. Developments should be designed so that solar access to north-facing windows is maximised. 	The proposal complies with this standard. The living areas of the dwellings are oriented to the rear, which generally faces northwest. Significant private open space areas are also provided in this direction.
B11	Open space If any public or communal open space is provided on site, it should: Be substantially fronted by dwellings, where appropriate. Provide outlook for as many dwellings as practicable. Be designed to protect any natural features on the site. Be accessible and useable.	Not applicable to this application.
B12	Safety Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways. Planting which creates unsafe spaces along streets and accessways should be avoided. Developments should be designed to provide good lighting, visibility and	The proposal complies with this standard. Entries are provided facing the street. Plantings are designed to retain passive street surveillance and there are no proposed walls that will prevent clear vision from the driveway through to the entry door.

	Standard	Officer's Comment
	surveillance of car parks and internal	
	accessways. Private spaces within developments should be protected from inappropriate use of public thoroughfares.	There is additionally direct access available through the laundry to the carport.
B13	Landscaping The landscape layout and design should: Protect any predominant landscape	The proposal complies with this standard. The site and streetscape are
	features of the neighbourhood. Take into account the soil type and drainage patterns of the site. Allow for intended vegetation growth and structural protection of buildings. In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. Provide a safe, attractive and functional environment for residents. Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood. Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made. The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.	currently without vegetation. The proposal does not provide a detailed landscaping plan, however the site plans imply provision of canopy trees to the front and rear yard. A requirement of approval will be a condition for provision of a landscaping plan. If generally consistent with plans submitted in relation to other applications in Glendon Drive, the outcome will be appropriate.
B14	Access Accessways should: Be designed to allow convenient, safe and efficient vehicle movements and connections within the development and to the street network. Be designed to ensure vehicles can exit a development in a forwards direction if the accessway serves five or more car spaces, three or more dwellings, or connects to a road in a Road Zone. Be at least 3 metres wide. Have an internal radius of at least 4 metres at changes of direction. Provide a passing area at the entrance that is at least 5 metres wide and 7 metres long if the accessway serves ten or more spaces and connects to a road in a Road Zone. The width of accessways or car spaces should not exceed:	The proposal complies with this standard. The impact of the driveway design is considered low impact on the neighbourhood character, and the on street car parking. The street frontage is 17 metres. Driveway width is cumulatively 6 metres or 35% of the frontage, which complies with the requirement. One on-street car parking space could reasonably and safety be retained between the two crossovers (8.9m). On street car parking is not considered to be ideal given the pavement width is 7.5m between kerbs. Further discussion is provided in relation to

	Standard	Officer's Comment
	 33 per cent of the street frontage, or If the width of the street frontage is less than 20 metres, 40 per cent of the street frontage. No more than one single-width crossover should be provided for each dwelling fronting a street. The location of crossovers should maximise the retention of on-street car parking spaces. The number of access points to a road in a Road Zone should be minimised. Developments must provide for access for service, emergency and delivery vehicles. 	
B15	Parking location Car parking facilities should: Be reasonably close and convenient to dwellings and residential buildings. Be secure. Be designed to allow safe and efficient movements within the development. Be well ventilated if enclosed. Large parking areas should be broken up with trees, buildings or different surface treatments. Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced by 1 metre whether there is a fence of 1.5 metres high or where window sills are at least 1.4 metres above the accessway.	The proposal complies with this standard. Car parking facilities are deigned reasonably and securely, and in accordance with Clause 52.06. There are no shared accessways.
B17	Side and rear setbacks A new building not on or within 150mm of a boundary should be set back from side or rear boundaries: At least the distance specified in the schedule to the zone, or If no distance is specified in the schedule to the zone, 1 metre, plus 0.3 metres for every metre in height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. Sunblinds, verandas, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard. Landings having an area of not more	The proposal complies with this standard. The carport wall adjacent to the boundary has a height of 2.9 metres, which is under the rescode requirement of 3.2 metres average and 3.6 metres maximum. The main dwelling is located a sufficient distance from the boundaries.

	Standard	Officer's Comment
	than 2 square metres and less than 1	
	metre high, stairways, ramps	
	pergolas, shade sails and carports	
	may encroach into the setbacks of this	
	standard.	
B18	Walls on boundaries	The proposal complies with this
210	A new wall constructed on or within	standard.
	150mm of a side or rear boundary of a	
	lot or a carport constructed on or	The carport wall is within 1 metre
	within 1 metre of a side or rear	of the side boundary but less than
	boundary of a lot should not abut the	10 metres in length. There are no
	boundary for a length of more than:	other walls on boundaries.
	10 metres plus 25 per cent of the	
	remaining length of the boundary of an	
	adjoining lot, or	
	Where there are existing or	
	simultaneously constructed walls or	
	carports abutting the boundary on an	
	abutting lot, the length of the existing	
	or simultaneously constructed walls or	
	carports,	
	whichever is greater.	
	A new wall or carport may fully abut a	
	side or rear boundary where the slope	
	and retaining walls or fences would result in the effective height of the wall	
	or carport being less than 2 metres on	
	the abutting property boundary.	
	A building on a boundary includes a	
	building set back up to 150mm from a	
	boundary.	
	The height of a new wall constructed	
	on or within 150mm of a side or rear	
	boundary or a carport constructed on	
	or within 1 metres of a side or rear	
	boundary should not exceed an	
	average of 3 metres with no part	
	higher than 3.6 metres unless abutting	
	a higher existing or simultaneously	
	constructed wall.	
B19	Daylight to existing windows	The proposal complies with this
	Buildings opposite an existing	standard.
	habitable room window should provide	
	for a light court to the existing window	There are no windows affected by
	that has a minimum area of 3 square	the siting and massing of the
	metres and a minimum dimension of 1	proposed dwellings.
	metre clear to the sky. The calculation	
	of the area may include land on the	
	abutting lot.	
	Walls or carports more than 3 metres	
	in height opposite an existing habitable room window should be set	
	back from the window at least 50 per	
	cent of the height of the new wall if the	
	wall is within a 55 degree arc from the	

	Standard	Officer's Comment
	centre of the existing window. The arc	
	may be swung to within 35 degrees of	
	the plane of the wall containing the	
	existing window.	
	Where the existing window is above	
	ground floor level, the wall height is	
	measured from the floor level of the	
	room containing the window.	
B20	North-facing windows	The proposal complies with this
DZU	If a north-facing habitable room	Istandard.
	window of an existing dwelling is	
	within 3 metres of a boundary on an	There are no north-facing windows
	abutting lot, a building should be	affected by the siting and massing
	setback from the boundary 1 metre,	of the proposed dwellings.
	plus 0.6 metre for every metre of	of the proposed dwellings.
	height over 3.6 metres, plus 1 metre	
	for every metre of height over 6.9	
	metres, for a distance of 3 metres	
	from the edge of each side of the	
	0	
	window. A north-facing window is a	
	window with an axis perpendicular to	
	its surface oriented north 20 degrees	
B21	west to north 30 degrees east.	The proposal complian with this
DZI	Overshadowing open space	The proposal complies with this
	Where sunlight to the secluded private	standard.
	open space of an existing dwelling is	There is no established onen
	reduced, at least 75 per cent, or 40	There is no established open
	square metres with a minimum	space affected by overshadowing
	dimension of 3 metres, whichever is	from the proposed dwellings.
	the lesser area, of the secluded	Overshadowing will largely be contained within the lot.
	private open space should receive a	
	minimum of five hours of sunlight	
	between 9 am and 3 pm on 22	
	September.	
	If existing sunlight to the secluded	
	private open space of an existing	
	dwelling is less than the requirements	
	of this standard, the amount of	
D 00	sunlight should not be further reduced.	The proposal concrites with this
B22	Overlooking	The proposal complies with this
	A habitable room window, balcony,	standard.
	terrace, deck or patio should be	The proposal and neighbouring
	located and designed to avoid direct	The proposal and neighbouring
	views into the secluded private open	dwelling are single storey and
	space and habitable room windows of	there is not substantial
		topographical changes to provide
	distance of 9 metres (measured at	for overlooking.
	ground level) of the window, balcony,	
	terrace, deck or patio. Views should	
	be measured within a 45 degree angle	
	from the plane of the window or	
	perimeter of the balcony, terrace, deck	
	or patio, and from a height of 1.7	
	metres above the floor level.	
	A habitable room window, balcony,	

	Standard	Officer's Comment
	terrace, deck or patio with a direct	
	view into a habitable room window of	
	an existing dwelling within a horizontal	
	distance of 9 metres (measured at	
	ground level) of the window, balcony,	
	terrace, deck or patio should be either:	
	Offset a minimum of 1.5 metres from	
	the edge of one window to the edge of	
	another, or	
	Have sill heights of at least 1.7 metres	
	above floor level, or	
	Have obscure glazing in any part of	
	the window below 1.7 metres above	
	floor level, or	
	Have permanently fixed external	
	screens to at least 1.7 metres above	
	floor level and be no more than 25 per	
	cent transparent.	
	Obscure glazing in any part of the	
	window below 1.7 metres above floor	
	level may be open able provided that	
	there are no direct views as specified	
	in the standards.	
	Screens used to obscure a view	
	should be:	
	Perforated panels or trellis with a	
	maximum of 25 per cent openings or	
	solid translucent panels.	
	Permanent, fixed and durable.	
	Designed and coloured to blend in	
	with the development.	
	This standard does not apply to a new	
	habitable room window, balcony,	
	terrace, deck or patio which faces a	
	property boundary where there is a	
	visual barrier of at least 1.6 metres	
	high and the floor level of the	
	habitable room, balcony, terrace, deck	
	or patio is less than 0.6 metres above	
D 00	ground level at the boundary.	
B23	Internal views	The proposal complies with this
	Windows and balconies should be	standard.
	designed to prevent overlooking of	
	more than 50 per cent of the secluded	No windows are overlooking.
	private open space of a lower-level	
	dwelling or residential building directly	
	below and within the same	
	development.	
B24	Noise impacts	The proposal complies with this
DLT	Noise sources, such as mechanical	Istandard.
	-	
	plant, should not be located near	
	bedrooms of immediately adjacent	Services to the proposed dwelling
	existing dwellings.	will be located in close proximity to
	Noise sensitive rooms and secluded	the outer walls, which are set back
	private open spaces of new dwellings	approx. 3 metres from a boundary,

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A balcony of 8 square metres with a			
		A balcony of 8 square metres with a	

	Standard	Officer's Comment
	minimum width of 1.6 metres and convenient access from a living room, or A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.	
B29	Solar access to open space The private open space should be located on the north side of a dwelling, if practicable. The southern boundary of secluded private open space should be set back from any wall on the north of the space at least (2 + 0.9h) metres, where 'h' is the height of the wall.	The proposal complies with this standard. The private open space is located to the northwest of each dwelling.
B30	Storage Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.	The proposal complies with this standard. Storage is shown on the plans behind the carports of each dwelling.
B31	Design detail The design of buildings, including: Façade articulation and detailing, Window and door proportions, Roof form, and Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character. Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.	The proposal complies with this standard. The proposal respects the surrounding character and design of neighbouring dwellings, mimicking roof pitch, front entry, and cladding. Carports are setback of the main dwellings to be less visually dominant.
B32	Front fences The design of front fences should complement the design of the dwelling and any front fences on adjoining property. A front fence within 3 metres of a street should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, the maximum height specified in Table A2/B3.	The proposal complies with this standard, as no front fence is
B33	Common property Developments should clearly delineate public, communal and private areas. Common property, where provided, should be functional and capable of efficient management.	Not applicable as no common property is proposed.
B34	Site services The design and layout of dwellings	The proposal complies with this standard.

Standard	Officer's Comment
and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.	The dwellings will be able to access services equitably to the front and rear. A drainage and sewerage easement is provided at the rear of the property.
Bins and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.	Bin enclosures and mailboxes are considered reasonable and accessible for potential residents.
Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and	Bin enclosures are screened from view at the rear of the proposed carports.
located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post.	Mailboxes are located alongside the footpath and adjacent to the driveway, being convenient for both residents and Australia Post.

GENERAL PROVISIONS

Objections

As previously stated, 23 objections have been received in relation to the proposal. It is critical to note that the objections substantially relate to concurrent planning permit applications for development of two dwellings on a lot in relation to 4, 5, 8, 13, 14, 16, and 17 Glendon Drive, Eastwood. The nature and content of the 23 objections is largely the same and has been summarised in this report.

The assessment of a single planning permit application for development of two dwellings on a lot by the responsible authority cannot address matters such as:

- Cumulative impact of the planning permit applications;
- The proposed tenancy of the dwellings to be constructed; that is, that they are owned by the Office for Housing and may be used for social housing; and
- Property valuation outcomes as a result of the above factors, nor even for the impact associated with the singular proposal.

1. Not in accordance with neighbourhood character, loss of streetscape

The assessment of the planning permit application must consider the impact of two dwellings on a lot. It is put that there may be an expectation that a single dwelling would be constructed on the lot as is the standard practice for the Eastwood Estate. That 12 lots are currently vacant on Glendon Drive out of 21 lots total means that the majority of the street character has not been established.

There are several existing examples of duplex dwelling development within the vicinity. Even the neighbouring properties at 2 Glendon Drive and 93 Flinns Road are of the same dwelling density, although not duplex construction. This is repeated on all four corners of this intersection.

In relation to the broader neighbourhood, there are further examples of similar dwelling density. Many of the objectors state that they would be satisfied with only one of the currently vacant lots in common ownership being developed with a duplex.

The proposal is not out-of-character for the neighbourhood or streetscape. There are 11 other lots to be developed in the street, which is more than half of the total properties on the street. As such, streetscape is emerging and can be altered.

2. Loss of property value

The majority of objectors raise this ground, which is an economic consideration, not a planning consideration. It is noted that the cost of development per dwelling might be significantly less than that of the surrounding dwellings, however this can be attributed to the economies of scale associated with duplex development. Economic valuation should be tenure blind, and normally takes into consideration market and sale values of surrounding property.

3. Traffic Impacts and street parking, road safety

Each dwelling is provided with two off-street car parking spaces, including one under cover space, which meets the car parking standards of the Scheme. For convenience purposes, the majority of traffic would make the direct connection to Flinns Road which is a neighbourhood connector street. The design capacity of this street is suitable to accommodate a traffic yield of 10 vehicle movements per day above what would be anticipated from a single dwelling being constructed on the subject lot.

Minimal provision of on-street car parking would result from the narrow bitumen seal 7.75 metres with kerb and channel. Footpaths are constructed adjacent to the property frontages. Crossover locations for each dwelling is adjacent to the side lot boundaries. There would be ability to park a maximum of one car in front of the lot on-street without blocking one of the proposed driveways.

Glendon Drive is the primary connection for The Backwater, being less circuitous than the other egress at Gree Keeluk Place. This already represents a significant volume of traffic, with further development to occur as a result of several lots remaining vacant.

There will be negligible detriment as a result of the proposal assessed on its merit.

4. Social impacts, particularly the negative impacts from social housing

Valid concern is raised in relation to the social impact of the proposal in accordance with local planning policy. Additional information has been obtained in line with Council's Guidelines, however the nature of the Social Impact Comment rightly does not focus on the socioeconomic issues, as planning must be tenure blind in relation to proposals for residential development. As such, no further investigation is required.

5. General amenity and noise concerns

The issue of noise and general amenity is a discriminatory assumption based on the proposal being for social housing purposes. Planning must not consider this impact, especially in relation to proposals where the individual impact could reasonably be nil.

6. Use for crisis/emergency accommodation

It is considered that this concern is arose primarily in response to a past proposal for a 6 unit community care accommodation facility at 12-16 Glendon Drive. To some extent it has not been made clear from the proposal whether some aspect of that use will be transferred to the dwellings proposed, however that cannot be considered with respect to the assessment of this application, which relates to construction of two dwellings.

The planning scheme provides that places of community care accommodation, including shelters, refuges, and crisis accommodation should be exempt from planning consideration and afforded privacy and secrecy. As the individual planning applications are for two dwellings on a lot, Council should not further consider which of the dwellings, if any, would be used for community care accommodation.

7. Concerns regarding inability to organise, length of time to object

Adequate time has been afforded between the provision of notice and the determination. A public meeting was undertaken, following appropriate social distancing protocols and with ample assistance with relation to technology.

On balance of consideration of the objections, which largely relate to the broader impacts of cumulative development proposals and tenancy of the proposal, it is recommended that the responsible authority make its determination with respect to the East Gippsland Planning Scheme provisions, and resolve to issue a notice of decision to grant a planning permit.

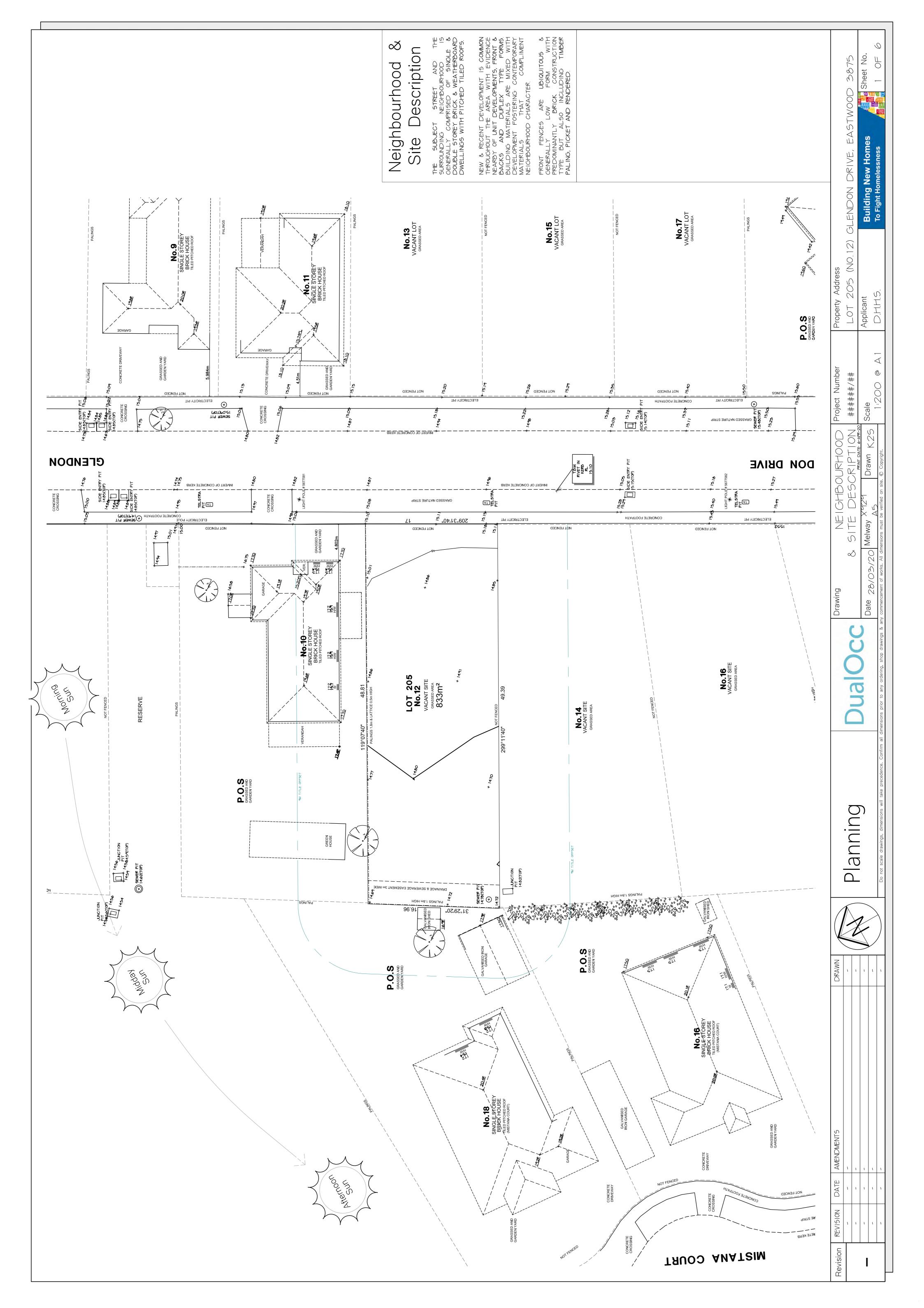
Section 60 and Clause 65

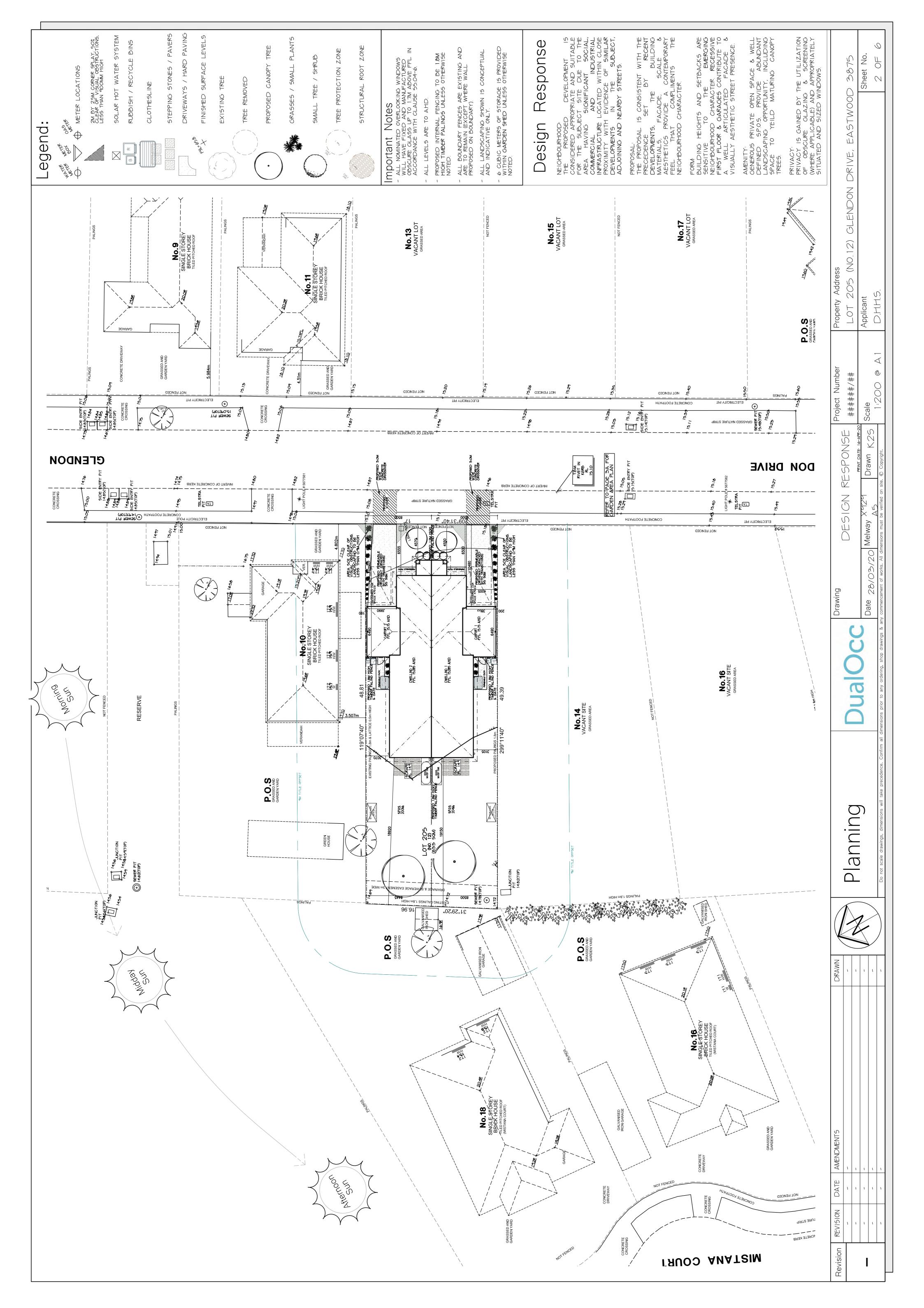
The application presents no detriment to the environmental values of the land or to the amenity of the area. The proposal is an acceptable planning outcome that is consistent with the objectives of planning in Victoria.

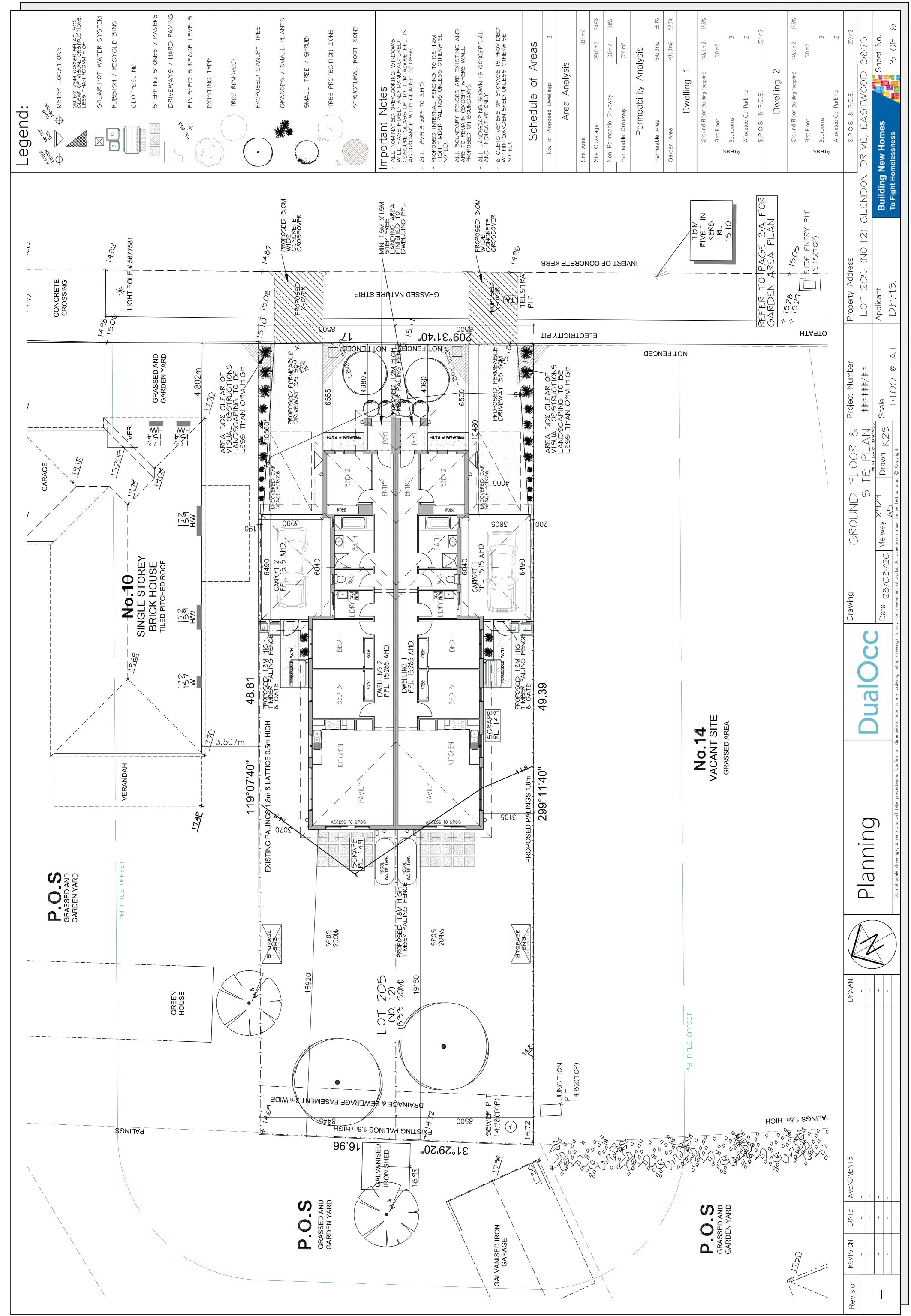
CONCLUSIONS & RECOMMENDATION

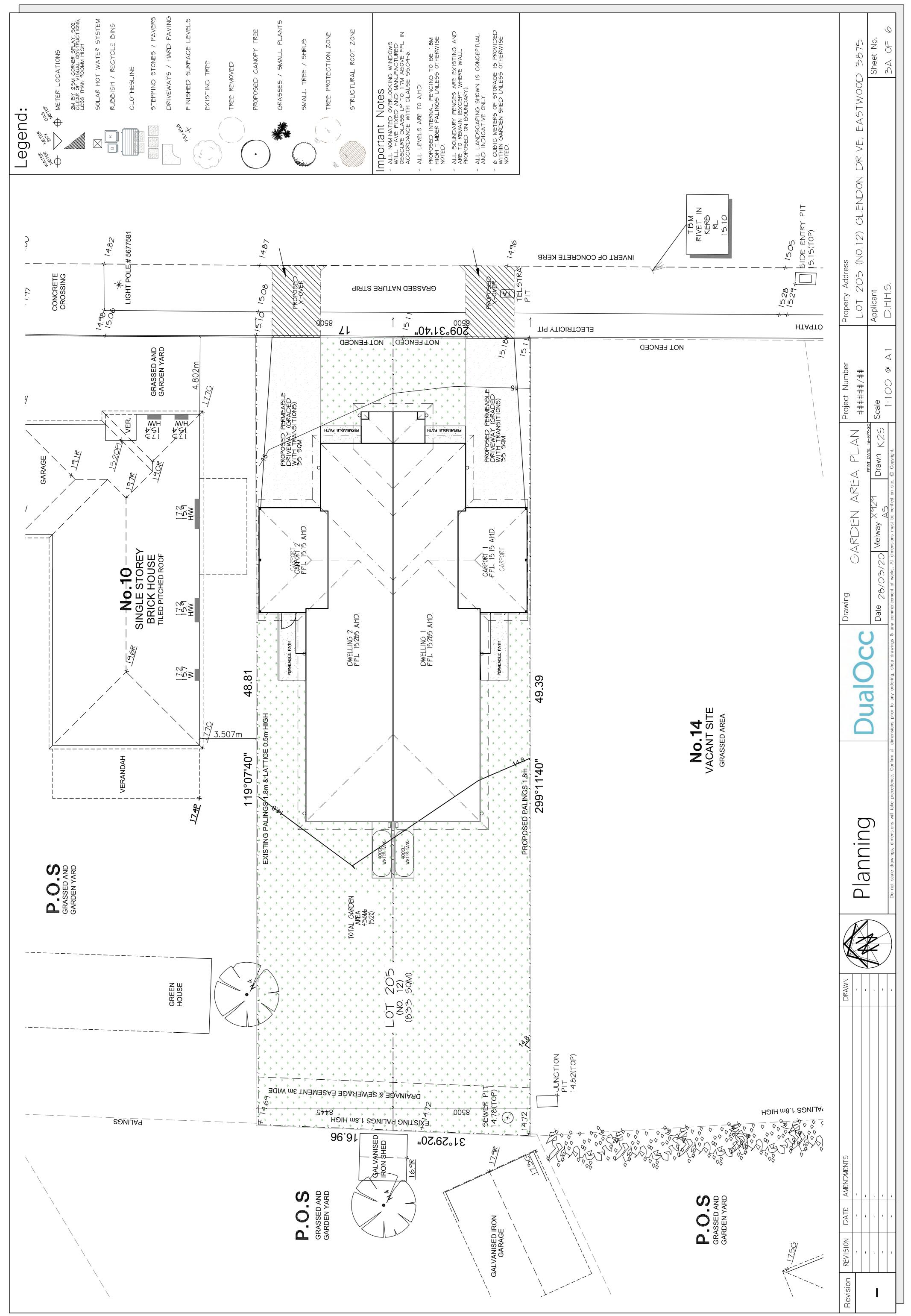
The application is consistent with the planning scheme and is suitable for Council support.

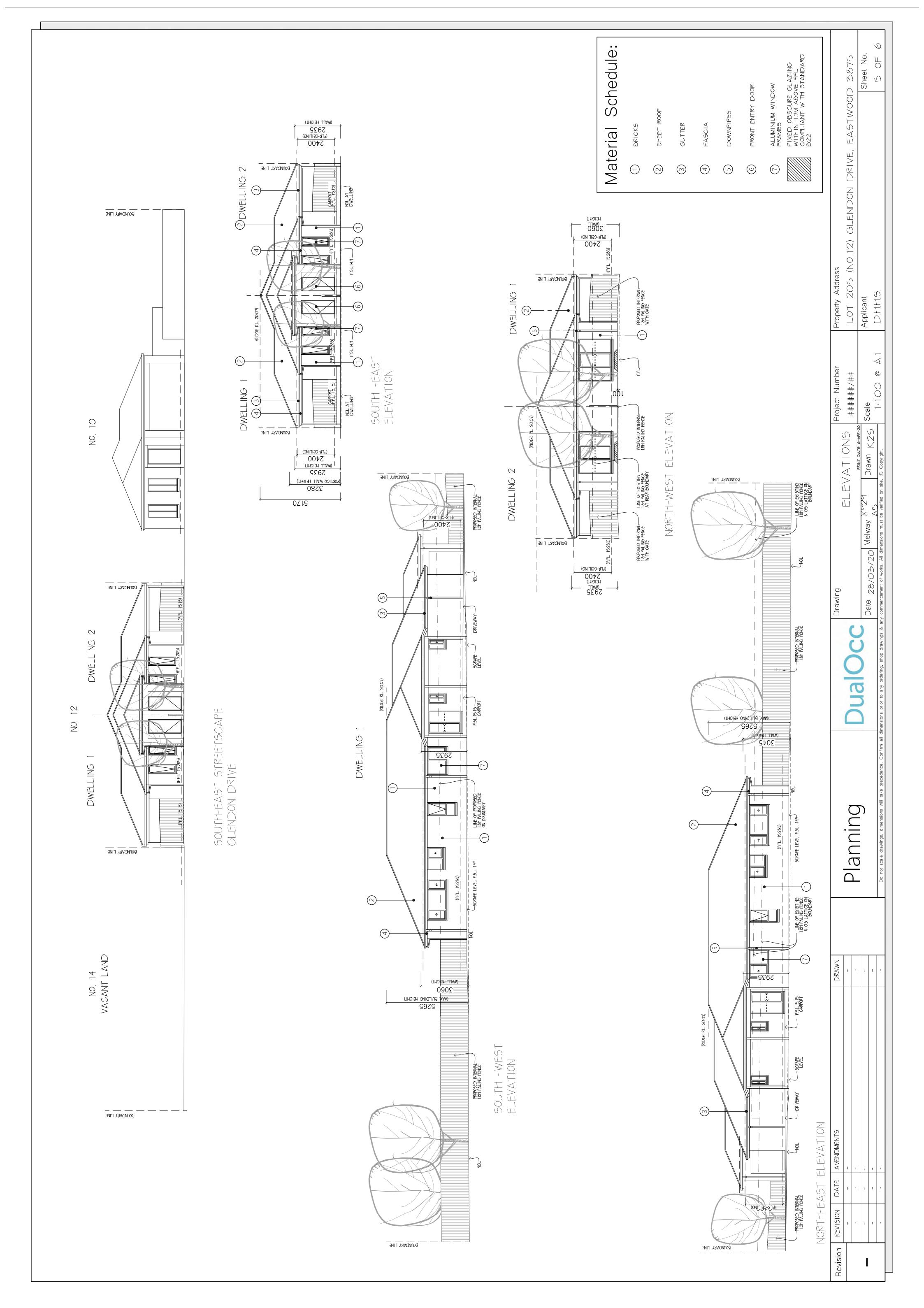
It is recommended that a notice of decision to grant a planning permit be issued subject to standard development conditions including a requirement for a landscaping plan.

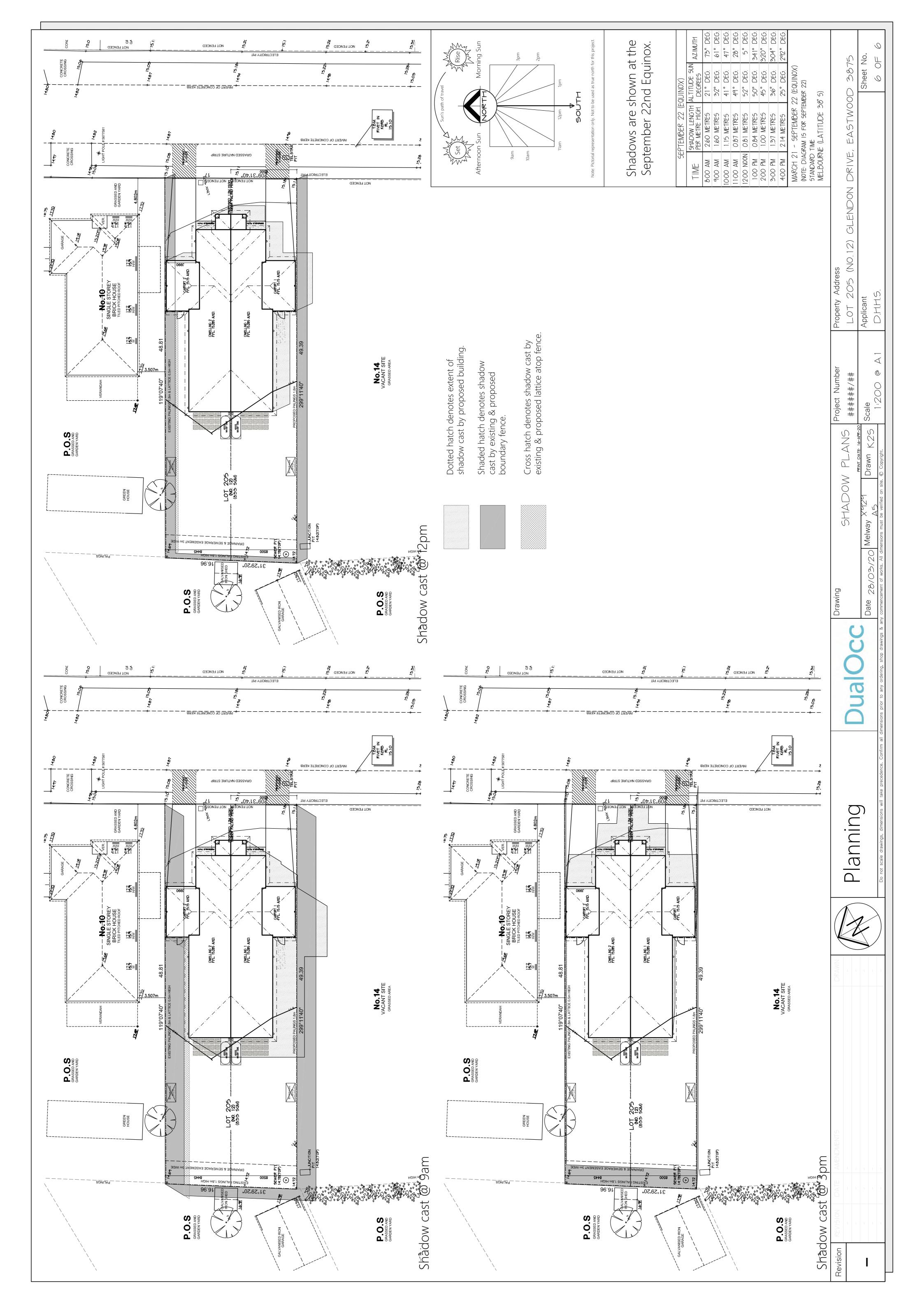




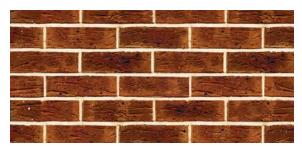








Kurrajong



BRICKWORK PGH Kurrajong Natural raked mortar

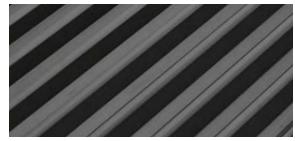


GUTTER, FASCIA, DOWNPIPES, WINDOWS & DOORS COLORBOND Monument



GARAGE DOOR COLORBOND Dune





ROOF Colorbond Monument



DRIVEWAY Natural Grey

RENDER DULUX CB Dune



CLADDING, FRONT ENTRY DOOR & PAINTED AREAS DULUX Ricochet



Images are for illustrative purposes only and while every effort has been made to correctly represent colours for this scheme, actual colours may vary. Materials, colours and brands are subject to availability and may be substituted if not available. Schemes may be changed without notice and external schemes are subject to developer approval. Any approved customer variations may incur additional costs. For further information contact your Sales Consultant. VIC Builders Licence CDB-U 52967. JUN2019 MET3787.

DETAILED PLANNING REPORT

Permit Application: 140/2020/P

14 Glendon Drive EASTWOOD Lot 206 PS 542289

Development of the land for two dwellings

This report has been prepared to document the statutory planning assessment pursuant to the provisions of the *Planning and Environment Act 1987* and *Local Government Act 1989*.

KEY DETAILS

Subject address	14 Glendon Drive EASTWOOD
	Lot 206 PS 542289
Land owner	Office of Housing
Applicant	Clement-Stone Town Planners
Land area	987 sqm
Zone	General Residential Zone 1
Overlays	Nil
Cultural sensitivity	The land is not culturally sensitive
Site inspected	The site has been subject to several inspections by the reporting officer, including through the notice period to ensure the notices were in place and not vandalised or removed.
Restrictions on Title	There are restrictions on title which have been assessed and the proposal is compliant. Particularly, the proposal meets the intent of the covenant by being a duplex dwelling, being clad primarily in brick, and having an area of 114 sqm measured from the outer walls.

PROPOSAL DETAILS/DISCUSSION

The application currently before Council seeks approval for development of two (2) dwellings on a currently vacant allotment.

Site Analysis

The subject lot is 987 square metres, currently vacant with no vegetation. A very slight slope runs high at the front boundary down to the rear. There is a vacant lot on either side of this lot. A dwelling is developed on the lot to the west. There are 12 total vacant lots in the street. *Figure 1* demonstrates the site in neighbourhood context.



Figure 1: the subject land (highlighted red) in the neighbourhood context.

The lot is generally rectangular in shape and is provided with a standard frontage to Glendon Drive. Reticulated sewer, water, power, and natural gas are available. NBN Connection is available (fibre to the node). The northwestern boundary features a sewerage and drainage easement. Footpaths are constructed on both sides of the street, which is also provided with a 7.5m wide sealed road with kerb and channel drainage.

Glendon Drive connects to The Backwater to the South via a traffic calming Tintersection and Flinns Road to the north via a roundabout. The Backwater, especially lots to the south side of the street, is considered a premium development area due to the amenity and outlook to Bairnsdale CBD overlooking the Mitchell River and Mitchell River Backwater/Reserve. Flinns Road is a neighbourhood collector street, connecting from Great Alpine Road in the Southeast to Howitt Avenue in the North – with Howitt Avenue connecting to Bullumwaal Road in the west of Eastwood and servicing the commercial and school precinct in central Eastwood. On the corner of Flinns Road and Glendon Drive, the corner lots are approximately half the size of the average lot for the immediate area.

Schools, shops, and other amenities can be accessed on foot. Bairnsdale CBD is a five-minute drive.

<u>Proposal</u>

The proposed development includes:

- A duplex dwelling, each dwelling having 3 bedrooms, open plan living/dining/kitchen, central bathroom & laundry, central corridor and front entry on shared boundary wall;
- external carport, single crossover and driveway to each dwelling, with room for 'stacked' parking up to 2 vehicles off-street;

- a 5000-litre rainwater tank to each dwelling to promote water sensitive urban design principles;
- externally accessed store, bin storage area and clothes drying area, plus a standalone mailbox to each dwelling; and
- landscaping provision for 2 canopy trees (front and rear) and other plantings to each dwelling.

The proposed plan set is shown in *Figures 2 through 4.* Full development plans are attached to this report.

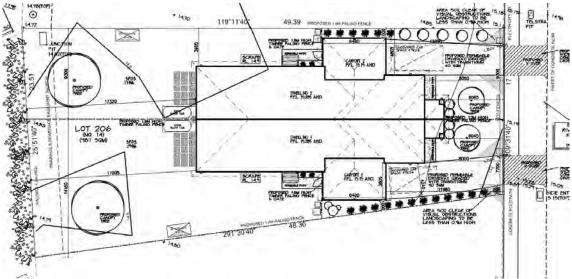
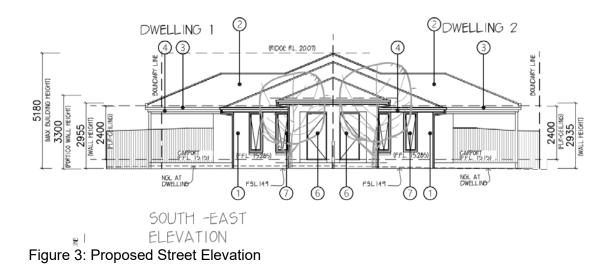


Figure 2: Proposed Site and Floor Plan



Goldfield Haze



BRICKWORK SELKIRK Goldfield Haze Natural rolled mortar



GUTTER, FASCIA, WINDOWS & DOORS COLORBOND Woodland Grey



COLORBOND Evening Haze



DULLX Lexicon Quarter

Figure 4: Proposed Materials Schedule

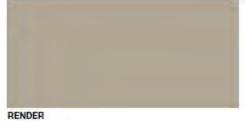
PLANNING CONTROLS



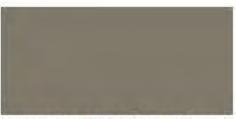
Colorbond Monument



Natural Grey



DULUX Linseed



CLADDING, FRONT ENTRY DOOR & PAINTED AREAS DULUX Rogue

Control	Clause(s)	Consideration
General Residential Zone 1	32.08-6	Construct two dwellings on a lot
Two or more dwellings on a lot	55	Two dwelling ResCode assessment

Cultural sensitivity

Pursuant to the *Aboriginal Heritage Regulations 2018,* a Cultural Heritage Management Plan (CHMP) is not required as the land is not mapped as having values of cultural heritage.

REQUEST FOR FURTHER INFORMATION

Pursuant to Section 54 of the *Planning and Environment Act 1987*, additional information was sought by Council during the assessment of the application. The information sought was:

• A Social Impact comment pursuant to Clause - 21.07-3 Sustainable Development, Strategy 1.2 in accordance with the *Social Impact Assessment Guidelines for Development Applications* (East Gippsland Shire Council May 2015)

The applicant submitted the required information and satisfied the request. No further social impact assessment is warranted.

REFERRAL AUTHORITIES

The application was not subject to mandatory external referrals.

INTERNAL ADVICE

DEPARTMENT	SCOPE OF ADVICE	OUTCOME
Senior Technical Officer -	Drainage, Access, Roads	Advice provided
Development	_	
Municipal Building	ResCode	Advice provided
Surveyor		

General Technical advice only was provided, as the Street is generally fully serviced, and the proposal meets the requirements for on-site services including drainage and car parking. More discussion is available in relation to the broader proposal for concurrently assessed proposals within the same street.

General Building Surveyor advice was provided in relation to ResCode issues, specifically the clarification regarding minor variations to street setback.

PUBLIC NOTIFICATION

Advertising Required:

Public notification was undertaken in the form of letters to adjoining landowners and a sign was placed on site in accordance with Section 52 of the Planning and Environment Act 1987.

25 objections have been received at the time of writing this report.

A statutory declaration has been provided that confirms notification was undertaken as directed and that the responsible authority will not decide on the application before 23 May 2020.

An assessment of the objections is provided within the General Provisions section of this report.

REPORT – PLANNING CONSIDERATION

Planning Policy Framework (PPF)

The assessment of the application before Council requires assessment against Planning Policy Framework.

The clauses that have an influence upon the assessment of this application include:

- 11 Settlement
 - Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing
- 15 Built Environment and Heritage
 - Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.
 - Planning should promote excellence in the built environment and create places that:
 - Are enjoyable, engaging and comfortable to be in.
 - Accommodate people of all abilities, ages and cultures.
 - Contribute positively to local character and sense of place.
 - Reflect the particular characteristics and cultural identity of the community.
 - Enhance the function, amenity and safety of the public realm.
 - Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale and massing of new development.
 - Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.
 - Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.
 - Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.
 - Ensure development responds to cultural identity and contributes to existing or preferred neighbourhood character.

16 Housing

- Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.
- Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.
- Planning for housing should include the provision of land for affordable housing.
- Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.
- Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.
- Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.
- Facilitate the delivery of high quality social housing.
- Increase the proportion of new housing in designated locations within established urban areas and reduce the share of new dwellings in greenfield and dispersed development areas.

- Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.
- Ensure an adequate supply of redevelopment opportunities within established urban areas to reduce the pressure for fringe development.
- Facilitate residential development that is cost effective in infrastructure provision and use, energy efficient, water efficient and encourages public transport use.
- Identify opportunities for increased residential densities to help consolidate urban areas.
- Facilitate diverse housing that offers choice and meets changing household needs through:
 - A mix of housing types.
 - Adaptable internal dwelling design.
 - o Universal design.
- Encourage the development of well-designed medium-density housing that:
 - Respects the neighbourhood character.
 - o Improves housing choice.
 - Makes better use of existing infrastructure.
 - Improves energy efficiency of housing.
- Support opportunities for a range of income groups to choose housing in wellserviced locations.
- Increase the supply of well-located affordable housing by:
 - Facilitating a mix of private, affordable and social housing in suburbs, activity centres and urban renewal precincts.
 - Ensuring the redevelopment and renewal of public housing stock better meets community needs.
- Facilitate the delivery of social housing by identifying surplus government land suitable for housing.

Assessment:

11 Settlement: The application meets the objectives of this clause. The development allows for an increase in land that is for residential development. It also provides for growth in population, while preserving the natural resources of the land and remains sensitive to the surrounding character.

15 Built Environment and Heritage: The application meets the objectives of this clause. The building design and the urban design contribute to the character and cultural identity to the surrounding area. The applicant has made a clear effort to respond to the strategic and cultural context of the area.

16 Housing: The application meets the objectives of this clause. The development is considered favourable as it promotes a housing market that meets the community needs, by increasing the supply of housing. The site is situated in a location that is considered appropriate to increase the supply of housing. As per clause 16.01-3s, the proposal provides a greater range of housing types. As per clause 16.01-4s, the proposal also facilitates the proposal of social housing within the municipality. The proposal assists with providing additional housing needed to accommodate the population growth in the region.

Municipal Strategic Statement (MSS)

Council is required to consider Local Policy as a part of this assessment.

Local Policy clauses that are relevant include:

21.03 Settlement

• Ensure a range of lot sizes and dwelling types to provide diversity and choice in new residential areas.

- Support infill medium density housing close to Bairnsdale CBD to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.
- Support residential infill development within existing residential zones identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.
- 21.07 Built Environment and Heritage
 - Encourage high standards of design in all new developments, with special emphasis on urban areas, coastal and lakeside areas and other localities of high landscape quality, and land adjacent to parks and reserves.
 - Ensure that future development contributes to the achievement of liveable, productive and sustainable communities in East Gippsland.
 - Require proposals for new development, land use, infrastructure and changes in policy to consider social impact through the preparation of social impact comments and/or assessments as identified in the East Gippsland Shire Council Social Impact Assessment Guidelines for Development Applications.

21.08 Housing

- Cater for the housing needs and preferences of all segments of the community.
- Encourage the supply of elderly persons' housing in the main centres and facilitate development of community housing.
- Encourage the building and construction sector to provide a range of housing types and styles including higher density dwellings in town centres, to provide choice for consumers.
- Support infill medium density housing and a mix of housing types close to Bairnsdale CBD and key locations to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and on Plan 1 Housing Diversity.
- 21.12 Strategies for Sub-Regions, Towns and Localities

Lakes & Coastal

- Encouraging population growth and development in fully serviced residential land in the major towns
- Continue to encourage residential development within the urban areas already zoned residential.
- Future development should continue in [Brookfield] Lakes and Shannon Waters Estate (see Plan 3 Revitalisation and Growth Strategy).
- Support residential infill development within existing residential zones identified within the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

Assessment:

Settlement: The development allows for an increase in diverse housing types, and makes better use of the community's urban infrastructure. The proposal provides a land supply that attempts to accommodate the future population growth within Bairnsdale.

Housing: the proposal accommodates for the increase in Bairnsdale's future population growth. Catering for this increase in housing needs is a key objective of this clause, and the proposal addresses this successfully. Furthermore, the building of more social housing is likely to benefit those in the community that are most vulnerable, such as low income people, so the proposal addresses the social considerations that are

needed when assessing an application. The proposal also promotes a greater diversity of housing types.

Strategies for Sub-Regions, Towns and Localities: the property is located in the "lakes and Coastal" area, and is considered to fulfill the objectives of this region. For example, it increases the housing supply in the area, taking advantage of the surrounding infrastructure and transport access, which caters for the changing needs of the area and increasing population of the area.

GENERAL RESIDENTIAL ZONE 1

Purpose:

To encourage development that respects the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

Key Decision Guidelines:

General issues

- The purpose of this zone.
- The objectives set out in a schedule to this zone.
- Any other decision guidelines specified in a schedule to this zone.
- The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.

Dwellings and residential buildings

• For the construction and extension of two or more dwellings on a lot,..., the objectives, standards and decision guidelines of Clause 55.

Assessment:

It is assessed that the proposal meets the requirements and objectives of the zone. The design of the proposed dwellings successfully responds to the neighbourhood character of the area through criteria such as the garden area and landscaping, building heights, materials used, form, and also the architectural design. Assessment is based on the existing conditions, including that 11 additional lots within the street are currently vacant.

The proposal is considered greenfield rather than infill development, as the lot has not been developed since being created by subdivision in 2006. The proposal can be considered housing growth due to its increased density. The proposal is located in reasonable walking distance of a range of shops and services, inclusive of retail, medical, dental, veterinary, child care, and primary school.

Clause 32.08-4 states that the minimum garden area for a lot greater than 650 sqm is 35%. The proposal meets this criteria with a garden area of 586 sqm or 59.4%.

Assessment of clause 55 in accordance with the requirements of Clause 32.08- is provided in the particular provision section of this report.

Clause 32.08-10 states that the maximum building height must not exceed 11 metres. The proposal has a maximum building height of 5.18 metres, and so meets the requirements of this criteria.

The proposal is suitable for approval in accordance with the provisions of the General Residential Zone 1.

PARTICULAR PROVISIONS

Clause 52.06 - Car Parking

The application complies with the requirement for a three bedroom dwelling to be provided with two car parking spaces, with at least one car parking space being under cover.

Clause 55 – Two or more dwellings on a lot

The primary assessment criteria of the application is with respect to Clause 55, which implements ResCode assessment for the proposal. Where a variation to ResCode is proposed, the planning permit is the statutory authority for approval of such variation.

All standards of clause 55 have been met.

The following is an assessment against the Clause 55 objectives and standards:

	Standard	Officer's Comment
B1	Neighbourhood character The design response must be appropriate to the neighbourhood and the site. The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.	The application is compliant with this standard, as it respects the surrounding character and design of surrounding dwellings.
B2	Residential policy An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.	The applicant has complied with this standard. The proposal is consistent with the relevant housing policy in the LPPF and the SPPF.
B3	Dwelling diversity Developments of ten or more dwellings should provide a range of dwelling sizes and types, including: Dwellings with a different number of bedrooms. At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.	Not applicable to this application. The application is for 2 dwellings.
B4	Infrastructure Development should be connected to reticulated services, including	The application complies with this standard.

	Standard	Officer's Comment
	reticulated sewerage, drainage, electricity and gas, if available. Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no spare	A full suite of reticulated services are available, inclusive of nbn and gas. Since the proposal increases the anticipated lot yield of dwellings by one, the capacity of the utility services and infrastructure will
	capacity, developments should provide for upgrading or mitigation of the impact on services or infrastructure.	likely be unaffected.
B5	Integration with the street Development should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility. Dwellings should be oriented to front existing and proposed streets. High fencing in front of dwellings should be avoided if practicable. Development next to existing public open space should be laid out to complement the open space.	The proposal complies with this standard. The development enhances accessibility, and has avoided high fences, and the orientation is to the front of the lot, with no front fences proposed.
B6	 Street setback Walls of buildings should be set back from streets: At least the distance specified in the schedule to the zone, or If no distance is specified in the schedule to the zone, the distance specified in Table A1/B1. Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard. 	being constructed at 12 and 14 Glendon Drive, when assessed against the standard. Furthermore, the incorporation of landscaping and canopy trees also
B7	Building height The maximum building height should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, 11 metres. Changes of building height between existing buildings and new buildings should be graduated.	assists in the incorporation of the proposal into the streetscape by reducing bulk. The building height being proposed is 5.17 metres, demonstrating compliance with this standard.
B8	Site coverage The site area covered by buildings	Total site coverage is 29.5%, demonstrating compliance with this

	Standard	Officer's Comment
	should not exceed: The maximum site coverage specified in the schedule to the zone, or If no maximum site coverage is specified in the schedule to the zone, 60 per cent.	standard.
B9	Permeability At least 20 per cent of the site should not be covered by impervious surfaces.	The proposal complies with this standard.
B10	Energy efficiency Buildings should be: Orientated to make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. Living areas and private open space should be located on the north side of the development, if practicable. Developments should be designed so that solar access to north-facing windows is maximised.	The proposal complies with this standard. The living areas of the dwellings are oriented to the rear, which generally faces northwest. Significant private open space areas are also provided in this direction.
B11	Open space If any public or communal open space is provided on site, it should: Be substantially fronted by dwellings, where appropriate. Provide outlook for as many dwellings as practicable. Be designed to protect any natural features on the site. Be accessible and useable.	Not applicable to this application.
B12	Safety Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways. Planting which creates unsafe spaces along streets and accessways should be avoided. Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways. Private spaces within developments should be protected from inappropriate use of public thoroughfares.	The proposal complies with this standard. Entries are provided facing the street. Plantings are designed to retain passive street surveillance and there are no proposed walls that will prevent clear vision from the driveway through to the entry door. There is additionally direct access available through the laundry to the carport.
B13	Landscaping The landscape layout and design should: Protect any predominant landscape features of the neighbourhood.	The proposal complies with this standard. The site and streetscape are currently without vegetation.

	Standard	Officer's Comment
	Take into account the soil type and	
	drainage patterns of the site. Allow for intended vegetation growth and structural protection of buildings. In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.	The site plan proposed contains indicative landscaping plans for the site, which provide canopy trees to the front and rear yards and border plantings.
	Provide a safe, attractive and functional environment for residents. Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood. Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made. The landscape design should specify landscape themes, vegetation	A detailed landscaping plan would form a requirement of the permit.
	(location and species), paving and	
B14	lighting. Access Accesss Accessways should: Be designed to allow convenient, safe and efficient vehicle movements and connections within the development and to the street network. Be designed to ensure vehicles can exit a development in a forwards direction if the accessway serves five or more car spaces, three or more dwellings, or connects to a road in a Road Zone. Be at least 3 metres wide. Have an internal radius of at least 4 metres at changes of direction. Provide a passing area at the entrance that is at least 5 metres wide and 7 metres long if the accessway serves ten or more spaces and connects to a road in a Road Zone. The width of accessways or car spaces should not exceed: 33 per cent of the street frontage, or If the width of the street frontage is less than 20 metres, 40 per cent of the street frontage. No more than one single-width crossover should be provided for each dwelling fronting a street. The location of crossovers should maximise the retention of on-street car parking spaces.	

	Standard	Officer's Comment
	in a Road Zone should be minimised.	
	Developments must provide for	
	access for service, emergency and	
	delivery vehicles.	
B15	Parking location	The proposal complies with this
	Car parking facilities should:	standard.
	Be reasonably close and convenient	
	to dwellings and residential buildings.	Car parking facilities are deigned
	Be secure.	reasonably and securely, and in
	Be designed to allow safe and efficient	accordance with Clause 52.06.
	movements within the development.	
	Be well ventilated if enclosed.	There are no shared accessways.
	Large parking areas should be broken	
	up with trees, buildings or different	
	surface treatments.	
	Shared accessways or car parks of	
	other dwellings and residential	
	buildings should be located at least 1.5 metres from the windows of	
	habitable rooms. This setback may be	
	reduced by 1 metre whether there is a	
	fence of 1.5 metres high or where	
	window sills are at least 1.4 metres	
	above the accessway.	
B17	Side and rear setbacks	The proposal complies with this
	A new building not on or within	standard.
	150mm of a boundary should be set	
	back from side or rear boundaries:	The carport wall adjacent to the
	At least the distance specified in the	boundary is set back at least 1
	schedule to the zone, or	metre from the boundary on either
	If no distance is specified in the	side.
	schedule to the zone, 1 metre, plus	The main dwalling is leasted a
	0.3 metres for every metre in height	The main dwelling is located a sufficient distance from the
	over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over	
	6.9 metres.	boundaries.
	Sunblinds, verandas, porches, eaves,	
	fascias, gutters, masonry chimneys,	
	flues, pipes, domestic fuel or water	
	tanks, and heating or cooling	
	equipment or other services may	
	encroach not more than 0.5 metres	
	into the setbacks of this standard.	
	Landings having an area of not more	
	than 2 square metres and less than 1	
	metre high, stairways, ramps	
	pergolas, shade sails and carports	
	may encroach into the setbacks of this	
B18	standard. Walls on boundaries	The proposal complias with this
B18	A new wall constructed on or within	The proposal complies with this standard.
	150mm of a side or rear boundary of a	
	lot or a carport constructed on or	There are no walls on boundaries.
	within 1 metre of a side or rear	
	boundary of a lot should not abut the	
		1

	Standard	Officer's Comment
	boundary for a length of more than:	
	10 metres plus 25 per cent of the	
	remaining length of the boundary of an	
	adjoining lot, or	
	Where there are existing or	
	simultaneously constructed walls or	
	carports abutting the boundary on an	
	abutting lot, the length of the existing	
	or simultaneously constructed walls or	
	carports,	
	whichever is greater.	
	A new wall or carport may fully abut a	
	side or rear boundary where the slope	
	and retaining walls or fences would	
	result in the effective height of the wall	
	or carport being less than 2 metres on	
	the abutting property boundary.	
	A building on a boundary includes a	
	building set back up to 150mm from a	
	boundary.	
	The height of a new wall constructed	
	on or within 150mm of a side or rear	
	boundary or a carport constructed on	
	or within 1 metres of a side or rear	
	boundary should not exceed an	
	average of 3 metres with no part	
	higher than 3.6 metres unless abutting	
	a higher existing or simultaneously	
	constructed wall.	
B19	Daylight to existing windows	The proposal complies with this
	Buildings opposite an existing	standard.
	habitable room window should provide	
	for a light court to the existing window	There are no windows affected by
	that has a minimum area of 3 square	the siting and massing of the
	metres and a minimum dimension of 1	proposed dwellings.
	metre clear to the sky. The calculation	
	of the area may include land on the	
	abutting lot.	
	Walls or carports more than 3 metres	
	in height opposite an existing	
	habitable room window should be set	
	back from the window at least 50 per	
	cent of the height of the new wall if the	
	wall is within a 55 degree arc from the	
	centre of the existing window. The arc	
	may be swung to within 35 degrees of	
	the plane of the wall containing the	
	existing window.	
	Where the existing window is above	
	Where the existing window is above ground floor level, the wall height is	
	Where the existing window is above ground floor level, the wall height is measured from the floor level of the	
	Where the existing window is above ground floor level, the wall height is	
B20	Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window. North-facing windows	The proposal complies with this
B20	Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.	The proposal complies with this standard.

	Standard	Officer's Comment
	within 3 metres of a boundary on an	There are no north-facing windows
	abutting lot, a building should be	affected by the siting and massing
	setback from the boundary 1 metre,	of the proposed dwellings.
	plus 0.6 metre for every metre of	
	height over 3.6 metres, plus 1 metre	
	for every metre of height over 6.9	
	metres, for a distance of 3 metres	
	from the edge of each side of the	
	window. A north-facing window is a	
	window with an axis perpendicular to	
	its surface oriented north 20 degrees	
	west to north 30 degrees east.	
B21	Overshadowing open space	The proposal complies with this
DZI		
	Where sunlight to the secluded private	standard.
	open space of an existing dwelling is	There is no established onen
	reduced, at least 75 per cent, or 40	There is no established open
	square metres with a minimum	space affected by overshadowing
	dimension of 3 metres, whichever is	from the proposed dwellings.
	the lesser area, of the secluded	Overshadowing will largely be
	private open space should receive a	contained within the lot.
	minimum of five hours of sunlight	
	between 9 am and 3 pm on 22	
	September.	
	If existing sunlight to the secluded	
	private open space of an existing	
	dwelling is less than the requirements	
	of this standard, the amount of	
	sunlight should not be further reduced.	
B22	Overlooking	The proposal complies with this
	A habitable room window, balcony,	standard.
	terrace, deck or patio should be	
	located and designed to avoid direct	The proposal and neighbouring
	views into the secluded private open	dwelling are single storey and
	space and habitable room windows of	there is not substantial
	an existing dwelling within a horizontal	topographical changes to provide
	distance of 9 metres (measured at	for overlooking.
	ground level) of the window, balcony,	
	terrace, deck or patio. Views should	
	be measured within a 45 degree angle	
	from the plane of the window or	
	perimeter of the balcony, terrace, deck	
	or patio, and from a height of 1.7	
	metres above the floor level.	
	A habitable room window, balcony,	
	terrace, deck or patio with a direct	
	view into a habitable room window of	
	an existing dwelling within a horizontal	
	distance of 9 metres (measured at	
	ground level) of the window, balcony,	
	terrace, deck or patio should be either:	
	Offset a minimum of 1.5 metres from	
	the edge of one window to the edge of	
	another, or	
	Have sill heights of at least 1.7 metres	
	above floor level, or	

	Standard	Officer's Comment
	Have obscure glazing in any part of	
	the window below 1.7 metres above	
	floor level, or	
	Have permanently fixed external	
	screens to at least 1.7 metres above	
	floor level and be no more than 25 per	
	cent transparent.	
	Obscure glazing in any part of the window below 1.7 metres above floor	
	level may be open able provided that	
	there are no direct views as specified	
	in the standards.	
	Screens used to obscure a view	
	should be:	
	Perforated panels or trellis with a	
	maximum of 25 per cent openings or	
	solid translucent panels.	
	Permanent, fixed and durable.	
	Designed and coloured to blend in	
	with the development.	
	This standard does not apply to a new	
	habitable room window, balcony,	
	terrace, deck or patio which faces a	
	property boundary where there is a visual barrier of at least 1.6 metres	
	high and the floor level of the	
	habitable room, balcony, terrace, deck	
	or patio is less than 0.6 metres above	
	ground level at the boundary.	
B23	Internal views	The proposal complies with this
	Windows and balconies should be	standard.
	designed to prevent overlooking of	
		No windows are overlooking.
	private open space of a lower-level	
	dwelling or residential building directly	
	below and within the same	
B24	development. Noise impacts	The proposal complies with this
D24	Noise sources, such as mechanical	Istandard.
	plant, should not be located near	
	bedrooms of immediately adjacent	Services to the proposed dwelling
	existing dwellings.	will be located in close proximity to
	Noise sensitive rooms and secluded	the outer walls, which are set back
	private open spaces of new dwellings	approximately 3-6metres from a
	and residential buildings should take	boundary. The neighbouring
	account of noise sources on	properties are currently vacant.
	immediately adjacent properties.	
	Dwellings and residential buildings	
	close to busy roads, railway lines or	
	industry should be designed to limit noise levels in habitable rooms.	
B25	Accessibility	The proposal complies with this
525	The ground floor of dwellings and	Istandard.
	residential buildings should be	
	accessible or able to be easily made	There would need to be
	/ /	·

	Standard	Officer's Comment
	accessible to people with limited	modifications to the front entry to
	mobility.	provide for all abilities access. The
		dwelling is ground floor only.
B26	Dwelling entry	The proposal complies with this
	Entries to dwellings and residential	standard.
	buildings should:	
	Be visible and easily identifiable from	Front entrance is identifiable from
	streets and other public areas.	the street and easily visible. A
	Provide shelter, a sense of personal	footpath is provided to each
	address and a transitional space	dwelling. Shelter is provided.
	around the entry.	
B27	Daylight to new windows	The proposal complies with this
	A window in a habitable room should	standard.
	be located to face:	
	An outdoor space open to the sky or a	All habitable rooms have windows
	light court with a minimum area of 3	open clear to the sky.
	square metres and minimum	
	dimension of 1 metre clear to the sky,	
	not including land on an abutting lot,	
	or	
	A verandah provided it is open for at	
	least one third of its perimeter, or	
	A carport provided it has two or more	
	open sides and is open for at least	
	one third of its perimeter.	
B28	Private open space	The proposal complies with this
	A dwelling or residential building	standard.
	should have private open space of an	
	area and dimensions specified in the	Private open space is provided
	schedule to the zone.	with adequate area dimensions to
	If no area or dimensions is specified in	the side and rear of each dwelling.
	the schedule to the zone, a dwelling	5
	should have private open space	
	consisting of:	
	An area of 40 square metres, with one	
	part of the private open space to	
	consist of secluded private open	
	space at the side or rear of the	
	dwelling or residential building with a	
	minimum area of 25 square metres, a	
	minimum dimension of 3 metres and	
	convenient access from a living room,	
	or	
	A balcony of 8 square metres with a	
	minimum width of 1.6 metres and	
	convenient access from a living room,	
	or	
	A roof-top area of 10 square metres	
	with a minimum width of 2 metres and	
	convenient access from a living room.	
B29	Solar access to open space	The proposal complies with this
520	The private open space should be	standard.
		Stanuaru.
	located on the north side of a dwelling,	The private energy analysis leasted
	if practicable.	The private open space is located
	The southern boundary of secluded	to the northwest of each dwelling.

	Standard	Officer's Comment
	private open space should be set back from any wall on the north of the space at least (2 + 0.9h) metres, where 'h' is the height of the wall.	
B30	Storage Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.	The proposal complies with this standard. Storage is shown on the plans behind the carports of each dwelling.
B31	Design detail The design of buildings, including: Façade articulation and detailing, Window and door proportions, Roof form, and Verandahs, eaves and parapets, should respect the existing or preferred neighbourhood character. Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.	The proposal complies with this standard. The proposal respects the surrounding character and design of neighbouring dwellings, mimicking roof pitch, front entry, and cladding. Carports are setback of the main dwellings to be less visually dominant.
B32	Front fences The design of front fences should complement the design of the dwelling and any front fences on adjoining property. A front fence within 3 metres of a street should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, the maximum height specified in Table A2/B3.	The proposal complies with this standard, as no front fence is proposed.
B33	Common property Developments should clearly delineate public, communal and private areas. Common property, where provided, should be functional and capable of efficient management.	
B34	Site services The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically. Bins and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.	The proposal complies with this standard. The dwellings will be able to access services equitably to the front and rear. A drainage and sewerage easement is provided at the rear of the property. Bin enclosures and mailboxes are considered reasonable and accessible for potential residents.

Standard	Officer's Comment
Bin and recycling enclo be located for convenie residents. Mailboxes should be pr	ent access by view at the rear of the proposed carports.
located for convenient residents. Mailboxes should be pr located for convenient required by Australia P	access byMailboxes are located alongside the footpath and adjacent to the driveway, being convenient for both residents and Australia Post.

GENERAL PROVISIONS

Objections

As previously stated, 25 objections have been received in relation to the proposal. It is critical to note that the objections substantially relate to concurrent planning permit applications for development of two dwellings on a lot in relation to 4, 5, 8, 12, 13, 16, and 17 Glendon Drive, Eastwood. The nature and content of the 25 objections is largely the same and has been summarised in this report.

The assessment of a single planning permit application for development of two dwellings on a lot by the responsible authority cannot address matters such as:

- Cumulative impact of the planning permit applications;
- The proposed tenancy of the dwellings to be constructed; that is, that they are owned by the Office for Housing and may be used for social housing; and
- Property valuation outcomes as a result of the above factors, nor even for the impact associated with the singular proposal.

1. Not in accordance with neighbourhood character, loss of streetscape

The assessment of the planning permit application must consider the impact of two dwellings on a lot. It is put that there may be an expectation that a single dwelling would be constructed on the lot as is the standard practice for the Eastwood Estate. That 12 lots are currently vacant on Glendon Drive out of 21 lots total means that the majority of the street character has not been established.

There are several existing examples of duplex dwelling development within the vicinity. Even the neighbouring properties at 2 Glendon Drive and 93 Flinns Road are of the same dwelling density, although not duplex construction. This is repeated on all four corners of this intersection.

In relation to the broader neighbourhood, there are further examples of similar dwelling density. Many of the objectors state that they would be satisfied with only one of the currently vacant lots in common ownership being developed with a duplex.

The proposal is not out-of-character for the neighbourhood or streetscape. There are 11 other lots to be developed in the street, which is more than half of the total properties on the street. As such, streetscape is emerging and can be altered.

2. Loss of property value

The majority of objectors raise this ground, which is an economic consideration, not a planning consideration. It is noted that the cost of development per dwelling might be significantly less than that of the surrounding dwellings, however this can be attributed to the economies of scale associated with duplex development. Economic valuation

should be tenure blind, and normally takes into consideration market and sale values of surrounding property.

3. Traffic Impacts and street parking, road safety

Each dwelling is provided with two off-street car parking spaces, including one under cover space, which meets the car parking standards of the Scheme. For convenience purposes, the majority of traffic would make the direct connection to Flinns Road which is a neighbourhood connector street. The design capacity of this street is suitable to accommodate a traffic yield of 10 vehicle movements per day above what would be anticipated from a single dwelling being constructed on the subject lot.

Minimal provision of on-street car parking would result from the narrow bitumen seal 7.75 metres with kerb and channel. Footpaths are constructed adjacent to the property frontages. Crossover locations for each dwelling is adjacent to the side lot boundaries. There would be ability to park a maximum of one car in front of the lot on-street without blocking one of the proposed driveways.

Glendon Drive is the primary connection for The Backwater, being less circuitous than the other egress at Gree Keeluk Place. This already represents a significant volume of traffic, with further development to occur as a result of several lots remaining vacant.

There will be negligible detriment as a result of the proposal assessed on its merit.

4. Social impacts, particularly the negative impacts from social housing

Valid concern is raised in relation to the social impact of the proposal in accordance with local planning policy. Additional information has been obtained in line with Council's Guidelines, however the nature of the Social Impact Comment rightly does not focus on the socioeconomic issues, as planning must be tenure blind in relation to proposals for residential development. As such, no further investigation is required.

5. General amenity and noise concerns

The issue of noise and general amenity is a discriminatory assumption based on the proposal being for social housing purposes. Planning must not consider this impact, especially in relation to proposals where the individual impact could reasonably be nil.

6. Use for crisis/emergency accommodation

It is considered that this concern is arose primarily in response to a past proposal for a 6 unit community care accommodation facility at 12-16 Glendon Drive. To some extent it has not been made clear from the proposal whether some aspect of that use will be transferred to the dwellings proposed, however that cannot be considered with respect to the assessment of this application, which relates to construction of two dwellings.

The planning scheme provides that places of community care accommodation, including shelters, refuges, and crisis accommodation should be exempt from planning consideration and afforded privacy and secrecy. As the individual planning applications are for two dwellings on a lot, Council should not further consider which of the dwellings, if any, would be used for community care accommodation.

7. Concerns regarding inability to organise, length of time to object

Adequate time has been afforded between the provision of notice and the determination. A public meeting was undertaken, following appropriate social distancing protocols and with ample assistance with relation to technology.

On balance of consideration of the objections, which largely relate to the broader impacts of cumulative development proposals and tenancy of the proposal, it is recommended that the responsible authority make its determination with respect to the East Gippsland Planning Scheme provisions, and resolve to issue a notice of decision to grant a planning permit.

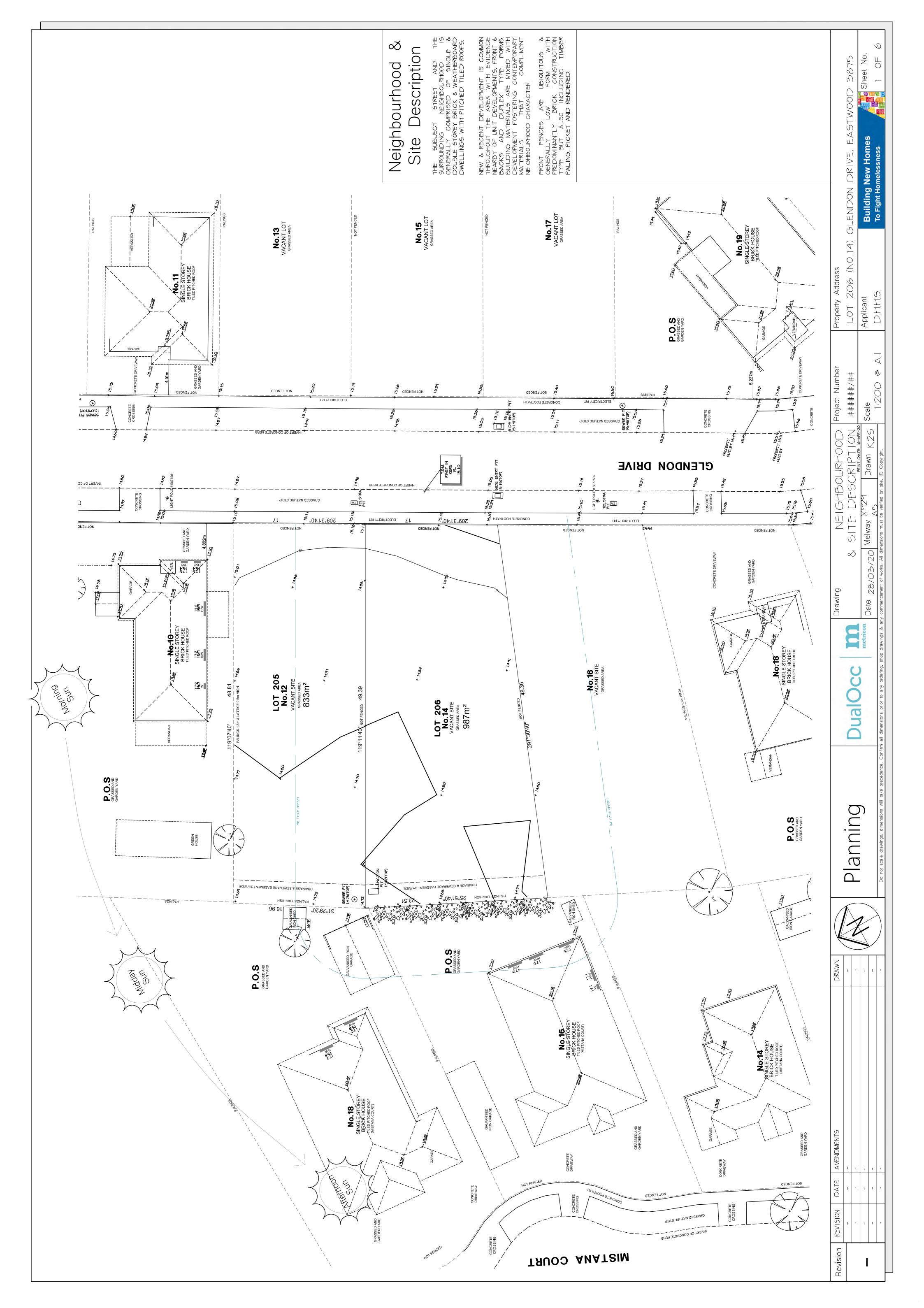
Section 60 and Clause 65

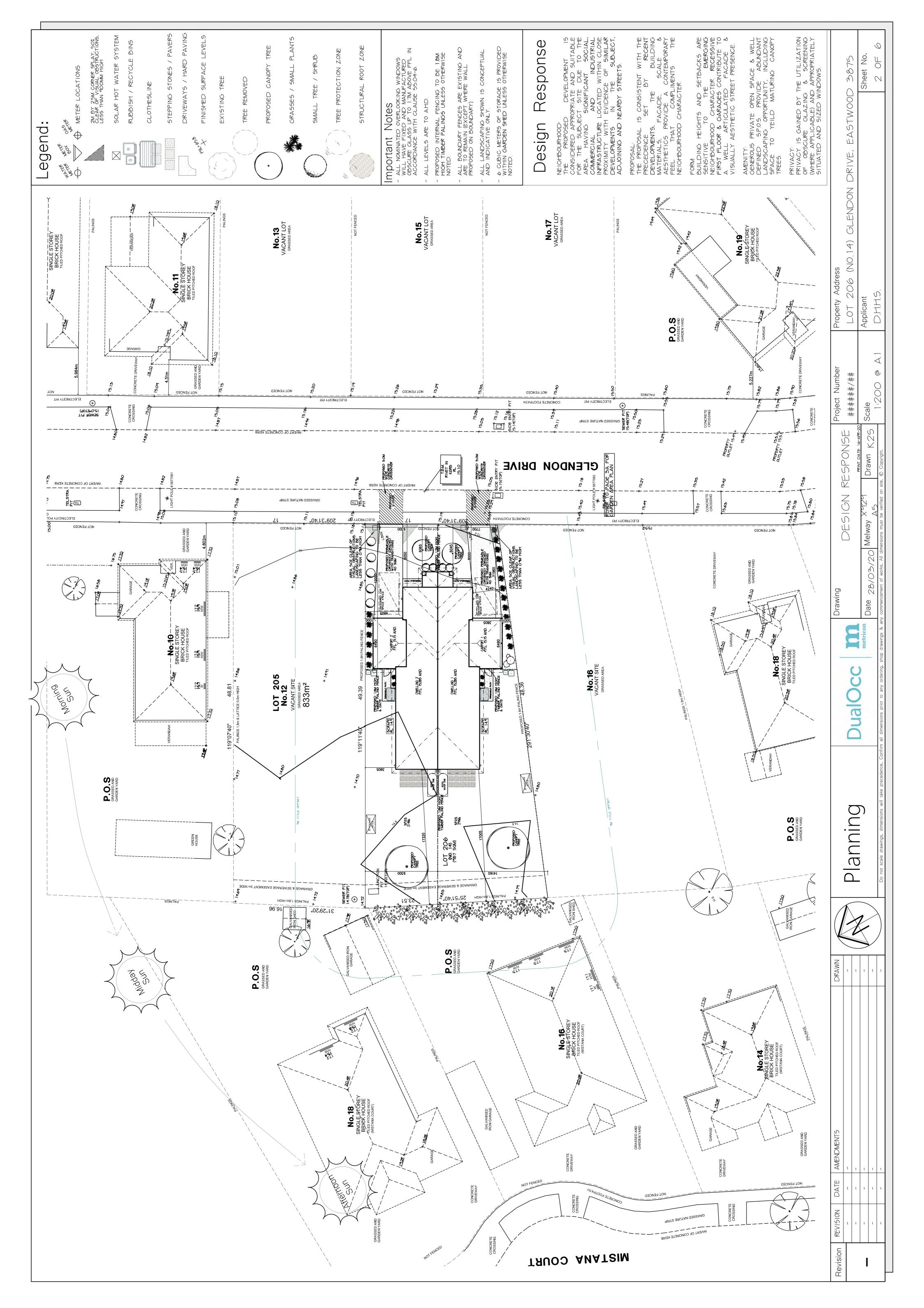
The application presents no detriment to the environmental values of the land or to the amenity of the area. The proposal is an acceptable planning outcome that is consistent with the objectives of planning in Victoria.

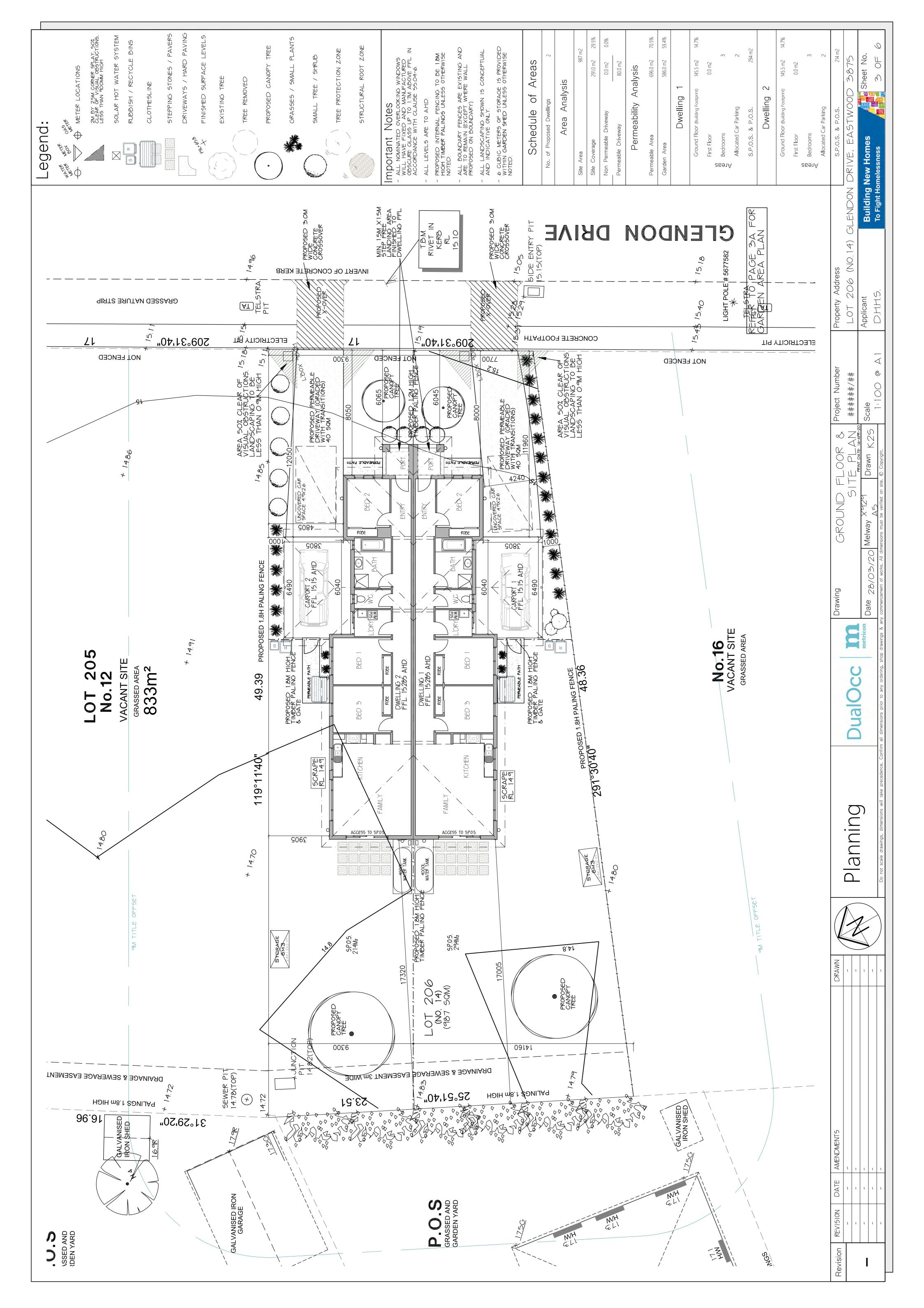
CONCLUSIONS & RECOMMENDATION

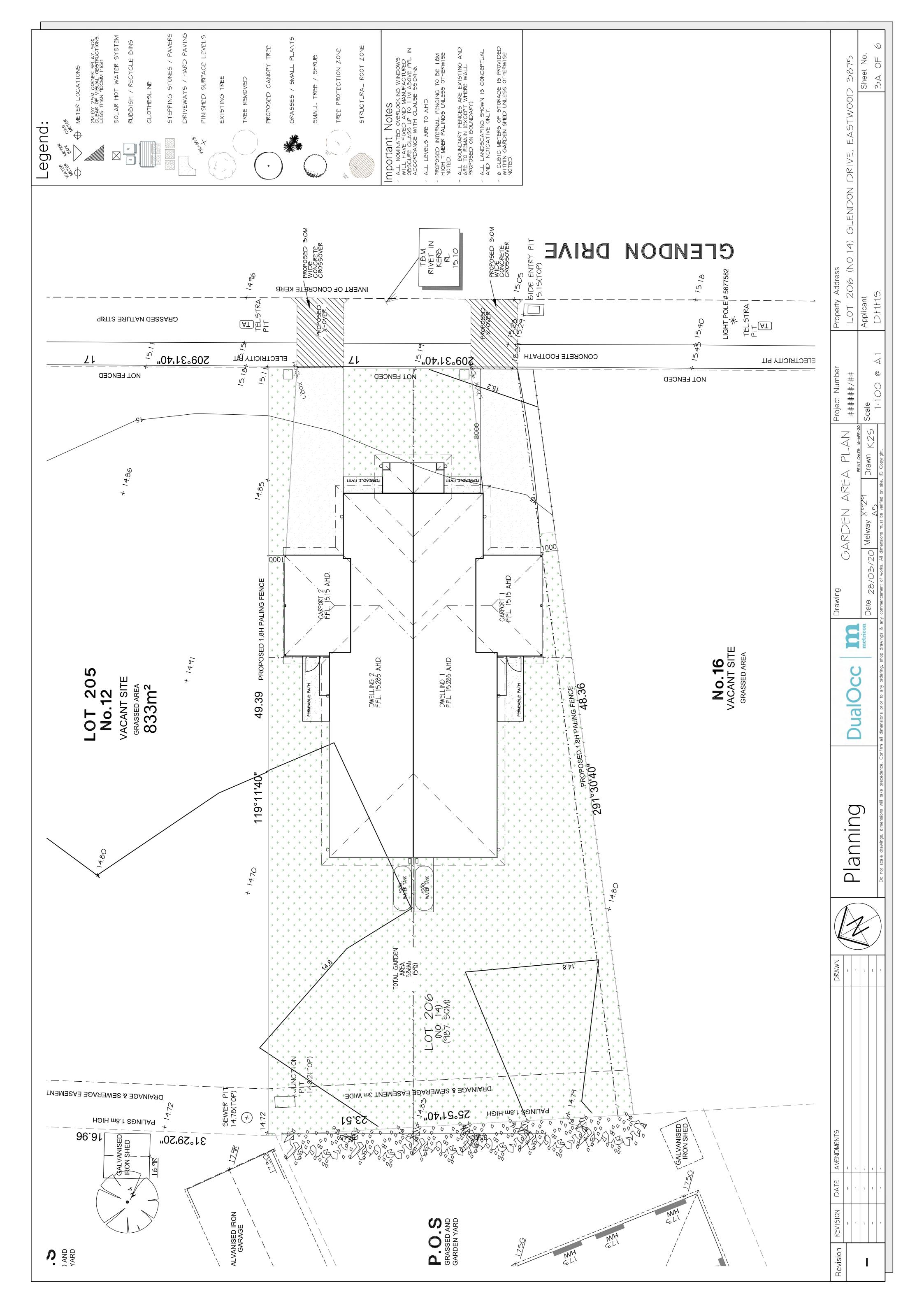
The application is consistent with the planning scheme and is suitable for Council support.

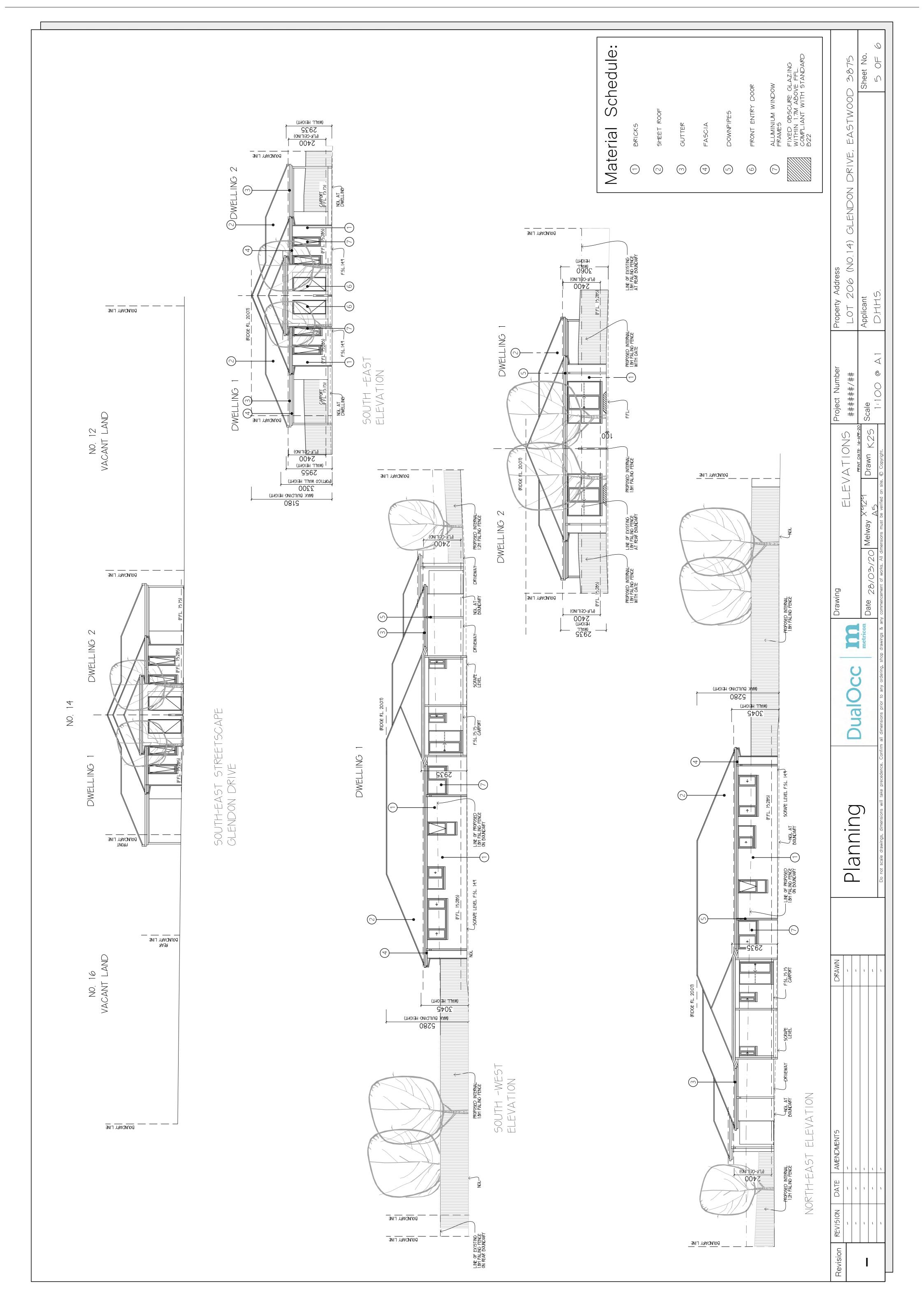
It is recommended that a notice of decision to grant a planning permit be issued subject to standard development conditions, inclusive of a requirement for a landscaping plan.

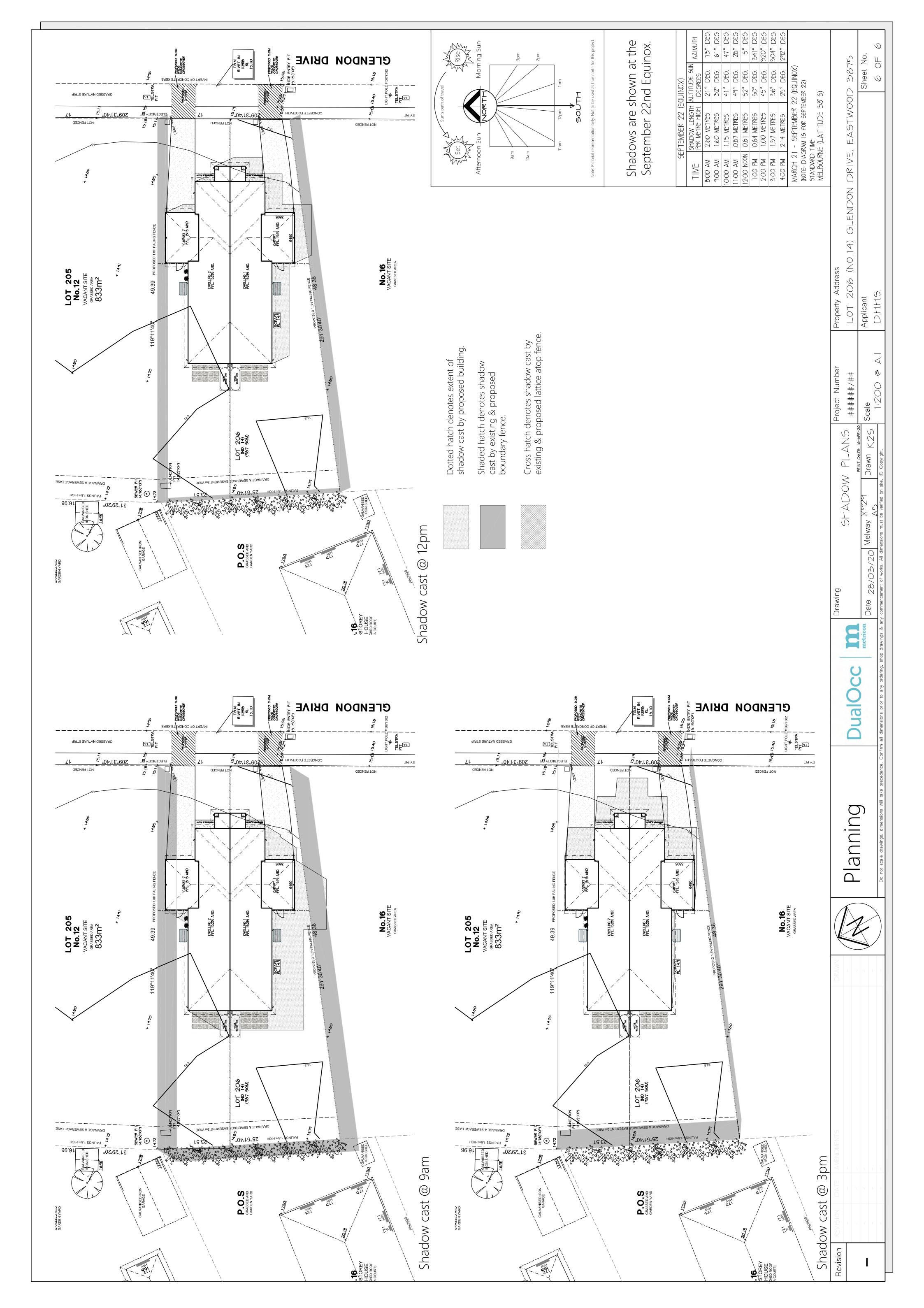












Goldfield Haze



BRICKWORK SELKIRK Goldfield Haze Natural rolled mortar



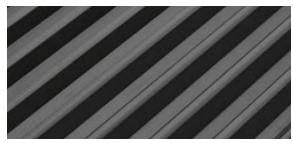
GUTTER, FASCIA, WINDOWS & DOORS COLORBOND Woodland Grey



DOWNPIPES & GARAGE DOOR COLORBOND Evening Haze



CEILING LININGS DULUX Lexicon Quarter

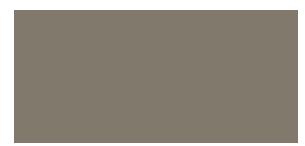


ROOF Colorbond Monument



DRIVEWAY Natural Grey

RENDER DULUX Linseed



CLADDING, FRONT ENTRY DOOR & PAINTED AREAS DULUX Rogue



Images are for illustrative purposes only and while every effort has been made to correctly represent colours for this scheme, actual colours may vary. Materials, colours and brands are subject to availability and may be substituted if not available. Schemes may be changed without notice and external schemes are subject to developer approval. Any approved customer variations may incur additional costs. For further information contact your Sales Consultant. VIC Builders Licence CDB-U 52967. JUN2019 MET3787.

DETAILED PLANNING REPORT

Permit Application: 141/2020/P

16 Glendon Drive EASTWOOD Lot 207 PS 542289

Development of the land for two dwellings

This report has been prepared to document the statutory planning assessment pursuant to the provisions of the *Planning and Environment Act 1987* and *Local Government Act 1989*.

KEY DETAILS

Subject address	16 Glendon Drive EASTWOOD
	Lot 207 PS 542289
Land owner	Office of Housing
Applicant	Clement-Stone Town Planners
Land area	999 sqm
Zone	General Residential Zone 1
Overlays	Nil
Cultural sensitivity	The land is not culturally sensitive
Site inspected	The site has been subject to several inspections by the reporting officer, including through the notice period to ensure the notices were in place and not vandalised or removed.
Restrictions on Title	There are restrictions on title which have been assessed and the proposal is compliant. Particularly, the proposal meets the intent of the covenant by being a duplex dwelling, being clad primarily in brick, and having an area of 114 sqm measured from the outer walls.

PROPOSAL DETAILS/DISCUSSION

The application currently before Council seeks approval for development of two (2) dwellings on a currently vacant allotment.

Site Analysis

The subject lot is 999 square metres, currently vacant with no vegetation. A very slight slope runs high at the front boundary down to the rear. There are two vacant lots to the northeast. A dwelling is developed on each of the lots to the south and west. There are 12 total vacant lots in the street.. *Figure 1* demonstrates the site in neighbourhood context.



Figure 1: the subject land (highlighted red) in the neighbourhood context.

The lot is generally rectangular in shape and is provided with a standard frontage to Glendon Drive. Reticulated sewer, water, power, and natural gas are available. NBN Connection is available (fibre to the node). The northwestern boundary features a sewerage and drainage easement. Footpaths are constructed on both sides of the street, which is also provided with a 7.5m wide sealed road with kerb and channel drainage.

Glendon Drive connects to The Backwater to the South via a traffic calming Tintersection and Flinns Road to the north via a roundabout. The Backwater, especially lots to the south side of the street, is considered a premium development area due to the amenity and outlook to Bairnsdale CBD overlooking the Mitchell River and Mitchell River Backwater/Reserve. Flinns Road is a neighbourhood collector street, connecting from Great Alpine Road in the Southeast to Howitt Avenue in the North – with Howitt Avenue connecting to Bullumwaal Road in the west of Eastwood and servicing the commercial and school precinct in central Eastwood. On the corner of Flinns Road and Glendon Drive, the corner lots are approximately half the size of the average lot for the immediate area.

Schools, shops, and other amenities can be accessed on foot. Bairnsdale CBD is a five-minute drive.

<u>Proposal</u>

The proposed development includes:

- A duplex dwelling, each dwelling having 3 bedrooms, open plan living/dining/kitchen, central bathroom & laundry, central corridor and front entry on shared boundary wall;
- external carport, single crossover and driveway to each dwelling, with room for 'stacked' parking up to 2 vehicles off-street;
- a 5000-litre rainwater tank to each dwelling to promote water sensitive urban design principles;

- externally accessed store, bin storage area and clothes drying area, plus a standalone mailbox to each dwelling; and
- landscaping provision for 2 canopy trees (front and rear) and other plantings to each dwelling.

The proposed plan set is shown in *Figures 2 through 4*. Full development plans are attached to this report.

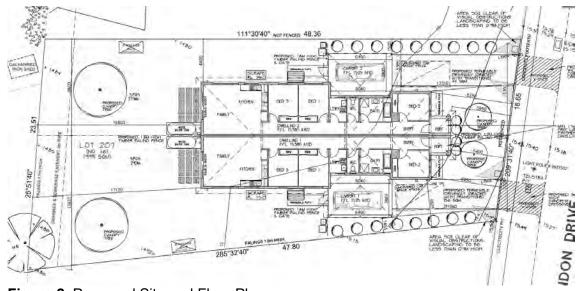
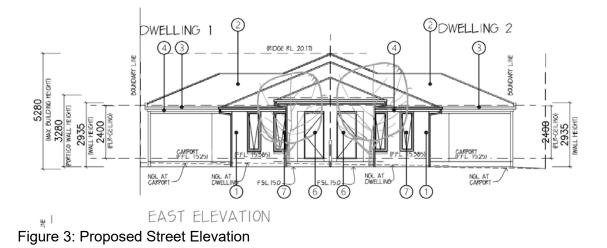
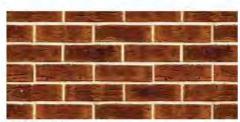


Figure 2: Proposed Site and Floor Plan



Kurrajong



BRICKWORK PGH Kurrajong Natural raked mortar



GUTTER, FASCIA, DOWNPIPES, WINDOWS & DOORS COLORBOND Monument



COLORBOND Dune



CEILING LININGS DULUX Lexicon Quarter

Figure 4: Proposed Materials Schedule

PLANNING CONTROLS



Colorbond Monument



DRIVEWAY Natural Grey



DULUX CB Dune



CLADDING, FRONT ENTRY DOOR & PAINTED AREAS DULUX Ricochet

Control	Clause(s)	Consideration
General Residential Zone 1	32.08-6	Construct two dwellings on a lot
Two or more dwellings on a lot	55	Two dwelling ResCode assessment

Cultural sensitivity

Pursuant to the *Aboriginal Heritage Regulations 2018,* a Cultural Heritage Management Plan (CHMP) is not required as the land is not mapped as having values of cultural heritage.

REQUEST FOR FURTHER INFORMATION

Pursuant to Section 54 of the *Planning and Environment Act 1987*, additional information was sought by Council during the assessment of the application. The information sought was:

• A Social Impact comment pursuant to Clause - 21.07-3 Sustainable Development, Strategy 1.2 in accordance with the *Social Impact Assessment Guidelines for Development Applications* (East Gippsland Shire Council May 2015)

The applicant submitted the required information and satisfied the request. No further social impact assessment is warranted.

REFERRAL AUTHORITIES

The application was not subject to mandatory external referrals.

INTERNAL ADVICE

DEPARTMENT	SCOPE OF ADVICE	OUTCOME
Senior Technical Officer - Development	Drainage, Access, Roads	Advice provided
Municipal Building Surveyor	ResCode	Advice provided

General Technical advice only was provided, as the Street is generally fully serviced, and the proposal meets the requirements for on-site services including drainage and car parking. More discussion is available in relation to the broader proposal for concurrently assessed proposals within the same street.

General Building Surveyor advice was provided in relation to ResCode issues, specifically the clarification regarding minor variations to street setback.

PUBLIC NOTIFICATION

Advertising Required:

Public notification was undertaken in the form of letters to adjoining landowners and a sign was placed on site in accordance with Section 52 of the Planning and Environment Act 1987.

25 objections have been received at the time of writing this report.

A statutory declaration has been provided that confirms notification was undertaken as directed and that the responsible authority will not decide on the application before 23 May 2020.

An assessment of the objections is provided within the General Provisions section of this report.

REPORT – PLANNING CONSIDERATION

Planning Policy Framework (PPF)

The assessment of the application before Council requires assessment against Planning Policy Framework.

The clauses that have an influence upon the assessment of this application include:

- 11 Settlement
 - Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing
- 15 Built Environment and Heritage
 - Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.
 - Planning should promote excellence in the built environment and create places that:
 - Are enjoyable, engaging and comfortable to be in.
 - Accommodate people of all abilities, ages and cultures.
 - Contribute positively to local character and sense of place.
 - Reflect the particular characteristics and cultural identity of the community.
 - Enhance the function, amenity and safety of the public realm.
 - Ensure a comprehensive site analysis forms the starting point of the design process and provides the basis for the consideration of height, scale and massing of new development.
 - Minimise the detrimental impact of development on neighbouring properties, the public realm and the natural environment.
 - Ensure the form, scale, and appearance of development enhances the function and amenity of the public realm.
 - Ensure buildings and their interface with the public realm support personal safety, perceptions of safety and property security.
 - Ensure development responds to cultural identity and contributes to existing or preferred neighbourhood character.
 - 16 Housing
 - Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.
 - Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.
 - Planning for housing should include the provision of land for affordable housing.
 - Increase the supply of housing in existing urban areas by facilitating increased housing yield in appropriate locations, including under-utilised urban land.
 - Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.
 - Ensure housing developments are integrated with infrastructure and services, whether they are located in existing suburbs, growth areas or regional towns.
 - Facilitate the delivery of high quality social housing.
 - Increase the proportion of new housing in designated locations within established urban areas and reduce the share of new dwellings in greenfield and dispersed development areas.
 - Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.
 - Ensure an adequate supply of redevelopment opportunities within established urban areas to reduce the pressure for fringe development.

- Facilitate residential development that is cost effective in infrastructure provision and use, energy efficient, water efficient and encourages public transport use.
- Identify opportunities for increased residential densities to help consolidate urban areas.
- Facilitate diverse housing that offers choice and meets changing household needs through:
 - A mix of housing types.
 - Adaptable internal dwelling design.
 - o Universal design.
- Encourage the development of well-designed medium-density housing that:
 - Respects the neighbourhood character.
 - Improves housing choice.
 - Makes better use of existing infrastructure.
 - o Improves energy efficiency of housing.
- Support opportunities for a range of income groups to choose housing in wellserviced locations.
- Increase the supply of well-located affordable housing by:
 - Facilitating a mix of private, affordable and social housing in suburbs, activity centres and urban renewal precincts.
 - Ensuring the redevelopment and renewal of public housing stock better meets community needs.
- Facilitate the delivery of social housing by identifying surplus government land suitable for housing.

Assessment:

11 Settlement: The application meets the objectives of this clause. The development allows for an increase in land that is for residential development. It also provides for growth in population, while preserving the natural resources of the land and remains sensitive to the surrounding character.

15 Built Environment and Heritage: The application meets the objectives of this clause. The building design and the urban design contribute to the character and cultural identity to the surrounding area. The applicant has made a clear effort to respond to the strategic and cultural context of the area.

16 Housing: The application meets the objectives of this clause. The development is considered favourable as it promotes a housing market that meets the community needs, by increasing the supply of housing. The site is situated in a location that is considered appropriate to increase the supply of housing. As per clause 16.01-3s, the proposal provides a greater range of housing types. As per clause 16.01-4s, the proposal also facilitates the proposal of social housing within the municipality. The proposal assists with providing additional housing needed to accommodate the population growth in the region.

Municipal Strategic Statement (MSS)

Council is required to consider Local Policy as a part of this assessment.

Local Policy clauses that are relevant include:

21.03 Settlement

- Ensure a range of lot sizes and dwelling types to provide diversity and choice in new residential areas.
- Support infill medium density housing close to Bairnsdale CBD to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

• Support residential infill development within existing residential zones identified in the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

21.07 Built Environment and Heritage

- Encourage high standards of design in all new developments, with special emphasis on urban areas, coastal and lakeside areas and other localities of high landscape quality, and land adjacent to parks and reserves.
- Ensure that future development contributes to the achievement of liveable, productive and sustainable communities in East Gippsland.
- Require proposals for new development, land use, infrastructure and changes in policy to consider social impact through the preparation of social impact comments and/or assessments as identified in the East Gippsland Shire Council Social Impact Assessment Guidelines for Development Applications.

21.08 Housing

- Cater for the housing needs and preferences of all segments of the community.
- Encourage the supply of elderly persons' housing in the main centres and facilitate development of community housing.
- Encourage the building and construction sector to provide a range of housing types and styles including higher density dwellings in town centres, to provide choice for consumers.
- Support infill medium density housing and a mix of housing types close to Bairnsdale CBD and key locations to provide greater housing choices identified in the Bairnsdale Growth Strategy, November (2009) and on Plan 1 Housing Diversity.

21.12 Strategies for Sub-Regions, Towns and Localities

Lakes & Coastal

- Encouraging population growth and development in fully serviced residential land in the major towns
- Continue to encourage residential development within the urban areas already zoned residential.
- Future development should continue in [Brookfield] Lakes and Shannon Waters Estate (see Plan 3 Revitalisation and Growth Strategy).
- Support residential infill development within existing residential zones identified within the Bairnsdale Growth Strategy, November (2009) and at Plan 3 Revitalisation and Growth Strategy.

Assessment:

Settlement: The development allows for an increase in diverse housing types, and makes better use of the community's urban infrastructure. The proposal provides a land supply that attempts to accommodate the future population growth within Bairnsdale.

Housing: the proposal accommodates for the increase in Bairnsdale's future population growth. Catering for this increase in housing needs is a key objective of this clause, and the proposal addresses this successfully. Furthermore, the building of more social housing is likely to benefit those in the community that are most vulnerable, such as low income people, so the proposal addresses the social considerations that are needed when assessing an application. The proposal also promotes a greater diversity of housing types.

Strategies for Sub-Regions, Towns and Localities: the property is located in the "lakes and Coastal" area, and is considered to fulfill the objectives of this region. For example, it increases the housing supply in the area, taking advantage of the surrounding infrastructure and transport access, which caters for the changing needs of the area and increasing population of the area.

GENERAL RESIDENTIAL ZONE 1

Purpose:

To encourage development that respects the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

Key Decision Guidelines:

General issues

- The purpose of this zone.
- The objectives set out in a schedule to this zone.
- Any other decision guidelines specified in a schedule to this zone.
- The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Mixed Use Zone, Neighbourhood Residential Zone, Residential Growth Zone or Township Zone.

Dwellings and residential buildings

• For the construction and extension of two or more dwellings on a lot,..., the objectives, standards and decision guidelines of Clause 55.

Assessment:

It is assessed that the proposal meets the requirements and objectives of the zone. The design of the proposed dwellings successfully responds to the neighbourhood character of the area through criteria such as the garden area and landscaping, building heights, materials used, form, and also the architectural design. Assessment is based on the existing conditions, including that 11 additional lots within the street are currently vacant.

The proposal is considered greenfield rather than infill development, as the lot has not been developed since being created by subdivision in 2006. The proposal can be considered housing growth due to its increased density. The proposal is located in reasonable walking distance of a range of shops and services, inclusive of retail, medical, dental, veterinary, child care, and primary school.

Clause 32.08-4 states that the minimum garden area for a lot greater than 650 sqm is 35%. The proposal meets this criteria with a garden area of 609 sqm or 61%.

Assessment of clause 55 in accordance with the requirements of Clause 32.08- is provided in the particular provision section of this report.

Clause 32.08-10 states that the maximum building height must not exceed 11 metres. The proposal has a maximum building height of 5.28 metres, and so meets the requirements of this criteria.

The proposal is suitable for approval in accordance with the provisions of the General Residential Zone 1.

PARTICULAR PROVISIONS

Clause 52.06 - Car Parking

The application complies with the requirement for a three bedroom dwelling to be provided with two car parking spaces, with at least one car parking space being under cover.

Clause 55 - Two or more dwellings on a lot

The primary assessment criteria of the application is with respect to Clause 55, which implements ResCode assessment for the proposal. Where a variation to ResCode is proposed, the planning permit is the statutory authority for approval of such variation.

All standards of clause 55 have been met, except for standard B6 (street setback), which has a significant non compliance. In considering whether to grant a planning permit, it would be reasonable to request amendments to the site plan to provide additional setback increasing from 6.995 metres to 9 metres, and permitting the encroachment of the portico.

The following is an assessment against the Clause 55 objectives and standards:

	Standard	Officer's Comment
B1	Neighbourhood character The design response must be appropriate to the neighbourhood and the site. The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.	The application is compliant with this standard, as it respects the surrounding character and design of surrounding dwellings. For example, similar architectural style and materials such as Brick veneer and peaked roof.
B2	Residential policy An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.	The applicant has complied with this standard. The proposal is consistent with the relevant housing policy in the LPPF and the SPPF.
B3	Dwelling diversity Developments of ten or more dwellings should provide a range of dwelling sizes and types, including: Dwellings with a different number of bedrooms. At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.	Not applicable to this application. The application is for 2 dwellings.
B4	Infrastructure Development should be connected to	The application complies with this standard.

	Standard	Officer's Comment
	reticulated services, including reticulated sewerage, drainage, electricity and gas, if available. Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no spare capacity, developments should provide for upgrading or mitigation of the impact on services or infrastructure.	A full suite of reticulated services are available, inclusive of nbn and gas. Since the proposal increases the anticipated lot yield of dwellings by one, the capacity of the utility services and infrastructure will likely be unaffected.
B5	Integration with the street Development should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility. Dwellings should be oriented to front existing and proposed streets. High fencing in front of dwellings should be avoided if practicable. Development next to existing public open space should be laid out to complement the open space.	The development enhances accessibility, and has avoided high fences, and the orientation is to the front of the lot, with no front fences proposed.
B6	 Street setback Walls of buildings should be set back from streets: At least the distance specified in the schedule to the zone, or If no distance is specified in the schedule to the zone, the distance specified in Table A1/B1. The same distance as the setback of the front wall of the existing building on the abutting allotment facing the front street or 9 metres, whichever is the lesser. Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard. 	 The applicant proposes a set back of 6.995 metres to the main dwelling wall, reduced to 5.4 metres to the portico. There is a dwelling at 18 Glendon Drive with a setback of 9.06 metres. The land at 14 Glendon Drive is vacant. There are two considerations with respect to this proposal: 1) The front entry must provide for a fire wall. The fire wall, combined with the roof pitch makes the entry not a permitted encroachment, as the entry is also taller than 3.6m.and results in at 5.4 metre setback proposed setback. 2) The dwelling at 18 Glendon Drive is on a bend and is sited to maximise solar access. The existing setback is 9.06 metres at nearest point to the boundary. The proposed setback is non-compliant. It would be reasonable for the responsible authority to grant a permit with an amended plans condition requiring the

	Standard	Officer's Comment
		setback of the dwelling to be increased to 9 metres, and allowing a minor variation for the portico as it is so minor an encroachment that the proposal does not detract from the neighbourhood character. The encroachment is less than 10 square metres in total area. The incorporation of landscaping and canopy trees also assists in the incorporation of the proposal into the streetscape by reducing bulk.
B7	Building height The maximum building height should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, 11 metres. Changes of building height between existing buildings and new buildings should be graduated.	The building height being proposed is 5.28 metres, demonstrating compliance with this standard.
B8	Site coverage The site area covered by buildings should not exceed: The maximum site coverage specified in the schedule to the zone, or If no maximum site coverage is specified in the schedule to the zone, 60 per cent.	Total site coverage is 29.1%, demonstrating compliance with this standard.
B9	Permeability At least 20 per cent of the site should not be covered by impervious surfaces.	The proposal complies with this standard.
B10	 Energy efficiency Buildings should be: Orientated to make appropriate use of solar energy. Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. Living areas and private open space should be located on the north side of the development, if practicable. Developments should be designed so that solar access to north-facing windows is maximised. 	The proposal complies with this standard. The living areas of the dwellings are oriented to the rear, which generally faces northwest. Significant private open space areas are also provided in this direction.
B11	Open space If any public or communal open space is provided on site, it should: Be substantially fronted by dwellings,	Not applicable to this application.

	Standard	Officer's Comment
	where appropriate.	
	Provide outlook for as many dwellings	
	as practicable.	
	Be designed to protect any natural	
	features on the site.	
	Be accessible and useable.	
B12	Safety	The proposal complies with this
	Entrances to dwellings and residential	standard.
	buildings should not be obscured or	
	isolated from the street and internal	Entries are provided facing the
	accessways.	street. Plantings are designed to
	Planting which creates unsafe spaces	retain passive street surveillance
	along streets and accessways should	and there are no proposed walls
	be avoided.	that will prevent clear vision from
	Developments should be designed to	the driveway through to the entry
	provide good lighting, visibility and	door.
	surveillance of car parks and internal	
	accessways.	There is additionally direct access
	Private spaces within developments	available through the laundry to the
	should be protected from	carport.
	inappropriate use of public	
	thoroughfares.	
B13	Landscaping	The proposal complies with this
	The landscape layout and design	standard.
	should:	
	Protect any predominant landscape	The site and streetscape are
	features of the neighbourhood.	currently without vegetation.
	Take into account the soil type and	_
	drainage patterns of the site.	The proposal contains indicative
	Allow for intended vegetation growth	landscaping plans for the site
	and structural protection of buildings.	within the site plan, which provide canopy trees to the front and rear
	In locations of habitat importance, maintain existing habitat and provide	yards and border plantings.
	for new habitat for plants and animals.	yards and border plantings.
	Provide a safe, attractive and	Based on the information
	functional environment for residents.	submitted for other applications in
	Development should provide for the	the street, a condition requiring a
	retention or planting of trees, where	detailed landscaping plan would be
	these are part of the character of the	acceptable, and the proposal
	neighbourhood.	would be appropriate for the site.
	Development should provide for the	
	replacement of any significant trees	
	that have been removed in the 12	
	months prior to the application being	
	made.	
	The landscape design should specify	
	landscape themes, vegetation	
	(location and species), paving and	
	lighting.	
B14	Access	The proposal complies with this
	Accessways should:	standard.
	Be designed to allow convenient, safe	
	and efficient vehicle movements and	The impact of the driveway design
	connections within the development	is considered low impact on the
	and to the street network.	neighbourhood character, and the
		· · · · · · · · · · · · · · · · · · ·

	Standard	Officer's Comment
	Be designed to ensure vehicles can	on street car parking.
	exit a development in a forwards	
	direction if the accessway serves five	The street frontage is 18.65
	or more car spaces, three or more	metres. Driveway width is
	dwellings, or connects to a road in a	cumulatively 6 metres or 32% of
	Road Zone.	the frontage, which complies with
	Be at least 3 metres wide.	the requirement.
	Have an internal radius of at least 4	
	metres at changes of direction.	One on-street car parking space
	Provide a passing area at the	could reasonably and safety be
	entrance that is at least 5 metres wide	retained between the two
	and 7 metres long if the accessway	crossovers (9.7m). On street car
	serves ten or more spaces and	parking is not considered to be
	connects to a road in a Road Zone.	ideal given the pavement width is
	The width of accessways or car	7.5m between kerbs. Further
	spaces should not exceed:	discussion is provided in relation to
	33 per cent of the street frontage, or	the grounds for objection.
	If the width of the street frontage is	
	less than 20 metres, 40 per cent of the	
	street frontage. No more than one single-width	
	crossover should be provided for each	
	dwelling fronting a street.	
	The location of crossovers should	
	maximise the retention of on-street car	
	parking spaces.	
	The number of access points to a road	
	in a Road Zone should be minimised.	
	Developments must provide for	
	access for service, emergency and	
	delivery vehicles.	
B15	Parking location	The proposal complies with this
	Car parking facilities should:	standard.
	Be reasonably close and convenient	
	to dwellings and residential buildings.	Car parking facilities are deigned
	Be secure.	reasonably and securely, and in
	Be designed to allow safe and efficient	accordance with Clause 52.06.
	movements within the development.	T he survey of the survey of
	Be well ventilated if enclosed.	There are no shared accessways.
	Large parking areas should be broken	
	up with trees, buildings or different surface treatments.	
	Shared accessways or car parks of	
	other dwellings and residential	
	buildings should be located at least	
	1.5 metres from the windows of	
	habitable rooms. This setback may be	
	reduced by 1 metre whether there is a	
	fence of 1.5 metres high or where	
	window sills are at least 1.4 metres	
	above the accessway.	
B17	Side and rear setbacks	The proposal complies with this
	A new building not on or within	standard.
	150mm of a boundary should be set	
	back from side or rear boundaries:	The carport wall adjacent to the

	Standard	Officer's Comment
819	At least the distance specified in the schedule to the zone, or If no distance is specified in the schedule to the zone, 1 metre, plus 0.3 metres for every metre in height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. Sunblinds, verandas, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard. Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps pergolas, shade sails and carports may encroach into the setbacks of this standard.	boundary is greater than 1 metre from the boundary on either side. The main dwelling is located a sufficient distance from the boundaries.
B18	Walls on boundaries A new wall constructed on or within 150mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot should not abut the boundary for a length of more than: 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is greater. A new wall or carport may fully abut a side or rear boundary where the slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary. A building on a boundary includes a building set back up to 150mm from a boundary. The height of a new wall constructed on or within 150mm of a side or rear boundary or a carport constructed on or within 1 metres of a side or rear boundary should not exceed an average of 3 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously	

	Standard	Officer's Comment
	constructed wall.	
B19	Daylight to existing windows Buildings opposite an existing habitable room window should provide	The proposal complies with this standard.
	for a light court to the existing window that has a minimum area of 3 square	There are no windows affected by the siting and massing of the
	metres and a minimum dimension of 1 metre clear to the sky. The calculation	proposed dwellings. The neighbouring dwelling is set back
	of the area may include land on the abutting lot.	over 7 metres from the property boundary.
	Walls or carports more than 3 metres in height opposite an existing habitable room window should be set	
	back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc	
	may be swung to within 35 degrees of the plane of the wall containing the existing window.	
	Where the existing window is above ground floor level, the wall height is	
	measured from the floor level of the room containing the window.	
B20	North-facing windows	The proposal complies with this
	If a north-facing habitable room window of an existing dwelling is	standard.
	within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre,	There are no north-facing windows affected by the siting and massing of the proposed dwellings.
	plus 0.6 metre for every metre of height over 3.6 metres, plus 1 metre	
	for every metre of height over 6.9	
	metres, for a distance of 3 metres	
	from the edge of each side of the window. A north-facing window is a	
	window with an axis perpendicular to	
	its surface oriented north 20 degrees	
D 04	west to north 30 degrees east.	
B21	Overshadowing open space Where sunlight to the secluded private open space of an existing dwelling is	The proposal complies with this standard.
	reduced, at least 75 per cent, or 40	There is no established open
	square metres with a minimum	space affected by overshadowing
	dimension of 3 metres, whichever is the lesser area, of the secluded	from the proposed dwellings. Overshadowing will largely be
	private open space should receive a	contained within the lot.
	minimum of five hours of sunlight between 9 am and 3 pm on 22	
	September. If existing sunlight to the secluded	
	private open space of an existing	
	dwelling is less than the requirements of this standard, the amount of	
	sunlight should not be further reduced.	

	Standard	Officer's Comment
B22	Overlooking	The proposal complies with this
_	A habitable room window, balcony,	standard.
	terrace, deck or patio should be	
	located and designed to avoid direct	The proposal and neighbouring
	views into the secluded private open	dwelling are single storey and
	space and habitable room windows of	there is not substantial
	an existing dwelling within a horizontal	topographical changes to provide
	distance of 9 metres (measured at	for overlooking.
	ground level) of the window, balcony,	
	terrace, deck or patio. Views should	
	be measured within a 45 degree angle	
	from the plane of the window or	
	perimeter of the balcony, terrace, deck	
	or patio, and from a height of 1.7	
	metres above the floor level.	
	A habitable room window, balcony,	
	terrace, deck or patio with a direct	
	view into a habitable room window of	
	an existing dwelling within a horizontal	
	distance of 9 metres (measured at	
	ground level) of the window, balcony,	
	terrace, deck or patio should be either:	
	Offset a minimum of 1.5 metres from	
	the edge of one window to the edge of	
	another, or	
	Have sill heights of at least 1.7 metres	
	above floor level, or	
	Have obscure glazing in any part of the window below 1.7 metres above	
	floor level, or	
	Have permanently fixed external	
	screens to at least 1.7 metres above	
	floor level and be no more than 25 per	
	cent transparent.	
	Obscure glazing in any part of the	
	window below 1.7 metres above floor	
	level may be open able provided that	
	there are no direct views as specified	
	in the standards.	
	Screens used to obscure a view	
	should be:	
	Perforated panels or trellis with a	
	maximum of 25 per cent openings or	
	solid translucent panels.	
	Permanent, fixed and durable.	
	Designed and coloured to blend in	
	with the development.	
	This standard does not apply to a new	
	habitable room window, balcony,	
	terrace, deck or patio which faces a	
	property boundary where there is a	
	visual barrier of at least 1.6 metres	
	high and the floor level of the	
	habitable room, balcony, terrace, deck	
	or patio is less than 0.6 metres above	

	Standard	Officer's Comment
	ground level at the boundary.	
B23	Internal views Windows and balconies should be designed to prevent overlooking of	The proposal complies with this standard.
	more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.	No windows are overlooking.
B24	Noise impacts Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.	The proposal complies with this standard. Services to the proposed dwelling will be located in close proximity to the outer walls, which are set back approx. 3-7 metres from a boundary, and a further 7 metres to habitable rooms on the adjacent property.
B25	Accessibility The ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.	The proposal complies with this standard. There would need to be modifications to the front entry to provide for all abilities access. The dwelling is ground floor only.
B26	Dwelling entry Entries to dwellings and residential buildings should: Be visible and easily identifiable from streets and other public areas. Provide shelter, a sense of personal address and a transitional space around the entry.	The proposal complies with this standard. Front entrance is identifiable from the street and easily visible. A footpath is provided to each dwelling. Shelter is provided.
B27	Daylight to new windows A window in a habitable room should be located to face: An outdoor space open to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or A verandah provided it is open for at least one third of its perimeter, or A carport provided it has two or more open sides and is open for at least one third of its perimeter.	The proposal complies with this standard. All habitable rooms have windows open clear to the sky.
B28	Private open space A dwelling or residential building should have private open space of an	The proposal complies with this standard.

	Standard	Officer's Comment
	area and dimensions specified in the	Private open space is provided
	schedule to the zone.	with adequate area dimensions to
	If no area or dimensions is specified in	the side and rear of each dwelling.
	the schedule to the zone, a dwelling	
	should have private open space	
	consisting of:	
	An area of 40 square metres, with one	
	part of the private open space to	
	consist of secluded private open	
	space at the side or rear of the	
	dwelling or residential building with a	
	minimum area of 25 square metres, a	
	minimum dimension of 3 metres and	
	convenient access from a living room,	
	or	
	A balcony of 8 square metres with a	
	minimum width of 1.6 metres and	
	convenient access from a living room,	
	or	
	A roof-top area of 10 square metres	
	with a minimum width of 2 metres and	
	convenient access from a living room.	
B29	Solar access to open space	The proposal complies with this
	The private open space should be	standard.
	located on the north side of a dwelling,	
	if practicable.	The private open space is located
	The southern boundary of secluded	to the northwest of each dwelling.
	private open space should be set back	
	from any wall on the north of the	
	space at least (2 + 0.9h) metres,	
	where 'h' is the height of the wall.	
B30	Storage	The proposal complies with this
	5	standard.
	access to at least 6 cubic metres of	
	externally accessible, secure storage	Storage is shown on the plans
	space.	behind the carports of each
		dwelling.
D24	Design detail	The proposal compliant with this
B31	Design detail	The proposal complies with this standard.
	The design of buildings, including: Façade articulation and detailing,	อเล่านลาน.
	Window and door proportions,	The proposal respects the
	Roof form, and	surrounding character and design
	Verandahs, eaves and parapets,	of neighbouring dwellings,
	should respect the existing or	mimicking roof pitch, front entry,
	preferred neighbourhood character.	and cladding.
	Garages and carports should be	
	visually compatible with the	Carports are setback of the main
	development and the existing or	dwellings to be less visually
	preferred neighbourhood character.	dominant.
B32	Front fences	The proposal complies with this
202	The design of front fences should	standard, as no front fence is
	complement the design of the dwelling	proposed.
	and any front fences on adjoining	P P
	property.	
		l

	Standard	Officer's Comment
	A front fence within 3 metres of a street should not exceed: The maximum height specified in the schedule to the zone, or If no maximum height is specified in the schedule to the zone, the maximum height specified in Table A2/B3.	
B33	Common property Developments should clearly delineate public, communal and private areas. Common property, where provided, should be functional and capable of efficient management.	Not applicable as no common property is proposed.
B34	Site services The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically. Bins and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post.	The proposal complies with this standard. The dwellings will be able to access services equitably to the front and rear. A drainage and sewerage easement is provided at the rear of the property. Bin enclosures and mailboxes are considered reasonable and accessible for potential residents. Bin enclosures are screened from view at the rear of the proposed carports. Mailboxes are located alongside the footpath and adjacent to the driveway, being convenient for both residents and Australia Post.

GENERAL PROVISIONS

Objections

As previously stated, 25 objections have been received in relation to the proposal. It is critical to note that the objections substantially relate to concurrent planning permit applications for development of two dwellings on a lot in relation to 4, 5, 8, 12, 13, 14, and 17 Glendon Drive, Eastwood. The nature and content of the 25 objections is largely the same and has been summarised in this report.

The assessment of a single planning permit application for development of two dwellings on a lot by the responsible authority cannot address matters such as:

- Cumulative impact of the planning permit applications;
- The proposed tenancy of the dwellings to be constructed; that is, that they are owned by the Office for Housing and may be used for social housing; and
- Property valuation outcomes as a result of the above factors, nor even for the impact associated with the singular proposal.
- 1. Not in accordance with neighbourhood character, loss of streetscape

The assessment of the planning permit application must consider the impact of two dwellings on a lot. It is put that there may be an expectation that a single dwelling would be constructed on the lot as is the standard practice for the Eastwood Estate. That 12 lots are currently vacant on Glendon Drive out of 21 lots total means that the majority of the street character has not been established.

There are several existing examples of duplex dwelling development within the vicinity. Even the neighbouring properties at 2 Glendon Drive and 93 Flinns Road are of the same dwelling density, although not duplex construction. This is repeated on all four corners of this intersection.

In relation to the broader neighbourhood, there are further examples of similar dwelling density. Many of the objectors state that they would be satisfied with only one of the currently vacant lots in common ownership being developed with a duplex.

The proposal is not out-of-character for the neighbourhood or streetscape. There are 11 other lots to be developed in the street, which is more than half of the total properties on the street. As such, streetscape is emerging and can be altered.

2. Loss of property value

The majority of objectors raise this ground, which is an economic consideration, not a planning consideration. It is noted that the cost of development per dwelling might be significantly less than that of the surrounding dwellings, however this can be attributed to the economies of scale associated with duplex development. Economic valuation should be tenure blind, and normally takes into consideration market and sale values of surrounding property.

3. Traffic Impacts and street parking, road safety

Each dwelling is provided with two off-street car parking spaces, including one under cover space, which meets the car parking standards of the Scheme. For convenience purposes, the majority of traffic would make the direct connection to Flinns Road which is a neighbourhood connector street. The design capacity of this street is suitable to accommodate a traffic yield of 10 vehicle movements per day above what would be anticipated from a single dwelling being constructed on the subject lot.

Minimal provision of on-street car parking would result from the narrow bitumen seal 7.75 metres with kerb and channel. Footpaths are constructed adjacent to the property frontages. Crossover locations for each dwelling is adjacent to the side lot boundaries. There would be ability to park a maximum of one car in front of the lot on-street without blocking one of the proposed driveways.

Glendon Drive is the primary connection for The Backwater, being less circuitous than the other egress at Gree Keeluk Place. This already represents a significant volume of traffic, with further development to occur as a result of several lots remaining vacant.

There will be negligible detriment as a result of the proposal assessed on its merit.

4. Social impacts, particularly the negative impacts from social housing

Valid concern is raised in relation to the social impact of the proposal in accordance with local planning policy. Additional information has been obtained in line with Council's Guidelines, however the nature of the Social Impact Comment rightly does not focus on the socioeconomic issues, as planning must be tenure blind in relation to proposals for residential development. As such, no further investigation is required.

5. General amenity and noise concerns

The issue of noise and general amenity is a discriminatory assumption based on the proposal being for social housing purposes. Planning must not consider this impact, especially in relation to proposals where the individual impact could reasonably be nil.

6. Use for crisis/emergency accommodation

It is considered that this concern is arose primarily in response to a past proposal for a 6 unit community care accommodation facility at 12-16 Glendon Drive. To some extent it has not been made clear from the proposal whether some aspect of that use will be transferred to the dwellings proposed, however that cannot be considered with respect to the assessment of this application, which relates to construction of two dwellings.

The planning scheme provides that places of community care accommodation, including shelters, refuges, and crisis accommodation should be exempt from planning consideration and afforded privacy and secrecy. As the individual planning applications are for two dwellings on a lot, Council should not further consider which of the dwellings, if any, would be used for community care accommodation.

7. Concerns regarding inability to organise, length of time to object

Adequate time has been afforded between the provision of notice and the determination. A public meeting was undertaken, following appropriate social distancing protocols and with ample assistance with relation to technology.

On balance of consideration of the objections, which largely relate to the broader impacts of cumulative development proposals and tenancy of the proposal, it is recommended that the responsible authority make its determination with respect to the East Gippsland Planning Scheme provisions, and resolve to issue a notice of decision to grant a planning permit.

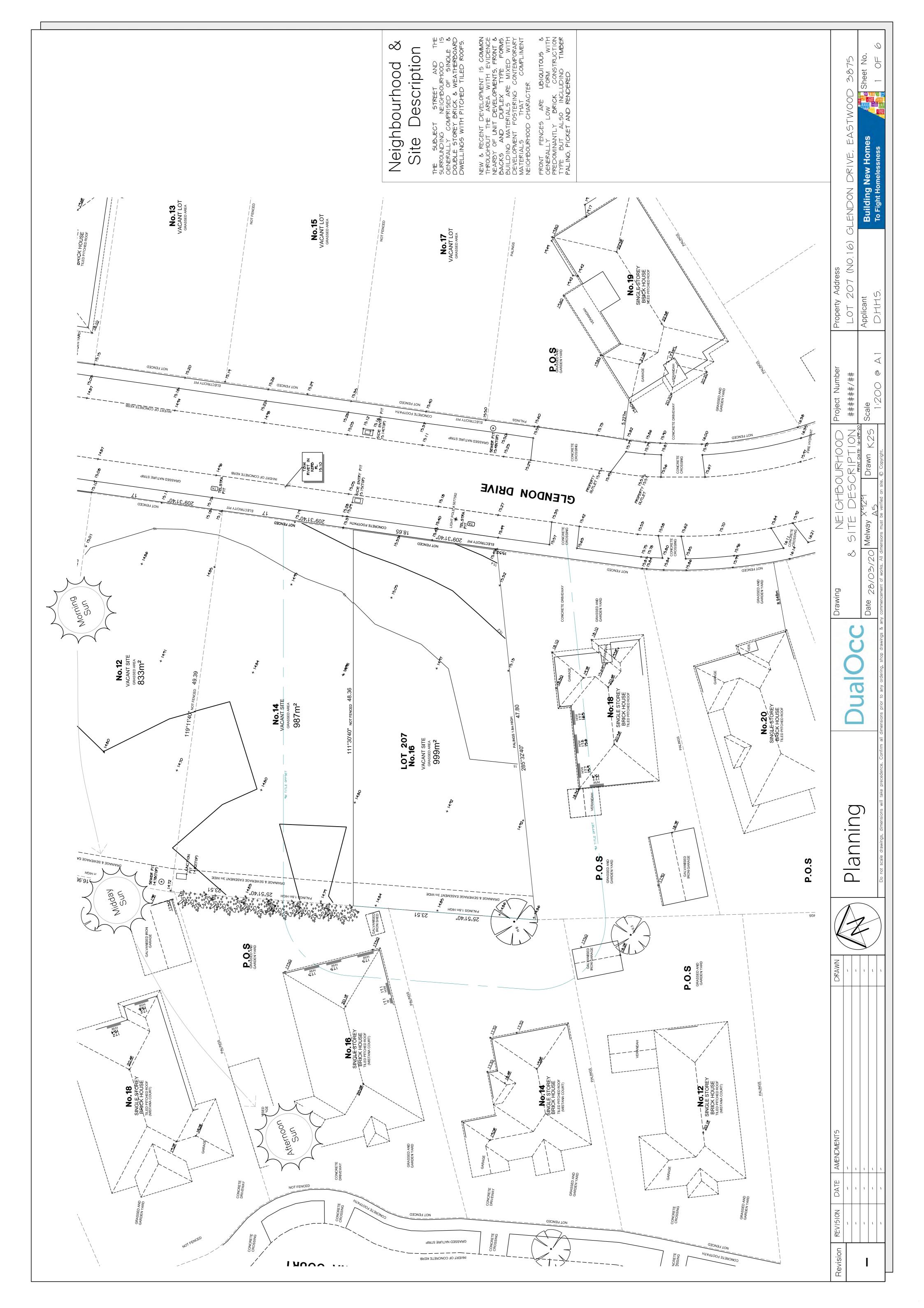
Section 60 and Clause 65

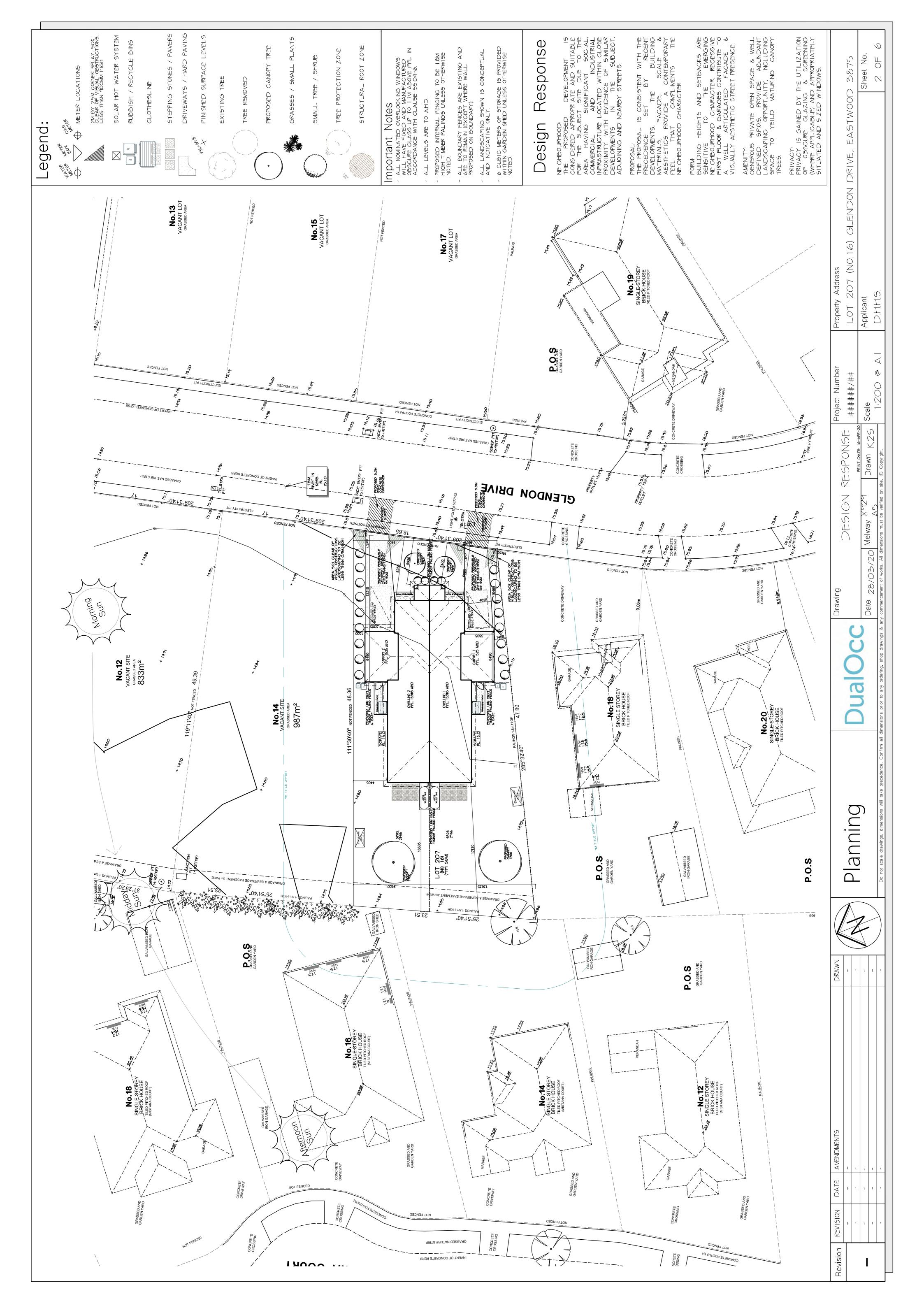
The application presents no detriment to the environmental values of the land or to the amenity of the area. The proposal is an acceptable planning outcome that is consistent with the objectives of planning in Victoria.

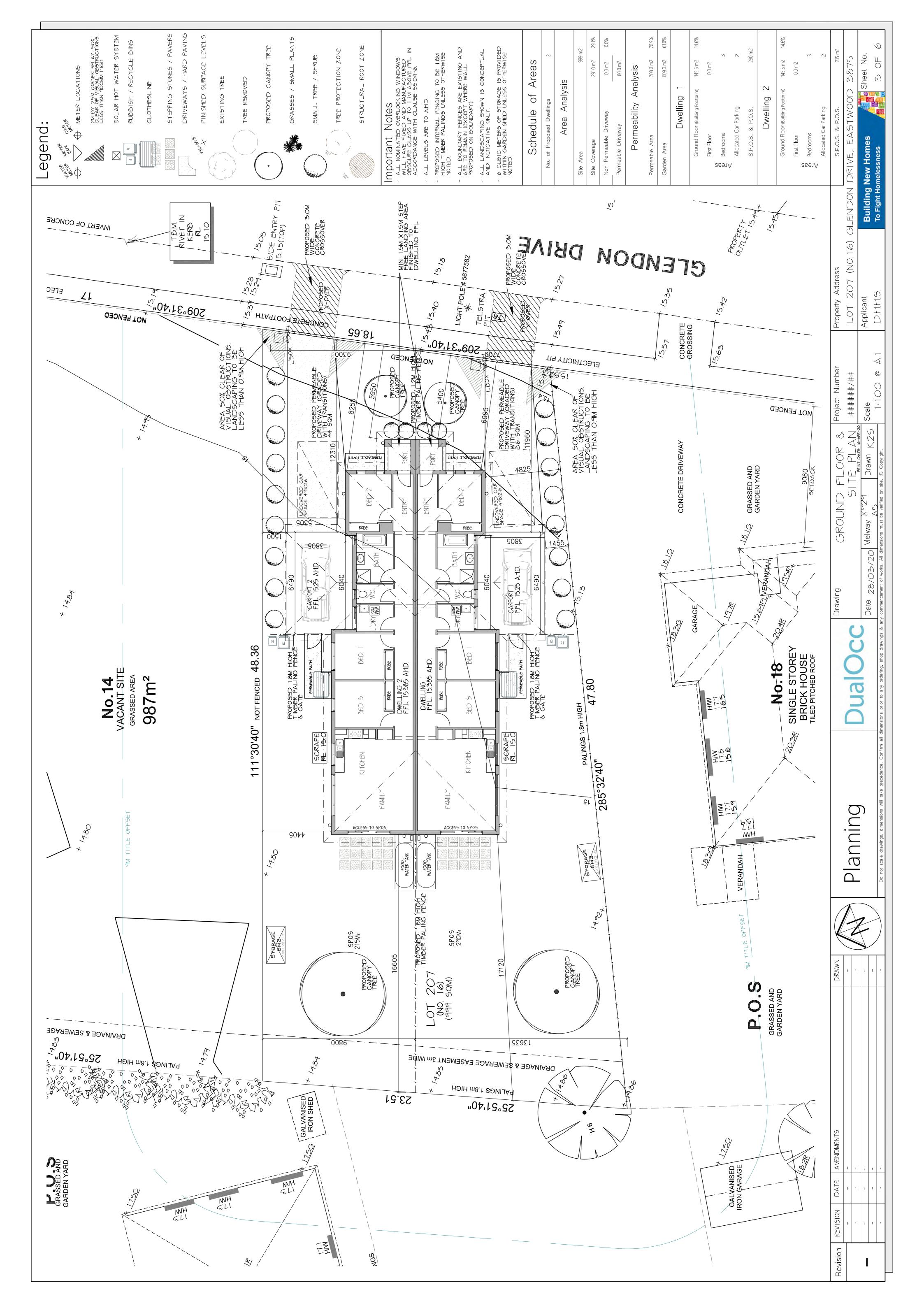
CONCLUSIONS & RECOMMENDATION

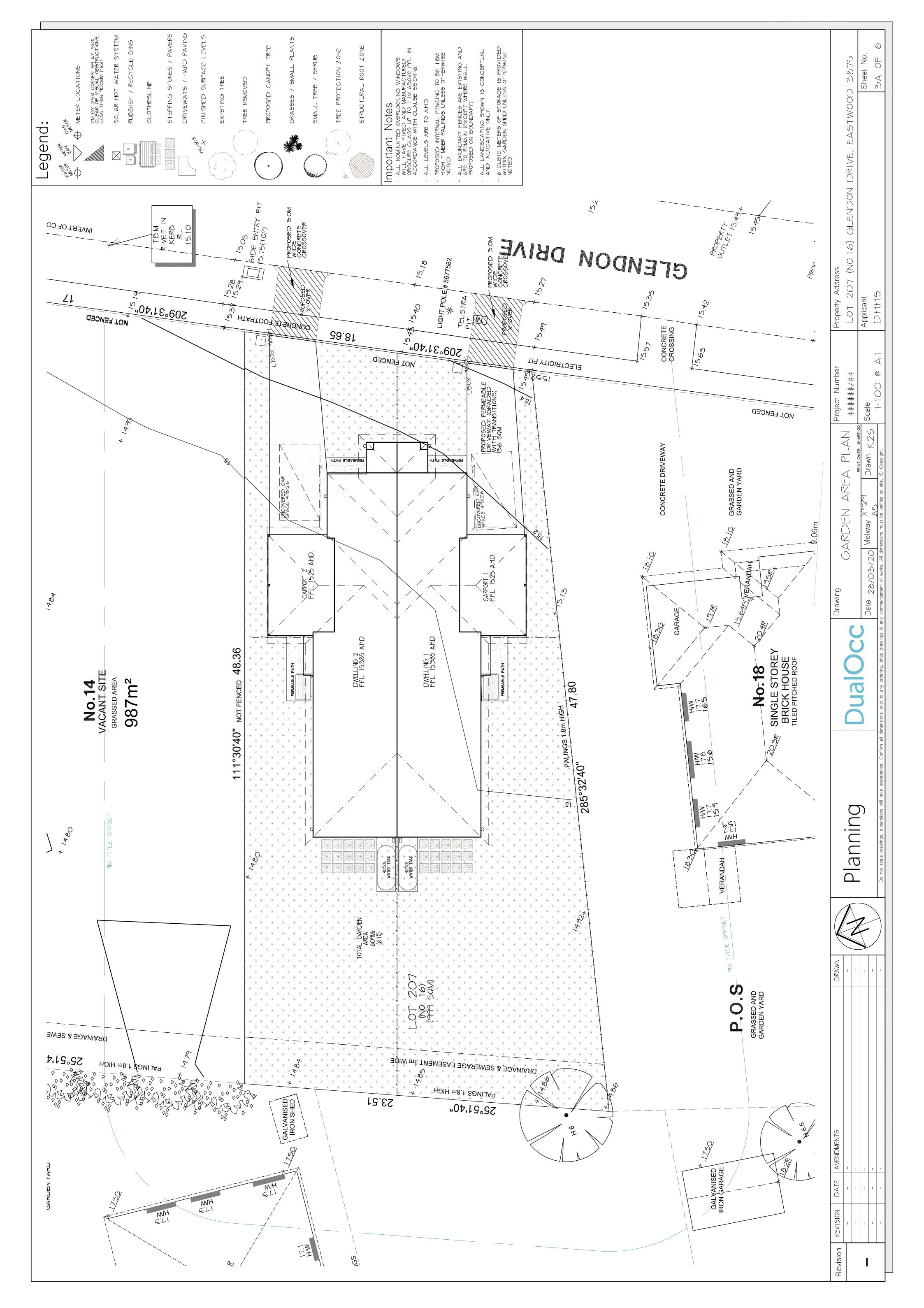
The application is consistent with the planning scheme and is suitable for Council support.

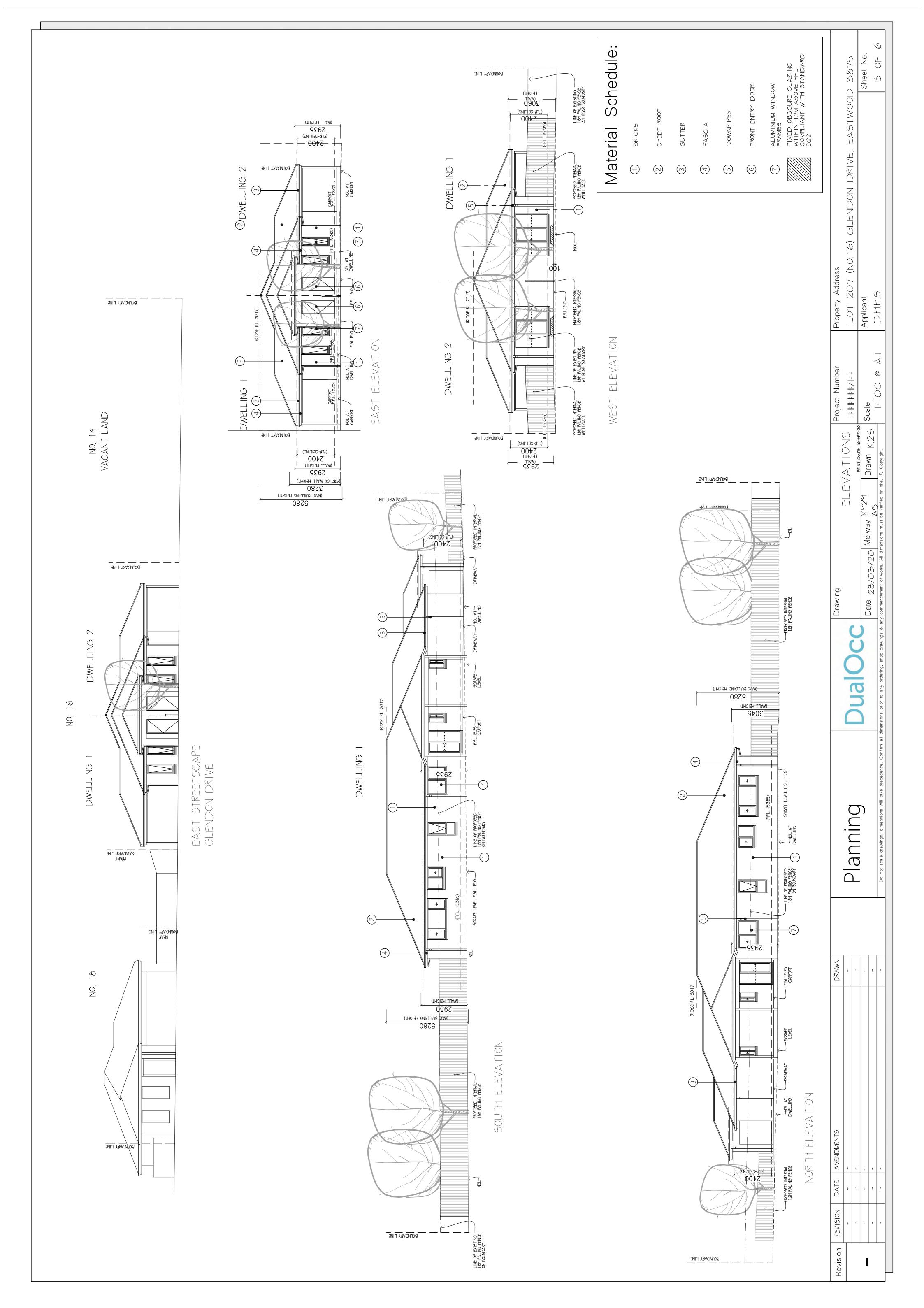
It is recommended that a notice of decision to grant a planning permit be issued subject to standard development conditions, and inclusive of landscaping and amended plans condition to address the setback (B6) discrepancy.

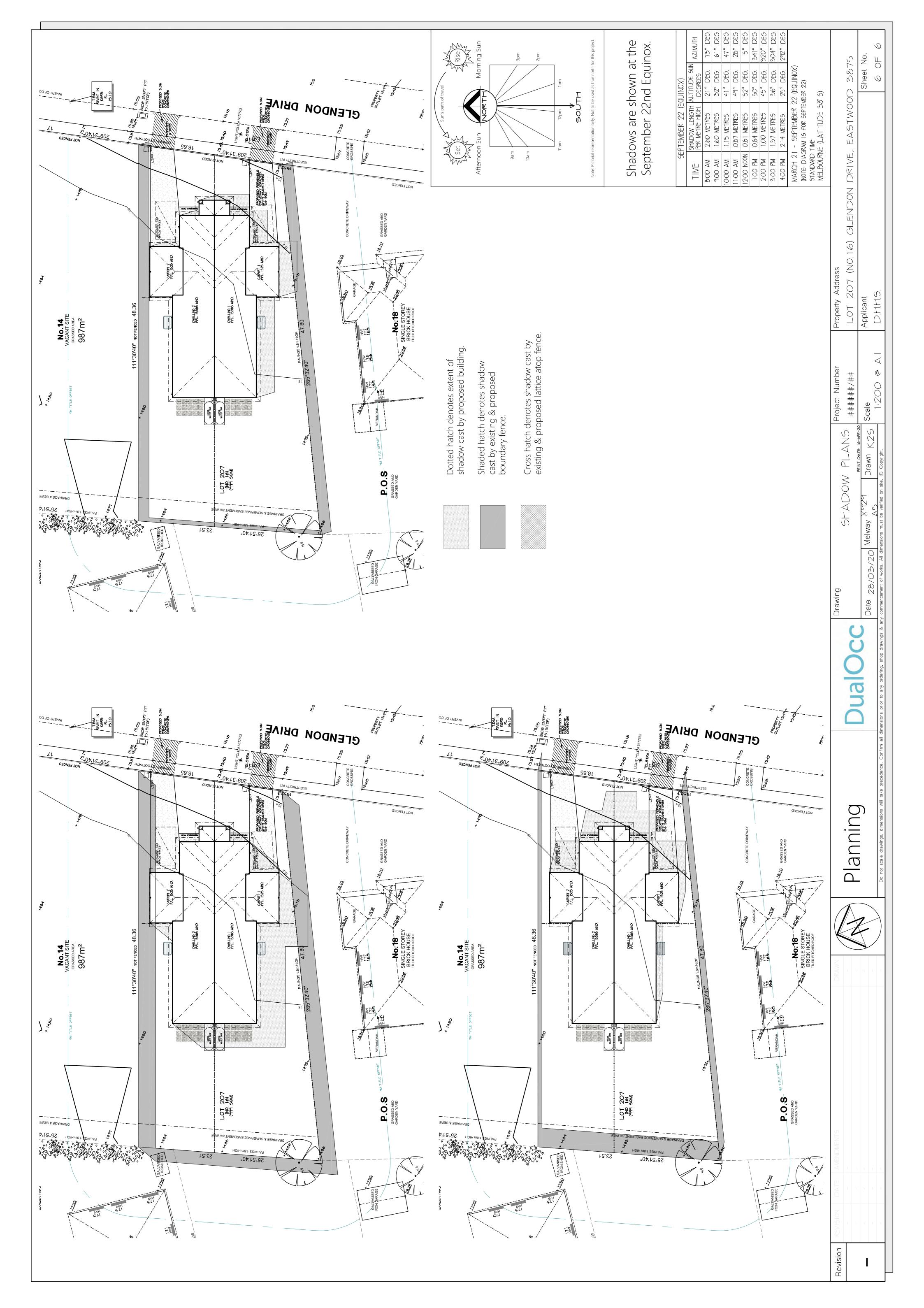




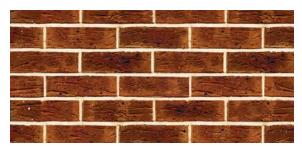








Kurrajong



BRICKWORK PGH Kurrajong Natural raked mortar

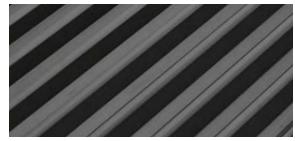


GUTTER, FASCIA, DOWNPIPES, WINDOWS & DOORS COLORBOND Monument



GARAGE DOOR COLORBOND Dune





ROOF Colorbond Monument



DRIVEWAY Natural Grey

RENDER DULUX CB Dune



CLADDING, FRONT ENTRY DOOR & PAINTED AREAS DULUX Ricochet



Images are for illustrative purposes only and while every effort has been made to correctly represent colours for this scheme, actual colours may vary. Materials, colours and brands are subject to availability and may be substituted if not available. Schemes may be changed without notice and external schemes are subject to developer approval. Any approved customer variations may incur additional costs. For further information contact your Sales Consultant. VIC Builders Licence CDB-U 52967. JUN2019 MET3787.



Department of Environment, Land, Water and Planning

> PO Box 500, East Melbourne, Victoria 8002 Australia delwp.vic.gov.au

Anthony Basford Chief Executive Officer East Gippsland Shire Council PO Box 1618 BAIRNSDALE VIC 3875 ceo@egipps.vic.gov.au

Dear Mr Basford

BUILDING VICTORIA'S RECOVERY TASKFORCE REFERRAL – 4, 5, 8, 12, 14, 16 AND 17 GLENDON DRIVE, EASTWOOD

I am writing to you regarding the proposed developments at 4, 5, 8, 12, 14, 16 and 17 Glendon Drove, Eastwood which have been referred to the Minister for Planning by the Building Victoria's Recovery Taskforce (BVRT).

The BVRT has been established to help keep the state's building and development industry running through the coronavirus (COVID-19) pandemic. The BVRT invited the development and construction industry to submit applications for the potential fast tracking of planning approvals for projects of state and regional significance that are shovel-ready but are experiencing delays. The following developments proposed at Glendon Drive, Eastwood have been identified by the BVRT as meeting the development facilitation process and criteria, and have subsequently been referred to the Minister for Planning for facilitation:

- 91/2020/P- 4 Glendon Drive, Eastwood
- 92/2020/P 5 Glendon Drive, Eastwood
- 93/2020/P 8 Glendon Drive, Eastwood
- 94/2020/P 17 Glendon Drive, Eastwood
- 95/2020/P 13 Glendon Drive, Eastwood
- 139/2020/P -12 Glendon Drive, Eastwood
- 140/2020/P –14 Glendon Drive, Eastwood
- 141/2020/P –16 Glendon Drive, Eastwood

The Minister for Planning is considering preparing an amendment to the East Gippsland Planning Scheme under section 20(4) of the *Planning and Environment Act 1987* to introduce Clause 45.12 'Specific Controls Overlay', apply a schedule to and associated incorporated document to each site to facilitate each proposed development generally as proposed as part of the associated planning applications listed above and make associated changes.

Before deciding whether to prepare, adopt and approve amendments to facilitate these developments, I am seeking your views under section 20(5) of the Act about the proposed developments at each site and any draft conditions the council would be seeking to apply to the proposals if it were to grant permits for the developments to assist in the consideration of these matters. I would also appreciate being provided with copies of all objections, referrals and referral responses received to the proposal.

Please provide your written statement to <u>stateplanning.services@delwp.vic.gov.au</u> within **10 business days** of the date of this letter.



Following the consultation period, the Minister may decide to refer this matter to the Priority Projects Standing Advisory Committee. The terms of reference for this committee are available at https://www.planning.vic.gov.au/data/assets/pdf file/0027/474390/Priority-Projects-SAC-Terms-of-Reference-.pdf. The terms of reference include a requirement that the costs of the advisory committee will be met by each relevant proponent.

If you would like to discuss this matter further, please contact Matt Cohen, Director, Development Facilitation Team, Department of Environment, Land, Water and Planning, on 0409 346 522 or email <u>matthew.cohen@delwp.vic.gov.au</u>.

Yours sincerely

Jae Hamenaal

Dr Jane Homewood Executive Director, Statutory Planning Services

13 / 08 / 2020

